

Texas Commission on Environmental Quality

Edwards Aquifer Application Cover Page

Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with [30 TAC 213](#).

Administrative Review

1. [Edwards Aquifer applications](#) must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains “possibly sensitive” features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited.**
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a “Mid-Review Modification”. Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ’s Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ’s San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

1. Regulated Entity Name: Hesters 4 Apartments				2. Regulated Entity No.:					
3. Customer Name: Hesters Crossing Apts Holdings LLC				4. Customer No.:					
5. Project Type: (Please circle/check one)	New <input checked="" type="checkbox"/>	Modification	Extension	Exception					
6. Plan Type: (Please circle/check one)	WPAP <input checked="" type="checkbox"/>	CZP	SCS	UST	AST	EXP	EXT	Technical Clarification	Optional Enhanced Measures
7. Land Use: (Please circle/check one)	Residential	Non-residential	<input checked="" type="checkbox"/>			8. Site (acres):		4.056	
9. Application Fee:	\$4,000		10. Permanent BMP(s):			Partial sedimentation/filtration pond, and detention pond			
11. SCS (Linear Ft.):	N/A		12. AST/UST (No. Tanks):			N/A			
13. County:	Williamson		14. Watershed:			Lake Creek			

Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the “Texas Groundwater Conservation Districts within the EAPP Boundaries” map found at:

http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	Hays	Travis	Williamson
Original (1 req.)	—	—	✓
Region (1 req.)	—	—	✓
County(ies)	—	—	✓
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Barton Springs/ Edwards Aquifer <input type="checkbox"/> Hays Trinity <input type="checkbox"/> Plum Creek	<input type="checkbox"/> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<input type="checkbox"/> Austin <input type="checkbox"/> Buda <input type="checkbox"/> Dripping Springs <input type="checkbox"/> Kyle <input type="checkbox"/> Mountain City <input type="checkbox"/> San Marcos <input type="checkbox"/> Wimberley <input type="checkbox"/> Woodcreek	<input type="checkbox"/> Austin <input type="checkbox"/> Bee Cave <input type="checkbox"/> Pflugerville <input type="checkbox"/> Rollingwood <input type="checkbox"/> Round Rock <input type="checkbox"/> Sunset Valley <input type="checkbox"/> West Lake Hills	<input type="checkbox"/> Austin <input type="checkbox"/> Cedar Park <input type="checkbox"/> Florence <input type="checkbox"/> Georgetown <input type="checkbox"/> Jerrell <input type="checkbox"/> Leander <input type="checkbox"/> Liberty Hill <input type="checkbox"/> Pflugerville <input checked="" type="checkbox"/> Round Rock

San Antonio Region					
County:	Bexar	Comal	Kinney	Medina	Uvalde
Original (1 req.)	—	—	—	—	—
Region (1 req.)	—	—	—	—	—
County(ies)	—	—	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Trinity-Glen Rose	<input type="checkbox"/> Edwards Aquifer Authority	<input type="checkbox"/> Kinney	<input type="checkbox"/> EAA <input type="checkbox"/> Medina	<input type="checkbox"/> EAA <input type="checkbox"/> Uvalde
City(ies) Jurisdiction	<input type="checkbox"/> Castle Hills <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Helotes <input type="checkbox"/> Hill Country Village <input type="checkbox"/> Hollywood Park <input type="checkbox"/> San Antonio (SAWS) <input type="checkbox"/> Shavano Park	<input type="checkbox"/> Bulverde <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Garden Ridge <input type="checkbox"/> New Braunfels <input type="checkbox"/> Schertz	NA	<input type="checkbox"/> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

<p><i>Anna Hoge</i> Print Name of Customer/Authorized Agent</p>	
<p><i>Anna Hoge</i> Signature of Customer/Authorized Agent</p>	<p><i>6/9/23</i> Date</p>

FOR TCEQ INTERNAL USE ONLY			
Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):

General Information Form

Texas Commission on Environmental Quality

For Regulated Activities on the Edwards Aquifer Recharge and Transition Zones and Relating to 30 TAC §213.4(b) & §213.5(b)(2)(A), (B) Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **General Information Form** is hereby submitted for TCEQ review. The application was prepared by:

Print Name of Customer/Agent: Anna Hoge

Date: 5/11/2023

Signature of Customer/Agent:



Project Information

1. Regulated Entity Name: Hesters 4
2. County: Williamson
3. Stream Basin: Lake Creek Tributary 6
4. Groundwater Conservation District (If applicable): N/A
5. Edwards Aquifer Zone:
 - Recharge Zone
 - Transition Zone
6. Plan Type:
 - WPAP
 - SCS
 - Modification
 - AST
 - UST
 - Exception Request

7. Customer (Applicant):

Contact Person: Jonathan Marcus
Entity: Hesters Crossing Apts Holdings, LLC
Mailing Address: 155 Schmitt Blvd
City, State: Farmingdale, NY Zip: 11735
Telephone: 512-315-3515 FAX: _____
Email Address: jmarcus@marcusbuild.com

8. Agent/Representative (If any):

Contact Person: Anna Hoge, RLA
Entity: Consort Inc.
Mailing Address: 1609 Shoal Creek Blvd, Ste, 300
City, State: Austin, Texas Zip: 78701
Telephone: 512-469-0500 FAX: _____
Email Address: ahoge@consortinc.com

9. Project Location:

- The project site is located inside the city limits of Round Rock.
- The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of _____.
- The project site is not located within any city's limits or ETJ.

10. The location of the project site is described below. The description provides sufficient detail and clarity so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

Northwest quadrant of the intersection of Hesters Crossing Rd. and Rawhide Dr. in Round Rock, Tx.

11. **Attachment A – Road Map.** A road map showing directions to and the location of the project site is attached. The project location and site boundaries are clearly shown on the map.

12. **Attachment B - USGS / Edwards Recharge Zone Map.** A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000') of the Edwards Recharge Zone is attached. The map(s) clearly show:

- Project site boundaries.
- USGS Quadrangle Name(s).
- Boundaries of the Recharge Zone (and Transition Zone, if applicable).
- Drainage path from the project site to the boundary of the Recharge Zone.

13. **The TCEQ must be able to inspect the project site or the application will be returned.** Sufficient survey staking is provided on the project to allow TCEQ regional staff to locate the boundaries and alignment of the regulated activities and the geologic or manmade features noted in the Geologic Assessment.

Survey staking will be completed by this date: _____

14. **Attachment C – Project Description.** Attached at the end of this form is a detailed narrative description of the proposed project. The project description is consistent throughout the application and contains, at a minimum, the following details:

- Area of the site
- Offsite areas
- Impervious cover
- Permanent BMP(s)
- Proposed site use
- Site history
- Previous development
- Area(s) to be demolished

15. Existing project site conditions are noted below:

- Existing commercial site
- Existing industrial site
- Existing residential site
- Existing paved and/or unpaved roads
- Undeveloped (Cleared)
- Undeveloped (Undisturbed/Uncleared)
- Other: _____

Prohibited Activities

16. I am aware that the following activities are prohibited on the Recharge Zone and are not proposed for this project:

- (1) Waste disposal wells regulated under 30 TAC Chapter 331 of this title (relating to Underground Injection Control);
- (2) New feedlot/concentrated animal feeding operations, as defined in 30 TAC §213.3;
- (3) Land disposal of Class I wastes, as defined in 30 TAC §335.1;
- (4) The use of sewage holding tanks as parts of organized collection systems; and
- (5) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41(b), (c), and (d) of this title (relating to Types of Municipal Solid Waste Facilities).
- (6) New municipal and industrial wastewater discharges into or adjacent to water in the state that would create additional pollutant loading.

17. I am aware that the following activities are prohibited on the Transition Zone and are not proposed for this project:

- (1) Waste disposal wells regulated under 30 TAC Chapter 331 (relating to Underground Injection Control);

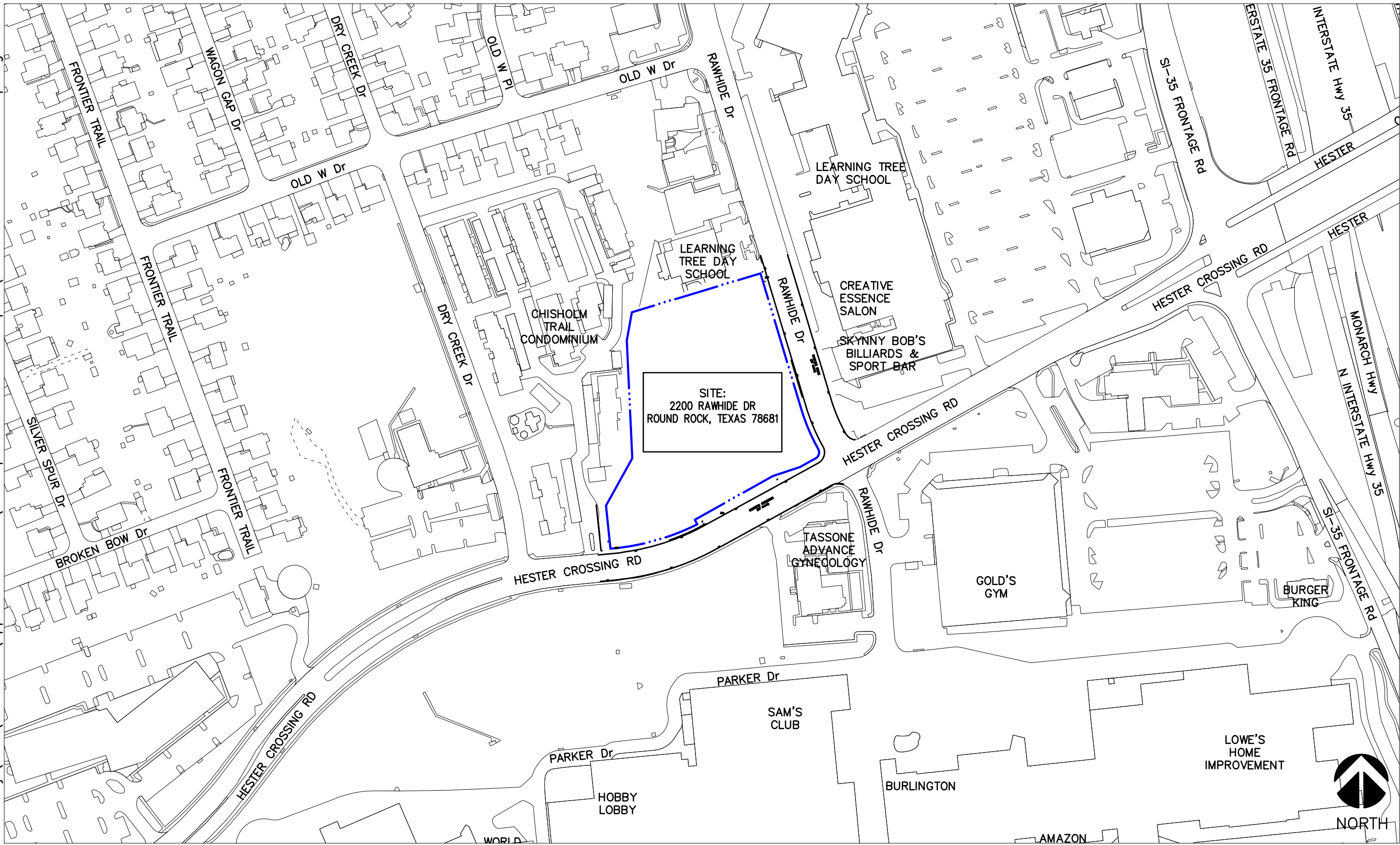
- (2) Land disposal of Class I wastes, as defined in 30 TAC §335.1; and
- (3) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41 (b), (c), and (d) of this title.

Administrative Information

18. The fee for the plan(s) is based on:

- For a Water Pollution Abatement Plan or Modification, the total acreage of the site where regulated activities will occur.
 - For an Organized Sewage Collection System Plan or Modification, the total linear footage of all collection system lines.
 - For a UST Facility Plan or Modification or an AST Facility Plan or Modification, the total number of tanks or piping systems.
 - A request for an exception to any substantive portion of the regulations related to the protection of water quality.
 - A request for an extension to a previously approved plan.
19. Application fees are due and payable at the time the application is filed. If the correct fee is not submitted, the TCEQ is not required to consider the application until the correct fee is submitted. Both the fee and the Edwards Aquifer Fee Form have been sent to the Commission's:
- TCEQ cashier
 - Austin Regional Office (for projects in Hays, Travis, and Williamson Counties)
 - San Antonio Regional Office (for projects in Bexar, Comal, Kinney, Medina, and Uvalde Counties)
20. Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.
21. No person shall commence any regulated activity until the Edwards Aquifer Protection Plan(s) for the activity has been filed with and approved by the Executive Director.

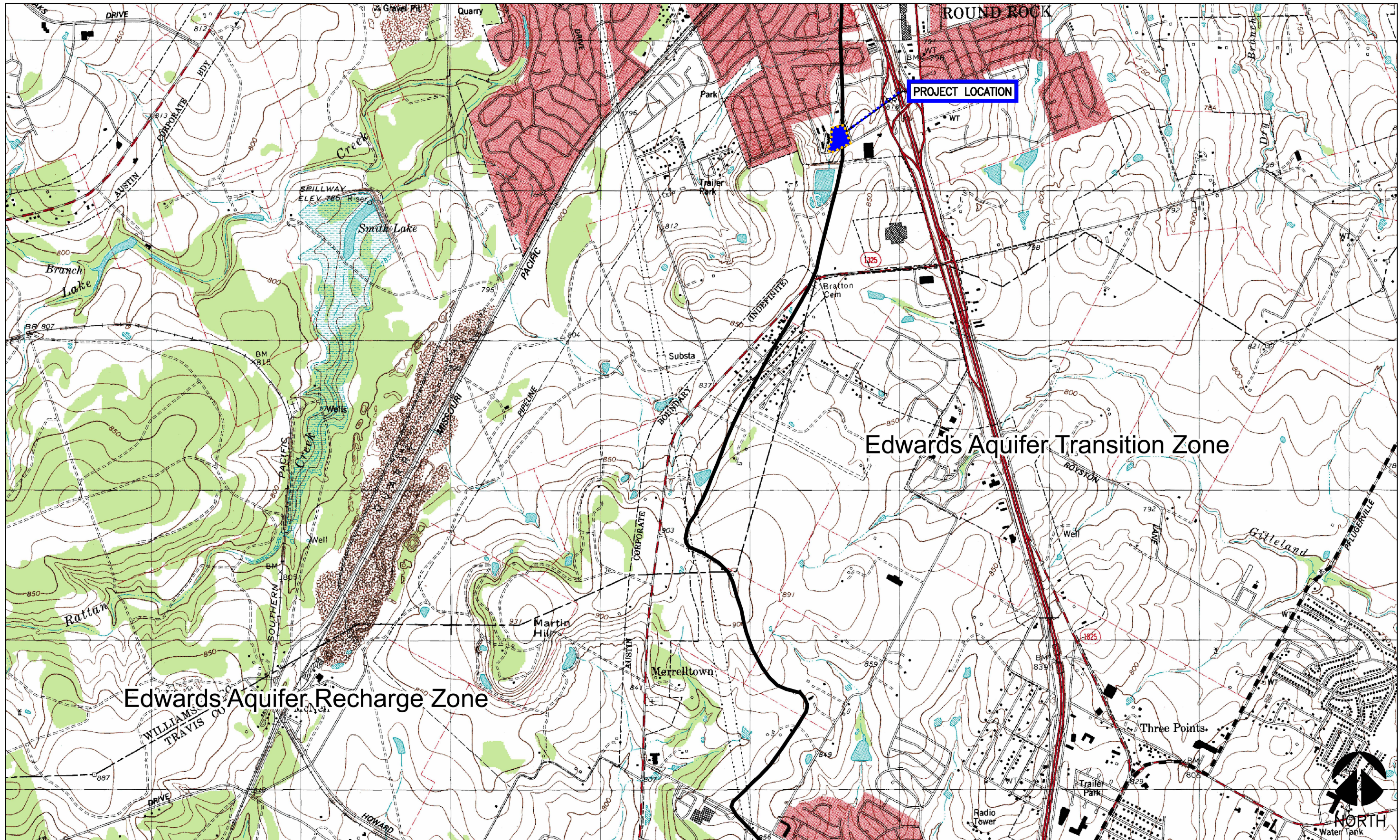
PROJECT No: 1587-003 j:\work\1587-003\application forms\water pollution abatement plan\attachment a - road map.dwg



Consort, Inc.
1609 Shoal Creek Blvd., Suite 300
Austin, Texas 78701
(512) 469-0500
T.B.P.E. Firm Registration No. F-859

ATTACHMENT A
MAP ROAD
05/04/2023
SCALE: 1"=200'

2200 RAWHIDE DR
ROUND ROCK, TEXAS 78681




Consort, Inc.
 1609 Shoal Creek Blvd., Suite 300
 Austin, Texas 78701
 (512) 469-0500
 T.B.P.E. Firm Registration No. F-859

USGS/EDWARDS RECHARGE ZONE
MAP
 FLUGERVILLE WEST, TX
 2/14/2023
 SCALE: 1"=2000'

2200 RAWHIDE DRIVE
ROUND ROCK, TEXAS 78681

ATTACHMENT "C" – PROJECT DESCRIPTION

We are submitting a WPAP for a 4.055-acre site in Round Rock, Texas. The closest cross street is Hesters Crossing to the south of the property and Rawhide Drive to the east of the property. The site is currently undeveloped with evidence of fill being placed on the site previously. The site is within the Recharge and Transition zone of the Edwards Aquifer. Permanent BMPs will be put in place in the form of a sedimentation/filtration pond.

The proposed project includes the construction of a mixed-use/multifamily development with water and wastewater services, driveways, storm sewer, and a water quality treatment pond.

The existing impervious cover is ± 0.00 acres ($\pm 0\%$) for the 4.055-acre site. The proposed increase in impervious cover within in the site is approximately $\pm 115,050$ S.F., totaling ± 2.641 acres or 65.13% for the 4.055 acres site.

The storm water from this project will be treated by an engineered BMP to comply with Texas Commission on Environmental Quality rules.

Proposed Permanent BMPs: The drainage basin will be treated with a sedimentation/filtration pond. The sand filter system with the water being collected by grate inlets and conveyed to the sand filter basin by storm drain lines. The total area going to the sand filter system is 3.24 acres at 81.52% impervious cover.

Geologic Assessment

Texas Commission on Environmental Quality

For Regulated Activities on The Edwards Aquifer Recharge/transition Zones and Relating to 30 TAC §213.5(b)(3), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. My signature certifies that I am qualified as a geologist as defined by 30 TAC Chapter 213.

Print Name of Geologist: Russell C Ford

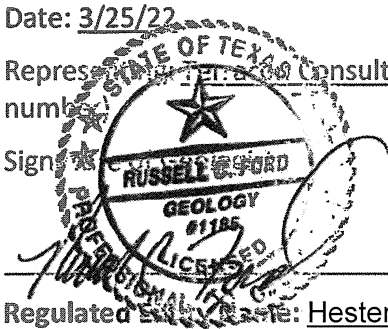
Telephone: 512 442-1122

Date: 3/25/22

Fax: _____

Represented by: Trac Consultants, Inc. (Name of Company and TBPG or TBPE registration number)

Signature



Regulated activity site: Hesters 4, 2200 Rawhide Road, Round Rock, Texas

Project Information

1. Date(s) Geologic Assessment was performed: 3/17/22

2. Type of Project:

WPAP
 SCS

AST
 UST

3. Location of Project:

Recharge Zone
 Transition Zone
 Contributing Zone within the Transition Zone

4. **Attachment A - Geologic Assessment Table.** Completed Geologic Assessment Table (Form TCEQ-0585-Table) is attached.
5. Soil cover on the project site is summarized in the table below and uses the SCS Hydrologic Soil Groups* (Urban Hydrology for Small Watersheds, Technical Release No. 55, Appendix A, Soil Conservation Service, 1986). If there is more than one soil type on the project site, show each soil type on the site Geologic Map or a separate soils map.

Table 1 - Soil Units, Infiltration Characteristics and Thickness

Soil Name	Group*	Thickness(feet)
FaB	D	3-4
FhF2	D	3-4
HedC2	D	3-4
HeiD3	D	3-4

* Soil Group Definitions (Abbreviated)

- A. Soils having a high infiltration rate when thoroughly wetted.
- B. Soils having a moderate infiltration rate when thoroughly wetted.
- C. Soils having a slow infiltration rate when thoroughly wetted.
- D. Soils having a very slow infiltration rate when thoroughly wetted.

6. **Attachment B – Stratigraphic Column.** A stratigraphic column showing formations, members, and thicknesses is attached. The outcropping unit, if present, should be at the top of the stratigraphic column. Otherwise, the uppermost unit should be at the top of the stratigraphic column.
7. **Attachment C – Site Geology.** A narrative description of the site specific geology including any features identified in the Geologic Assessment Table, a discussion of the potential for fluid movement to the Edwards Aquifer, stratigraphy, structure(s), and karst characteristics is attached.
8. **Attachment D – Site Geologic Map(s).** The Site Geologic Map must be the same scale as the applicant's Site Plan. The minimum scale is 1": 400'
 Applicant's Site Plan Scale: 1" = _'
 Site Geologic Map Scale: 1" = 100'
 Site Soils Map Scale (if more than 1 soil type): 1" = 100'
9. Method of collecting positional data:
 - Global Positioning System (GPS) technology.
 - Other method(s). Please describe method of data collection: _____
10. The project site and boundaries are clearly shown and labeled on the Site Geologic Map.
11. Surface geologic units are shown and labeled on the Site Geologic Map.

12. Geologic or manmade features were discovered on the project site during the field investigation. They are shown and labeled on the Site Geologic Map and are described in the attached Geologic Assessment Table.
- Geologic or manmade features were not discovered on the project site during the field investigation.
13. The Recharge Zone boundary is shown and labeled, if appropriate.
14. All known wells (test holes, water, oil, unplugged, capped and/or abandoned, etc.): If applicable, the information must agree with Item No. 20 of the WPAP Application Section.
- There are _____ (#) wells present on the project site and the locations are shown and labeled. (Check all of the following that apply.)
- The wells are not in use and have been properly abandoned.
- The wells are not in use and will be properly abandoned.
- The wells are in use and comply with 16 TAC Chapter 76.
- There are no wells or test holes of any kind known to exist on the project site.

