



CONTRIBUTING ZONE PLAN
FOR
WILLIAMSON COUNTY CHAMPION PARK

3830 BRUSHY CREEK ROAD
CEDAR PARK, WILLIAMSON COUNTY, TEXAS 78613

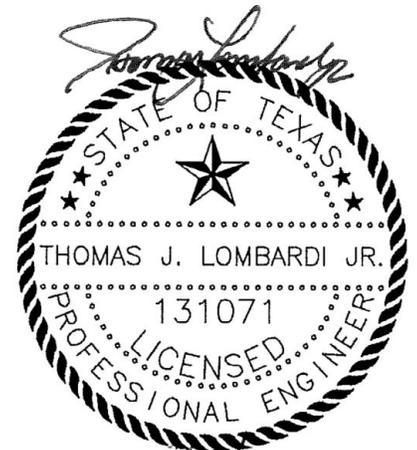
PREPARED FOR:

Williamson County
710 South Main Street, Suite 301, Georgetown, TX 78626

PREPARED BY:

WGI
2021 East 5th Street, Suite 200
Austin, Texas 78702
Texas Engineering Firm # F-15085
WGI Project # 31206105.00

SEPTEMBER 2020



09/28/20

Texas Commission on Environmental Quality

Edwards Aquifer Application Cover Page

Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with [30 TAC 213](#).

Administrative Review

1. [Edwards Aquifer applications](#) must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains “possibly sensitive” features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited.**
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a “Mid-Review Modification”. Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ’s Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ’s San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

1. Regulated Entity Name: Champion Park					2. Regulated Entity No.: RN105117907				
3. Customer Name: Williamson County					4. Customer No.: CN600897888				
5. Project Type: (Please circle/check one)	<input checked="" type="radio"/> New	<input type="radio"/> Modification			<input type="radio"/> Extension		<input type="radio"/> Exception		
6. Plan Type: (Please circle/check one)	<input type="radio"/> WPAR	<input checked="" type="radio"/> CZP	<input type="radio"/> SCS	<input type="radio"/> UST	<input type="radio"/> AST	<input type="radio"/> EXP	<input type="radio"/> EXT	<input type="radio"/> Technical Clarification	<input type="radio"/> Optional Enhanced Measures
7. Land Use: (Please circle/check one)	<input type="radio"/> Residential		<input checked="" type="radio"/> Non-residential			8. Site (acres):			± 32.7
9. Application Fee:	\$4,000		10. Permanent BMP(s):			Natural Vegetated Filtration Strips			
11. SCS (Linear Ft.):	N/A		12. AST/UST (No. Tanks):			N/A			
13. County:	WILLIAMSON		14. Watershed:			Brushy Creek			

Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the “Texas Groundwater Conservation Districts within the EAPP Boundaries” map found at:

http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	Hays	Travis	Williamson
Original (1 req.)	—	—	X
Region (1 req.)	—	—	X
County(ies)	—	—	X
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Barton Springs/ Edwards Aquifer <input type="checkbox"/> Hays Trinity <input type="checkbox"/> Plum Creek	<input type="checkbox"/> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<input type="checkbox"/> Austin <input type="checkbox"/> Buda <input type="checkbox"/> Dripping Springs <input type="checkbox"/> Kyle <input type="checkbox"/> Mountain City <input type="checkbox"/> San Marcos <input type="checkbox"/> Wimberley <input type="checkbox"/> Woodcreek	<input type="checkbox"/> Austin <input type="checkbox"/> Bee Cave <input type="checkbox"/> Pflugerville <input type="checkbox"/> Rollingwood <input type="checkbox"/> Round Rock <input type="checkbox"/> Sunset Valley <input type="checkbox"/> West Lake Hills	<input type="checkbox"/> Austin <input checked="" type="checkbox"/> Cedar Park <input type="checkbox"/> Florence <input type="checkbox"/> Georgetown <input type="checkbox"/> Jerrell <input type="checkbox"/> Leander <input type="checkbox"/> Liberty Hill <input type="checkbox"/> Pflugerville <input type="checkbox"/> Round Rock

San Antonio Region					
County:	Bexar	Comal	Kinney	Medina	Uvalde
Original (1 req.)	—	—	—	—	—
Region (1 req.)	—	—	—	—	—
County(ies)	—	—	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Trinity-Glen Rose	<input type="checkbox"/> Edwards Aquifer Authority	<input type="checkbox"/> Kinney	<input type="checkbox"/> EAA <input type="checkbox"/> Medina	<input type="checkbox"/> EAA <input type="checkbox"/> Uvalde
City(ies) Jurisdiction	<input type="checkbox"/> Castle Hills <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Helotes <input type="checkbox"/> Hill Country Village <input type="checkbox"/> Hollywood Park <input type="checkbox"/> San Antonio (SAWS) <input type="checkbox"/> Shavano Park	<input type="checkbox"/> Bulverde <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Garden Ridge <input type="checkbox"/> New Braunfels <input type="checkbox"/> Schertz	NA	<input type="checkbox"/> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.	
Thomas Lombardi Jr., P.E.	
Print Name of Customer/Authorized Agent 	09/28/20
Signature of Customer/Authorized Agent	Date

FOR TCEQ INTERNAL USE ONLY			
Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):



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Attachment C.	Current Site Plan of the Approved Project

Section 2: Contributing Zone Plan Application (TCEQ-10257)

Attachment A :	Road Map
Attachment B :	USGS Quadrangle Map
Attachment C :	Project Narrative
Attachment D :	Factors Affecting Surface Water Quality
Attachment E :	Volume and Character of Stormwater
Attachment J :	BMPs for Upgradient Stormwater
Attachment K :	BMPs for On-Site Stormwater
Attachment L :	BMPs for Surface Streams
Attachment M :	Construction Plans
Attachment N :	Inspection, Maintenance, Repair and Retrofit Plan
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Section 3: Temporary Stormwater Section (TCEQ-0602)

Attachment A :	Spill Response Actions
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Attachment F :	Structural Practices
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Attachment I :	Inspection and Maintenance for BMPs
Attachment J :	Schedule of interim and Permanent Soil Stabilization Practices

Section 4: Copy of Notice of Intent (NOI)

Section 5: Agent Authorization Form (TCEQ-0599)

Section 6: Application Fee Form (TCEQ-0574)

Section 7: Core Data Form (TCEQ-10400)



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Modification of a Previously Approved CZP (TCEQ-10259), 1

Modification of a Previously Approved Contributing Zone Plan

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Transition Zone and Relating to 30 TAC 213.4(j), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Modification of a Previously Approved Contributing Zone Plan** is hereby submitted for TCEQ review and executive director approval. The request was prepared by:

Print Name of Customer/Agent: THOMAS LOMBARDI JR.

Date: 10/02/2020

Signature of Customer/Agent:



Project Information

1. Current Regulated Entity Name: CHAMPION PARK
Original Regulated Entity Name: CHAMPION PARK
Assigned Regulated Entity Number(s) (RN): RN 105117907
Edwards Aquifer Protection Program ID Number(s): 11-06101202 AND 11000836
 The applicant has not changed and the Customer Number (CN) is: CN 600897888
 The applicant or Regulated Entity has changed. A new Core Data Form has been provided.
2. **Attachment A: Original Approval Letter and Approved Modification Letters.** A copy of the original approval letter and copies of any modification approval letters are attached.
3. A modification of a previously approved plan is requested for (check all that apply):

- Any physical or operational modification of any best management practices or structure(s), including but not limited to temporary or permanent ponds, dams, berms, silt fences, and diversionary structures;
- Any change in the nature or character of the regulated activity from that which was originally approved;
- A change that would significantly impact the ability to prevent pollution of the Edwards Aquifer and hydrologically connected surface water; or
- Any development of land previously identified in a contributing zone plan as undeveloped.

4. Summary of Proposed Modifications (select plan type being modified). If the approved plan has been modified more than once, copy the appropriate table below, as necessary, and complete the information for each additional modification.

<i>CZP Modification</i>	<i>Approved Project</i>	<i>Proposed Modification</i>
<i>Summary</i>		
Acres	<u>32.7</u>	<u>32.7</u>
Type of Development	<u>COUNTY PARKLAND</u>	<u>COUNTY PARKLAND</u>
Number of Residential Lots	<u>0</u>	<u>0</u>
Impervious Cover (acres)	<u>1.95</u>	<u>2.92</u>
Impervious Cover (%)	<u>6%</u>	<u>8.9%</u>
Permanent BMPs	<u>VEGETATED FILTER STRIPS</u>	<u>VEGETATED FILTER STRIPS</u>
Other	<u>N/A</u>	<u>N/A</u>
<i>AST Modification</i>		
<i>Summary</i>		
Number of ASTs	<u>0</u>	<u>0</u>
Other	<u>N/A</u>	<u>N/A</u>
<i>UST Modification</i>		
<i>Summary</i>		
Number of USTs	<u>0</u>	<u>0</u>
Other	<u>N/A</u>	<u>N/A</u>

5. **Attachment B: Narrative of Proposed Modification.** A detailed narrative description of the nature of the proposed modification is attached. It discusses what was approved,

including previous modifications, and how this proposed modification will change the approved plan.

6. **Attachment C: Current Site Plan of the Approved Project.** A current site plan showing the existing site development (i.e., current site layout) at the time this application for modification is attached. A site plan detailing the changes proposed in the submitted modification is required elsewhere.
 - The approved construction has not commenced. The original approval letter and any subsequent modification approval letters are included as Attachment A to document that the approval has not expired.
 - The approved construction has commenced and has been completed. Attachment C illustrates that the site was constructed as approved.
 - The approved construction has commenced and has been completed. Attachment C illustrates that the site was **not** constructed as approved.
 - The approved construction has commenced and has **not** been completed. Attachment C illustrates that, thus far, the site was constructed as approved.
 - The approved construction has commenced and has **not** been completed. Attachment C illustrates that, thus far, the site was **not** constructed as approved.
7. Acreage has not been added to or removed from the approved plan.
 Acreage has been added to or removed from the approved plan and is discussed in *Attachment B: Narrative of Proposed Modification*.
8. Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.



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ATTACHMENT A

ORIGINAL APPROVAL LETTER AND COPIES OF ANY
MODIFICATION LETTER

Bryan W. Shaw, Ph.D., P.E., *Chairman*
 Toby Baker, *Commissioner*
 Jon Niermann, *Commissioner*
 Richard A. Hyde, P.E., *Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

December 20, 2017

Mr. Randy Bell
 Williamson County Parks and Recreation Department
 219 Perry Mayfield
 Leander, TX 78641

Re: Edwards Aquifer, Williamson County

NAME OF PROJECT: Champion Park; Located directly south of Brushy Creek Road, one mile east of the intersection of Brushy Creek Road and Parmer Lane; Cedar Park, Texas

TYPE OF PLAN: Request for Modification of an Approved Contributing Zone Plan (CZP); 30 Texas Administrative Code (TAC) Chapter 213 Subchapter B Edwards Aquifer

Edwards Aquifer Protection Program ID No. 11000836; Regulated Entity No. RN105117907

Dear Mr. Bell:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZP Application for the above-referenced project submitted to the Austin Regional Office by Mr. Antonio A. Prete, P.E. of Waeltz & Prete, Inc. on behalf of Williamson County Parks and Recreation Department on September 21, 2017. Final review of the CZP was completed after additional material was received on December 18, 2017. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) were selected and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

BACKGROUND

The original project (EAPP 11-06101202) was approved on December 8, 2006 with 1.95 acres of impervious cover for trails, pavilions, restrooms, play areas, and associated parking.

PROJECT DESCRIPTION

The proposed county park project will have an area of approximately 33.52 acres. It will include the reconstruction of a granite trail, and the addition of a restroom facility and a

pavilion adjacent to the existing splash pad, and a parking addition. The impervious cover will be 3.95 acres (11.79 percent). No wastewater will be generated by this project.

PERMANENT POLLUTION ABATEMENT MEASURES

To prevent the pollution of stormwater runoff originating on-site or upgradient of the site and potentially flowing across and off the site after construction, vegetated filter strips, designed using the TCEQ technical guidance document, Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices (2005), will be constructed to treat stormwater runoff. The required total suspended solids (TSS) treatment for this project is 1,393 pounds of TSS generated from the 3.95 acres of impervious cover. The approved measures meet the required 80 percent removal of the increased load in TSS caused by the project.

SPECIAL CONDITIONS

- I. This modification is subject to all Special and Standard Conditions listed in the CZP approval letter dated December 8, 2006.
- II. All permanent pollution abatement measures shall be operational prior to occupancy of the facility.
- III. All sediment and/or media removed from the water quality basin during maintenance activities shall be properly disposed of according to 30 TAC 330 or 30 TAC 335, as applicable.

STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

Prior to Commencement of Construction:

4. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project location until all regulated activities are completed.
5. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
6. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the Austin Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and file number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.

7. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

8. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
9. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
10. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.
11. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
12. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.
13. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 5, above.

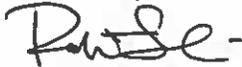
After Completion of Construction:

14. Owners of permanent BMPs and measures must insure that the BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the Austin Regional Office within 30 days of site completion.
15. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of

- the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through the Austin Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.
16. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
 17. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the Austin Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
 18. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

This action is taken under authority delegated by the Executive Director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact Kyle Virr, P.E. of the Edwards Aquifer Protection Program of the Austin Regional Office at (512) 339-2929.

Sincerely,



Robert Sadlier, Water Section Team Leader
Austin Region Office
Texas Commission on Environmental Quality

RCS/kmv

Enclosure: Deed Recordation Affidavit, Form TCEQ-0625A

cc: Antonio Prete, P.E.; Waeltz & Prete, Inc.
300 Joe DiMaggio Blvd. #72; Round Rock, TX 78665

The Honorable Dan A. Gattis, Williamson County Judge
Mr. Terron Evertson, P.E., Williamson County Engineer
Mr. Sam Roberts, P.E., Assistant City Manager, City of Cedar Park

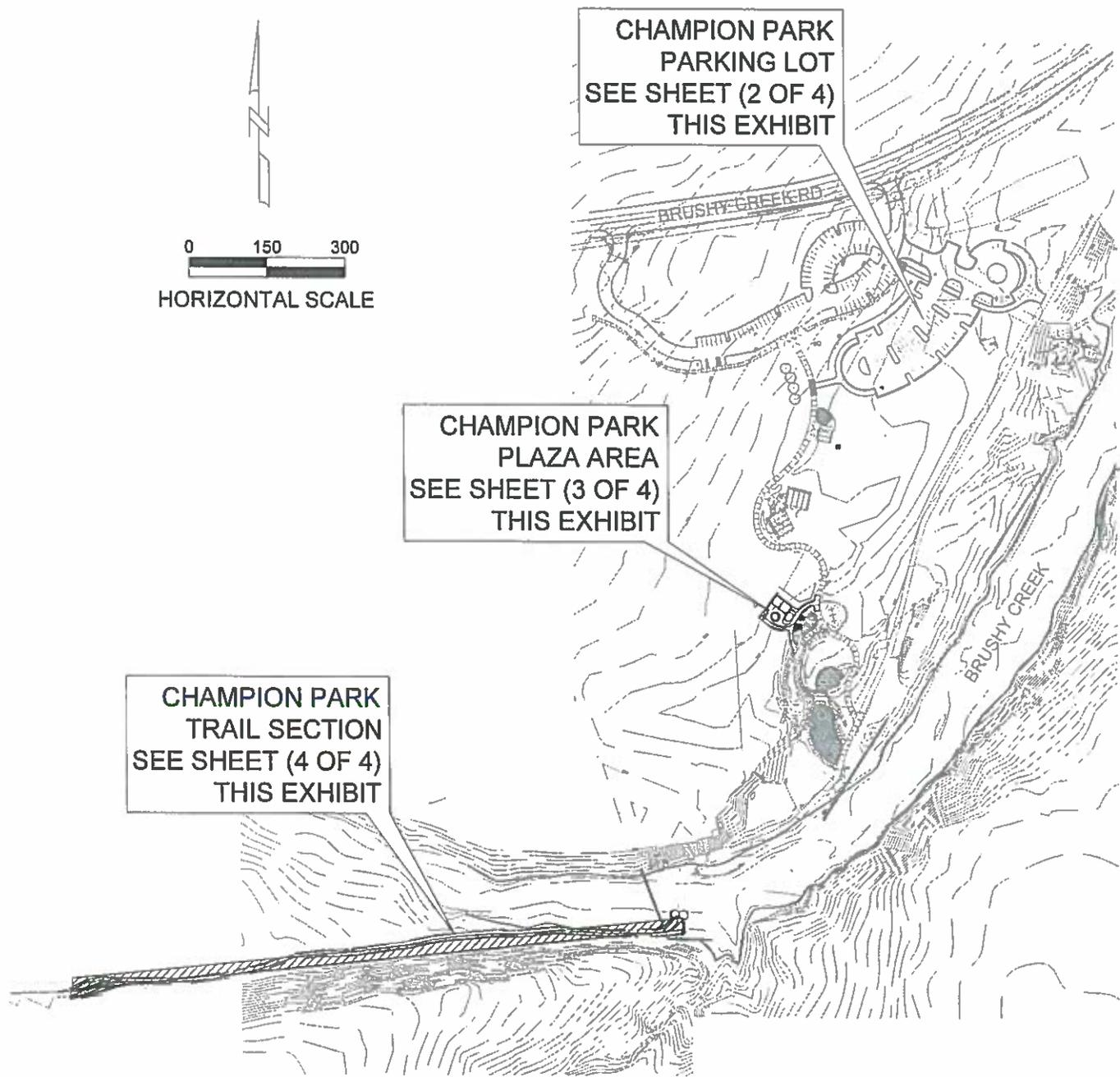


HORIZONTAL SCALE

CHAMPION PARK
PARKING LOT
SEE SHEET (2 OF 4)
THIS EXHIBIT

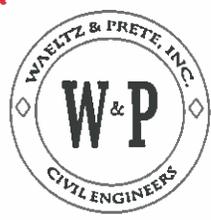
CHAMPION PARK
PLAZA AREA
SEE SHEET (3 OF 4)
THIS EXHIBIT

CHAMPION PARK
TRAIL SECTION
SEE SHEET (4 OF 4)
THIS EXHIBIT



Handwritten: H&R 26 Sept 17

(OVERALL)
CHAMPION PARK
WATER QUALITY EXHIBIT
(1 OF 4)



WAELTZ & PRETE, INC.
CIVIL ENGINEERS

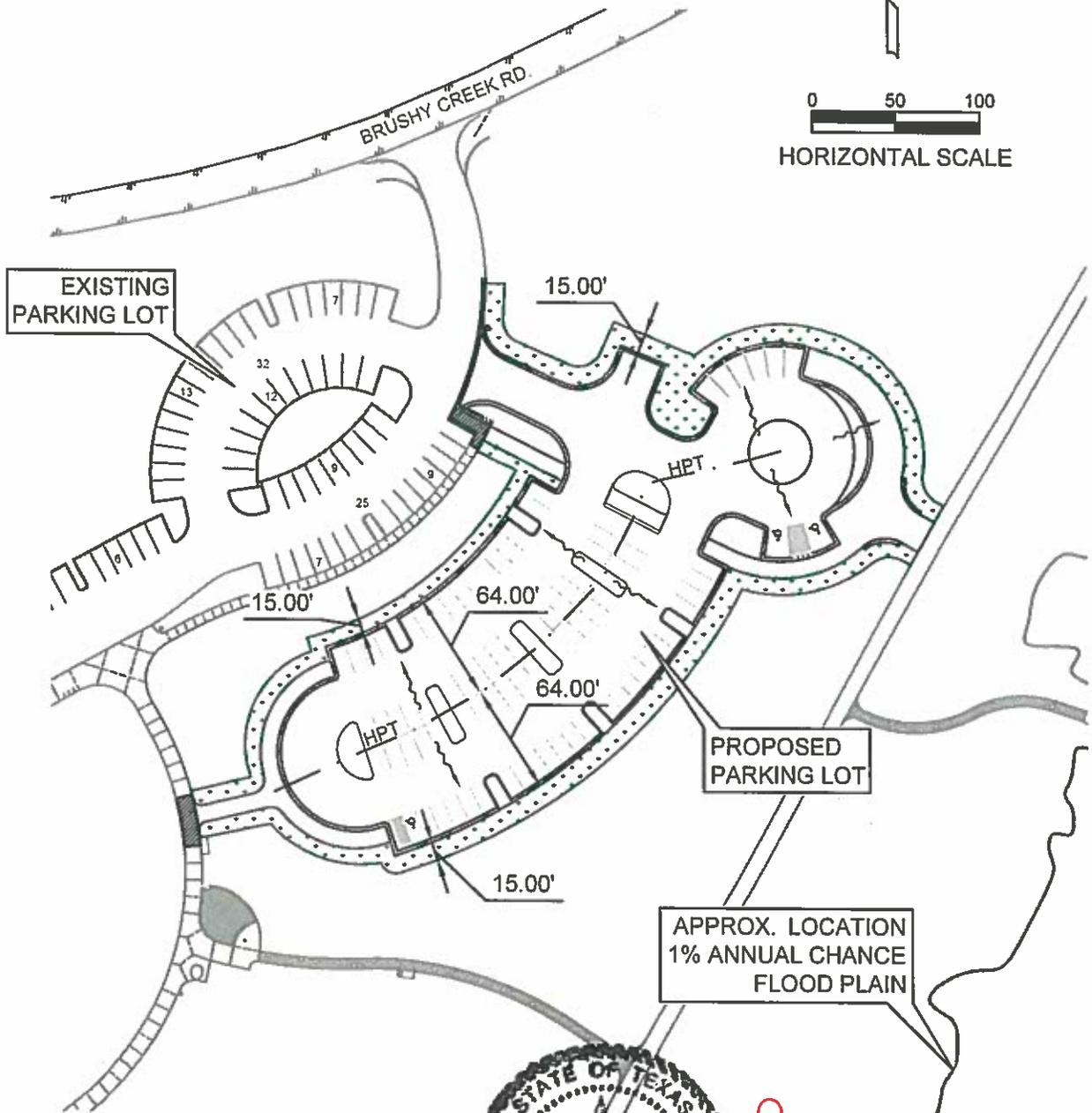
3000 JOE DIMAGGIO BLVD. #72
ROUND ROCK, TX. 78665
PH (512) 505-8953
FIRM TX. REG. #F-10308

ALL INFORMATION FURNISHED REGARDING THIS PROPERTY IS FROM SOURCES DEEMED RELIABLE. HOWEVER, WAELTZ & PRETE, INC. HAS NOT INDEPENDENTLY VERIFIED ANY OF THESE SOURCES. NO WARRANTY OR GUARANTEE IS MADE BY WAELTZ & PRETE, INC. AS TO THE ACCURACY. THE INFORMATION SHOWN IS CONCEPTUAL IN NATURE AND DOES NOT REPRESENT ANY REGULATORY APPROVAL.

NOTE:
 ALL VEGETATIVE FILTER STRIPS FOLLOW THE TCEQ
 "COMPLYING WITH THE EDWARDS AQUIFER RULES:
 TECHNICAL GUIDANCE ON BEST MANAGEMENT PRACTICES"
 DESIGN CRITERIA.



