

Recharge and Transition Zone Exception Request Form Checklist

X Edwards Aquifer Application Cover Page (TCEQ-20705)

X General Information Form (TCEQ-0587)

Attachment A - Road Map

Attachment B - USGS / Edwards Recharge Zone Map

Attachment C - Project Description

N/A Geologic Assessment Form (TCEQ-0585), if necessary

Attachment A - Geologic Assessment Table (TCEQ-0585-Table)

Comments to the Geologic Assessment Table

Attachment B - Soil Profile and Narrative of Soil Units

Attachment C - Stratigraphic Column

Attachment D - Narrative of Site Specific Geology

Site Geologic Map(s)

Table or list for the position of features' latitude/longitude (if mapped using GPS)

X Recharge and Transition Zone Exception Request Form (TCEQ-0628)

Attachment A - Nature of Exception

Attachment B - Documentation of Equivalent Water Quality Protection

X Temporary Stormwater Section (TCEQ-0602), if necessary

Attachment A - Spill Response Actions

Attachment B - Potential Sources of Contamination

Attachment C - Sequence of Major Activities

Attachment D - Temporary Best Management Practices and Measures

Attachment E - Request to Temporarily Seal a Feature (if sealing a feature)

Attachment F - Structural Practices

Attachment G - Drainage Area Map

Attachment H - Temporary Sediment Pond(s) Plans and Calculations

Attachment I - Inspection and Maintenance for BMPs

Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices

N/A Permanent Stormwater Section (TCEQ-0600), if necessary

Attachment A - 20% or Less Impervious Cover Waiver, if project is multi-family residential, a school, or a small business and 20% or less impervious cover is proposed for the site

Attachment B - BMPs for Upgradient Stormwater

Attachment C - BMPs for On-site Stormwater

Attachment D - BMPs for Surface Streams

Attachment E - Request to Seal Features, if sealing a feature

Attachment F - Construction Plans

Attachment G - Inspection, Maintenance, Repair and Retrofit Plan

Attachment H -Pilot-Scale Field Testing Plan, if BMPs not based on Complying with the Edwards Aquifer Rules: Technical Guidance for BMPs

Attachment I -Measures for Minimizing Surface Stream Contamination

✘ **Agent Authorization Form (TCEQ-0599), if application submitted by agent**

✘ **Fee Application Form (TCEQ-0574)**

– **Check Payable to the “Texas Commission on Environmental Quality”**

✘ **Core Data Form (TCEQ-10400)**

Texas Commission on Environmental Quality

Edwards Aquifer Application Cover Page

Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with [30 TAC 213](#).

Administrative Review

1. [Edwards Aquifer applications](#) must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains “possibly sensitive” features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited.**
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a “Mid-Review Modification”. Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ’s Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ’s San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

1. Regulated Entity Name: Chisholm TR. Rd. & W. Old Settlers Blvd. Intersection					2. Regulated Entity No.: 600413181					
3. Customer Name: City of Round Rock					4. Customer No.:					
5. Project Type: (Please circle/check one)		New		Modification		Extension		Exception		
6. Plan Type: (Please circle/check one)		WPAP	CZP	SCS	UST	AST	EXP	EXT	Technical Clarification	Optional Enhanced Measures
7. Land Use: (Please circle/check one)		Residential		Non-residential			8. Site (acres):		1.78	
9. Application Fee:		\$500		10. Permanent BMP(s):			N/A			
11. SCS (Linear Ft.):		0 LF		12. AST/UST (No. Tanks):			No Tanks			
13. County:		Williamson		14. Watershed:			Brushy Creek			

Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the “Texas Groundwater Conservation Districts within the EAPP Boundaries” map found at:

http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	Hays	Travis	Williamson
Original (1 req.)	—	—	<u> X </u>
Region (1 req.)	—	—	—
County(ies)	—	—	—
Groundwater Conservation District(s)	<u> X </u> Edwards Aquifer Authority <u> </u> Barton Springs/Edwards Aquifer <u> </u> Hays Trinity <u> </u> Plum Creek	<u> </u> Barton Springs/Edwards Aquifer	NA
City(ies) Jurisdiction	<u> </u> Austin <u> </u> Buda <u> </u> Dripping Springs <u> </u> Kyle <u> </u> Mountain City <u> </u> San Marcos <u> </u> Wimberley <u> </u> Woodcreek	<u> </u> Austin <u> </u> Bee Cave <u> </u> Pflugerville <u> </u> Rollingwood <u> X </u> Round Rock <u> </u> Sunset Valley <u> </u> West Lake Hills	<u> </u> Austin <u> </u> Cedar Park <u> </u> Florence <u> </u> Georgetown <u> </u> Jerrell <u> </u> Leander <u> </u> Liberty Hill <u> </u> Pflugerville <u> </u> Round Rock

San Antonio Region					
County:	Bexar	Comal	Kinney	Medina	Uvalde
Original (1 req.)	—	—	—	—	—
Region (1 req.)	—	—	—	—	—
County(ies)	—	—	—	—	—
Groundwater Conservation District(s)	<u> </u> Edwards Aquifer Authority <u> </u> Trinity-Glen Rose	<u> </u> Edwards Aquifer Authority	<u> </u> Kinney	<u> </u> EAA <u> </u> Medina	<u> </u> EAA <u> </u> Uvalde
City(ies) Jurisdiction	<u> </u> Castle Hills <u> </u> Fair Oaks Ranch <u> </u> Helotes <u> </u> Hill Country Village <u> </u> Hollywood Park <u> </u> San Antonio (SAWS) <u> </u> Shavano Park	<u> </u> Bulverde <u> </u> Fair Oaks Ranch <u> </u> Garden Ridge <u> </u> New Braunfels <u> </u> Schertz	NA	<u> </u> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

Amy L. Bennett

Print Name of Customer/Authorized Agent

Amy Bennett

03/14/2023

Signature of Customer/Authorized Agent

Date

****FOR TCEQ INTERNAL USE ONLY****

Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):

General Information Form

Texas Commission on Environmental Quality

For Regulated Activities on the Edwards Aquifer Recharge and Transition Zones and Relating to 30 TAC §213.4(b) & §213.5(b)(2)(A), (B) Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **General Information Form** is hereby submitted for TCEQ review. The application was prepared by:

Print Name of Customer/Agent: Amy L. Bennett

Date: 03/14/2023

Signature of Customer/Agent:

Amy Bennett

Project Information

1. Regulated Entity Name: Chisholm TR. Rd. & W. Old Settlers Blvd. Intersection Improvements

2. County: Williamson

3. Stream Basin: Brushy Creek

4. Groundwater Conservation District (If applicable): N/A

5. Edwards Aquifer Zone:

Recharge Zone

Transition Zone

6. Plan Type:

WPAP

SCS

Modification

AST

UST

Exception Request

7. Customer (Applicant):

Contact Person: Dawn Scheel

Entity: City of Round Rock

Mailing Address: 3400 Sunrise Road

City, State: Round Rock, TX

Zip: 78665

Telephone: 512-218-6603

FAX: _____

Email Address: dscheel@roundrocktexas.gov

8. Agent/Representative (If any):

Contact Person: Amy L. Bennett

Entity: American Structurepoint

Mailing Address: 3711 South Mopac Expressway, Suite 350

City, State: Austin, TX

Zip: 78746

Telephone: 512-494-6037

FAX: _____

Email Address: abennett@structurepoint.com

9. Project Location:

The project site is located inside the city limits of Round Rock.

The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of _____.

The project site is not located within any city's limits or ETJ.

10. The location of the project site is described below. The description provides sufficient detail and clarity so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

The project is located at the intersection of Chisholm Tr. Rd. and W. Old Settlers Blvd. 970' West of I35.

11. **Attachment A – Road Map.** A road map showing directions to and the location of the project site is attached. The project location and site boundaries are clearly shown on the map.

12. **Attachment B - USGS / Edwards Recharge Zone Map.** A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000') of the Edwards Recharge Zone is attached. The map(s) clearly show:

Project site boundaries.

USGS Quadrangle Name(s).

Boundaries of the Recharge Zone (and Transition Zone, if applicable).

Drainage path from the project site to the boundary of the Recharge Zone.

13. **The TCEQ must be able to inspect the project site or the application will be returned.** Sufficient survey staking is provided on the project to allow TCEQ regional staff to locate the boundaries and alignment of the regulated activities and the geologic or manmade features noted in the Geologic Assessment.

Survey staking will be completed by this date: _____

14. **Attachment C – Project Description.** Attached at the end of this form is a detailed narrative description of the proposed project. The project description is consistent throughout the application and contains, at a minimum, the following details:

- Area of the site
- Offsite areas
- Impervious cover
- Permanent BMP(s)
- Proposed site use
- Site history
- Previous development
- Area(s) to be demolished

15. Existing project site conditions are noted below:

- Existing commercial site
- Existing industrial site
- Existing residential site
- Existing paved and/or unpaved roads
- Undeveloped (Cleared)
- Undeveloped (Undisturbed/Uncleared)
- Other: _____

Prohibited Activities

16. I am aware that the following activities are prohibited on the Recharge Zone and are not proposed for this project:

- (1) Waste disposal wells regulated under 30 TAC Chapter 331 of this title (relating to Underground Injection Control);
- (2) New feedlot/concentrated animal feeding operations, as defined in 30 TAC §213.3;
- (3) Land disposal of Class I wastes, as defined in 30 TAC §335.1;
- (4) The use of sewage holding tanks as parts of organized collection systems; and
- (5) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41(b), (c), and (d) of this title (relating to Types of Municipal Solid Waste Facilities).
- (6) New municipal and industrial wastewater discharges into or adjacent to water in the state that would create additional pollutant loading.

17. I am aware that the following activities are prohibited on the Transition Zone and are not proposed for this project:

- (1) Waste disposal wells regulated under 30 TAC Chapter 331 (relating to Underground Injection Control);

- (2) Land disposal of Class I wastes, as defined in 30 TAC §335.1; and
- (3) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41 (b), (c), and (d) of this title.

Administrative Information

18. The fee for the plan(s) is based on:

- For a Water Pollution Abatement Plan or Modification, the total acreage of the site where regulated activities will occur.
- For an Organized Sewage Collection System Plan or Modification, the total linear footage of all collection system lines.
- For a UST Facility Plan or Modification or an AST Facility Plan or Modification, the total number of tanks or piping systems.
- A request for an exception to any substantive portion of the regulations related to the protection of water quality.
- A request for an extension to a previously approved plan.

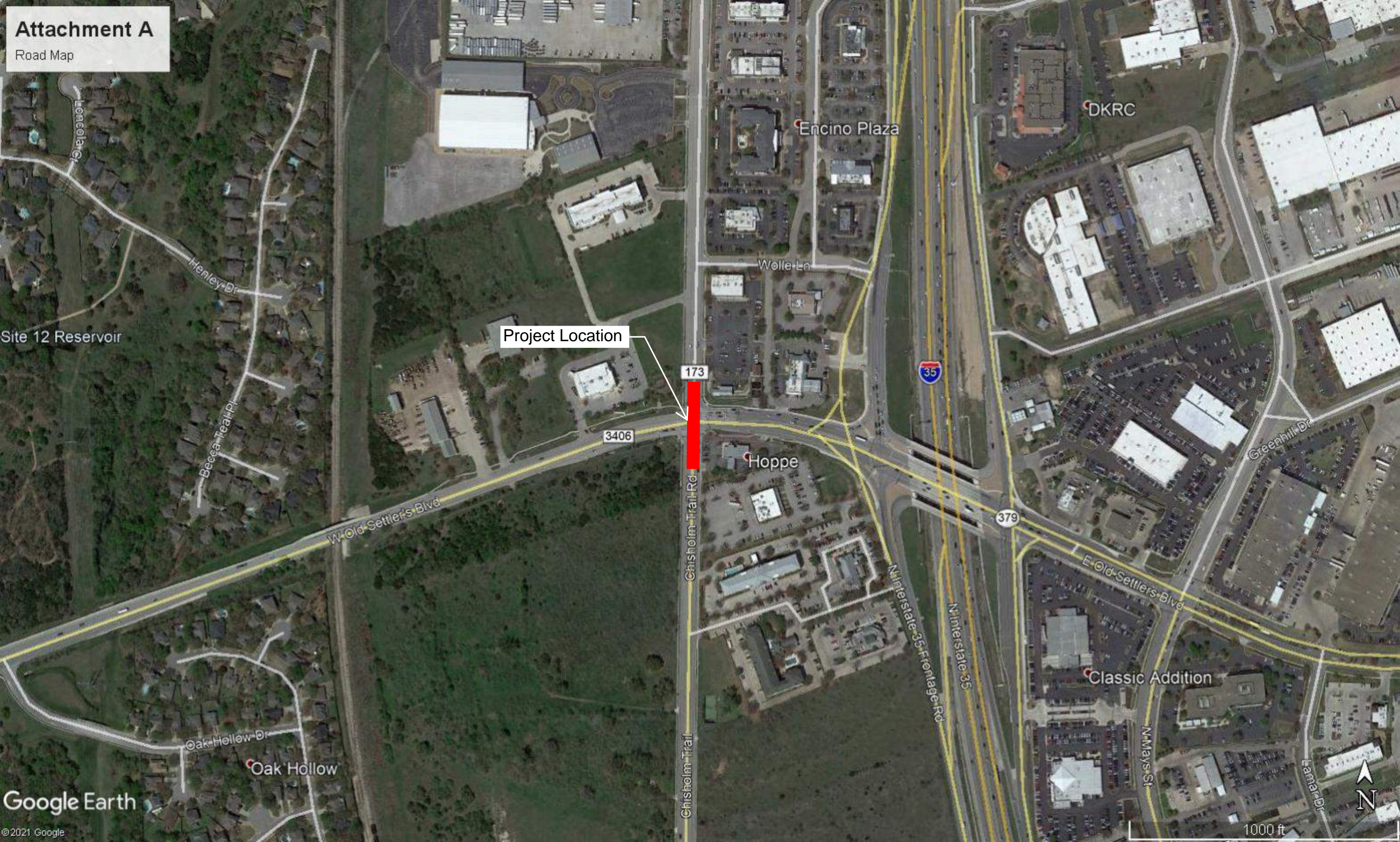
19. Application fees are due and payable at the time the application is filed. If the correct fee is not submitted, the TCEQ is not required to consider the application until the correct fee is submitted. Both the fee and the Edwards Aquifer Fee Form have been sent to the Commission's:

- TCEQ cashier
- Austin Regional Office (for projects in Hays, Travis, and Williamson Counties)
- San Antonio Regional Office (for projects in Bexar, Comal, Kinney, Medina, and Uvalde Counties)

20. Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

21. No person shall commence any regulated activity until the Edwards Aquifer Protection Plan(s) for the activity has been filed with and approved by the Executive Director.

Attachment A
Road Map



Site 12 Reservoir

Project Location

173

3406

35

379

DKRC

Encino Plaza

Wolle Ln

Hoppe

Greenhill Dr

W Old Settlers Blvd

N Interstate 35 Frontage Rd

N Interstate 35

E Old Settlers Blvd

Classic Addition

N Mays St

Lamar Dr

Oak Hollow Dr

Oak Hollow

Concola Ct

Henley Dr

Becca Trail Pl







PROJECT BENCHMARKS

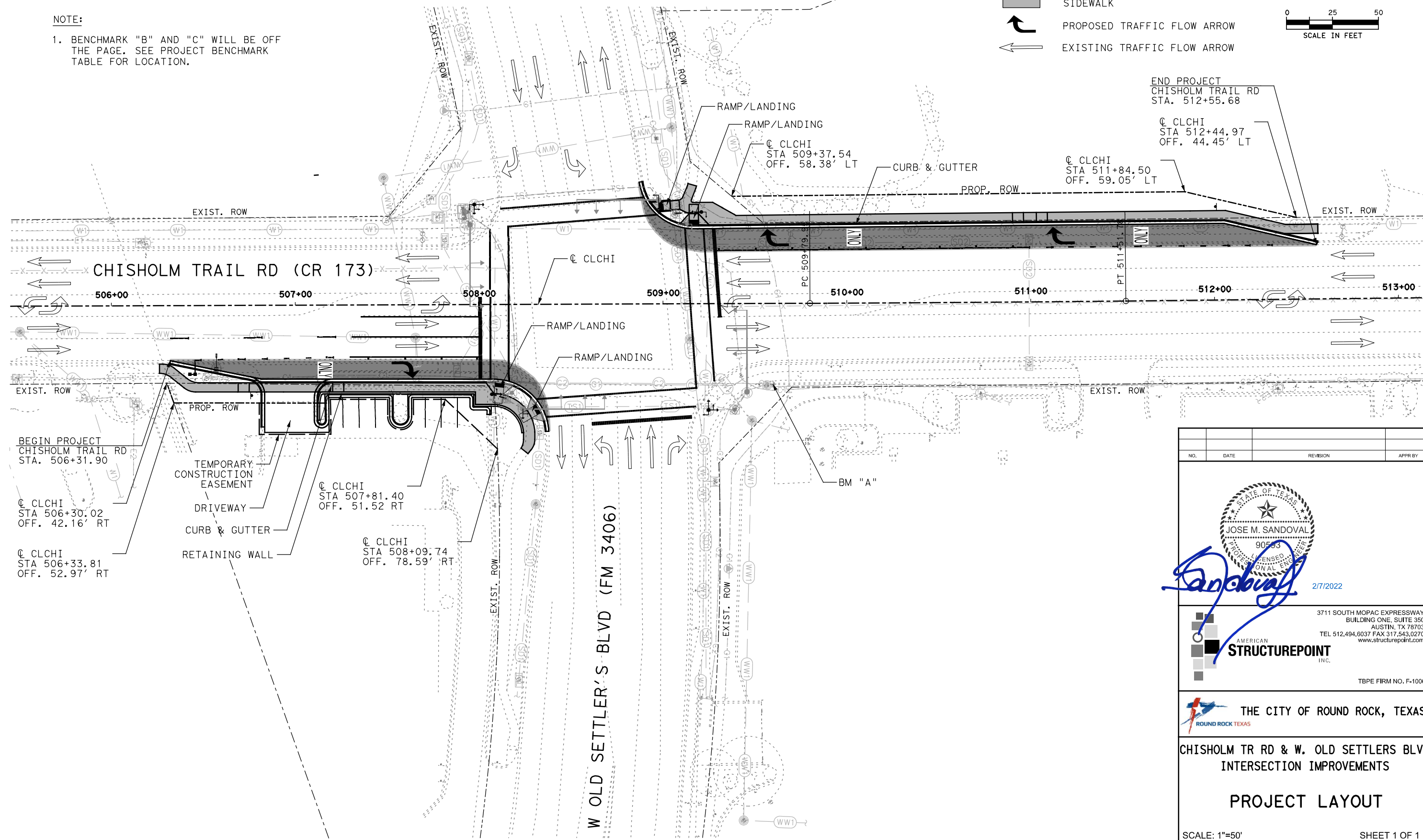
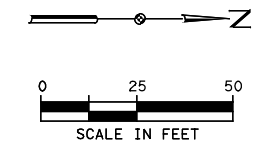
BM	NORTHING	EASTING	ELEVATION	DESCRIPTION	STATION	OFFSET	
A	10169842.175	3127492.287	789.56'	SQUARE CUT ON CONCRETE	509+59.63	43.85'	RT
B	10170452.205	3127409.797	792.25'	X ON FIRE HYDRANT BOLT	515+70.21	32.65'	LT
C	10169572.796	3127984.336	788.01'	SQUARE CUT ON CONCRETE	506+88.46	534.92'	RT

NOTE:


- BENCHMARK "B" AND "C" WILL BE OFF THE PAGE. SEE PROJECT BENCHMARK TABLE FOR LOCATION.

LEGEND


-  PAVEMENT WIDENING/REPAIR
-  SIDEWALK
-  PROPOSED TRAFFIC FLOW ARROW
-  EXISTING TRAFFIC FLOW ARROW



NO.	DATE	REVISION	APPR BY




Jose M. Sandoval 2/7/2022



3711 SOUTH MOPAC EXPRESSWAY
BUILDING ONE, SUITE 350
AUSTIN, TX 78703
TEL 512.494.6037 FAX 317.543.0270
www.structurepoint.com

TBPE FIRM NO. F-10069



THE CITY OF ROUND ROCK, TEXAS

**CHISHOLM TR RD & W. OLD SETTLERS BLVD
INTERSECTION IMPROVEMENTS**

PROJECT LAYOUT

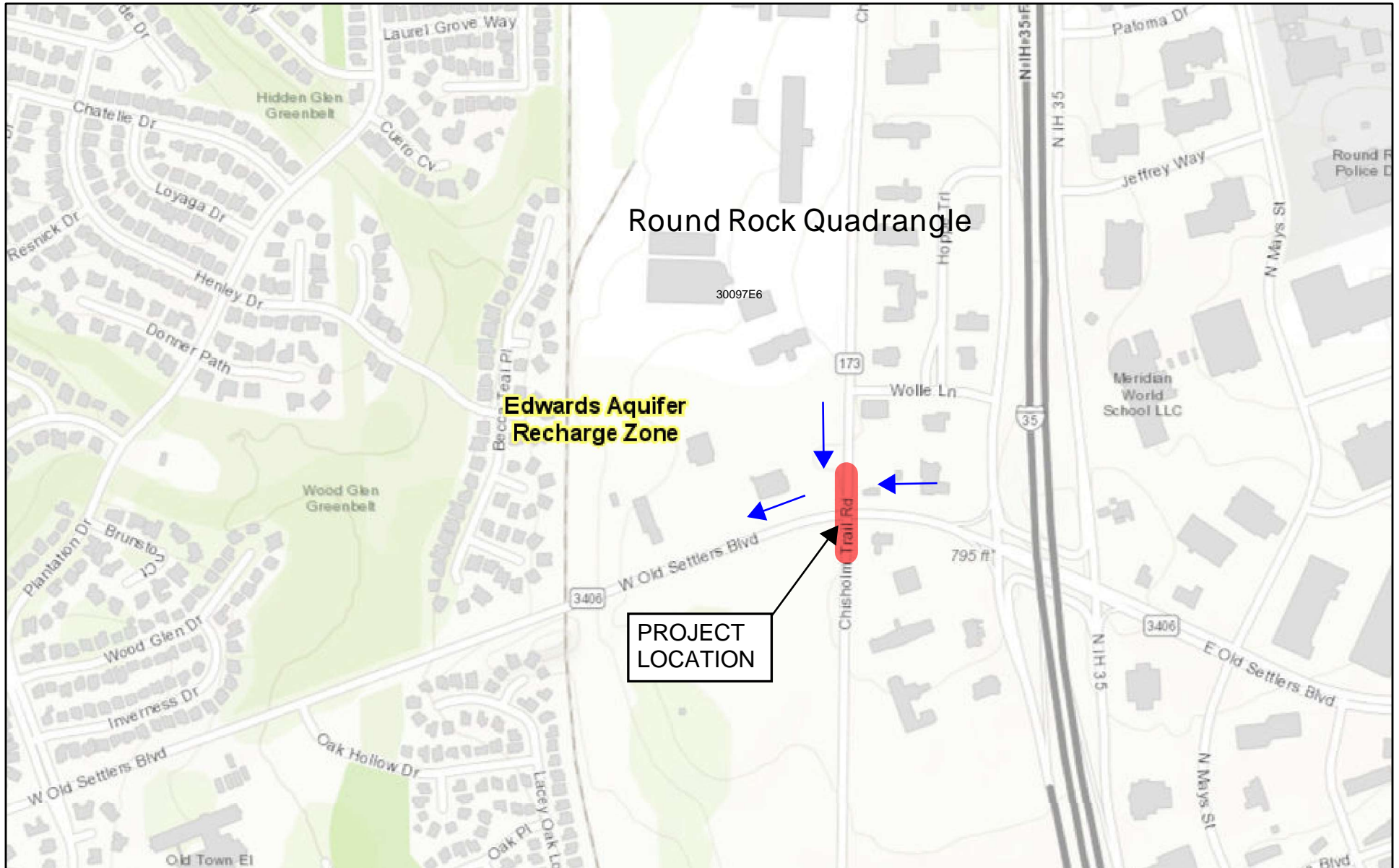
SCALE: 1"=50'

SHEET 1 OF 1

DSN:	JMS	STATE:	TEXAS	PROJECT NO.:	ROADWAY:
CK:	FG	COUNTY:	WILLIAMSON	CITY:	ROUND ROCK
DRN:	EF			SHEET NO.:	3

P:\2020\00566\Drawings\SHEETS\Plots\CR173_ip10t.pen
 REV DATE: 12-08-2020
 FILENAME: P:\2020\00566\Drawings\SHEETS\202000566.RD.MAP.dgn

Attachment B: Edwards Aquifer Map



3/5/2021 5:14:59 PM

← FLOW PATH

Edwards Aquifer Label

TX Counties

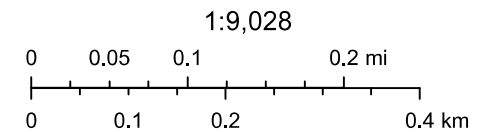
Quadrangle: Round Rock

Edwards Aquifer Boundary

7.5 Minute Quad Grid

Quadrangle Number: 30097E6

Edwards Aquifer Boundary central line

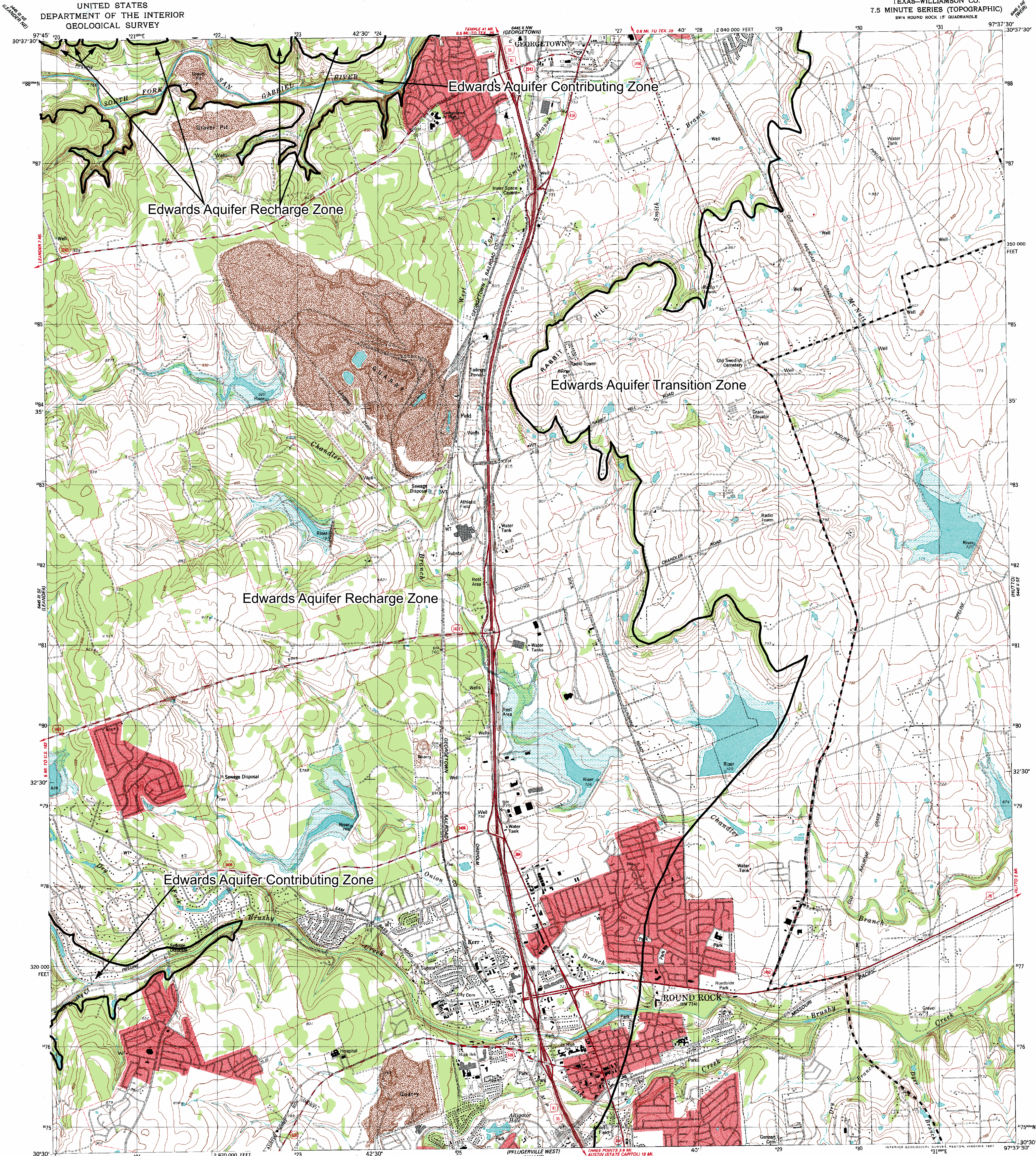


Austin Community College, City of Austin, County of Williamson, Texas Parks

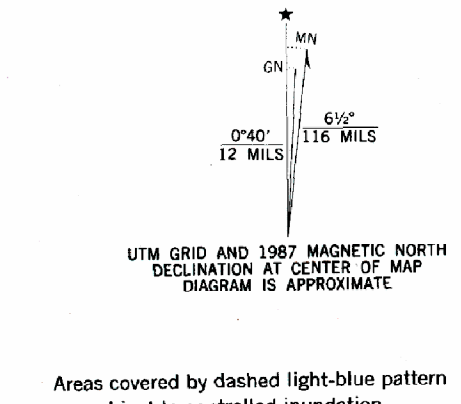
Web AppBuilder for ArcGIS

Attachment B: USGS Quadrangle Map

ROUND ROCK QUADRANGLE
TEXAS-WILLIAMSON CO.
7.5 MINUTE SERIES (TOPOGRAPHIC)
SW/4 ROUND ROCK 15' QUADRANGLE



Mapped, edited and published by the Geological Survey
Control by USGS and NOS/NOAA
Topography by photogrammetric methods from aerial photographs taken 1974. Field checked 1975. Revised from aerial photographs taken 1985. Field checked 1986. Map edited 1987
Projection and 10,000-foot grid ticks: Texas coordinate system, central zone (Lambert conformal conic) 1000-meter Universal Transverse Mercator grid, zone 14 1927 North American Datum
To place on the predicted North American Datum 1983 move the projection lines 17 meters south and 28 meters east as shown by dashed corner ticks
Fine red dashed lines indicate selected fence lines
Red tint indicates areas in which only landmark buildings are shown



SCALE 1:24,000
1000 2000 3000 4000 5000 6000 7000 FEET
0 1 2 3 4 5 6 7 8 9 10 KILOMETER
CONTOUR INTERVAL 10 FEET
NATIONAL GEODETIC VERTICAL DATUM OF 1929
THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS
FOR SALE BY U.S. GEOLOGICAL SURVEY, DENVER, COLORADO 80225, OR RESTON, VIRGINIA 22092
A FOLDER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST

ROAD CLASSIFICATION
Primary highway, hard surface
Secondary highway, hard surface
Interstate Route
U. S. Route
State Route
Light-duty road, hard or improved surface
Unimproved road
ROAD CLASSIFICATION

QUADRANGLE LOCATION
TEXAS
3097-312

ROUND ROCK, TEX.
SW/4 ROUND ROCK 15' QUADRANGLE
30097-E6-TF-024
1987
DMA 6445 II SW-SERIES V882

Texas Commission on Environmental Quality
Edwards Aquifer Protection Program

Regulatory Zones

30 TAC Chapter 213- Edwards Aquifer
Effective March 1990

This map was produced by the Groundwater Planning and Assessment Team of the Texas Commission on Environmental Quality to detail the boundaries of the regulatory zones of the Edwards Aquifer Protection Program, as described in Texas Administrative Code Title 30, Part 1, §213.3. No other claims are made to the accuracy or completeness of the data or to its suitability for a particular use. For more information about the Edwards Aquifer Protection Program, please contact the TCEQ Regional Offices in San Antonio or Austin. Printed June 2006.