Administrative Information

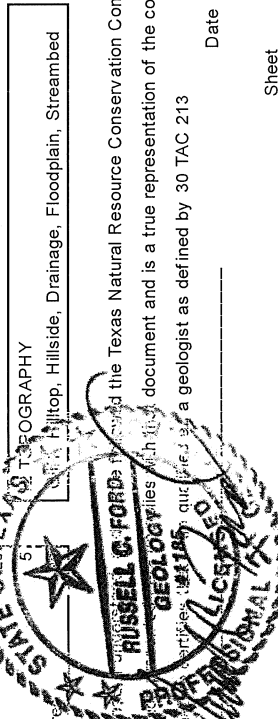
15. Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

NO FEATURES OBSERVED Attachment A

GEOLOGIC ASSESSMENT TABLE										PROJECT NAME: Proposed Round Rock Apartments, 400 Hesters Crossing Road, Round Rock, Texas						
LOCATION							EVALUATION									
FEATURE CHARACTERISTICS										PHYSICAL SETTING						
1A	1B*	1C*	2A	2B	3	4	5	5A	6	7	8A	8B	9	10	11	12
FEATURE ID	LATITUDE	LONGITUDE	FEATURE TYPE	POINTS	FORMATION	DIMENSIONS (FEET)	TREND (DEGREES)	DOM (NOFT)	DENSITY (NOFT)	APERTURE (FEET)	INFILL	RELATIVE INFILTRATION RATE	TOTAL SENSITIVITY	CATCHMENT AREA (ACRES)	TOPOGRAPHY	
							X Y Z	10					<40	>40	<1.6	>1.6

* DATUM: NAD27

2A TYPE	TYPE	2B POINTS	8A INFILLING
C	Cave	30	N None, exposed bedrock
SC	Solution cavity	20	C Coarse - cobbles, breakdown, sand, gravel
SF	Solution-enlarged fracture(s)	20	O Loose or soft mud or soil, organics, leaves, sticks, dark colors
F	Fault	20	F Fines, compacted clay-rich sediment, soil profile, gray or red colors
O	Other natural bedrock features	5	V Vegetation. Give details in narrative description
MB	Manmade feature in bedrock	30	FS Flowstone, cements, cave deposits
SW	Swallow hole		X Other materials
SH	Sinkhole		
CD	Non-karst closed depression		
Z	Zone, clustered or aligned features		



I have prepared this document in accordance with the Texas Natural Resource Conservation Commission's Instructions to Geologists. The information contained herein is a true and accurate representation of the conditions observed in the field. My signature and title are those of a geologist as defined by 30 TAC 213

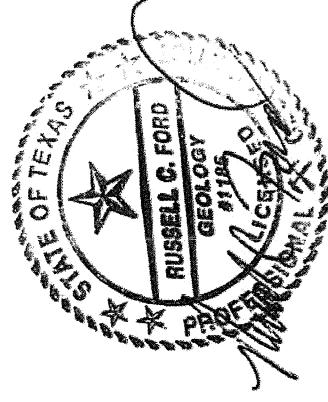
Date _____

ATTACHMENT B

Stratigraphic Column
 Proposed Round Rock Apartments
 400 Hesters Crossing Road
 Round Rock, Texas

HYDROGEOLOGIC SUBDIVISION	FORMATION	THICKNESS (feet)	LITHOLOGY
Confining Layer	Buda	30	Calcareous, fossiliferous hard limestone
	Del Rio Clay	50	Calcareous, fossiliferous clay with pyrite and gypsum

Source: Senger, Collins and Kreitler, 1990



3/25/2022

ATTACHMENT C

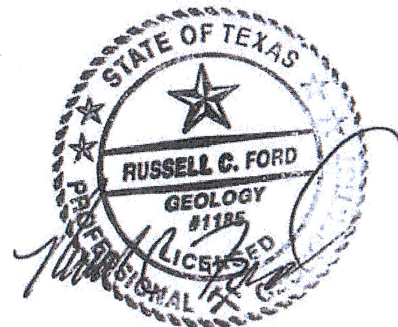
SITE-SPECIFIC GEOLOGY

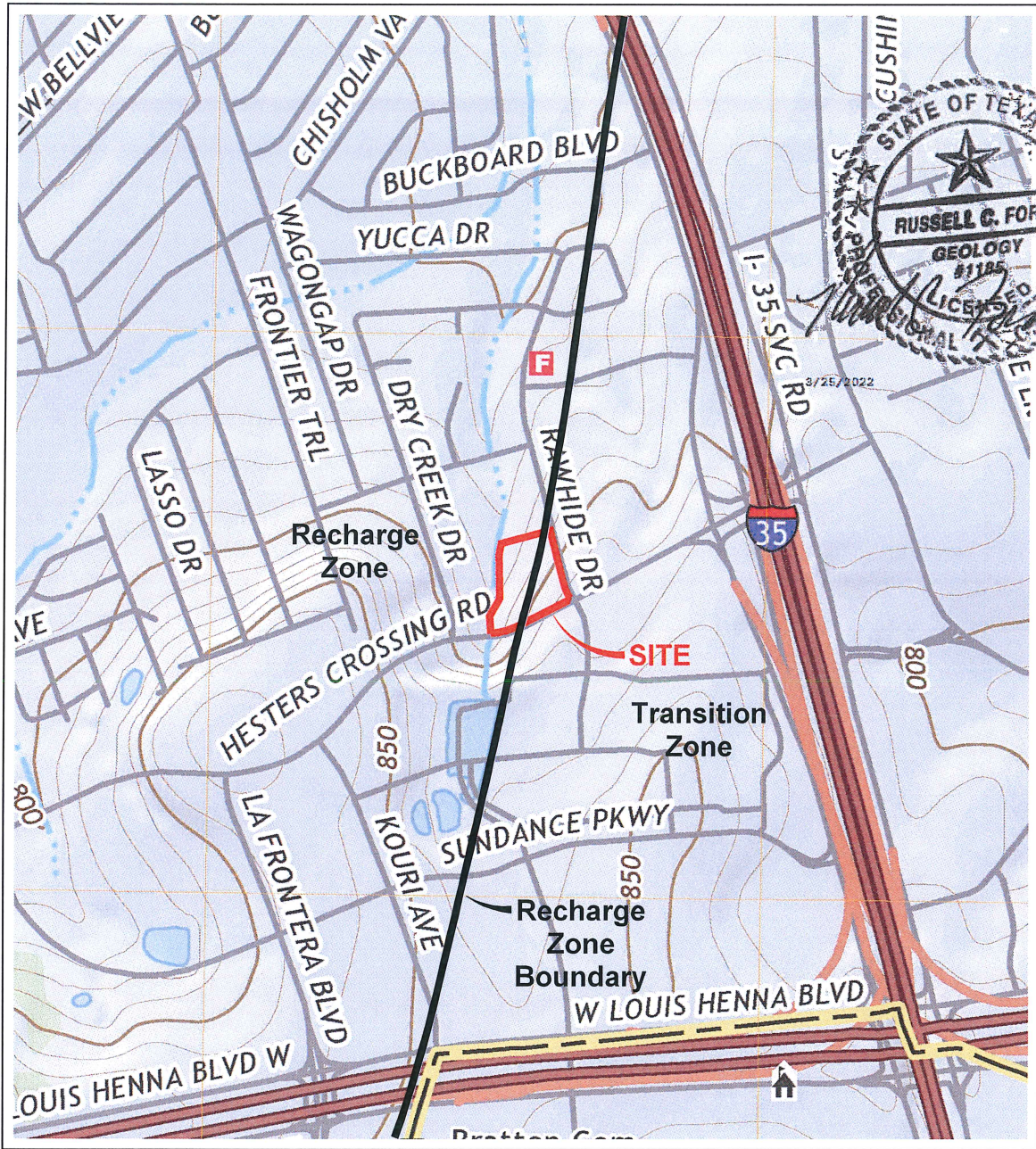
The Geologic Assessment (GA) of the Proposed Round Rock Apartments site was conducted by Mr. Russell C. Ford, P.G., of Terracon Consultants, Inc. on March 17, 2022. The site consists of an approximately 4.1-acre tract of undeveloped property located at 400 Hesters Crossing Road in Round Rock, Texas. Exhibit 1 (attached) is a site location map depicting the site in relation to the surrounding area. The areas immediately surrounding the site are a mix of residential and commercial properties. Site elevation ranges from about 810 feet above mean sea level (msl) to about 780 feet msl and slopes to the northwest.

The surficial geologic units present at the site have been identified as the Buda Formation and the Del Rio Formation. Exhibit 2 (attached) is a geologic map of the site. The Buda Formation consists of calcareous, fossiliferous hard limestone that is somewhat glauconitic. The Buda is about 30 feet thick in the area and forms the upper confining unit for the Edwards Aquifer. The Del Rio Formation consists of calcareous, fossiliferous clay that commonly contains pyrite and gypsum. The Del Rio is about 50 feet thick in the area and is part of the upper confining unit for the Edwards Aquifer and is generally characterized as an aquitard. The unit is poorly exposed in slopes below the Buda and produces a distinct break in slope with the overlying Buda. The fossil oyster *Ilymatogyra arietina* is very abundant and are locally known as “rams horns”. The site is located within both the recharge zone and the transition zone of the Edwards Aquifer. The recharge zone boundary crosses the site as shown on Exhibit 1. Table 1 (attached) is a stratigraphic column prepared for the site. Exposure of the Buda and del Rio Formations onsite is obscured by the existing vegetation and soil cover. The completed Geologic Assessment form is attached. Table 1 (attached) is a stratigraphic column prepared for the site.

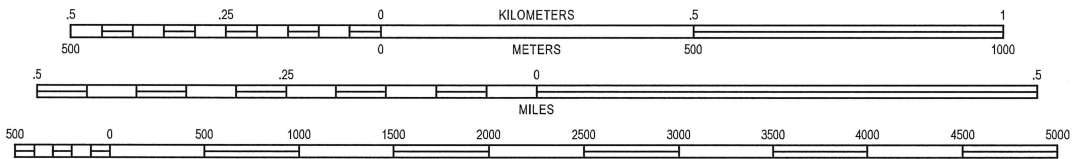
Based on a review of site topography, aerial photographs, and published geologic maps, there are no mapped faults located onsite and no field evidence of onsite faulting was observed. The nearest mapped fault (locally referred to as the Chandler Fault) is located approximately 50 feet west-northwest of the site. The fault is associated with the Balcones fault zone, which is comprised of en echelon, normal, high-angle faults, that are generally down thrown to the southeast and represents the dominant structural trend of the area.

No sensitive geologic features (feature score above 40 points) were observed on the site. Due to the lack of any sensitive recharge features observed on the site and the presence of a relatively impermeable soil cover present, the potential for fluid movement to the Edwards aquifer beneath the site is considered low.





SCALE 1:12,000



CONTOUR INTERVAL 10 FEET

NATIONAL GEODETIC VERTICAL DATUM OF 1988

Pflugerville West, Texas

2019

7.5 MINUTE SERIES (TOPOGRAPHIC)

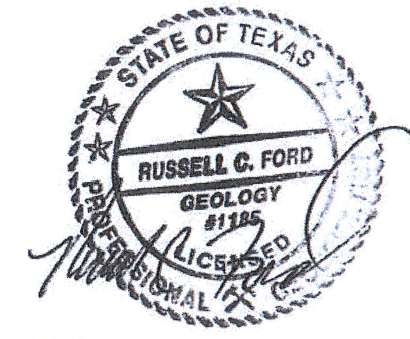
Project Mngr:	RF	Project No.	96217982
Drawn By:	ATX Drafting	Scale:	AS SHOWN
Checked By:	RF	File No.	96217982
Approved By:	RF	Date:	Mar 24, 2022

Terracon
Consulting Engineers and Scientists
5307 INDUSTRIAL OAKS BLVD. - #160 AUSTIN, TX 78735
PH. (512) 442-1122 FAX (512) 442-1181

TOPOGRAPHIC MAP

Proposed Round Rock Apartments
400 Hesters Crossing Road
Round Rock, Williamson County, Texas

EXHIBIT
1

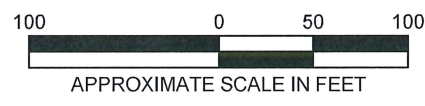


3/25/2022



LEGEND

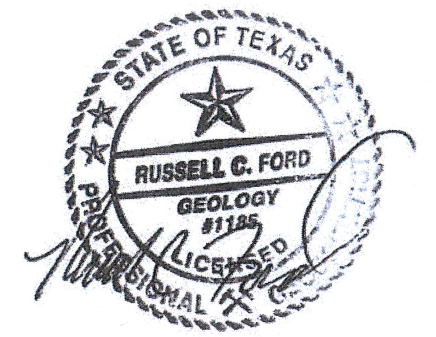
- Site Boundary
- - - - - Creek Tributary
- Kbu** Buda Formation
- Kdr** Del Rio Formation



Project Mngr:	RF	Project No.	96217982
Drawn By:	ATX Drafting	Scale:	AS SHOWN
Checked By:	RF	File No.	96217982
Approved By:	RF	Date:	Mar 24, 2022

Terracon
Consulting Engineers and Scientists
5307 INDUSTRIAL OAKS BLVD. - #160 AUSTIN, TX 78735
PH. (512) 442-1122 FAX (512) 442-1181

SITE GEOLOGIC MAP
Proposed Round Rock Apartments
400 Hesters Crossing Road
Round Rock, Williamson County, Texas

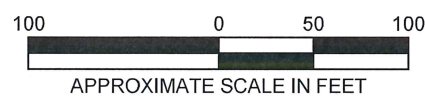


3/25/2022



LEGEND

- Site Boundary
- - - - - Creek Tributary
- FaB** Fairlie Clay (1%-2% slopes)
- FhF2** Ferris-Heiden Complex (5%-15% slopes)
- HedC2** Heiden Clay (2%-5% slopes)
- HeiD3** Heiden Clay (5%-8% slopes)



Project Mngr:	RF	Project No.	96217982
Drawn By:	ATX Drafting	Scale:	AS SHOWN
Checked By:	RF	File No.	96217982
Approved By:	RF	Date:	Mar 24, 2022



SITE SOILS MAP
Proposed Round Rock Apartments
 400 Hesters Crossing Road
 Round Rock, Williamson County, Texas

EXHIBIT
3

Water Pollution Abatement Plan Application

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Water Pollution Abatement Plan Application Form** is hereby submitted for TCEQ review and Executive Director approval. The form was prepared by:

Print Name of Customer/Agent: Anna Hoge

Date: 6/8/23

Signature of Customer/Agent:



Regulated Entity Name: Hesters 4

Regulated Entity Information

1. The type of project is:

- Residential: Number of Lots: _____
- Residential: Number of Living Unit Equivalents: 144
- Commercial
- Industrial
- Other: _____

2. Total site acreage (size of property): 4.176

3. Estimated projected population: 288

4. The amount and type of impervious cover expected after construction are shown below:

Table 1 - Impervious Cover Table

Impervious Cover of Proposed Project	Sq. Ft.	Sq. Ft./Acre	Acres
Structures/Rooftops	72,812	÷ 43,560 =	1.671
Parking	40,995	÷ 43,560 =	0.94
Other paved surfaces		÷ 43,560 =	
Total Impervious Cover	113,807	÷ 43,560 =	2.612

Total Impervious Cover $\frac{2.656}{4.176} \div$ Total Acreage $\frac{4.176}{100} \times 100 = 62.6$ % Impervious Cover

5. Attachment A - Factors Affecting Surface Water Quality. A detailed description of all factors that could affect surface water and groundwater quality that addresses ultimate land use is attached.
6. Only inert materials as defined by 30 TAC §330.2 will be used as fill material.

For Road Projects Only

Complete questions 7 - 12 if this application is exclusively for a road project.

7. Type of project:

- TXDOT road project.
- County road or roads built to county specifications.
- City thoroughfare or roads to be dedicated to a municipality.
- Street or road providing access to private driveways.

8. Type of pavement or road surface to be used:

- Concrete
- Asphaltic concrete pavement
- Other: _____

9. Length of Right of Way (R.O.W.): _____ feet.

Width of R.O.W.: _____ feet.

$L \times W =$ _____ $\text{Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} =$ _____ acres.

10. Length of pavement area: _____ feet.

Width of pavement area: _____ feet.

$L \times W =$ _____ $\text{Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} =$ _____ acres.

Pavement area _____ acres \div R.O.W. area _____ acres $\times 100 =$ _____ % impervious cover.

11. A rest stop will be included in this project.

A rest stop will not be included in this project.

12. Maintenance and repair of existing roadways that do not require approval from the TCEQ Executive Director. Modifications to existing roadways such as widening roads/adding shoulders totaling more than one-half (1/2) the width of one (1) existing lane require prior approval from the TCEQ.

Stormwater to be generated by the Proposed Project

13. **Attachment B - Volume and Character of Stormwater.** A detailed description of the volume (quantity) and character (quality) of the stormwater runoff which is expected to occur from the proposed project is attached. The estimates of stormwater runoff quality and quantity are based on the area and type of impervious cover. Include the runoff coefficient of the site for both pre-construction and post-construction conditions.

Wastewater to be generated by the Proposed Project

14. The character and volume of wastewater is shown below:

<u>100</u> % Domestic	<u>269,568</u> Gallons/day
<u> </u> % Industrial	<u> </u> Gallons/day
<u> </u> % Commingled	<u> </u> Gallons/day
TOTAL gallons/day <u> </u>	

15. Wastewater will be disposed of by:

On-Site Sewage Facility (OSSF/Septic Tank):

Attachment C - Suitability Letter from Authorized Agent. An on-site sewage facility will be used to treat and dispose of the wastewater from this site. The appropriate licensing authority's (authorized agent) written approval is attached. It states that the land is suitable for the use of private sewage facilities and will meet or exceed the requirements for on-site sewage facilities as specified under 30 TAC Chapter 285 relating to On-site Sewage Facilities.

Each lot in this project/development is at least one (1) acre (43,560 square feet) in size. The system will be designed by a licensed professional engineer or registered sanitarian and installed by a licensed installer in compliance with 30 TAC Chapter 285.

Sewage Collection System (Sewer Lines):

Private service laterals from the wastewater generating facilities will be connected to an existing SCS.

Private service laterals from the wastewater generating facilities will be connected to a proposed SCS.

The SCS was previously submitted on .

The SCS was submitted with this application.

The SCS will be submitted at a later date. The owner is aware that the SCS may not be installed prior to Executive Director approval.

The sewage collection system will convey the wastewater to the _____ (name) Treatment Plant. The treatment facility is:

- Existing.
- Proposed.

16. All private service laterals will be inspected as required in 30 TAC §213.5.

Site Plan Requirements

Items 17 – 28 must be included on the Site Plan.

17. The Site Plan must have a minimum scale of 1" = 400'.

Site Plan Scale: 1" = 30 '.

18. 100-year floodplain boundaries:

Some part(s) of the project site is located within the 100-year floodplain. The floodplain is shown and labeled.

No part of the project site is located within the 100-year floodplain.

The 100-year floodplain boundaries are based on the following specific (including date of material) sources(s): _____

19. The layout of the development is shown with existing and finished contours at appropriate, but not greater than ten-foot contour intervals. Lots, recreation centers, buildings, roads, open space, etc. are shown on the plan.

The layout of the development is shown with existing contours at appropriate, but not greater than ten-foot intervals. Finished topographic contours will not differ from the existing topographic configuration and are not shown. Lots, recreation centers, buildings, roads, open space, etc. are shown on the site plan.

20. All known wells (oil, water, unplugged, capped and/or abandoned, test holes, etc.):

There are _____ (#) wells present on the project site and the locations are shown and labeled. (Check all of the following that apply)

The wells are not in use and have been properly abandoned.

The wells are not in use and will be properly abandoned.

The wells are in use and comply with 16 TAC §76.

There are no wells or test holes of any kind known to exist on the project site.

21. Geologic or manmade features which are on the site:

All sensitive geologic or manmade features identified in the Geologic Assessment are shown and labeled.

No sensitive geologic or manmade features were identified in the Geologic Assessment.

Attachment D - Exception to the Required Geologic Assessment. A request and justification for an exception to a portion of the Geologic Assessment is attached.

- 22. The drainage patterns and approximate slopes anticipated after major grading activities.
- 23. Areas of soil disturbance and areas which will not be disturbed.
- 24. Locations of major structural and nonstructural controls. These are the temporary and permanent best management practices.
- 25. Locations where soil stabilization practices are expected to occur.
- 26. Surface waters (including wetlands).
 N/A
- 27. Locations where stormwater discharges to surface water or sensitive features are to occur.
 There will be no discharges to surface water or sensitive features.
- 28. Legal boundaries of the site are shown.

Administrative Information

- 29. Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.
- 30. Any modification of this WPAP will require Executive Director approval, prior to construction, and may require submission of a revised application, with appropriate fees.

ATTACHMENT "A"

FACTORS AFFECTING WATER QUALITY

Factors that could affect the quality of surface water and ground water are the parking and use of motor vehicles on the site. This includes the emission of certain hydrocarbon based substances as well as the tracking of silt. Also, the maintenance of lawn areas could affect the quality of surface water and ground water through runoff of chemical fertilizers or pesticides.

Texas Commission on Environmental Quality

TSS Removal Calculations 04-20-2009

Project Name: **Hesters 4**
 Date Prepared: **02/08/23.**

Additional information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell.
Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-348.
Characters shown in red are data entry fields.
Characters shown in black (Bold) are calculated fields. Changes to these fields will remove the equations used in the spreadsheet.

1. The Required Load Reduction for the total project:

Calculations from RG-348

Pages 3-27 to 3-30

Page 3-29 Equation 3.3: $L_M = 27.2(A_N \times P)$

where:

$L_{M \text{ TOTAL PROJECT}}$ = Required TSS removal resulting from the proposed development = 80% of increased load
 A_N = Net increase in impervious area for the project
 P = Average annual precipitation, inches

Site Data: Determine Required Load Removal Based on the Entire Project

County = **Williamson**
 Total project area included in plan * = **4.18** acres
 Predevelopment impervious area within the limits of the plan * = **0.00** acres
 Total post-development impervious area within the limits of the plan * = **2.71** acres
 Total post-development impervious cover fraction * = **0.65**
 P = **32** inches

$L_{M \text{ TOTAL PROJECT}}$ = **2363** lbs.

* The values entered in these fields should be for the total project area.

Number of drainage basins / outfalls areas leaving the plan area = **1**

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. =	1
Total drainage basin/outfall area =	4.18 acres
Predevelopment impervious area within drainage basin/outfall area =	0.00 acres
Post-development impervious area within drainage basin/outfall area =	2.71 acres
Post-development impervious fraction within drainage basin/outfall area =	0.65
$L_{M \text{ THIS BASIN}}$ =	2363 lbs.