0 50 100
 HORIZONTAL SCALE



LEGEND

 VEGETATIVE FILTER STRIP



(PARKING LOT)
 CHAMPION PARK
 WATER QUALITY EXHIBIT
 (2 OF 4)

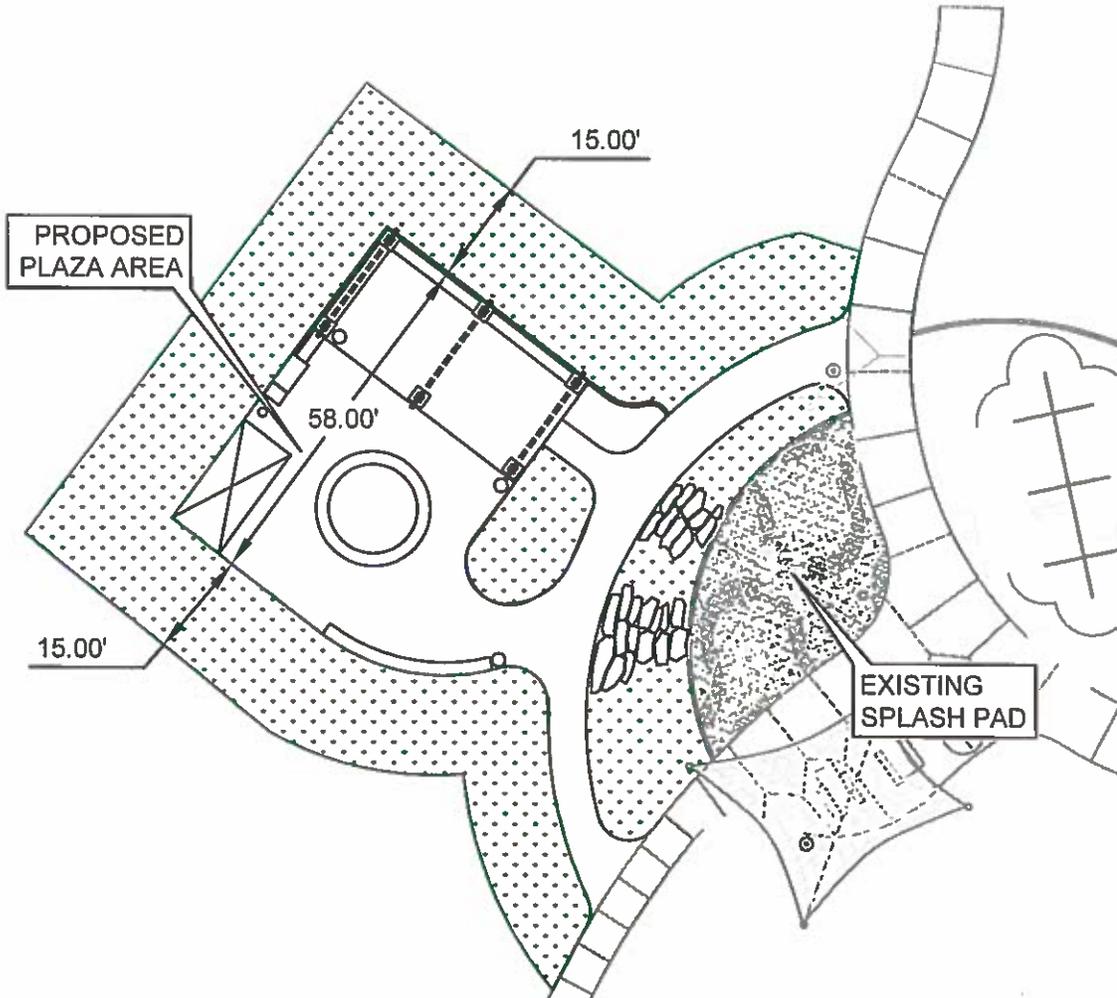


WAELTZ & PRETE, INC.
 CIVIL ENGINEERS

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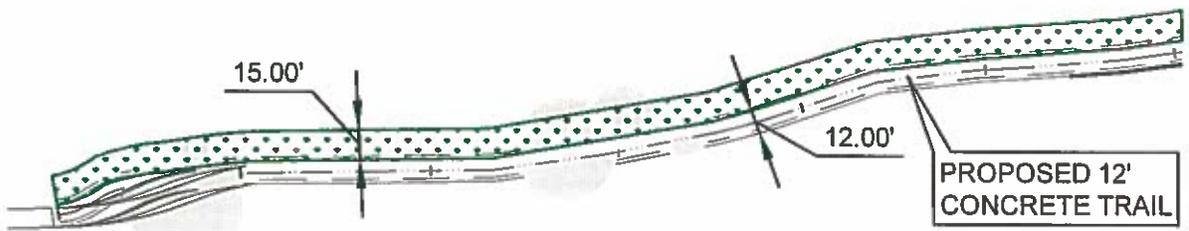
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 CHAMPION PARK
 WATER QUALITY EXHIBIT
 (3 OF 4)

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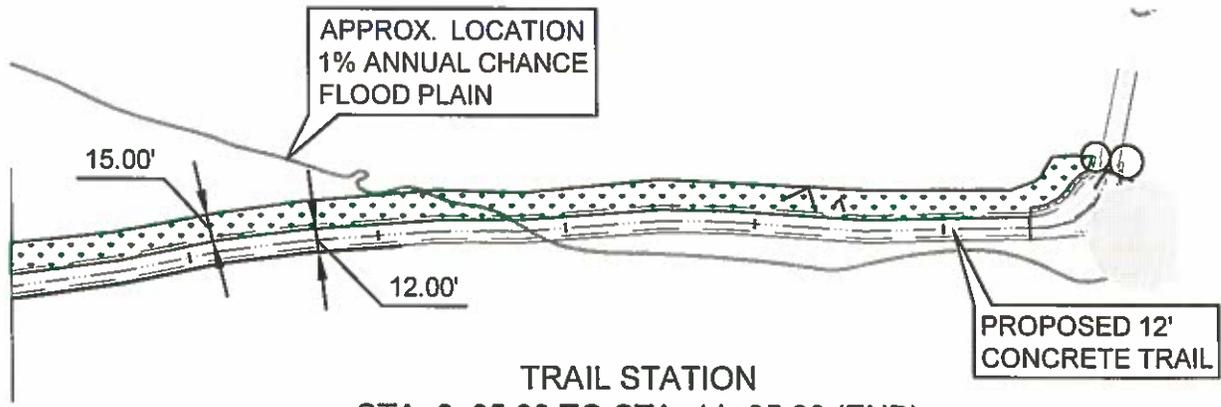
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TRAIL STATION
 STA. 0+00.00 (BEGINNING) TO STA. 6+05.00



TRAIL STATION
 STA. 6+05.00 TO STA. 11+95.00 (END)

LEGEND

 VEGETATIVE FILTER STRIP



(TRAIL)
 CHAMPION PARK
 WATER QUALITY EXHIBIT
 (4 OF 4)

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Kathleen Hartnett White, *Chairman*
Larry R. Soward, *Commissioner*
Martin A. Hubert, *Commissioner*
Glenn Shankle, *Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

December 8, 2006

Mr. Jim Rodgers
Williamson County Parks Department
350 Discovery Blvd., Suite 207
Cedar Park, Texas 78613

Re: Edwards Aquifer, Travis County
NAME OF PROJECT: Champion Park; South of Brushy Creek Road One Mile East of
Parmer Lane, Cedar Park, Texas
TYPE OF PLAN: Request for Approval of a Contributing Zone Plan (CZP); 30 Texas
Administrative Code (TAC) Chapter 213 Subchapter B Edwards Aquifer
Edwards Aquifer Protection Program ID No. 06101202

Dear Mr. Rodgers:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZP application for the referenced project submitted to the Austin Regional Office by Urban Design Group on behalf of the Williamson County Parks Department on October 12, 2006. Final review of the CZP submittal was completed after additional material was received on November 17, 2006. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed, and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Contributing Zone Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10% of the construction has commenced on the project or an extension of time has been requested.*

REPLY TO: REGION 11 • 1921 CEDAR BEND DR., STE. 150A • AUSTIN, TEXAS 78758-5327 • 512/339-2929 • FAX 512/339-3795

P.O. Box 13087 • Austin, Texas 78711-3087 • 512/239-1000 • Internet address: www.tceq.state.tx.us

printed on recycled paper using soy-based ink

PROJECT DESCRIPTION

The proposed county park project will be located on approximately 32.70 acres and will consist of the construction of a parking lot, trails, pavilions, restrooms, play areas, and associated utilities. The proposed impervious cover (IC) for the development is approximately 1.95 acres (6 %).

PERMANENT POLLUTION ABATEMENT MEASURES

Permanent BMPs will be provided by conveying the stormwater runoff from paved areas to vegetated filter strips adjacent to the downstream side of the pavement. The approved measures meet the required 80 percent removal of the increased load in total suspended solids caused by the project.

SPECIAL CONDITIONS

- I. Intentional discharges of sediment laden stormwater during construction are not allowed. If dewatering excavated areas and/or areas of accumulated stormwater becomes necessary, the discharge shall be filtered through appropriately selected temporary best management practices. These may include vegetative filter strips, sediment traps, rock berms, silt fence rings, etc.
- II. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment.

STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.

Prior to Commencement of Construction:

2. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project until all regulated activities are completed.
3. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
4. The applicant must provide written notification of intent to commence construction of the referenced project. Notification must be submitted to the Austin Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and ID number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.
5. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

6. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.

7. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
8. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
9. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.

After Completion of Construction:

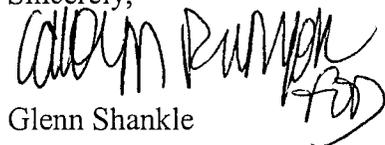
10. Owners of permanent BMPs and measures must insure that the BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the Austin Regional Office within 30 days of site completion.
11. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through the Austin Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.

Mr. Jim Rodgers
Page 5
December 8, 2006

12. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
13. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50% of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the Austin Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
14. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

If you have any questions or require additional information, please contact Mr. Terry Webb of the Edwards Aquifer Protection Program of the Austin Regional Office at (512) 339-2929.

Sincerely,



Glenn Shankle
Executive Director
Texas Commission on Environmental Quality

GS/tmw

Enclosure: Change in Responsibility for Maintenance on Permanent BMPs, TCEQ-10263

cc: The Honorable John C. Doerfler, County Judge, Williamson County
Mr. Sam Roberts, P.E., Director of Public Works, City of Cedar Park
Mr. Paulo C. Pinto, B.S., R.S., Director of Environmental Services, Williamson County
& Cities Health District
Mr. Brian Runyen, P.E., Urban Design Group
TCEQ Central Records



WGI | 512-669-5560 | www.WGIinc.com | F-15085

ATTACHMENT B

NARRATIVE OF PROPOSED MODIFICATION



October 2, 2020

31206105.00.00

Texas Commission of Environmental Quality (TCEQ)
12100 Park 35 Circle
Austin, Texas 78753

RE: Narrative of Proposed Modification
Williamson County Champion Park
3830 Brushy Creek Road, Cedar Park, Williamson County, Texas

To Whom It May Concern:

Please accept this narrative of proposed modification letter and accompanying Contributing Zone Plan (CZP) application packet as our formal submittal for a CZP for the above referenced project. The previous Contributing Zone application was approved for ± 32.7 acres in Champion Park, Cedar Park, Williamson County, Texas. The impervious cover was ± 1.95 acres and the permanent water quality was vegetated filter strips.

The proposed project includes the construction a parking lot totaling 127,195 sf. The total proposed impervious cover on the site will increase from 6% to 8.9%. Other necessary site improvements for grading and drainage improvements, and environmental protection will also be included. The project is located entirely within the Full Purpose limits of the City of Cedar Park, in Williamson County, Texas. All proposed improvements will be developed in accordance with the provisions contained in the City of Cedar Park Site Development Standards.

The subject site is located within the Edwards Aquifer Contributing Zone. No portion of the subject site is located within the 100-year floodplain according to the FEMA Flood Insurance Map Panel No. 48491C0465E, dated September 26, 2008.

The project is in the South Brushy Creek Watershed. Water quality controls are required when impervious cover is in excess of 20% of the site. City of Cedar Park requires construction of vegetated filter strips (or approved alternative treatments) to treat the first $\frac{1}{2}$ -in of storm water sheet flow from the site plus an additional $\frac{1}{10}$ of an inch for every 10% over the first 20% of impervious cover on site.

Water quality for our site will be provided by vegetated filtration strips.

The City of Cedar Park is the water and wastewater provider for the site. There is an existing waterline the bisects this site and an existing wastewater line that also cuts through this site.

To our knowledge, the enclosed application materials are complete, correct, and in full compliance with the Technical Criteria Manuals of the TCEQ. Should you have any questions regarding this project or application, please do not hesitate to contact our office.

Sincerely,

WGI

Texas Engineering Firm No. F-15085

A handwritten signature in black ink, appearing to read 'Thomas Lombardi, Jr.', is written over the printed name.

Thomas Lombardi, Jr., PE
Team Leader



WGI | 512-669-5560 | www.WGIinc.com | F-15085

ATTACHMENT C

CURRENT SITE PLAN OF THE APPROVED PROJECT



WGI | 512-669-5560 | www.WGIinc.com | F-15085

Modification of Previously Approved CZP (TCEQ-10259)

Attachment C Current Site Plan of the Approved Project

Please reference the attached plan set.



WGI | 512-669-5560 | www.WGIinc.com | F-15085

Contributing Zone Plan Application (TCEQ-10257), **2**

Contributing Zone Plan Application

Texas Commission on Environmental Quality

for Regulated Activities on the Contributing Zone to the Edwards Aquifer and Relating to 30 TAC §213.24(1), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Contributing Zone Plan Application** is hereby submitted for TCEQ review and Executive Director approval. The application was prepared by:

Print Name of Customer/Agent: THOMAS LOMBARDI JR.

Date: 09/28/2020

Signature of Customer/Agent:



Regulated Entity Name: CHAMPION PARK

Project Information

1. County: WILLIAMSON COUNTY
2. Stream Basin: SOUTH BRUSHY CREEK
3. Groundwater Conservation District (if applicable): N/A
4. Customer (Applicant):

Contact Person: RUSSELL FISHBECK

Entity: WILLIAMSON COUNTY

Mailing Address: 710 SOUTH MAIN STREET, SUITE 301

City, State: GEORGETOWN, TX

Zip: 78626

Telephone: 5129431922

Fax: _____

Email Address: Russell.Fishbeck@wilco.org

5. Agent/Representative (If any):

Contact Person: THOMAS LOMBARDI JR.

Entity: WGI

Mailing Address: 2021 E 5TH STREET STE 200

City, State: AUSTIN, TX

Zip: 78702

Telephone: 512-669-5560

Fax: _____

Email Address: THOMAS.LOMBARDI@WGINC.COM

6. Project Location:

- The project site is located inside the city limits of CEDAR PARK.
- The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of _____.
- The project site is not located within any city's limits or ETJ.

7. The location of the project site is described below. Sufficient detail and clarity has been provided so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

- 8. **Attachment A - Road Map.** A road map showing directions to and the location of the project site is attached. The map clearly shows the boundary of the project site.
- 9. **Attachment B - USGS Quadrangle Map.** A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000") is attached. The map(s) clearly show:
 - Project site boundaries.
 - USGS Quadrangle Name(s).
- 10. **Attachment C - Project Narrative.** A detailed narrative description of the proposed project is attached. The project description is consistent throughout the application and contains, at a minimum, the following details:
 - Area of the site
 - Offsite areas
 - Impervious cover
 - Permanent BMP(s)
 - Proposed site use
 - Site history
 - Previous development
 - Area(s) to be demolished

11. Existing project site conditions are noted below:

- Existing commercial site
- Existing industrial site
- Existing residential site

- Existing paved and/or unpaved roads
- Undeveloped (Cleared)
- Undeveloped (Undisturbed/Not cleared)
- Other: PARK LAND

12. The type of project is:

- Residential: # of Lots: _____
- Residential: # of Living Unit Equivalents: _____
- Commercial
- Industrial
- Other: _____

13. Total project area (size of site): 32.7 Acres

Total disturbed area: 2.92 Acres

14. Estimated projected population: 0

15. The amount and type of impervious cover expected after construction is complete is shown below:

Table 1 - Impervious Cover

<i>Impervious Cover of Proposed Project</i>	<i>Sq. Ft.</i>	<i>Sq. Ft./Acre</i>	<i>Acres</i>
Structures/Rooftops		÷ 43,560 =	
Parking	127,195.2	÷ 43,560 =	2.92
Other paved surfaces		÷ 43,560 =	
Total Impervious Cover	127,195.2	÷ 43,560 =	2.92

Total Impervious Cover 2.92 ÷ Total Acreage 32.7 X 100 = 8.9% Impervious Cover

16. **Attachment D - Factors Affecting Surface Water Quality.** A detailed description of all factors that could affect surface water quality is attached. If applicable, this includes the location and description of any discharge associated with industrial activity other than construction.

17. Only inert materials as defined by 30 TAC 330.2 will be used as fill material.

For Road Projects Only

Complete questions 18 - 23 if this application is exclusively for a road project.

N/A

18. Type of project:

- TXDOT road project.
- County road or roads built to county specifications.
- City thoroughfare or roads to be dedicated to a municipality.
- Street or road providing access to private driveways.

19. Type of pavement or road surface to be used:

- Concrete
- Asphaltic concrete pavement
- Other: _____

20. Right of Way (R.O.W.):

Length of R.O.W.: _____ feet.

Width of R.O.W.: _____ feet.

$L \times W = \text{_____ Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} = \text{_____ acres.}$

21. Pavement Area:

Length of pavement area: _____ feet.

Width of pavement area: _____ feet.

$L \times W = \text{_____ Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} = \text{_____ acres.}$

Pavement area _____ acres \div R.O.W. area _____ acres $\times 100 = \text{_____ \%}$ impervious cover.

22. A rest stop will be included in this project.
 A rest stop will not be included in this project.
23. Maintenance and repair of existing roadways that do not require approval from the TCEQ Executive Director. Modifications to existing roadways such as widening roads/adding shoulders totaling more than one-half (1/2) the width of one (1) existing lane require prior approval from the TCEQ.

Stormwater to be generated by the Proposed Project

24. **Attachment E - Volume and Character of Stormwater.** A detailed description of the volume (quantity) and character (quality) of the stormwater runoff which is expected to occur from the proposed project is attached. The estimates of stormwater runoff quality and quantity are based on area and type of impervious cover. Include the runoff coefficient of the site for both pre-construction and post-construction conditions.

Wastewater to be generated by the Proposed Project

25. Wastewater is to be discharged in the contributing zone. Requirements under 30 TAC §213.6(c) relating to Wastewater Treatment and Disposal Systems have been satisfied.
 N/A

26. Wastewater will be disposed of by:

On-Site Sewage Facility (OSSF/Septic Tank):

Attachment F - Suitability Letter from Authorized Agent. An on-site sewage facility will be used to treat and dispose of the wastewater from this site. The appropriate licensing authority's (authorized agent) written approval is attached. It states that the land is suitable for the use of private sewage facilities and will meet or exceed the requirements for on-site sewage facilities as specified under 30 TAC Chapter 285 relating to On-site Sewage Facilities.

Each lot in this project/development is at least one (1) acre (43,560 square feet) in size. The system will be designed by a licensed professional engineer or registered sanitarian and installed by a licensed installer in compliance with 30 TAC Chapter 285.

Sewage Collection System (Sewer Lines):

The sewage collection system will convey the wastewater to the _____ (name) Treatment Plant. The treatment facility is:

Existing.

Proposed.

N/A

Permanent Aboveground Storage Tanks (ASTs) ≥ 500 Gallons

Complete questions 27 - 33 if this project includes the installation of AST(s) with volume(s) greater than or equal to 500 gallons.

N/A

27. Tanks and substance stored:

Table 2 - Tanks and Substance Storage

<i>AST Number</i>	<i>Size (Gallons)</i>	<i>Substance to be Stored</i>	<i>Tank Material</i>
1			
2			
3			
4			
5			

Total x 1.5 = _____ Gallons

28. The AST will be placed within a containment structure that is sized to capture one and one-half (1 1/2) times the storage capacity of the system. For facilities with more than

one tank system, the containment structure is sized to capture one and one-half (1 1/2) times the cumulative storage capacity of all systems.

- Attachment G - Alternative Secondary Containment Methods.** Alternative methods for providing secondary containment are proposed. Specifications showing equivalent protection for the Edwards Aquifer are attached.

29. Inside dimensions and capacity of containment structure(s):

Table 3 - Secondary Containment

<i>Length (L)(Ft.)</i>	<i>Width(W)(Ft.)</i>	<i>Height (H)(Ft.)</i>	<i>L x W x H = (Ft3)</i>	<i>Gallons</i>

Total: _____ Gallons

30. Piping:

- All piping, hoses, and dispensers will be located inside the containment structure.
- Some of the piping to dispensers or equipment will extend outside the containment structure.
- The piping will be aboveground
- The piping will be underground

31. The containment area must be constructed of and in a material impervious to the substance(s) being stored. The proposed containment structure will be constructed of: _____.

32. **Attachment H - AST Containment Structure Drawings.** A scaled drawing of the containment structure is attached that shows the following:

- Interior dimensions (length, width, depth and wall and floor thickness).
- Internal drainage to a point convenient for the collection of any spillage.
- Tanks clearly labeled
- Piping clearly labeled
- Dispenser clearly labeled

33. Any spills must be directed to a point convenient for collection and recovery. Spills from storage tank facilities must be removed from the controlled drainage area for disposal within 24 hours of the spill.

- In the event of a spill, any spillage will be removed from the containment structure within 24 hours of the spill and disposed of properly.

- In the event of a spill, any spillage will be drained from the containment structure through a drain and valve within 24 hours of the spill and disposed of properly. The drain and valve system are shown in detail on the scaled drawing.

Site Plan Requirements

Items 34 - 46 must be included on the Site Plan.

34. The Site Plan must have a minimum scale of 1" = 400'.
Site Plan Scale: 1" = 100'.
35. 100-year floodplain boundaries:
- Some part(s) of the project site is located within the 100-year floodplain. The floodplain is shown and labeled.
- No part of the project site is located within the 100-year floodplain.
The 100-year floodplain boundaries are based on the following specific (including date of material) sources(s): _____.
36. The layout of the development is shown with existing and finished contours at appropriate, but not greater than ten-foot contour intervals. Lots, recreation centers, buildings, roads, etc. are shown on the site plan.
- The layout of the development is shown with existing contours at appropriate, but not greater than ten-foot contour intervals. Finished topographic contours will not differ from the existing topographic configuration and are not shown. Lots, recreation centers, buildings, roads, etc. are shown on the site plan.
37. A drainage plan showing all paths of drainage from the site to surface streams.
38. The drainage patterns and approximate slopes anticipated after major grading activities.
39. Areas of soil disturbance and areas which will not be disturbed.
40. Locations of major structural and nonstructural controls. These are the temporary and permanent best management practices.
41. Locations where soil stabilization practices are expected to occur.
42. Surface waters (including wetlands).
 N/A
43. Locations where stormwater discharges to surface water.
 There will be no discharges to surface water.
44. Temporary aboveground storage tank facilities.
 Temporary aboveground storage tank facilities will not be located on this site.

45. Permanent aboveground storage tank facilities.
 Permanent aboveground storage tank facilities will not be located on this site.
46. Legal boundaries of the site are shown.

Permanent Best Management Practices (BMPs)

Practices and measures that will be used during and after construction is completed.

47. Permanent BMPs and measures must be implemented to control the discharge of pollution from regulated activities after the completion of construction.
 N/A
48. These practices and measures have been designed, and will be constructed, operated, and maintained to insure that 80% of the incremental increase in the annual mass loading of total suspended solids (TSS) from the site caused by the regulated activity is removed. These quantities have been calculated in accordance with technical guidance prepared or accepted by the executive director.
 The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site.
 A technical guidance other than the TCEQ TGM was used to design permanent BMPs and measures for this site. The complete citation for the technical guidance that was used is: RG-348.
 N/A
49. Owners must insure that permanent BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the appropriate regional office within 30 days of site completion.
 N/A
50. Where a site is used for low density single-family residential development and has 20 % or less impervious cover, other permanent BMPs are not required. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.
 The site will be used for low density single-family residential development and has 20% or less impervious cover.
 The site will be used for low density single-family residential development but has more than 20% impervious cover.
 The site will not be used for low density single-family residential development.

51. The executive director may waive the requirement for other permanent BMPs for multi-family residential developments, schools, or small business sites where 20% or less impervious cover is used at the site. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

- Attachment I - 20% or Less Impervious Cover Waiver.** The site will be used for multi-family residential developments, schools, or small business sites and has 20% or less impervious cover. A request to waive the requirements for other permanent BMPs and measures is attached.
- The site will be used for multi-family residential developments, schools, or small business sites but has more than 20% impervious cover.
- The site will not be used for multi-family residential developments, schools, or small business sites.

52. **Attachment J - BMPs for Upgradient Stormwater.**

- A description of the BMPs and measures that will be used to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site is attached.
- No surface water, groundwater or stormwater originates upgradient from the site and flows across the site, and an explanation is attached.
- Permanent BMPs or measures are not required to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site, and an explanation is attached.

53. **Attachment K - BMPs for On-site Stormwater.**

- A description of the BMPs and measures that will be used to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff from the site is attached.
- Permanent BMPs or measures are not required to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff, and an explanation is attached.

54. **Attachment L - BMPs for Surface Streams.** A description of the BMPs and measures that prevent pollutants from entering surface streams is attached.

N/A

55. **Attachment M - Construction Plans.** Construction plans and design calculations for the proposed permanent BMPs and measures have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer, and are signed, sealed, and dated. Construction plans for the proposed permanent BMPs and measures are

attached and include: Design calculations, TCEQ Construction Notes, all proposed structural plans and specifications, and appropriate details.