Form 0857 - Recharge and Transition Zone Exception Request Attachment C

Project Description

Project Background:

The City of Round Rock plans to improve the intersection of Chisholm Tr. Rd. and W. Old Settlers Blvd. by the addition of right turn lanes along Chisholm Tr. Rd. The construction will consist of asphaltic pavement, grading, drainage structures, sidewalks and signing and pavement marking. The Project is located 970 ft. west of I35.

Site Description:

The existing intersection consists of four 12 feet lanes, two in each direction and one 12 foot left turn lane. Existing intersection includes curb and gutter, storm sewer inlets, traffic signals, lighting, sidewalk and driveways with an existing right of way width of approximately 90 feet.

The proposed intersection improvements will include adding right turn lanes, storm sewer inlets, sidewalk, a driveway and a retaining wall. The north bound turn lane will be 12 feet and the two existing north bound lanes will be reduced to 11 feet each. The south bound turn lane will be 12 feet and the existing lanes will remain the same. 10 to 15 feet of ROW will be acquire along the project limits for the construction of the project.

The project area consists of 1.78 acres in area between the right of way. Existing impervious are consists of 1.49 acres and proposed impervious are consists of 1.60 acres. Proposed impervious area will be increase by 0.11 acres.

In general, offsite water flows to the project from Northeast to Southwest and will be routed along the gutter side into the proposed storm sewer system and outfalls into an existing storm sewer that includes an approved permanent BMP (Storm Trooper) approximately 180 ft. downstream from the project.

Land Use and Site History:

The existing land will be changed with the addition of the proposed right turn lanes on Chisholm Trail Rd. and the addition of new sidewalk, driveway, and storm sewer systems. The areas that will be demolished will be the existing inlets, storm sewer pipes, sidewalk, driveway and retaining walls at the intersection of Chisholm Tr. Rd. and W. Old Settlers Blvd.

Recharge and Transition Zone Exception Request Form

Texas Commission on Environmental Quality

30 TAC §213.9 Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Recharge and Transition Zone Exception Request Form** is hereby submitted for TCEQ review and executive director approval. The request was prepared by:

Print Name of Customer/Agent: Amy L. Bennett

Date: 03/14/2023

Signature of Customer/Agent:

Amy Bennett

Regulated Entity Name: Chisholm TR. Rd. & W. Old Settlers Blvd. Intersection Improvements

Exception Request

- Attachment A - Nature of Exception.** A narrative description of the nature of each exception requested is attached. All provisions of 30 TAC §213 Subchapter A for which an exception is being requested have been identified in the description.
- Attachment B - Documentation of Equivalent Water Quality Protection.** Documentation demonstrating equivalent water quality protection for the Edwards Aquifer is attached.

Administrative Information

- Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.
- The applicant understands that no exception will be granted for a prohibited activity in Chapter 213.
- The applicant understands that prior approval under this section must be obtained from the executive director for the exception to be authorized.

Recharge and Transition Zone Exception Request Attachment A

Nature of Exception

The Chisholm Tr. Rd. & W. Old Settlers Blvd. intersection improvements project will include the addition of one 12' right turn lane on the NB and SB side of Chisholm Tr. Rd., proposed storm sewer inlets and pipes, 5' sidewalk, one retaining wall and one driveway. There will be right of way acquired on the NW and SE corners of Chisholm Tr. Rd. and W. Old Settlers Blvd. The project is located within the Edwards Aquifer Recharge Zone and the area has been previously developed.

The total project area is 1.78 acres. The total existing impervious cover is 1.49 acres (84%) and the total proposed impervious cover is 1.60 acres (90%). The proposed impervious cover will increase by 0.11 acres (6%). The increase in impervious cover will require 96 lbs. of TSS removal. The project includes silt fence and inlet protections for temporary BMP's to protect water quality throughout the duration of construction of the project. Once construction is completed the project will drain to two existing storm sewer systems within the intersection:

- North System: Outfalls at existing ditch
- South System: Outfalls at existing storm trooper BMP

For the north system we are proposing one slotted drain inlet at STA 511+00 and a section of the existing storm sewer pipe will be removed and replaced. The proposed improvements connect to the existing north system which outfalls to an existing ditch approximately 90 ft. downstream of the project. The calculated increase in impervious cover draining to inlet A-4 is 0.06 acres (11%). The calculated flows for existing and proposed conditions will remain the same and the increase of impervious cover will therefore be considered negligible and does not impact the project. See Table 1-1 and Table 1-2 below:

Table 1-1: Existing Conditions

Inlet ID	System	Total Area (ac)	Impervious Cover (ac)	Q 25-YR (cfs)	Q 100-YR (cfs)
A-04	North	0.53	0.45	5	7

Table 1-2: Proposed Conditions

Inlet ID	System	Total Area (ac)	Impervious Cover (ac)	Q 25-YR (cfs)	Q 100-YR (cfs)
A-04	North	0.53	0.51	5	7

For the south system we are placing inlet A-01 at STA 507+90 and inlet A-02 at STA 508+36. A section of the existing storm sewer pipe will be removed and replaced. Both inlets will follow the same drainage system and go through an existing storm trooper BMP approximately 180 ft. downstream from the project. The existing BMP was part of an approved WPAP in March 2013 and according to the report it has a load removal capacity of 1707 lbs. and is over treating 863 lbs.

See Existing BMP Exhibit for the location and existing approved WPAP report for more details on the load removed. The calculated increase in impervious cover draining to inlet A-01, A-02 and the existing inlet with the BMP is 0.06 acres (5%). The calculated flows for existing and proposed conditions remain the same. The existing BMP is currently over treating 863 lbs., therefore the increase in impervious cover will be considered to be treated and have no impact on the existing BMP. See Table 2-1 and Table 2-2 below:

Table 2-1: Existing Conditions

Inlet ID	System	Total Area (ac)	Impervious Cover (ac)	Q 25-YR (cfs)	Q 100-YR (cfs)
A-01	South	0.70	0.60	7	9
A-02	South	0.38	0.32	4	5
Exist. Inlet w/BMP	South	0.17	0.12	n/a	n/a

Table 2-2: Proposed Conditions

Inlet ID	System	Total Area (ac)	Impervious Cover (ac)	Q 25-YR (cfs)	Q 100-YR (cfs)
A-01	South	0.70	0.63	7	9
A-02	South	0.38	0.32	4	5
Exist. Inlet w/BMP	South	0.17	0.15	n/a	n/a

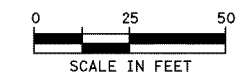
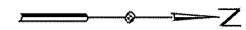
Due to small increase in impervious cover for both the north and south systems, there will be no change in the calculated flow going to the proposed inlets. Resulting in no impact from the increase of impervious cover for the addition of the two right turn lanes.

Overall, the increase in impervious cover for the proposed Chisholm Tr. Rd. & W. Old Settlers Blvd. intersection improvements is considered negligible because the storm trooper BMP overtreatment of 863 lbs. is greater than the required Lm of 96 lbs. We are requesting an Edwards Aquifer Exception due to the following:

- Existing BMP storm trooper is over treating by 863 lbs. in the south system
- No change in flow to the inlets in both the north and south systems
- Treating water quality with temporary BMP's during construction
- Project area is already developed

Attachments:

1. Existing BMP Exhibit
2. North System TSS Calculations
3. South System TSS Calculations
4. March 2013 - Approved WPAP Letter
5. March 2013 - Approved WPAP Application



- LEGEND**
- PAVEMENT WIDENING & SIDEWALK
 - PROPOSED TRAFFIC FLOW ARROW
 - EXISTING TRAFFIC FLOW ARROW

EXISTING SOUTH SYSTEM INLET
STORMTROOPER LOCATION
APPROVED PLAN:
RN102756392
TSS REMOVES 1707 LBS

EXISTING NORTH SYSTEM
OUTFALL LOCATION

PROPOSED SLOTTED DRAIN A-04

EXIST. ROW

EXIST. ROW

507+00

508+00

509+00

510+00

511+00

512+00

CHISHOLM TRAIL RD (CR 173)

EXIST. ROW

PROPOSED INLET A-01

PROPOSED INLET A-02

W OLD SETTLER'S BLVD
(FM 3406)

APPROX. 90'

APPROX. 180'

CLCHI

PC 509+79.6

PT 511+51.1

T.C.E.

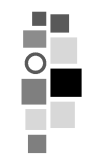
T.C.E.

P:\2020\00566.D. Drawings\ASHEETS\Plots\CR173_EXHIBITIS_ip10t.pen
REV DATE: 12-08-2020
FILENAME: P:\2020\00566.D. Drawings\EXHIBITS\202000566.RD.WQ.EXHIBIT.dgn

NO.	DATE	REVISION	APPR BY



Amy L. Bennett
2/15/2022



**AMERICAN
STRUCTUREPOINT
INC.**

3711 SOUTH MOPAC EXPRESSWAY
BUILDING ONE, SUITE 350
AUSTIN, TX 78703
TEL 512.494.6037 FAX 317.543.0270
www.structurepoint.com

TBPE FIRM NO. F-10069



THE CITY OF ROUND ROCK, TEXAS

**CHISHOLM TR RD & W. OLD SETTLERS BLVD
INTERSECTION IMPROVEMENTS**

**EXISTING BMP
EXHIBIT**

SCALE: 1"=50' SHEET 1 OF 1

DSN:	JMS	STATE:	TEXAS	PROJECT NO:	ROADWAY:
CK:	FG	COUNTY:	WILLIAMSON	CITY:	ROUND ROCK
DRN:	EF				SHEET NO.
CK:	JMS				EX-1

Additional information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell.

Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-348.

Characters shown in red are data entry fields.

Characters shown in black (Bold) are calculated fields. Changes to these fields will remove the equations used in the spreadsheet.

1. The Required Load Reduction for the total project:

Calculations from RG-348

Pages 3-27 to 3-30

Page 3-29 Equation 3.3: $L_M = 27.2(A_N \times P)$

where:

$L_{M \text{ TOTAL PROJECT}}$ = Required TSS removal resulting from the proposed development = 80% of increased load

A_N = Net increase in impervious area for the project

P = Average annual precipitation, inches

Site Data: Determine Required Load Removal Based on the Entire Project

County = **Williamson**

Total project area included in plan * = **1.78** acres

Predevelopment impervious area within the limits of the plan * = **1.49** acres

Total post-development impervious area within the limits of the plan * = **1.60** acres

Total post-development impervious cover fraction * = **0.90**

P = **32** inches

$L_{M \text{ TOTAL PROJECT}}$ = **96** lbs.

* The values entered in these fields should be for the total project area.

Number of drainage basins / outfalls areas leaving the plan area = **2**

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. = **North System**

Total drainage basin/outfall area = **0.53** acres

Predevelopment impervious area within drainage basin/outfall area = **0.45** acres

Post-development impervious area within drainage basin/outfall area = **0.51** acres

Post-development impervious fraction within drainage basin/outfall area = **0.96**

$L_{M \text{ THIS BASIN}}$ = **52** lbs.

Additional information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell.

Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-348.

Characters shown in red are data entry fields.

Characters shown in black (Bold) are calculated fields. Changes to these fields will remove the equations used in the spreadsheet.

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Total post-development impervious area within the limits of the plan * = **1.60** acres

Total post-development impervious cover fraction * = **0.90**

P = **32** inches

$L_{M \text{ TOTAL PROJECT}}$ = **96** lbs.

* The values entered in these fields should be for the total project area.

Number of drainage basins / outfalls areas leaving the plan area = **2**

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. = **South System**

Total drainage basin/outfall area = **1.25** acres

Predevelopment impervious area within drainage basin/outfall area = **1.04** acres

Post-development impervious area within drainage basin/outfall area = **1.10** acres

Post-development impervious fraction within drainage basin/outfall area = **0.88**

$L_{M \text{ THIS BASIN}}$ = **52** lbs.

Bryan W. Shaw, Ph.D., *Chairman*
Carlos Rubinstein, *Commissioner*
Toby Baker, *Commissioner*
Zak Covar, *Executive Director*



COPY

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

March 7, 2013

Mr. Steve Norwood
City of Round Rock
221 E. Main Street
Round Rock, TX 78664

Re: Edwards Aquifer, Williamson County
NAME OF PROJECT: Old Settlers Blvd Intersection Improvements; Old Settlers Blvd
600 ft W of Chisholm Trail Rd & N Mays St; Round Rock, Texas
TYPE OF PLAN: Request for a Water Pollution Abatement Plan; 30 Texas
Administrative Code (TAC) Chapter 213 Edwards Aquifer
Edwards Aquifer Protection Program ID No. 11-12121901; Investigation No. 1052046;
Regulated Entity No. RN106571474

Dear Mr. Norwood:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the Water Pollution Abatement Plan application for the above-referenced project submitted to the Austin Regional Office by CP&Y, Inc. on behalf of City of Round Rock on December 19, 2012. Final review of the WPAP was completed after additional material was received on February 4 and February 25, 2013. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

PROJECT DESCRIPTION

The proposed roadway project is within an approximately 6.97 acre area. Currently 4.09 acres of existing impervious cover (IC) is located within that project area. The proposed project will add additional turn lanes to the intersections of Old Settler's Blvd with Chisholm Trail Road, the south bound frontage road of IH35, and N. Mays Street. The existing IC will increase from 4.09 acres (58.7%) to 5.06 acres (73%); an increase of 0.97 acres of IC.

PERMANENT POLLUTION ABATEMENT MEASURES

To prevent the pollution of stormwater runoff originating on-site or upgradient of the site and potentially flowing across and off the site after construction, a StormTrooper, selected from the TCEQ Addendum (July 5, 2012) to the technical guidance document Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices RG-348 (2005), will be installed to treat stormwater runoff. The required total suspended solids (TSS) treatment for this project is 844 pounds of TSS generated from the 0.97 acre increase of impervious cover. A StormTrooper unit (SWAQ_40) will be installed to treat the TSS generated from the increase in impervious cover. The approved measures meet the required 80 percent removal of the increased load in TSS caused by the project.

GEOLOGY

A geologic assessment (GA) was conducted by SWCA Environmental Consultants on January 19, 2010 and May 23, 2012. The mapped surface units are the Edwards Limestone Formation, the Cretaceous Georgetown Formation, and deposits of Quaternary Alluvium. A mapped fault was reported to be within the assessment area, however, no surface expression of the fault was observed during the GA. None of the five features discussed in the GA were within the limits of this project area for this WPAP submittal. The drainage of the area is generally south and east towards Brushy Creek, Onion Branch.

The Austin Regional Office site assessment conducted on February 1, 2013 revealed the geology of the site was generally as described in the GA. The area had been previously during other roadway projects and was either paved as roadway, or was a grassy swale. No geologic features were identified during this site assessment.

SPECIAL CONDITIONS

- I. As stated on page 9 of "Attachment G-Maintenance Plan", a six (6) month trial period for inspection and maintenance of the StormTrooper BMP will be implemented. This trial period shall begin from the date the BMP is operational and end six (6) consecutive months from the date the trial period began. A copy of the inspection and maintenance records must be submitted to the Austin Regional Office no later than 30 days after the trial period ends. TCEQ will review the inspection and maintenance documents to determine if the proposed Maintenance Plan is adequate. If the proposed Maintenance Plan is determined to be inadequate to prevent the degradation of water quality, a revised Maintenance Plan will be required to be submitted to the Austin Regional Office for review and approval within 30 days of the TCEQ review's comments.
- II. Since this is a roadway construction project, deed recordation of this approval letter is not required.

STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.

3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

Prior to Commencement of Construction:

4. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved WPAP and this notice of approval shall be maintained at the project location until all regulated activities are completed.
5. Modification to the activities described in the referenced WPAP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
6. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the Austin Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the date on which the regulated activity will commence, the name of the approved plan and program ID number for the regulated activity, and the name of the prime contractor with the name and telephone number of the contact person. The executive director will use the notification to determine if the approved plan is eligible for an extension.
7. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved WPAP, must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.
8. All borings with depths greater than or equal to 20 feet must be plugged with non-shrink grout from the bottom of the hole to within three (3) feet of the surface. The remainder of the hole must be backfilled with cuttings from the boring. All borings less than 20 feet must be backfilled with cuttings from the boring. All borings must be backfilled or plugged within four (4) days of completion of the drilling operation. Voids may be filled with gravel.

During Construction:

9. During the course of regulated activities related to this project, the applicant or agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
10. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 6, above.
11. If any sensitive feature (caves, solution cavities, sink holes, etc.) is discovered during construction, all regulated activities near the feature must be suspended immediately. The applicant or his agent must immediately notify the Austin Regional Office of the discovery of the feature. Regulated activities near the feature may not proceed until the executive director has reviewed and approved the methods proposed to protect the feature and the

aquifer from potentially adverse impacts to water quality. The plan must be sealed, signed, and dated by a Texas Licensed Professional Engineer.

12. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50 percent. Litter, construction debris, and construction chemicals shall be prevented from becoming stormwater discharge pollutants.
13. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.
14. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
15. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.

After Completion of Construction:

16. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the Austin Regional Office within 30 days of site completion.
17. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. The regulated entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through Austin Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.
18. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Edwards Aquifer protection plan. If the new owner intends to commence any new regulated activity on the site, a new Edwards Aquifer protection plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
19. An Edwards Aquifer protection plan approval or extension will expire and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Edwards Aquifer protection plan must be submitted to the Austin Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.

Mr. Steve Norwood

Page 5

March 7, 2013

20. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

This action is taken under authority delegated by the Executive Director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact Ms. Tracey Janus of the Edwards Aquifer Protection Program of the Austin Regional Office at (512) 339-2929.

Sincerely,



Carolyn Runyon, Water Section Manager
Austin Region Office
Texas Commission on Environmental Quality

CDR/ taj

Enclosure: Change in Responsibility for Maintenance of Permanent BMPs, Form TCEQ-10263

cc: Ms. Kelly Morrelli, P.E., CFM, CP&Y, Inc.
Mr. Joe M. England, P.E., County Engineer, Williamson County
Ms. Alysha Girard, P.E., Storm Water Manager, City of Round Rock
Mr. Gary Lantrip, P.E., P.G., Environmental Section, Austin District, Texas Department of Transportation
TCEQ Central Records, Building F, MC 212

Modification of a Previously Approved Plan
for Regulated Activities on the
Edwards Aquifer Recharge Zone and Transition Zone
and Relating to 30 TAC 213.4(j), Effective June 1, 1999

1. Current Regulated Entity Name: Old Settlers Blvd
Original Regulated Entity Name: FM 3406
Assigned Regulated Entity Numbers (RN): 1) RN102756392, 2) _____, 3) _____

The applicant has not changed and the Customer Number (CN) is: CN _____
 The applicant has changed. A new Core Data Form has been provided.

2. **Attachment A: Original Approval Letter and Approved Modification Letters:** A copy of the original approval letter and copies any letters approving modification are found at the end of this form.

3. A modification of a previously approved plan is requested for (check all that apply):

- physical or operational modification of any water pollution abatement structure(s) including but not limited to ponds, dams, berms, sewage treatment plants, and diversionary structures;
- change in the nature or character of the regulated activity from that which was originally approved or a change which would significantly impact the ability of the plan to prevent pollution of the Edwards Aquifer;
- development of land previously identified as undeveloped in the original water pollution abatement plan;
- physical modification of the approved organized sewage collection system;
- physical modification of the approved underground storage tank system;
- physical modification of the approved aboveground storage tank system.

4. Summary of Proposed Modifications (select plan type being modified). If the approved plan has been modified more than once, copy the appropriate table below, as necessary, and complete the information for each additional modification.

WPAP Modification Summary	Approved Project	Proposed Modification
Acres	<u>5.3</u>	<u>6.97</u>
Type of Development	<u>4 LANE TO 5 LANE</u>	<u>TURN LANE</u>
Number of Residential Lots	<u>0</u>	<u>0</u>
Impervious Cover (acres)	<u>2.3</u>	<u>5.06</u>
Impervious Cover (%)	<u>43%</u>	<u>73%</u>
Permanent BMPs	<u>VEGITATIVE FILTER STRIPS</u>	<u>STORMTROOPER</u>
Other	_____	_____
SCS Modification Summary	Approved Project	Proposed Modification
Linear Feet	_____	_____
Pipe Diameter	_____	_____
Other	_____	_____
AST Modification Summary	Approved Project	Proposed Modification
Number of ASTs	_____	_____
Volume of ASTs	_____	_____
Other	_____	_____

UST Modification Summary	Approved Project	Proposed Modification
Number of USTs	_____	_____
Volume of USTs	_____	_____
Other	_____	_____

5. **Attachment B: Narrative of Proposed Modification.** A narrative description of the nature of the proposed modification is provided at the end of this form. It discusses what was approved, including previous modifications, and how this proposed modification will change the approved plan.
6. **Attachment C: Current site plan of the approved project.** A current site plan showing the existing site development (i.e., current site layout) at the time this application for modification is provided at the end of this form. A site plan detailing the changes proposed in the submitted modification is required elsewhere.
- The approved construction has not commenced. The original approval letter, and any subsequent modification approval letters are included as Attachment A to document that the approval has not expired.
- The approved construction has commenced and has been completed. Attachment C illustrates that the site was constructed as approved.
- The approved construction has commenced and has been completed. Attachment C illustrates that the site was **not** constructed as approved.
- The approved construction has commenced and has **not** been completed. Attachment C illustrates that, thus far, the site was constructed as approved.
- The approved construction has commenced and has **not** been completed. Attachment C illustrates that, thus far, the site was **not** constructed as approved.
7. The acreage of the approved plan has increased. A Geologic Assessment has been provided for the new acreage.
- Acreage has not been added to **or** removed from the approved plan.
8. Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This request for a **MODIFICATION TO A PREVIOUSLY APPROVED PLAN** is hereby submitted for TCEQ review and executive director approval. The request was prepared by:

Kelly G. Morrelli, P.E., CFM (Agent)
 Print Name of Customer/Agent

Kelly G. Morrelli
 Signature of Customer/Agent

2/21/13
 Date



Partners for a Better Quality of Life

Form TCEQ-0587 Attachment C

The existing Old Settlers Boulevard (FM 3406) consists of a 5-lane urban curb and gutter roadway section (two thru lanes in each direction with a center two-way left turn lane) within the limits of the project. The total existing roadway width measured from the lips of gutter is 60-ft. The City of Round Rock is proposing improvements to a portion of this roadway which includes the addition of concrete sidewalks and 12-ft turn lane improvements, consisting of Hot Mix Asphalt Pavement (MHMA) for the intersections of Old Settlers and Chisholm Trail Rd, IH 35 frontage roads, and North Mays Street.

The additional pavement resulting from this project will be treated for water quality via StormTrooper. Within the limits of the proposed turn lane improvements there are proposed and existing storm sewer inlets. Because the additional pavement resulting from this project will be treated for water quality via StormTrooper, the waste water will be treated before discharging. Areas west of approximately Old Settlers Blvd station 488+50 will ultimately discharge into Onion Branch of Brushy Creek; and areas east of this station and along the south bound frontage road will ultimately discharge into the Chandler Branch of Brushy Creek.

The total project area is 6.97 acres. Existing impervious cover (this excludes pavement added to project site on Old Settlers west of IH 35 after 2001) is 4.09 acres (58.7%) and proposed impervious cover is 5.06 acres (72.6%).

The Avallon, Building I
10415 Morado Circle, Suite 200
Austin, Texas 78759
512.349.0700 • 512.349.0727 fax
www.cpyi.com



Texas Commission on Environmental Quality

TSS Removal Calculations 04-20-2009

Project Name: **OLD SETTLERS BLVD**
Date Prepared: **2/21/2013**

Additional information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell.

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P = Average annual precipitation, inches

Site Data: Determine Required Load Removal Based on the Entire Project

County = **Williamson**

Total project area included in plan * = **6.97** acres

Predevelopment impervious area within the limits of the plan * = **4.09** acres

Total post-development impervious area within the limits of the plan* = **5.06** acres

Total post-development impervious cover fraction * = **0.73**

P = **32** inches

<-- existing pavement before the 2001 project

$L_{M \text{ TOTAL PROJECT}}$ = **844** lbs.

* The values entered in these fields should be for the total project area.

Number of drainage basins / outfalls areas leaving the plan area = **1**



Kelly G. Morrell
2/21/13

Texas Commission on Environmental Quality
TSS Required Load Reduction Calculations

Project Name: Old Settlers BLVD
 Project Location: Round Rock, TX
 Date Prepared: 2/21/2013
 Prepared By: Kyle L. Worrell, P.E.