3. Indicate the proposed BMP Code for this basin.

Proposed BMP = **Sand Filter**
 Removal efficiency = **89** percent

Aqualogic Cartridge Filter

- Bioretention
- Contech StormFilter
- Constructed Wetland
- Extended Detention
- Grassy Swale
- Retention / Irrigation
- Sand Filter
- Stormceptor
- Vegetated Filter Strips
- Vortechns
- Wet Basin
- Wet Vault

4. Calculate Maximum TSS Load Removed (L_R) for this Drainage Basin by the selected BMP Type.

RG-348 Page 3-33 Equation 3.7: $L_R = (\text{BMP efficiency}) \times P \times (A_i \times 34.6 + A_p \times 0.54)$

where:

- A_C = Total On-Site drainage area in the BMP catchment area
- A_i = Impervious area proposed in the BMP catchment area
- A_p = Pervious area remaining in the BMP catchment area
- L_R = TSS Load removed from this catchment area by the proposed BMP

A_C =	4.18	acres
A_i =	2.71	acres
A_p =	1.46	acres
L_R =	2698	lbs

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area

Desired L_M THIS BASIN =	2363	lbs.
F =	0.88	

6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area. Pages 3-34 to 3-36

Calculations from RG-348

Rainfall Depth =	1.50	inches
Post Development Runoff Coefficient =	0.46	
On-site Water Quality Volume =	10451	cubic feet

Calculations from RG-348 Pages 3-36 to 3-37

Off-site area draining to BMP =	0.00	acres
Off-site Impervious cover draining to BMP =	0.00	acres
Impervious fraction of off-site area =	0	
Off-site Runoff Coefficient =	0.00	
Off-site Water Quality Volume =	0	cubic feet

Storage for Sediment = 2090
 Total Capture Volume (required water quality volume(s) x 1.20) = 12541 cubic feet
 The following sections are used to calculate the required water quality volume(s) for the selected BMP.
 The values for BMP Types not selected in cell C45 will show NA.

9. Filter area for Sand Filters Designed as Required in RG-348 Pages 3-58 to 3-63

9A. Full Sedimentation and Filtration System

Water Quality Volume for sedimentation basin = 12541 cubic feet
 Minimum filter basin area = 581 square feet
 Maximum sedimentation basin area = 5225 square feet For minimum water depth of 2 feet
 Minimum sedimentation basin area = 1306 square feet For maximum water depth of 8 feet

9B. Partial Sedimentation and Filtration System

Water Quality Volume for combined basins = 12541 cubic feet
 Minimum filter basin area = 1045 square feet
 Maximum sedimentation basin area = 4180 square feet For minimum water depth of 2 feet
 Minimum sedimentation basin area = 261 square feet For maximum water depth of 8 feet

ATTACHMENT "B"

VOLUME AND CHARACTER OF STORMWATER

It is expected that the character of surface water and ground water run-off would be consistent with the development of a multifamily. Constituents would include hydrocarbon based product residues, silt, pesticides, and chemicals resulting from vehicular emissions and landscape maintenance.

The expected volume of run-off was based on the SCS method. This was calculated using curve numbers, which are based on impervious cover and the nature of surfaces over which run-off water flows. These calculations are presented in the HEC-HMS model submitted with this application. The stormwater quality for the site was determined using "Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices". The results from these calculations are presented next page.

ATTACHMENT "C"

SUITABILITY LETTER FROM AUTHORIZED AGENT

There is no OSSF proposed with this project.

ATTACHMENT "D"

EXCEPTION TO THE REQUIRED GEOLOGIC ASSESSMENT

An exception request for the site geologic assessment is not being made.

Temporary Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

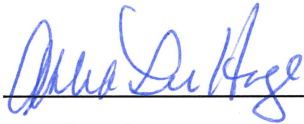
Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Anna Hoge

Date: 5/11/2023

Signature of Customer/Agent:



Regulated Entity Name: Hesters 4

Project Information

Potential Sources of Contamination

Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.

1. Fuels for construction equipment and hazardous substances which will be used during construction:

The following fuels and/or hazardous substances will be stored on the site: _____

These fuels and/or hazardous substances will be stored in:

- Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

- Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
- Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- Fuels and hazardous substances will not be stored on the site.
- 2. **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3. Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4. **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

Sequence of Construction

- 5. **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
 - For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
 - For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6. Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: Lake Creek

Temporary Best Management Practices (TBMPs)

Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.

- 7. **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
 - A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
 - A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
 - A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8. The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
 - There will be no temporary sealing of naturally-occurring sensitive features on the site.
9. **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10. **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
 - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
 - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
 - There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

- There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.

11. **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.

N/A

12. **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.

13. All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.

14. If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).

15. Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.

16. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

Soil Stabilization Practices

Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.

17. **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

18. Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
19. Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

Administrative Information

20. All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
21. If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
22. Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.

ATTACHMENT A SPILL RESPONSE ACTIONS

1.4.16 Spill Prevention and Control

The objective of this section is to describe measures to prevent or reduce the discharge of pollutants to drainage systems or watercourses from leaks and spills by reducing the chance for spills, stopping the source of spills, containing and cleaning up spills, properly disposing of spill materials, and training employees. The following steps will help reduce the stormwater impacts of leaks and spills:

Education

- (1) Be aware that different materials pollute in different amounts. Make sure that each employee knows what a “significant spill” is for each material they use, and what is the appropriate response for “significant” and “insignificant” spills. Employees should also be aware of when spill must be reported to the TCEQ. Information available in 30 TAC 327.4 and 40 CFR 302.4.
- (2) Educate employees and subcontractors on potential dangers to humans and the environment from spills and leaks.
- (3) Hold regular meetings to discuss and reinforce appropriate disposal procedures (incorporate into regular safety meetings).
- (4) Establish a continuing education program to indoctrinate new employees.
- (5) Have contractor’s superintendent or representative oversee and enforce proper spill prevention and control measures.

General Measures

- (1) To the extent that the work can be accomplished safely, spills of oil, petroleum products, substances listed under 40 CFR parts 110,117, and 302, and sanitary and septic wastes should be contained and cleaned up immediately.
- (2) Store hazardous materials and wastes in covered containers and protect from vandalism.
- (3) Place a stockpile of spill cleanup materials where it will be readily accessible.
- (4) Train employees in spill prevention and cleanup.
- (5) Designate responsible individuals to oversee and enforce control measures.

(6) Spills should be covered and protected from stormwater runoff during rainfall to the extent that it doesn't compromise cleanup activities.

(7) Do not bury or wash spills with water.

(8) Store and dispose of used clean up materials, contaminated materials, and recovered spill material that is no longer suitable for the intended purpose in conformance with the revisions in applicable BMPs.

(9) Do not allow water used for cleaning and decontamination to enter storm drains or watercourses. Collect and dispose of contaminated water in accordance with applicable regulations.

(10) Contain water overflow or minor water spillage and do not allow it to discharge into drainage facilities or watercourses.

(11) Place Material Safety Data Sheets (MSDS), as well as proper storage, cleanup, and spill reporting instructions for hazardous materials stored or used on the project site in an open, conspicuous, and accessible location.

(12) Keep waste storage areas clean, well-organized, and equipped with ample cleanup supplies as appropriate for the materials being stored. Perimeter controls, containment structures, covers, and liners should be repaired or replaced as needed to maintain proper function.

Cleanup

(1) Clean up leaks and spills immediately.

(2) Use a rag for small spills on paved surfaces, a damp mop for general cleanup, and absorbent material for larger spills. If the spilled material is hazardous, then the used cleanup materials are also hazardous and must be disposed of as hazardous waste.

(3) Never hose down or bury dry material spills. Clean up as much of the material as possible and dispose of properly. See the waste management BMPs in this section for specific information.

Minor Spills

- (1) Minor spills typically involve small quantities of oil, gasoline, paint, etc. which can be controlled by the first responder at the discovery of the spill.
- (2) Use absorbent materials on small spills rather than hosing down or burying the spill.
- (3) Absorbent materials should be promptly removed and disposed of properly.
- (4) Follow the practice below for a minor spill:
- (5) Contain the spread of the spill.
- (6) Recover spilled materials.
- (7) Clean the contaminated area and properly dispose of contaminated materials.

Semi-Significant Spills

Semi-significant spills still can be controlled by the first responder along with the aid of other personnel such as laborers and the foreman, etc. This response may require the cessation of all other activities. Spills should be cleaned up immediately:

- (1) Contain spread of the spill.
- (2) Notify the project foreman immediately.
- (3) If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods absorbent materials, cat litter and/or rags). Contain the spill by encircling with absorbent materials and do not let the spill spread widely.
- (4) If the spill occurs in dirt areas, immediately contain the spill by constructing an earthen dike. Dig up and properly dispose of contaminated soil.
- (5) If the spill occurs during rain, cover spill with tarps or other material to prevent contaminating runoff.

Significant/Hazardous Spills

For significant or hazardous spills that are in reportable quantities:

- (1) Notify the TCEQ by telephone as soon as possible and within 24 hours at 512-339-2929 (Austin) or 210-490-3096 (San Antonio) between 8 AM and 5 PM. After hours, contact the Environmental Release Hotline at 1-800-832-8224. It is

the contractor's responsibility to have all emergency phone numbers at the construction site.

ATTACHMENT B POTENTIAL SOURCES OF CONTAMINATION

There are no other potential sources of contamination during the development of this site except soil sediments from erosion, leaking fuel or oil from construction vehicles and human litter. Refer to Attachment A for the spill response actions during construction.

ATTACHMENT C

SEQUENCE OF MAJOR ACTIVITIES

1. Install temporary erosion control measures and tree protection fencing. Controls shall be in place before the pre-construction meeting.
2. The contractor shall give the City of Round Rock 48 hours notice before beginning each phase of construction. Telephone 512-801-4460 (Inspectors)
3. Call DIG TESS – Texas Excavation Safety System at (800) 344-8377 for utility location.
4. Rough-cut and grading of site work. The drainage system shall be protected from erosion and shall be maintained throughout the course of construction until final restoration is achieved.
5. Construct utilities under paved areas and above ground structures.
6. Install irrigation and landscaping.
7. Restore all areas disturbed by construction activities.
8. Contractor to coordinate engineer's and landscapes architect's concurrence letters and City's final inspection after receipt of concurrence letters.
9. Complete permanent erosion control and site restoration. Remove and dispose of temporary erosion control measures. Restore any areas disturbed during removal of erosion/sedimentation controls.

ATTACHMENT D

TEMPORARY BEST MANAGEMENT PRACTICES AND MEASURES

The project construction site will have temporary erosion control measures including silt fence, mulch sock, inlet protection devices, and stabilized construction entrance. The sediment controls will be in place before any construction activity begins and will encompass the project site. Please refer to the Notes Sheet on sheet 2 for the Texas Commission on Environmental Quality Water Pollution Abatement Plan General Construction Notes.

Silt fences or mulch socks will be placed downstream of all areas to be disturbed by construction. The silt fence and mulch sock will remove any sediment particles from the stormwater runoff flowing off the site by causing the runoff to pond and allowing heavier solids to settle out. There are no up-gradient flows across the site. After every rainfall, the sediment controls will be checked for integrity. Obstructions, silt, or pollutant accumulations will be removed and properly disposed of at an approved location. The control will be rehabilitated after the maintenance to a condition which will insure its proper performance for the next rainfall event. There are no known naturally occurring sensitive features on or near the project site that would require additional Temporary Best Management Practices and Measures. Inlet protection devices including filter fabric material will be placed at all storm sewer inlets. All temporary measures will be in place during all construction activities and not removed until construction is finished, and Revegetation is established.

ATTACHMENT E
REQUEST TO TEMPORARILY SEAL A FEATURE

We are not requesting to seal any feature.

ATTACHMENT F STRUCTURAL PRACTICES

Silt fencing and mulch socks will be placed on the down gradient side of any exposed soils in order to limit the discharge of silt and pollutants from exposed areas of the site.

ATTACHMENT G
DRAINAGE AREA MAPS

Please refer to Sheet 29 – Existing Drainage Plan and Sheet 30 – Proposed Drainage Plan for the drainage area maps.

ATTACHMENT H

TEMPORARY SEDIMENT POND(S) PLANS & CALCULATIONS

This site has an area no greater than ten acres within a common drainage area that will be disturbed at one time. Erosion and sediments control other than a sediment pond or trap within disturbed drainage area will be used. All plans are signed by a Texas Licensed Professional Engineer.

ATTACHMENT I INSPECTION AND MAINTENANCE FOR BMP'S

Silt fences and mulch socks must be inspected once per week and after significant rainfall events to check for damage and accumulated silt and debris. Any damaged fence must be replaced immediately, and silt or debris accumulations removed.

Inlet protection control structures require frequent maintenance to prevent clogging. Accumulated silt shall be removed when it reaches a depth of two (2) inches or one-third the height of the inlet throat and disposed of in a manner which will not cause additional siltation.

The stabilized construction entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights of way. This may require periodic top dressing with additional stone as conditions demand and repair and/or clean out of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto public rights of way must be removed immediately by contractor. When necessary, wheels must be cleaned to remove sediment prior to entrance onto public right of way. When washing is required, it shall be done on an area stabilized with crushed stone which drains into an approved sediment trap or sediment basin. All sediment shall be prevented from entering any storm drain, ditch or watercourse using approved methods.

ATTACHMENT J
SCHEDULE OF INTERIM AND PERMANENT SOIL
STABILIZATION PRACTICES

As indicated in the construction sequence, silt fence will be in place prior to clearing or grading of any portions of the site. Once construction activities cease permanently, all disturbed areas will be stabilized with permanent seeding and sodding. All seeding shall be in accordance with the Erosion and Sedimentation Control Notes found on Sheet 02 – Note Sheet of the construction plans.

Permanent Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(C), (D)(li), (E), and (5), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Permanent Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Anna Hoge

Date: 6/8/23

Signature of Customer/Agent



Regulated Entity Name: Hesters 4

Permanent Best Management Practices (BMPs)

Permanent best management practices and measures that will be used during and after construction is completed.

- Permanent BMPs and measures must be implemented to control the discharge of pollution from regulated activities after the completion of construction.
 N/A
- These practices and measures have been designed, and will be constructed, operated, and maintained to insure that 80% of the incremental increase in the annual mass loading of total suspended solids (TSS) from the site caused by the regulated activity is removed. These quantities have been calculated in accordance with technical guidance prepared or accepted by the executive director.
 The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site.

A technical guidance other than the TCEQ TGM was used to design permanent BMPs and measures for this site. The complete citation for the technical guidance that was used is: _____

N/A

3. Owners must insure that permanent BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the appropriate regional office within 30 days of site completion.

N/A

4. Where a site is used for low density single-family residential development and has 20 % or less impervious cover, other permanent BMPs are not required. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

The site will be used for low density single-family residential development and has 20% or less impervious cover.

The site will be used for low density single-family residential development but has more than 20% impervious cover.

The site will not be used for low density single-family residential development.

5. The executive director may waive the requirement for other permanent BMPs for multi-family residential developments, schools, or small business sites where 20% or less impervious cover is used at the site. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

Attachment A - 20% or Less Impervious Cover Waiver. The site will be used for multi-family residential developments, schools, or small business sites and has 20% or less impervious cover. A request to waive the requirements for other permanent BMPs and measures is attached.

The site will be used for multi-family residential developments, schools, or small business sites but has more than 20% impervious cover.

The site will not be used for multi-family residential developments, schools, or small business sites.

6. **Attachment B - BMPs for Upgradient Stormwater.**

- A description of the BMPs and measures that will be used to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site is attached.
 - No surface water, groundwater or stormwater originates upgradient from the site and flows across the site, and an explanation is attached.
 - Permanent BMPs or measures are not required to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site, and an explanation is attached.
7. **Attachment C - BMPs for On-site Stormwater.**
- A description of the BMPs and measures that will be used to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff from the site is attached.
 - Permanent BMPs or measures are not required to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff, and an explanation is attached.
8. **Attachment D - BMPs for Surface Streams.** A description of the BMPs and measures that prevent pollutants from entering surface streams, sensitive features, or the aquifer is attached. Each feature identified in the Geologic Assessment as sensitive has been addressed.
- N/A
9. The applicant understands that to the extent practicable, BMPs and measures must maintain flow to naturally occurring sensitive features identified in either the geologic assessment, executive director review, or during excavation, blasting, or construction.
- The permanent sealing of or diversion of flow from a naturally-occurring sensitive feature that accepts recharge to the Edwards Aquifer as a permanent pollution abatement measure has not been proposed.
 - Attachment E - Request to Seal Features.** A request to seal a naturally-occurring sensitive feature, that includes, for each feature, a justification as to why no reasonable and practicable alternative exists, is attached.
10. **Attachment F - Construction Plans.** All construction plans and design calculations for the proposed permanent BMP(s) and measures have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer, and are signed, sealed, and dated. The plans are attached and, if applicable include:
- Design calculations (TSS removal calculations)
 - TCEQ construction notes
 - All geologic features
 - All proposed structural BMP(s) plans and specifications
- N/A

11. **Attachment G - Inspection, Maintenance, Repair and Retrofit Plan.** A plan for the inspection, maintenance, repairs, and, if necessary, retrofit of the permanent BMPs and measures is attached. The plan includes all of the following:
- Prepared and certified by the engineer designing the permanent BMPs and measures
 - Signed by the owner or responsible party
 - Procedures for documenting inspections, maintenance, repairs, and, if necessary retrofit
 - A discussion of record keeping procedures
- N/A
12. **Attachment H - Pilot-Scale Field Testing Plan.** Pilot studies for BMPs that are not recognized by the Executive Director require prior approval from the TCEQ. A plan for pilot-scale field testing is attached.
- N/A
13. **Attachment I - Measures for Minimizing Surface Stream Contamination.** A description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is attached. The measures address increased stream flashing, the creation of stronger flows and in-stream velocities, and other in-stream effects caused by the regulated activity, which increase erosion that results in water quality degradation.
- N/A

Responsibility for Maintenance of Permanent BMP(s)

Responsibility for maintenance of best management practices and measures after construction is complete.

14. The applicant is responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred.
- N/A
15. A copy of the transfer of responsibility must be filed with the executive director at the appropriate regional office within 30 days of the transfer if the site is for use as a multiple single-family residential development, a multi-family residential development, or a non-residential development such as commercial, industrial, institutional, schools, and other sites where regulated activities occur.
- N/A

ATTACHMENT "A"

20% or LESS IMPERVIOUS COVER WAIVER

This project is not seeking an impervious cover waiver.

ATTACHMENT B
BMP's FOR UPGRADIENT STORMWATER

There is no upgradient stormwater that flows across the site.

ATTACHMENT C BMPs FOR ON-SITE STORMWATER

I. Erosion Control

Disturbed areas will be stabilized to prevent the introduction of sediment to adjacent water bodies during wet weather conditions. **Revegetation, Mulch Socks and Filter Fabric (Silt) Fence** will be maintained and remain in place until the area has been stabilized.

II. Post Construction Total Suspended Solids Control

After construction has been completed and the site stabilized, total suspended solids (TSS) loadings shall be controlled by the **Partial Sedimentation/Filtration Water Quality Pond**.

III. Sedimentation Control

Prior to project initiation, the project area must be isolated from adjacent water bodies by the use of **Filter Fabric (Silt) Fence and Mulch Socks**.

ATTACHMENT D

BMP's FOR SURFACE STREAMS

The water quality volume from the site will be cleaned by an on-site water quality pond before it enters any surface streams. The water quality pond volume will be released by the filtration basin pipe underdrain system. No runoff from developed areas of the site is released directly to any surface streams.

ATTACHMENT E

REQUEST TO SEAL FEATURES

We are not requesting to seal a feature.

ATTACHMENT F
CONSTRUCTION PLANS

Please refer to the construction plans being submitted with this application for design calculations for the existing permanent BMP.

ATTACHMENT G

INSPECTION, MAINTENANCE, REPAIR AND RETROFIT PLAN

SEDIMENTATION BASIN

Quarterly: The level of accumulated silt in the basin shall be checked. If depth of silt exceeds 6 inches, it shall be removed and disposed of at an approved off-site disposal location.

The basin shall be checked for accumulated debris and trash. Excessive trash and debris shall be removed. All debris and trash shall be removed at least every six months.

Annually: The basin shall be inspected for structural integrity and repaired if necessary.

After Rainfall: The basin shall be checked after each rainfall occurrence to ensure that it drains within 48 hours after the storm is over. If it does not drain within this time, corrective maintenance will be accomplished.

FILTRATION BASIN

Quarterly: The level of accumulated silt shall be checked. If depth of silt/pollutants exceeds ½-inch, it shall be removed and disposed of at an approved off-site disposal location.

The accumulation of pollutants/oils shall be checked. If the pollutants have significantly reduced the designed capacity of the sand filter, the pollutants shall be removed.

The basin shall be checked for accumulated debris and trash. Excessive trash and debris shall be removed. All debris and trash shall be removed at least every six months.

Annually: The basin shall be inspected for structural integrity and repaired if necessary.

After Rainfall: The basin shall be checked after each rainfall occurrence to insure that it drains within 48 hours after the sedimentation basin has been emptied. If it does not drain within this time, corrective maintenance will be accomplished.

Following any required maintenance, the surface of the filtration basin shall be raked and leveled to restore the system to its designed condition.

Proper disposal of accumulated silt shall be accomplished following TCEQ and City of Austin guidelines and specifications.

Records of the inspections and cleaning shall be retained by the building management company.

An amended copy of this document will be provided to the Texas Natural Resource Conservation Commission within 30 days of any changes in the following information:

Responsible Party: Hesters Crossing Apt Holdings LLC
Mailing Address: 155 Schmitt Blvd
City, State, Zip: Farmingdale, NY 11735
Telephone/Fax: (512)315-3515

Jonathan Marcus
Signature of Responsible Party

6/29/23
Date

ATTACHMENT H

PILOT-SCALE FIELD TESTING PLAN

Not applicable for this project. The BMP was designed using the "Complying with the Edwards Aquifer Rules: Technical Guidance for BMPs".

ATTACHMENT I MEASURES FOR MINIMIZING SURFACE STREAM CONTAMINATION

Under existing conditions, the site generally sheet drains from east to west into Lake Creek Tributary 6. In the developed condition, the runoff will be collected and flow through water quality and detention ponds.