N/A

56. **Attachment N - Inspection, Maintenance, Repair and Retrofit Plan.** A site and BMP specific plan for the inspection, maintenance, repair, and, if necessary, retrofit of the permanent BMPs and measures is attached. The plan fulfills all of the following:

- Prepared and certified by the engineer designing the permanent BMPs and measures
- Signed by the owner or responsible party
- Outlines specific procedures for documenting inspections, maintenance, repairs, and, if necessary, retrofit.
- Contains a discussion of record keeping procedures

N/A

57. **Attachment O - Pilot-Scale Field Testing Plan.** Pilot studies for BMPs that are not recognized by the Executive Director require prior approval from the TCEQ. A plan for pilot-scale field testing is attached.

N/A

58. **Attachment P - Measures for Minimizing Surface Stream Contamination.** A description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is attached. The measures address increased stream flashing, the creation of stronger flows and in-stream velocities, and other in-stream effects caused by the regulated activity, which increase erosion that result in water quality degradation.

N/A

Responsibility for Maintenance of Permanent BMPs and Measures after Construction is Complete.

59. The applicant is responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred.
60. A copy of the transfer of responsibility must be filed with the executive director at the appropriate regional office within 30 days of the transfer if the site is for use as a multiple single-family residential development, a multi-family residential development,

or a non-residential development such as commercial, industrial, institutional, schools, and other sites where regulated activities occur.

Administrative Information

61. Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions.
62. Any modification of this Contributing Zone Plan may require TCEQ review and Executive Director approval prior to construction, and may require submission of a revised application, with appropriate fees.
63. The site description, controls, maintenance, and inspection requirements for the storm water pollution prevention plan (SWPPP) developed under the EPA NPDES general permits for stormwater discharges have been submitted to fulfill paragraphs 30 TAC §213.24(1-5) of the technical report. All requirements of 30 TAC §213.24(1-5) have been met by the SWPPP document.
 The Temporary Stormwater Section (TCEQ-0602) is included with the application.



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ATTACHMENT A

ROAD MAP



BRUSHY CREEK RD

SUBJECT SITE
+/- 2.92 acres

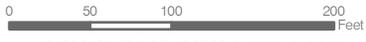
Legend

 Subject Site

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Attachment A: Road Map
Williamson County Champion
3830 Brushy Creek Road
Cedar Park, Williamson County, Texas 78613



31206105.00 | 09.16.2020 | WGINC.COM

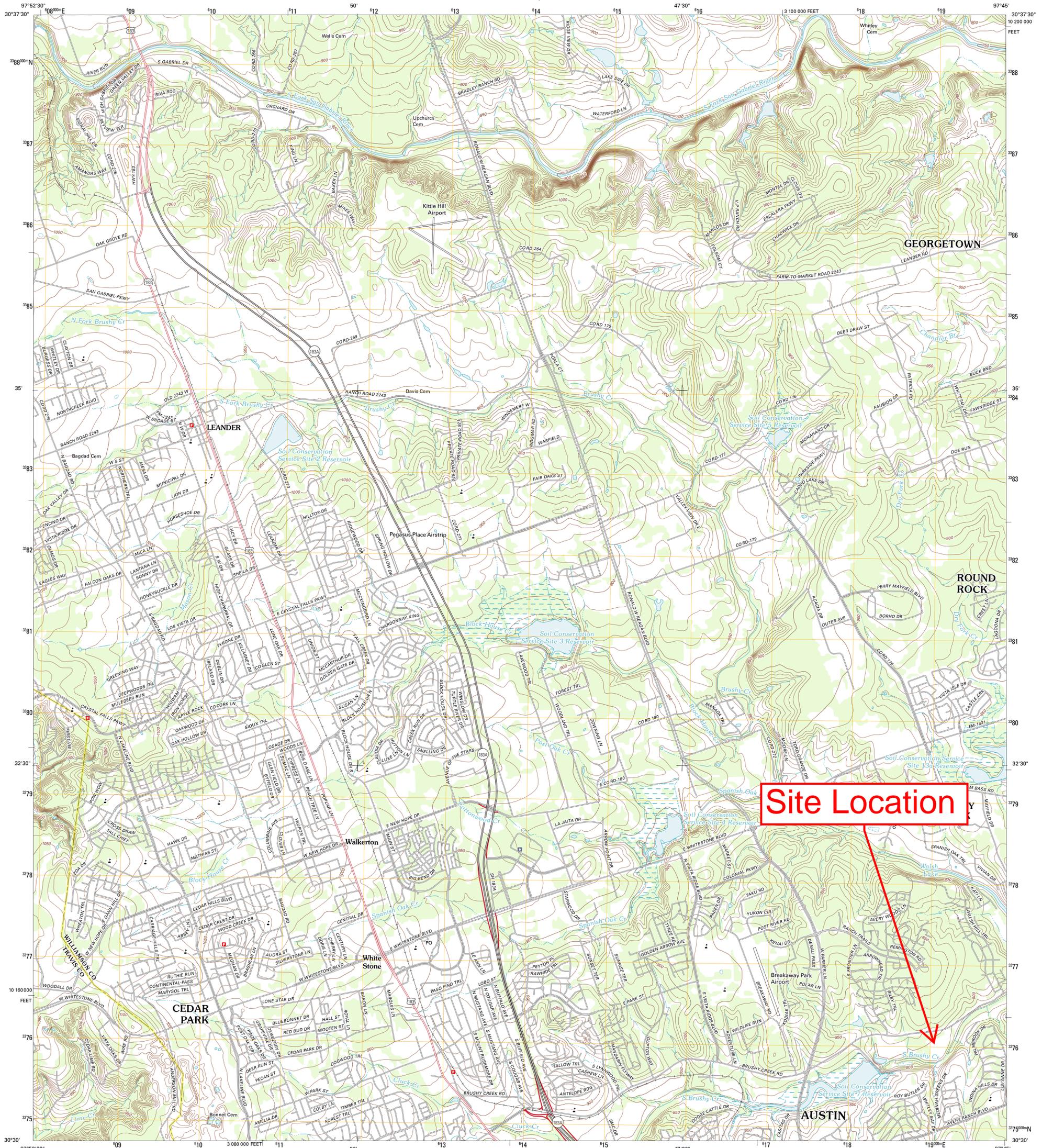




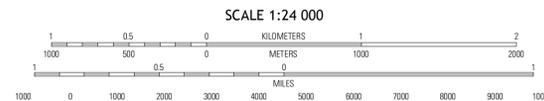
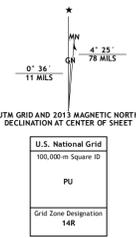
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ATTACHMENT B

USGS QUADRANGLE MAP



Produced by the United States Geological Survey North American Datum of 1983 (NAD83) World Geodetic System of 1984 (WGS84). Projection and 1 000-meter grid: Universal Transverse Mercator, Zone 14R 10 000-foot ticks: Texas Coordinate System of 1983 (central zone)



ROAD CLASSIFICATION table with symbols for Interstate Route, US Route, Ramp, State Route, Local Road, and 4WD.

Table showing the 3x3 grid of adjacent 7.5-minute quadrangles: Liberty Hill, Leander, Georgetown, Nameless, Leander, Round Rock, Mansfield Dam, Jollyville, Pflugerville West.

LEANDER, TX 2013

This map was produced to conform with the National Geospatial Program US Topo Product Standard, 2011. A metadata file associated with this product is draft version 0.6.7



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ATTACHMENT C

PROJECT NARRATIVE



September 28, 2020

31206105.00.00

Texas Commission of Environmental Quality (TCEQ)
12100 Park 35 Circle
Austin, Texas 78753

RE: Engineer's Summary Letter
Williamson County Champion Park
3830 Brushy Creek Road, Cedar Park, Williamson County, Texas

To Whom It May Concern:

Please accept this Engineer's summary letter and accompanying Contributing Zone Plan (CZP) application packet as our formal submittal for a CZP for the above referenced project. The subject property is ± 32.7 acres in Champion Park, Cedar Park, Williamson County, Texas. The limits of construction are ± 2.92 acres. The project is located entirely within the Full Purpose limits of the City of Cedar Park, in Williamson County, Texas.

The proposed project includes the construction a parking lot totaling 127,195 sf. The total proposed impervious cover on the site is 8.9%. Other necessary site improvements for grading and drainage improvements, and environmental protection will also be included. All proposed improvements will be developed in accordance with the provisions contained in the City of Cedar Park Site Development Standards.

The subject site is located within the Edwards Aquifer Contributing Zone. No portion of the subject site is located within the 100-year floodplain according to the FEMA Flood Insurance Map Panel No. 48491C0465E, dated September 26, 2008.

The project is in the South Brushy Creek Watershed. Water quality controls are required when impervious cover is in excess of 20% of the site. City of Cedar Park requires construction of vegetated filter strips (or approved alternative treatments) to treat the first $\frac{1}{2}$ -in of storm water sheet flow from the site plus an additional $\frac{1}{10}$ of an inch for every 10% over the first 20% of impervious cover on site.

Water quality for our site will be provided by vegetated filtration strips.

The City of Cedar Park is the water and wastewater provider for the site. There is an existing waterline the bisects this site and an existing wastewater line that also cuts through this site.

To our knowledge, the enclosed application materials are complete, correct, and in full compliance with the Technical Criteria Manuals of the TCEQ. Should you have any questions regarding this project or application, please do not hesitate to contact our office.

Sincerely,

WGI

Texas Engineering Firm No. F-15085

A handwritten signature in black ink, appearing to read 'Thomas Lombardi, Jr.', written over a light blue horizontal line.

Thomas Lombardi, Jr., PE
Team Leader



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ATTACHMENT D

FACTORS AFFECTING SURFACE WATER QUALITY



Contributing Zone Application (TCEQ-10257)

Attachment D Factors Affecting Surface Water Quality

The 2.92 acres of subject site drains to South Brushy Creek, which is located to the southeast of the subject site.

Factors affecting surface water quality include:

1. Oil and grease from the asphalt pavement and vehicle traffic.
2. Construction activity during the construction process (temporary). All activities will be conducted in a manner to minimize the potential for impact to the environment.
3. Normal silt build-up.
4. Trash which becomes loose from the subdivision residents.
5. Fertilizers used in the landscaping around the development.

Natural vegetated filter strips will be used as water quality Best Management Practices (BMP) with this project.



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ATTACHMENT E

VOLUME AND CHARACTER OF STORMWATER



Contributing Zone Application (TCEQ-10257)

Attachment E Volume and Character of Stormwater

The increase in impervious cover and vehicular traffic associated with this development will increase the pollutants which could potentially drain into the stormwater runoff. Runoff contaminants will most likely include oil and grease from vehicular use on the proposed public roadways as well as lawn fertilizers and clippings (please reference Attachment D of this section for more information). Due to the natural topography of the subject site and placement of the impervious cover, the proposed grading and drainage plan incorporates vegetated filter strips (BMPs) to capture the runoff from the impervious cover and adjacent areas. All corresponding calculations can be found on the Existing and Proposed Drainage Area Maps and Drainage Calculation sheets of the accompanying plan set.



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ATTCHMENT F

SUITABILITY LETTER FROM AUTHORIZED AGENT (OSSF)

NOT APPLICABLE



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ATTACHMENT G

ALTERNATIVE SECONDARY CONTAINMENT METHODS

NOT APPLICABLE



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ATTACHMENT H
AST CONTAINMENT STRUCTURE DRAWINGS

NOT APPLICABLE



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ATTACHMENT I

20% OR LESS IMPERVIOUS COVER WAIVER

NOT APPLICABLE



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ATTACHMENT J

BMPS FOR UPGRADIENT STORMWATER



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Contributing Zone Application (TCEQ-10257)

Attachment J BMPs for Upgradient Stormwater

Silt fences, mulch sock, rock berms, stabilized construction entrances, and inlet filters will be used as temporary Best Management Practices (BMPs) for stormwater that originates upstream of the subject site. Please reference the “Erosion and Sedimentation Control Plan” sheet.



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ATTACHMENT K

BMPS FOR ON-SITE STORMWATER



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Contributing Zone Application (TCEQ-10257)

Attachment K BMPs for On-Site Stormwater

Vegetated filter strips are proposed for the development which will treat the 2.92-acres of the subject site. The water quality controls have been designed per the Texas Commission on Environmental Qualities Technical Guidance Manual and will provide water quality for the proposed project.



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ATTACHMENT L

BMPS FOR SURFACE STREAMS



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Contributing Zone Application (TCEQ-10257)

Attachment L BMPs for Surface Streams

Vegetated filter strips are proposed for the development which will treat the 2.92-acres of the subject site. All pollutants will be collected in the filter strips and prevented from entering any surface stream. The water quality controls have been designed per the City of Austin Environmental Criteria manual and the Texas Commission on Environmental Qualities Technical Guidance Manual and will provide water quality for the proposed project.



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ATTACHMENT M **CONSTRUCTION PLANS**



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Contributing Zone Application (TCEQ-10257)

Attachment M Construction Plans

Construction plans have been included with this application.



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ATTACHMENT N
INSPECTION, MAINTENANCE, REPAIR AND RETROFIT
PLAN



Contributing Zone Application (TCEQ-10257)

Attachment N Inspection, Maintenance, Repair, and Retrofit Plan

The owner will be responsible for inspection, maintenance and repair for the proposed vegetative filter strips associated with the Champion Park project.

The City of Cedar Park defers water quality control to the TCEQ's rules. Per the TCEQ's Complying with the Edwards Aquifer Rules, Water quality controls required for commercial and multi-family development shall be maintained by the property owner.

Vegetative Filter Strips (See Section 3.5.8).

Once a vegetated area is well established, little additional maintenance is generally necessary. The key to establishing a viable vegetated feature is the care and maintenance it receives in the first few months after it is planted. Once established, all vegetated BMPs require some basic maintenance to ensure the health of the plants including:

- *Pest Management.* An Integrated Pest Management (IPM) Plan should be developed for vegetated areas. This plan should specify how problem insects and weeds will be controlled with minimal or no use of insecticides and herbicides.
- *Seasonal Mowing and Lawn Care.* If the filter strip is made up of turf grass, it should be mowed as needed to limit vegetation height to 18 inches, using a mulching mower (or removal of clippings). If native grasses are used, the filter may require less frequent mowing, but a minimum of twice annually. Grass clippings and brush debris should not be deposited on vegetated filter strip areas. Regular mowing should also include weed control practices; however herbicide use should be kept to a minimum (Urbonas et al., 1992). Healthy grass can be maintained without using fertilizers because runoff usually contains sufficient nutrients. Irrigation of the site can help assure a dense and healthy vegetative cover.
- *Inspection.* Inspect filter strips at least twice annually for erosion or damage to vegetation; however, additional inspection after periods of heavy runoff is most desirable. The strip should be checked for uniformity of grass cover, debris and litter, and areas of sediment accumulation. More frequent inspections of the grass cover during the first few years after establishment will help to determine if any problems are developing, and to plan for long-term restorative maintenance

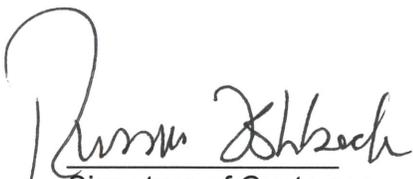


needs. Bare spots and areas of erosion identified during semi-annual inspections must be replanted and restored to meet specifications. Construction of a level spreader device may be necessary to reestablish shallow overland flow.

- *Debris and Litter Removal.* Trash tends to accumulate in vegetated areas, particularly along highways. Any filter strip structures (i.e. level spreaders) should be kept free of obstructions to reduce floatables being flushed downstream, and for aesthetic reasons. The need for this practice is determined through periodic inspection, but should be performed no less than 4 times per year.

- *Sediment Removal.* Sediment removal is not normally required in filter strips, since the vegetation normally grows through it and binds it to the soil. However, sediment may accumulate along the upstream boundary of the strip preventing uniform overland flow. Excess sediment should be removed by hand or with flat-bottomed shovels.

- *Grass Reseeding and Mulching.* A healthy dense grass should be maintained on the filter strip. If areas are eroded, they should be filled, compacted, and reseeded so that the final grade is level. Grass damaged during the sediment removal process should be promptly replaced using the same seed mix used during filter strip establishment. If possible, flow should be diverted from the damaged areas until the grass is firmly established. Bare spots and areas of erosion identified during semi-annual inspections must be replanted and restored to meet specifications. Corrective maintenance, such as weeding or replanting should be done more frequently in the first two to three years after installation to ensure stabilization. Dense vegetation may require irrigation immediately after planting, and during particularly dry periods, particularly as the vegetation is initially established.


Signature of Customer

9-16-20
Date

Signature of Agent

Date



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ATTACHMENT O
PILOT-SCALE FIELD TESTING PLAN

NOT APPLICABLE



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ATTACHMENT P
**MEASURES FOR MINIMIZING SURFACE STREAM
CONTAMINATION**



Contributing Zone Application (TCEQ-10257)

Attachment P

Measures for Minimizing Surface Stream Contamination

Vegetative filter strips proposed for the development which will treat the 2.92-acres of the subject site. All pollutants will be collected in the filter strips and prevented from entering any surface stream. The sheet flow from the site will be filtered and will be reduced in velocity via the surface area of the filter strips. The water quality controls have been designed the Texas Commission on Environmental Qualities Technical Guidance Manual and will provide water quality for the proposed project.



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Temporary Stormwater Section (TCEQ-0602), **3**

Temporary Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: THOMAS LOMBARDI JR.

Date: 09/15/2020

Signature of Customer/Agent:



Regulated Entity Name: CHAMPION PARK

Project Information

Potential Sources of Contamination

Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.

1. Fuels for construction equipment and hazardous substances which will be used during construction:

The following fuels and/or hazardous substances will be stored on the site: _____

These fuels and/or hazardous substances will be stored in:

- Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

- Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
- Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- Fuels and hazardous substances will not be stored on the site.
- 2. **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3. Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4. **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

Sequence of Construction

- 5. **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
 - For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
 - For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6. Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: SOUTH BRUSHY CREEK

Temporary Best Management Practices (TBMPs)

Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.

- 7. **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
 - A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
 - A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
 - A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8. The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
 - There will be no temporary sealing of naturally-occurring sensitive features on the site.
9. **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10. **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
 - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
 - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
 - There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

- There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.
11. **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.
- N/A
12. **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13. All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14. If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15. Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

Soil Stabilization Practices

Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.

17. **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

18. Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
19. Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

Administrative Information

20. All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
21. If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
22. Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.



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ATTACHMENT A

SPILL RESONSE ACTIONS



Temporary Stormwater Section (TCEQ-0602)

Attachment A Spill Response Actions

In the event of accidental spills of hazardous materials or hydrocarbons, the contractor will be required to maintain a stockpile of sand material in the construction staging area. This sand material will be used to provide a dike to contain large spills and to provide an absorbent material that can be disposed of off the Edwards Aquifer Recharge, Contributing and Transition Zones during the cleanup process. The contractor will be required to contact the owner, who will notify the Texas Commission on Environmental Quality (TCEQ) in the event of a spill. It is required that all contaminated soils be removed from the project site and disposed of in accordance with applicable regulations off of the Edwards Aquifer Recharge, Contributing and Transition Zones. Below are measure outlined by the TCEQ for spill prevention and response.

Education

1. Be aware that different materials pollute in different amounts. Make sure that each employee knows what a “significant spill” is for each material they use, and what is the appropriate response for “significant” and “insignificant” spills. Employees should also be aware of when spill must be reported to the TCEQ. Additional information is available in 30 TAC 327.4 and 40 CFR 302.4.
2. Educate employees and subcontractors on potential dangers to humans and the animals.
3. Hold regular meetings to discuss and reinforce appropriate disposal procedures (incorporate into regular safety meetings).
4. Establish a continuing education program to indoctrinate new employees.
5. Have contractor’s superintendent or representative oversee and enforce proper spill prevention and control measures.

General Measures

1. To the extent that the work can be accomplished safely, spills of oil, petroleum products, substances listed under 40 CFR parts 110,117, and 302, and sanitary and septic wastes should be contained and cleaned up immediately.
2. Store hazardous materials and wastes in covered containers and protect from vandalism.



3. Place a stockpile of spill cleanup materials where it will be readily accessible.
4. Train employees in spill prevention and cleanup.
5. Designate responsible individuals to oversee and enforce control measures.
6. Spills should be covered and protected from storm water run-on during rainfall to the extent that it doesn't compromise cleanup activities.
7. Do not bury or wash spills with water.
8. Store and dispose of used clean up materials, contaminated materials, and recovered spill material that is no longer suitable for the intended purpose in conformance with the provisions in applicable BMPs.
9. Do not allow water used for cleaning and decontamination to enter storm drains or watercourses. Collect and dispose of contaminated water in accordance with applicable regulations.
10. Contain water overflow or minor water spillage and do not allow it to discharge into drainage facilities or watercourses.
11. Place Material Safety Data Sheets (MSDS), as well as proper storage, cleanup, and spill reporting instructions for hazardous materials stored or used on the project site in an open, conspicuous, and accessible location.
12. Keep waste storage areas clean, well-organized, and equipped with ample cleanup supplies as appropriate for the materials being stored. Perimeter controls, containment structures, covers, and liners should be repaired or replaced as needed to maintain proper function.

Cleanup

1. Clean up leaks and spills immediately.
2. Use a rag for small spills on paved surfaces, a damp mop for general cleanup, and absorbent material for larger spills. If the spilled material is hazardous, then the used cleanup materials are also hazardous and must be disposed of as hazardous waste.
3. Never hose down or bury dry material spills. Clean up as much of the material as possible and dispose of properly. See the waste management BMPs in this section for specific information.

Minor Spills

1. Minor spills typically involve small quantities of oil, gasoline, paint, etc. which can be controlled by the first responder at the discovery of the spill.



2. Use absorbent materials on small spills rather than hosing down or burying the spill.
3. Absorbent materials should be promptly removed and disposed of properly.
4. Follow the practice below for a minor spill
 - a. Contain the spread of the spill.
 - b. Recover spilled materials.
 - c. Clean the contaminated area and properly dispose of contaminated materials.

Semi-Significant Spills

Semi-significant spills still can be controlled by the first responder along with the aid of other personnel such as laborers and the foreman, etc. This response may require the cessation of all other activities.

Spills should be cleaned up immediately:

1. Contain spread of the spill.
2. Notify the project foreman immediately.
3. If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (absorbent materials, cat litter and/or rags). Contain the spill by encircling with absorbent materials and do not let the spill spread widely.
4. If the spill occurs in dirt areas, immediately contain the spill by constructing an earthen dike. Dig up and properly dispose of contaminated soil.
5. If the spill occurs during rain, cover spill with tarps or other material to prevent contaminating runoff.

Significant/Hazardous Spills

For significant or hazardous spills that are in reportable quantities:

1. Notify the TCEQ by telephone as soon as possible and within 24 hours at 512-339-2929 (Austin) or 210-490-3096 (San Antonio) between 8 AM and 5 PM. After hours, contact the Environmental Release Hotline at 1-800-832-8224. It is the contractor's responsibility to have all emergency phone numbers at the construction site.
2. For spills of federal reportable quantities, in conformance with the requirements in 40 CFR parts 110, 119, and 302, the contractor should notify the National Response Center at 1-800-424-8802.



1. 3.Notification should first be made by telephone and followed up with a written report.
3. The services of a spills contractor or a Hazmat team should be obtained immediately.
2. Construction personnel should not attempt to clean up until the appropriate and qualified staffs have arrived at the job site.
4. Other agencies which may need to be consulted including, but are not limited to, the City Police Department, County Sheriff Office, Fire Departments, etc.
5. More information on spill rules and appropriate responses is available on the TCEQ website at: <https://www.tceq.texas.gov/response>

Vehicle and Equipment Maintenance

1. If maintenance must occur on-site, use a designated area and a secondary containment, located away from drainage courses, to prevent the run-on of storm water and the runoff of spills.
2. Regularly inspect onsite vehicles and equipment for leaks and repair immediately
3. Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment onsite.
4. Always use secondary containment, such as a drain pan or drop cloth, to catch spills or leaks when removing or changing fluids.
5. Place drip pans or absorbent materials under paving equipment when not in use.
6. Use absorbent materials on small spills rather than hosing down or burying the spill. Remove the absorbent materials promptly and dispose of properly.
7. Promptly transfer used fluids to the proper waste or recycling drums. Don't leave full drip pans or other open containers lying around.
8. Oil filters disposed of in trashcans or dumpsters can leak oil and pollute storm water. Place the oil filter in a funnel over a waste oil-recycling drum to drain excess oil before disposal. Oil filters can also be recycled. Ask the oil supplier or recycler about recycling oil filters.
9. Store cracked batteries in a non-leaking secondary container. Do this with all cracked batteries even if you think all the acid has drained out. If you drop a battery, treat it as if it is cracked. Put it into the containment area until you are sure it is not leaking.