Site Data:

County = **Williamson**
 Stormwater Quality Structure = **Wet Vault**
 Total site area = **8.82** acres
 Predevelopment impervious area = **4.09** acres
 Post-development impervious area = **5.06** acres
 Postdevelopment impervious fraction = **57%**
 P = **32** inches

STORMTROOPER			
Model	S.A.	By-Pass	E.A. @ 80%
5	100	420	< 0.13
10	149	600	0.14 - 0.20
20	248	1000	0.21 - 0.33
25	369	1440	0.34 - 0.50
40	588	2250	0.51 - 0.79
70	730	2720	0.80 - 0.96
110	913	4000	0.99 - 1.23

where: $L_m = 27.2(AN \times P)$
 L_m = Required TSS removal
 An = Net increase in impervious area for site
 P = Average annual precipitation, inches

$L_m = 844$ lbs. Total Project Required Removal

	[ID]	[ac]	[%]	[ac]	[ac]	[ac]	[ac]	[in/hr]	[cfs]	L_m in [lbs]	#	(sf)	(cfs)	[in/hr]	[Figure 3-11]	[Figure 3-10]	(lbs)
	A40	0.492	86.73%	0.4287	0.9	0.07	0.03	0.7845305	0.39	1.1			0.42				
	A50	0.503	94.51%	0.4754	0.9	0.03	0.03	0.8522824	0.43	1.1			0.47				
	A60	0.382	97.54%	0.3726	0.9	0.01	0.03	0.8765916	0.34	1.1			0.37				
	A70	0.123	79.02%	0.0972	0.9	0.03	0.03	0.7175122	0.09	1.1			0.10				
	A75	0.475	90.02%	0.4276	0.9	0.05	0.03	0.8131832	0.39	1.1			0.42				
	A85	0.129	84.96%	0.1096	0.9	0.02	0.03	0.7691628	0.10	1.1			0.10				
	A20	0.651	97.99%	0.6379	0.9	0.01	0.03	0.8824931	0.57	1.1			0.63				
1	1	2.76	90.1%	2.46	0.9	0.27	0.03	0.81	2.04	1.1			2.47				
													844				
													40				
													583				
													5.01				
													1.10				
													0.80				
													1.00				
													4.20E-03				
													62%				
													62%				
													1707				

Total TSS Removed by BMP's Annually = 1707
 L_m (Required TSS Removal in lbs) = 844
 Surplus / Deficit L_m = 863
 Sufficient Removal = Yes

**Texas Commission on Environmental Quality
TSS Removal Calculations**

AREA 1	DRAINAGE BASIN A	TOTAL SITE DETAILS
STEP ONE: Required TSS Removal 12/7/2012		Project Name: Old Settlers BLVD Project Location: Round Rock, TX Date Prepared: 2/21/2013 Prepared By: Kyle L. Worrell, P.E. Total Project Area to be Treated = 8.82 Pre-Development Impervious Area = 4.09 Post-Development Impervious Area = 5.06 Composite Run-Off Coefficient = 0.57 Required TSS Removal L_m = 844 County = Williamson
EQUATION 3.3 $L_m = 27.2(A_n \times P)$ L _m = Required TSS Removal (pounds) A _n = Net Increase in Impervious Area (acres) P = Average Annual Precipitation (inches)		
Drainage Basin = 2.76	Acres	
A _n = 2.48	Acres	
A _p = 0.27	Acres	
P = 32	Inches	
L _m = 844	Lbs	

STEP TWO: Select an Appropriate BMP

A40	0.49	86.73%	0.4267
A50	0.50	94.51%	0.4754
A60	0.38	97.54%	0.3726
A70	0.123	79.02%	0.0972
A75	0.419	90.53%	0.3793
A20	0.65	98.14%	0.6379
	2.57	91%	2.33979272

Effective Area = 2.24
 StormTrooper SWAQ_40
 Unit Surface Area = 588 Sq. Ft.
 $EA = (A_i \times 0.9) + (A_p \times 0.03)$

STORMTROOPER	
Model	E.A. @ 80%
5	< 0.13
10	0.14 - 0.20
20	0.21 - 0.33
25	0.34 - 0.50
40	0.51 - 0.79
70	0.80 - 0.98
110	0.99 - 1.23

EQUATION 3.4

Q = CiA, where:

C = 0.81	Composite Run-Off Coefficient
i = 1.10	Stormwater Quality Intensity
A = 2.76	Drainage Basin Acreage
Q = 2.47	Required Treatment Flow

EQUATION 3.5

V_{OR} = Q/A, where:

Q = 2.47	Required Treatment Flow
A = 588	Unit Surface Area
V _{OR} = 4.20E-03	Overflow Rate

BMP Efficiency = 62%

STEP THREE: Calculate Fraction of Annual Runoff to be Treated

Unit By-Pass Flowrate = 5.01	cfs
Treated Intensity = 1.10	in/hr
Annual Volume Treated = 90%	Volume of Run-Off Entering Unit
Treatment Reduction = 1.00	BMP Efficiency Reduction Factor
Actual BMP Efficiency = 62%	

STEP FOUR: Calculate TSS Load Removed by BMPs

EQUATION 3.8

$L_r = (\text{BMP Efficiency}) \times P \times (A_i \times 34.6 + A_p \times 0.54)$

L_r = Load Removed by BMP

BMP Efficiency = TSS Removal Efficiency

A_i = Impervious Tributary Area to the BMP (ac)

A_p = Pervious Tributary Area to the BMP (ac)

A_i = 2.48

A_p = 0.27

L_r = 1707 lbs

Temporary Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Amy L. Bennett

Date: 03/14/2023

Signature of Customer/Agent:

Amy Bennett

Regulated Entity Name: Chisholm TR. Rd. & W. Old Settlers Blvd. Intersection Improvements

Project Information

Potential Sources of Contamination

Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.

1. Fuels for construction equipment and hazardous substances which will be used during construction:

The following fuels and/or hazardous substances will be stored on the site: _____

These fuels and/or hazardous substances will be stored in:

- Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

- Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
- Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- Fuels and hazardous substances will not be stored on the site.
- 2. **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3. Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4. **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

Sequence of Construction

- 5. **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
 - For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
 - For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6. Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: Brushy Creek

Temporary Best Management Practices (TBMPs)

Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.

- 7. **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
 - A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
 - A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
 - A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8. The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
 - There will be no temporary sealing of naturally-occurring sensitive features on the site.
9. **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10. **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
 - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
 - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
 - There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

- There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.
11. **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.
- N/A
12. **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13. All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14. If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15. Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

Soil Stabilization Practices

Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.

17. **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

18. Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
19. Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

Administrative Information

20. All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
21. If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
22. Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.

Temporary Stormwater Section

Attachment A

Spill Response Actions

If there is an accidental spill on site, the contractor shall respond with appropriate action. The contractor will be required to contact the owner and in turn the owner will contact the TCEQ in the event of a spill on site. Use the following website to determine if the spill in question qualifies as reportable quantity. In addition to the following guidance, reference the latest version of TCEQ's Technical Guidance Manual (TGM) RG-348 Section 1.4.16.

Spills: Reportable Quantities

https://www.tceq.texas.gov/response/spills/spill_rq.html

Cleanup

1. Clean up leaks and spills immediately.
2. Use a rag for small spills on paved surfaces, a damp mop for general cleanup, and absorbent material for larger spills. If the spilled material is hazardous, then the used cleanup materials are also hazardous and must be disposed of as hazardous waste.
3. Never hose down or bury dry material spills. Clean up as much of the material as possible and dispose of properly. See the waste management BMPs in this section for specific information.

Minor Spills

1. Minor spills typically involve small quantities of oil, gasoline, paint, etc. which can be controlled by the first responder at the discovery of the spill.
2. Use absorbent materials on small spills rather than hosing down or burying the spill.
3. Absorbent materials should be promptly removed and disposed of properly.
4. Follow the practice below for a minor spill:
 - Contain the spread of the spill.
 - Recover spilled materials.
 - Clean the contaminated area and properly dispose of contaminated materials.

Semi-Significant Spills

Semi-significant spills still can be controlled by the first responder along with the aid of other personnel such as laborers and the foreman, etc. This response may require the cessation of all other activities. Spills should be cleaned up immediately:

1. Contain spread of the spill.

2. Notify the project foreman immediately.
3. If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (absorbent materials, cat litter and/or rags). Contain the spill by encircling with absorbent materials and do not let the spill spread widely.
4. If the spill occurs in dirt areas, immediately contain the spill by constructing an earthen dike. Dig up and properly dispose of contaminated soil.
5. If the spill occurs during rain, cover spill with tarps or other material to prevent contaminating runoff.

Significant/Hazardous Spills

For significant or hazardous spills that are in reportable quantities:

1. Notify the TCEQ by telephone as soon as possible and within 24 hours at (512)339-2929 (Austin) or 210-490-3096 (San Antonio) between 8 AM and 5 PM. After hours, contact the Environmental Release Hotline at 1-800-832-8224. It is the contractor's responsibility to have all emergency phone numbers at the construction site.
2. For spills of federal reportable quantities, in conformance with the requirements in 40 CFR parts 110,119, and 302, the contractor should notify the National Response Center at (800) 424-8802.
3. Notification should first be made by telephone and followed up with a written report.
4. The services of a spills contractor or a Haz-Mat team should be obtained immediately. Construction personnel should not attempt to clean up until the appropriate and qualified staffs have arrived at the job site.
5. Other agencies which may need to be consulted include, but not limited to, the City Police Department, County Sheriff Office, Fire Departments, etc.

Vehicle and Equipment Maintenance

1. If maintenance must occur onsite, use a designated area and a secondary containment, located away from drainage courses, to prevent the runoff of stormwater and the runoff of spills.
2. Regularly inspect onsite vehicles and equipment for leaks and repair immediately
3. Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment onsite.
4. Always use secondary containment, such as a drain pan or drop cloth, to catch spills or leaks when removing or changing fluids.
5. Place drip pans or absorbent materials under paving equipment when not in use.
6. Use absorbent materials on small spills rather than hosing down or burying the spill. Remove the absorbent materials promptly and dispose of properly.

7. Promptly transfer used fluids to the proper waste or recycling drums. Don't leave full drip pans or other open containers lying around.
8. Oil filters disposed of in trashcans or dumpsters can leak oil and pollute stormwater. Place the oil filter in a funnel over a waste oil-recycling drum to drain excess oil before disposal. Oil filters can also be recycled. Ask the oil supplier or recycler about recycling oil filters.
9. Store cracked batteries in a non-leaking secondary container. Do this with all cracked batteries even if you think all the acid has drained out. If you drop a battery, treat it as if it is cracked. Put it into the containment area until you are sure it is not leaking.

Vehicle and Equipment Fueling

1. If fueling must occur on site, use designated areas, located away from drainage courses, to prevent the runoff of stormwater and the runoff of spills.
2. Discourage "topping off" of fuel tanks.
3. Always use secondary containment, such as a drain pan, when fueling to catch spills/leaks.

Temporary Stormwater Section

Attachment B

Potential Sources of contamination

The following are possible pollution types that might be encounter during the construction of the project:

- Sediment loading during and after construction phases
- Waste materials
- Hazardous materials
- Sanitary waste
- Oil from Trucks/Cars on roadway

Temporary Stormwater Section

Attachment C

Sequence of Major Activities

1. Utilities to be relocated prior to construction of roadway project.
2. Install silt fence, curb inlet protection and tree protection as per plans. Erosion control items will remain in place throughout the construction of the project.
3. Clear and grub right of way
4. Project construction:
 - Phase I:
 - a. Remove and reconstruct bank parking lot retaining wall.
 - b. Saw cut and remove existing pavement.
 - c. Remove existing sidewalk, pedestrian ramps and curb and gutter.
 - d. Remove or cap existing inlets and link sections and construct proposed inlets, links and curb and gutter.
 - e. Construct right turn lane.
 - f. Construct sidewalk, driveway and pedestrian ramps.
 - g. Place signing and pavement marking.
 - Phase II:
 - a. Saw cut and remove existing pavement.
 - b. Remove existing sidewalk, pedestrian ramps and curb and gutter.
 - c. Remove existing inlets and link sections and construct proposed inlets, links and curb and gutter.
 - d. Construct right turn lane.
 - e. Construct sidewalk, driveway and pedestrian ramps.
 - f. Place signing and pavement marking.
5. During construction, make minor adjustments to silt fence and curb inlet protection as needed.
6. Remove temporary erosion control items.
7. Install permanent erosion control items.
8. Clean up work zone.

Temporary Stormwater Section

Attachment D

Temporary Best Management Practices (BMPs)

Proposed temporary erosion, sediment and water quality controls for the project include:

- Silt Fencing
- Inlet Protection Logs
- Tree Protection

Details pertaining to quantities, placement and locations of the temporary BMPs are found in the Erosion Control Plan and Standards in Attachment F.

All temporary stormwater BMPs are meant to minimize erosion and sediment discharge from the project site to receiving waters. Silt fencing will be installed along the project limits to filter stormwater runoff and prevent sedimentation downstream of the project site. Additionally, Inlet protection logs will be placed in the existing and proposed inlets outfalls to also help with removing sediment generated during construction phase activities to run into the storm drain system.

Temporary Stormwater Section

Attachment F

Structural Practices

Structural BMPs will be used to limit runoff discharge of pollutants from exposed areas of the site. BMPs will be installed prior to any soil disturbing construction activities. Temporary stormwater BMPs are meant to minimize erosion and sediment discharge from the project site to receiving waters. Silt fencing will be installed along the project limits to filter stormwater runoff and prevent sedimentation downstream of the project site. Additionally, Inlet protection logs will be placed in the existing and proposed inlets outfalls to also help with removing sediment generated during construction phase activities to run into the storm drain system. Details pertaining to quantities, placement and locations of the temporary BMPs are found in the Erosion Control Plan and Standards attached below.

I. STORMWATER POLLUTION PREVENTION-CLEAN WATER ACT SECTION 402

TPDES TXR 150000: Stormwater Discharge Permit or Construction General Permit required for projects with 1 or more acres disturbed soil. Projects with any disturbed soil must protect for erosion and sedimentation in accordance with Item 506.

List MS4 Operator(s) that may receive discharges from this project. They may need to be notified prior to construction activities.

- CORR MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4).

No Action Required Required Action

Action No.

- Prevent stormwater pollution by controlling erosion and sedimentation in accordance with TPDES Permit TXR 150000
- Comply with the SW3P and revise when necessary to control pollution or required by the Engineer.
- Post Construction Site Notice (CSN) with SW3P information on or near the site, accessible to the public and TCEQ, EPA or other inspectors.
- When Contractor project specific locations (PSL's) increase disturbed soil area to 5 acres or more, submit NOI to TCEQ and the Engineer.
- DB contractor shall submit Primary NOI to CTRMA for review 48 hours before submitting to TCEQ.

II. WORK IN OR NEAR STREAMS, WATERBODIES AND WETLANDS CLEAN WATER ACT SECTIONS 401 AND 404

USACE Permit required for filling, dredging, excavating or other work in any water bodies, rivers, creeks, streams, wetlands or wet areas.

The Contractor must adhere to all of the terms and conditions associated with the following permit(s):

- No Permit Required
- Nationwide Permit 14 - PCN not Required (less than 1/10th acre waters or wetlands affected)
- Nationwide Permit 14 - PCN Required (1/10 to <1/2 acre, 1/3 in tidal waters)
- Individual 404 Permit Required
- Other Nationwide Permit Required: NWP# _____

Required Actions: List waters of the US permit applies to, location in project and check Best Management Practices planned to control erosion, sedimentation and post-project TSS.

The elevation of the ordinary high water marks of any areas requiring work to be performed in the waters of the US requiring the use of a nationwide permit can be found on the Bridge Layouts.

Best Management Practices:

- | | | |
|--|--|--|
| Erosion | Sedimentation | Post-Construction TSS |
| <input type="checkbox"/> Temporary Vegetation | <input checked="" type="checkbox"/> Silt Fence | <input type="checkbox"/> Vegetative Filter Strips |
| <input type="checkbox"/> Blankets/Matting # | <input type="checkbox"/> Rock Berm | <input type="checkbox"/> Retention/Irrigation Systems |
| <input type="checkbox"/> Mulch | <input type="checkbox"/> Triangular Filter Dike | <input type="checkbox"/> Extended Detention Basin |
| <input checked="" type="checkbox"/> Sodding | <input type="checkbox"/> Sand Bag Berm | <input type="checkbox"/> Constructed Wetlands |
| <input type="checkbox"/> Interceptor Swale | <input type="checkbox"/> Straw Bale Dike | <input type="checkbox"/> Wet Basin |
| <input type="checkbox"/> Diversion Dike | <input type="checkbox"/> Brush Berms | <input type="checkbox"/> Erosion Control Compost |
| <input type="checkbox"/> Erosion Control Compost | <input type="checkbox"/> Erosion Control Compost | <input type="checkbox"/> Mulch Filter Berm and Socks |
| <input type="checkbox"/> Mulch Filter Berm and Socks | <input type="checkbox"/> Mulch Filter Berm and Socks | <input type="checkbox"/> Compost Filter Berm and Socks |
| <input type="checkbox"/> Compost Filter Berm and Socks | <input type="checkbox"/> Compost Filter Berm and Socks | <input type="checkbox"/> Vegetation Lined Ditches |
| | <input type="checkbox"/> Stone Outlet Sediment Traps | <input type="checkbox"/> Sand Filter Systems |
| | <input type="checkbox"/> Sediment Basins | <input type="checkbox"/> Grassy Swales |

AS REQUIRED BY THE ECM TO ADDRESS FIELD CONDITIONS.

The Demolition Plan meets the requirements of the Corps of Engineers' Section 404 Permit. No debris will be allowed to fall within the limits of the ordinary high water marks (OHWM) of TRIBUTARY A and TRIBUTARY B and the XXXX Creek. sawcut the old bridge columns to a minimum of 2 feet or more below the finished ground line, unless otherwise directed.

III. CULTURAL RESOURCES

Upon discovery of archeological artifacts (bones, burnt rock, flint, pottery, etc.) cease work in the immediate area and contact the City of Round Rock immediately.

No Action Required Required Action

Action No.

-

IV. VEGETATION RESOURCES

Preserve native vegetation to the extent practical. Contractor must adhere to Construction Specification Requirements Specs 162, 164, 192, 193, 506, 730, 751, 752 in order to comply with requirements for invasive species, beneficial landscaping, and tree/brush removal commitments.

No Action Required Required Action

Action No.

- DURING CONSTRUCTION, EFFORTS SHALL BE TAKEN BY THE CONTRACTOR TO AVOID AND MINIMIZE DISTURBANCE OF VEGETATION AND SOILS. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RE-VEGETATED ACCORDING TO PROJECT SPECIFICATIONS, AS SOON AS IT BECOMES PRACTICABLE.
- DURING CONSTRUCTION, EFFORTS SHALL BE TAKEN BY THE CONTRACTOR TO AVOID AND MINIMIZE DISTURBANCE OF ALL TREES DESIGNATED FOR PRESERVATION IN THE PLANS.
- CONTRACTOR SHALL PROTECT PRESERVATION AREAS.
- CONTRACTOR SHALL PROTECT PRESERVED TREES USING PROTECTIVE FENCING (PLASTIC) OR CORD FENCING (WIRE) IN ACCORDANCE WITH TXDOT ITEM 506 "TEMPORARY EROSION, SEDIMENTATION, AND ENVIRONMENTAL CONTROLS." PROTECTIVE FENCING MAY ALSO BE CONSTRUCTED OF 4x4 POSTS AND 2x4 STRINGERS TOP AND BOTTOM.

TRUNK ARMORING SHOULD CONSIST OF 2x4 WOOD BOARDS STRAPPED VERTICALLY TO THE TREE NO MORE THAN 2 INCHES APART AND TO A HEIGHT OF 5 FEET ENCIRCLING THE TRUNK.
- PROTECTIVE SIGNAGE SHOULD BE COMPOSED OF COREX OR COROPLAST AND WEATHERPROOFED WITH A DIMENSION OF 18x24 INCHES. THE SIGN SHALL BE YELLOW WITH BLACK GRAPHICS WHICH STATE: "NATIVE VEGETATION PROTECTION AREA. DO NOT DISTURB"; INCLUDE MOBILITY AUTHORITY LOGO ON THE SIGN. SIGN SHALL BE SECURELY ANCHORED TO THE PROTECTIVE FENCING OR MOUNTED TO A POST. A MINIMUM OF ONE SIGN PER PRESERVED TREE SHALL BE INSTALLED AND AT A RATE OF ONE SIGN PER 500 FEET OF DESIGNATED PRESERVATION AREA.
- DISTURBED AREAS SHALL BE RESEEDED OR RESTABILIZED WITHIN 14 DAYS. SEE PROJECT GENERAL NOTES FOR SEEDING REQUIREMENT AND SEED MIX.
- SEE SW3P PLAN FOR LOCATIONS AND DETAILS OF THE RIPARIAN RESTORATION AREAS IF DAMAGED DURING CONSTRUCTION.

V. FEDERAL LISTED, PROPOSED THREATENED, ENDANGERED SPECIES, CRITICAL HABITAT, STATE LISTED SPECIES, CANDIDATE SPECIES AND MIGRATORY BIRDS.

No Action Required Required Action

Action No.

- IN THE EVENT THAT MIGRATORY BIRDS ARE ENCOUNTERED ON-SITE DURING CONSTRUCTION, EVERY EFFORT SHALL BE MADE TO AVOID THE TAKE OF PROTECTED BIRDS, ACTIVE NESTS, EGGS, AND/OR YOUNG. THE CONTRACTOR SHALL REMOVE ALL OLD MIGRATORY BIRD NESTS FROM ANY STRUCTURE WHERE WORK WILL BE DONE. IN ADDITION, THE CONTRACTOR SHALL BE PREPARED TO PREVENT MIGRATORY BIRDS FROM BUILDING NESTS DURING CONSTRUCTION.

If threatened or endangered species are observed, cease work in the immediate area, do not disturb species or habitat and contact the ECI immediately. The work may not remove active nests from bridges and other structures during nesting season of the birds associated with the nests. If caves or sinkholes are discovered, cease work in the immediate area, and contact a qualified geologist and biologist.

LIST OF ABBREVIATIONS

- | | |
|---|---|
| BMP: Best Management Practice | SPCC: Spill Prevention Control and Countermeasure |
| CGP: Construction General Permit | SW3P: Storm Water Pollution Prevention Plan |
| DSHS: Texas Department of State Health Services | PCN: Pre-Construction Notification |
| ECI: Environmental Compliance Inspector | PSL: Project Specific Location |
| FHWA: Federal Highway Administration | TCEQ: Texas Commission on Environmental Quality |
| MOA: Memorandum of Agreement | TPDES: Texas Pollutant Discharge Elimination System |
| MOU: Memorandum of Understanding | TPWD: Texas Parks and Wildlife Department |
| MS4: Municipal Separate Stormwater Sewer System | TxDOT: Texas Department of Transportation |
| MBTA: Migratory Bird Treaty Act | T&E: Threatened and Endangered Species |
| NOT: Notice of Termination | USACE: U.S. Army Corps of Engineers |
| NWP: Nationwide Permit | USFWS: U.S. Fish and Wildlife Service |
| NOI: Notice of Intent | |

NO.	DATE	REVISION	APPR BY



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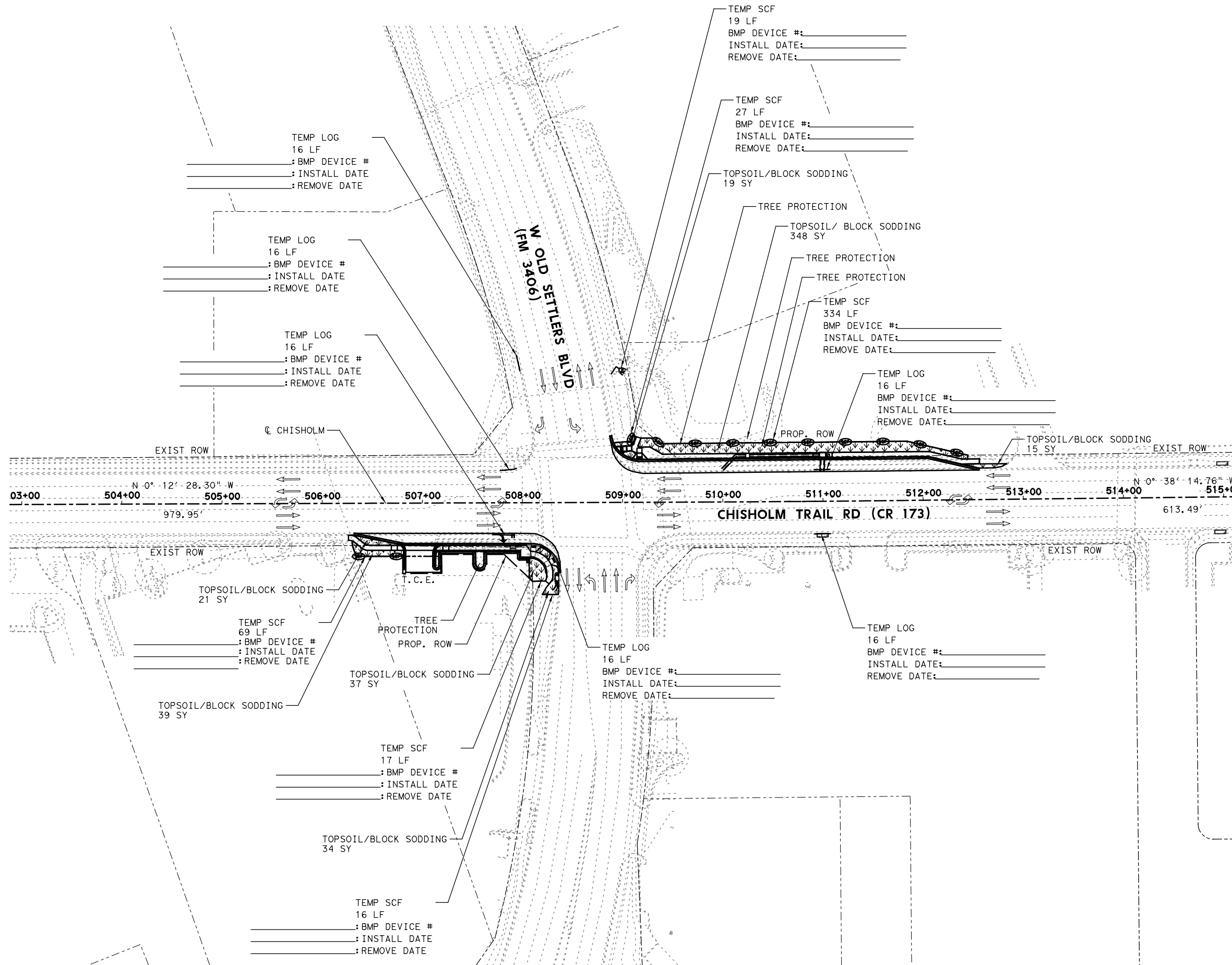
TBPE FIRM NO. F-10069



**CHISHOLM TR RD & W. OLD SETTLERS BLVD
INTERSECTION IMPROVEMENTS
STORMWATER
POLLUTION PREVENTION
PLANS (SWPPP)**

N.T.S. SHEET 1 OF 1

DSN:	JMS	STATE	PROJECT NO.	ROADWAY
CK:	FG	TEXAS		CHISHOLM
DRN:	EF	COUNTY	CITY	SHEET NO.
CK:	JMS	WILLIAMSON	ROUND ROCK	100



LEGEND

SEDIMENT CONTROL FENCE
 TOPSOIL/SODDING

- NOTE:**
1. ALL EROSION CONTROL ELEMENTS SHALL BE IN PLACE PRIOR TO COMMENCING ANY SOIL DISTURBING ACTIVITIES. ALL EROSION CONTROL ELEMENTS TO BE PLACED AS SHOWN ON THE STANDARDS.
 2. LOCATION OF CONSTRUCTION EXITS TO BE DETERMINED BY THE CONTRACTOR AND FIELD ENGINEER.
 3. ALL PERIMETER CONTROLS TO REMAIN UNTIL END OF CONSTRUCTION. ALL INLETS WILL HAVE PROTECTION UNTIL END OF CONSTRUCTION.
 4. THE QUANTITIES SHOW ARE APPROXIMATE AND MAY BE ADJUSTED TO MEET THE FIELD CONDITIONS.
 5. ALL EROSION CONTROL DEVICES TO BE INSTALLED AS DIRECTED BY THE ENGINEER.
 6. CONTRACTOR TO MATCH EXISTING BLOCK SODDING TYPE.
 7. T.C.E. = TEMPORARY CONSTRUCTION EASEMENT.