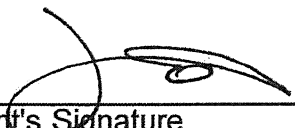
A partial sedimentation/filtration pond is proposed for the development. The pond is designed using "Complying with the Edwards Aquifer Rules Technical Guidance on Best Management Practices. This pond will remove pollutants generated by the development to a level prescribed by the TCEQ.

To control the rate of runoff discharge from the developed site, a detention pond is being constructed. The detention pond will discharge at rates that are below the existing rates for the 2, 10, 25 and 100-year storms.

To control erosion in the creek due to the detention pond discharge, gabion mattresses and gabion baskets will be installed. They will spread and slow down the discharges from the pond.

All of these measures combined will protect the tributary from erosion and contamination.

SIGNATURE PAGE:


Applicant's Signature

6/8/23
Date

THE STATE OF NY §

County of Suffolk §

BEFORE ME, the undersigned authority, on this day personally appeared Jonathan Marcus known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 8 day of June, 2023.

MICHELLE ALLOCCA
Notary Public, State of New York
Reg. No. 01BE6216593
Qualified in Suffolk County
Commission Expires February 24, 2020


NOTARY PUBLIC

Michelle Allocca
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: 2/24/26

Application Fee Form

Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: Hesters 4

Regulated Entity Location: 155 Schmitt Blvd., Farmingdale, NY 11735

Name of Customer: Jonathan Marcus

Contact Person: Anna Hoge

Phone: 512-469-0500

Customer Reference Number (if issued): CN _____

Regulated Entity Reference Number (if issued): RN _____

Austin Regional Office (3373)

Hays

Travis

Williamson

San Antonio Regional Office (3362)

Bexar

Medina

Uvalde

Comal

Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

Austin Regional Office

San Antonio Regional Office

Mailed to: TCEQ - Cashier

Overnight Delivery to: TCEQ - Cashier

Revenues Section

12100 Park 35 Circle

Mail Code 214

Building A, 3rd Floor

P.O. Box 13088

Austin, TX 78753

Austin, TX 78711-3088

(512)239-0357

Site Location (Check All That Apply):

Recharge Zone

Contributing Zone

Transition Zone

Type of Plan	Size	Fee Due
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	4.056 Acres	\$ 4,000.00
Sewage Collection System	L.F.	\$
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	Each	\$
Extension of Time	Each	\$

Signature: Anna Leif Hoge

Date: 6/8/23

Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

Water Pollution Abatement Plans and Modifications

Contributing Zone Plans and Modifications

<i>Project</i>	<i>Project Area in Acres</i>	<i>Fee</i>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

Organized Sewage Collection Systems and Modifications

<i>Project</i>	<i>Cost per Linear Foot</i>	<i>Minimum Fee- Maximum Fee</i>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

Underground and Aboveground Storage Tank System Facility Plans and Modifications

<i>Project</i>	<i>Cost per Tank or Piping System</i>	<i>Minimum Fee- Maximum Fee</i>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

Exception Requests

<i>Project</i>	<i>Fee</i>
Exception Request	\$500

Extension of Time Requests

<i>Project</i>	<i>Fee</i>
Extension of Time Request	\$150



TCEQ Core Data Form

TCEQ Use Only

For detailed instructions regarding completion of this form, please read the Core Data Form Instructions or call 512-239-5175.

SECTION I: General Information

1. Reason for Submission (If other is checked please describe in space provided.)		
<input checked="" type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)	<input type="checkbox"/> Other	
2. Customer Reference Number (if issued)	Follow this link to search for CN or RN numbers in Central Registry**	3. Regulated Entity Reference Number (if issued)
CN		RN

SECTION II: Customer Information

4. General Customer Information		5. Effective Date for Customer Information Updates (mm/dd/yyyy)	
<input checked="" type="checkbox"/> New Customer		<input type="checkbox"/> Update to Customer Information	
<input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)		<input type="checkbox"/> Change in Regulated Entity Ownership	
The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).			
6. Customer Legal Name (If an individual, print last name first: e.g.: Doe, John)		If new Customer, enter previous Customer below:	
Hesters Crossing Apts Holdings LLC			
7. TX SOS/CPA Filing Number	8. TX State Tax ID (11 digits)	9. Federal Tax ID (9 digits)	10. DUNS Number (if applicable)
0137030980	32089026762		
11. Type of Customer:	<input checked="" type="checkbox"/> Corporation	<input type="checkbox"/> Individual	Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited
Government: <input type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> State <input type="checkbox"/> Other	<input type="checkbox"/> Sole Proprietorship	<input type="checkbox"/> Other:	
12. Number of Employees		13. Independently Owned and Operated?	
<input checked="" type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input type="checkbox"/> 501 and higher		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
14. Customer Role (Proposed or Actual) - as it relates to the Regulated Entity listed on this form. Please check one of the following:			
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Operator <input type="checkbox"/> Owner & Operator			
<input type="checkbox"/> Occupational Licensee <input type="checkbox"/> Responsible Party <input type="checkbox"/> Voluntary Cleanup Applicant <input type="checkbox"/> Other:			
15. Mailing Address:	115 Schmitt Blvd		
	City	Farmingdale	State NY ZIP 11735 ZIP + 4
16. Country Mailing Information (if outside USA)		17. E-Mail Address (if applicable)	
		jmarcus@marcusbuild.com	
18. Telephone Number	19. Extension or Code	20. Fax Number (if applicable)	
(512) 315 - 3515		() -	

SECTION III: Regulated Entity Information

21. General Regulated Entity Information (If "New Regulated Entity" is selected below this form should be accompanied by a permit application)	
<input checked="" type="checkbox"/> New Regulated Entity <input type="checkbox"/> Update to Regulated Entity Name <input type="checkbox"/> Update to Regulated Entity Information	
The Regulated Entity Name submitted may be updated in order to meet TCEQ Agency Data Standards (removal of organizational endings such as Inc, LP, or LLC).	
22. Regulated Entity Name (Enter name of the site where the regulated action is taking place.)	
Hesters Crossing Apartments Round Rock	

23. Street Address of the Regulated Entity: (No PO Boxes)	2200 Rawhide Drive						
	City	Round Rock	State	TX	ZIP	78681	ZIP + 4
24. County	Williamson						

Enter Physical Location Description if no street address is provided.

25. Description to Physical Location:	The subject property is located at the North West quadrant of the Rawhide Drive and Hesters Crossing intersection.						
26. Nearest City	Round Rock			State	TX	Nearest ZIP Code	78681
27. Latitude (N) In Decimal:	Degrees		Minutes	Seconds	28. Longitude (W) In Decimal:	Degrees	
	30	29	16		97	40	54
29. Primary SIC Code (4 digits)	1522	30. Secondary SIC Code (4 digits)	6513	31. Primary NAICS Code (5 or 6 digits)	236116	32. Secondary NAICS Code (5 or 6 digits)	531110
33. What is the Primary Business of this entity? (Do not repeat the SIC or NAICS description.)							
Land Development and Lessor of Commercial Real Estate							
34. Mailing Address:	155 Schmitt Blvd						
	City	Farmingdale	State	NY	ZIP	11735	ZIP + 4
35. E-Mail Address:	jmarcus@marcusbuild.com						
36. Telephone Number		37. Extension or Code		38. Fax Number (if applicable)			
(512) 315 - 3515				() -			

39. TCEQ Programs and ID Numbers Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.

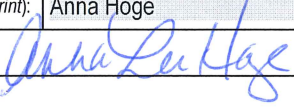
<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Waste Water	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

SECTION IV: Preparer Information

40. Name:	Mark T. Burson, P.E.	41. Title:	Senior Engineer
42. Telephone Number	43. Ext./Code	44. Fax Number	45. E-Mail Address
(512) 469 - 0500		() -	tburson@consortinc.com

SECTION V: Authorized Signature

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

Company:	Consort, Inc.	Job Title:	Sr. Project Manager
Name (In Print):	Anna Hoge	Phone:	(512) 469 - 500
Signature:		Date:	6/30/2023

REVISIONS/CORRECTIONS

Number	Description	Round Rock Approval Signature	Date Imaged

NOTES:

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

THIS PROJECT WILL PROVIDE ON SITE DETENTION TO MEET CITY CODE.

THIS SITE IS LOCATED IN THE EDWARDS AQUIFER RECHARGE ZONE AS WELL AS THE EDWARDS AQUIFER RECHARGE ZONE.

ALL CONSTRUCTION SHALL BE IN FULL COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS AND STATUTES; INCLUDING BUT NOT LIMITED TO THE OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA).

APPROVAL OF THESE PLANS BY THE CITY OF ROUND ROCK INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

LEGAL DESCRIPTION:
BLOCK A, LOT 1A
AMENDING PLAT OF LOT 1, LOT 2, AND LOT 3, BLOCK "A" FOUR
POINTS BY SHERATON SUBDIVISION

BENCHMARK:

BM 1: COTTON SPINDLE SET IN THE BACK OF CURB FOR CHAPARRAL CONTROL POINT CH100. SET NEAR THE NORTHEAST CORNER OF SUBJECT.

ELEV.=788.82'

BM 2: TRIANGLE CUT IN THE SIDEWALK ON THE NORTH SIDE OF HESTERS CROSSING +/- 257' SOUTHWEST OF THE INTERSECTION OF HESTERS CROSSING AND RAWHIDE DRIVE.

ELEV.=802.11'

BM 3: 2" CITY OF ROUND ROCK BRASS DISK FOUND IN THE WEST END OF CONCRETE HEADWAL ON THE NORTH SIDE OF HESTERS CROSSING.

ELEV.=795.95'

VERTICAL DATUM: NAVD 88 (GEOID 18)

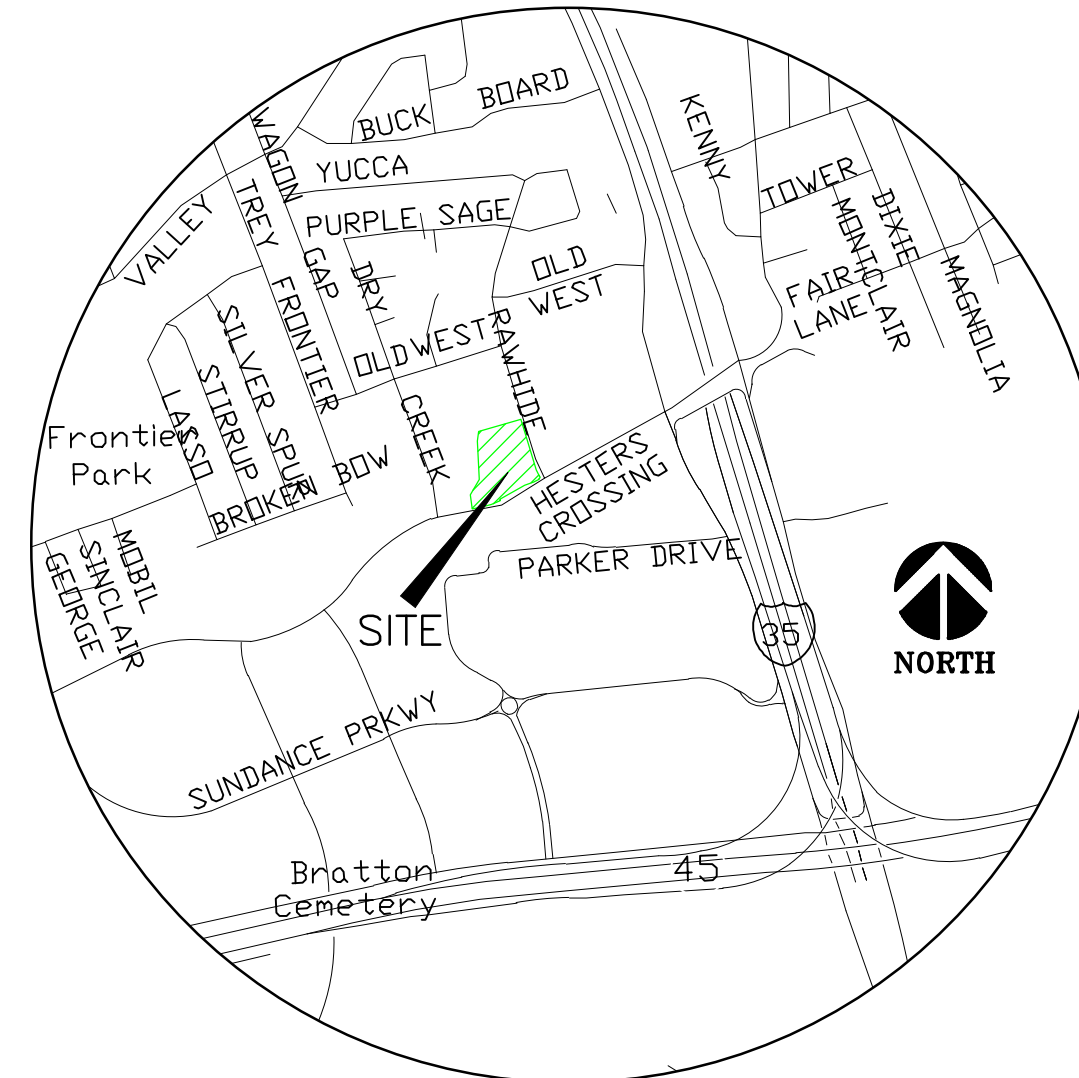
SITE DEVELOPMENT IMPROVEMENTS FOR HESTERS 4 APARTMENTS

DEVELOPER:
HIGH RUSTLER VENTURES, LLC
AUSTIN, TEXAS 78748

OWNER:
K HOTELS & RESORTS LLC
1802 PROSPECT ST HOUSTON, TEXAS 77004

2240 RAWHIDE DRIVE ROUND ROCK, TEXAS 78681

Site Planning, Engineering, & Landscape Architecture



LOCATION MAP
NOT TO SCALE

Sheet List Table

Sheet Number	Sheet Title
01	COVER PAGE
02	NOTE SHEET
03	PLAT
04	EXISTING CONDITION PLAN A
05	EXISTING CONDITION PLAN B
06	TREE, PROTECTION AND MITIGATION PLAN
07	EROSION SEDIMENTATION CONTROL A
08	EROSION SEDIMENTATION CONTROL B
09	EROSION SEDIMENTATION CONTROL DETAILS
10	OVERALL SITE PLAN
11	DETAILED SITE PLAN A
12	DETAILED SITE PLAN B
13	FIRE COVERAGE PLAN
14	SITE PLAN DETAILS
15	SITE PLAN DETAILS
16	UTILITY PLAN A
17	UTILITY PLAN B
18	PUBLIC WATER PLAN AND PROFILES
19	PUBLIC WASTEWATER PLAN AND PROFILES
20	UTILITY DETAILS 1
21	UTILITY DETAILS 2
22	STORM SEWER PLAN A
23	STORM SEWER PLAN B
24	RETAINING WALL DESIGN
25	DIMENSION CONTROL PLAN A
26	DIMENSION CONTROL PLAN B
27	GRADING PLAN A
28	GRADING PLAN B
29	EXISTING DRAINAGE PLAN
30	PROPOSED DRAINAGE PLAN
31	STORM WATER DETENTION & WATER QUALITY PLAN
32	GARAGE PLAN L1
33	GARAGE PLAN B1
34	GARAGE PLAN B2
35	ARCHITECTURAL ELEVATIONS N-E
36	ARCHITECTURAL ELEVATIONS S-W
37	LANDSCAPE PLAN A
38	LANDSCAPE PLAN B
39	LANDSCAPE DETAILS 1
40	LIGHTING PLAN

ENGINEER/LANDSCAPE ARCHITECT:
CONSORT, INC.
1609 SHOAL CREEK BLVD, SUITE 300
AUSTIN, TEXAS 78701
512-469-0500
Contact: ANNA HOGE

ARCHITECT:
NILES BOLTON ASSOCIATES
3060 PEACHTREE RD NW, STE 600
ATLANTA, GA 30305
404.365.7600
CONTACT: CAREN HAMMETT

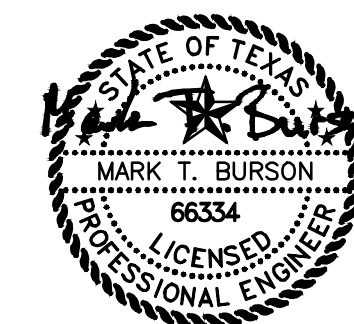
IMPERVIOUS COVER TABLE

	TOTAL
TOTAL EXISTING IMPERVIOUS COVER	0 S.F.
TOTAL PROPOSED IMPERVIOUS COVER	115,215 S.F.
% OF TOTAL SITE PROPOSED IMPERVIOUS COVER	65.23 %

ACCEPTED FOR CONSTRUCTION: _____ Date _____
City of Round Rock, Texas, Engineering and Development Services Department
Site Plan Development Permit Number _____
Recorded Plat Document Number _____
WFAP Document Number _____ Approval Date _____

STATE OF TEXAS
COUNTY OF WILLIAMSON

I, Mark T. Burson, o hereby certify that the Public Works and Drainage Improvements described herein have been designed in compliance with the subdivision and building regulation ordinances and stormwater drainage policy adopted by the city of Round Rock, Texas.



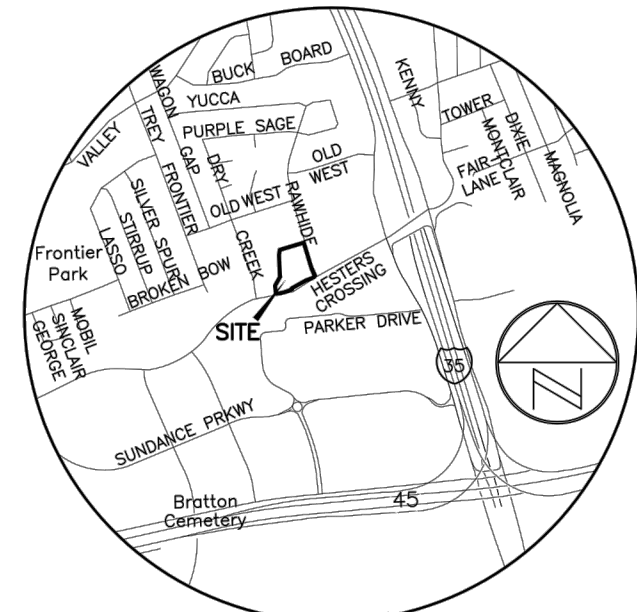
Mark T. Burson 6/8/2023
SIGNATURE DATE

SHT. 1
OF 42

SDP2212-0003

DRAWING FILENAME: J:\Work\1587-003\Site Dev Plans\01-CV.dwg DATE: Jun 12, 2023 - 12:02pm CAD OPERATOR: Nate Alvaredo

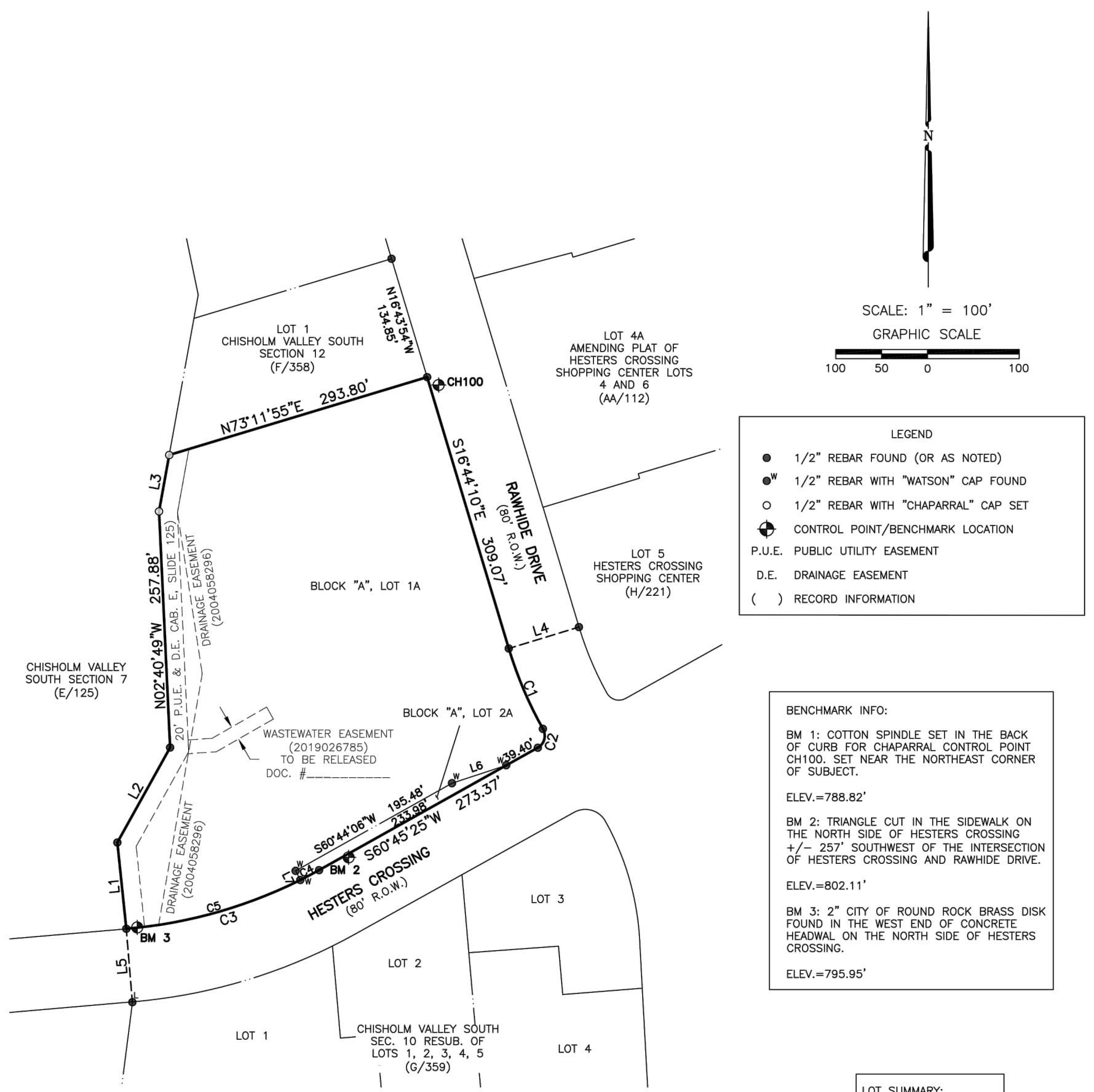
AMENDING PLAT OF
LOT 1, LOT 2, AND LOT 3, BLOCK "A"
FOUR POINTS BY SHERATON SUBDIVISION



LOCATION MAP
NOT TO SCALE

PATENT SURVEY: JACOB M. HARRELL LEAGUE, A-284
ENGINEER:
CONSORT
1809 SHEAL CREEK BOULEVARD, STE. 300
AUSTIN, TEXAS 78701
TBPELS FIRM NO. F-809
CONTACT: ANNA LEE HOPE, P.L.A., LEED AP, ASLA
SURVEYOR:
CHAPARRAL PROFESSIONAL LAND SURVEYING, INC.
3500 MCCALL LANE
AUSTIN, TX 78744
TBPELS FIRM NO. 10124500
CONTACT: BRYAN D. NEWSOME, R.P.L.S.