Vehicle and Equipment Fueling



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1. If fueling must occur on site, use designated areas, located away from drainage courses, to prevent the run-on of storm water and the runoff of spills.
2. Discourage “topping off” of fuel tanks.
3. Always use secondary containment, such as a drain pan, when fueling to catch spills/ leaks.



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ATTACHMENT B

POTENTIAL SOURCES OF CONTAMINATION



Temporary Stormwater Section (TCEQ-0602)

Attachment B Potential Sources of Contamination

Potential Sources of Pollutants during Construction

1. Soil erosion due to construction.
2. Oil, grease, fuel and hydraulic fluid contamination from construction equipment and vehicle drippings.
3. Miscellaneous trash and debris from construction and material wrappings.
4. Portable toilet spills.

Potential Sources of Pollutants after Construction

1. Traffic related pollutants from cars, roads and driveways.
2. Improper disposal of trash.
3. Pesticides, herbicides and fertilizers.

Please refer to Attachment A: Spill Response Actions of this report for more information and details for preventative and responsive actions to treat potential sources of contamination.



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ATTACHMENT C

SEQUENCE OF MAJOR ACTIVITIES



Temporary Stormwater Section (TCEQ-0602)

Attachment C Sequence of Major Activities

The construction activities for the Champion Park project involves general site preparation, which consists of silt fencing, a construction staging area, a concrete truck washout pit, a temporary construction entrance, clearing and grubbing of vegetation, excavation and grading within the entire acreage of the project site. See the attached Site Plan for details of sequencing and installation of temporary measures. All disturbed soil areas shall be re-vegetated.

Major Construction Activities and Sequencing

The major construction activities for this project will include and be sequenced as follows:

1. Trees will be fertilized prior to any construction activity. (0.5 AC)
2. Install Best Management Practices which shall consist of the following: silt fencing, a construction staging area, a concrete truck washout pit, rock filter berms, and a temporary construction entrance. (2.92 AC)
3. Begin demolition, clearing and construction activities. (2.92 AC)
4. Initial grading operation to achieve parking lot shape and sizing. (2.92 AC).
5. Begin rough cut for utilities, install proposed utilities, and dispose all demolished material to an approved off-site facility (2.92 AC).
6. Final grading of filter strips and curb. (2.92 AC)
7. Temporary controls to be inspected and maintained weekly and prior to any anticipated rainfall event, and after rainfall events as needed. (2.92 AC)
8. The contractor is responsible for implementing and maintaining the storm water pollution prevention plan.
9. Complete permanent erosion control and restoration of site vegetation (2.92 AC)



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ATTACHMENT D
TEMPORARY BEST MANAGEMENT PRACTICES AND
MEASURES



Temporary Stormwater Section (TCEQ-0602)

Attachment D

Temporary Best Management Practices and Measures

The following Temporary Best Management Practices (BMP) and measures will be utilized during construction and remain in place until final site stabilization:

1. Silt fencing, a construction staging area, a concrete truck washout pit, and a temporary construction entrance / exit will be used in accordance with the latest edition TCEQ Technical Guidance Manual details and criteria, to prevent pollution of surface water and groundwater that originates both up-gradient and on-site.
2. Silt fences, construction entrance / exit, and a concrete truck washout pit shall be in place before the first phase of construction for the commercial site is to begin. The temporary construction entrance / exit, construction staging area and concrete wash out pit will prevent sediments from flowing into public right-of-ways. The fencing will be installed downstream of cut/fill areas. The locations of the silt fence were based on the criteria to limit the drainage area of disturbed soil to $\frac{1}{4}$ acres per 100 linear feet of fencing.
3. Silt fences will intercept any pollutants from entering the surfaces waters of Brushy Creek. The locations of the silt fences were based on the criteria to limit the drainage area of disturbed soil to less than 5 acres. The placement of the temporary measures was based on the layout of streets and drains.
4. The BMP design for the site has been planned to prevent construction runoff and pollutants from directly entering surface streams, sensitive features or the aquifer.



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ATTACHMENT E
REQUEST TO TEMPORARY SEAL A FEATURE

NOT APPLICABLE



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ATTACHMENT F

STRUCTURAL PRACTICES



Temporary Stormwater Section (TCEQ-0602)

Attachment F Structural Practice

The following structural measures will be installed prior to construction of the project and in accordance with the latest edition of “Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices” (TCEQ RG-348) and its details and criteria.

1. Installation of silt fences along the boundary of the road right-of-ways and limits of construction.
2. Installation of a stabilized construction entrance/ exit to minimize the tracking of mud and debris offsite by vehicles.
3. Installation of construction staging areas and concrete washout pit.



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ATTACHMENT G

DRAINAGE AREA MAP



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Temporary Stormwater Section (TCEQ-0602)

Attachment G Drainage Area Map

Copy of the “Existing Drainage Area Map” and “Proposed Drainage Area Map” has been included in the Champion Park plan set.



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ATTACHMENT H
TEMPORARY SEDIMENT PONDS PLANS AND
CALCULATIONS

NOT APPLICABLE



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ATTACHMENT I

INSPECTION AND MAINTENANCE FOR BMPS



Temporary Stormwater Section (TCEQ-0602)

Attachment I Inspection and Maintenance for BMPs

Inspection

Designated and qualified person(s) should inspect the Pollution Control Measures every seven (7) days and after each rainfall event. An inspection report that summarizes the scope of the inspection, names and qualifications of personnel conducting the inspection, date of the inspection, major observations and actions that will be taken as a result of the inspection should be kept with the TPDES data for the project. The general contractor will be responsible to review and reference sections 1.3 and 1.4 of “Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices” (TCEQ RG-348) for erosion and sedimentation control and maintenance as applicable.

Construction Entrance / Exit and Construction Staging Area Maintenance

1. The entrance should be maintained in a condition, which will prevent tracking or flowing of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or clean out of any measures used to trap sediment.
2. All sediment spilled, dropped, washed or tracked on to public right-of-ways should be removed immediately by the contractor.
3. When necessary, wheels should be cleaned to remove sediment prior to entrance onto public right-of-ways.
4. When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin.
5. All sediment should be prevented from entering any storm drain, ditch or watercourse by using approved methods.

Silt Fence Maintenance

1. Inspect all fencing weekly, and after any rainfall.
2. Remove sediment when buildup reaches 6 inches.



3. Replace any torn fabric or install a second line of fencing parallel to the torn section.
4. Replace or repair any sections crushed or collapsed in the course of construction activity. If a section of fence is obstructing vehicular access, consider relocating it to a spot where it will provide equal protection, but will not obstruct vehicles. A triangular filter dike may be preferable to a silt fence at common vehicle access points.
5. When construction is complete, the sediment should be disposed of in a manner that will not cause additional siltation and the prior location of the silt fence should be re-vegetated. The fence itself should be disposed of in an approved landfill.

Curb Inlet Gravel Filter Structure Maintenance

1. Inspection should be made weekly or after each rainfall event and repair or replacement should be made promptly as needed by the contractor.
2. Inspect and realign dikes as needed to prevent gaps between sections.
3. Accumulated silt should be removed after each rainfall, and disposed of in a manner which will not cause additional siltation.
4. After the site is completely stabilized, the dikes and any remaining silt should be removed. Silt should be disposed of in a manner that will not contribute to additional siltation.



SAMPLE INSPECTION REPORT

NAME & QUALIFICATION OF INSPECTOR: _____

Date of Inspection: _____

Inspectors shall observe the following items on each inspection:

- Disturbed areas that have not been fully stabilized
- Areas used for storage of materials that are exposed to precipitation
- Control measures outlined in the site plan
- Locations where vehicles enter/exit the site

Inspectors shall denote if any corrective actions are required and when the action was completed.

Major Observations:

Corrective Actions Required:

Corrective Actions Performed:

Signature

Date



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ATTACHMENT J
SCHEDULE OF INTERIM AND PERMANENT SOIL
STABILIZATION PRACTICES



Temporary Stormwater Section (TCEQ-0602)

Attachment J

Schedule of Interim and Permanent Soil Stabilization

Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Where the initiation of stabilization measures by the 14th day after construction activity temporarily or permanently ceased is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable. Where construction activity on a portion of the site is temporarily ceased, and earth disturbing activities will be resumed within 21 days, temporary stabilization measures do not have to be initiated on that portion of site. In areas experiencing droughts where the initiation of stabilization measures by the 14th day after construction activity has temporarily or permanently ceased is precluded by seasonal arid conditions, stabilization measures shall be initiated as soon as practicable. Below are guidelines from TCEQ for the installation of sod to stabilized exposed areas.

Materials:

Hydraulic Mulches:

Wood fiber mulch can be applied alone or as a component of hydraulic matrices. Wood fiber applied alone is typically applied at the rate of 2,000 to 4,000 lb/acre. Wood fiber mulch is manufactured from wood or wood waste from lumber mills or from urban sources.

Hydraulic Matrices:

Hydraulic matrices include a mixture of wood fiber and acrylic polymer or other tackifier as binder. Apply as a liquid slurry using a hydraulic application machine (i.e., hydro seeder) at the following minimum rates, or as specified by the manufacturer to achieve complete coverage of the target area: 2,000 to 4,000 lb/acre wood fiber mulch, and 5 to 10% (by weight) of tackifier (acrylic copolymer, guar, psyllium, etc.)

Bonded Fiber Matrix:

Bonded fiber matrix (BFM) is a hydraulically applied system of fibers and adhesives that upon drying forms an erosion resistant blanket that promotes vegetation, and prevents soil erosion. BFMs are typically applied at rates from 3,000 lb/acre to 4,000 lb/acre based on the manufacturer's recommendation. A biodegradable BFM is composed of



materials that are 100% biodegradable. The binder in the BFM should also be biodegradable and should not dissolve or disperse upon re-wetting. Typically, biodegradable BFMs should not be applied immediately before, during or immediately after rainfall if the soil is saturated. Depending on the product, BFMs typically require 12 to 24 hours to dry and become effective.

Installation:

1. Prior to application, roughen embankment and fill areas by rolling with a crimping or punching type roller or by track walking. Track walking shall only be used where other methods are impractical.
2. To be effective, hydraulic matrices require 24 hours to dry before rainfall occurs.
3. Avoid mulch over spray onto roads, sidewalks, drainage channels, existing vegetation, etc.

Inspection and Maintenance Guidelines:

1. Mulched areas should be inspected weekly and after each rain event to locate and repair any damage.
2. Areas damaged by storms or normal construction activities should be regarded and hydraulic mulch reapplied as soon as practical.



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Notice of Intent, **4**



TCEQ Notice of Intent (NOI) for Stormwater Discharges Associated with Construction Activity under TPDES General Permit (TXR150000)

IMPORTANT:

- Use the [INSTRUCTIONS](#) to fill out each question in this form.
- Use the [CHECKLIST](#) to make certain you filled out all required information. Incomplete applications **WILL** delay approval or result in denial.
- Once processed your permit can be viewed at: <http://www.tceq.texas.gov/goto/wq-dpa>

ePERMITS: Sign up now for online NOI: <https://www3.tceq.texas.gov/steers/>
 Pay a \$225 reduced application fee by using ePermits.

APPLICATION FEE:

- You must pay the **\$325** Application Fee to TCEQ for the paper application to be complete.
- Payment and NOI must be mailed to separate addresses.
- Did you know you can pay on line?
 - Go to <http://www.tceq.texas.gov/goto/epay>
 - Select Fee Type: GENERAL PERMIT CONSTRUCTION STORM WATER DISCHARGE NOI APPLICATION
- **Provide your payment information below, for verification of payment:**

Mailed	Check/Money Order Number: _____
	Name Printed on Check: _____
	Copy of check enclosed? Yes
EPAY	Voucher Number: _____
	Is the Payment Voucher copy attached? Yes

RENEWAL: Is this NOI a Renewal of an existing General Permit Authorization?
(Note: A permit cannot be renewed after June 3, 2013.)

Yes The Permit number is: TXR15_____

(If a permit number is not provided, a new number will be assigned.)

No

1) OPERATOR (Applicant)

a) If the applicant is currently a customer with TCEQ, what is the Customer Number (CN) issued to this entity? You may search for your CN at:
<http://www.tceq.texas.gov/goto/cr-customer>

CN_____

b) What is the Legal Name of the entity (applicant) applying for this permit?

(The legal name must be spelled exactly as filed with the Texas Secretary of State, County, or in the legal document forming the entity.)

c) What is the contact information for the Operator (Responsible Authority)? The mailing address must be recognized by the US Postal Service (USPS). You may verify the address at: <https://tools.usps.com/go/ZipLookupAction!input.action>

Prefix (Mr. Ms. Miss): _____
First/Last Name: _____ Suffix: _____
Title: _____ Credential: _____
Phone Number: _____ Ext: _____ Fax Number: _____
E-mail: _____
Mailing Address: _____
Internal Routing (Mail Code, Etc.): _____
City: _____ State: _____ ZIP Code: _____
If outside USA:
Territory: _____ Country Code: _____ Postal Code: _____

d) Indicate the type of Customer (The instructions will help determine your customer type):

Individual	Limited Partnership	Sole Proprietorship-DBA
Joint Venture	General Partnership	Corporation
Trust	Estate	Federal Government
State Government	County Government	City Government
Other Government		

e) Independent Operator? (If governmental entity, subsidiary, or part of a larger corporation, check "No".)

Yes No

f) Number of Employees:

0-20; 21-100; 101-250; 251-500; or 501 or higher

g) Customer Business Tax and Filing Numbers:

(REQUIRED for Corporations and Limited Partnerships. Not Required for Individuals, Government, or Sole Proprietors)

State Franchise Tax ID Number: _____

Federal Tax ID: _____

Texas Secretary of State Charter (filing) Number: _____

DUNS Number (if known): _____

2) APPLICATION CONTACT

If TCEQ needs additional information regarding this application, who should be contacted?

Is the application contact the same as the applicant identified above?

Yes, go to Section 3).

No, complete section below

Prefix (Mr. Ms. Miss): _____
 First/Last Name: _____ Suffix: _____
 Title: _____ Credential: _____
 Organization Name: _____
 Phone Number: _____ Ext: _____ Fax Number: _____
 E-mail: _____
 Mailing Address: _____
 Internal Routing (Mail Code, Etc.): _____
 City: _____ State: _____ ZIP Code: _____
 Mailing Information if outside USA:
 Territory: _____ Country Code: _____ Postal Code: _____

3) REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE

If the site of your business is part of a larger business site or if other businesses were located at this site before yours, a Regulated Entity Number (RN) may already be assigned for the larger site. Use the RN assigned for the larger site. Search TCEQ's Central Registry to see if the larger site may already be registered as a regulated site at:

<http://www.tceq.texas.gov/goto/cr-searchrn>

If the site is found, provide the assigned Regulated Entity Reference Number and provide the information for the site to be authorized through this application below. The site information for this authorization may vary from the larger site information.

a) TCEQ issued RE Reference Number (RN): RN _____

b) Name of project or site (the name known by the community where located):

c) In your own words, briefly describe the primary business of the Regulated Entity: (Do not repeat the SIC and NAICS code):

d) County (or counties if > 1)

e) Latitude: _____ Longitude: _____

f) Does the site have a physical address?

Yes, complete Section A for a physical address.

No, complete section B for site location information.

Section A: Enter the physical address for the site.

Verify the address with USPS. If the address is not recognized as a delivery address, provide the address as identified for overnight mail delivery, 911 emergency or other online map tools to confirm an address.

Physical Address of Project or Site:

Street Number: _____ Street Name: _____

City: _____ State: _____ ZIP Code: _____

Section B: Enter the site location information.

If no physical address (Street Number & Street Name), provide a written location access description to the site. (Example: located 2 miles west from intersection of Hwy 290 & IH35 accessible on Hwy 290 South)

City where the site is located or, if not in a city, what is the nearest city:

State: _____ ZIP Code where the site is located: _____

4) GENERAL CHARACTERISTICS

a) Is the project/site located on Indian Country Lands?

Yes - If the answer is Yes, you must obtain authorization through EPA, Region 6.

No

b) Is your construction activity associated with a facility that, when completed, would be associated with the exploration, development, or production of oil or gas or geothermal resources?

Yes - If the answer is Yes, you may be under jurisdiction of the Railroad Commission of Texas and may need to obtain authorization through EPA, Region 6.

No

c) What is the Primary Standard Industrial Classification (SIC) Code that best describes the construction activity being conducted at the site?

Primary SIC Code: _____

d) If applicable, what is the Secondary SIC Code(s): _____

e) What is the total number of acres disturbed? _____

f) Is the project site part of a larger common plan of development or sale?

Yes - If the answer is Yes, the total number of acres disturbed can be less than 5 acres.

No - If the answer is No, the total number of acres disturbed must be 5 or more. If the total number of acres disturbed is less than 5 then the project site does not qualify for coverage through this Notice of Intent. Coverage will be denied. See the requirements in the general permit for small construction sites.

g) What is the name of the first water body(s) to receive the stormwater runoff or potential runoff from the site?

h) What is the segment number(s) of the classified water body(s) that the discharge will eventually reach?

i) Is the discharge into an MS4?

Yes - If the answer is Yes, provide the name of the MS4 operator below.

Note: The general permit requires you to send a copy of the NOI to the MS4 operator.

No

j) Are any of the surface water bodies receiving discharges from the construction site on the latest EPA-approved CWA 303(d) List of impaired waters?

Yes - If the answer is Yes, provide the name(s) of the impaired water body(s) below.

No

k) Is the discharge or potential discharge within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer as defined in 30 TAC Chapter 213?

Yes - If the answer is Yes, complete certification below by checking "Yes."

No

I certify that a copy of the TCEQ approved Plan required by the Edwards Aquifer Rule (30 TAC Chapter 213) is either included or referenced in the Stormwater Pollution Prevention Plan.

Yes



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Agent Authorization Form (TCEQ-0599), **5**

Agent Authorization Form
For Required Signature
Edwards Aquifer Protection Program
Relating to 30 TAC Chapter 213
Effective June 1, 1999

I, Russell Fishbeck,
Print Name

PARKS Director,
Title - Owner/President/Other

of WILLIAMSON COUNTY,
Corporation/Partnership/Entity Name

have authorized THOMAS LOMBARDI JR., PE,
Print Name of Agent/Engineer

of WGI,
Print Name of Firm

to represent and act on the behalf of the above named Corporation, Partnership, or Entity for the purpose of preparing and submitting this plan application to the Texas Commission on Environmental Quality (TCEQ) for the review and approval consideration of regulated activities.

I also understand that:

1. The applicant is responsible for compliance with 30 Texas Administrative Code Chapter 213 and any condition of the TCEQ's approval letter. The TCEQ is authorized to assess administrative penalties of up to \$10,000 per day per violation.
2. For those submitting an application who are not the property owner, but who have the right to control and possess the property, additional authorization is required from the owner.
3. Application fees are due and payable at the time the application is submitted. The application fee must be sent to the TCEQ cashier or to the appropriate regional office. The application will not be considered until the correct fee is received by the commission.
4. A notarized copy of the Agent Authorization Form must be provided for the person preparing the application, and this form must accompany the completed application.
5. No person shall commence any regulated activity on the Edwards Aquifer Recharge Zone, Contributing Zone or Transition Zone until the appropriate application for the activity has been filed with and approved by the Executive Director.

SIGNATURE PAGE:

Russell Fishbeck
Applicant's Signature

9-16-20
Date

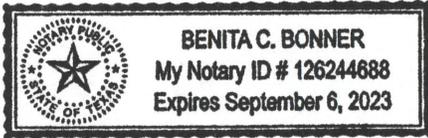
THE STATE OF Texas §
County of Williamson §

BEFORE ME, the undersigned authority, on this day personally appeared Russell Fishbeck known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 16th day of September, 2020

Benita C. Bonner
NOTARY PUBLIC

Benita C. Bonner
Typed or Printed Name of Notary



MY COMMISSION EXPIRES: 9/2/2023



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Application Fee Form (TCEQ-0574), **5**

Application Fee Form

Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: CHAMPION PARK

Regulated Entity Location: 3830 BRUSHY CREEK ROAD, CEDAR PARK, TX 78613

Name of Customer: WILLIAMSON COUNTY

Contact Person: Russell Fishbeck

Phone: 5129431922

Customer Reference Number (if issued): CN 600897888

Regulated Entity Reference Number (if issued): RN 105117907

Austin Regional Office (3373)

Hays

Travis

Williamson

San Antonio Regional Office (3362)

Bexar

Medina

Uvalde

Comal

Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

Austin Regional Office

San Antonio Regional Office

Mailed to: TCEQ - Cashier

Overnight Delivery to: TCEQ - Cashier

Revenues Section

Mail Code 214

P.O. Box 13088

Austin, TX 78711-3088

12100 Park 35 Circle

Building A, 3rd Floor

Austin, TX 78753

(512)239-0357

Site Location (Check All That Apply):

Recharge Zone

Contributing Zone

Transition Zone

<i>Type of Plan</i>	<i>Size</i>	<i>Fee Due</i>
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	32.7 Acres	\$ 4,000
Sewage Collection System	L.F.	\$
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	Each	\$
Extension of Time	Each	\$

Signature: _____



Date: 09/28/2020

Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

Water Pollution Abatement Plans and Modifications

Contributing Zone Plans and Modifications

Project	Project Area in Acres	Fee
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

Organized Sewage Collection Systems and Modifications

Project	Cost per Linear Foot	Minimum Fee- Maximum Fee
Sewage Collection Systems	\$0.50	\$650 - \$6,500

Underground and Aboveground Storage Tank System Facility Plans and Modifications

Project	Cost per Tank or Piping System	Minimum Fee- Maximum Fee
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

Exception Requests

Project	Fee
Exception Request	\$500

Extension of Time Requests

<i>Project</i>	<i>Fee</i>
Extension of Time Request	\$150



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Core Data Form (TCEQ-10400), **6**



TCEQ Use Only

TCEQ Core Data Form

For detailed instructions regarding completion of this form, please read the Core Data Form Instructions or call 512-239-5175.

SECTION I: General Information

1. Reason for Submission (If other is checked please describe in space provided.)		
<input checked="" type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)	<input type="checkbox"/> Other	
2. Customer Reference Number (if issued)	Follow this link to search for CN or RN numbers in Central Registry**	3. Regulated Entity Reference Number (if issued)
CN 600897888		RN 105117907

SECTION II: Customer Information

4. General Customer Information		5. Effective Date for Customer Information Updates (mm/dd/yyyy)					
<input type="checkbox"/> New Customer		<input type="checkbox"/> Update to Customer Information		<input type="checkbox"/> Change in Regulated Entity Ownership			
<input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)							
The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).							
6. Customer Legal Name (If an individual, print last name first: eg: Doe, John)			<i>If new Customer, enter previous Customer below:</i>				
WILLIAMSON COUNTY							
7. TX SOS/CPA Filing Number	8. TX State Tax ID (11 digits)	9. Federal Tax ID (9 digits)	10. DUNS Number (if applicable)				
11. Type of Customer:	<input type="checkbox"/> Corporation	<input type="checkbox"/> Individual	Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited				
Government: <input type="checkbox"/> City <input checked="" type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> State <input type="checkbox"/> Other	<input type="checkbox"/> Sole Proprietorship		<input type="checkbox"/> Other:				
12. Number of Employees		13. Independently Owned and Operated?					
<input type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input checked="" type="checkbox"/> 501 and higher		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
14. Customer Role (Proposed or Actual) – as it relates to the Regulated Entity listed on this form. Please check one of the following							
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Operator <input type="checkbox"/> Owner & Operator							
<input type="checkbox"/> Occupational Licensee <input type="checkbox"/> Responsible Party <input type="checkbox"/> Voluntary Cleanup Applicant <input type="checkbox"/> Other:							
15. Mailing Address:	710 SOUTH MAIN STREET, SUITE 301						
	City	GEORGETOWN	State	TX	ZIP	78626	ZIP + 4
16. Country Mailing Information (if outside USA)			17. E-Mail Address (if applicable)				
18. Telephone Number		19. Extension or Code		20. Fax Number (if applicable)			
() -				() -			

SECTION III: Regulated Entity Information

21. General Regulated Entity Information (If 'New Regulated Entity' is selected below this form should be accompanied by a permit application)	
<input type="checkbox"/> New Regulated Entity <input type="checkbox"/> Update to Regulated Entity Name <input checked="" type="checkbox"/> Update to Regulated Entity Information	
The Regulated Entity Name submitted may be updated in order to meet TCEQ Agency Data Standards (removal of organizational endings such as Inc, LP, or LLC).	
22. Regulated Entity Name (Enter name of the site where the regulated action is taking place.)	
CHAMPION PARK	

23. Street Address of the Regulated Entity: <i>(No PO Boxes)</i>	3830 BRUSHY CREEK ROAD						
	City	CEDARPARK	State	TX	ZIP	78613	ZIP + 4
24. County	WILLIAMSON						

Enter Physical Location Description if no street address is provided.