NO.	DATE	REVISION	APPR BY

AMY L. BENNETT
123129
LICENSED PROFESSIONAL ENGINEER
Amy L. Bennett
2/7/2022

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THE CITY OF ROUND ROCK, TEXAS

CHISHOLM TR RD & W. OLD SETTLERS BLVD INTERSECTION IMPROVEMENTS

EROSION CONTROL PLAN

SCALE: 1"=100' SHEET 1 OF 1

DSN:	JMS	STATE:	TEXAS	PROJECT NO.:	ROADWAY:
CK:	FG	COUNTY:	WILLIAMSON	CITY:	ROUND ROCK
DRN:	EF			SHEET NO.:	101

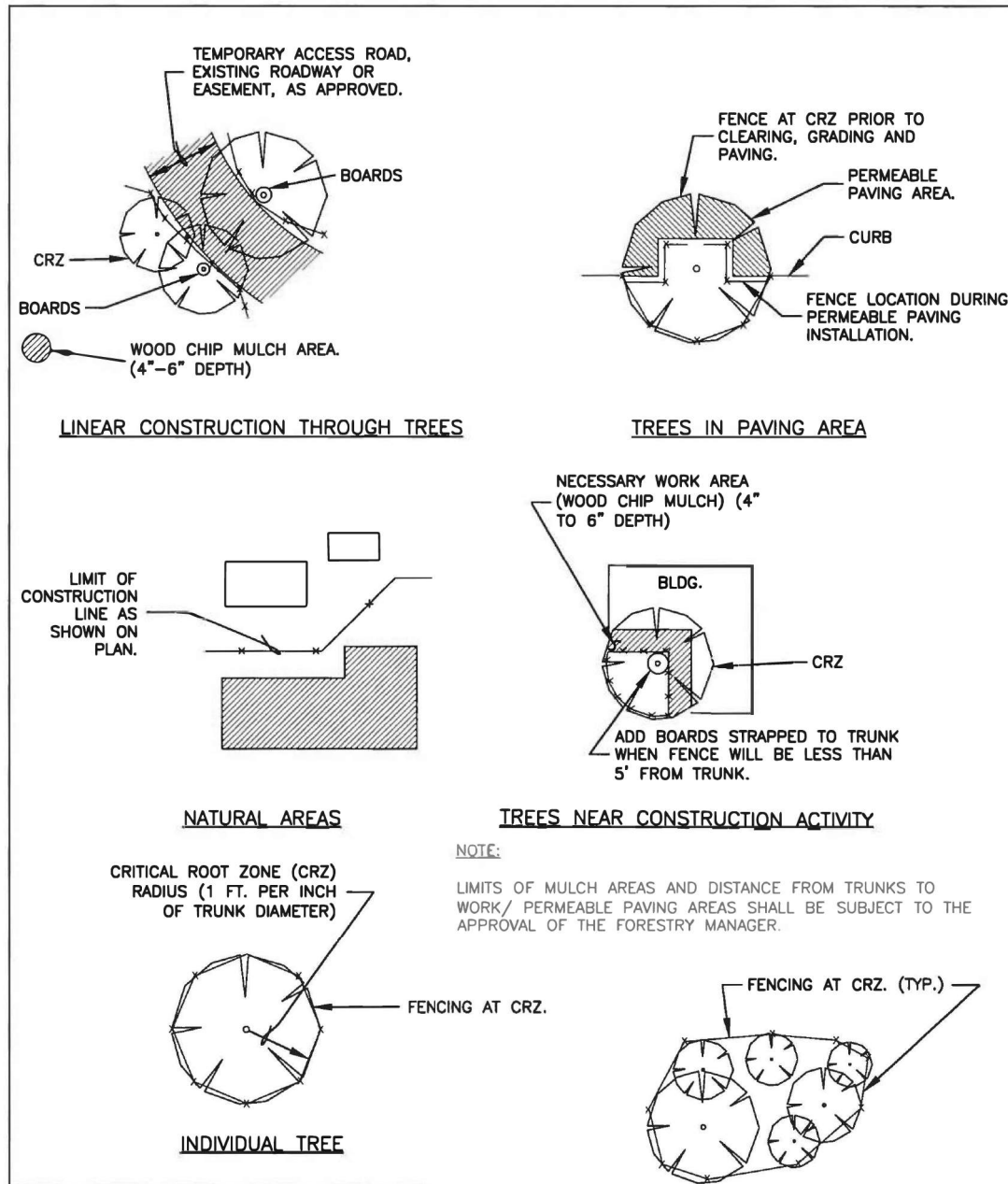
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 REV DATE: 12-08-2020
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- ALL TREES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE OF DISTURBED AREAS SHALL BE PRESERVED. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL TREES TO BE PRESERVED FROM HIS ACTIVITIES.
- ALL TREES SHOWN TO BE RETAINED ON THE PLANS, SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING. SEE: TREE PROTECTION TREE WELLS (EC-02), TREE PROTECTION TREE LOCATION (EC-03) AND TREE PROTECTION FENCE-CHAIN LINK (EC-04).
- TREE PROTECTION FENCES SHALL BE ERECTED ACCORDING TO CITY STANDARDS FOR TREE PROTECTION, INCLUDING TYPES OF FENCING AND SIGNAGE.
- TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
- EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIPLINES.
- FENCES SHALL COMPLETELY SURROUND THE TREE, OR CLUSTERS OF TREES, LOCATED AT THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIPLINE) OR CRITICAL ROOT ZONE (CRZ), WHICHEVER IS GREATER; AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT IN ORDER TO PREVENT THE FOLLOWING:
 - SOIL COMPACTION IN CRZ AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIAL.
 - CRZ DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL) OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE FORESTRY MANAGER.
 - WOUNDS TO EXPOSED ROOTS, TRUNK, OR LIMBS BY MECHANICAL EQUIPMENT
 - OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CONCRETE TRUCK CLEANING, AND FIRES.
- EXCEPTIONS TO INSTALLING TREE FENCES AT THE TREE DRIPLINES OR CRZ, WHICHEVER IS GREATER, MAY BE PERMITTED IN THE FOLLOWING CASES:
 - WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, OR TREE WELL;
 - WHERE PERMEABLE PAVING IS TO BE INSTALLED, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA.
 - WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE NO CLOSER THAN 6 FEET TO THE BUILDING.
 - WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE FORESTRY MANAGER TO DISCUSS ALTERNATIVES.
- WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE THAT IS CLOSER THAN 5 FEET TO A TREE TRUNK, THE TRUNK SHALL BE PROTECTED BY STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
- WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN AREAS OF UNPROTECTED ROOT ZONES UNDER THE DRIPLINE OR CRZ, WHICHEVER IS GREATER, THOSE AREAS SHOULD BE COVERED WITH 4 INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION.
- ALL GRADING WITHIN CRZ AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE. PRIOR TO GRADING, RELOCATE PROTECTIVE FENCING TO 2 FEET BEHIND THE GRADE CHANGE AREA.
- ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL AND BACKFILLED WITH GOOD QUALITY TOP SOIL WITHIN TWO DAYS. IF EXPOSED ROOT AREAS CANNOT BE BACKFILLED WITHIN 2 DAYS, AN ORGANIC MATERIAL WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION SHALL BE PLACED TO COVER THE ROOTS UNTIL BACKFILL CAN OCCUR.
- PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIPLINES, A CLEAN CUT SHALL BE MADE BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT, IN A LOCATION AND TO A DEPTH APPROVED BY THE FORESTRY MANAGER, TO MINIMIZE DAMAGE TO REMAINING ROOTS.
- TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES WILL BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS ARE TO BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, A PLASTIC VAPOR BARRIER SHALL BE PLACED BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE CRZ.
- ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
- NO LANDSCAPE TOPSOIL DRESSING GREATER THAN FOUR (4) INCHES SHALL BE PERMITTED WITHIN THE DRIPLINE OR CRZ OF TREES, WHICHEVER IS GREATER. NO TOPSOIL IS PERMITTED ON ROOT FLARES OF ANY TREE.
- PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND CONSTRUCTION EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS. ALL PRUNING MUST BE DONE ACCORDING TO CITY STANDARDS AND AS OUTLINED IN LITERATURE PROVIDED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA PRUNING TECHNIQUES).
- ALL OAK TREE CUTS, INTENTIONAL OR UNINTENTIONAL, SHALL BE SEALED WITH AN APPROVED PRUNING SEALER IMMEDIATELY (WITHIN 10 MINUTES). PRUNING SEAL OR TREE PAINT MUST BE KEPT ON SITE AT ALL TIMES.
- THE FORESTRY MANAGER HAS THE AUTHORITY TO REQUIRE ADDITIONAL TREE PROTECTION BEFORE OR DURING CONSTRUCTION.
- TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED. REFER TO THE CITY OF ROUND ROCK TREE TECHNICAL MANUAL FOR APPROPRIATE REMOVAL METHODS.
- PRIOR TO CONSTRUCTION, ALL LOWER TREE LIMBS OVER ROADWAYS MUST BE PRUNED TO A HEIGHT OF 14 FEET USING THE TECHNIQUES DESCRIBED IN THE CITY OF ROUND ROCK TREE TECHNICAL MANUAL.
- DEVIATIONS FROM THE ABOVE NOTES MAY BE CONSIDERED ORDINANCE VIOLATIONS IF THERE IS NON COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

FOR QUESTIONS CONCERNING THIS DETAIL, PLEASE CONTACT THE FORESTRY MANAGER.

SCALE: NTS

RECORD SIGNED COPY ON FILE APPROVED	CITY OF ROUND ROCK	DRAWING NO: EC-01
01-28-21 DATE		SHEET 1 of 1
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL. (NOT TO SCALE)	TREE PROTECTION NOTES	



FOR QUESTIONS CONCERNING THIS DETAIL, PLEASE CONTACT THE FORESTRY MANAGER.

SCALE: NTS

RECORD SIGNED COPY ON FILE APPROVED	CITY OF ROUND ROCK	DRAWING NO: EC-03
01-28-21 DATE		SHEET 1 of 1
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL. (NOT TO SCALE)	TREE PROTECTION FENCE LOCATIONS	

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TBPE FIRM NO. F-10069

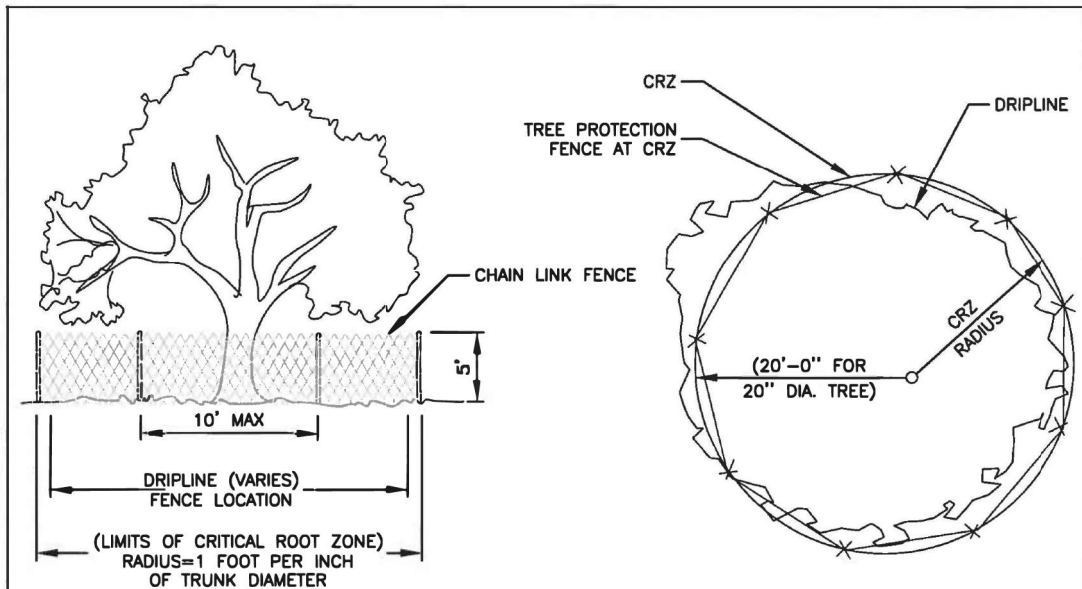
THE CITY OF ROUND ROCK, TEXAS

CHISHOLM TR RD & W. OLD SETTLERS BLVD
INTERSECTION IMPROVEMENTS

TREE PROTECTION STANDARD DETAILS

N.T.S. SHEET 1 OF 2

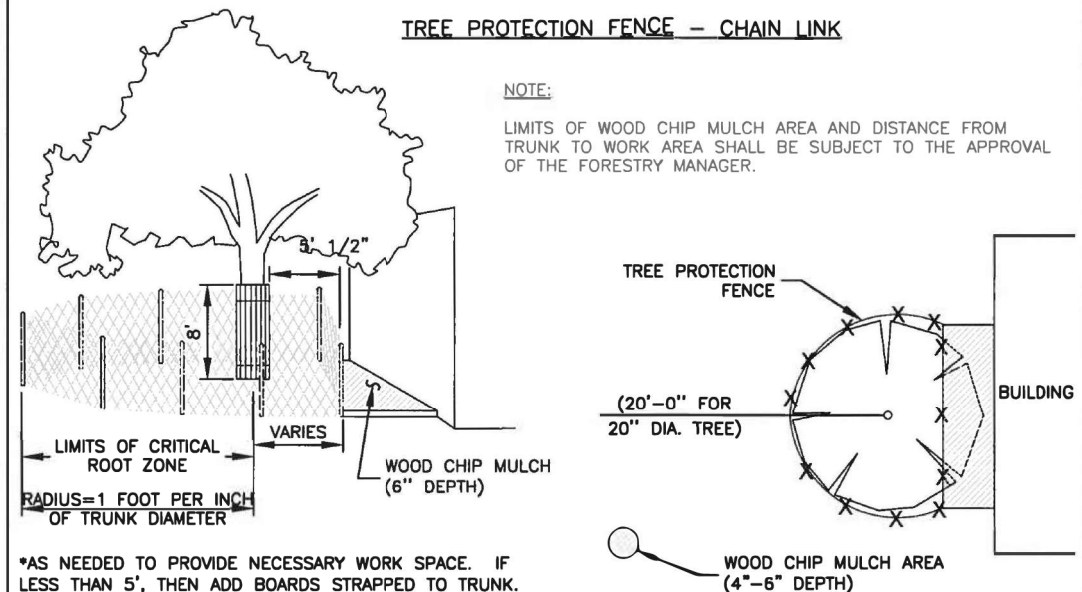
DSN:	JMS	STATE	PROJECT NO.	ROADWAY
CK:	FG	TEXAS		CHISHOLM
DRN:	EF	COUNTY	CITY	SHEET NO.
CK:	JMS	WILLIAMSON	ROUND ROCK	102



TREE PROTECTION FENCE - CHAIN LINK

NOTE:

LIMITS OF WOOD CHIP MULCH AREA AND DISTANCE FROM TRUNK TO WORK AREA SHALL BE SUBJECT TO THE APPROVAL OF THE FORESTRY MANAGER.



TREE PROTECTION FENCE (MODIFIED) - CHAIN LINK

FOR QUESTIONS CONCERNING THIS DETAIL, PLEASE CONTACT THE FORESTRY MANAGER.

SCALE: NTS

RECORD SIGNED COPY ON FILE APPROVED

CITY OF ROUND ROCK

DRAWING NO: EC-04 SHEET 1 of 1

01-28-21 DATE

TREE PROTECTION FENCE CHAIN LINK



THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL. (NOT TO SCALE)

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THE CITY OF ROUND ROCK, TEXAS

ROUND ROCK TEXAS

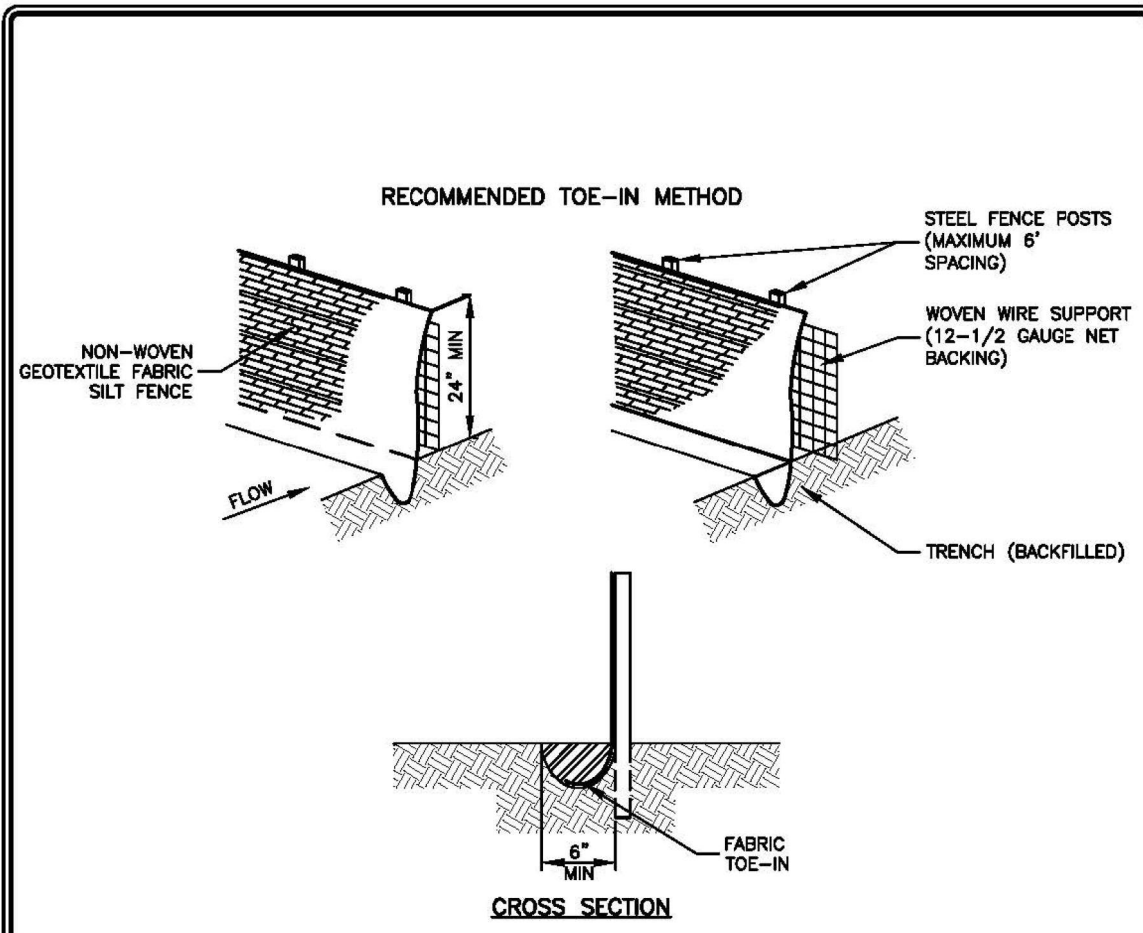
CHISHOLM TR RD & W. OLD SETTLERS BLVD INTERSECTION IMPROVEMENTS

TREE PROTECTION STANDARD DETAILS

N.T.S. SHEET 2 OF 2

DSN:	JMS	STATE:	TEXAS	PROJECT NO.:	ROADWAY:
CK:	FG	COUNTY:	WILLIAMSON	CITY:	CHISHOLM
DRN:	EF	CITY:	ROUND ROCK	SHEET NO.:	103

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- NOTES:**
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MIN. OF ONE (1') FOOT.
 2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT) WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
 3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 4. SILT FENCE SHALL BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS SECURELY FASTENED TO THE STEEL FENCE POSTS.
 5. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
 8. SILT FENCE SHALL BE REMOVED AS SOON AS THE SOURCE OF SEDIMENT IS STABILIZED

RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED 03-25-11 DATE THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL. (NOT TO SCALE)	<h2 style="margin: 0;">CITY OF ROUND ROCK</h2> <h3 style="margin: 0;">SILT FENCE DETAIL</h3>	DRAWING NO: EC-10
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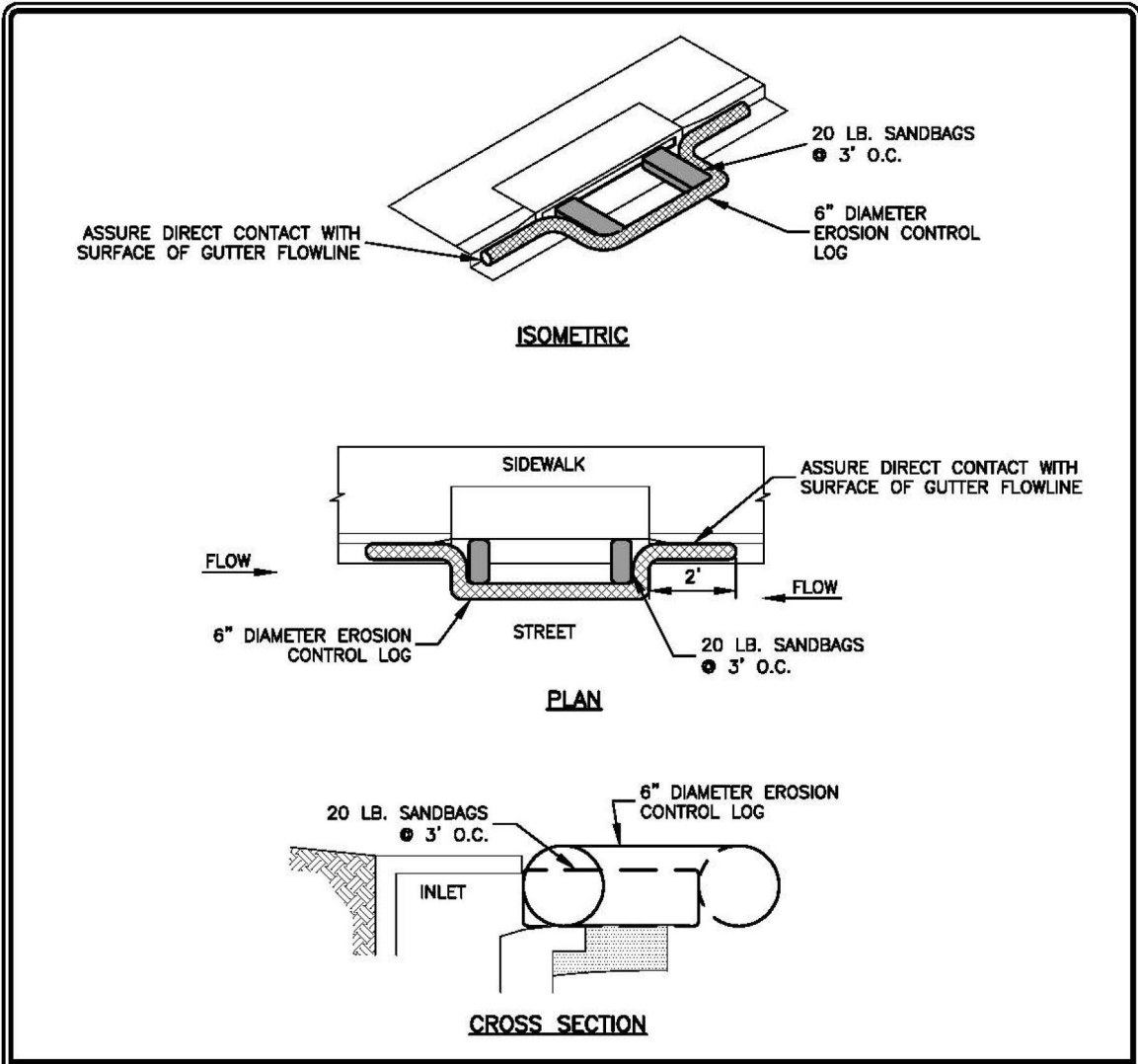
THE CITY OF ROUND ROCK, TEXAS
ROUND ROCK TEXAS

CHISHOLM TR RD & W. OLD SETTLERS BLVD
 INTERSECTION IMPROVEMENTS

SILT FENCE STANDARD DETAILS

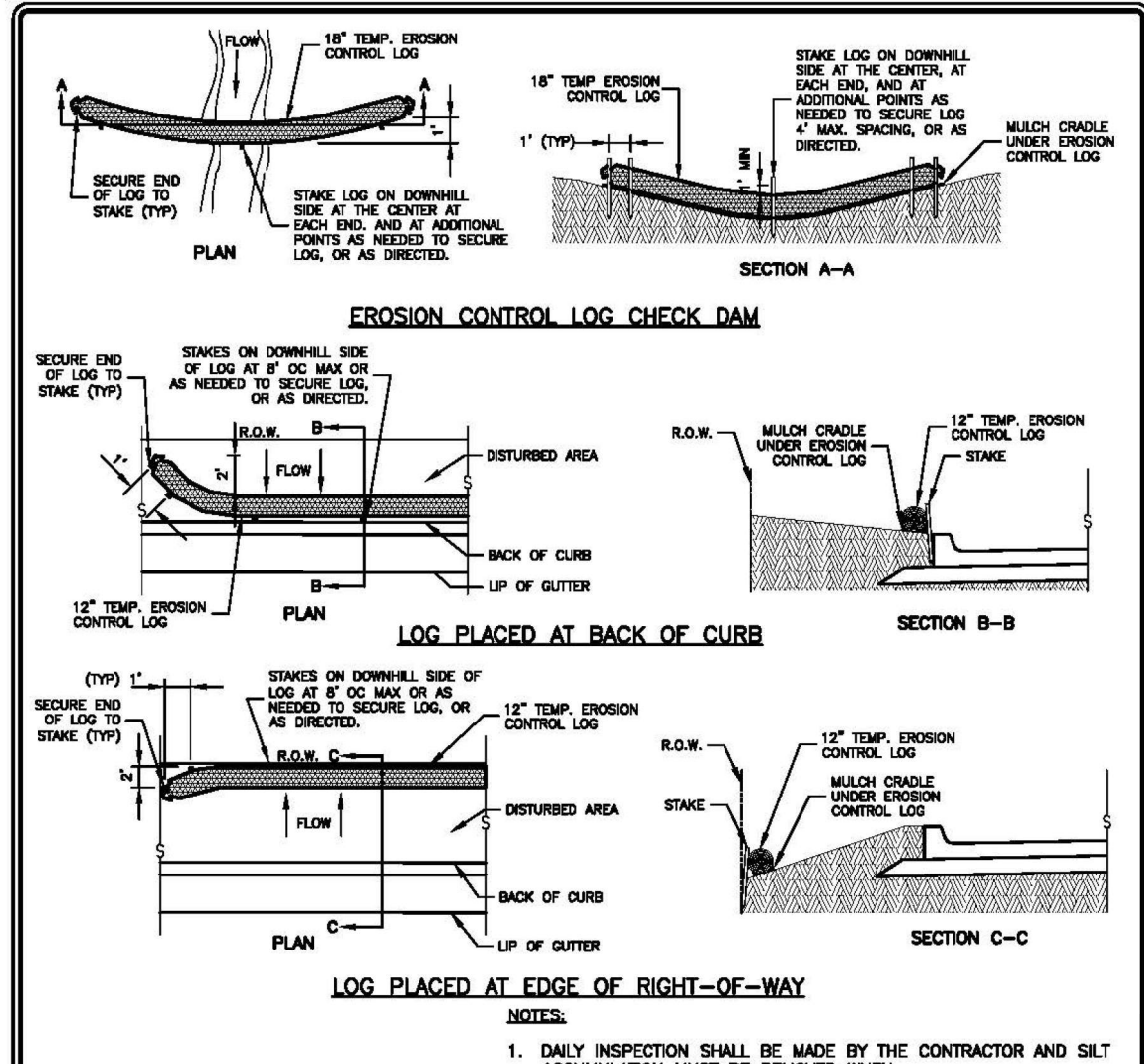
N.T.S.		SHEET 1 OF 1		
DSN:	JMS	STATE	PROJECT NO.	ROADWAY
CK:	FG	TEXAS		CHISHOLM
DRN:	EF	COUNTY	CITY	SHEET NO.
CR:	JMS	WILLIAMSON	ROUND ROCK	104

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- NOTES:**
1. EROSION CONTROL LOG CONTAINMENT MESH SHALL BE 100% BIODEGRADABLE, PHOTODEGRADABLE OR RECYCLABLE; AND FILL MATERIAL SHALL CONSIST OF MULCH, ASPEN EXCELSIOR FIBERS, CHIPPED SITE VEGETATION, COCONUT FIBERS, 100% RECYCLABLE FIBERS, OR ANY OTHER ACCEPTABLE MATERIAL EXCLUDING STRAW AND HAY.
 2. DAILY INSPECTION SHALL BE MADE BY THE CONTRACTOR AND SILT ACCUMULATION MUST BE REMOVED WHEN DEPTH REACHES 2".
 3. CONTRACTOR SHALL MONITOR THE PERFORMANCE OF INLET PROTECTION DURING EACH RAINFALL EVENT AND IMMEDIATELY REMOVE THE INLET PROTECTIONS IF THE STORM WATER BEGINS TO OVERTOP THE CURB.
 4. INLET PROTECTIONS SHALL BE REMOVED AS SOON AS THE SOURCE OF SEDIMENT IS STABILIZED.

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03-25-11 DATE		
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL. (NOT TO SCALE)	CURB INLET PROTECTION WITH EROSION CONTROL LOG DETAIL	



- NOTES:**
1. DAILY INSPECTION SHALL BE MADE BY THE CONTRACTOR AND SILT ACCUMULATION MUST BE REMOVED WHEN DEPTH REACHES 6".
 2. CONTRACTOR SHALL MONITOR THE PERFORMANCE OF LOGS DURING RAINFALL EVENT FOR PROPER PERFORMANCE.
 3. LOGS SHALL CONSIST OF 100% BIODEGRADABLE, PHOTODEGRADABLE OR RECYCLABLE CONTAINMENT MESH STUFFED WITH FILTER MATERIAL.
 4. STUFF LOGS WITH SUFFICIENT FILTER MATERIAL TO ACHIEVE DENSITY THAT WILL HOLD SHAPE WITHOUT EXCESSIVE DEFORMATION. FILTER MATERIAL SHALL CONSIST OF MULCH, ASPEN EXCELSIOR WOOD FIBERS, CHIPPED SITE VEGETATION, COCONUT FIBERS, 100% RECYCLABLE FIBERS, OR ANY OTHER ACCEPTABLE MATERIAL, EXCLUDING STRAW AND HAY.
 5. STAKES SHALL BE 2" X 2" WOOD, 4' LONG, EMBEDDED SUCH THAT 2" PROTRUDES ABOVE LOG, OR AS DIRECTED.