AMENDING PLAT OF BLOCK "A" LOT 1, BLOCK
"A" LOT 2 AND BLOCK "A" LOT 3 FOUR
POINTS BY SHERATON SUBDIVISION
OWNER: K HOTELS AND RESORTS
MOEZ MARKEEN, PRESIDENT
1802 PROSPECT ST.
HOUSTON, TX 77004
SUBMITTAL DATE: XXXXXX XX, 2022



- LEGEND
- 1/2" REBAR FOUND (OR AS NOTED)
 - 1/2" REBAR WITH "WATSON" CAP FOUND
 - 1/2" REBAR WITH "CHAPARRAL" CAP SET
 - ⊕ CONTROL POINT/BENCHMARK LOCATION
 - P.U.E. PUBLIC UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - () RECORD INFORMATION

BENCHMARK INFO:

BM 1: COTTON SPINDLE SET IN THE BACK OF CURB FOR CHAPARRAL CONTROL POINT CH100, SET NEAR THE NORTHEAST CORNER OF SUBJECT.
ELEV.=788.82'

BM 2: TRIANGLE CUT IN THE SIDEWALK ON THE NORTH SIDE OF HESTERS CROSSING +/- .251' SOUTHWEST OF THE INTERSECTION OF HESTERS CROSSING AND RAWHIDE DRIVE.
ELEV.=802.11'

BM 3: 2" CITY OF ROUND ROCK BRASS DISK FOUND IN THE WEST END OF CONCRETE HEADWALL ON THE NORTH SIDE OF HESTERS CROSSING.
ELEV.=795.95'

LOT SUMMARY:
LOT 1-A: 4.056 ACRES
LOT 2-A: 0.062 ACRE
TOTAL ACREAGE: 4.118

LINE	BEARING	DISTANCE
L1	N05°54'31"W	94.57'
L2	N29°01'51"E	118.50'
L3	N10°14'15"E	62.50'
L4	N73°01'51"E	79.96'
L5	S04°43'14"E	80.34'
L6	S71°47'39"W	62.32'
L7	S27°03'34"E	11.28'

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	440.60'	12°24'38"	95.44'	S22°59'58"E	95.25'
C2	15.00'	90°33'07"	23.71'	S15°07'32"W	21.32'
C3	522.22'	24°17'13"	221.36'	S73°05'03"W	215.71'
C4	522.22'	2°32'06"	23.10'	N62°12'30"E	23.10'
C5	522.22'	21°45'07"	198.26'	N74°21'06"E	197.07'

- GENERAL NOTES:
- ALL PLAT BOUNDARY CORNERS ARE STAKED WITH 1/2-INCH IRON RODS WITH PLASTIC CAPS STAMPED "CHAPARRAL" UNLESS OTHERWISE INDICATED.
 - GAS SERVICE WILL BE PROVIDED BY ATMOS ENERGY.
 - ELECTRIC SERVICE WILL BE PROVIDED BY ONCOR.
 - THIS TRACT IS LOCATED WITHIN THE EDWARDS AQUIFER TRANSITION ZONE.
 - WATER AND SEWER SERVICE FOR THIS SUBDIVISION WILL BE PROVIDED BY CITY OF ROUND ROCK.
 - ALL BEARINGS SHOWN HEREON ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM, TEXAS CENTRAL ZONE IN TERMS OF NAD 83 DATUM EXPRESSED IN U.S. SURVEY FEET. SURFACE DISTANCES SHOWN HEREON MAY BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED FACTOR OF 0.99999014.
 - THE COUNTY ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF REPRESENTATIONS BY OTHER PARTIES IN THIS PLAT. FLOOD PLAIN DATA, IN PARTICULAR, MAY CHANGE DEPENDING ON SUBSEQUENT DEVELOPMENT. IT IS FURTHER UNDERSTOOD THAT THE OWNERS OF THE TRACT OF LAND COVERED BY THIS PLAT MUST INSTALL AT THEIR OWN EXPENSE ALL TRAFFIC CONTROL DEVICES AND SIGNAGE THAT MAY BE REQUIRED BEFORE THE STREETS IN THE SUBDIVISION HAVE FINALLY BEEN ACCEPTED FOR MAINTENANCE BY THE COUNTY.
 - THIS REPLAT IS SUBJECT TO ALL APPLICABLE RECORDED EASEMENTS AND RESTRICTIONS AS SET FORTH IN THE ORIGINAL PLAT OF FOUR POINTS BY SHERATON SUBDIVISION, AS RECORDED IN DOCUMENT NO. 2019039270 IN THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS.
 - ALL SIDEWALKS ARE TO BE MAINTAINED BY EACH OF THE ADJACENT PROPERTY OWNERS.
 - THIS SUBDIVISION IS SUBJECT TO STORM-WATER MANAGEMENT CONTROLS AS REQUIRED BY WILLIAMSON COUNTY SUBDIVISION REGULATIONS, SECTION 811.1, ON NEW DEVELOPMENT THAT WOULD REVOKE SUCH CONTROLS BEYOND EXISTING CONDITIONS.
 - IT IS THE RESPONSIBILITY OF THE OWNER, NOT THE COUNTY OR THE CITY OF ROUND ROCK, TO ASSURE COMPLIANCE WITH THE PROVISIONS OF ALL APPLICABLE STATE, FEDERAL AND LOCAL LAWS AND REGULATIONS RELATING TO THE PLATING AND DEVELOPMENT OF THIS PROPERTY.
 - ALL EASEMENTS AS SHOWN ON THIS PLAT ARE FREE OF LIENS.

Chaparral
Professional Land Surveying, Inc.
Surveying and Mapping
3500 McCall Lane
Austin, Texas 78744
512-443-1724
T.B.P.E.L.S. Firm No. 10124500

PROJECT NO.: 1900-001
DRAWING NO.: 1900-001-PL
PLOT DATE: 09/23/2022
PLOT SCALE: 1"=100'
DRAWN BY: RGH
SHEET 01 OF 02

CB-XX-XXXXXXX

Chaparral
Professional Land Surveying, Inc.
Surveying and Mapping
3500 McCall Lane
Austin, Texas 78744
512-443-1724
T.B.P.E.L.S. Firm No. 10124500

PROJECT NO.: 1900-001
DRAWING NO.: 1900-001-PL
PLOT DATE: 09/23/2022
PLOT SCALE: 1"=100'
DRAWN BY: RGH
SHEET 02 OF 02

CB-XX-XXXXXXX

AMENDING PLAT OF
LOT 1, LOT 2, AND LOT 3, BLOCK "A"
FOUR POINTS BY SHERATON SUBDIVISION

THAT K HOTELS AND RESORTS, LLC, BEING OWNER OF LOTS 1, 2, AND 3, BLOCK "A", FOUR POINTS BY SHERATON SUBDIVISION A SUBDIVISION OF RECORD IN DOCUMENT NO. 2019039270 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, CONVEYED BY DEED OF RECORD DOCUMENT NUMBER 2008027800 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, AND SAID SUBDIVISION HAVING BEEN APPROVED FOR RESUBDIVISION PURSUANT TO THE PUBLIC NOTIFICATION AND HEARING PROVISIONS OF CHAPTER 212.014 OF THE LOCAL GOVERNMENT CODE,

DO HEREBY AMEND 4.118 ACRES IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS:
AMENDING PLAT OF LOT 1, LOT 2, AND LOT 3, BLOCK "A" FOUR POINTS BY SHERATON SUBDIVISION
AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS AND EASEMENT SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

JONATHAN MARCUS
K HOTELS AND RESORTS, LLC.

THE STATE OF TEXAS §
COUNTY OF WILLIAMSON §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____, 2021, BY JONATHAN MARCUS AS AUTHORIZED REPRESENTATIVE OF HESTERS CROSSINGS APTS HOLDINGS, LLC, A DELAWARE LIMITED LIABILITY COMPANY ON BEHALF OF SAID HESTERS CROSSINGS APTS HOLDINGS, LLC.

NOTARY PUBLIC, STATE OF TEXAS
PRINTED NAME:
MY COMMISSION EXPIRES:

THE STATE OF TEXAS §
COUNTY OF WILLIAMSON §

THAT I, BRYAN D. NEWSOME, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH CHAPTER 36, SUBDIVISIONS, CODE OF ORDINANCES, CITY OF ROUND ROCK, 2010 EDITION AS AMENDED.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. (Per "The Board of Professional Land Surveying" Texas Administrative Code, Title 22, Part 6, Chapter 138, Subchapter (9), Rule 138.33)
BRYAN D. NEWSOME, R.P.L.S. DATE _____
CHAPARRAL PROFESSIONAL LAND SURVEYING, INC.
3500 MCCALL LANE
AUSTIN, TX 78744
TBPELS FIRM NO. 10124500

OWNER'S RESPONSIBILITIES
IN APPROVING THIS PLAT BY THE COMMISSIONERS COURT OF WILLIAMSON COUNTY, TEXAS, IT IS UNDERSTOOD THAT THE BUILDING OF ALL STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES AND ANY BRIDGES OR CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IS THE RESPONSIBILITY OF THE OWNERS OF THE TRACT OF LAND COVERED BY THIS PLAT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PRESCRIBED BY THE COMMISSIONERS COURT OF WILLIAMSON COUNTY, TEXAS. SAID COMMISSIONERS COURT ASSUMES NO OBLIGATION TO BUILD ANY OF THE STREETS, ROADS OR OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT OR OF CONSTRUCTING ANY OF THE BRIDGES OR DRAINAGE IMPROVEMENTS IN CONNECTION THEREWITH. THE COUNTY WILL ASSUME NO RESPONSIBILITY FOR DRAINAGE WAYS OR EASEMENTS IN THE SUBDIVISION, OTHER THAN THOSE DRAINING OR PROTECTING THE ROAD SYSTEM AND STREETS.

THE COUNTY ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF REPRESENTATIONS BY OTHER PARTIES IN THIS PLAT. FLOOD PLAIN DATA, IN PARTICULAR, MAY CHANGE DEPENDING ON SUBSEQUENT DEVELOPMENT. IT IS FURTHER UNDERSTOOD THAT THE OWNERS OF THE TRACT OF LAND COVERED BY THIS PLAT MUST INSTALL AT THEIR OWN EXPENSE ALL TRAFFIC CONTROL DEVICES AND SIGNAGE THAT MAY BE REQUIRED BEFORE THE STREETS IN THE SUBDIVISION HAVE FINALLY BEEN ACCEPTED FOR MAINTENANCE BY THE COUNTY.

THE STATE OF TEXAS §
COUNTY OF WILLIAMSON §

KNOW ALL MEN BY THESE PRESENTS:
I, BILL GAVELL, JR., COUNTY JUDGE OF WILLIAMSON COUNTY, TEXAS DO HEREBY CERTIFY THAT THIS MAP OR PLAT, A SUBDIVISION, REPLAT OF LOT 9, BLOCK, TERAVISTA COM 24, HAVING BEEN FULLY PRESENTED TO THE COMMISSIONER'S COURT OF WILLIAMSON COUNTY, TEXAS AND BY THE SAID COURT DULY CONSIDERED, WAS ON THIS DAY APPROVED AND SAID PLAT IS AUTHORIZED TO BE REGISTERED AND RECORDED IN THE OFFICIAL PUBLIC RECORDS OF THE COUNTY CLERK OF WILLIAMSON COUNTY, TEXAS.

BILL GAVELL, JR., COUNTY JUDGE DATE _____
WILLIAMSON COUNTY, TEXAS

THE STATE OF TEXAS §
COUNTY OF WILLIAMSON §

THAT I, NANCY RISTER, CLERK OF THE COUNTY COURT OF SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH ITS CERTIFICATION OF AUTHENTICATION, WAS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF _____, A.D. 2022, AT ____ O'CLOCK ____ M. AND DULY RECORDED ON THE ____ DAY OF _____, A.D. 2022 AT ____ O'CLOCK ____ M. IN THE PLAT RECORDS OF SAID COUNTY, IN DOCUMENT NO. _____.

WITNESS MY HAND AND SEAL OF THE COUNTY COURT OF SAID COUNTY, AT OFFICE IN GEORGETOWN, TEXAS, THE DATE LAST ABOVE WRITTEN.
NANCY RISTER, CLERK, COUNTY COURT
WILLIAMSON COUNTY, TEXAS

BY: _____
DEPUTY

HGH RIGHT LER VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681

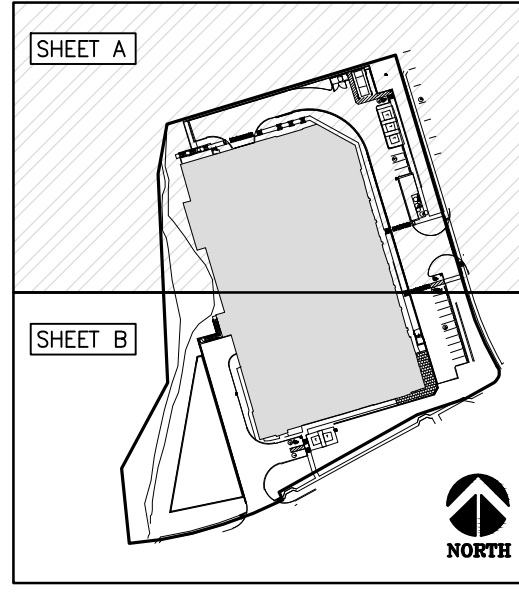
PLAT

Consort, Inc
3500 McCall Lane / Suite 11784 / (512) 443-1724
T.B.P.E. Firm Registration No. F-809

JOB NO.: 1587-003
DRAWN BY:
SCALE: 06/08/23
FILE:
XREF:
REV./CORR:

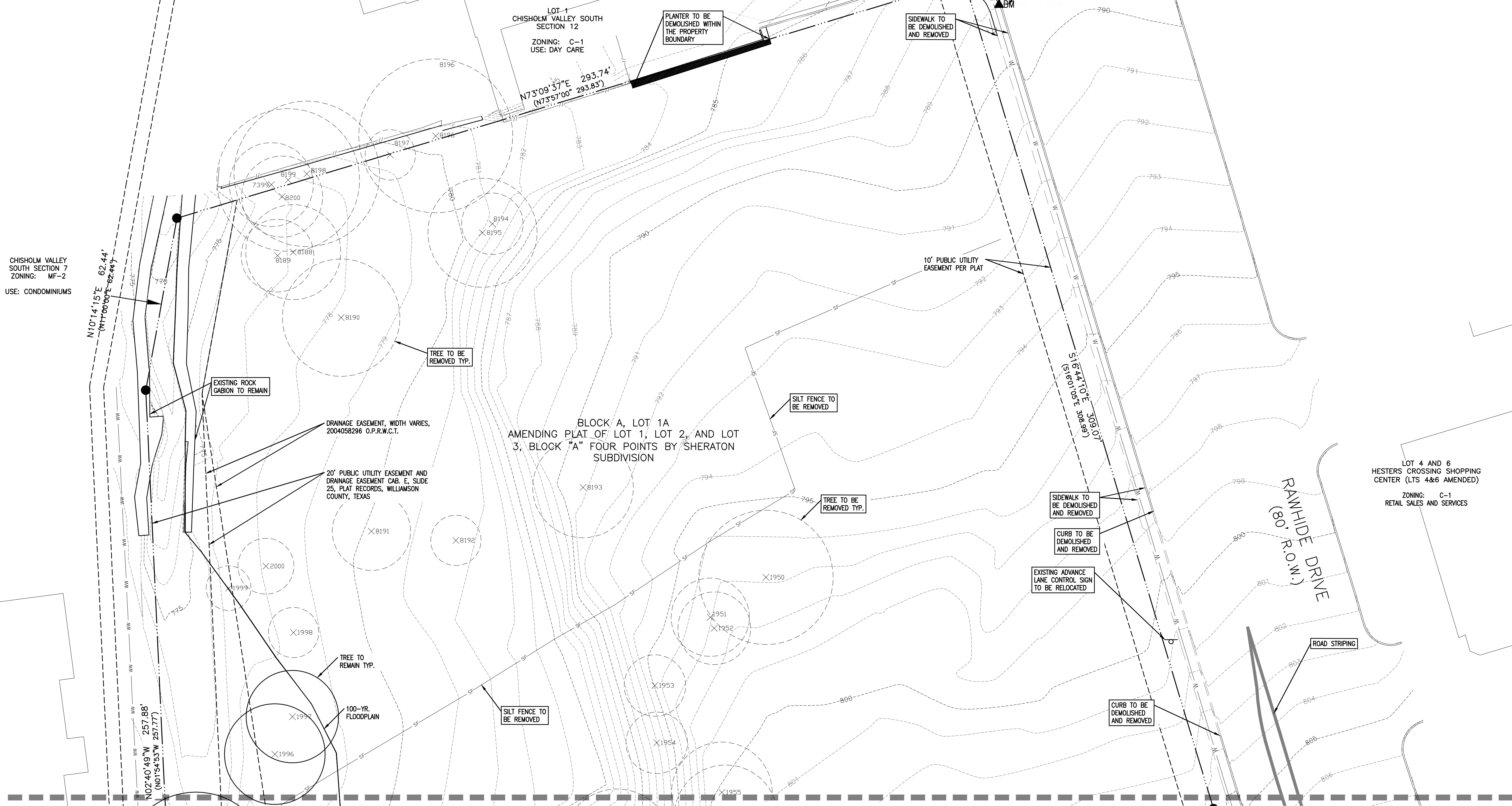
SHEET
03
of
40

FILE: J:\WORK\1587-003\SITE DEV PLANS\03-PLAT.DWG - PLOTTED ON: 06/08/23 9:28AM - BY: ATOURGATE



KEY MAP
SCALE: N.T.S.

CHISHOLM VALLEY SOUTH SECTION 7 ZONING: MF-2 USE: CONDOMINIUMS



MATCHLINE SHEET 05



DEMOLITION NOTES

1. A SITE PLAN EXEMPTION FOR DEMOLITION OF THE EXISTING STRUCTURES WAS OBTAINED UNDER CASE NUMBER 2022-115325.
2. METER RETURN NOTE: COORDINATE WITH CITY OF AUSTIN INSPECTOR FOR METER RETURN(S) TO AUSTIN WATER.
3. ABANDON AT THE MAIN PER DETAILS ALL W AND WW SERVICES THAT ARE NOT GOING TO BE USED.

LEGEND

①	P.R.W.C.T. PLAT RECORDS WILLIAMSON COUNTY, TEXAS	⊕	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
②	SPACE NUMBER	⊕	PROPOSED CONCRETE WALK
③	ACCESSIBLE PARKING SPACE	⊕	PROPOSED ASPHALT PAVING
TC	TOP OF CURB	⊕	PROPOSED CONTOUR MORTAR STACK ROCK WALL
BC	BOTTOM OF CURB	⊕	RETAINING WALL
HP	HIGH POINT	⊕	4" HT. WOOD FENCE
GRD	GROUND	⊕	WATER LINE
FL	FLOW LINE	⊕	WASTE WATER LINE
FG	TOP OF GRATE	⊕	STORM DRAIN LINE
TW	TOP OF WALL	⊕	OVERHEAD UTILITIES
PWMT	PAVEMENT	⊕	DOWN GUY
MH	MANHOLE	⊕	UNDERGROUND UTILITIES
CO	CLEANOUT	⊕	GAS LINE
REF. DET.	REFER DETAIL	⊕	EXISTING TREE TO REMAIN
REF. ARCH.	REFER ARCHITECTURAL PLANS	⊕	EXISTING TREE TO BE REMOVED
TYP.	TYPICAL	⊕	SILT FENCE
CONC.	CONCRETE	⊕	FILTER DIKE
EXIST.	EXISTING	⊕	TREE PROTECTION FENCE
N87°00'00"E	SURVEY DATA	⊕	EXIST. SIGN
N87°00'00"E	RECORD DATA	⊕	EXIST. LIGHT POLE
BM	BENCHMARK	⊕	DOWNPOUTS
TBM	TEMPORARY BENCHMARK	⊕	HAND RAILS
IRON ROD FOUND	SURVEY MONUMENT	⊕	TRAFFIC GUARD RAIL
IRON ROD SET	IRON ROD FOUND	⊕	FIRE LINE DESIGNATION
COTTON GIN BOLT	COTTON GIN BOLT	⊕	ACCESSIBLE ROUTE
PROPERTY LINE	PROPERTY LINE	⊕	UNDERGROUND ELECTRIC
LIMITS OF CONSTRUCTION	LIMITS OF CONSTRUCTION	⊕	
100.00	EXISTING SPOT ELEVATION	⊕	
100.00	PROPOSED SPOT ELEVATION	⊕	
100.00	EXISTING CONTOUR	⊕	
100.00	BOTTOM OF POND	⊕	

ATTENTION

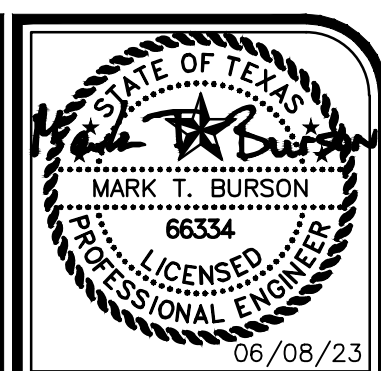
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

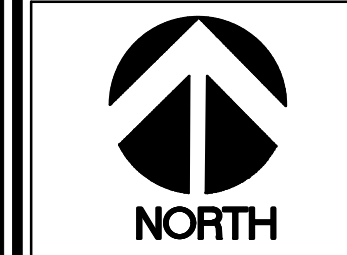
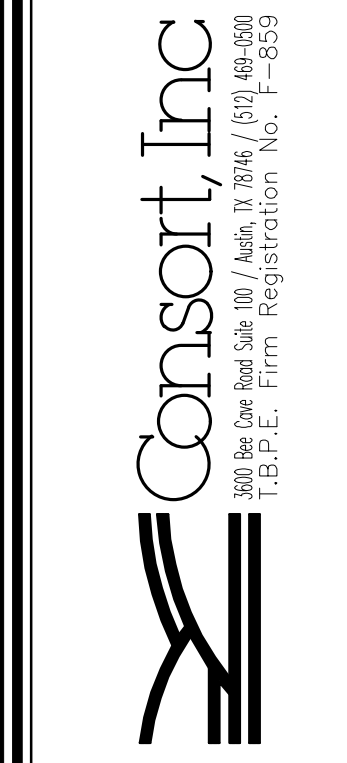
FILE: J:\WORK\1587-003\SITE DEV PLANS\04-05-EXISTING CONDITION PLAN.DWG - PLOTTED ON: 06/08/23 9:28AM - BY: ATOURGATE

Consort, Inc. Copyright © 2022.
NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS OR STORED IN A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF CONSORT, INC.