25. Description to Physical Location:							
26. Nearest City					State	Nearest ZIP Code	
27. Latitude (N) In Decimal:	30.511487			28. Longitude (W) In Decimal:	-97.758020		
Degrees	Minutes	Seconds	Degrees	Minutes	Seconds		
29. Primary SIC Code (4 digits)	30. Secondary SIC Code (4 digits)		31. Primary NAICS Code (5 or 6 digits)		32. Secondary NAICS Code (5 or 6 digits)		
1771			236116				
33. What is the Primary Business of this entity? <i>(Do not repeat the SIC or NAICS description.)</i>							
COUNTY PARK							
34. Mailing Address:	710 SOUTH MAIN STREET, SUITE 301						
	City	GEORGETOWN	State	TX	ZIP	78626	ZIP + 4
35. E-Mail Address:							
36. Telephone Number		37. Extension or Code			38. Fax Number <i>(if applicable)</i>		
() -					() -		

39. TCEQ Programs and ID Numbers Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.

<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Waste Water	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

SECTION IV: Preparer Information

40. Name:	THOMAS LOMBARDI JR., P.E.	41. Title:	TEAM LEADER
42. Telephone Number	43. Ext./Code	44. Fax Number	45. E-Mail Address
(512) 699-5560		() -	Thomas.Lomardi@wginc.com

SECTION V: Authorized Signature

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

Company:	WGI	Job Title:	SENIOR GRADUATE ENGINEER
Name <i>(In Print)</i> :	THOMAS LOMBARDI JR., P.E.	Phone:	(512) 669- 5560
Signature:		Date:	09/28/20

SITE DEVELOPMENT PLAN FOR CHAMPION PARK

3830 BRUSHY CREEK RD.
CEDAR PARK, WILLIAMSON COUNTY, TEXAS 78641
SD-20-XXXXXX

DEVELOPER:

WILLIAMSON COUNTY
710 S. MAIN STREET, SUITE 301
GEORGETOWN, TX 78626
(512) 943-1922
CONTACT: RUSSELL FISHBECK

CIVIL ENGINEER:

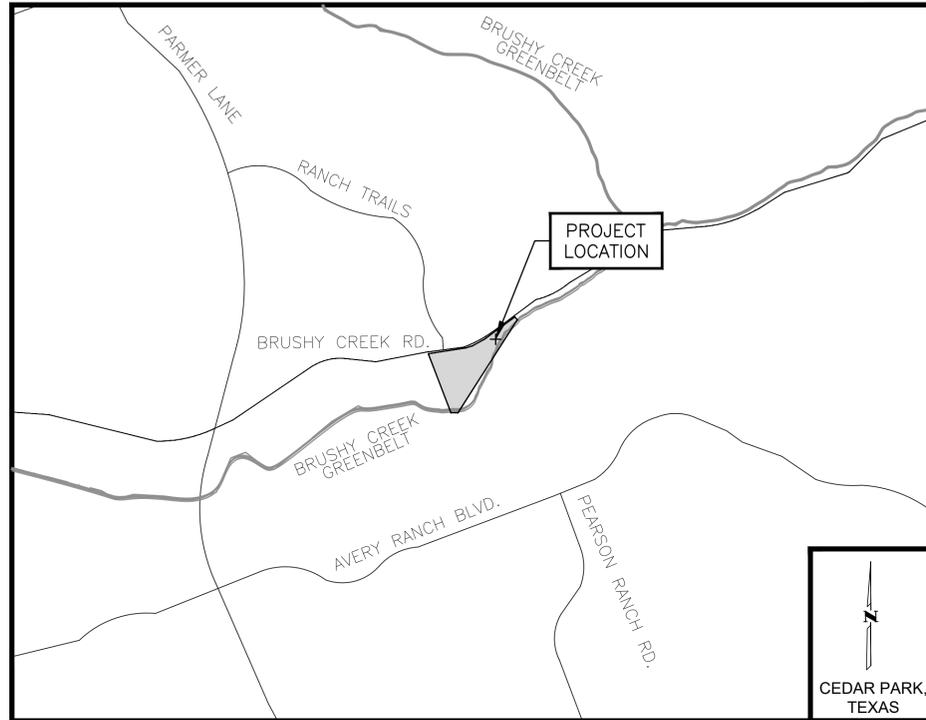
WGI
2021 E. 5TH STREET, SUITE 200
AUSTIN, TX 78702
(512) 669-5560
CONTACT: THOMAS LOMBARDI JR., PE

LANDSCAPE ARCHITECT:

STUDIO 16.19
1717 N. IH 35, SUITE 308
ROUND ROCK, TX 78664
(512) 534-8680
CONTACT: COURTNEY KUEHNER

SURVEYOR:

INLAND GEODETICS
1504 CHISHOLM TRAIL RD.
ROUND ROCK, TX 78681
(512) 238-1200
CONTACT: STEVE TRUESDALE



SHEET INDEX		
	SHEET NO.	SHEET TITLE
C-001	1	COVER SHEET
C-002	2	GENERAL NOTES
C-100	3	EXISTING CONDITION
C-200	4	EROSION CONTROL AND DEMO PLAN
CS100	5	SITE PLAN
CG100	6	GRADING PLAN
CG200	7	EXISTING DRAINAGE AREA MAP
CG300	8	PROPOSED DRAINAGE AREA MAP
C-500	9	CONSTRUCTION DETAILS
LA1.01	10	LANDSCAPE PLAN
LA5.01	11	LANDSCAPE NOTES & DETAILS
LA6.01	12	LANDSCAPE CALS & SCHEDULE

NOTES:

- SITE DEVELOPMENT CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY OF CEDAR PARK PRIOR TO ANY CONSTRUCTION.
- ALL SITE PLAN CONSTRUCTION SHALL CONFORM TO THE CITY OF CEDAR PARK CODE OF ORDINANCES, CONSTRUCTION STANDARDS, AND GENERALLY ACCEPTED ENGINEERING PRACTICES.
- ON-SITE STORM WATER QUALITY WILL BE PROVIDED.
- THE OWNER OF THIS SITE, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SITE PLAN IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF CEDAR PARK.
- NO LOT SHALL BE OCCUPIED UNTIL CONNECTED TO THE CITY OF CEDAR PARK WATER DISTRIBUTION AND WASTEWATER COLLECTION FACILITIES.
- WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY) AND STATE BOARD OF INSURANCE REQUIREMENTS.
- NO BUILDINGS, FENCES, LANDSCAPING OR OTHER STRUCTURES ARE PERMITTED WITHIN DRAINAGE EASEMENTS SHOWN, EXCEPT AS APPROVED BY THE CITY OF CEDAR PARK PUBLIC WORKS DEPARTMENT.
- PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY CITY OF CEDAR PARK.
- ALL EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNS.
- DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELOCATION AND MODIFICATIONS TO EXISTING UTILITIES.
- TEMPORARY AND PERMANENT EASEMENTS TO BE PROVIDED AS REQUIRED FOR OFF-SITE WATER, WASTEWATER AND DRAINAGE IMPROVEMENTS.
- THIS SITE IS LOCATED WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE. DEVELOPMENT OF THIS SITE WILL COMPLY WITH ALL APPLICABLE TCEQ EDWARDS AQUIFER RULES.
- PRIOR TO SITE PLAN APPROVAL, THE ENGINEER SHALL SUBMIT TO THE CITY OF CEDAR PARK (COCP) DOCUMENTATION OF SUBDIVISION/SITE REGISTRATION WITH THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TLR) AND PROVIDE DOCUMENTATION OF REVIEW AND COMPLIANCE OF THE SUBDIVISION CONSTRUCTION PLANS WITH TEXAS ARCHITECTURAL BARRIERS ACT (TABA)
- PROPOSED LANDSCAPE EASEMENTS AND MEDIANS SHALL NOT ADVERSELY AFFECT SIGHT LINES OR VEHICULAR TRAFFIC.
- ALL RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF CEDAR PARK MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
- ALL TREES OVERHANGING A DRIVE AISLE, FIRE LANE OR LOADING ZONE SHALL BE LIMBED UP 14'. ALL TREES OVERHANGING A PEDESTRIAN WALK WAY OR SIDEWALK SHALL BE LIMBED UP 8'.
- THESE PLANS ARE IN FULL COMPLIANCE WITH THE LANDSCAPE AND TREE ORDINANCE OF THE CITY OF CEDAR PARK, TEXAS.
- DO NOT EXCEED 4" MAXIMUM CUT OR FILL WITHIN THE 1/2 CRZ OF ANY PRESERVED TREE.

SUBMITTAL DATE: 09/21/2020

LAND USE SUMMARY:

GROSS ACREAGE: 32.7 AC.
LIMITS OF CONSTRUCTION: 3.0 AC.

PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF A 32.7 ACRE SITE LOCATED IN CEDAR PARK, WILLIAMSON COUNTY, TEXAS 78641. IMPROVEMENTS INCLUDE 51,865 SF OF PARKING LOT AND SIDEWALK EXPANSION WITH INSTALLMENT OF VEGETATION STRIPS FOR WATER QUALITY. EXISTING IMPERVIOUS COVER PERCENTAGE 5.3% PROPOSED IMPERVIOUS COVER PERCENTAGE 8.9%

ZONING:
OR - OPEN SPACE RECREATIONAL

FLOODPLAIN:
THIS PROJECT IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON MAPS NO. 48491C0465E AND 48491C0470E, DATED SEPTEMBER 26, 2008, FOR HAZARD AREA. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

WATERSHED:
THIS PROJECT IS LOCATED IN THE SOUTH BRUSHY CREEK WATERSHED

BENCHMARKS:

PNT#	NORTHING	EASTING	ELEV.	DESC.
600	10160488.2959	3107829.6058	789.17	TPT-80D/W
601	10160308.4652	3107607.3582	791.41	TPT-CGS/W
602	10160332.3979	3108132.9968	782.94	TPT-80D/W
603	10160063.1669	3107861.5905	787.74	TPT-80D/W

NOTE: ALL BENCHMARKS HAVE VERTICAL DATUM NAVD 88 (GEOID 09).

LEGAL DESCRIPTION:

AW0179 DILLARD, J.H. SUR., ACRES 30.637
AW0179 - DILLARD, J.H. SUR., ACRES 2.066, (CEMETERY & PARKLAND)

SUBMITTED BY:

Thomas Lombardi Jr.
THOMAS J. LOMBARDI JR., P.E.
LICENSED PROFESSIONAL ENGINEER NO. 131071
WANTMAN GROUP, INC.
2021 EAST 5TH STREET, #200
AUSTIN, TEXAS 78702
(512) 669-5560

9/18/20
TEXAS REG. NO. F-15085



I CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL. THE PLAN IS COMPLETE, ACCURATE AND IN COMPLIANCE WITH CHAPTER 25-B SUBCHAPTER A OF THE LAND DEVELOPMENT CODE. [LDC 25-B-152]



Reviewed for Code Compliance
Signature required from all Departments

- Planning _____ Date _____
- Public Works _____ Date _____
- Industrial Pretreatment _____ Date _____
- Fire Marshal _____ Date _____
- Urban Forester _____ Date _____
- Addressing _____ Date _____
- Site Development Permit Number _____

NOT AUTHORIZED FOR
CONSTRUCTION PRIOR TO FORMAL
CITY APPROVAL



CHAMPION PARK
3830 BRUSHY CREEK RD
CEDAR PARK, WILLIAMSON COUNTY, TEXAS 78613

COVER SHEET

SHEET
C-001
1 OF 12
SD-20-

ABBREVIATIONS LEGEND:

Table with 2 columns: Abbreviation and Full Name. Includes entries like AC APPROX, ASPH ASPHALT, BGN BEGIN, etc.

NOTE: NOT ALL ABBREVIATIONS ARE USED IN THIS PLAN SET.

BEARING BASIS:

NOTES: COORDINATES ARE SURFACE VALUES BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83, CENTRAL ZONE 4203.

SURVEY CONTROL:

CONTROL LIST table with columns: PNT#, NORTHING, EASTING, ELEV., DESC. Lists control points 600 through 603.

SEQUENCE OF CONSTRUCTION

- 1. INSTALL EROSION CONTROLS PER THE APPROVED PLAN.
2. CONTACT THE CITY OF CEDAR PARK ENGINEERING DEPARTMENT...
3. TEMPORARY CONTROLS TO BE INSPECTED AND MAINTAINED WEEKLY...

GENERAL NOTES (REVISED JUNE 1, 2020):

- 1. GENERAL CONTRACTOR SHALL CALL FOR ALL UTILITY LOCATES PRIOR TO ANY CONSTRUCTION. WATER & WASTEWATER OWNED BY THE CITY OF CEDAR PARK CAN BE LOCATED BY CALLING TEXAS 811 AT 1-800-344-8377.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF AUSTIN STANDARD SPECIFICATIONS.
3. PRIOR TO CITY ACCEPTANCE OF ALL IMPROVEMENTS, ALL GRADED AND DISTURBED AREAS INSIDE THE RIGHT OF WAY BETWEEN THE PROPERTY LINE AND EDGE OF PAVEMENT...

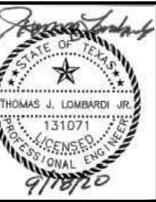
TEXAS COMMISSION ON ENVIRONMENTAL QUALITY CONTRIBUTING ZONE PLAN GENERAL CONSTRUCTION NOTES

- 1. A WRITTEN NOTICE OF CONSTRUCTION MUST BE SUBMITTED TO THE TCEQ REGIONAL OFFICE AT LEAST 48 HOURS PRIOR TO THE START OF ANY GROUND DISTURBANCE OR CONSTRUCTION ACTIVITIES. THIS NOTICE MUST INCLUDE:
- THE NAME OF THE APPROVED PROJECT;
- THE ACTIVITY START DATE; AND
- THE CONTACT INFORMATION OF THE PRIME CONTRACTOR.
2. ALL CONTRACTORS CONDUCTING REGULATED ACTIVITIES ASSOCIATED WITH THIS PROJECT SHOULD BE PROVIDED WITH COMPLETE COPIES OF THE APPROVED CONTRIBUTING ZONE PLAN (CZP) AND THE TCEQ LETTER INDICATING THE SPECIFIC CONDITIONS OF ITS APPROVAL...

AUSTIN REGIONAL OFFICE
12100 PARK 35 CIRCLE, BUILDING A
AUSTIN, TEXAS 78753-1808
PHONE (512) 339-2929
FAX (512) 339-3795

SAN ANTONIO REGIONAL OFFICE
14250 JUDSON ROAD
SAN ANTONIO, TEXAS 78233-4480
PHONE (210) 490-3096
FAX (210) 545-4329

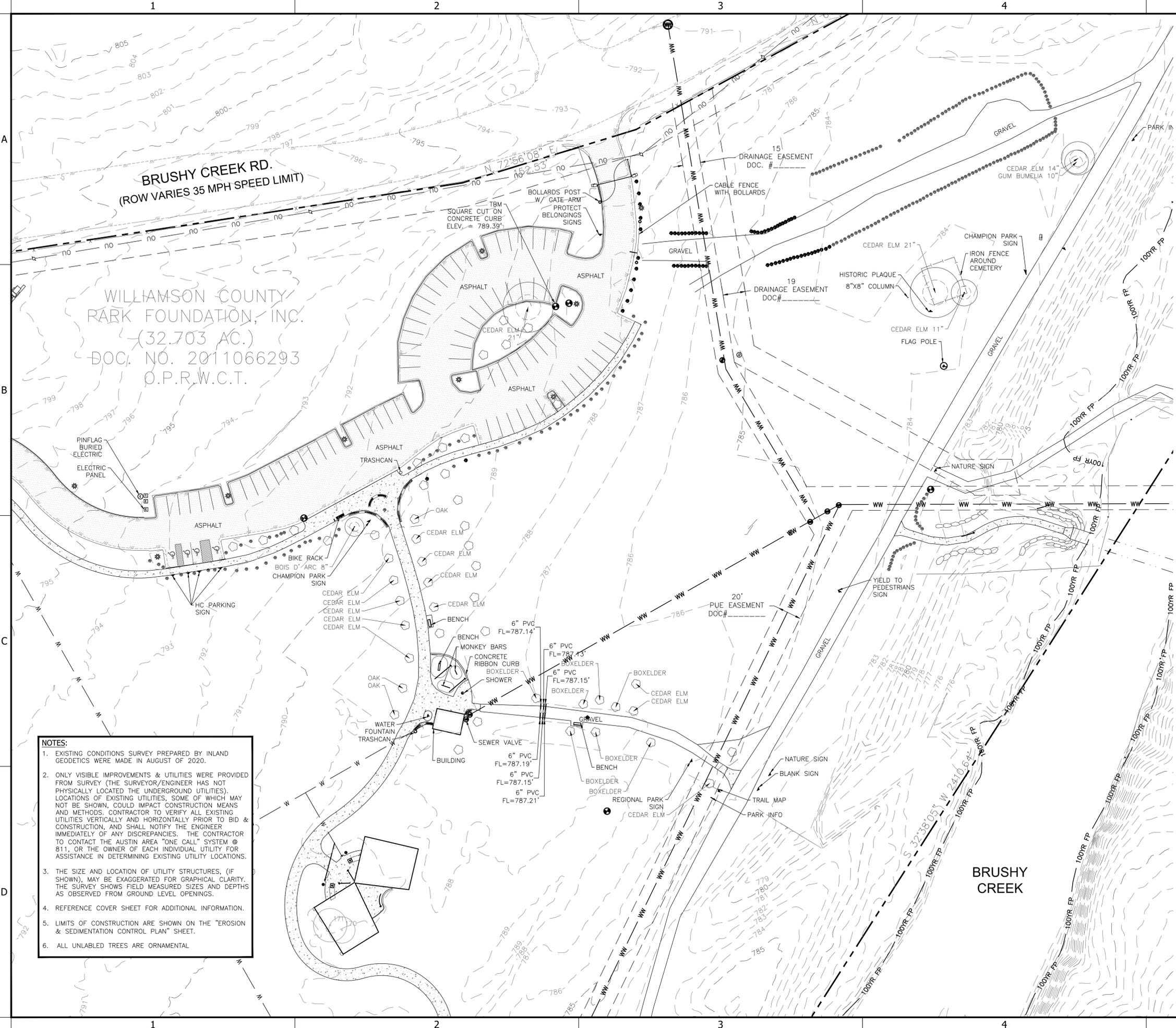
NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL



CHAMPION PARK
3830 BRUSHY CREEK RD
CEDAR PARK, WILLIAMSON COUNTY, TEXAS 78613

User: johmnie.garza
Last Modified: 9/21/2020 9:38 AM
Drawing: 6105.00-C-002 GENERAL NOTES

1 2 3 4 5
A B C D
User: admin@caro.com Date: 10/21/2020 9:38 AM
Last Modified: 10/21/2020 9:38 AM
Drawing: 6105.00-C-100 EXISTING CONDITIONS 9/21/2020 9:38 AM



NOTES:

- EXISTING CONDITIONS SURVEY PREPARED BY INLAND GEODETICS WERE MADE IN AUGUST OF 2020.
- ONLY VISIBLE IMPROVEMENTS & UTILITIES WERE PROVIDED FROM SURVEY (THE SURVEYOR/ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES). LOCATIONS OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID & CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
- THE SIZE AND LOCATION OF UTILITY STRUCTURES, (IF SHOWN), MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
- REFERENCE COVER SHEET FOR ADDITIONAL INFORMATION.
- LIMITS OF CONSTRUCTION ARE SHOWN ON THE "EROSION & SEDIMENTATION CONTROL PLAN" SHEET.
- ALL UNLABELED TREES ARE ORNAMENTAL

EXISTING LEGEND

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- 100YR FP
- CURB / EDGE OF PAVEMENT
- BUILDING FACE
- CONTOUR (GRADE) ELEV.
- STORM DRAIN LINE
- WATER LINE
- WASTEWATER LINE
- OVERHEAD UTILITY LINE
- RETAINING WALL
- WIRE FENCE
- IRON FENCE
- ACCESSIBLE PARKING
- BENCHMARK
- LANDSCAPE ROCKS
- SIGN
- UTILITY POLE
- UTILITY / LIGHT POLE
- ELECTRIC MANHOLE
- ELEC. / TELE. RISER
- ELECTRIC TRANSFORMER PAD
- WASTEWATER MANHOLE
- WATER MANHOLE
- STORM DRAINAGE INLET
- STORM DRAIN MANHOLE
- TREE W/ DESCRIPTION
- MEMORIAL TREE UNDER 8" (ALL UNLABELED TREES ARE ORNAMENTAL)
- ASPHALT PAVEMENT
- CONCRETE SWLK. / P.V.M.T.

ZONING:
OR - OPEN SPACE RECREATIONAL

FLOODPLAIN:
THIS PROJECT IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON MAPS NO. 48491C0465E AND 48491C0470E, DATED SEPTEMBER 28, 2008. FOR HAZARD AREA. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

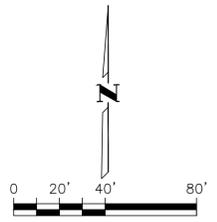
WATERSHED:
THIS PROJECT IS LOCATED IN THE SOUTH BRUSHY CREEK WATERSHED

BENCHMARKS:

PNT#	NORTHING	EASTING	ELEV.	DESC.
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603	10160063.1669	3107861.5905	787.74	TPT-80D/W

NOTE: ALL BENCHMARKS HAVE VERTICAL DATUM NAVD 88 (GEOID 09).

LEGAL DESCRIPTION:
AW0179 DILLARD, J.H. SUR., ACRES 30.637
AW0179 - DILLARD, J.H. SUR., ACRES 2.066, (CEMETERY & PARKLAND)



NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL

FIRM NO. F-15085

WGLI
WGInc.com
512.689.6560
2021 EAST 5TH STREET, SUITE 200 AUSTIN, TEXAS, 78702

STATE OF TEXAS
THOMAS J. LOMBARDI JR.
131071
LICENSED PROFESSIONAL ENGINEER
918720

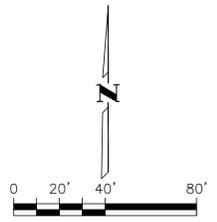
CHAMPION PARK
3830 BRUSHY CREEK RD
CEDAR PARK, WILLIAMSON COUNTY, TEXAS 78613

EXISTING CONDITION

SHEET
C-100
3 OF 12
SD-20-

BRUSHY CREEK RD.
(ROW VARIES 35 MPH SPEED LIMIT)

WILLIAMSON COUNTY
PARK FOUNDATION, INC.
(32.703 AC.)
DOC. NO. 2011066293
O.P.R.W.C.T.



EXISTING LEGEND

---	BOUNDARY / RIGHT OF WAY
---	EASEMENT / SETBACK
---	100YR FP
---	100 YR FLOODPLAIN
---	CURB / EDGE OF PAVEMENT
---	BUILDING FACE
---	CONTOUR (GRADE) ELEV.
---	STORM DRAIN LINE
---	WATER LINE
---	WASTEWATER LINE
---	OVERHEAD UTILITY LINE
---	RETAINING WALL
---	WIRE FENCE
---	IRON FENCE
---	ACCESSIBLE PARKING
---	BENCHMARK
---	LANDSCAPE ROCKS
---	SIGN
---	UTILITY POLE
---	UTILITY / LIGHT POLE
---	ELECTRIC MANHOLE
---	ELEC. / TELE. RISER
---	ELECTRIC TRANSFORMER PAD
---	WASTEWATER MANHOLE
---	WATER MANHOLE
---	STORM DRAINAGE INLET
---	STORM DRAIN MANHOLE
---	TREE W/ DESCRIPTION
---	MEMORIAL TREE UNDER 8" (ALL UNLABELED TREES ARE ORNAMENTAL)
---	ASPHALT PAVEMENT
---	CONCRETE SWLK. / PVMT.