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03-25-11 DATE		
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THE CITY OF ROUND ROCK, TEXAS

CHISHOLM TR RD & W. OLD SETTLERS BLVD
INTERSECTION IMPROVEMENTS

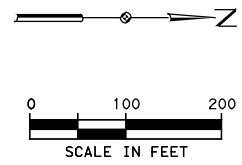
CURB INLET PROTECTION STANDARD DETAILS

N.T.S. SHEET 1 OF 1

DSN: JMS	STATE	PROJECT NO.	ROADWAY
CK: FG	TEXAS		CHISHOLM
DRN: EF	COUNTY	CITY	SHEET NO.
CK: JMS	WILLIAMSON	ROUND ROCK	105

RATIONAL METHOD

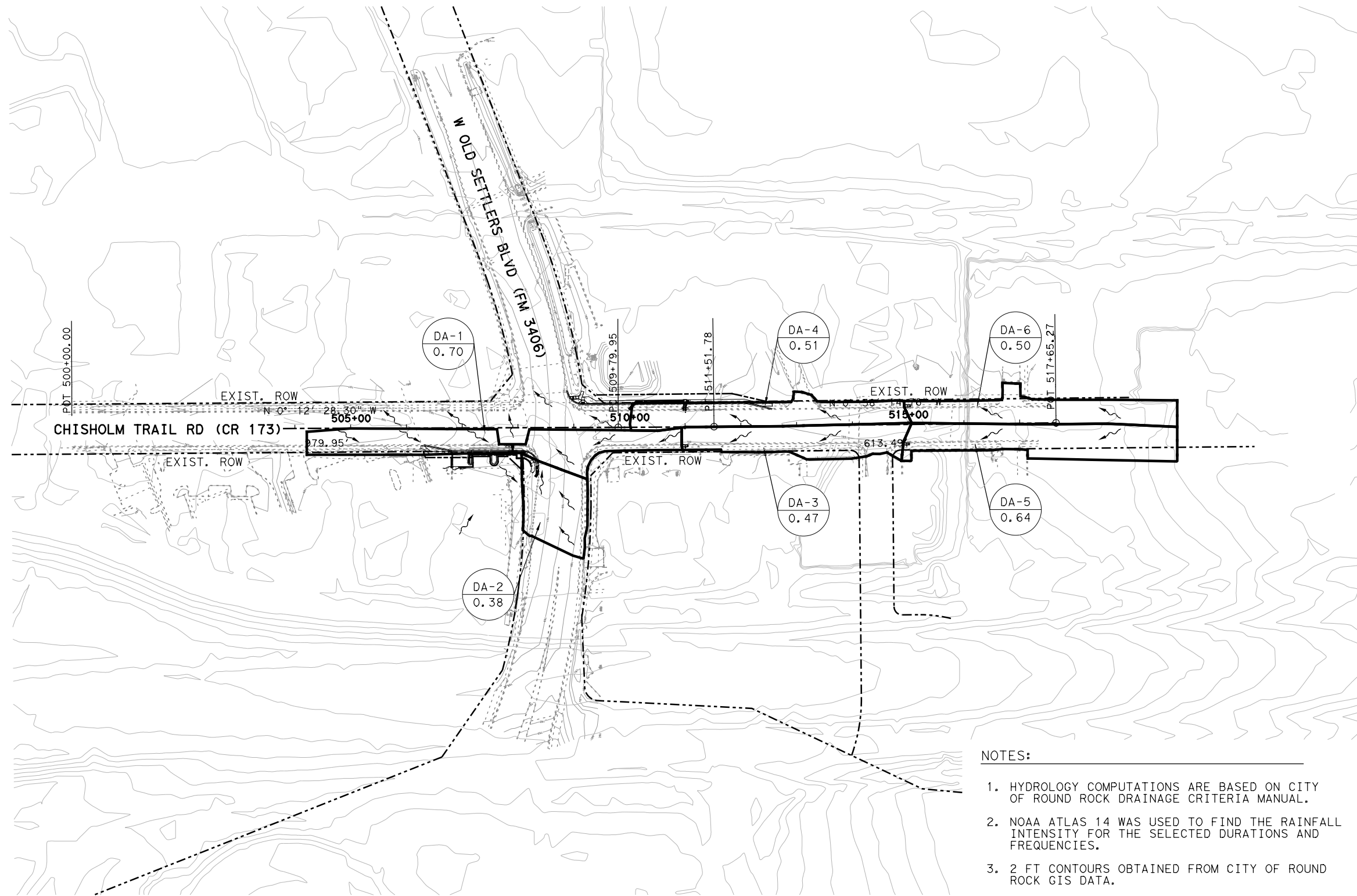
AREA ID	COMPOSITE AREA (AC)	T _c USED (Min)	C - 25 YEAR	C - 100 YEAR	I - 25 YEAR (in/hr)	Q - 25 YEAR (CFS)	I - 100 YEAR (in/hr)	Q - 100 YEAR (CFS)
DA-1	0.70	5	0.86	0.95	11.1	7	14.2	9
DA-2	0.38	5	0.86	0.95	11.1	4	14.2	5
DA-3	0.47	5	0.86	0.95	11.1	4	14.2	6
DA-4	0.51	5	0.86	0.95	11.1	5	14.2	7
DA-5	0.64	5	0.86	0.95	11.1	6	14.2	9
DA-6	0.50	5	0.86	0.95	11.1	5	14.2	7



LEGEND

- DRAINAGE AREA
- CONTOURS
- DRAINAGE FLOW DIRECTION

- AREA ID
- AREA IN ACRES



NOTES:

- HYDROLOGY COMPUTATIONS ARE BASED ON CITY OF ROUND ROCK DRAINAGE CRITERIA MANUAL.
- NOAA ATLAS 14 WAS USED TO FIND THE RAINFALL INTENSITY FOR THE SELECTED DURATIONS AND FREQUENCIES.
- 2 FT CONTOURS OBTAINED FROM CITY OF ROUND ROCK GIS DATA.
- SEE DRAINAGE PLAN AND PROFILE FOR MORE DETAILS.

NO.	DATE	REVISION	APPR BY



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CHISHOLM TR RD & W. OLD SETTLERS BLVD
INTERSECTION IMPROVEMENTS

DRAINAGE AREA MAP & HYDROLOGIC CALCULATIONS

SCALE: 1"=200' SHEET 1 OF 1

DSN:	JMS	STATE	PROJECT NO.	ROADWAY
CK:	FG	TEXAS		CHISHOLM
DRN:	EF	COUNTY	CITY	SHEET NO.
CK:	JMS	WILLIAMSON	ROUND ROCK	58

Temporary Stormwater Section

Attachment I

Inspection and Maintenance for BMPs

Maintenance Procedures:

All erosion and sediment controls shall be maintained in good working order. If a repair is necessary, it shall be performed before the next anticipated storm event but no later than seven (7) calendar days after the surrounding exposed ground has dried sufficiently to prevent further damage from equipment. If maintenance prior to the next anticipated storm event is impracticable, maintenance must be scheduled and accomplished as soon as practicable. Disturbed areas on which construction activities have ceased, temporarily or permanently, shall be stabilized within 14 calendar days unless they are scheduled to and do resume within 21 calendar days. The areas adjacent to creeks and drainage ways shall have priority followed by protecting storm sewer inlets.

Inspection Procedures:

For areas of the construction site that have not been finally stabilized, areas used for storage of materials, structural control measures, and locations where vehicles enter or exit the site, personnel provided by the permittee and familiar with the SW3P must inspect disturbed areas at least once every fourteen (14) calendar days. If this alternative schedule is developed, the inspection must occur on a specifically defined day, regardless of whether or not there has been rainfall since the previous inspection. An Inspection and Maintenance Report shall be prepared for each inspection and the controls shall be revised on the SW3P within seven (7) calendar days following the inspection.

Record Keeping:

Recording keeping procedures include keeping track of all inspections, maintenance and repairs of each BMP.

An amended copy of this document will be provided to the TCEQ within 30 days of any changes in the following information.

Responsible Party for Maintenance: _____

Address: _____

City, State, Zip: _____

Telephone Number: _____

Signature of Responsible Party: _____

Date: _____

Temporary Stormwater Section

Attachment J

Schedule of Interim and Permanent Soil Stabilization Practices

1. Install temporary erosion control, prepare ROW, and relocate any existing utilities.
2. Remove existing pavement, curb, and sidewalk and construct proposed work.
3. Place permanent seeding on areas with earth-disturbing activities.
5. City of Round Rock will need to approve that the site is stable once all construction activities are completed.

Agent Authorization Form
For Required Signature
Edwards Aquifer Protection Program
Relating to 30 TAC Chapter 213
Effective June 1, 1999

I _____ Dawn Scheel _____
Print Name

_____ Project Manager _____
Title - Owner/President/Other

of _____ City of Round Rock _____
Corporation/Partnership/Entity Name

have authorized _____ Amy L. Bennett _____
Print Name of Agent/Engineer

of _____ American Structurepoint _____
Print Name of Firm

to represent and act on the behalf of the above named Corporation, Partnership, or Entity for the purpose of preparing and submitting this plan application to the Texas Commission on Environmental Quality (TCEQ) for the review and approval consideration of regulated activities.

I also understand that:

1. The applicant is responsible for compliance with 30 Texas Administrative Code Chapter 213 and any condition of the TCEQ's approval letter. The TCEQ is authorized to assess administrative penalties of up to \$10,000 per day per violation.
2. For those submitting an application who are not the property owner, but who have the right to control and possess the property, additional authorization is required from the owner.
3. Application fees are due and payable at the time the application is submitted. The application fee must be sent to the TCEQ cashier or to the appropriate regional office. The application will not be considered until the correct fee is received by the commission.
4. A notarized copy of the Agent Authorization Form must be provided for the person preparing the application, and this form must accompany the completed application.
5. No person shall commence any regulated activity on the Edwards Aquifer Recharge Zone, Contributing Zone or Transition Zone until the appropriate application for the activity has been filed with and approved by the Executive Director.

SIGNATURE PAGE:

Dawn E. Scheel
Applicant's Signature

3-16-2023
Date

THE STATE OF Texas §

County of Williamson §

BEFORE ME, the undersigned authority, on this day personally appeared Dawn Scheel known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 16th day of March, 2023.



Constance Atkinson
NOTARY PUBLIC

Constance Atkinson
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: 9/27/24

Application Fee Form

Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: Chisholm TR. Rd. & W. Old Settlers Blvd. Intersection Improvements

Regulated Entity Location: Chisholm TR. Rd. & W. Old Settlers Blvd.

Name of Customer: City of Round Rock

Contact Person: Dawn Scheel

Phone: 512-218-6603

Customer Reference Number (if issued): CN 600413181

Regulated Entity Reference Number (if issued): RN _____

Austin Regional Office (3373)

Hays

Travis

Williamson

San Antonio Regional Office (3362)

Bexar

Medina

Uvalde

Comal

Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

Austin Regional Office

San Antonio Regional Office

Mailed to: TCEQ - Cashier

Overnight Delivery to: TCEQ - Cashier

Revenues Section

12100 Park 35 Circle

Mail Code 214

Building A, 3rd Floor

P.O. Box 13088

Austin, TX 78753

Austin, TX 78711-3088

(512)239-0357

Site Location (Check All That Apply):

Recharge Zone

Contributing Zone

Transition Zone

<i>Type of Plan</i>	<i>Size</i>	<i>Fee Due</i>
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	Acres	\$
Sewage Collection System	L.F.	\$
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	1 Each	\$ 500
Extension of Time	Each	\$

Signature: _____

Date: _____

Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

Water Pollution Abatement Plans and Modifications

Contributing Zone Plans and Modifications

<i>Project</i>	<i>Project Area in Acres</i>	<i>Fee</i>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

Organized Sewage Collection Systems and Modifications

<i>Project</i>	<i>Cost per Linear Foot</i>	<i>Minimum Fee- Maximum Fee</i>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

Underground and Aboveground Storage Tank System Facility Plans and Modifications

<i>Project</i>	<i>Cost per Tank or Piping System</i>	<i>Minimum Fee- Maximum Fee</i>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

Exception Requests

<i>Project</i>	<i>Fee</i>
Exception Request	\$500

Extension of Time Requests

<i>Project</i>	<i>Fee</i>
----------------	------------

<i>Project</i>	<i>Fee</i>
Extension of Time Request	\$150



TCEQ Core Data Form

For detailed instructions regarding completion of this form, please read the Core Data Form Instructions or call 512-239-5175.

SECTION I: General Information

1. Reason for Submission (If other is checked please describe in space provided.)		
<input type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)	<input checked="" type="checkbox"/> Other Exception	
2. Customer Reference Number (if issued)	Follow this link to search for CN or RN numbers in Central Registry**	3. Regulated Entity Reference Number (if issued)
CN 600413181		RN

SECTION II: Customer Information

4. General Customer Information	5. Effective Date for Customer Information Updates (mm/dd/yyyy)		3/14/2023	
<input type="checkbox"/> New Customer		<input checked="" type="checkbox"/> Update to Customer Information		<input type="checkbox"/> Change in Regulated Entity Ownership
<input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)				
The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).				
6. Customer Legal Name (If an individual, print last name first: eg: Doe, John)			If new Customer, enter previous Customer below:	
City of Round Rock				
7. TX SOS/CPA Filing Number	8. TX State Tax ID (11 digits)	9. Federal Tax ID (9 digits)	10. DUNS Number (if applicable)	
11. Type of Customer:	<input checked="" type="checkbox"/> Corporation	<input type="checkbox"/> Individual	Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited	
Government: <input checked="" type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> State <input type="checkbox"/> Other	<input type="checkbox"/> Sole Proprietorship	<input type="checkbox"/> Other:		
12. Number of Employees		13. Independently Owned and Operated?		
<input type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input checked="" type="checkbox"/> 501 and higher		<input type="checkbox"/> Yes <input type="checkbox"/> No		
14. Customer Role (Proposed or Actual) – as it relates to the Regulated Entity listed on this form. Please check one of the following				
<input type="checkbox"/> Owner		<input type="checkbox"/> Operator		<input checked="" type="checkbox"/> Owner & Operator
<input type="checkbox"/> Occupational Licensee		<input type="checkbox"/> Responsible Party		<input type="checkbox"/> Voluntary Cleanup Applicant <input type="checkbox"/> Other:
15. Mailing Address:	3400 Sunrise Road			
	City	Round Rock	State	TX
	ZIP	78665	ZIP + 4	
16. Country Mailing Information (if outside USA)			17. E-Mail Address (if applicable)	
18. Telephone Number		19. Extension or Code		20. Fax Number (if applicable)
(512) 218-6603				() -

SECTION III: Regulated Entity Information

21. General Regulated Entity Information (If 'New Regulated Entity' is selected below this form should be accompanied by a permit application)	
<input checked="" type="checkbox"/> New Regulated Entity <input type="checkbox"/> Update to Regulated Entity Name <input type="checkbox"/> Update to Regulated Entity Information	
The Regulated Entity Name submitted may be updated in order to meet TCEQ Agency Data Standards (removal of organizational endings such as Inc, LP, or LLC).	
22. Regulated Entity Name (Enter name of the site where the regulated action is taking place.)	
Chisholm TR. Rd. & W. Old Settlers Blvd. Intersection Improvements	

23. Street Address of the Regulated Entity: <i>(No PO Boxes)</i>	Chisholm TR. Rd. & W. Old Settlers Blvd.						
	City	Round Rock	State	TX	ZIP	78665	ZIP + 4
24. County							

Enter Physical Location Description if no street address is provided.

25. Description to Physical Location:	Chisholm TR. Rd. & W. Old Settlers Blvd.						
26. Nearest City					State	Nearest ZIP Code	
Round Rock					TX	78665	
27. Latitude (N) In Decimal:				28. Longitude (W) In Decimal:			
Degrees	Minutes	Seconds	Degrees	Minutes	Seconds		
30	30	29.7180	97	40	44.0184		
29. Primary SIC Code (4 digits)	30. Secondary SIC Code (4 digits)	31. Primary NAICS Code (5 or 6 digits)		32. Secondary NAICS Code (5 or 6 digits)			
33. What is the Primary Business of this entity? <i>(Do not repeat the SIC or NAICS description.)</i>							
34. Mailing Address:							
	City		State		ZIP		ZIP + 4
35. E-Mail Address:							
36. Telephone Number		37. Extension or Code			38. Fax Number <i>(if applicable)</i>		
() -					() -		

39. TCEQ Programs and ID Numbers Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.

<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Waste Water	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

SECTION IV: Preparer Information

40. Name:	Amy L. Bennett	41. Title:	Project Manager
42. Telephone Number	43. Ext./Code	44. Fax Number	45. E-Mail Address
(512) 494-6037		() -	abennett@structurepoint.com

SECTION V: Authorized Signature

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

Company:	American Structurepoint	Job Title:	Project Manager
Name <i>(In Print)</i> :	Amy L. Bennett	Phone:	(512) 494- 6037

Signature:		Date:	
-------------------	--	--------------	--

PROPERTY ACQUISITION - CVS PHARMACY



CAUSE NO. 22-1300-CC2

CITY OF ROUND ROCK, TEXAS	§	IN THE COUNTY COURT AT LAW
Condemnor	§	
	§	
V.	§	NUMBER TWO OF
	§	
RRHI, INC., EDMOND INVESTMENT	§	
GROUP, INC., and INTERBANK	§	
Condemnees	§	WILLIAMSON COUNTY, TEXAS

JUDGMENT IN ABSENCE OF OBJECTIONS

It appears to the Court that it has jurisdiction of this matter, that neither Condemnor nor Condemnees have timely filed objections to the findings and Award of the Special Commissioners on file in this cause, and/or that the parties have agreed to all of the provisions contained within this Judgment in Absence of Objections (“Judgment”) and desire to resolve this lawsuit.

IT IS THEREFORE ORDERED, ADJUDGED AND DECREED that fee title in and to approximately 0.090 acre (Parcel 2) of land in Williamson County, Texas, said property being more particularly described by metes and bounds in Exhibit “A” attached hereto and incorporated herein for all purposes (the “Property”), and as further described in Plaintiff’s Original Petition for Condemnation filed on or about September 7, 2022 and any subsequent amendments thereto, which more particularly sets forth the property rights acquired by Condemnor pursuant to this Judgment; excluding all the oil, gas, and sulphur which can be removed from beneath said real property, without any right whatever remaining to the owner of such oil, gas, and sulphur, of ingress or egress from the surface of said real property for the purpose of exploring, developing, or mining of the same, be vested in **CITY OF ROUND ROCK, TEXAS**, and its assigns for the purpose of providing, enlarging, improving,

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NANCY E. RISTER, County Clerk
Williamson County

Page 1 of 7

constructing, reconstructing, widening and/or maintaining improvements to the Chisholm Trail Road Right Turn Lanes roadway project, and to perform associated public use and purposes (the "Project"); and

It is further ORDERED that in complete satisfaction of any and all claims which have been made or which could have been made in this litigation, including both the Property to be acquired and any damages to any remaining property of Condemnees, that Condemnees shall recover from Condemnor the total sum of FIFTY-EIGHT THOUSAND EIGHT HUNDRED NINETY and 00/100 Dollars (\$58,890.00), of which total amount:

1. Pursuant to the Rule 11 Agreement filed on December 8, 2022, FIFTY-EIGHT THOUSAND EIGHT HUNDRED NINETY and 00/100 Dollars (\$58,890.00) was deposited into the Registry of the Court by Condemnor on or about December 12, 2022, and for which no execution shall issue.

It is further ORDERED that all costs be assessed against the Condemnor.

This Judgment is intended by the parties to fully and finally dispose of all claims, parties and issues in this lawsuit.

SIGNED this _____ day of _____, 2022.

12/20/2022 10:05:51 AM

Filed: December 20, 2022 10:53:12 AM
Nancy E. Rister, County Clerk
Williamson County, Texas
By: Phillips, Kelly
Deputy Clerk



Judge Presiding

CERTIFIED TO BE A TRUE AND
CORRECT COPY



NANCY E. RISTER, County Clerk
Williamson County

Page 2 of 7

PREPARED BY AND APPROVED AS TO SUBSTANCE AND FORM:

SHEETS & CROSSFIELD, PLLC

309 East Main Street
Round Rock, Texas 78664
512.255.8877
512.255.8986 (fax)

/s/ Mylan W. Shaunfield

Mylan W. Shaunfield
State Bar No. 24090680
mylan@scrrlaw.com
Don Childs
State Bar No. 00795056
don@scrrlaw.com
Attorneys for Condemnor

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CORRECT COPY



NANCY E. RISTER, County Clerk
Williamson County

EXHIBIT A

PROPERTY DESCRIPTION

DESCRIPTION OF A 0.090 ACRE (3,926 SQUARE FOOT) PARCEL OF LAND SITUATED IN THE DAVID CURRY SURVEY, ABSTRACT NO. 130 IN WILLIAMSON COUNTY, TEXAS, BEING A PORTION OF LOT 2, BLOCK "A", HOPPE CENTRE, A SUBDIVISION OF RECORD IN CABINET BB SLIDES 190-191 OF THE PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS, AND CITED IN GENERAL WARRANTY DEED TO EDMOND INVESTMENT GROUP, INC. IN DOCUMENT NO. 2011042706 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, SAID 0.090 ACRE (3,926 SQUARE FOOT) PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at an iron rod with an aluminum cap stamped "ROW 4933" set in the proposed westerly Right-of-Way (ROW) line of Chisholm Trail Road (variable width ROW), (Grid Coordinates determined as N=10,168,599.70 E=3,127,014.87), being in the northwesterly cutback line of the intersection of the existing westerly ROW line of Chisholm Trail Road (90 foot side ROW width) and the northerly ROW line of West Old Settlers Boulevard (120 foot wide ROW width), same being the easterly boundary line of said Lot 2, for the southwesterly corner and **POINT OF BEGINNING** of the herein described parcel, and from which, an "X" mark cut on concrete sidewalk found, being the southeasterly corner of said Lot 2 bears S 40°02'50" W, at a distance of 29.58 feet;

THENCE, departing said ROW cutback line, with said proposed westerly ROW line of Chisholm Trail Road, through the interior of said Lot 2, the following two (2) courses:

- 1) N 00°41'52" W, for a distance of 246.52 feet to an aluminum cap stamped "ROW 4933" set, for the northwesterly corner of the herein described parcel;
- 2) N 12°47'52" E, for a distance of 62.21 feet to an aluminum cap stamped "ROW 4933" set in said existing westerly ROW line of Chisholm Trail Road, same being said easterly boundary line of Lot 2, for the northeasterly corner of the herein described parcel, and from which, an iron rod with plastic cap stamped "Baker-Aicklen" found, being an angle point in the easterly boundary line of Lot 1, Replat of Calcasieu Lumber Addition, a subdivision of record in Cabinet P, Slides 16-17 of the Plat Records of Williamson County, Texas, same being the northeasterly corner of said Lot 2 bears N 00°44'23" W, at a distance of 651.31 feet;
- 3) **THENCE**, with said existing westerly ROW line of Chisholm Trail Road and said easterly boundary line of Lot 2, S 00°44'23" E, for a distance of 289.91 feet to a calculated point being the beginning of said ROW cutback line, for the southeasterly corner of the herein described parcel;

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NANCY E. RISTER, County Clerk
Williamson County

Page 4 of 7

County: Williamson
Parcel: Parcel 2-Edmond Investment Group, Inc.
Highway: Chisholm Trail Rd

4) **THENCE**, with said ROW cutback line and said easterly boundary line of Lot 2, **S 40°02'50" W**, for a distance of **22.57** feet to the **POINT OF BEGINNING**, containing 0.090 acres (3,926 square feet) of land, more or less.

This property description is accompanied by a separate parcel plat.

All bearings recited herein are based on the Texas State Plane Coordinate System, Central Zone No. 4203, NAD 83.

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF WILLIAMSON §

That I, M. Stephen Truesdale, a Registered Professional Land Surveyor, do hereby certify that the above description is true and correct to the best of my knowledge and belief and that the property described herein was determined by a survey made on the ground under my direct supervision.

WITNESS MY HAND AND SEAL at Round Rock, Williamson County, Texas.

M. Stephen Truesdale

10 MAR 2022

Date

M. Stephen Truesdale
Registered Professional Land Surveyor No. 4933
Licensed State Land Surveyor
Inland Geodetics, LLC
Firm Registration No: 100591-00
1504 Chisholm Trail Road, Suite 103
Round Rock, TX 78681



S:\AMERICAN STRUCTUREPOINT\3406 AT CHISHOLM TRL\PARCELS\CVS.doc

CERTIFIED TO BE A TRUE AND
CORRECT COPY



NANCY E. RISTER, County Clerk
Williamson County

Page 5 of 7

EXHIBIT A

PLAT TO ACCOMPANY DESCRIPTION

NUMBER	DELTA	RADIUS	LENGTH	CHORD	CHORD BEARING
CI	03°34'36"	1333.24'	83.22'	83.21'	S79°05'00"W
(CI)	(03°35'01")	(1333.24')	(83.38')	(83.37')	(S79°12'13"W)

REPLAT OF
 LOT 1 CALCASIEU LUMBER ADDITION
 CAB. P, SLD. 16-17
 P.R.W.C.T.

LEGEND

- ⊙ IRON ROD WITH PLASTIC CAP STAMPED "BAKER-AICKLEN" FND
- IRON ROD WITH ALUMINUM CAP STAMPED "ROW 4933" SET
- 1/2" IRON ROD FOUND
- X X CUT ON SIDEWALK FOUND
- △ CALCULATED POINT
- ℙ PROPERTY LINE
- P.O.B. POINT OF BEGINNING
- () RECORD INFORMATION
- P.R.W.C.T. PLAT RECORDS WILLIAMSON COUNTY, TEXAS
- O.P.R.W.C.T. OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
- LINE BREAK

NO.	DIRECTION	DISTANCE
L1	S40°02'50"W	29.58'
L2	N00°44'23"W	651.31'
L3	S40°02'50"W	22.57'
(L4)	(S40°10'53"W)	(51.90')

LOT 1
 BLOCK "A"

DAVID CURRY SURVEY
 ABSTRACT No. 130

EDMOND INVESTMENT
 GROUP, INC.
 DOC. NO. 2011042706
 O.P.R.W.C.T.

LOT 2
 BLOCK "A"

②
 0.090 AC.
 3,926 SQ. FT.

10' P.U.E.
 PER PLAT

10' GAS EASEMENT
 VOL. 754, PG. 875
 D.R.W.C.T.

25' WATER &
 WASTEWATER
 EASEMENT
 PER PLAT

15' SIDEWALK
 EASEMENT
 PER PLAT

P.O.B.

GRID COORDINATES:
 N=10,168,599.70
 E=3,127,014.87

1) ALL BEARINGS SHOWN HEREON ARE BASED ON GRID BEARING. ALL DISTANCES ARE SURFACE DISTANCES. COORDINATES ARE GRID VALUES BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE NO. 4203, NAD 83.

2) THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE ABSTRACT. THERE MAY BE OTHER INSTRUMENTS OF RECORD THAT AFFECT THIS TRACT NOT DEPICTED HEREON.

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND THAT THE PROPERTY SHOWN HEREON WAS DETERMINED BY A SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION.

M. Stephen Truesdale 10 MAR 2022
 M. STEPHEN TRUESDALE DATE
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4933
 LICENSED STATE LAND SURVEYOR
 INLAND GEODETICS, LLC
 FIRM REGISTRATION NO. 100591-00
 1504 CHISHOLM TRAIL ROAD, SUITE 103
 ROUND ROCK, TEXAS 78681



WEST OLD SETTLERS BOULEVARD
 (120' R.O.W. WIDTH)

09/22/2021

PARCEL 2

PAGE 3 OF 3



SCALE
 1" = 50'

PARCEL PLAT SHOWING PROPERTY OF
 EDMOND INVESTMENT GROUP, INC.

WILLIAMSON COUNTY

PROJECT
 CHISHOLM TRAIL

PAGE 3 OF 3

CHISHOLM TRAIL ROAD
 (90' R.O.W. WIDTH)

Page 8 of 7

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 CORRECT COPY
 NANCY E. RISTER, County Clerk
 Williamson County

Automated Certificate of eService

This automated certificate of service was created by the eFiling system. The filer served this document via email generated by the eFiling system on the date and to the persons listed below. The rules governing certificates of service have not changed. Filers must still provide a certificate of service that complies with all applicable rules.