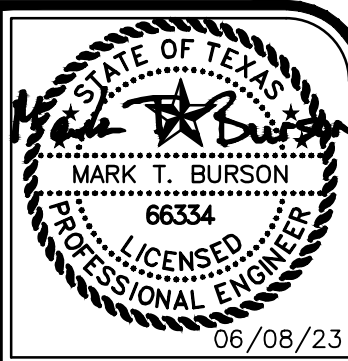
HIGH RISTLER VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681
EXISTING CONDITION PLAN A



JOB NO.: 1587-003
DRAWN BY:
DATE: 06/08/23
FILE:
REV./CORR:

SHEET
04
of
40



HIGH RISE/ER VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

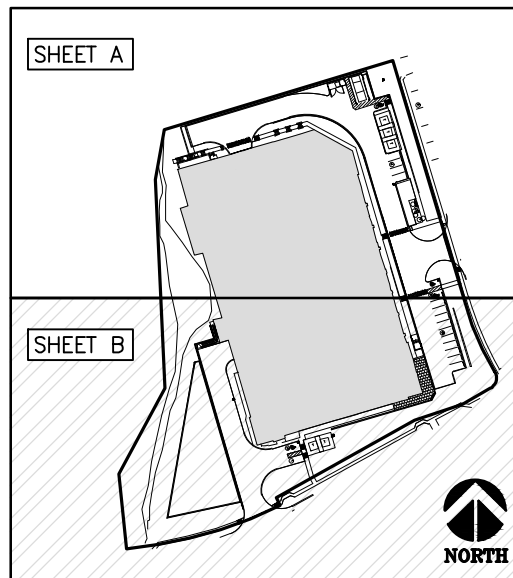
HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681

EXISTING CONDITION PLAN B



JOB NO.: 1587-003
DRAWN BY:
SCALE: 1"=20'
DATE: 06/08/23
FILE:
REV./CORR:

SHEET
05
of
40



KEY MAP
SCALE: N.T.S.

MATCHLINE THIS SHEET 04

MATCHLINE THIS SHEET 04

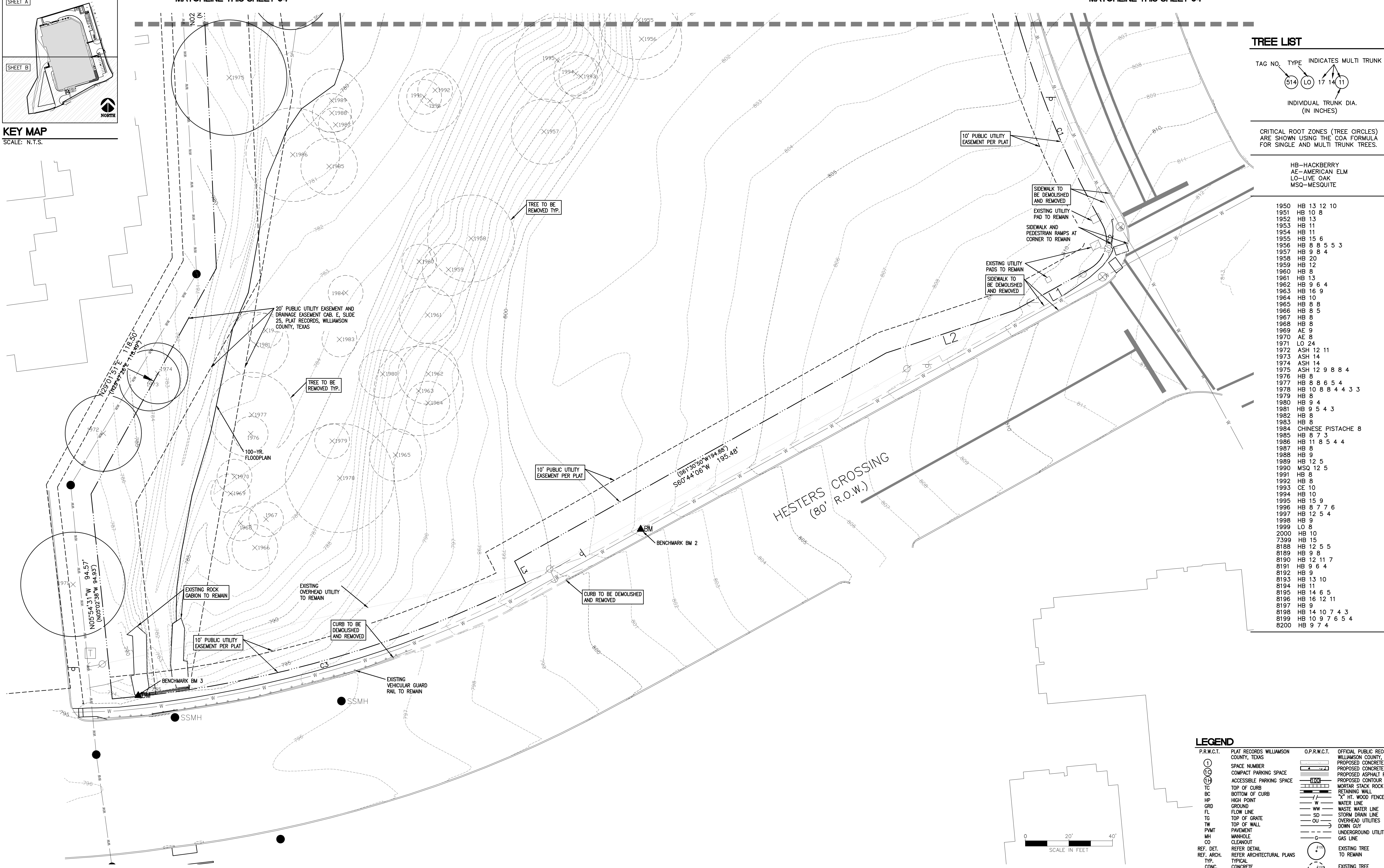
TREE LIST

TAG NO. TYPE INDICATES MULTI TRUNK
514 (LO) 17 14 (11)
INDIVIDUAL TRUNK DIA.
(IN INCHES)

CRITICAL ROOT ZONES (TREE CIRCLES)
ARE SHOWN USING THE COA FORMULA
FOR SINGLE AND MULTI TRUNK TREES.

HB-HACKBERRY
AE-AMERICAN ELM
LO-LIVE OAK
MSQ-MESQUITE

1950	HB	13	12	10
1951	HB	10	8	
1952	HB	13		
1953	HB	11		
1954	HB	11		
1955	HB	15	6	
1956	HB	8	8	5 5 3
1957	HB	9	8	4
1958	HB	20		
1959	HB	12		
1960	HB	8		
1961	HB	13		
1962	HB	9	6	4
1963	HB	16	9	
1964	HB	10		
1965	HB	8	8	
1966	HB	8	5	
1967	HB	8		
1968	HB	8		
1969	AE	9		
1970	AE	8		
1971	LO	24		
1972	ASH	12	11	
1973	ASH	14		
1974	ASH	14		
1975	ASH	12	9	8 8 4
1976	HB	8		
1977	HB	8	8	6 5 4
1978	HB	10	8	4 4 3 3
1979	HB	8		
1980	HB	9	4	
1981	HB	9	5	4 3
1982	HB	8		
1983	HB	8		
1984	CHINESE PISTACHE	8		
1985	HB	8	7	3
1986	HB	11	8	5 4 4
1987	HB	8		
1988	HB	9		
1989	HB	12	5	
1990	MSQ	12	5	
1991	HB	8		
1992	HB	8		
1993	CE	10		
1994	HB	10		
1995	HB	15	9	
1996	HB	8	7	7 6
1997	HB	12	5	4
1998	HB	8		
1999	LO	8		
2000	HB	10		
7399	HB	15		
8188	HB	12	5	5
8189	HB	9	8	
8190	HB	12	11	7
8191	HB	9	6	4
8192	HB	9		
8193	HB	13	10	
8194	HB	11		
8195	HB	14	6	5
8196	HB	16	12	11
8197	HB	9		
8198	HB	14	10	7 4 3
8199	HB	10	9	7 6 5 4
8200	HB	9	7	4



CURVE TABLE

CURVE	RADIUS	DELTA	ARC BEARING	CHORD BEARING	CHORD	(RECORD CHORD)
C1	440.60'	12°24'38"	95.44'	S22°39'58"E	95.25'	(S22°06'41"E 95.25')
C2	15.00'	90°33'03"	23.71'	S15°07'32"W	21.32'	(S15°34'26"E 21.26')
C3	522.22'	21°45'03"	198.25'	S74°20'05"W	197.06'	

LINE TABLE

LINE	BEARING	DISTANCE	(RECORD BEARING)
L1	S81°02'51"W	39.40'	(S61°30'00"W 273.33')
L2	S71°38'03"W	62.28'	(S72°30'51"W 62.32')
L3	S27°03'44"E	11.22'	(S26°44'02"E 11.40')

BENCHMARK INFO:
 BM 1: COTTON SPINDLE SET IN THE BACK OF CURB FOR CHAPARRAL CONTROL POINT CH100. SET NEAR THE NORTHEAST CORNER OF SUBJECT.
 ELEV.=788.82'
 BM 2: TRIANGLE CUT IN THE SIDEWALK ON THE NORTH SIDE OF HESTERS CROSSING +/- 257' SOUTHWEST OF THE INTERSECTION OF HESTERS CROSSING AND RAWHIDE DRIVE.
 ELEV.=802.11'
 BM 3: 2" CITY OF ROUND ROCK BRASS DISK FOUND IN THE WEST END OF CONCRETE HEADWALL ON THE NORTH SIDE OF HESTERS CROSSING.
 ELEV.=795.95'

ATTENTION
 THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.
 ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.
 ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

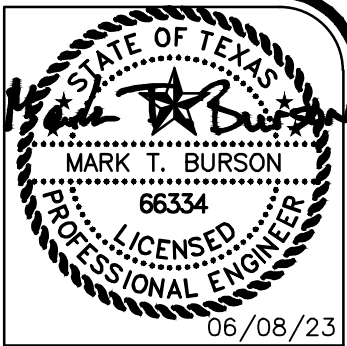
LEGEND

P.R.W.C.T.	PLAT RECORDS WILLAMSON COUNTY, TEXAS	O.P.R.W.C.T.	OFFICIAL PUBLIC RECORDS WILLAMSON COUNTY, TEXAS
①	SPACE NUMBER	▬	PROPOSED CONCRETE WALK
②	COMPACT PARKING SPACE	▬	PROPOSED CONCRETE PAVING
③	ACCESSIBLE PARKING SPACE	▬	PROPOSED ASPHALT PAVING
TC	TOP OF CURB	▬	PROPOSED CONTOUR
BC	BOTTOM OF CURB	▬	MORTAR STACK ROCK WALL
HP	HIGH POINT	▬	RETAINING WALL
GRD	GROUND	▬	4" HT. WOOD FENCE
FL	FLOW LINE	▬	WASTE WATER LINE
TG	TOP OF GRATE	▬	WASTE WATER LINE
PWMT	PANCREAT	▬	STORM DRAIN LINE
MH	MANHOLE	▬	OVERHEAD UTILITIES
CO	CLEANOUT	▬	DOWN GUY
REF. DET.	REFER DETAIL	▬	UNDERGROUND UTILITIES
REF. ARCH.	REFER ARCHITECTURAL PLANS	▬	GAS LINE
TYP.	TYPICAL	○	EXISTING TREE TO REMAIN
CONC.	CONCRETE	○	EXISTING TREE TO BE REMOVED
EXIST.	EXISTING	○	SILT FENCE
NSR00°00'E	SURVEY DATA	▬	TEMPORARY BENCHMARK
NSR00°00'E	RECORD DATA	▬	SURVEY MONUMENT
▲ BM	BENCHMARK	▬	IRON ROD FOUND
△ TBM	TEMPORARY BENCHMARK	▬	IRON ROD SET
●	CONCRETE	▬	COTTON GIN BOLT
○	EXISTING	▬	PROPERTY LINE
○	RECORD DATA	▬	LIMITS OF CONSTRUCTION
▬	PROPOSED CONTOUR	▬	EXISTING SPOT ELEVATION
▬	PROPOSED CONTOUR	▬	PROPOSED SPOT ELEVATION
▬	EXISTING CONTOUR	▬	EXISTING CONTOUR
▬	BOTTOM OF POND	▬	UNDERGROUND ELECTRIC

FILE: J:\WORK\1587-003\SITE DEV PLANS\04-05-EXISTING CONDITION PLAN.DWG - PLOTTED ON: 06/08/23 9:28AM - BY: ATOURGATE

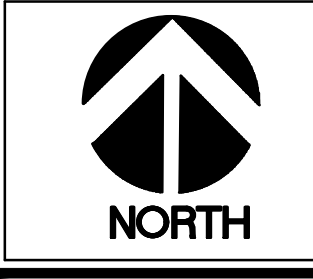
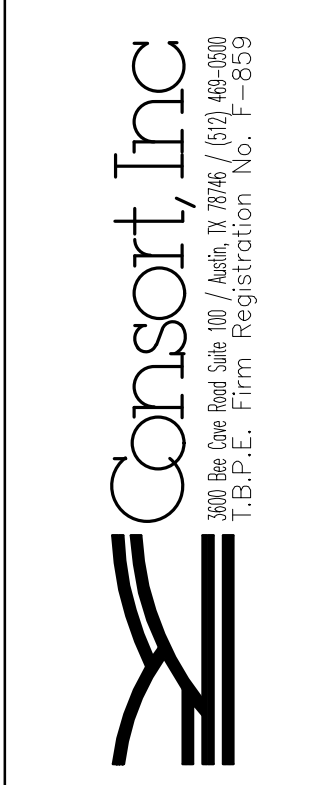
Consort, Inc. Copyright © 2022.
NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS OR STORED IN A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF CONSORT, INC.

SDP2212-0003



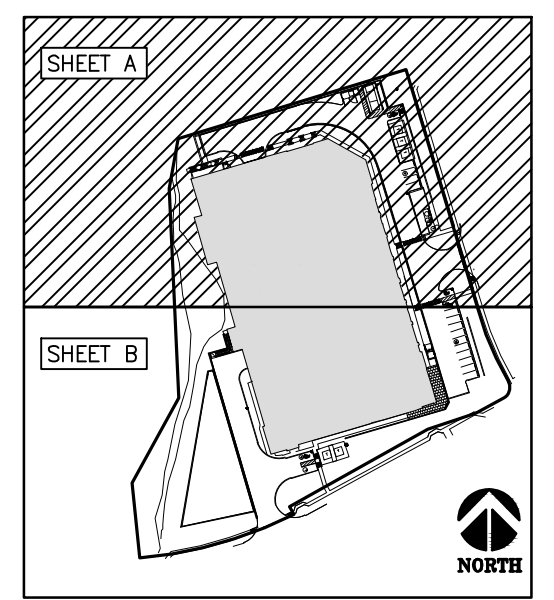
HCH RUSTLER VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681
EROSION SEDIMENTATION CONTROL A

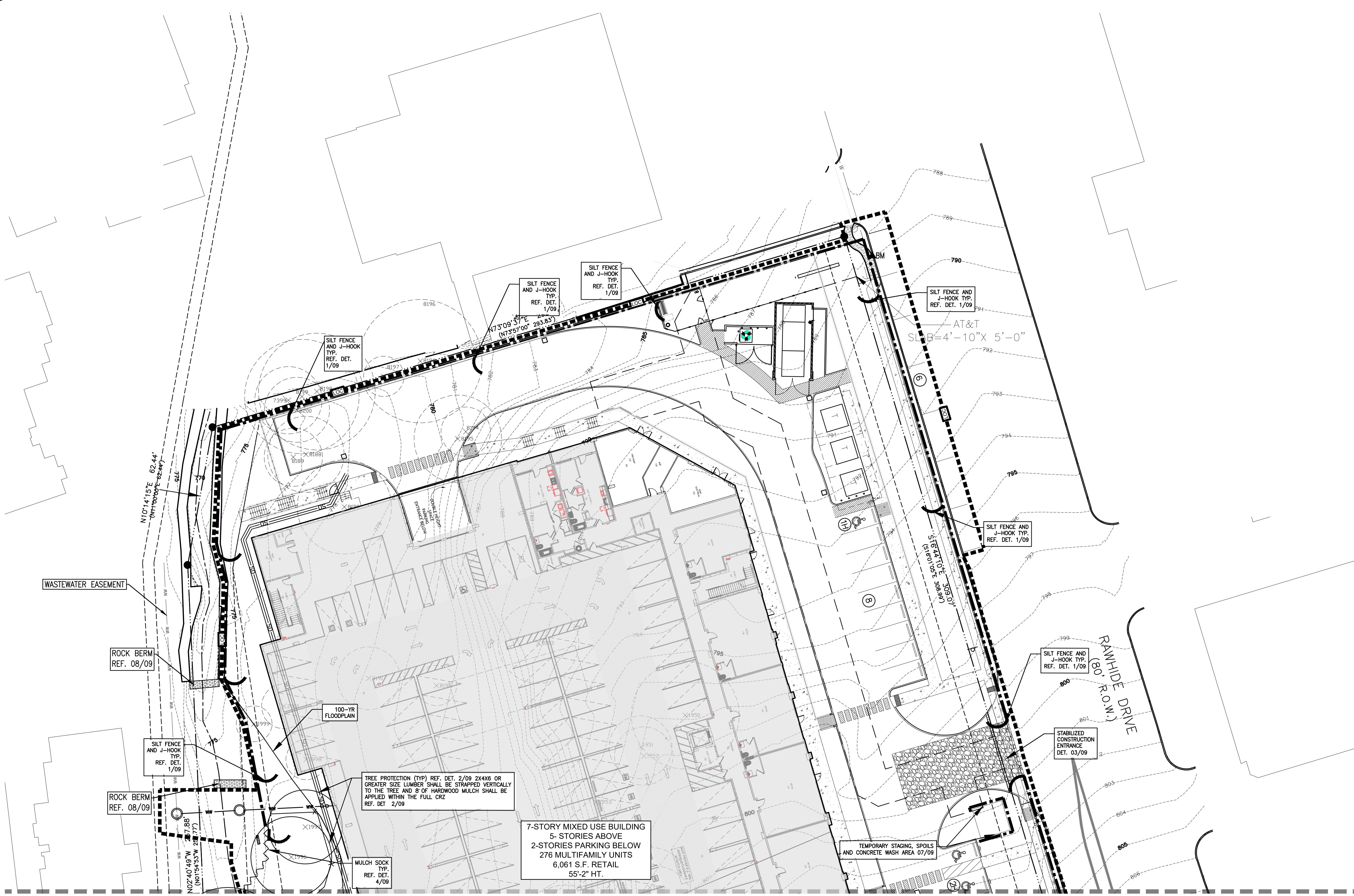


JOB NO.: 1587-003
DRAWN BY: SCALE: 1"=20'
DATE: 06/08/23
FILE: XREF:
REV./CORR:

SHEET
07
of
40



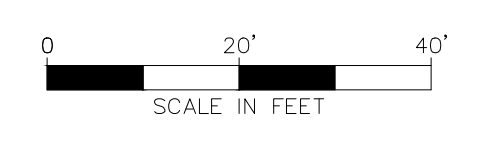
KEY MAP
SCALE: N.T.S.