EROSION CONTROL AND DEMOLITION LEGEND

---	TP	TREE PROTECTION FENCE PER COA DETAILS 610S-1 & 610S-2
---	MS	TEMPORARY MULCH SOCK PER COA DETAIL 648S-1
---	SF	TEMPORARY SILT FENCE PER COA DETAIL 642S-1
---	LOC	LIMITS OF CONSTRUCTION / DISTURBANCE
---	---	LIMITS OF TEMPORARY PARKING, STORAGE, SPOILS, AND STAGING AREA
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	CW	CONCRETE WASHOUT
---	---	DEMOLITION AREA: ALL ITEMS WITHIN THIS AREA TO BE REMOVED OR RELOCATED AS NOTED
---	---	NATURAL VEGETATED FILTER STRIP

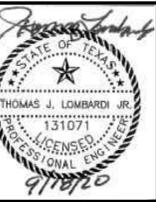
LIMITS OF CONSTRUCTION:	±3.00 AC.
TOTAL LENGTH OF SILT FENCE:	234 LF
TOTAL LENGTH OF TREE PROTECTION:	707 LF
TOTAL LENGTH OF MULCH SOCK:	606 LF
STABILIZED CONSTRUCTION ENTRANCE:	1 EACH

- NOTES:**
- FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE PERMITTED (SEE NOTE #7).
 - ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS.
 - PURSUANT TO 14-11-131 OF THE CITY CODE, THE CONTRACTOR MAY NOT BLOCK, DIRECT, IMPEDE, OR REROUTE PEDESTRIAN AND VEHICULAR TRAFFIC, NOR PLACE A BARRICADE OR OTHER TRAFFIC CONTROL DEVICE IN A RIGHT-OF-WAY, WITHOUT FIRST OBTAINING A TEMPORARY USE OF RIGHT-OF-WAY PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS THAT ARE REQUIRED TO COMPLY WITH SECTIONS 15-12-161 THROUGH 15-12-181 OF THE CITY CODE REGARDING EXCAVATION IN PUBLIC RIGHT-OF-WAY.
 - DUST CONTROL TO BE PROVIDED BY CONTRACTOR IN ACCORDANCE WITH THE CITY OF AUSTIN'S ENVIRONMENTAL CRITERIA MANUAL SECTION 1.4.5.D.
 - CONTRACTOR SHALL CLEAN UP SPOILS THAT MIGRATE INTO EXISTING RIGHT-OF-WAY A MINIMUM OF ONCE PER DAY.
 - CONTRACTOR SHALL INSTALL TEMPORARY CHAIN LINK FENCE FOR PEDESTRIAN SAFETY WHERE LIMITS OF CONSTRUCTION ARE SHOWN.
 - ALL STORM WATER LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES MUST PASS THROUGH THE SILT FENCE OR MULCH SOCK.
 - SILT FENCE TYPE AND INSTALLATION SHALL COMPLY WITH CITY OF CEDAR PARK STANDARD DETAIL.
 - REFERENCE "GENERAL NOTES" SHEETS FOR EROSION CONTROL NOTES, SEQUENCE OF CONSTRUCTION & TREE CARE NOTES FOR TREE INFORMATION.
 - IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING.

- NOTES:**
- EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION MUST BE INSTALLED PRIOR TO ANY DEMOLITION. REFERENCE EROSION & SEDIMENTATION CONTROL PLAN SHEET.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TEST" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN PER THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
 - WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
 - NO SITE DISTURBANCE SHALL OCCUR UNTIL THE PRECONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS HELD.
 - ALL DEMOLITION OF EXISTING CURBING AND SIDEWALKS MUST BE DONE BY HAND WHEN WORKING WITHIN THE 1/2 CRITICAL ROOT ZONE OF EXISTING TREES.
 - TREE PROTECTION FENCE MOVED DURING CONSTRUCTION MUST BE RE-INSTATED AS SOON AS DEMOLITION WORK IS COMPLETED. ANY WORK BEING DONE WITHIN THE TREE PROTECTION FENCE AREA MUST NOT IMPACT TREE(S); NO ROOT DAMAGE AND NO BRANCH OR TRUNK DAMAGE. ADD A 12" LAYER OF MULCH WITHIN THE TREE PROTECTION FENCE AREA PRIOR TO CONDUCTING ANY WORK INSIDE FENCE AREA.

HATCH AREA CONTAINS NATURAL VEGETATION STRIPS TO QUALIFY AS FILTER STRIP MATERIAL FOR WO TREATMENT

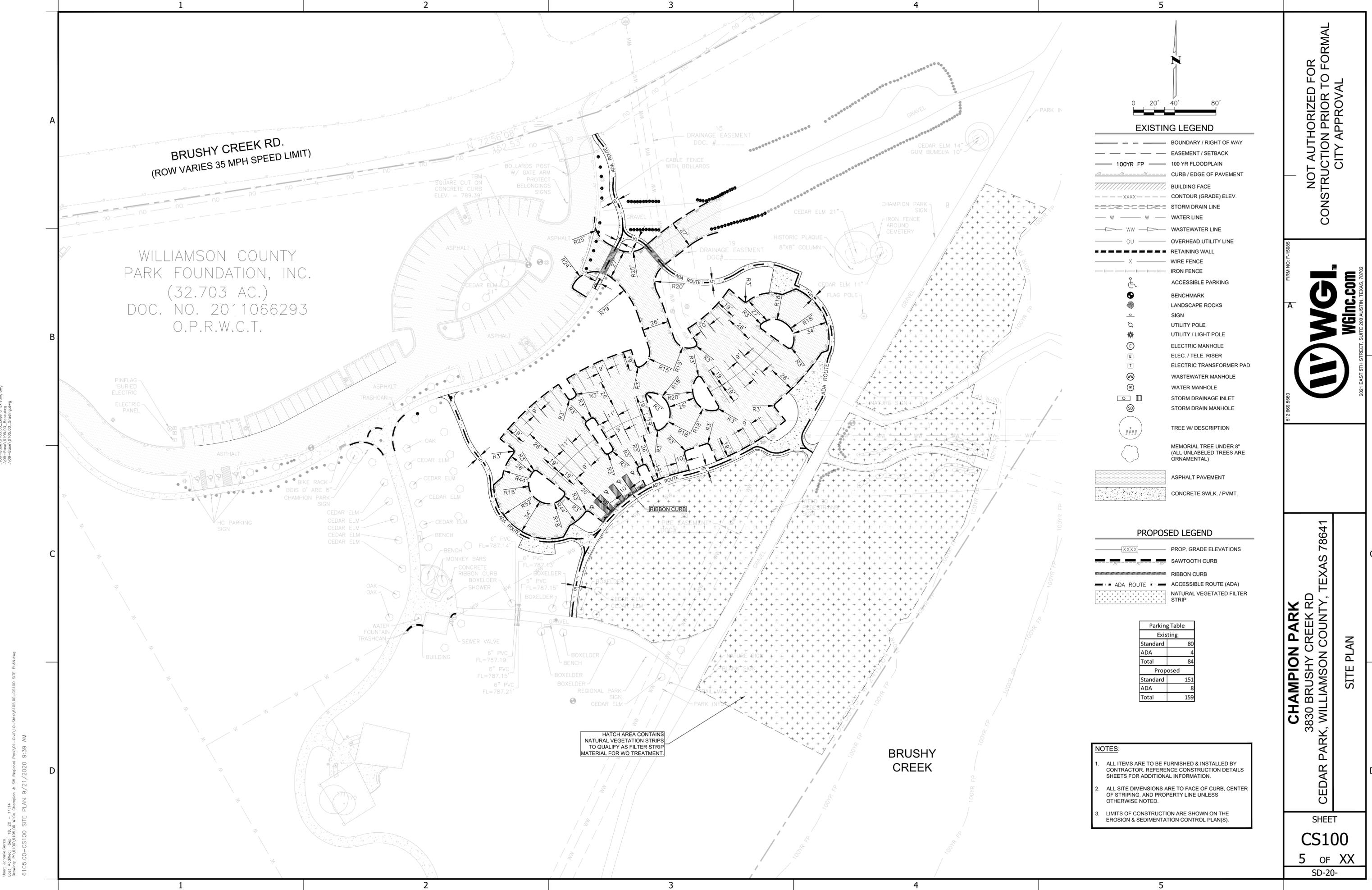
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CITY APPROVAL



CHAMPION PARK
3830 BRUSHY CREEK RD
CEDAR PARK, WILLIAMSON COUNTY, TEXAS 78613

EROSION CONTROL AND DEMOLITION PLAN
SHEET
C-200
4 OF 12
SD-20-

User: admin@wgl.com Date: 05/28/2020
Last Modified: 05/28/2020 10:53:38 AM
Drawing: C:\Users\jgarcia\OneDrive\Documents\SW Regional\Park\01-COA\10-SHA\610S-1-C-200 EROSION CONTROL AND DEMO PLAN.dwg
6105.00-C-200 EROSION CONTROL AND DEMO PLAN 9/21/2020 9:38 AM



BRUSHY CREEK RD.
(ROW VARIES 35 MPH SPEED LIMIT)

WILLIAMSON COUNTY
PARK FOUNDATION, INC.
(32.703 AC.)
DOC. NO. 2011066293
O.P.R.W.C.T.

EXISTING LEGEND

- BOUNDARY / RIGHT OF WAY
- - - EASEMENT / SETBACK
- 100YR FP --- 100 YR FLOODPLAIN
- CURB / EDGE OF PAVEMENT
- /// BUILDING FACE
- - - - - CONTOUR (GRADE) ELEV.
- STORM DRAIN LINE
- W --- WATER LINE
- WW --- WASTEWATER LINE
- OU --- OVERHEAD UTILITY LINE
- RETAINING WALL
- X --- WIRE FENCE
- IRON FENCE
- ACCESSIBLE PARKING
- BENCHMARK
- LANDSCAPE ROCKS
- SIGN
- UTILITY POLE
- UTILITY / LIGHT POLE
- ELECTRIC MANHOLE
- ELEC. / TELE. RISER
- ELECTRIC TRANSFORMER PAD
- WASTEWATER MANHOLE
- WATER MANHOLE
- STORM DRAINAGE INLET
- STORM DRAIN MANHOLE
- TREE W/ DESCRIPTION
- MEMORIAL TREE UNDER 8" (ALL UNLABELED TREES ARE ORNAMENTAL)
- /// ASPHALT PAVEMENT
- /// CONCRETE SWLK. / PVMT.

PROPOSED LEGEND

- PROP. GRADE ELEVATIONS
- SAWTOOTH CURB
- RIBBON CURB
- ADA ROUTE --- ACCESSIBLE ROUTE (ADA)
- NATURAL VEGETATED FILTER STRIP

Parking Table	
Existing	
Standard	80
ADA	4
Total	84
Proposed	
Standard	151
ADA	8
Total	159

- NOTES:**
- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
 - ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
 - LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN(S).

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CITY APPROVAL



CHAMPION PARK
3830 BRUSHY CREEK RD
CEDAR PARK, WILLIAMSON COUNTY, TEXAS 78641

SHEET
CS100
5 OF XX
SD-20-

User: admin@wgi.com
 Last Modified: 9/21/2020 9:39 AM
 Drawing: 6105.00 - CS100 - WGI - Champion & SW Regional Park 01 - Civil - 111
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1

2

3

4

5

A

B

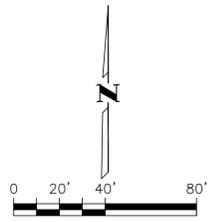
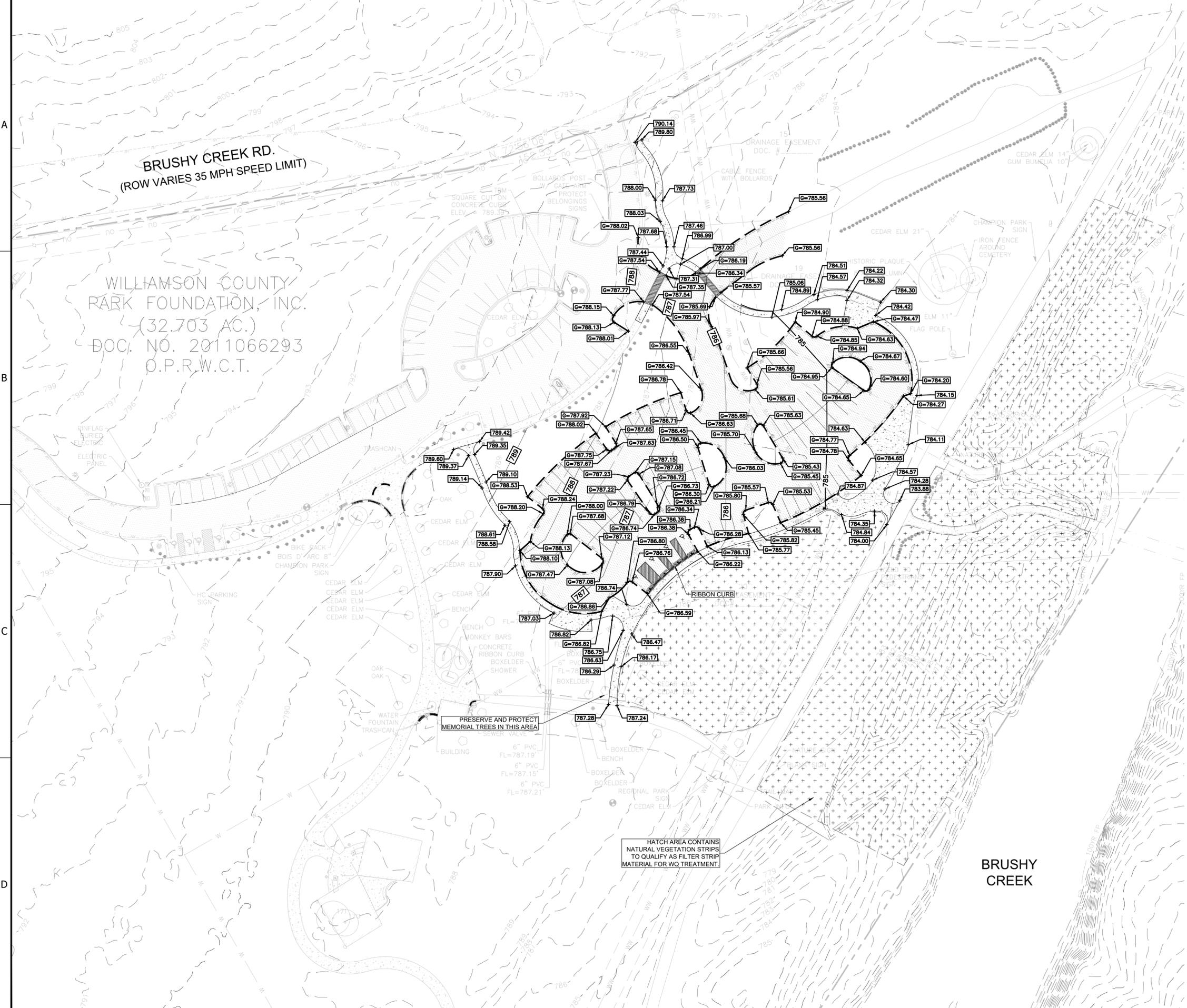
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D

BRUSHY CREEK RD.
(ROW VARIES 35 MPH SPEED LIMIT)

WILLIAMSON COUNTY
PARK FOUNDATION, INC.
(32.703 AC.)
DOC. NO. 2011066293
O.P.R.W.C.T.

User: admin@caro...
Last Modified: 9/21/2020 9:39 AM
Drawing: 6105.00-CG100 GRADING PLAN 9/21/2020 9:39 AM



EXISTING LEGEND

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- 100YR FP 100 YR FLOODPLAIN
- CURB / EDGE OF PAVEMENT
- /// BUILDING FACE
- XXXX--- CONTOUR (GRADE) ELEV.
- STORM DRAIN LINE
- W --- WATER LINE
- WW --- WASTEWATER LINE
- OU --- OVERHEAD UTILITY LINE
- RETAINING WALL
- X --- WIRE FENCE
- IRON FENCE
- ACCESSIBLE PARKING
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- ELEC. / TELE. RISER
- ELECTRIC TRANSFORMER PAD
- WASTEWATER MANHOLE
- WATER MANHOLE
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- STORM DRAIN MANHOLE
- TREE W/ DESCRIPTION
- MEMORIAL TREE UNDER 8" (ALL UNLABELED TREES ARE ORNAMENTAL)
- ASPHALT PAVEMENT
- CONCRETE SWLK. / PVMT.

GRADING LEGEND

- XXXX--- PROP. GRADE ELEVATIONS
- SAWTOOTH CURB
- NATURAL VEGETATED FILTER STRIP
- XXX.00 PROPOSED FINISHED GRADE
- G GUTTER ELEVATION
- RIBBON CURB

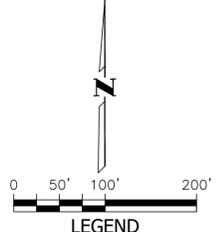
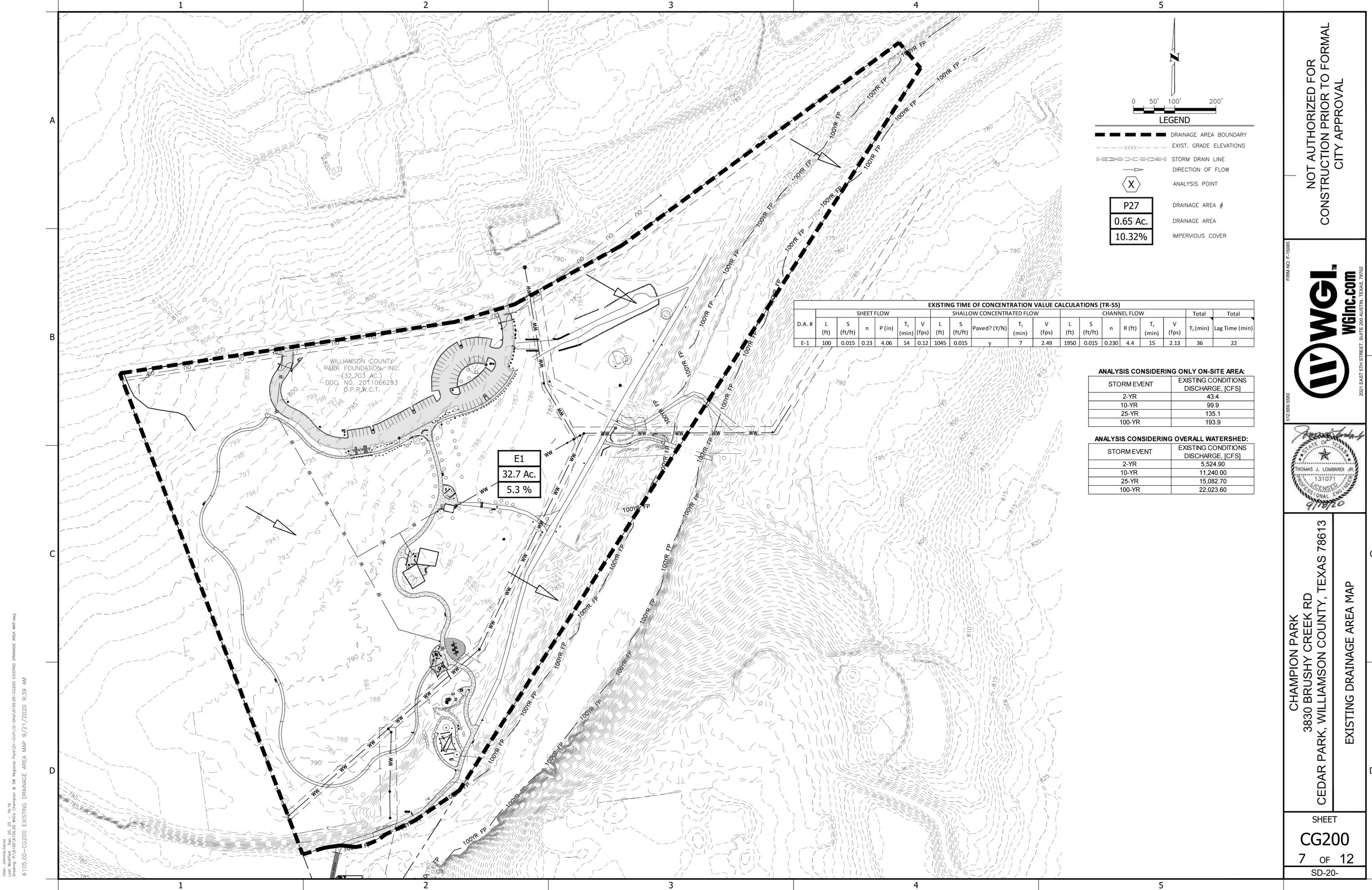
- NOTES:**
1. REFERENCE LANDSCAPE PLANS FOR SODDING & SEEDING NOTES.
 2. ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
 3. CONTRACTOR SHALL FORM SIDEWALKS AND VERIFY SLOPES PRIOR TO POURING CONCRETE. CONTRACTOR SHALL ENSURE THAT CROSS SLOPES ARE NO GREATER THAN 2% ALONG THE ACCESSIBLE ROUTE AND RUNNING SLOPE IS NO GREATER THAN 5%, UNLESS THE RUNNING SLOPE MATCHES THE EXISTING STREET SLOPE. IF ANY DISCREPANCY ARISES, CONTRACTOR SHALL CONTACT ENGINEER FOR SOLUTION.
 4. LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN(S).

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CITY APPROVAL



CHAMPION PARK
3830 BRUSHY CREEK RD
CEDAR PARK, WILLIAMSON COUNTY, TEXAS 78613

SHEET
CG100
6 OF 12
SD-20-



LEGEND

- DRAINAGE AREA BOUNDARY
- EXIST. GRADE ELEVATIONS
- STORM DRAIN LINE
- DIRECTION OF FLOW
- ANALYSIS POINT

P27	DRAINAGE AREA #
0.65 Ac.	DRAINAGE AREA
10.32%	IMPERVIOUS COVER

EXISTING TIME OF CONCENTRATION VALUE CALCULATIONS (TR-55)

D.A. #	SHEET FLOW						SHALLOW CONCENTRATED FLOW						CHANNEL FLOW				Total T _c (min)	Total Lag Time (min)	
	L (ft)	S (ft/ft)	n	P (in)	T _c (min)	V (fps)	L (ft)	S (ft/ft)	Paved? (Y/N)	T _c (min)	V (fps)	L (ft)	S (ft/ft)	n	R (ft)	T _c (min)			V (fps)
E-1	100	0.015	0.23	4.06	14	0.12	1045	0.015	y	7	2.49	1950	0.015	0.230	4.4	15	2.13	36	22

ANALYSIS CONSIDERING ONLY ON-SITE AREA:

STORM EVENT	EXISTING CONDITIONS DISCHARGE, [CFS]
2-YR	43.4
10-YR	99.9
25-YR	135.1
100-YR	193.9

ANALYSIS CONSIDERING OVERALL WATERSHED:

STORM EVENT	EXISTING CONDITIONS DISCHARGE, [CFS]
2-YR	5,524.90
10-YR	11,240.00
25-YR	15,082.70
100-YR	22,023.60

E1
32.7 Ac.
5.3 %

WILLIAMSON COUNTY
PARK FOUNDATION, INC.
(32.703 AC.)
DOC. NO. 2011066293
O.P.R.W.C.T.