Meghan Drone on behalf of Mylan Shaunfield
Bar No. 24090680
Meghan@scrrlaw.com
Envelope ID: 71091660
Status as of 12/16/2022 1:14 PM CST

Case Contacts

Name	BarNumber	Email	TimestampSubmitted	Status
Jenny JohnsonHolman		jenny.holman@interbank.com	12/16/2022 1:02:20 PM	SENT

STATE OF TEXAS
COUNTY OF WILLIAMSON
I, NANCY E. RISTER, COUNTY CLERK, DO
HEREBY CERTIFY THAT THIS IS A TRUE AND
CORRECT COPY AS SAME APPEARS OF RECORD
IN MY CUSTODY.

Witness my hand and seal of office on 12/16/2022
NANCY E. RISTER, COUNTY CLERK
WILLIAMSON COUNTY, TEXAS
By [Signature] Deputy



CERTIFIED TO BE A TRUE AND
CORRECT COPY



NANCY E. RISTER, County Clerk
Williamson County

Page 7 of 7

PROPERTY ACQUISITION - REGIONS BANK

7/1/PP
\$54

SPECIAL WARRANTY DEED
Chisholm Trail Road Right of Way

THE STATE OF TEXAS §
 §
COUNTY OF WILLIAMSON §

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OF THE FOLLOWING INFORMATION FROM THIS INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

NOW, THEREFORE, KNOW ALL BY THESE PRESENTS:

That **REGIONS BANK**, an Alabama state banking corporation, as successor by merger to **HUTTO STATE BANK**, hereinafter referred to as Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration to Grantor in hand paid by **CITY OF ROUND ROCK, TEXAS**, hereinafter referred to as Grantee, the receipt and sufficiency of which is hereby acknowledged, has GRANTED, BARGAINED, SOLD AND CONVEYED, and by these presents does GRANT, BARGAIN, SELL and CONVEY unto Grantee, all that certain tract or parcel of land lying and being situated in the County of Williamson, State of Texas, along with any right, title and interest of Grantor in and to any improvements thereon, being more particularly described on Exhibit A attached hereto and incorporated herein by reference (the "Property"), subject only to the encumbrances and other matters described on Exhibit B attached hereto, but only to the extent that the same are valid and subsisting and affect or relate to the Property. For the avoidance of doubt, that certain portion of the land depicted on the third (3rd) page of Exhibit A (i.e., the "Plat to Accompany Description") and labeled as the "Temporary Construction Easement" is not being conveyed hereunder.

Grantor reserves all of the oil, gas and other minerals in and under the land herein conveyed but waives on behalf of itself all rights of ingress and egress to the surface thereof for the purpose of exploring, developing, mining or drilling or pumping the same; provided, however, that Grantor's operations for exploration or recovery of any such minerals shall be permissible so long as all of Grantor's surface operations in connection therewith are located at a point outside the acquired parcel and upon the condition that none of such operations shall be conducted so near

06690239.1

Recorded By:
Texas National Title
36 T-156898 LT

the surface of said land as to interfere with the intended use thereof or in any way interfere with, jeopardize, or endanger the facilities of Grantee or create a hazard to the public users thereof; it being intended, however, that nothing in this reservation shall affect the title and the rights of Grantee to take and use without additional compensation any, stone, earth, gravel, caliche, iron ore, gravel or any other road building material upon, in and under said land for the construction and maintenance of the Chisholm Trail Road and related appurtenances and facilities.

TO HAVE AND TO HOLD the Property herein described and herein conveyed together with all and singular the rights and appurtenances thereto in any wise belonging, subject to the Permitted Exceptions, unto Grantee and its assigns forever; and Grantor does hereby bind itself, its heirs, executors, administrators, successors and assigns to Warrant and Forever Defend all and singular the Property herein conveyed unto Grantee and its assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof by, through, or under Grantor, but not otherwise.

This deed is being delivered in lieu of condemnation.

By acceptance of this Special Warranty Deed, Grantee assumes payment of all property taxes on the Property for the year 2023 beginning after the date of this deed, and subsequent years and subsequent taxes and assessments by any taxing authority for prior years due to change in land usage or ownership.

[signature page to follow]

IN WITNESS WHEREOF, this instrument is executed on this the 13th day of , 2023.

GRANTOR:

REGIONS BANK

By: 

Name: Jon Tucker

Its: Vice President

ACKNOWLEDGMENT

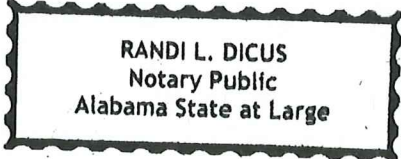
STATE OF ~~TEXAS~~ ALABAMA §
 §
COUNTY OF JEFFERSON §

This instrument was acknowledged before me on this the 13 day of MARCH , 2023 by Jon Tucker , in the capacity and for the purposes and consideration recited therein.



Notary Public, State of ~~Texas~~ ALABAMA

PREPARED IN THE OFFICE OF:
Sheets & Crossfield, P.L.L.C.
309 East Main
Round Rock, Texas 78664



GRANTEE'S MAILING ADDRESS, AND AFTER RECORDING RETURN TO:
City of Round Rock, Texas
Attn: City Clerk
221 Main Street
Round Rock, Texas 78664



EXHIBIT A

Legal Description

DESCRIPTION OF A 0.0321 ACRE (1,397 SQUARE FOOT) PARCEL OF LAND SITUATED IN THE DAVID CURRY SURVEY, ABSTRACT NO. 130 IN WILLIAMSON COUNTY, TEXAS, BEING A PORTION OF LOT 1, BLOCK "A", HOPPE SUBDIVISION, A SUBDIVISION OF RECORD IN CABINET J, SLIDE 167 OF THE PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS, AND CITED IN WARRANTY DEED TO HUTTO STATE BANK IN VOLUME 2396, PAGE 198 OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS, SAID 0.0321 ACRE (1,397 SQUARE FOOT) PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at an Iron rod with aluminum cap stamped "ROW 4933" set in the proposed easterly Right-of-Way (ROW) line of Chisholm Trail Road (variable width ROW), (Grid Coordinates determined as N=10,168,297.09 E=3,127,127.44), being in the northerly boundary line of Lot 1, Block "A", Final Plat Subdivision of the Cracker Barrel Property, a subdivision of record in Cabinet K, Slide 228 of the Plat Records of Williamson County, Texas, same being the southerly boundary line of said Lot 1, Hoppe Subdivision, for the southeasterly corner and POINT OF BEGINNING of the herein described parcel;

- 1) THENCE, with said proposed easterly ROW line, same being the common boundary line of said Lot 1, Hoppe Subdivision and said Lot 1, Cracker Barrel Subdivision, S 70°27'10" W for a distance of 11.45 feet to a 5/8" Iron rod found, in the existing easterly ROW line of Chisholm Trail Road (variable width ROW), being the northwesterly corner of said Lot 1, Cracker Barrel Subdivision, same being the southwestly corner of said Lot 1, Hoppe Subdivision, for the southwestly corner of the herein described parcel;
- 2) THENCE, with said existing easterly ROW line of Chisholm Trail Road, same being the westerly boundary line of said Lot 1, Hoppe Subdivision, N 00°30'58" E for a distance of 177.90 feet to a 1/2" Iron rod found at the beginning of a non-tangent curve to the right, being in the existing southerly ROW line of West Old Settlers Boulevard (120 foot ROW width), same being the northwesterly corner of said Lot 1, Hoppe Subdivision, for the northwesterly corner of the herein described parcel;
- 3) THENCE, departing said existing easterly ROW line of Chisholm Trail Road, with said southerly ROW line of West Old Settlers Blvd., same being the northerly boundary line of said Lot 1, Hoppe Subdivision, along said curve to the right, having a delta angle of 00°28'00", a radius of 1,213.24 feet, an arc length of 9.88 feet and a chord which bears N 86°11'21" E for a distance of 9.88 feet to an Iron rod with aluminum cap stamped "ROW 4933" set in said proposed easterly ROW line of Chisholm Trail Road, for the northeasterly corner of the herein described parcel;

THENCE, departing said southerly ROW line of West Old Settlers Blvd., with said proposed easterly ROW line of Chisholm Trail Road, through the interior of said Lot 1, Hoppe Subdivision, the following five (5) courses:

- 4) S 00°00'23" W, for a distance of 11.56 feet to an Iron rod with aluminum cap stamped "ROW 4933" set;

- 5) N 89°59'38" W, for a distance of 4.96 feet to an iron rod with aluminum cap stamped "ROW 4933" set;
- 6) S 00°31'32" W, for a distance of 79.96 feet to an iron rod with aluminum cap stamped "ROW 4933" set;
- 7) N 88°47'39" E, for a distance of 5.08 feet to an iron rod with aluminum cap stamped "ROW 4933" set;
- 8) S 00°02'30" W, for a distance of 83.31 feet to the POINT OF BEGINNING, containing 0.0321 acres (1,397 square feet) of land, more or less.

NOTE: There is also a variable width Temporary Construction Easement adjoining and easterly of calls 4 through 7, and in part call 8 as depicted and dimensioned on the accompanying Parcel Plat.

This property description is accompanied by a separate parcel plat.

All bearings recited herein are based on the Texas State Plane Coordinate System, Central Zone No. 4203, NAD 83.

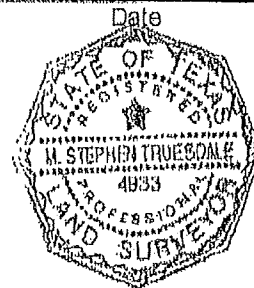
THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
 COUNTY OF WILLIAMSON §

That I, M. Stephen Truesdale, a Registered Professional Land Surveyor, do hereby certify that the above description is true and correct to the best of my knowledge and belief and that the property described herein was determined by a survey made on the ground under my direct supervision.

WITNESS MY HAND AND SEAL at Round Rock, Williamson County, Texas.

M. Stephen Truesdale
 M. Stephen Truesdale
 Registered Professional Land Surveyor No. 4933
 Licensed State Land Surveyor
 Inland Geodetics, LLC
 Firm Registration No: 100591-00
 1504 Chisholm Trail Road, Suite 103
 Round Rock, TX 78681

3 MAR 2022
 Date



S:\AMERICAN STRUCTURE\POINT\3406 AT CHISHOLM TRAIL\PARCELS\SHOPPE.doc

PLAT TO ACCOMPANY DESCRIPTION

NUMBER	DELTA	RADIUS	LENGTH	CHORD	CHORD BEARING
C1	00°28'00"	1,213.24'	9.88'	9.88'	N86°11'21"E
(C2)	(119°39'58")	(1,213.24')	(394.90')	(393.16')	(S83°28'57"E)
C3	01°11'31"	1,213.24'	25.24'	25.24'	N87°01'06"E
C4	100°00'00"	7.00'	21.99'	14.00'	N00°00'00"W

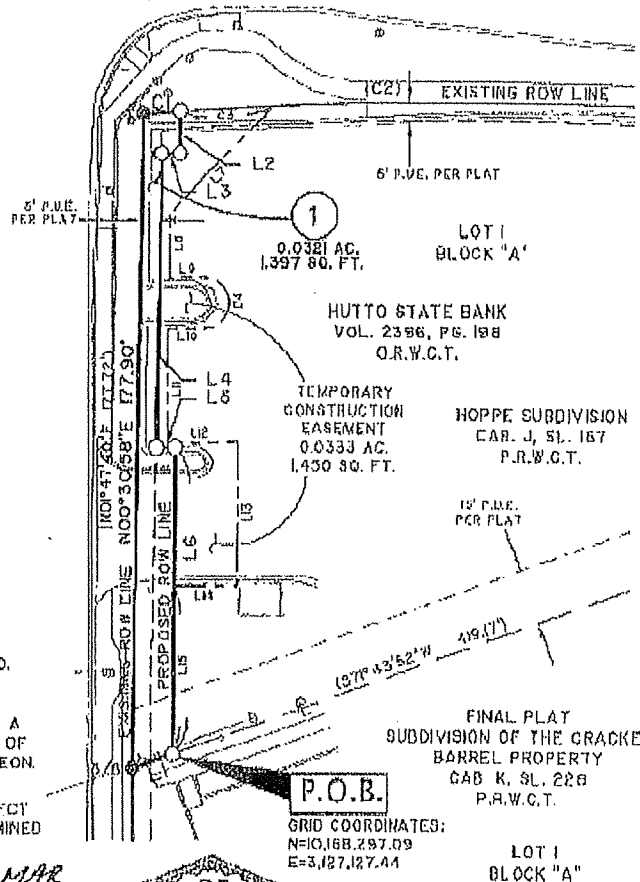
LEGEND

- IRON ROD WITH ALUMINUM CAP STAMPED "ROW 4933" SET
- 1/2" IRON ROD FOUND
- PROPERTY LINE
- P.O.B. POINT OF BEGINNING
- () RECORD INFORMATION
- P.R.W.C.T. PLAT RECORDS WILLIAMSON COUNTY, TEXAS
- D.R.W.C.T. OFFICIAL RECORDS WILLIAMSON COUNTY, TEXAS

NO.	DIRECTION	DISTANCE
L1	S70°27'10"W	11.45'
L2	S00°00'23"W	11.86'
L3	N89°59'38"W	4.96'
L4	S00°31'32"W	79.96'
L5	N88°47'39"E	5.08'
L6	S00°02'30"W	83.31'
L7	S43°20'43"W	40.46'
L8	S00°00'22"W	17.31'
L9	N89°35'20"E	9.50'
L10	S88°41'03"W	9.50'
L11	S00°00'22"W	31.13'
L12	N88°47'39"E	10.97'
L13	S00°10'55"E	39.15'
L14	N89°59'58"W	17.10'
L15	S00°02'30"W	45.52'

DAVID CURRY SURVEY
ABSTRACT No. 130
WEST OLD SETTLER BOULEVARD
(120' R.O.W. WIDTH)

CHISHOLM TRAIL ROAD
(R.O.W. WIDTH VARIES)



1) ALL BEARINGS SHOWN HEREON ARE BASED ON GRID BEARING. ALL DISTANCES ARE SURFACE DISTANCES. COORDINATES ARE GRID VALUES BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE NO. 4203, NAD 83.

2) THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE ABSTRACT. THERE MAY BE OTHER INSTRUMENTS OF RECORD THAT AFFECT THIS TRACT NOT DEPICTED HEREON.

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND THAT THE PROPERTY SHOWN HEREON WAS DETERMINED BY A SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION.

M. Stephen Truesdale 3 MAR 2022

M. STEPHEN TRUESDALE DATE
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4933
LICENSED STATE LAND SURVEYOR
INLAND GEODETICS, L.L.C.
FIRM REGISTRATION NO. 100591-00
1504 CHISHOLM TRAIL ROAD, SUITE 103
ROUND ROCK, TEXAS 78681



P.O.B.

GRID COORDINATES:
N=10,168,297.09
E=3,127,127.44

LOT 1
BLOCK "A"

02/28/2022



PARCEL PLAT SHOWING PROPERTY OF		PARCEL 1
HUTTO STATE BANK		
SCALE	PROJECT	PAGE 3 OF 3
1" = 40'	CHISHOLM TRAIL	

06690239.1

RECORDERS MEMORANDUM
All or parts of the text on this page was
not clearly legible for satisfactory
recording.

EXHIBIT B

Permitted Exceptions

1. All matters of record that lawfully impact the Property.
2. Any discrepancies, conflicts, or shortages in area or boundary lines, or any encroachments or protrusions, or any overlapping of improvements.
3. Homestead or community property or survivorship rights, if any of any spouse of any insured.
4. Any title or rights asserted by anyone, including, but not limited to, persons, the public, corporations, governments or other entities,
 - a. to tidelands, or lands comprising the shores or beds of navigable or perennial rivers and streams, lakes, bays, gulfs or oceans, or
 - b. to lands beyond the line of the harbor or bulkhead lines as established or changed by any government, or
 - c. to filled-in lands, or artificial islands, or
 - d. to statutory water rights, including riparian rights, or
 - e. to the area extending from the line of mean low tide to the line of vegetation, or the rights of access to that area or easement along and across that area.
5. Standby fees, taxes and assessments by any taxing authority for the year 2023, and subsequent years.
6. All leases, grants, exceptions or reservations of coal, lignite, oil, gas and other minerals, together with all rights, privileges, and immunities relating thereto, appearing in the Public Records.

2

Texas National Title
305 Denali Pass, Suite A
Cedar Park, TX 78613

E

TEMPORARY CONSTRUCTION EASEMENT - REGIONS BANK

19 + 11/15

TEMPORARY CONSTRUCTION EASEMENT AGREEMENT

Chisholm Trail Blvd. Right Turn Lane Improvements

KNOW ALL PERSONS BY THESE PRESENTS:

That **REGIONS BANK**, an Alabama state banking corporation, as successor by merger to **HUTTO STATE BANK** (hereafter referred to as "Grantor"), in consideration of Ten Dollars (\$10.00) and other good and valuable consideration paid by the City of Round Rock, Texas, the receipt of which is hereby acknowledged, does hereby grant to the **CITY OF ROUND ROCK, TEXAS** and its successors and assigns (referred to as "Grantee"), a temporary construction easement (the "Temporary Construction Easement") for the limited purpose of (1) constructing proposed Chisholm Trail Right Turn Lane roadway, retaining wall, sidewalk and related facilities within the adjacent right of way owned or acquired by Grantee, (2) constructing and/or reconstructing Grantor's existing driveway entrance from the proposed roadway improvements to the remaining property of Grantor, and any associated grading and drainage therewith, and (3) restoring to Grantor's reasonable satisfaction any Property (as hereinafter defined) or adjacent real property owned by Grantor that is injured or damaged by Grantee's use of the Property and activities thereon, including without limitation landscaping, irrigation, parking, pavement, striping, cubing, signage, lighting or vegetation, as closely as possible to substantially the same condition or better than existed previous to Grantee's entry upon the Property (collectively, the "Project"), in, along, upon and across a limited portion of the real property that is owned by Grantor and described in Exhibit "A". The aforementioned limited portion of Grantor's real property is depicted and labeled as the "Temporary Construction Easement" on Exhibit "B" (the "Property"). Grantee shall be responsible, at its sole cost and expense, for the performance of the Project, and such Project shall be in the location of, subject to, and shall comply with any notes, details, specifications or other requirements or restrictions as shown on the plan sheets attached as Exhibit "C" and incorporated herein (the "Scope of Work") and otherwise to Grantor's reasonable satisfaction and approval.

The parties agree further as follows:

This Temporary Construction Easement Agreement shall become effective upon the Effective Date (as hereinafter defined) and shall terminate on the earlier of (a) the expiration of four (4) months after the initial entry by Grantee for beginning of the work upon the Property, (b) on the date of completion of construction of the Project; or (c) the expiration of three (3) years following full execution of this Temporary Construction Easement Agreement. Notwithstanding the foregoing or anything to the contrary herein, Grantee's restoration obligations shall survive the expiration or earlier termination of this Temporary Construction Easement Agreement.

Grantee shall be allowed to extend the duration of the term of the Temporary Construction Easement identified herein for up to three (3) additional thirty (30) day periods upon (1) notification to Grantor in writing at the address contemplated herein of the requested extension period, and (2) tendering the additional sum of \$2,000.00 for each additional extension period used.

06712672.1

CM-2023-029

06680011.1

1

Recorded By:
Texas National Title
36 T-156898 LT

Notwithstanding the foregoing or anything to the contrary herein,

a. To the extent allowed by law, Grantee shall indemnify Grantor against any loss and damage which shall be caused by the exercise of the rights of ingress and egress or by any wrongful or negligent act or omission of Grantee's agents or employees in the course of their employment or otherwise related to the exercise of Grantee's rights hereunder.

b. At no time during the grant of this easement shall Grantee unreasonably interfere with or disturb (or permit to be interfered with or disturbed) Grantor, the business being conducted by Grantor, or reasonable access to its remaining property, unless there is a written agreement to do so between Grantor and Grantee in advance.

c. At no time during the grant of this easement shall Grantee, its agents or contractors be allowed to store machinery or materials within the Property (or any surrounding property owned by Grantor) unattended or during periods where no active construction work is being performed in the right of way adjacent to the Property.

d. Grantee shall not disrupt or impact (or otherwise permit to be disrupted or impacted) any vertical improvements or utilities within the Property (or any surrounding property owned by Grantor) other than as expressly described within the Scope of Work.

e. Any construction work performed by Grantee or any designated contractor (the "Contractor") within the Property shall be completed expeditiously in conformance with the Scope of Work in a good and workmanlike manner in compliance with all applicable laws.

f. Grantor shall have the right to review and approve any proposed change order modifications to the Scope of Work within or that may impact the Property prior to the performance of any work associated therewith.

g. Grantee must provide (or cause to be provided to) Grantor at 101 W Old Settler's Blvd, Round Rock, TX 78681, with a copy to c/o Corporate Real Estate, 250 Riverchase Parkway East, 3rd Floor, Birmingham, Alabama 35244, Attention: Portfolio Administration, with at least seventy two (72) hours' written notice before Grantee, the Contractor, or any other third party commences initial entry upon the Property for beginning any construction work within the Property.

h. Grantee shall provide or cause to be provided directional and cautionary signage meeting standard City of Round Rock roadway project requirements within the Property (or any surrounding property owned by Grantor) and any adjacent public right of way during any such construction work in accordance with any requirements of the approved Chisholm Trail Right Turn Lane project construction plans.

i. Grantee shall provide or cause to be provided unobstructed ingress and egress traffic to and from Grantor's property and Old Settlers Boulevard and, subject to the immediately following sentence, from Grantor's property and Chisholm Trail Road at all hours of posted business operation times during the performance of any such construction work. Notwithstanding

the foregoing, Grantor and Grantee hereby agree that Grantor may temporarily obstruct ingress and egress traffic to and from Grantor's property and Chisholm Trail Road for purposes of replacing the driveway between Grantor's property and Chisholm Trail Road; provided, however, in no event shall such obstruction exceed ten (10) business days in the aggregate.

j. The construction work will be bonded by Grantee or the Contractor in accordance with the Scope of Work and any other approved plans and contract documents with a contract cost performance bond in compliance with standard City of Round Rock transportation project insurance and warranty/guarantee contractual terms and requirements.

k. Grantee shall not install any improvements or trees or take any action (or permit any action to be taken by the Contractor or any other party within Grantee's lawful control) within the Property or Grantor's remaining property that would adversely affect Grantor's business operations or reasonable access to and from Grantor's property.

l. Grantee and its on-site agents, employees, and contractors shall maintain comprehensive general liability insurance in standard amounts required by City of Round Rock transportation project contracts.

m. Grantee shall not cause (or permit to be caused) any portion of Grantor's property (or any improvements thereon) to violate any applicable zoning ordinance or other laws as a result of the Project or any associated work, or else shall otherwise provide Grantor any required variance or Administrative Adjustment pursuant to the City of Round Rock Code of Ordinances or other applicable law, code, ordinance or regulation.

This easement conveyance is subject to all easements, encumbrances, matters, and rights of way of record, all restrictions, reservations, covenants, conditions, oil, gas, or other mineral leases, mineral severances and other instruments that affect the Property, those matters that would be shown on a current, accurate survey of the Property, or by an inspection thereof, as well as taxes and assessments for the current year, and all subsequent years, which are not yet due and payable.

IN WITNESS WHEREOF, the parties hereto have executed this instrument to be effective this 15 day of March, 2023 (the "Effective Date").

[signature pages follow]

GRANTOR:

REGIONS BANK

By: [Signature]

Name: Jon Tucker

Its: Vice President

Acknowledgment

State of ~~Texas~~ ALABAMA §

County of JEFFERSON §

This instrument was acknowledged before me on this the 13 day of March, 2023 by Jon Tucker, in the capacity and for the purposes and consideration recited herein.

[Signature]
Notary Public, State of ~~Texas~~ ALABAMA

RANDI L. DICUS
Notary Public
Alabama State at Large



GRANTEE:

CITY OF ROUND ROCK, TEXAS

By: Laurie Hadley

Name: Laurie Hadley

Its: City Manager

Acknowledgment

State of Texas §

§

County of Williamson §

This instrument was acknowledged before me on this the 17th day of February, 2023 by Laurie Hadley, in the capacity and for the purposes and consideration recited herein.

Monique Adams
Notary Public, State of Texas

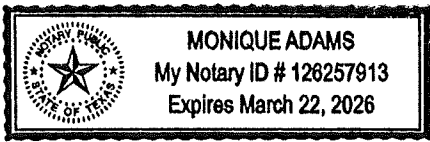


EXHIBIT "A"

Legal Description of Real Property Owned by Grantor

Lot 1, Block "A", HOPPE SUBDIVISION, a subdivision in Williamson County, Texas, according to the map or plat of record in Cabinet J, Slide 167, Plat Records, Williamson County, Texas.

EXHIBIT "B"

Depiction of Property

NUMBER	DELTA	RADIUS	LENGTH	CHORD	CHORD BEARING
C1	00°28'00"	1,213.24'	0.00'	0.00'	N06°11'21"E
(C2)	10°30'50"	(1,213.24')	(894.80')	(893.18')	(S83°20'57"E)
C3	0°11'31"	1,213.24'	25.24'	25.24'	N07°01'08"E
C4	100°00'00"	7.00'	21.89'	14.00'	N00°00'00"W

LEGEND

- IRON ROD WITH ALUMINUM CAP STAMPED "ROW 1923" SET
- 1/2" IRON ROD FOUND
- ▭ PROPERTY LINE
- P.O.B. POINT OF BEGINNING
- () RECORD INFORMATION
- P.R.W.C.T. PLAT RECORDS WILLIAMSON COUNTY, TEXAS
- O.R.W.C.T. OFFICIAL RECORDS WILLIAMSON COUNTY, TEXAS

NO.	DIRECTION	DISTANCE
L1	S70°27'10"W	11.46'
L2	S00°00'23"W	11.86'
L3	N09°59'30"W	4.90'
L4	S00°31'32"W	79.86'
L5	N88°47'30"E	5.00'
L6	S00°02'30"W	88.81'
L7	S43°20'43"W	40.45'
L8	S00°00'22"W	17.31'
L9	N80°35'20"E	8.50'
L10	S80°41'03"W	8.80'
L11	S00°00'22"W	31.13'
L12	N80°47'59"E	18.97'
L13	S00°10'00"E	38.18'
L14	N09°59'50"W	17.10'
L15	S00°02'30"W	45.82'

1) ALL BEARINGS SHOWN HEREON ARE BASED ON GRID BEARING. ALL DISTANCES ARE SURFACE DISTANCES. COORDINATES ARE GRID VALUES BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE NO. 4203, NAD 83.

2) THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE ABSTRACT, THERE MAY BE OTHER INSTRUMENTS OF RECORD THAT AFFECT THIS TRACT NOT DEPICTED HEREON

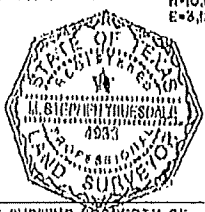
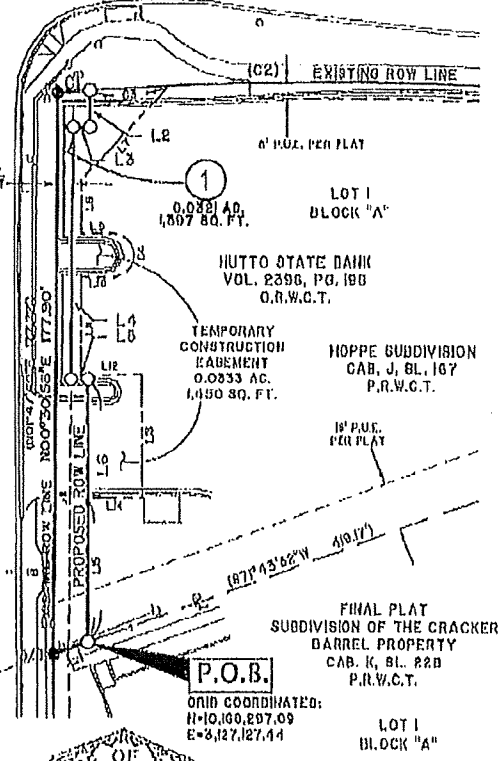
I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND THAT THE PROPERTY SHOWN HEREON WAS DETERMINED BY A SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION

M. Stephen Truesdale 3 MAR 2022
 M. STEPHEN TRUESDALE DATE
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4033
 LICENSED STATE LAND SURVEYOR
 INLAND GEODETICS, LLC
 FIRM REGISTRATION NO. 100691-00
 1004 CHISHOLM TRAIL ROAD, SUITE 103
 ROUND ROCK, TEXAS 78681

DAVID CURRY SURVEY
 ABSTRACT No. 130

WEST OLD SETTLER BOULEVARD
 (120' R.O.W. WIDTH)

CHISHOLM TRAIL ROAD
 (R.O.W. WIDTH VARIES)



02/28/2022

	PARCEL PLAT SHOWING PROPERTY OF		PARCEL 1 PAGE 3 OF 3
	HUTTO STATE BANK		
SCALE 1" = 40'	WILLIAMSON COUNTY	PROJECT CHISHOLM TRAIL	

RECORDERS MEMORANDUM
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 recordation.

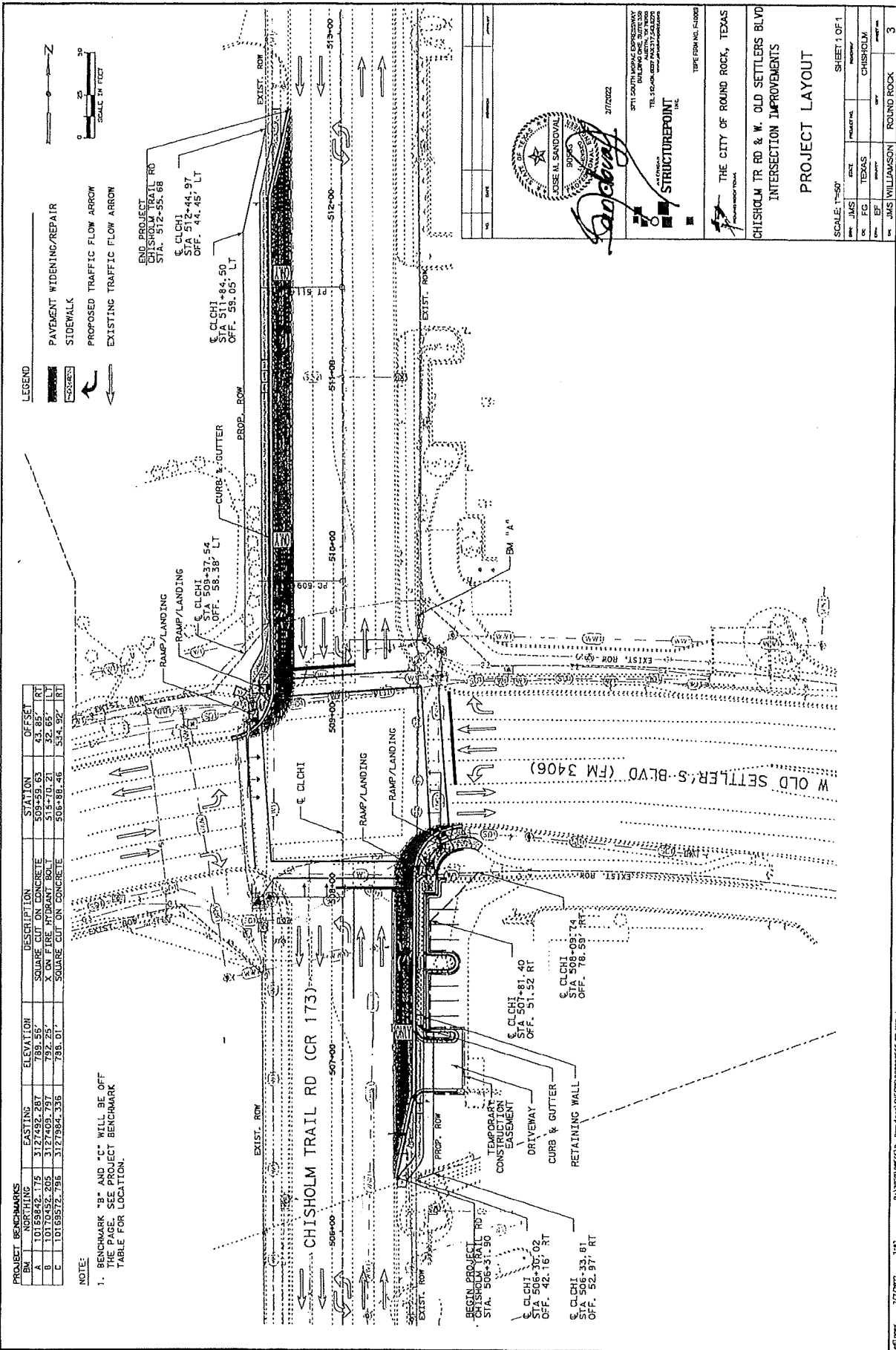
EXHIBIT "C"

Scope of Work

[Attached.]

RECORDERS MEMORANDUM
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 DATE: 10/24/2008
 TIME: 10:48:28
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 DATE: 10/24/2008
 TIME: 10:48:28



PROJECT BENCHMARKS

BM	NORTHING	EASTING	ELEVATION	DESCRIPTION	STATION	OFFSET
A	10159842.175	3127492.287	789.55'	SQUARE CUT ON CONCRETE	509+55.63	43.85' RT
B	10170452.265	3127409.797	792.25'	X ON FIRE HYDRANT BOLT	515+70.21	32.65' LT
C	10189572.796	3127984.336	788.01'	SQUARE CUT ON CONCRETE	506+38.46	534.92' RT

NOTE:
 1. BENCHMARK "B" AND "C" WILL BE OFF THE PAGE. SEE PROJECT BENCHMARK TABLE FOR LOCATION.

THE CITY OF ROUND ROCK, TEXAS
 PROJECT LAYOUT
 CHISHOLM TR RD & W. OLD SETTLERS BLVD
 INTERSECTION IMPROVEMENTS

SCALE: 1"=50'
 SHEET 1 OF 1

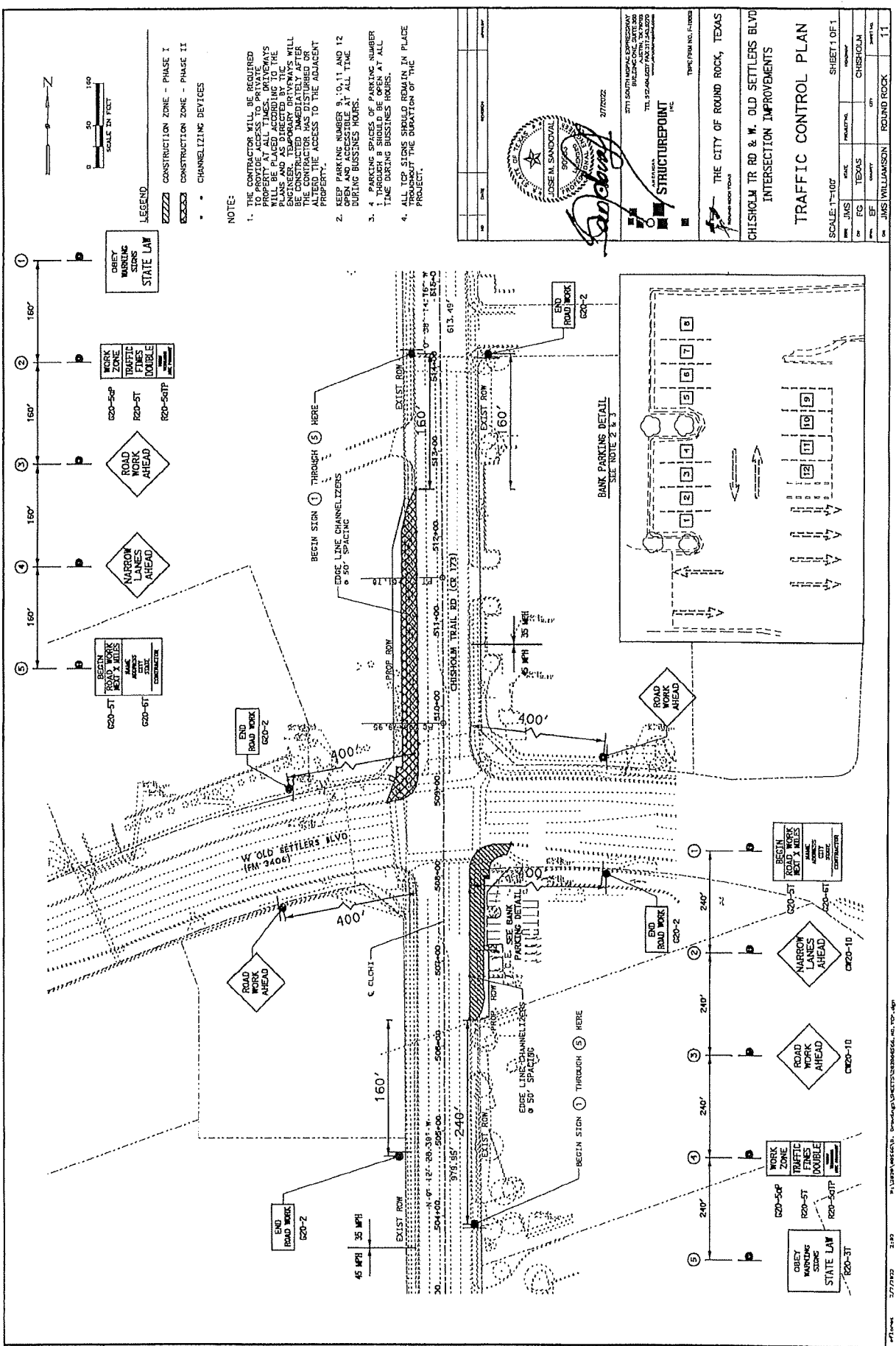
DATE: JMS
 DRAWN: JMS
 CHECKED: JMS
 IN CHARGE: JMS
 PROJECT: CHISHOLM
 SHEET NO: 3

DATE: JMS
 DRAWN: JMS
 CHECKED: JMS
 IN CHARGE: JMS
 PROJECT: CHISHOLM
 SHEET NO: 3

DATE: JMS
 DRAWN: JMS
 CHECKED: JMS
 IN CHARGE: JMS
 PROJECT: CHISHOLM
 SHEET NO: 3

100% SUBMITTAL

RECORDERS MEMORANDUM
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 recordation.



LEGEND

----- CONSTRUCTION ZONE - PHASE I
 ----- CONSTRUCTION ZONE - PHASE II
 ○ ○ ○ ○ CHANNELIZING DEVICES

NOTE:

1. THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN ACCESS TO ALL ADJACENT PROPERTY. ALL TRUCK DRIVEWAYS WILL BE PLACED ACCORDING TO THE REQUIREMENTS OF THE LOCAL ENGINEER. TEMPORARY DRIVEWAYS WILL BE CONSTRUCTED IMMEDIATELY AFTER THE CONTRACTOR HAS DISTURBED OR THE ACCESS TO THE ADJACENT PROPERTY.
2. KEEP PARKING SPACES 9, 10, 11 AND 12 OPEN AND ACCESSIBLE AT ALL TIME DURING BUSINESS HOURS.
3. 4. PARKING SPACES OF PARKING NUMBER 1 THROUGH 8 SHOULD BE OPEN AT ALL TIME DURING BUSINESS HOURS.
4. ALL TOP SIGNS SHOULD REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT.

STRUCTUREPOINT INC.
 2711 SOUTH MAPLE SPRINGWAY
 BULLOCK, TEXAS, 76708
 TEL: 817-442-7700 FAX: 817-442-7700

THE CITY OF ROUND ROCK, TEXAS
 CHISHOLM TR RD & W. OLD SETTLERS BLVD
 INTERSECTION IMPROVEMENTS

TRAFFIC CONTROL PLAN

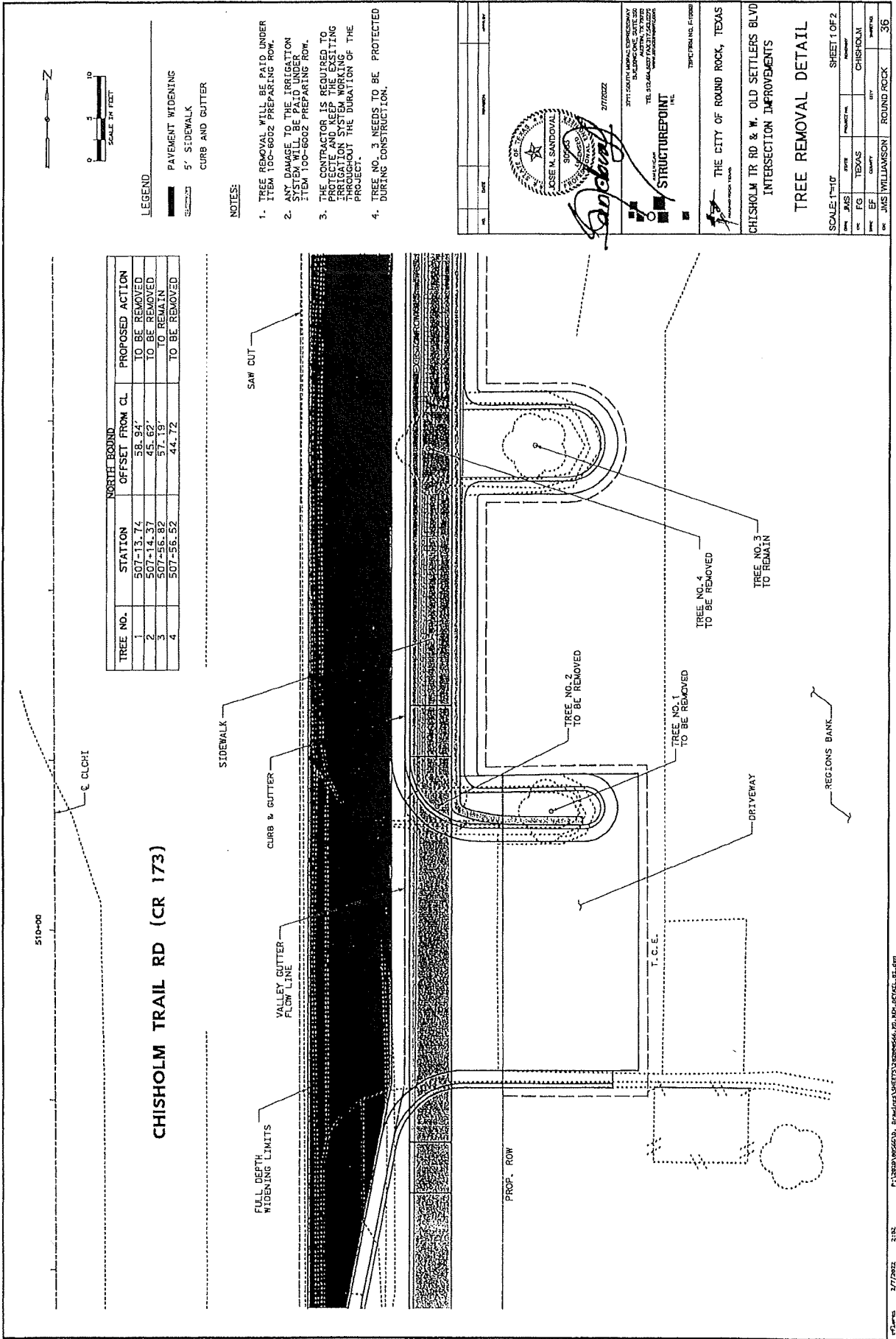
SCALE: 1"=100' SHEET 1 OF 1

DATE	DESIGNER	CHECKER	PROJECT NO.
08/11/2010	JMS	FG	13-0303
DATE	DESIGNER	CHECKER	PROJECT NO.
08/11/2010	JMS	FG	13-0303

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RECORDERS MEMORANDUM
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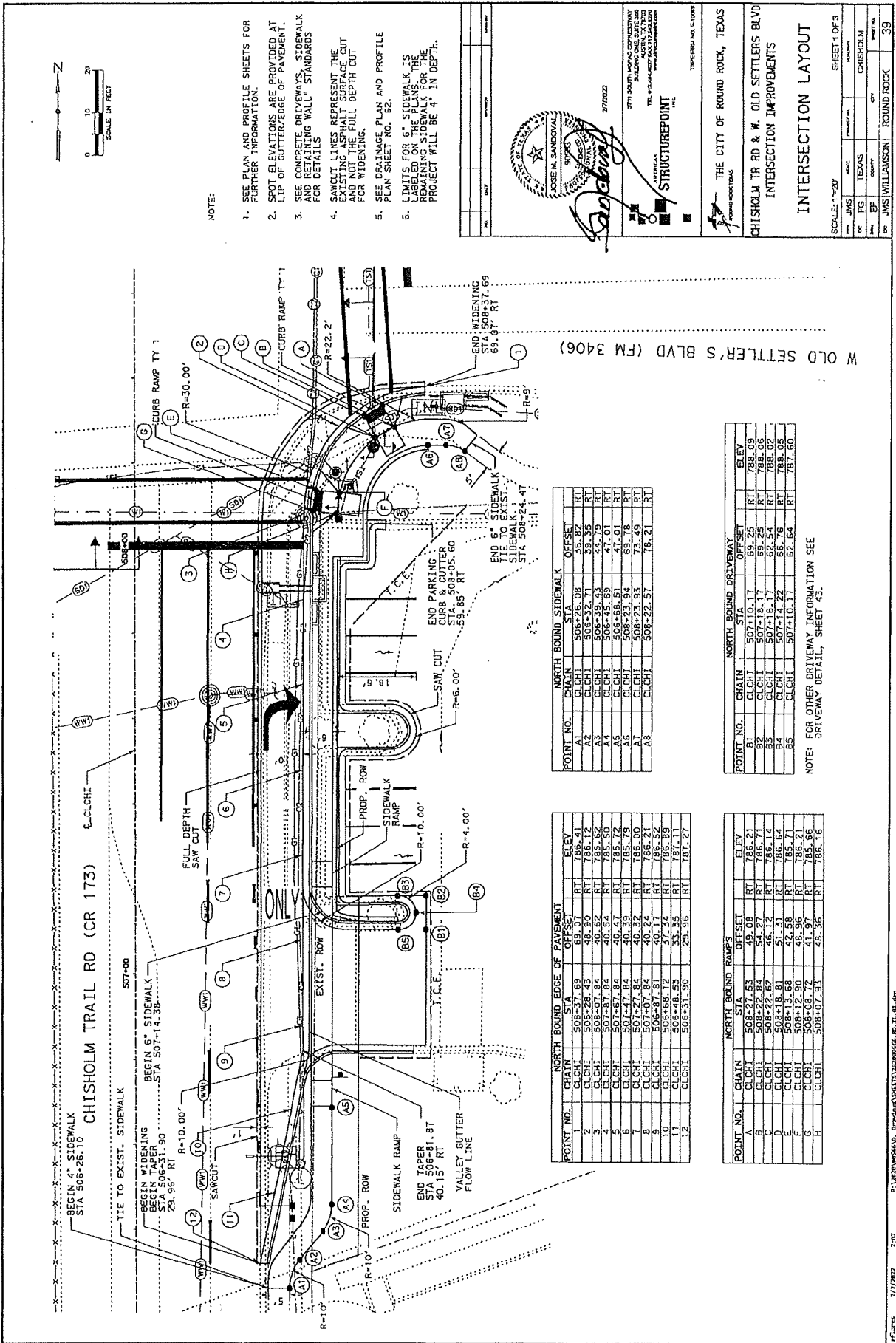
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100% SUBMITTAL

RECORDERS MEMORANDUM
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- NOTE:
1. SEE PLAN AND PROFILE SHEETS FOR FURTHER INFORMATION.
 2. SPOT ELEVATIONS ARE PROVIDED AT LIP OF GUTTER/EDGE OF PAVEMENT.
 3. SEE CONCRETE DRIVEWAYS, SIDEWALK AND RETAINING WALL" STANDARDS FOR DETAILS.
 4. SAWCUT LINES REPRESENT THE EXISTING ASPHALT SURFACE CUT AND NOT THE FULL DEPTH CUT FOR WIDENING.
 5. SEE DRAINAGE PLAN AND PROFILE PLAN SHEET NO. 62.
 6. LIMITS FOR 6" SIDEWALK IS LABELLED ON THE PLANS. THE REMAINING SIDEWALK FOR THE PROJECT WILL BE 4" IN DEPTH.

JOSE M. SANDOVAL
 Mayor

3/7/2022

3711 SOUTH WOODLAWN DRIVE
 ROUND ROCK, TEXAS 78664
 TEL: 512.485.4200 FAX: 512.485.4200
 WWW.ROUNDROCKTX.GOV

STRUCTUREPOINT
 INC.

THE CITY OF ROUND ROCK, TEXAS

CHISHOLM TR RD & W. OLD SETTLERS BLVD
 INTERSECTION IMPROVEMENTS

INTERSECTION LAYOUT

SCALE: 1"=20'

SHEET 1 OF 3

PROJECT NO. CHISHOLM
 COUNTY TEXAS
 CITY ROUND ROCK
 DRAWN BY JMS WILLIAMSON
 SHEET NO. 39

3711 SOUTH WOODLAWN DRIVE
 ROUND ROCK, TEXAS 78664
 TEL: 512.485.4200 FAX: 512.485.4200
 WWW.ROUNDROCKTX.GOV

STRUCTUREPOINT
 INC.

THE CITY OF ROUND ROCK, TEXAS

CHISHOLM TR RD & W. OLD SETTLERS BLVD
 INTERSECTION IMPROVEMENTS

INTERSECTION LAYOUT

SCALE: 1"=20'

SHEET 1 OF 3

PROJECT NO. CHISHOLM
 COUNTY TEXAS
 CITY ROUND ROCK
 DRAWN BY JMS WILLIAMSON
 SHEET NO. 39

POINT NO.	CHAIN	STA	OFFSET
A1	CLCH1	506+26.08	56.82
A2	CLCH1	506+32.71	39.35
A3	CLCH1	506+38.85	47.01
A4	CLCH1	506+45.69	47.01
A5	CLCH1	506+66.51	47.01
A6	CLCH1	508+23.34	69.78
A7	CLCH1	508+23.93	73.49
A8	CLCH1	508+22.57	78.21

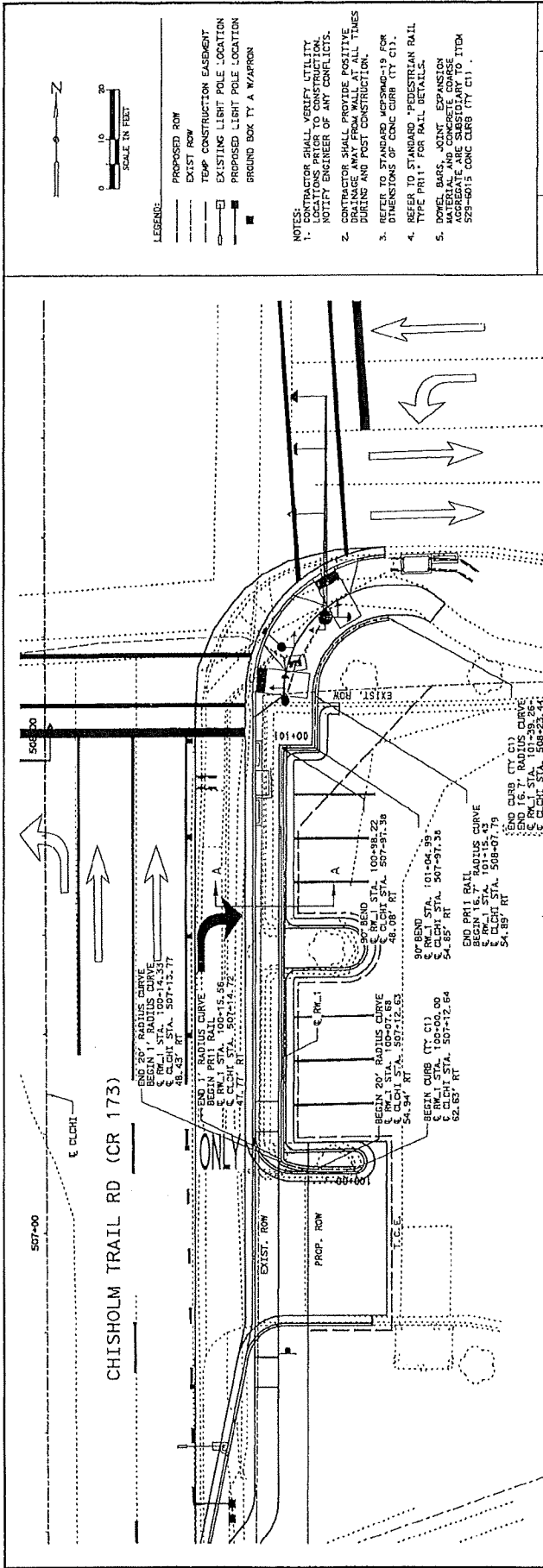
POINT NO.	CHAIN	STA	OFFSET	ELEV
B1	CLCH1	507+18.17	59.25	788.00
B2	CLCH1	507+18.17	59.25	788.00
B3	CLCH1	507+18.17	62.84	788.02
B4	CLCH1	507+4.22	66.76	788.05
B5	CLCH1	507+10.17	62.64	787.60

POINT NO.	CHAIN	STA	OFFSET	ELEV
1	CLCH1	508+37.69	69.07	786.41
2	CLCH1	508+28.43	48.90	786.12
3	CLCH1	507+81.84	40.54	785.80
4	CLCH1	507+67.84	40.47	785.72
5	CLCH1	507+47.84	40.39	785.79
6	CLCH1	507+27.84	40.32	786.00
7	CLCH1	507+07.84	40.24	786.21
8	CLCH1	506+68.12	37.14	786.86
9	CLCH1	506+48.53	33.35	787.11
10	CLCH1	506+31.50	29.36	787.27

POINT NO.	CHAIN	STA	OFFSET	ELEV
A	CLCH1	508+27.53	49.06	786.21
B	CLCH1	508+22.84	54.27	786.71
C	CLCH1	508+22.67	46.12	786.14
D	CLCH1	508+18.91	51.31	786.64
E	CLCH1	508+13.68	42.68	785.71
F	CLCH1	508+08.72	41.97	785.65
G	CLCH1	508+07.93	48.38	786.16

NOTE: FOR OTHER DRIVEWAY INFORMATION SEE DRIVEWAY DETAIL, SHEET 42.

RECORDERS MEMORANDUM
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LEGEND:

- PROPOSED ROW
- EXIST. ROW
- TEMP CONSTRUCTION ELEMENT
- EXISTING LIGHT POLE LOCATION
- PROPOSED LIGHT POLE LOCATION
- GROUND BOX TYPE A/APRON

NOTES:

- CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AND DEPT. RECORDS BEFORE ANY CONFLICTS. NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL PROVIDE POSITIVE PROTECTION DURING AND POST CONSTRUCTION.
- REFER TO STANDARD ACPW-19 FOR DIMENSIONS OF CONC CURB (TY C1).
- REFER TO STANDARD "PEDESTRIAN RAIL" FOR RAIL DETAILS.
- CONC BASE, WALK EXPANSION MATERIAL AND CONCRETE COURSE AGGREGATE ARE SUBSIDIARY TO ITEM 529-6015 CONC CURB (TY C1).