User: admin@caro...
 Last Modified: 9/21/2020 9:39 AM
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 CITY APPROVAL

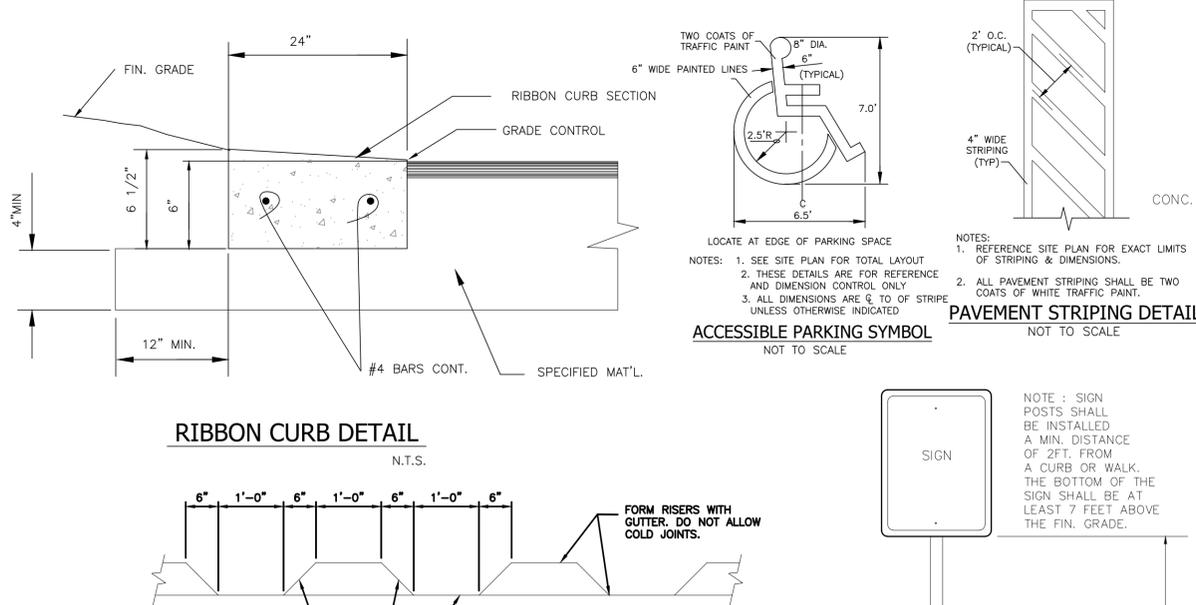
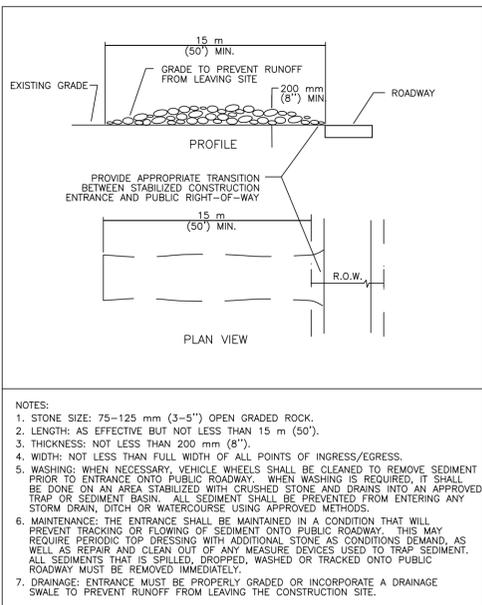
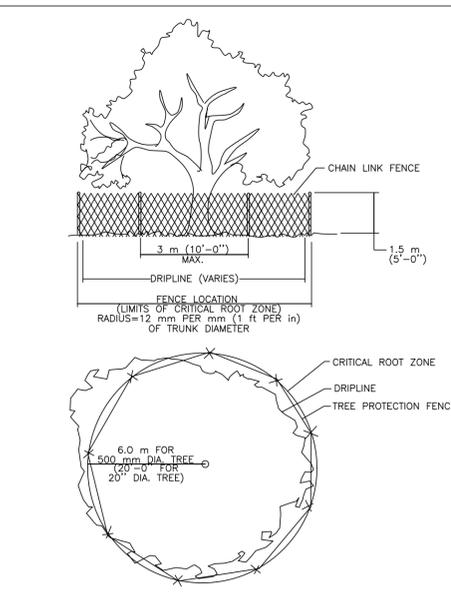
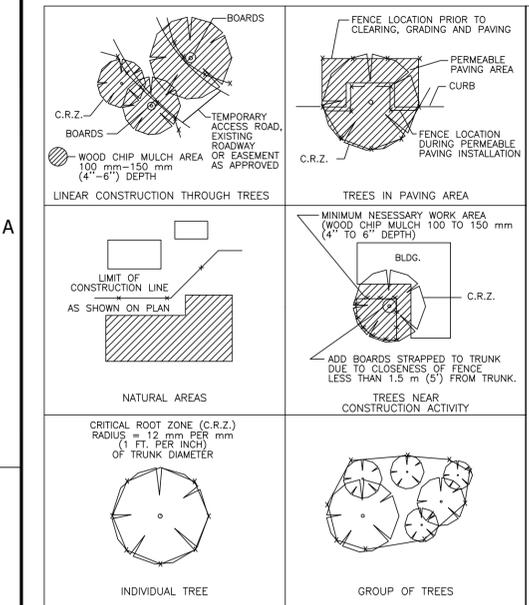
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 2021 EAST 5TH STREET, SUITE 200 AUSTIN, TEXAS 78702



CHAMPION PARK
 3830 BRUSHY CREEK RD
 CEDAR PARK, WILLIAMSON COUNTY, TEXAS 78613
 EXISTING DRAINAGE AREA MAP

SHEET
CG200
 7 OF 12
 SD-20-



CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT

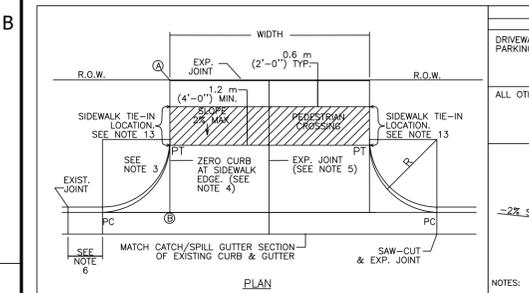
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DATE: 11/15/99
STANDARD NO.: 610S-1

CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT

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STANDARD NO.: 610S-2

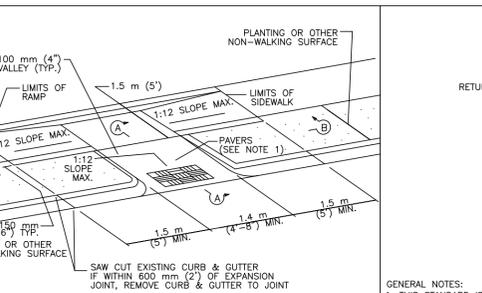
CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT

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DATE: 5/23/00
STANDARD NO.: 641S-1



CITY OF AUSTIN
DEPARTMENT OF PUBLIC WORKS

RECORD COPY SIGNED BY: CUONG TRAN
DATE: 02/24/10
STANDARD NO.: 433S-2



CITY OF AUSTIN
DEPARTMENT OF PUBLIC WORKS

RECORD COPY SIGNED BY: CUONG TRAN
DATE: 02/24/10
STANDARD NO.: 433S-2

CITY OF AUSTIN
DEPARTMENT OF PUBLIC WORKS

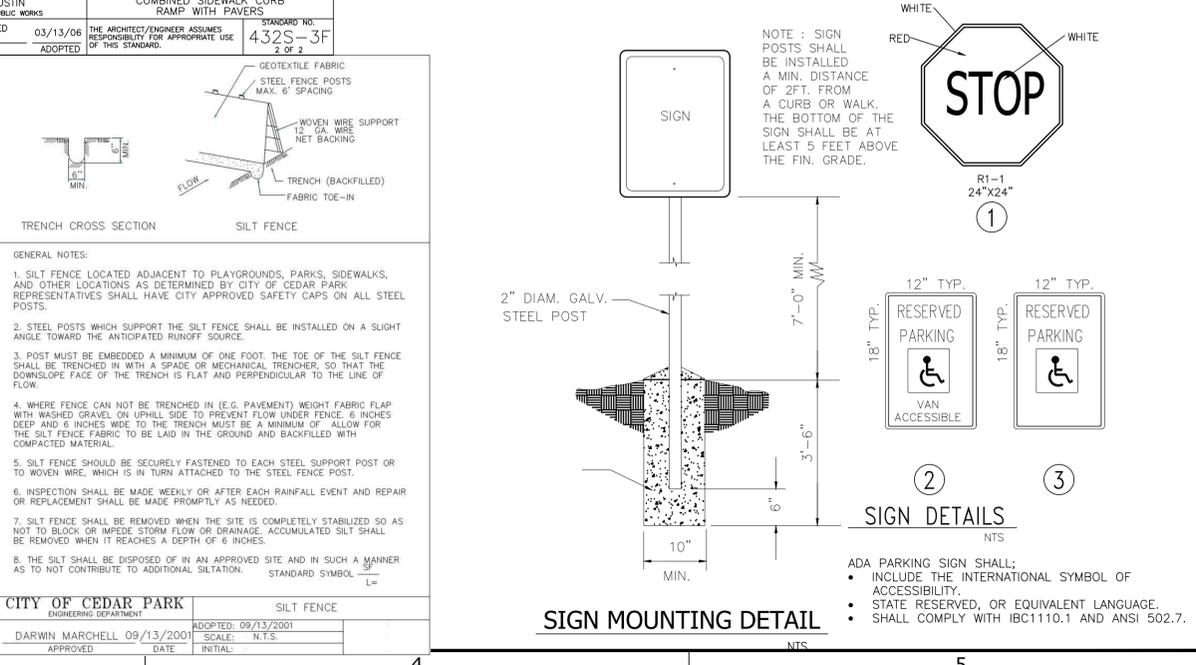
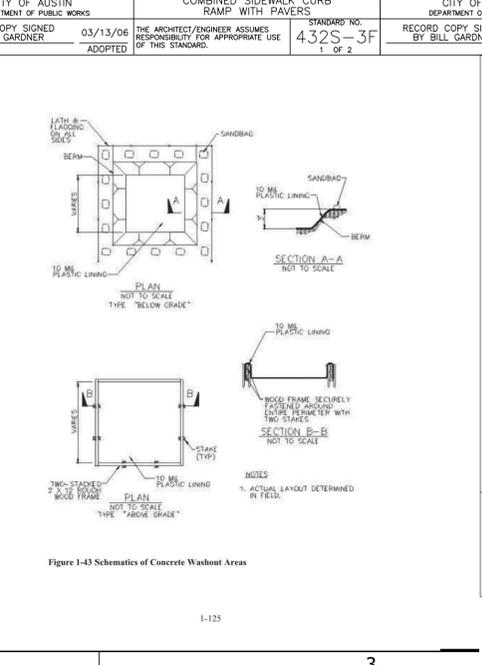
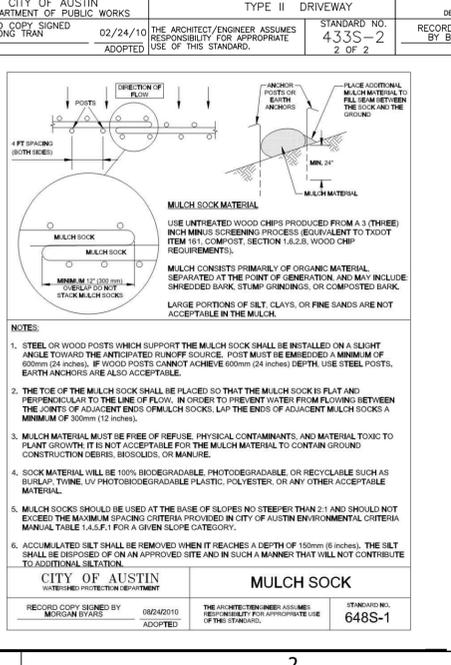
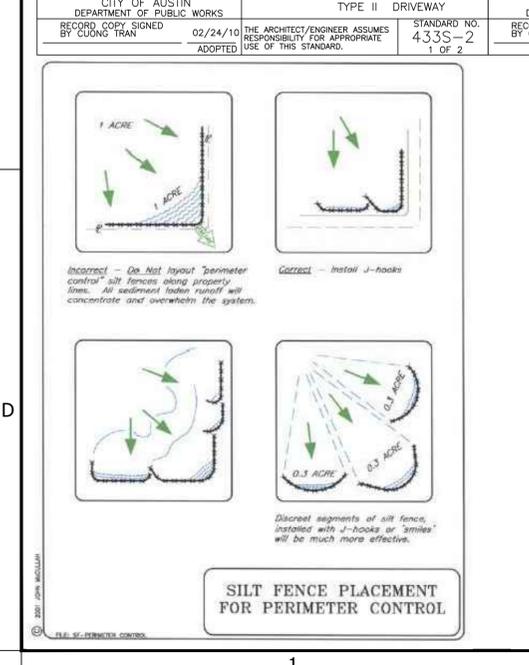
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DATE: 02/24/10
STANDARD NO.: 433S-2

CITY OF AUSTIN
DEPARTMENT OF PUBLIC WORKS

RECORD COPY SIGNED BY: BILL GARDNER
DATE: 03/13/06
STANDARD NO.: 432S-3F

CITY OF CEDAR PARK
ENGINEERING DEPARTMENT

RECORD COPY SIGNED BY: DARWIN MARCHELL
DATE: 09/13/2001
STANDARD NO.: 648S-1



CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT

RECORD COPY SIGNED BY: MORGAN EVANS
DATE: 08/24/2010
STANDARD NO.: 648S-1

CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT

RECORD COPY SIGNED BY: MORGAN EVANS
DATE: 08/24/2010
STANDARD NO.: 648S-1

CITY OF CEDAR PARK
ENGINEERING DEPARTMENT

RECORD COPY SIGNED BY: DARWIN MARCHELL
DATE: 09/13/2001
STANDARD NO.: 648S-1

CITY OF CEDAR PARK
ENGINEERING DEPARTMENT

RECORD COPY SIGNED BY: DARWIN MARCHELL
DATE: 09/13/2001
STANDARD NO.: 648S-1

NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL

CHAMPION PARK 3830 BRUSHY CREEK RD CEDAR PARK, WILLIAMSON COUNTY, TEXAS 78613

CONSTRUCTION DETAILS

SHEET C-500 9 OF 12 SD-20

FIRM NO: F-15085

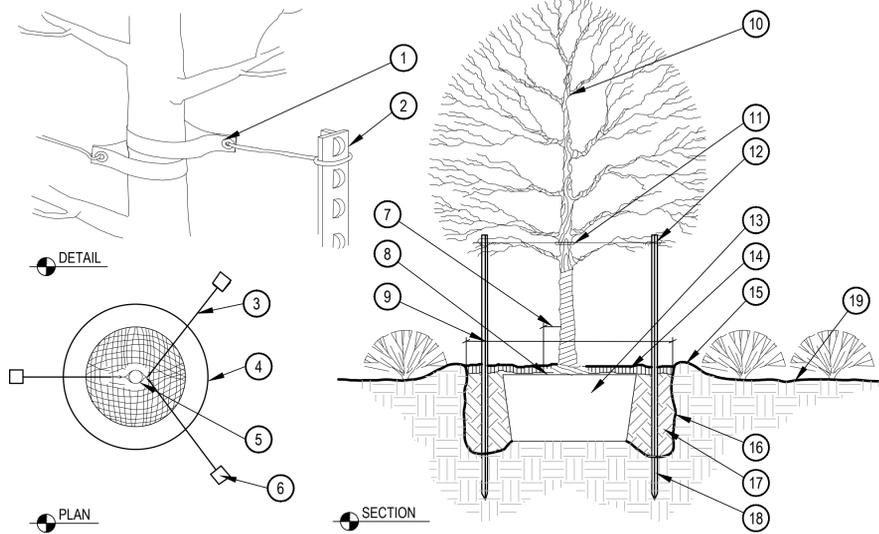
512.889.6560

WGL WGLinc.com

2021 EAST 5TH STREET, SUITE 200 AUSTIN, TEXAS 78702

STATE OF TEXAS
THOMAS J. LOMBARDI JR.
131071
LICENSED PROFESSIONAL ENGINEER
9187820

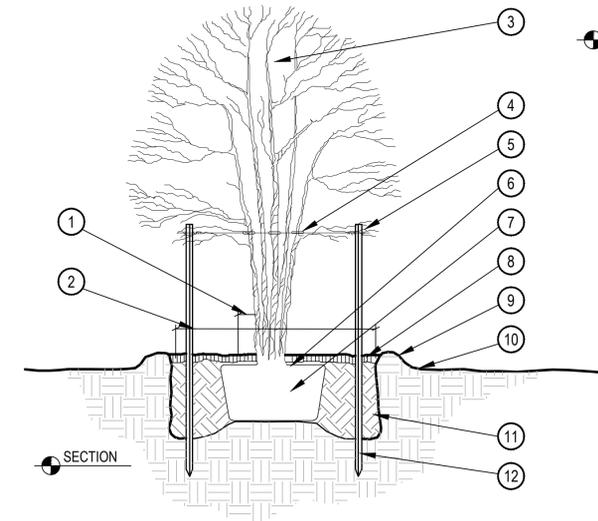
- NOTES:
1. ROOTBALL SIZE SHALL CONFORM TO THE 1995 AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS UNLESS OTHERWISE NOTED.
 2. USE THREE STAKES ON ALL TREES.
 3. APPROVED TIE SYSTEM SHALL BE LOCATED ABOVE THE BOTTOM BRANCH.



1 SINGLE TRUNK TREE PLANTING AND STAKING

SCALE: NTS

- APPROVED TREE TIE SYSTEM (SEE NOTES)
- 1 LOOP SHALL BE 3X THE DIAMETER OF TRUNK IN ORDER TO PREVENT SCARING, CUTTING, GIRDLING, OR OTHER DAMAGE TO TREE
 - 2 STEEL STUDDED FENCE POST-STUDS MUST FACE AWAY FROM TREE
 - 3 APPROVED TREE TIE SYSTEM (SEE NOTES)
 - 4 EDGE OF TREE PIT
 - 5 TREE TRUNK
 - 6 STUDDED STEEL FENCE POST
 - 7 CONTRACTOR TO LEAVE 6" MIN. ROOT FLAIR UNCOVERED BY MULCH, SOIL, AND PLANTING MIX
 - 8 PLACE TOP OF ROOT CROWN 2" ABOVE FINISH GRADE
 - 9 EXCAVATE HOLE 2X ROOT BALL DIAMETER
 - 10 NEVER CUT LEADER-THIN UP TO 1/3 OF BRANCHES RETAINING NATURAL SHAPE OF TREE - DO NOT LEAVE STUBS
 - 11 APPROVED TIE SYSTEM ABOVE THE FIRST BRANCH
 - 12 STAKE ALL TREES USING METAL STAKES-3 PER TREE
 - 13 DO NOT BREAK ROOT BALL. IF ROOT BALL IS BROKEN PLANT WILL BE REJECTED. REMOVE BURLAP FROM TOP OF ROOT BALL
 - 14 3" MULCH LAYER AS SPECIFIED
 - 15 4" HT. SAUCER AROUND PLANTING PIT
 - 16 ROUGHEN SURFACE TO IMPROVE ROOT PENETRATION
 - 17 50% EXCAVATED SOIL AND 50% PLANTING SOIL MIX
 - 18 MIN. 3 STAKES PER TREE PAINTED BLACK STEEL STAKE 3 LARGEST STEMS ON TREE
 - 19 FINISH GRADE



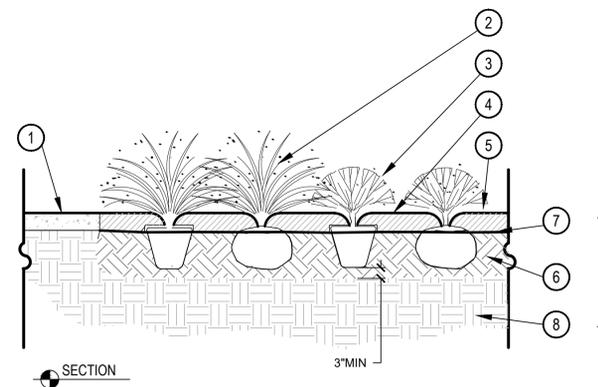
2 MULTI-STEM TREE PLANTING AND STAKING STANDARD

SCALE: NTS

NOTES:

1. TOTAL CALIPER INCHES OF A MULTIPLE TRUNK TREE IS CALCULATED AS FOLLOWS: ADD THE CALIPER INCHES OF THE LARGEST TRUNK TO HALF OF THE CALIPER INCH OF EACH OF THE SMALLER TRUNKS.
2. ROOTBALL WIDTH SHOULD BE DETERMINED BY THE FOLLOWING: 8" OF ROOTBALL DIA. FOR EACH 1" CALIPER OF TREE TRUNK.
3. ROOTBALL DEPTH IS 2/3RDS OF THE DIAMETER.

- 1 CONTRACTOR TO LEAVE 6" MIN. ROOT FLAIR UNCOVERED BY MULCH, SOIL, AND PLANTING MIX
- 2 EXCAVATE HOLE 2X ROOT BALL DIAMETER
- 3 NEVER CUT LEADER - THIN UP TO 1/3 OF BRANCHES RETAINING NATURAL SHAPE OF TREE - DO NOT LEAVE STUBS
- 4 ATTACH GUY WIRE & HOSE ABOVE FIRST BRANCH.
- 5 STAKE ALL TREES USING METAL STAKES-3 PER TREE
- 6 PLACE TOP OF ROOT CROWN 2" ABOVE FINISH GRADE
- 7 DO NOT BREAK ROOT BALL. IF ROOT BALL IS BROKEN PLANT WILL BE REJECTED. REMOVE BURLAP FROM TOP OF ROOT BALL
- 8 3" MULCH LAYER AS SPECIFIED
- 9 4" HT. SAUCER AROUND PLANTING PIT
- 10 FINISH GRADE
- 11 50% EXCAVATED SOIL AND 50% PLANTING SOIL MIX
- 12 HEAVY DUTY, METAL STAKE TO BE MINIMUM 8'-0" LONG STAKE TO BE 18" BELOW PIT IN UNDISTURBED SUBGRADE
- 13 LACE HOSE GUARDS TOGETHER WITH SINGLE WIRE STAY
- 14 MIN. 3 STAKES PER TREE PAINTED BLACK STEEL STAKE 3 LARGEST STEMS ON TREE



3 SHRUB/ GRASS PLANTING

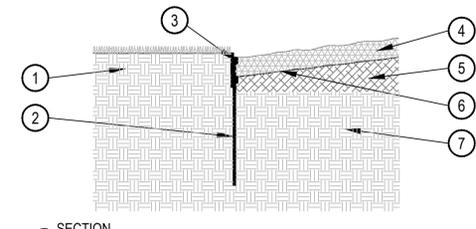
SCALE: NTS

- 1 ADJACENT HARDSCAPE
- 2 GRASSES (AS SPECIFIED PER PLAN)
- 3 SHRUB (AS SPECIFIED PER PLAN)
- 4 3" MULCH AS SPECIFIED, SUBSURFACE IRRIGATION TO BE COMPLETELY COVERED BY MULCH
- 5 LEAVE NO ROOTS EXPOSED
- 6 8" DEPTH PLANTING SOIL MIX AS SPECIFIED THIS SHEET, NOTE #13
- 7 GEOTEXTILE FABRIC TO MEET TYPAR 3301 MIN. SPECIFICATIONS OR APPROVED EQUAL
- 8 UNDISTURBED SUBGRADE
- 9 BED EDGE

LANDSCAPE NOTES:

1. COMPLETE ALL LANDSCAPE PLANTING AND RELATED EARTHWORK INCLUDING ALL PRODUCTS, EQUIPMENT AND LABOR, FOR THE LANDSCAPE AREAS SHOWN ON THE DRAWING AND DESCRIBED IN THE SPECIFICATIONS.
2. ALL QUESTIONS SHOULD BE REFERRED TO THE PROJECT LANDSCAPE ARCHITECT.
3. INFORMATION PROVIDED ON THIS PLAN IS GENERAL IN NATURE. DIMENSIONS, LOCATIONS, AND AREAS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO BIDDING & INSTALLATION.
4. QUANTITIES SHOWN FOR PLANT MATERIALS ARE APPROXIMATE. ACTUAL INSTALLED QUANTITIES OF PLANT MATERIALS MAY VARY FROM THE PLAN AND SHOULD BE FIELD DETERMINED ACCORDING TO THE GIVEN SPACING AND FIELD CONDITIONS. DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE PLAN WHICH LIMIT THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. BY BIDDING, THE CONTRACTOR ACKNOWLEDGES THAT HE/SHE HAS SATISFIED HIMSELF/HERSELF AS TO THE NATURE AND LOCATION OF THE WORK AND TO THE QUALITY OF SURFACE AND SUBSURFACE MATERIALS OR OBSTACLES INsofar AS THIS DATA IS REASONABLY ASCERTAINABLE FROM AN INSPECTION OF THE SITE. ANY FAILURE BY THE CONTRACTOR TO ACQUAINT HIMSELF/ HERSELF WITH THE AVAILABLE INFORMATION WILL NOT RELIEVE HIM/HER FROM RESPONSIBILITY FOR ESTIMATING PROPERLY THE DIFFICULTY OR COST OF SUCCESSFULLY PERFORMING THE WORK AS DESCRIBED.
6. INSTALLATION OF ALL LANDSCAPING MUST BE COORDINATED WITH THE INSTALLATION OF RELATED IRRIGATION, SITE WORK, AND GRADING.
7. UNLESS SPECIFICALLY NOTED, INSTALL ALL MASSES PLANTING UTILIZING EQUILATERAL TRIANGULAR SPACING.
8. EVENLY APPLY 3" OF MULCH TO ALL CONTINUOUS PLANTING BEDS. MULCH TO BE TRANSPORTED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR TO ENSURE ALL SUBSURFACE IRRIGATION IS COMPLETELY COVERED BY MULCH.
9. SUBSTITUTIONS OF PLANT SPECIES, SIZES, OR OTHER SPECIFIED MATERIALS WILL NOT BE ALLOWED WITHOUT PRIOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
10. PLANT MATERIAL AND LAYOUT MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
11. ALL IDENTIFICATION TAGS PROVIDED BY GROWERS AND PLACED ON TREES AND SHRUBS ARE TO REMAIN ON THE PLANTS THROUGH THE PUNCH-LIST INSPECTION. TAGS ARE TO BE REMOVED PRIOR TO FINAL ACCEPTANCE, OR UPON REQUEST OF THE PROJECT LANDSCAPE ARCHITECT.
12. SEED MIX/SOLID SOD WILL BE APPLIED TO ALL CONSTRUCTION-DAMAGED GROUND SURFACES NOT OTHERWISE PLANTED. CONTRACTOR SHALL REVIEW RELATED CONSTRUCTION DRAWINGS FOR LIMITS OF CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR COORDINATING WITH OTHER SITE CONTRACTORS TO DETERMINE ACTUAL AREAS OF SEEDING REQUIRED, INCLUDING AREAS DISTURBED BY UTILITY EXTENSIONS.
13. THE LANDSCAPE CONTRACTOR SHALL EXCAVATE FULLY PREPARED PLANT BEDS AS REQUIRED TO ACCOMMODATE A FULL 8" OF PREPARED SOIL AND 3" MULCH LAYER. CLEAN, NATIVE TOPSOIL REMOVED FROM THESE BEDS MAY BE SPREAD ON NEARBY AREAS TO BE SODDED OR SEED. STONES LARGER THAN 1" DIAMETER SHALL BE REMOVED AND DISPOSED OF OFF SITE. FOLLOWING EXCAVATION, PLACE PREPARED SOIL IN THESE PLANT BEDS. PREPARED SOIL SHALL CONSIST OF 5" IMPORTED "CHOCOLATE" LOAM TOPSOIL AND 3" ORGANIC COMPOST SOIL CONDITIONER (SUCH AS "LIVING EARTH TECHNOLOGIES", "BACK-TO-EARTH" OR OTHER APPROVED MANUFACTURER), THOROUGHLY BLENDED TOGETHER TO 20% MINIMUM ORGANIC CONTENT. THIS MIX SHALL ALSO BE USED TO BACKFILL PLANTING PITS OF ALL TREES. **CONTRACTOR SHALL SUBMIT PLANTING SOIL MATERIAL TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.**
14. ALL PLANTING BEDS INDICATED WILL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION. IRRIGATION CONTRACTOR IS TO BE A STATE OF TEXAS LICENSED IRRIGATOR, AND SHALL FOLLOW ALL TCEQ CODES AND REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS AND SPECIFICATIONS FOR IRRIGATION SYSTEM INCLUDING PIPE SIZES AND LOCATIONS.
15. ALL SEEDING AREAS DISTURBED BY CONSTRUCTION SHALL BE TEMPORARILY IRRIGATED OR SPRINKLED IN A MANNER THAT WILL NOT ERODE THE TOPSOIL, BUT WILL SUFFICIENTLY SOAK THE SOIL TO A DEPTH OF SIX INCHES. THE IRRIGATION SHALL OCCUR AT TEN-DAY INTERVALS DURING THE FIRST TWO MONTHS. RAINFALL OCCURENCES OF 1/2 INCH OR MORE SHALL POSTPONE THE WATERING SCHEDULE FOR ONE WEEK. RESTORATION SHALL BE ACCEPTABLE WHEN THE GRASS HAS GROWN AT LEAST 1-1/2 INCHES HIGH WITH 95% COVERAGE, PROVIDED NO BARE SPOTS LARGER THAN 16 SQUARE FEET EXIST.
16. REGULAR MAINTENANCE IS REQUIRED OF ALL LANDSCAPE AREAS AND PLANT MATERIALS IN A VIGOROUS AND HEALTHY CONDITION, FREE FROM DISEASES, PEST WEEDS, AND LITTER. THIS MAINTENANCE SHALL INCLUDE WEEDING, WATERING, FERTILIZATION, PRUNING, MOWING, EDGING, MULCHING OR OTHER NEEDED MAINTENANCE, IN ACCORDANCE WITH GENERALLY ACCEPTED HORTICULTURAL PRACTICES UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.
17. THE OWNERS OF THE LANDSCAPED PROPERTY, OR THE MANAGER OR AGENT OF THE OWNER, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AREAS. SAID AREAS SHALL BE MAINTAINED SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF REFUSE AND DEBRIS. ALL PLANTING BEDS SHALL BE PROVIDED WITH A READILY AVAILABLE WATER SUPPLY AND WATERED AS NECESSARY TO ENSURE CONTINUOUS HEALTHY GROWTH AND DEVELOPMENT. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL IF THAT MATERIAL WAS USED TO MEET THE REQUIREMENTS OF THE ORDINANCE.
18. NO TOPSOIL SHALL BE PLACED UNTIL SUBGRADE IS APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR TO FURNISH AND SPREAD TOPSOIL ON LAWN AREAS TO A DEPTH OF FOUR INCHES. WORK TOPSOIL TO A SMOOTH UNIFORM SURFACE AND COMPACT FIRMLY. FEATHER TOPSOIL INTO UNDISTURBED AREAS CREATING A SMOOTH, EVEN TRANSITION. SPREAD ADDITIONAL TOPSOIL IN UNDISTURBED AREAS TO ELIMINATE WATER PONDING. STONES LARGER THAN 1" DIAMETER SHALL BE REMOVED FROM TURF AREAS AND DISPOSED OF OFF SITE.
19. NO CUTTING, FILLING, TRENCHING, ROOT DISTURBANCE, SOIL DISTURBANCE, OR CONSTRUCTION IMPACTS SHALL OCCUR TO THE TRUNK WITHIN THE CRITICAL ROOT ZONE UNLESS DONE BY HAND.
20. FROM APRIL 1 TO SEPTEMBER 30, ONLY CONTAINER GROWN TREES MAY BE PLANTED. FROM OCTOBER 1 TO MARCH 31, EITHER CONTAINER GROWN OR BALL AND BURLAPPED TREES MAY BE PLANTED.

- 1 ADJACENT TURF OR AGGREGATE
- 2 8" STEEL STAKE
- 3 STEEL LANDSCAPE EDGING 3/16" X 4", ENSURE TOP EDGE IS FLUSH WITH ANY ADJACENT HARDSCAPE SURFACE
- 4 FINISHED GRADE, PLANT BED, OR GROUND COVER
- 5 TOP SOIL AS SPECIFIED
- 6 GEOTEXTILE FABRIC TO MEET TYPAR 3301 MIN. SPECIFICATIONS OR APPROVED EQUAL
- 7 UNDISTURBED SUBGRADE



4 STEEL EDGING

SCALE: NTS

LANDSCAPE MAINTENANCE NOTES:

PROPERTY LANDSCAPING SHALL BE MAINTAINED AT ALL TIMES. THE QUALITY OF THE LANDSCAPE MAINTENANCE SHALL MEET STANDARDS OF PERFORMANCE PROVIDED BY LANDSCAPE COMPANIES IN THE REGION. LANDSCAPE AREAS WILL AT ALL TIMES HAVE A NEAT, CLEAN, HEALTHY, MANICURED APPEARANCE.

1. TURF AREAS
 - A. MOWING & EDGING OF ALL TURF AREAS SHALL BE PERFORMED AT LEAST ONCE PER WEEK.
 - B. PERENNIAL GRASS OVERSEEDING SHALL BE SEPARATE & MUST BE APPROVED BY THE OWNER PRIOR TO START. OVERSEEDING SHALL BE SPREAD AT A RATE TO INSURE A LUSH, THICK CONSISTENT WINTER TURF. TRIMMING & EDGING OF TURF AREAS TO BE PERFORMED EACH VISIT.
 - C. ALL TURF AREAS ARE TO BE FERTILIZED A MINIMUM OF FOUR TIMES PER YEAR W/ A HIGH QUALITY, SLOW RELEASE FERTILIZER FROM A REPUTABLE MANUFACTURER.
 - D. CONTRACTOR SHALL APPLY APPROPRIATE FUNGICIDES AS NECESSARY & PRE-EMERGENT HERBICIDE TWO TIMES PER YEAR & POST-EMERGENT HERBICIDE AT THE TIME DEEMED MOST EFFICIENT & FAVORABLE BY CONTRACTOR.
 - E. TURF TO BE TREATED AS NECESSARY W/ APPROPRIATE INSECTICIDE TO CONTROL SOIL PESTS.
 - F. RAKING TO BE PERFORMED AS NEEDED TO MAINTAIN APPEARANCE. DE-THATCH & AERATE TURF ONCE DURING THE YEAR IN CONJUNCTION W/ RYE OVERSEEDING. IF OWNER OPTS TO NOT PERFORM OVERSEED, DE-THATCHING & AERATING TO BE PERFORMED IN EARLY SPRING.
 - G. BAG ALL AREAS WITHIN 45 FEET OF BUILDINGS, DRIVEWAYS, & SIDEWALKS.
2. SHRUBS, GROUND COVER, BEDS & ANNUALS
 - A. TO BE MAINTAINED WEED FREE, AS NEEDED USING APPROPRIATE HERBICIDES & MANUAL WEEDING. USE A MINIMUM OF TWO PRE-EMERGENT APPLICATIONS & MANUALLY WEED EACH VISIT.
 - B. TO BE FERTILIZED FOUR TIMES PER YEAR W/ A BALANCED HIGH QUALITY, SLOW RELEASE FERTILIZER, APPROPRIATE TO THE SHRUBS ON THE PROJECT.
 - C. SHRUBBERY TO BE HAND TRIMMED AS SPECIFIED TO MAINTAIN A MANICURED APPEARANCE OR AS OTHERWISE REQUESTED BY OWNER. USE ONLY SKILLED PERSONNEL W/ SIGNIFICANT EXPERIENCE IN CLASS A PROPERTIES. NO SHEARING, ALL TO BE DONE W/ SELECTIVE HAND PRUNING TO KEEP PLANT WITHIN BOUNDS BUT TO MAINTAIN A NATURAL SHAPE & APPEARANCE.
 - D. TO BE INSPECTED WEEKLY BY QUALIFIED SUPERVISOR, FOLLOWED BY A WRITTEN REPORT OF PROBLEMS DISCOVERED & ACTIONS TO BE TAKEN.
 - E. AREAS TO BE SPRAYED W/ APPROPRIATE INSECTICIDES & FUNGICIDES, AS NECESSARY.
 - F. ANNUALS TO BE CHANGED OUT FOUR (4) TIMES PER YEAR USING FOUR (4) INCH POTS & FERTILIZED AT EACH CHANGE. MONITOR & APPLY FUNGICIDES & INSECTICIDES TO INSURE MAXIMUM VIGOR.
 - G. APPLY SHREDDED HARDWOOD MULCH TO A DEPTH OF TWO INCHES, A MINIMUM OF THREE TIMES ANNUALLY. IF MULCH DEPTH ACCUMULATION BECOMES SO EXCESSIVE AS TO BE DETRIMENTAL TO PLANT HEALTH, RAKE OUT & DISPOSE OF EXCESS QUANTITIES OF THE OLDEST MATERIAL, OFF-SITE.
 - H. ALL TRAFFIC & DIRECTIONAL SIGNAGE TO BE KEPT FREE & CLEAR FROM ALL BUSHES/SHRUBS, ETC.
 - I. A THREE-FOOT PERIMETER AROUND ALL FIRE HYDRANTS SHALL BE MAINTAINED
3. LANDSCAPE TREES (4" CALIPER OR LESS)
 - A. TO BE LIGHTLY PRUNED AS NECESSARY (AT LEAST ONCE A MONTH DURING GROWING SEASON).
 - B. TO BE PRUNED & SHAPED ONCE DURING WINTER MONTHS. PRUNE TO CLASS I STANDARDS. NOTIFY MANAGEMENT PRIOR TO & IMMEDIATELY FOLLOWING PRUNING ACTIVITY. PRUNING TO BE DONE BY QUALIFIED TREE CARE FIRM, SUBJECT TO MANAGEMENT APPROVAL.
 - C. DEEP ROOT FERTILIZE ALL LANDSCAPE TREES ONE TIME PER YEAR. SUBMIT INFORMATION ON MATERIALS, APPLICATION METHODS & APPLICATOR QUALIFICATION ONE WEEK PRIOR TO PERFORMING WORK TO OWNER'S REPRESENTATIVE.
 - D. ALL TRAFFIC & DIRECTIONAL SIGNAGE TO BE KEPT FREE OF TREE LIMBS & BRANCHES
4. LARGE TREES (GREATER THAN 4" CALIPER)
 - A. CONTRACTOR SHALL INSPECT FOR INSECT, DISEASE INFESTATIONS & TREE DAMAGE SUCH AS LIGHTNING OR VEHICULAR DAMAGE. CONTRACTOR SHALL NOTIFY MANAGEMENT IMMEDIATELY OF SUCH DAMAGE OR DISEASE SO THAT CORRECTIVE ACTION CAN BE TAKEN.
 - B. WHEN PRUNING IS REQUIRED TO REMOVE DEAD OR DAMAGED LIMBS, WORK IS TO BE DONE BY QUALIFIED TREE CARE FIRM. MANAGEMENT APPROVAL IS REQUIRED PRIOR TO PRUNING.
 - C. ANY FERTILIZING RECOMMENDED BY QUALIFIED TREE CARE FIRM IS SUBJECT TO APPROVAL.
 - D. ALL TRAFFIC & DIRECTIONAL SIGNAGE TO BE KEPT FREE OF TREE LIMBS & BRANCHES
5. DEBRIS & LITTER
 - A. NORMAL TRASH & LITTER WILL BE REMOVED FROM ALL LAWN & LANDSCAPED AREAS WEEKLY.
 - B. ALL DEBRIS RESULTING FROM ANY & ALL LANDSCAPE WORK SHALL BE CLEANED UP IMMEDIATELY.
6. PAVED AREAS
 - A. AT PARKING LOT PERIMETERS & PAVING JOINTS, WEEDS & GRASSES ARE TO BE CONTROLLED W/ CONTACT HERBICIDE SPRAYS & MANUAL WEEDING AS REQUIRED.
 - B. ALL DEBRIS RESULTING FROM ANY & ALL LANDSCAPE WORK SHALL BE CLEANED UP IMMEDIATELY.
7. IRRIGATION
 - A. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING & OPERATING ALL IRRIGATION SYSTEMS AT THE PROPERTY EXCEPT AS MAY BE OTHERWISE NOTED.
 - B. IRRIGATION SYSTEMS MUST BE INSPECTED MONTHLY & A REPORT MUST BE SUBMITTED TO MANAGEMENT. MANAGEMENT MUST APPROVE REPAIRS GREATER THAN \$250.00.
 - C. CONTRACTOR WILL ENSURE THAT WATERING CYCLES ARE IN COMPLIANCE W/ ANY CITY GUIDELINES AS A RESULT OF WATER RATIONING OR WATER CONSERVATION. ANY FEES OR PENALTIES INCURRED BY VIOLATION OF ORDINANCES WILL BE BILLED TO CONTRACTOR.
 - D. ALL HEADS & NOZZLES BROKEN BY LANDSCAPE MAINTENANCE OPERATIONS WILL BE REPAIRED OR REPLACED AT CONTRACTOR EXPENSE. ALL NOZZLES WILL BE CLEANED MONTHLY IF NECESSARY, & ALL HEADS WILL BE ADJUSTED AS NEEDED.
8. GENERAL
 - A. CONTRACTOR SHALL PROVIDE ADEQUATE SUPERVISION TO ASSURE THAT ALL WORK WILL BE DONE IN ACCORDANCE W/ THIS AGREEMENT & GENERALLY ACCEPTED GOOD PRACTICE. A WEEKLY VISIT BY A QUALIFIED SUPERVISOR IS A MINIMUM REQUIREMENT. ADEQUATE TIME SHALL BE ALLOWED FOR A THOROUGH & COMPLETE EXAMINATION OF THE ENTIRE PROPERTY.
 - B. CONTRACTOR SHALL REPLACE AT CONTRACTOR'S EXPENSE ANY PLANT MATERIAL THAT DIES DUE TO DAMAGE BY LAWN MAINTENANCE, EQUIPMENT OR CONTRACTOR'S NEGLIGENCE.
 - C. ALL WORK SHALL BE PERFORMED BY CONTRACTOR'S EMPLOYEES; NO WORK SHALL BE PERFORMED BY SUBCONTRACTORS WITHOUT WRITTEN CONSENT OF MANAGEMENT.
 - D. EMPLOYEES TO WEAR UNIFORMS & PROVIDE NEAT APPEARANCE & PROFESSIONAL BEHAVIOR.
 - E. CREW MEMBERS WILL OBSERVE ALL OSHA REGULATIONS. ALL EQUIPMENT WILL BE PROPERLY MAINTAINED & KEPT IN A SAFE OPERATING CONDITION.
 - F. ALL DEBRIS RESULTING FROM ANY & ALL LANDSCAPE WORK SHALL BE IMMEDIATELY CLEANED UP & REMOVED FROM SITE. USE OF AN ON-SITE DUMPSTER IS PROHIBITED.
 - G. ADDITIONAL PROJECTS, LANDSCAPE UPGRADES, ETC. WILL BE NEGOTIATED AS NEEDED.
 - H. POTS OR SIDEWALK PLANTERS AT PROPERTY SHALL BE MAINTAINED IN ACCORDANCE W/ ALL SPECS NOTED ABOVE. IRRIGATION SHALL BE MAINTAINED OR HAND WATER AS NEEDED.

SUBMISSIONS | REVISIONS:

09.21.2020 SDP SET

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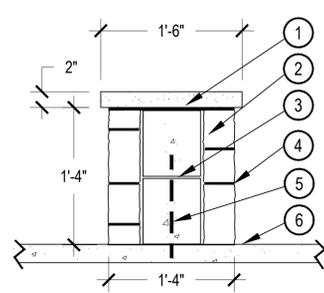
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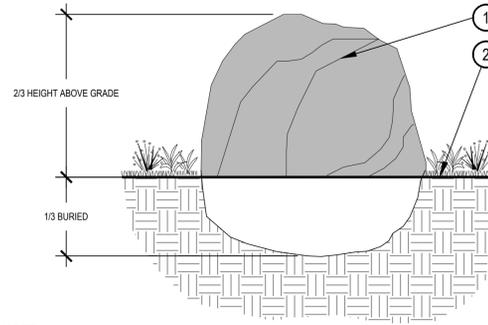
LANDSCAPE
NOTES & DETAILS



- ① 2" CAST STONE CAP TO MATCH EXISTING SEAT WALL, 1/2" OVERHANG
- ② 4" ASSORTED CHOP BLOCK LIMESTONE TO MATCH EXISTING SEAT WALL
- ③ 8X8X16 CMU, FILL WITH CONCRETE
- ④ 1/4" GROUTED JOINTS
- ⑤ # 4 REBAR DOWELS @ 24" OC. EPOXY DOWEL IN CONCRETE 3" MIN BELOW FINISH GRADE
- ⑥ FINISH GRADE

1 CURVED LIMESTONE BLOCK SEATWALL

NTS

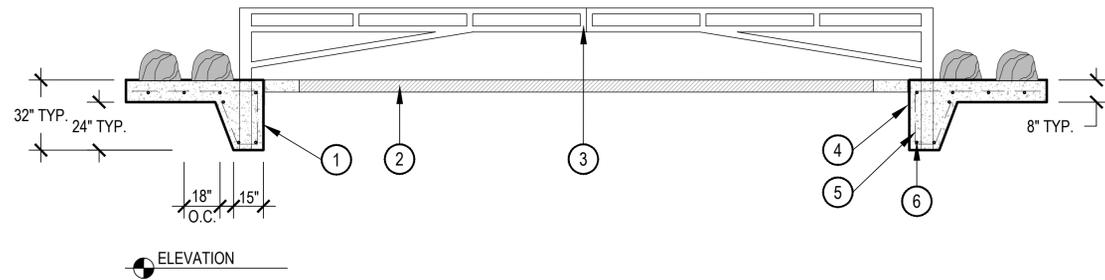


- ① LIMESTONE BOULDER, LOCATION PER PLANS, BOULDER SIZE SHOULD RANGE BETWEEN 3'-4" W X 3'-4" L X 3' H
- ② FINISH GRADE / PLANTING

2 LIMESTONE BOULDER

SCALE: 3/4" = 1'-0"

NOTE:
ALL BOULDER LOCATIONS TO BE FIELD APPROVED BY LANDSCAPE ARCHITECT



- ① 3000 PSI CONCRETE FOOTING
- ② STABILIZED CONCRETE DRIVE
- ③ LIFTMASTER 14020-30 30' MANUAL DOUBLE LEAF SWING BARRIER GATE ARM
- ④ 3/4" EXPANSION JOINT, SEAL W/Joint SEALANT AFTER CONCRETE CURES
- ⑤ #3 REBAR, 12" O.C.
- ⑥ #4 BARS CONT. 18" O.C.

3 SWING ACCESS GATE

SCALE: 3" = 1'-0"

PLANT SCHEDULE

TREES	QTY	COMMON / BOTANICAL NAME	CAL	DESCRIPTION	CONT
	4	CEDAR ELM ULMUS CRASSIFOLIA	3" CAL	8'-10" H, 5' CLEAR TRUNK	65 GAL
	5	CHINKAPIN OAK QUERCUS ACUMINATA	3" CAL	8'-10" H, 5' CLEAR TRUNK	65 GAL
	2	MEXICAN SYCAMORE PLATANUS MEXICANA	3" CAL	8'-10" H, 5' CLEAR TRUNK	65 GAL
	9	SOUTHERN LIVE OAK QUERCUS VIRGINIANA	3" CAL	8'-10" H, 5' CLEAR TRUNK	65 GAL
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE	DESCRIPTION	SPACING
	7	BIG MUHLY MUHLENBERGIA LINDHEIMERI 'BIG'	5 GAL	PER TNLA STANDARDS & SPECS	36" O.C.
	6	FLAME ACANTHUS ANISACANTHUS QUADRIFIDUS WRIGHTII	5 GAL	PER TNLA STANDARDS & SPECS	36" O.C.
	10	MEXICAN BUSH SAGE SALVIA LEUCANTHA	5 GAL	PER TNLA STANDARDS & SPECS	36" O.C.
	7	PINE MUHLY MUHLENBERGIA DUBIA	5 GAL	PER TNLA STANDARDS & SPECS	36" O.C.
	21	TEXAS LANTANA LANTANA URTICOIDES	3 GAL	PER TNLA STANDARDS & SPECS	24" O.C.
GROUND COVERS	QTY	COMMON / BOTANICAL NAME	CONT	DESCRIPTION	
	31,990 SF	BERMUDA GRASS CYNODON DACTYLON	HYDRO SEED	2" TOPSOIL TO BE APPLIED AT ALL SEED AND SOD AREAS	
	1,019 SF	HARDWOOD MULCH MULCH HARDWOOD	NONE	3" DEPTH W/WEED BARRIER FABRIC. PROVIDE SAMPLE PRIOR TO CONSTRUCTION.	

LANDSCAPE CALCULATION CHART

1 STREET YARD LANDSCAPING	Total	Required	Provided
Streetyard Area	43,528 SF	8,706	33,009
Base requirement - Large Trees (1-1/2" cal. min)	10,000 SF	X 20% 1,000 SF	10
Total Trees		10	12
Total Shrubs		30	30
NOTE: In required landscaped street yard areas less than 10,000 square feet, at least one (1) shade/canopy tree and three (3) shrubs shall be retained or planted within the street yard for every one thousand (1,000) square feet of required street yard.			
2 PARKING LOT LANDSCAPING	Required	Provided	
Total Parking Spaces	75		
Required Landscape: Spaces Inside Streetyard	75	90 SF	6,750
Required Landscape: Spaces Outside Streetyard	0	60 SF	0
Total Landscape Area			6,750
			33,009
4 IRRIGATION	Required	Provided	
	YES	YES	



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LANDSCAPE
CALCS & SCHEDULE