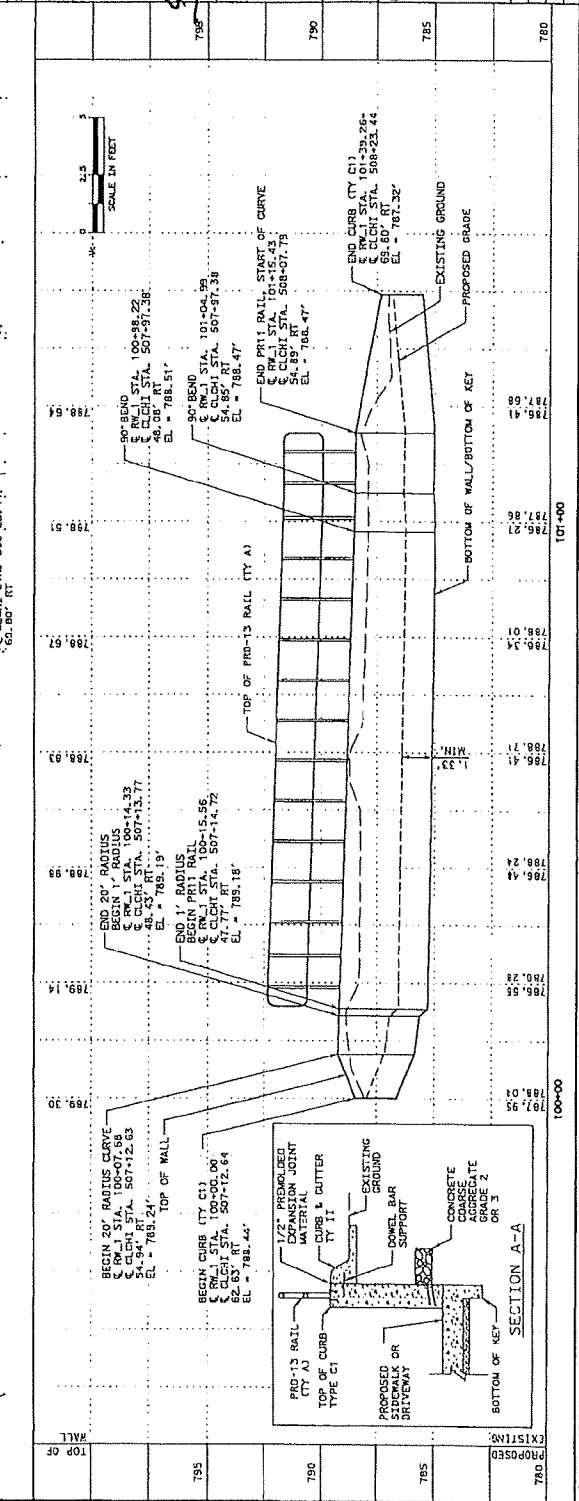
SCALE: 1"=20'

CHISHOLM TR RD & W. OLD SETTLERS BLVD INTERSECTION IMPROVEMENTS
 CURB TYPE C1
 PLAN & PROFILE - NB

SHEET 1 OF 1

DATE	REVISION

JNS WILLIAMSON ROUND ROCK 42



100% SUBMITTAL

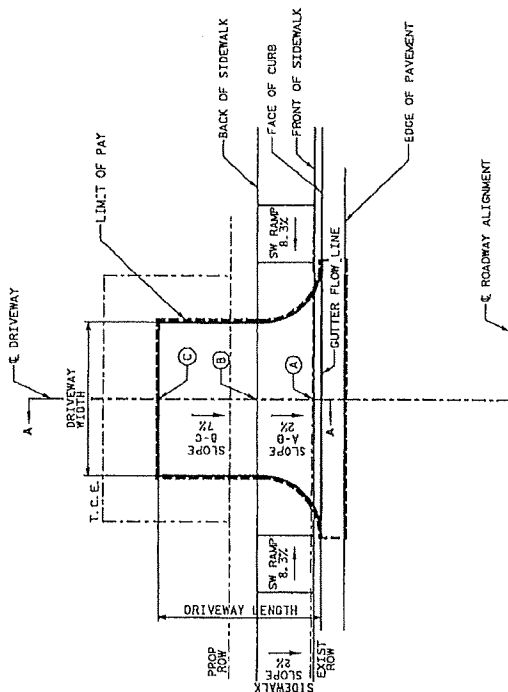
RECORDERS MEMORANDUM
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SUMMARY OF DRIVEWAYS
CHISHOLM TR RD

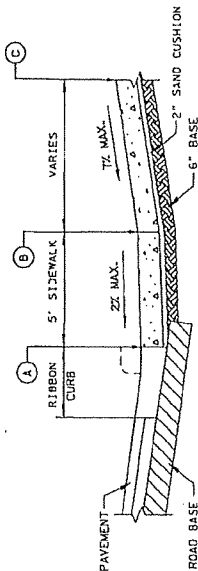
DRIVEWAY NO.	SIDEWALK TREATMENT AT DRIVEWAY	TYPE	ALIGNMENT	STATION	RT/LT	WIDTH	LENGTH	BASELINE ELEV	A		B		C		D		CHANGE OF GRADE	
									OFFSET	ELEV	OFFSET	ELEV	OFFSET	ELEV	OFFSET	ELEV		
1	RAMP SIDEWALK	COMM.	CLCH1	506+96.43	LT	27.00	29.00	786.36	42.21	786.28	47.21	786.35	2.00%	69.21	788.09	7.17%	5.17%	Slope C-0

NOTES:

1. ONLY REFER TO THE DRIVEWAY DETAIL FOR THE GEOMETRY OF THE DRIVEWAY. ALL OTHERS AND SPECIFICATIONS SEE STANDARD ST-03.1 FOR THE CONCRETE DRIVEWAY DETAIL TYPE II COMMERCIAL OR MULTIFAMILY AND TYPE I RESIDENTIAL DETAIL (RIBBON CURB OR RURAL SECTION).



TYPICAL DRIVEWAY WITH RAMP SIDEWALK
NTS



SECTION A-A POSITIVE SITE DRAINAGE

DATE		DESCRIPTION	
NO.	DATE	NO.	DESCRIPTION

STRUCTUREPOINT INC.
2771 SOUTH IMPACT DRIVEWAY
DALLAS, TEXAS 75228
TEL: 972.349.8888
WWW.STRUCTUREPOINT.COM

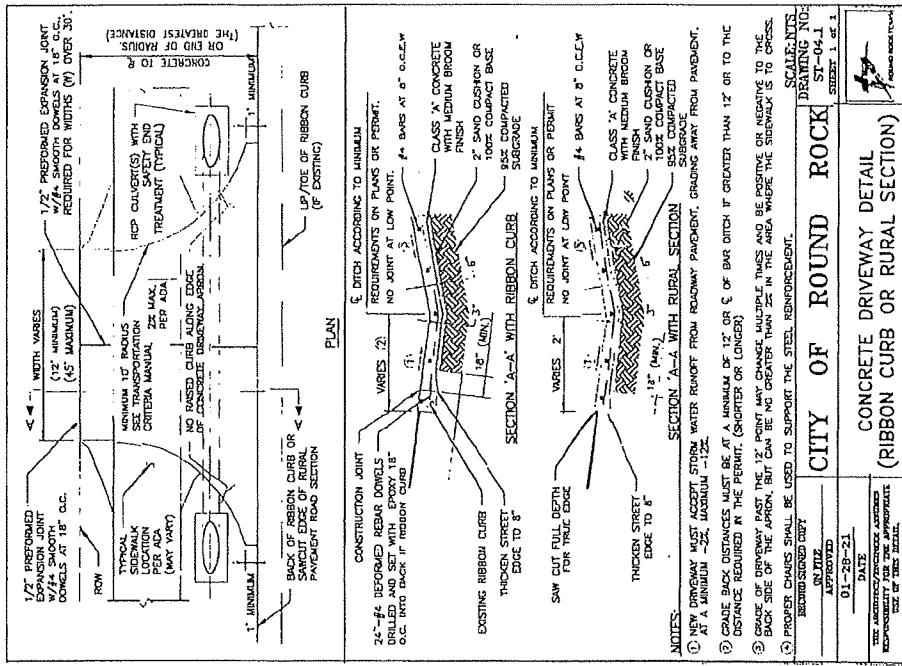
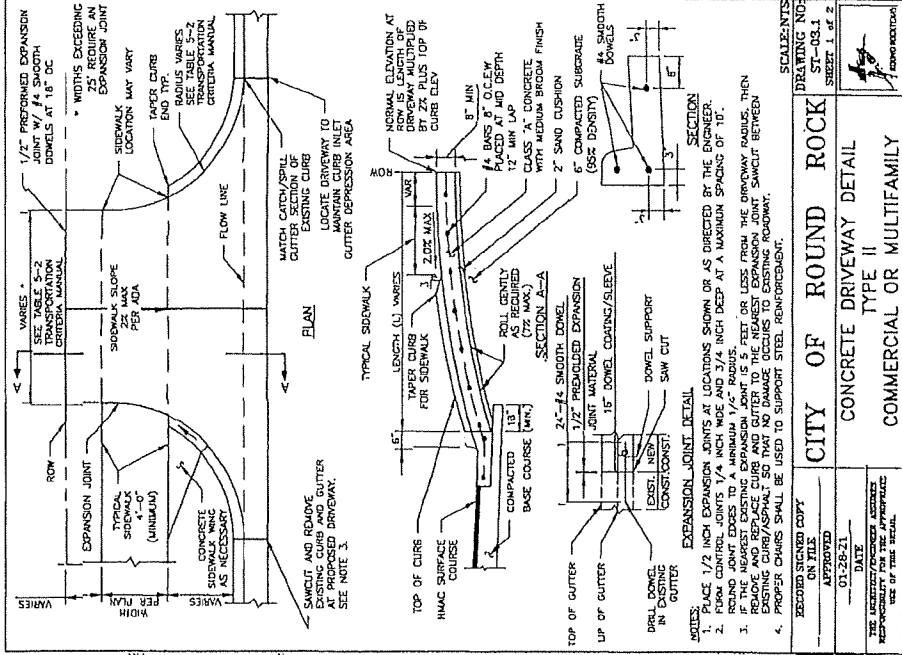
THE CITY OF ROUND ROCK, TEXAS
PROJECT NO. 18-01
CHISHOLM TR RD & W. OLD SETTLERS BLVD
INTERSECTION IMPROVEMENTS

DRIVEWAY DETAIL

NTS.		SHEET 1 OF 1	
DESIGNER	JMS	DRAWN BY	JMS
CHECKED	FC	DATE	TXAS
DATE	07/02/22	CITY	CHISHOLM
PROJECT	JMS WILKINSON	CLIENT	ROUND ROCK
SHEET NO.	43		

RECORDS MEMORANDUM
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STRUCTUREPOINT INC.
 271 SOUTH MERRICK DRIVEWAY
 SUITE 100
 ROUND ROCK, TEXAS 78664
 TEL: 512.283.4100
 FAX: 512.283.4101

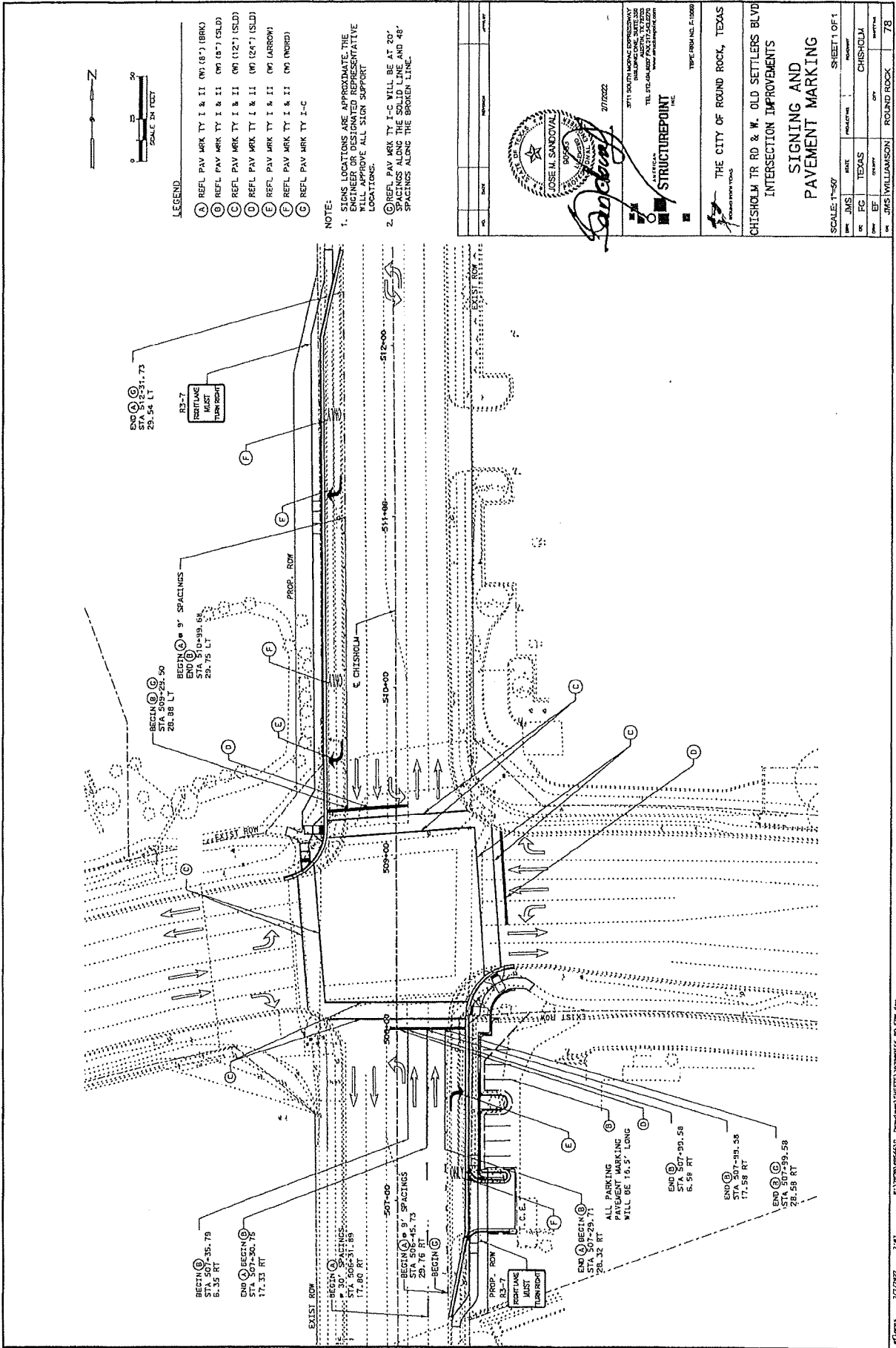
THE CITY OF ROUND ROCK, TEXAS
 CHISHOLM TR RD & W. OLD SETTLERS BLVD
 INTERSECTION IMPROVEMENTS
 DRIVEWAY
 STANDARD DETAILS

N.T.S. SHEET 1 OF 1
 JMS (DESIGN) CHISHOLM
 FG (CHECK) CHISHOLM
 BF (CITY) CHISHOLM
 JMS WILLIAMSON (DATE) ROUND ROCK 4/6

100% SUBMITTAL

REV DATE: 12-22-2011
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 PROJECT: 117202

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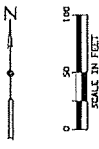
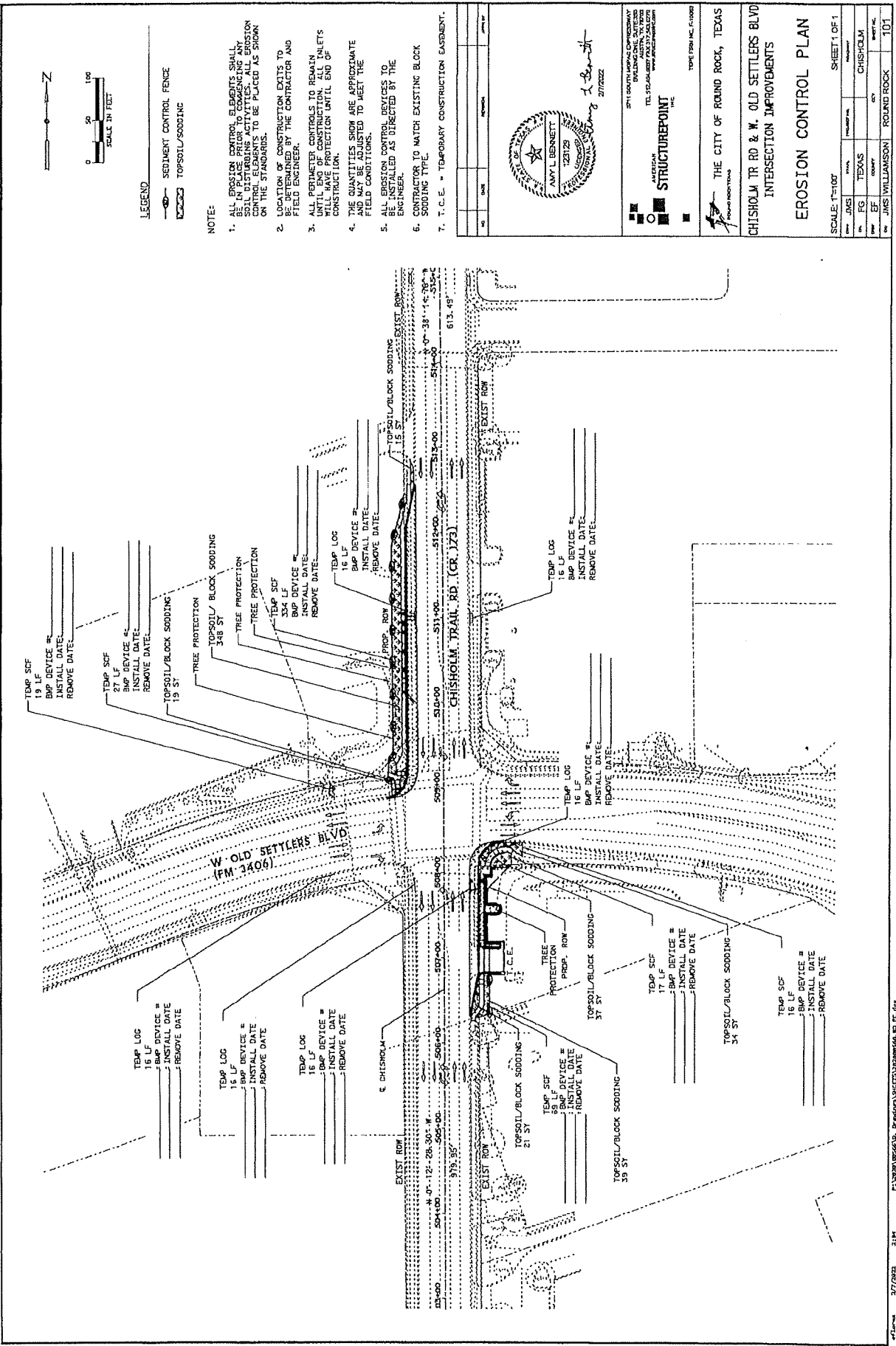


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RECORDERS MEMORANDUM
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PROJECT: 131842010
 REV: 131842010
 FILENAME: P:\02070191\DWG\131842010\131842010.dwg



LEGEND
 SEDIMENT CONTROL FENCE
 TOPSOIL/SODDING

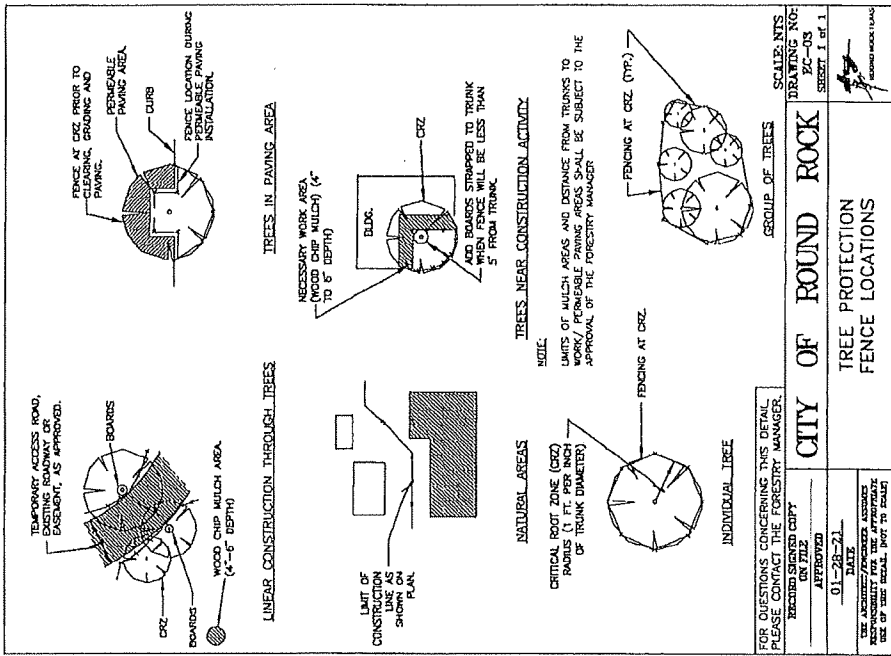
- NOTE:
1. ALL EROSION CONTROL IS BOARDS SHALL BE IN PLACE PRIOR TO COMMENCING ANY SOIL DISTURBING ACTIVITIES. ALL EROSION CONTROL SHALL BE PLACED AS SHOWN ON THE STANDARDS.
 2. LOCATION OF CONSTRUCTION EXITS TO BE DETERMINED BY THE CONTRACTOR AND FIELD ENGINEER.
 3. ALL PERIMETER CONTROLS TO REMAIN UNTIL END OF CONSTRUCTION. ALL INLETS SHALL HAVE PROTECTION UNTIL END OF CONSTRUCTION.
 4. THE QUANTITIES SHOWN ARE APPROXIMATE AND WILL BE ADJUSTED TO MEET THE FIELD CONDITIONS.
 5. ALL EROSION CONTROL DEVICES TO BE INSTALLED AS DIRECTED BY THE ENGINEER.
 6. CONTRACTOR TO MATCH EXISTING BLOCK SODDING TYPE.
 7. T. C. E. = TEMPORARY CONSTRUCTION EASEMENT.



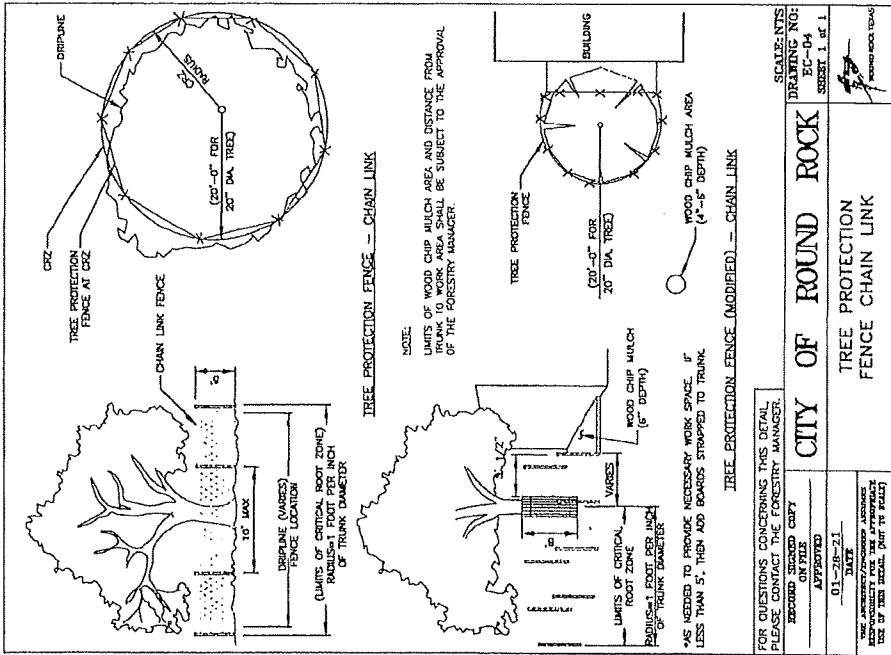
AMERICAN
STRUCTUREPOINT
 INC.
 5711 SOUTH WINDYBROOK COMPLEXTWAY
 BELLMEAD, TEXAS 75246
 TEL: 972.663.4400 FAX: 972.663.4401
 WWW.STRUCTUREPOINT.COM

THE CITY OF ROUND ROCK, TEXAS
 CHISHOLM TR RD & W. OLD SETTLERS BLVD
 INTERSECTION IMPROVEMENTS
EROSION CONTROL PLAN
 SCALE: 1"=100'
 SHEET 1 OF 1
 DRAWN BY: JMS
 CHECKED BY: FS
 DESIGNED BY: JMS
 PROJECT NO.: CHISHOLM
 SHEET NO.: 101

1. ALL TREES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE OF EXISTING AREAS SHALL BE PRESERVED. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL TREES TO BE PRESERVED FROM HIS ACTIVITIES.
2. ALL TREES SHOWN TO BE REMOVED ON THIS DRAWING SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING. SEE: TREE REMOVAL TREE WELLS (EC-02). TREE PROTECTION TREE LOCATION (TR-03) AND TREE PROTECTION FENCE-CHAIN LINK (EC-04).
3. TREE PROTECTION FENCING SHALL BE ORIENTED ACCORDING TO CITY STANDARDS FOR TREE PROTECTION, INCLUDING TYPES (CLEARING, CRUSHING, OR GRABBING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION.
4. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, CRUSHING, OR GRABBING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION.
5. EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILDUP WITHIN TREE PROTECTION AREAS.
6. TREE PROTECTION FENCING SHALL BE INSTALLED IN ORDER TO PREVENT THE FOLLOWING:
 - a. EXCESSIVE ROOT CUTTING.
 - b. EXCESSIVE ROOT CUTTING.
 - c. EXCESSIVE ROOT CUTTING.
 - d. EXCESSIVE ROOT CUTTING.
 - e. EXCESSIVE ROOT CUTTING.
 - f. EXCESSIVE ROOT CUTTING.
 - g. EXCESSIVE ROOT CUTTING.
 - h. EXCESSIVE ROOT CUTTING.
 - i. EXCESSIVE ROOT CUTTING.
 - j. EXCESSIVE ROOT CUTTING.
 - k. EXCESSIVE ROOT CUTTING.
 - l. EXCESSIVE ROOT CUTTING.
 - m. EXCESSIVE ROOT CUTTING.
 - n. EXCESSIVE ROOT CUTTING.
 - o. EXCESSIVE ROOT CUTTING.
 - p. EXCESSIVE ROOT CUTTING.
 - q. EXCESSIVE ROOT CUTTING.
 - r. EXCESSIVE ROOT CUTTING.
 - s. EXCESSIVE ROOT CUTTING.
 - t. EXCESSIVE ROOT CUTTING.
 - u. EXCESSIVE ROOT CUTTING.
 - v. EXCESSIVE ROOT CUTTING.
 - w. EXCESSIVE ROOT CUTTING.
 - x. EXCESSIVE ROOT CUTTING.
 - y. EXCESSIVE ROOT CUTTING.
 - z. EXCESSIVE ROOT CUTTING.
7. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.
8. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.
9. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.
10. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.
11. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.
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14. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.
15. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.
16. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.
17. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.
18. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.
19. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.
20. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.
21. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.
22. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL SPRAYING, CONCRETE TRUCK CLEANING, AND PILES OF DEBRIS SHALL BE PROHIBITED WITHIN TREE PROTECTION AREAS.



<p>AMERICAN STRUCTUREPOINT</p> <p>3711 SOUTH HOPE AVE. CORPWAY BELLMEAD, TEXAS 75212 TEL: 214-440-1111 FAX: 214-440-1112 WWW.STRUCTUREPOINT.COM</p>		<p>TYPE DRAWING: E-1008</p>	
<p>THE CITY OF ROUND ROCK, TEXAS</p>		<p>CHISHOLM TR RD & W. OLD SETTLERS BLVD INTERSECTION IMPROVEMENTS</p>	
<p>DATE: 01-28-21</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>SHEET NO.: EC-01</p>	<p>SHEET 1 OF 1</p>
<p>FOR QUESTIONS CONCERNING THIS DRAWING, PLEASE CONTACT THE FORESTRY MANAGER.</p>	<p>RECORDED/SIGNED COPY ON FILE APPROVED</p>	<p>CITY OF ROUND ROCK</p>	<p>TREE PROTECTION NOTES</p>
<p>DATE: 01-28-21</p>	<p>DIST: 01</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>RECORDED/SIGNED COPY ON FILE APPROVED</p>
<p>FOR QUESTIONS CONCERNING THIS DRAWING, PLEASE CONTACT THE FORESTRY MANAGER.</p>	<p>RECORDED/SIGNED COPY ON FILE APPROVED</p>	<p>CITY OF ROUND ROCK</p>	<p>TREE PROTECTION NOTES</p>
<p>DATE: 01-28-21</p>	<p>DIST: 01</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>RECORDED/SIGNED COPY ON FILE APPROVED</p>



FOR QUESTIONS CONCERNING THIS DETAIL, PLEASE CONTACT THE FORESTRY MANAGER.	
DESIGNED BY	EC-04
CHECKED BY	EC-04
DATE	01-28-21
SCALE: N.T.S.	DRAWING NO: EC-04
CITY OF ROUND ROCK	
TREE PROTECTION FENCE CHAIN LINK	
SHEET 1 OF 1	

3711 SOUTH WINDING SPRINGWAY
DALLAS, TEXAS 75246
TEL: 972-984-4677 FAX: 972-984-4678
WWW.STRUCTUREPOINT.COM

AN AT&T COMPANY
STRUCTUREPOINT
INC.

TYPE DRAW NO. 1-1000

THE CITY OF ROUND ROCK, TEXAS

CHISHOLM TR RD & W. OLD SETTLERS BLVD
INTERSECTION IMPROVEMENTS

TREE PROTECTION STANDARD DETAILS

N.T.S. SHEET 2 OF 2

DATE	DESIGNED BY	CHECKED BY	PROJECT NO.
01-28-21	EC-04	EC-04	CHISHOLM
DATE	DESIGNED BY	CHECKED BY	PROJECT NO.
01-28-21	EC-04	EC-04	CHISHOLM
DATE	DESIGNED BY	CHECKED BY	PROJECT NO.
01-28-21	EC-04	EC-04	CHISHOLM