MATCHLINE SHEET 08

ESC LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- FLOW ARROW PROPOSED CONDITION
- MULCH SOCK
- SILT FENCE
- INLET SEDIMENT FILTER
- TREE PROTECTION FENCE
- ROCK BERM



LEGEND

- | | | | |
|-----------------|---------------------------------------|--------------|--|
| P.R.W.C.T. | FLAT RECORDS WILLIAMSON COUNTY, TEXAS | O.P.R.W.C.T. | OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS |
| (1) | SPACE NUMBER | | PROPOSED CONCRETE WALK |
| (C) | COMPACT PARKING SPACE | | PROPOSED CONCRETE PAVING |
| (1P) | ACCESSIBLE PARKING SPACE | | PROPOSED ASPHALT PAVING |
| TC | TOP OF CURB | | PROPOSED CONTOUR |
| BC | BOTTOM OF CURB | | MORTAR STACK ROCK WALL |
| HP | HIGH POINT | | RETAINING WALL |
| GRD | GROUND | | 4" HT. WOOD FENCE |
| FL | FLOW LINE | | WATER LINE |
| TG | TOP OF GRATE | | WASTE WATER LINE |
| TW | TOP OF WALL | | STORM DRAIN LINE |
| PVMT | PAVEMENT | | OVERHEAD UTILITIES |
| MH | MANHOLE | | DOWN GULLY |
| CO | CLEANOUT | | UNDERGROUND UTILITIES |
| REF. DET. | REFER DETAIL | | GAS LINE |
| REF. ARCH. | REFER ARCHITECTURAL PLANS | | EXISTING TREE TO REMAIN |
| TYP. | TYPICAL | | EXISTING TREE TO BE REMOVED |
| CONC. | CONCRETE | | SILT FENCE |
| EXIST. | EXISTING | | FILTER DIKE |
| N90°00'00"E | SURVEY DATA | | TREE PROTECTION FENCE |
| (N90°00'00"E) | RECORD DATA | | EXIST. SIGN |
| BM | BENCHMARK | | EXIST. LIGHT POLE |
| TBM | TEMPORARY BENCHMARK | | DOWNSPOUTS |
| IRON ROD FOUND | SURVEY MONUMENT | | HAND RAILS |
| IRON ROD SET | IRON ROD FOUND | | TRAFFIC GUARD RAIL |
| COTTON GIN BOLT | IRON ROD SET | | FIRE LANE DESIGNATION |
| PROPERTY LINE | LIMITS OF CONSTRUCTION | | ACCESSIBLE ROUTE |
| 100.00 | LIMITS OF CONSTRUCTION | | UNDERGROUND ELECTRIC |
| 109.00 | EXISTING SPOT ELEVATION | | |
| BOF | PROPOSED SPOT ELEVATION | | |
| | EXISTING CONTOUR | | |
| | BOTTOM OF POND | | |

ATTENTION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

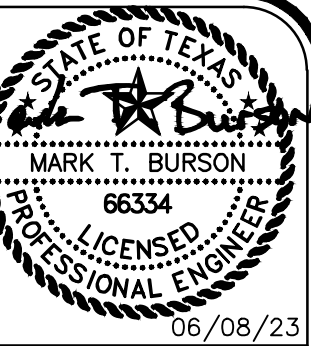
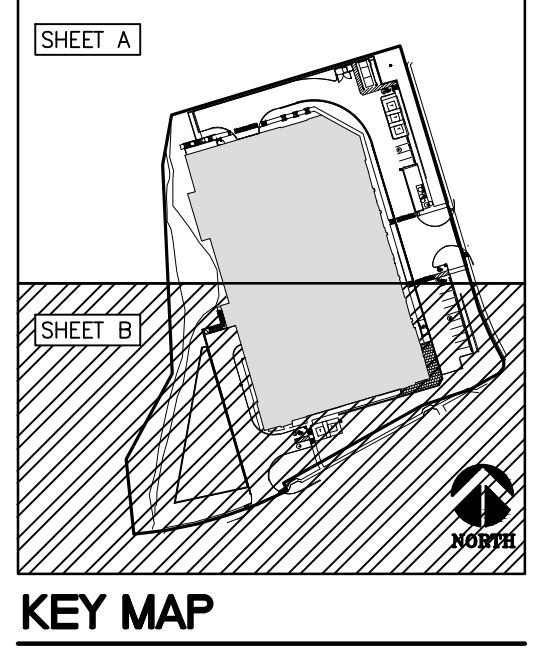
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

FILE: J:\WORK\1587-003\SITE DEV PLANS\07-EROSION SEDIMENTATION CONTROL.DWG - PLOTTED ON: 06/08/23 9:29AM - BY: ATOURGATE



SDP2212-0003

7-STORY MIXED USE BUILDING
5- STORIES ABOVE
2-STORIES PARKING BELOW
276 MULTIFAMILY UNITS
6,061 S.F. RETAIL
55'-2" HT.



HCH RUSTLER VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

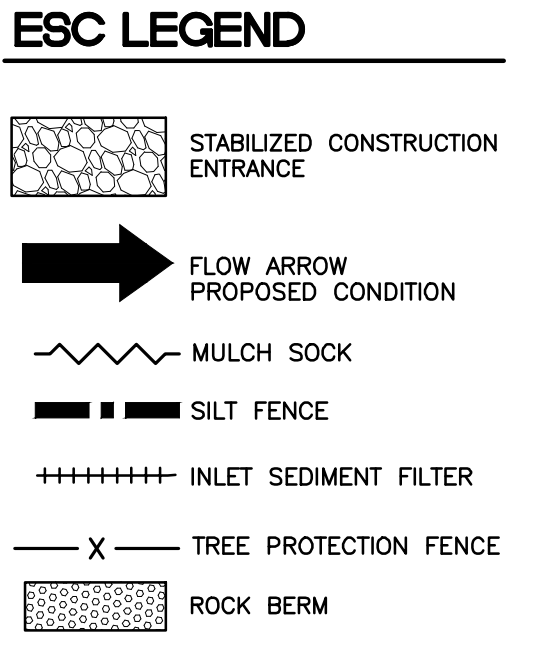
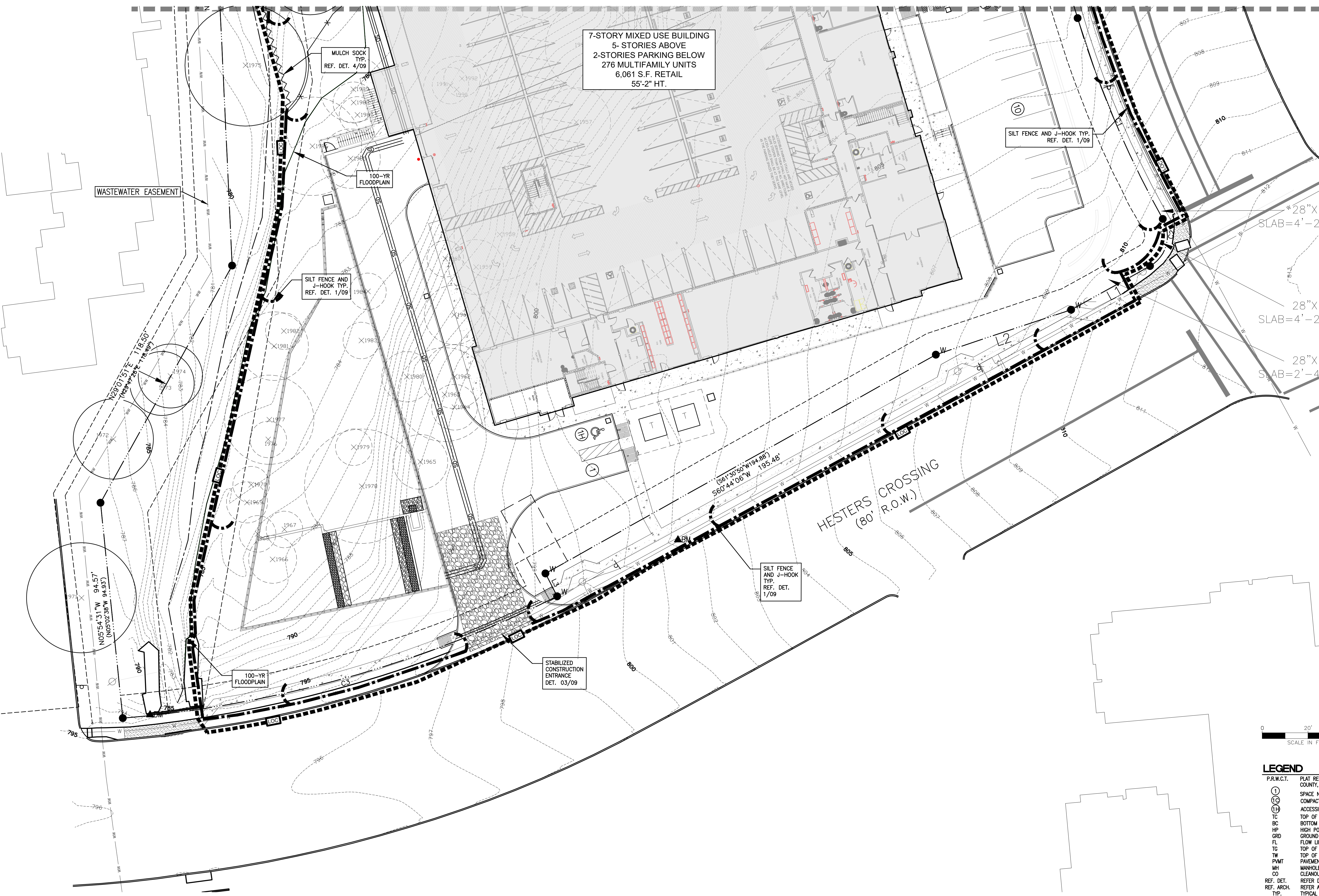
HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681
EROSION SEDIMENTATION CONTROL B



JOB NO.: 1587-003
DRAWN BY: 1"=20'
SCALE: 06/08/23
DATE:
FILE:
XREF:
REV./CORR:

SHEET
08
of
40

FILE: J:\WORK\1587-003\SITE DEV PLANS\07-EROSION SEDIMENTATION CONTROL.DWG - PLOTTED ON: 06/08/23 9:29AM - BY: ATOURGATE



LEGEND		O.P.R.W.C.T.	
P.R.W.C.T.		OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS	
1	SPACE NUMBER	[Symbol]	PROPOSED CONCRETE WALK
2	COMPACT PARKING SPACE	[Symbol]	PROPOSED CONCRETE PAVING
3	ACCESSIBLE PARKING SPACE	[Symbol]	PROPOSED ASPHALT PAVING
TC	TOP OF CURB	[Symbol]	PROPOSED CONTOUR
BC	BOTTOM OF CURB	[Symbol]	MORTAR STACK ROCK WALL
HP	HIGH POINT	[Symbol]	RETAINING WALL
GRD	GROUND	[Symbol]	4" HT. WOOD FENCE
FL	FLOW LINE	[Symbol]	WASTE WATER LINE
TG	TOP OF GRATE	[Symbol]	WASTE WATER LINE
TW	TOP OF WALL	[Symbol]	STORM DRAIN LINE
PVMT	PAVEMENT	[Symbol]	OVERHEAD UTILITIES
MH	MANHOLE	[Symbol]	DOWN GUY
CO	CLEANOUT	[Symbol]	UNDERGROUND UTILITIES
REF. DET.	REFER DETAIL	[Symbol]	GAS LINE
REF. ARCH.	REFER ARCHITECTURAL PLANS	[Symbol]	EXISTING TREE TO REMAIN
TYP.	TYPICAL	[Symbol]	EXISTING TREE TO BE REMOVED
CONC.	CONCRETE	[Symbol]	SILT FENCE
EXIST.	EXISTING	[Symbol]	FILTER DIKE
N90°00'00"E	SURVEY DATA	[Symbol]	TREE PROTECTION FENCE
(N90°00'00"E)	RECORD DATA	[Symbol]	EXIST. SIGN
BM	BENCHMARK	[Symbol]	EXIST. LIGHT POLE
TBM	TEMPORARY BENCHMARK	[Symbol]	DOWNSPOUTS
IRON ROD FOUND	SURVEY MONUMENT	[Symbol]	HAND RAILS
IRON ROD SET	IRON ROD FOUND	[Symbol]	TRAFFIC GUARD RAIL
COTTON GIN BOLT	IRON ROD SET	[Symbol]	FIRE LANE DESIGNATION
PROPERTY LINE	COTTON GIN BOLT	[Symbol]	ACCESSIBLE ROUTE
LIMITS OF CONSTRUCTION	PROPERTY LINE	[Symbol]	UNDERGROUND ELECTRIC
EXISTING SPOT ELEVATION	LIMITS OF CONSTRUCTION	[Symbol]	
PROPOSED SPOT ELEVATION	EXISTING SPOT ELEVATION	[Symbol]	
EXISTING CONTOUR	PROPOSED SPOT ELEVATION	[Symbol]	
BOP	EXISTING CONTOUR	[Symbol]	
	BOP	[Symbol]	

ATTENTION
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.
ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

Consort, Inc. Copyright © 2022.
NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS, OR STORED IN A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF CONSORT, INC.

FILE: J:\WORK\1587-003\SITE DEV PLANS\09-EROSION SEDIMENTATION CONTROL DETAILS.DWG - PLOTTED ON: 06/08/23 9:29AM - BY: ATOURGAIE

MARK T. BURSON
LICENSED PROFESSIONAL ENGINEER
06/08/23

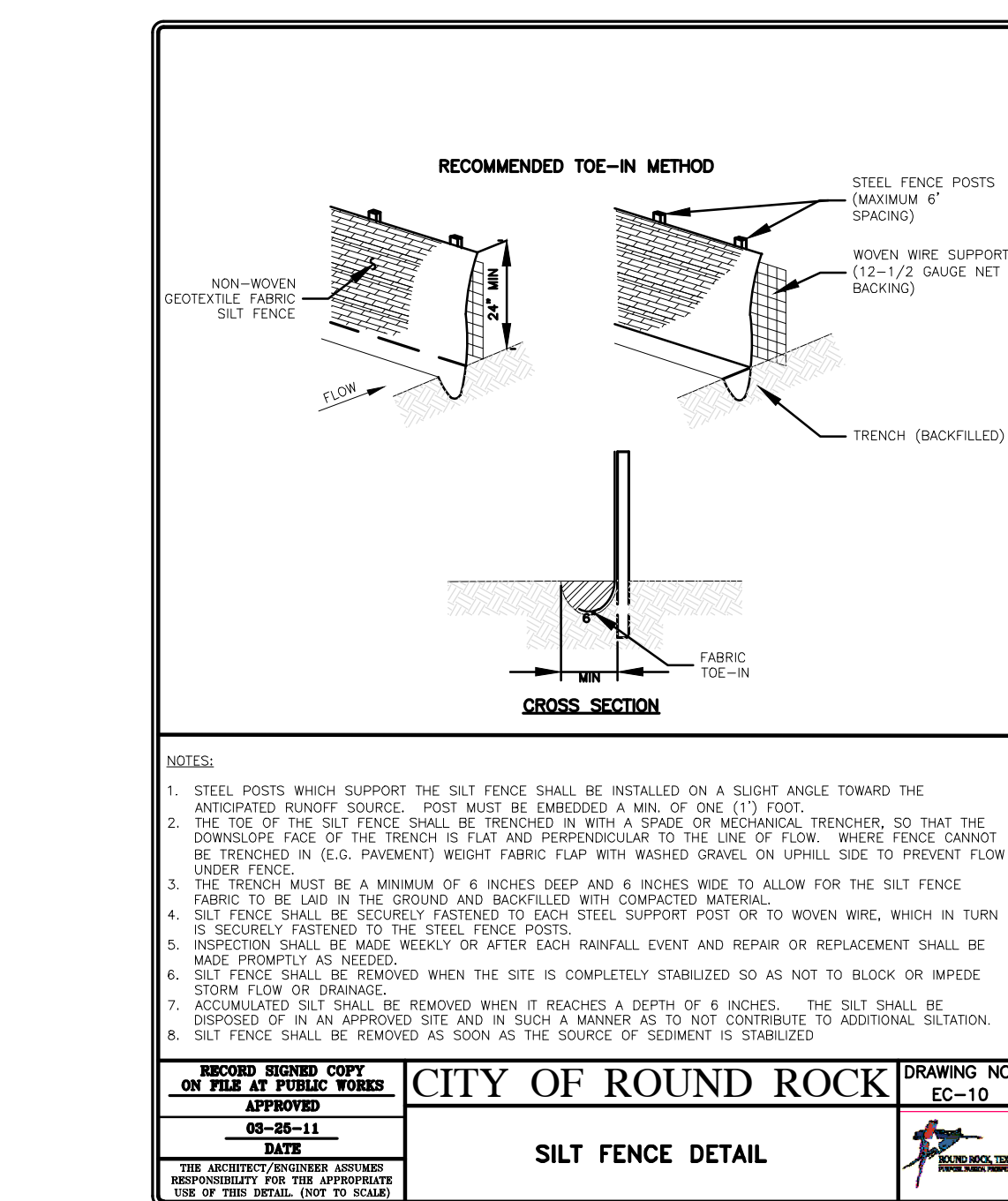
HIGH RISE/LEI VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

HESTERS 4 APARTMENTS
2240 RAW-HIDE DRIVE, ROUND ROCK, TX 78681

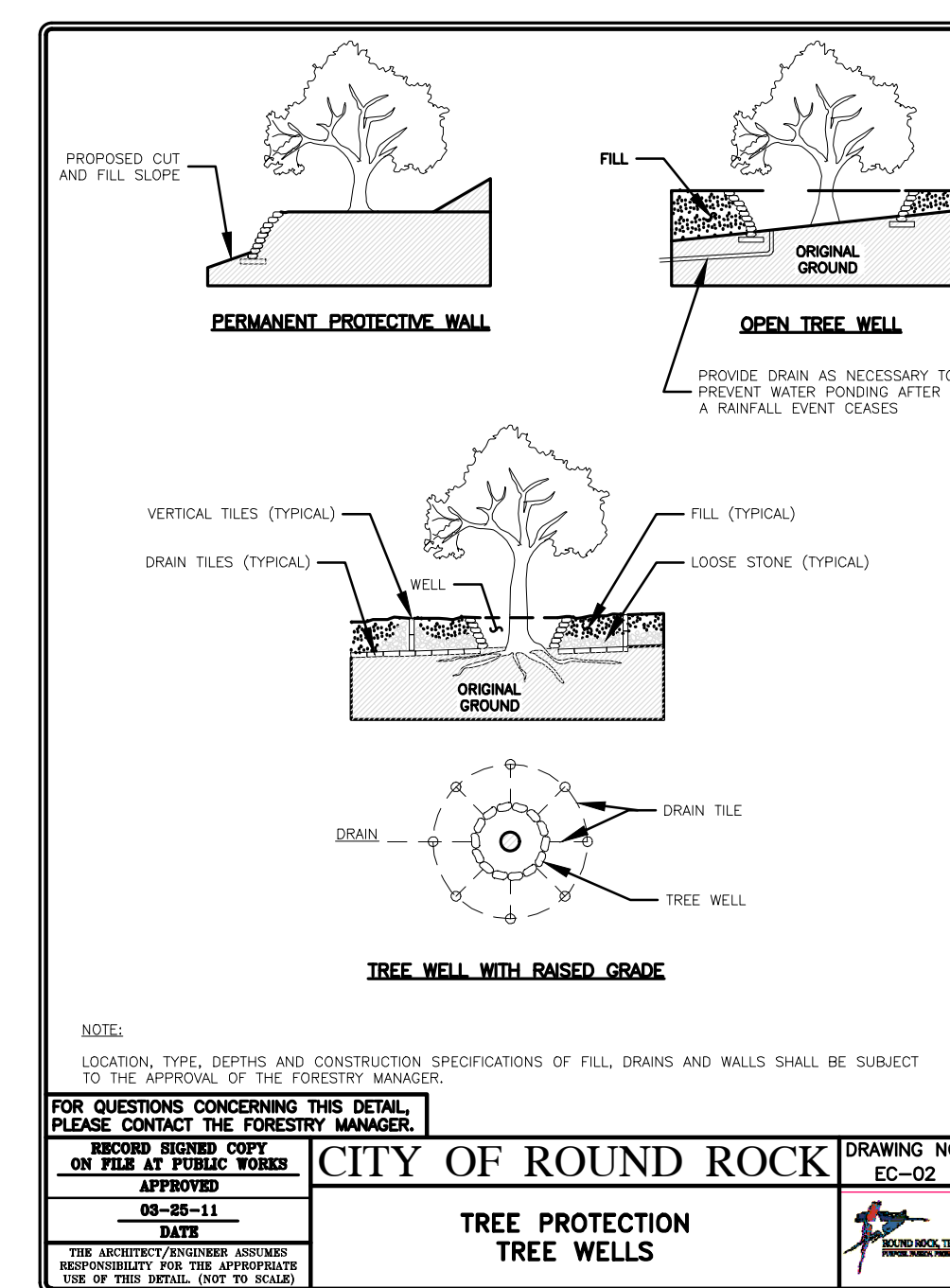
EROSION SEDIMENTATION CONTROL DETAILS

JOB NO.: 1587-003
DRAWN BY:
SCALE: 1"=30'
DATE: 06/08/23
FILE:
REF:
REV./CORR:

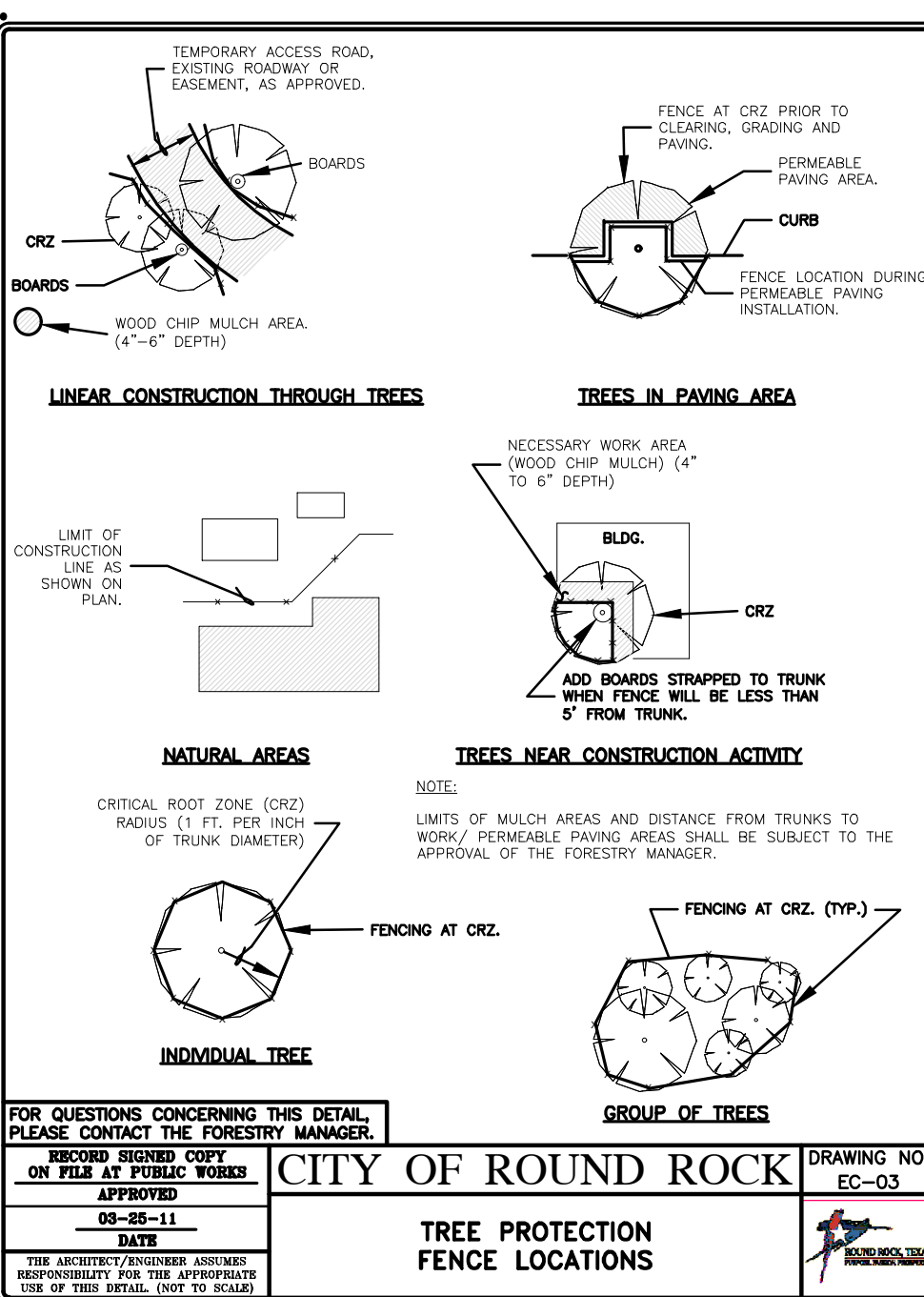
SHEET 09 of 40



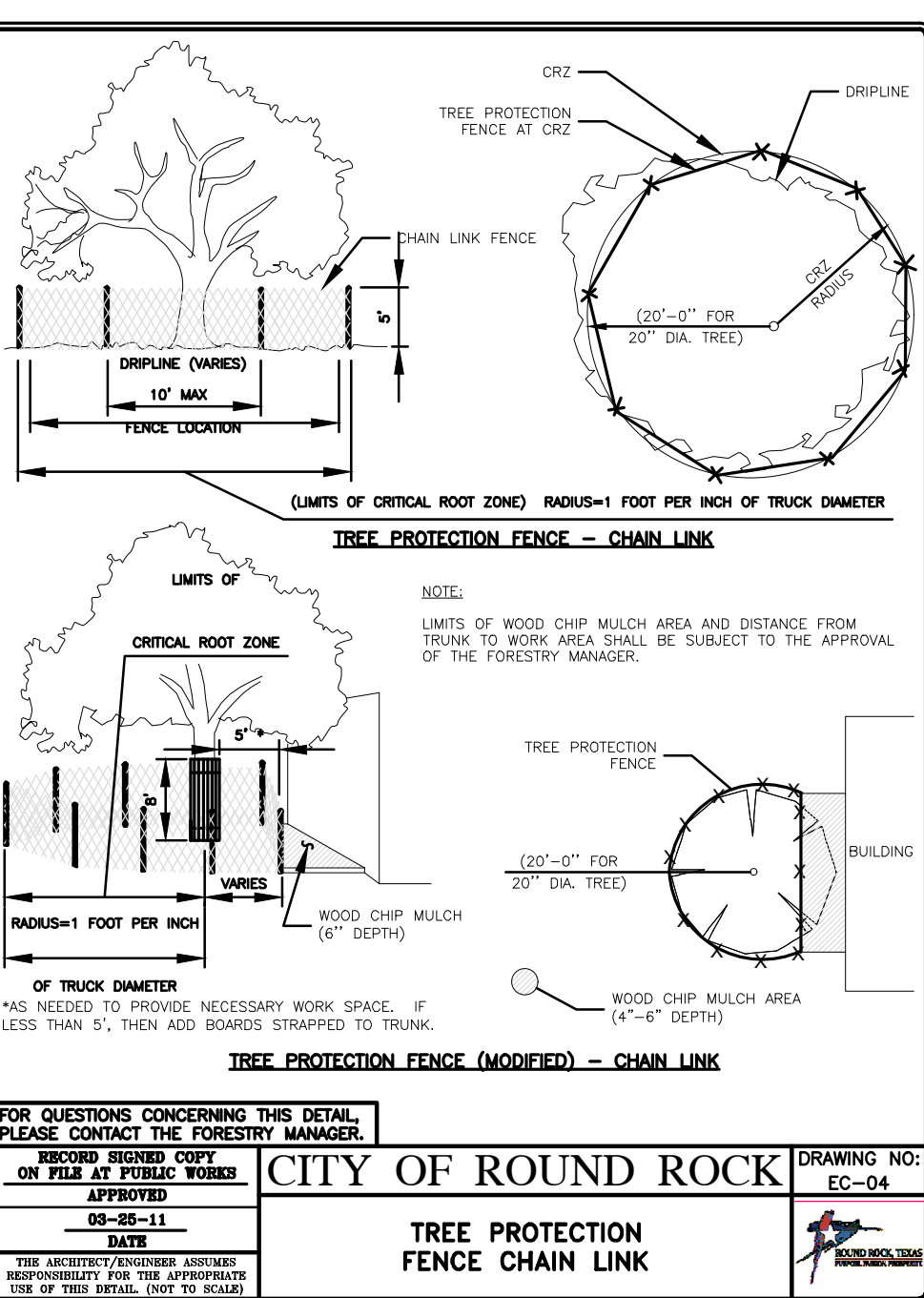
1 SILT FENCE AND J-HOOK DETAIL NTS



2 TREE PROTECTION NTS



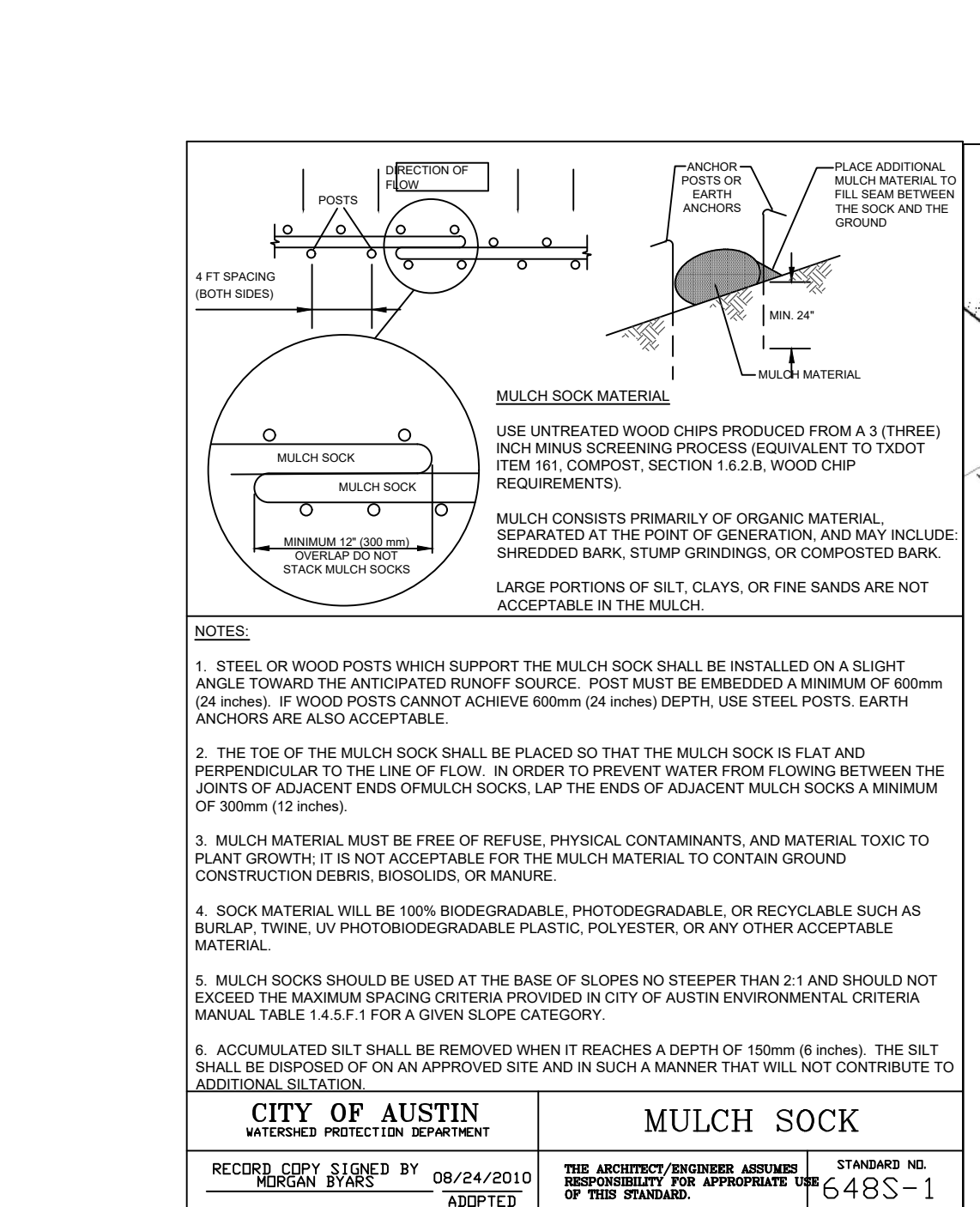
3 TREE PROTECTION FENCE LOCATIONS NTS



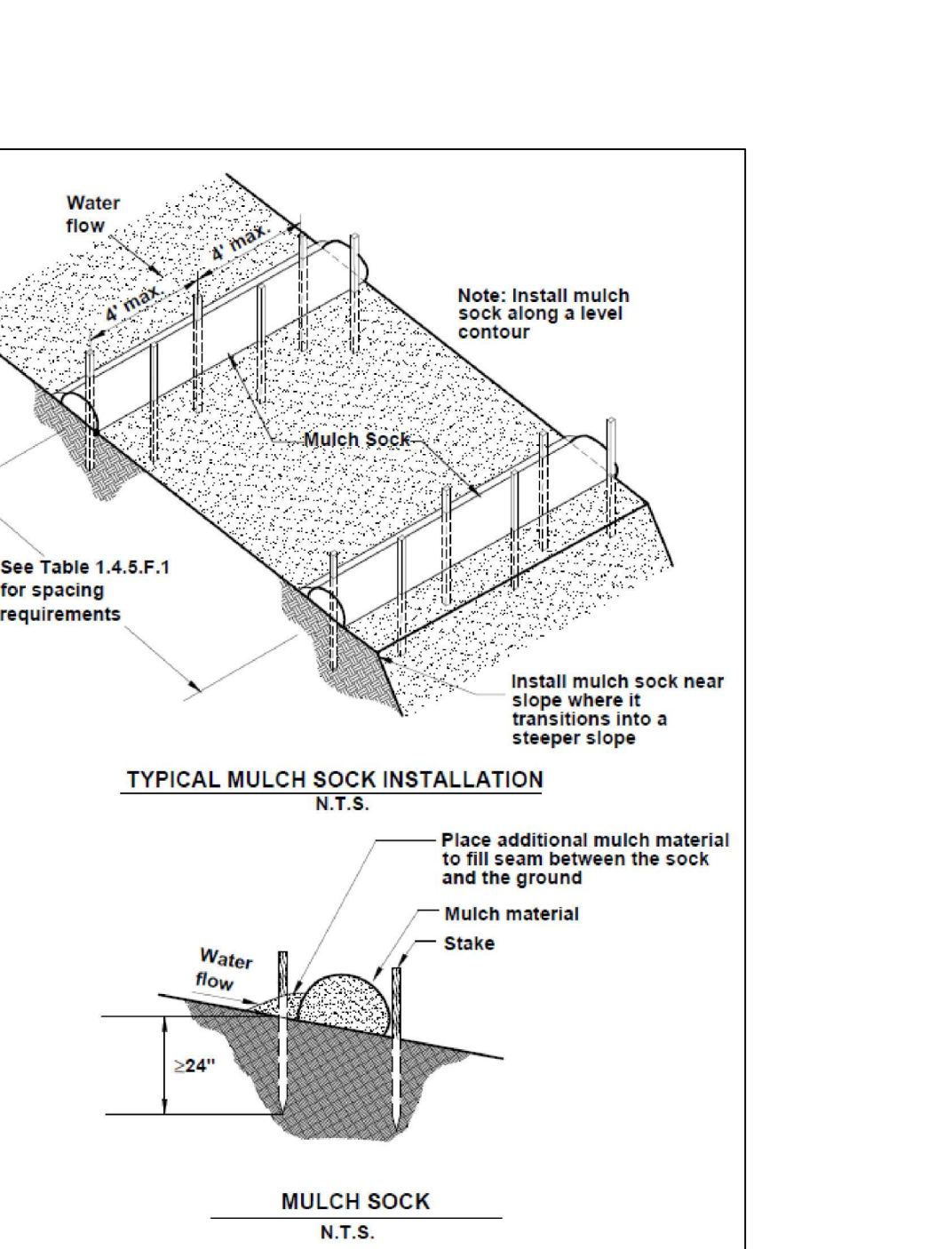
3 TREE PROTECTION FENCE CHAIN LINK NTS



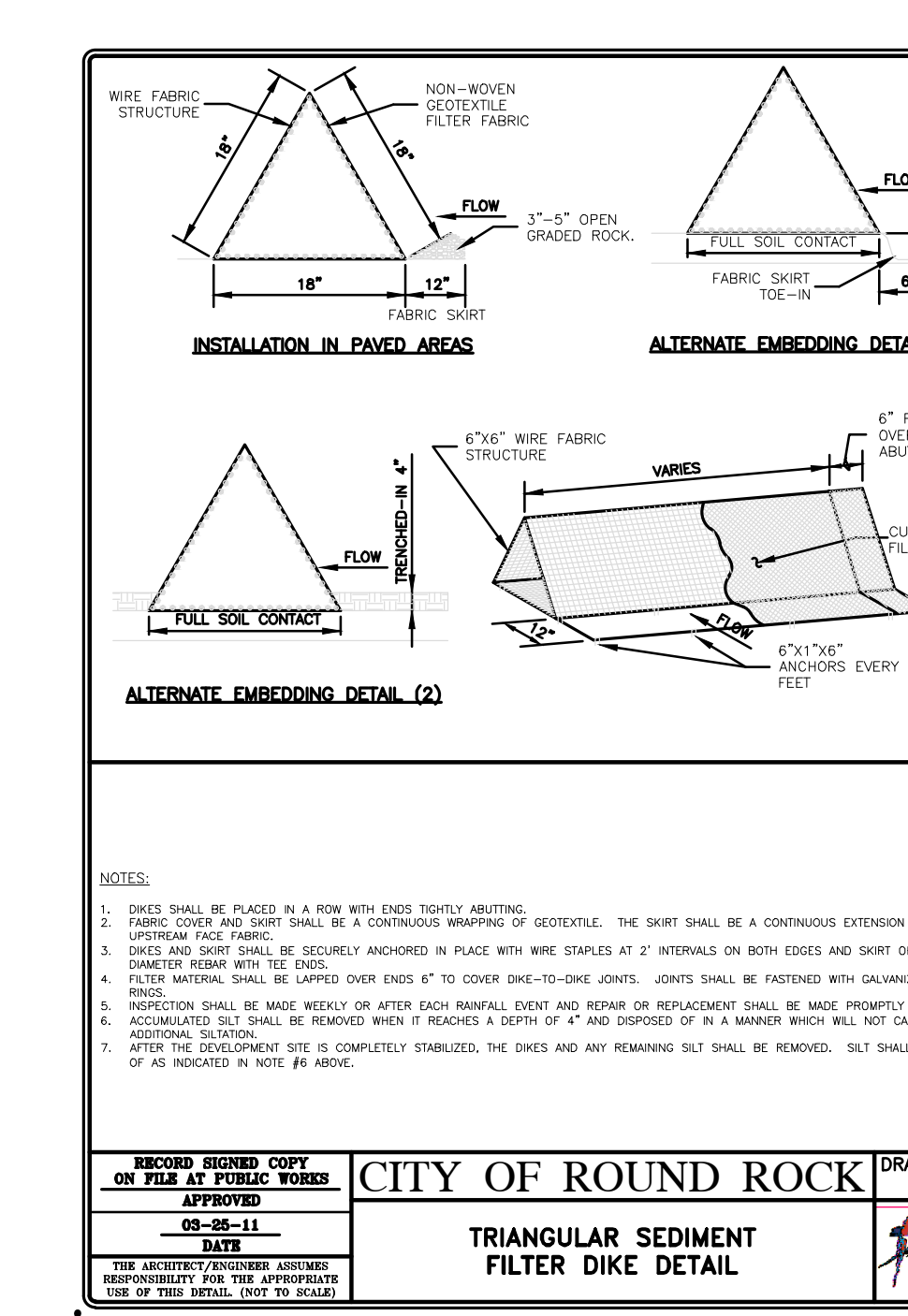
3 STABILIZED CONSTRUCTION ENTRANCE NTS



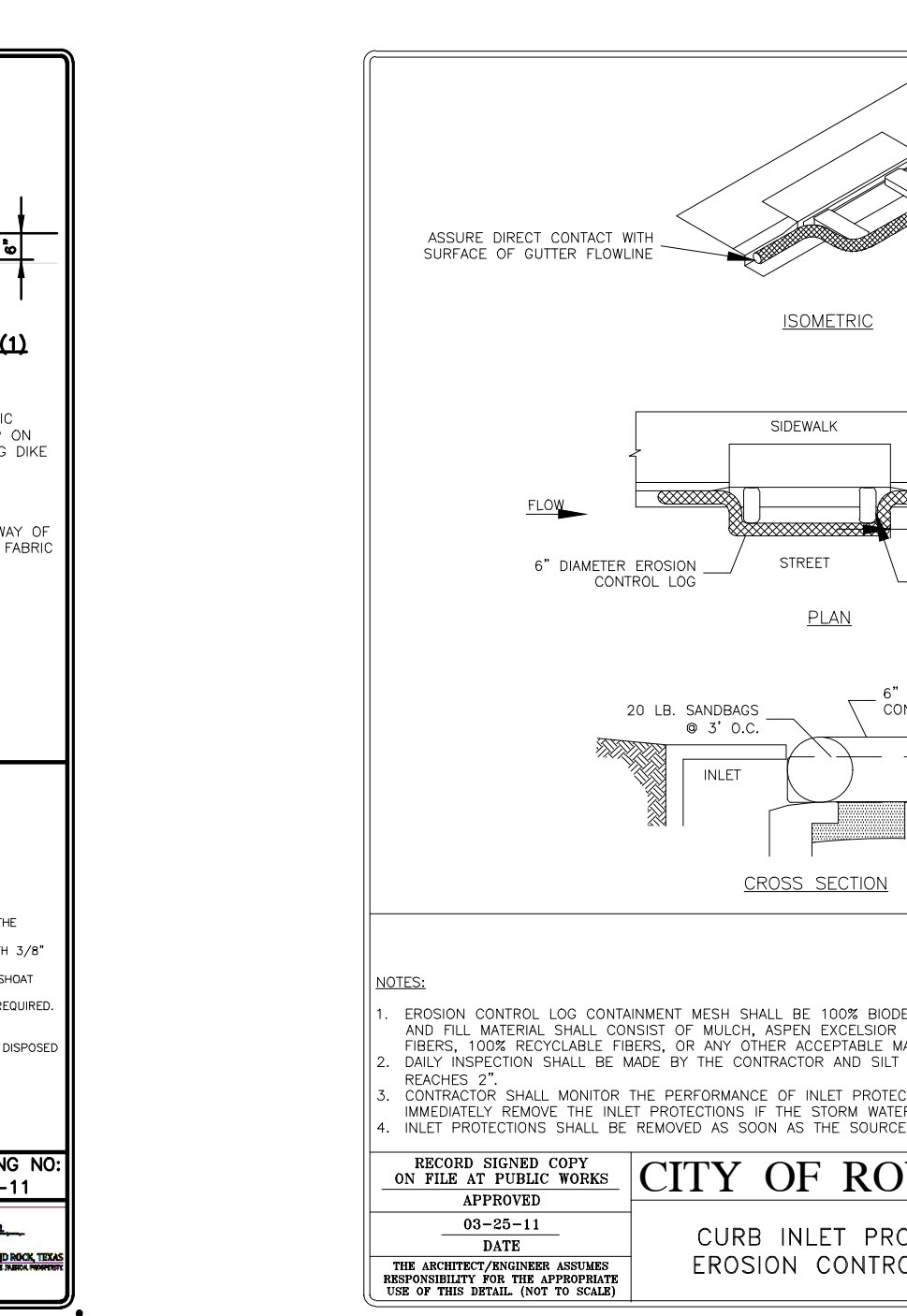
4 MULCH SOCK DETAIL NTS



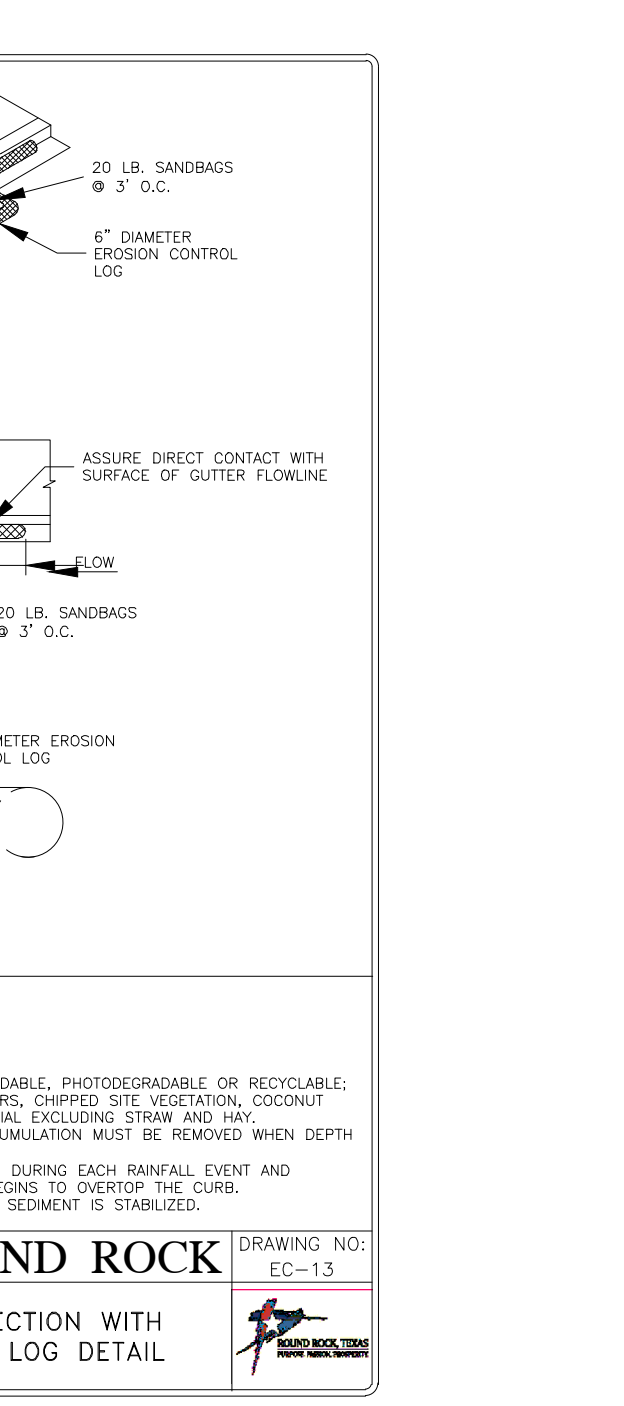
4 MULCH SOCK DETAIL NTS



5 TRIANGULAR SEDIMENT FILTER DIKE NTS



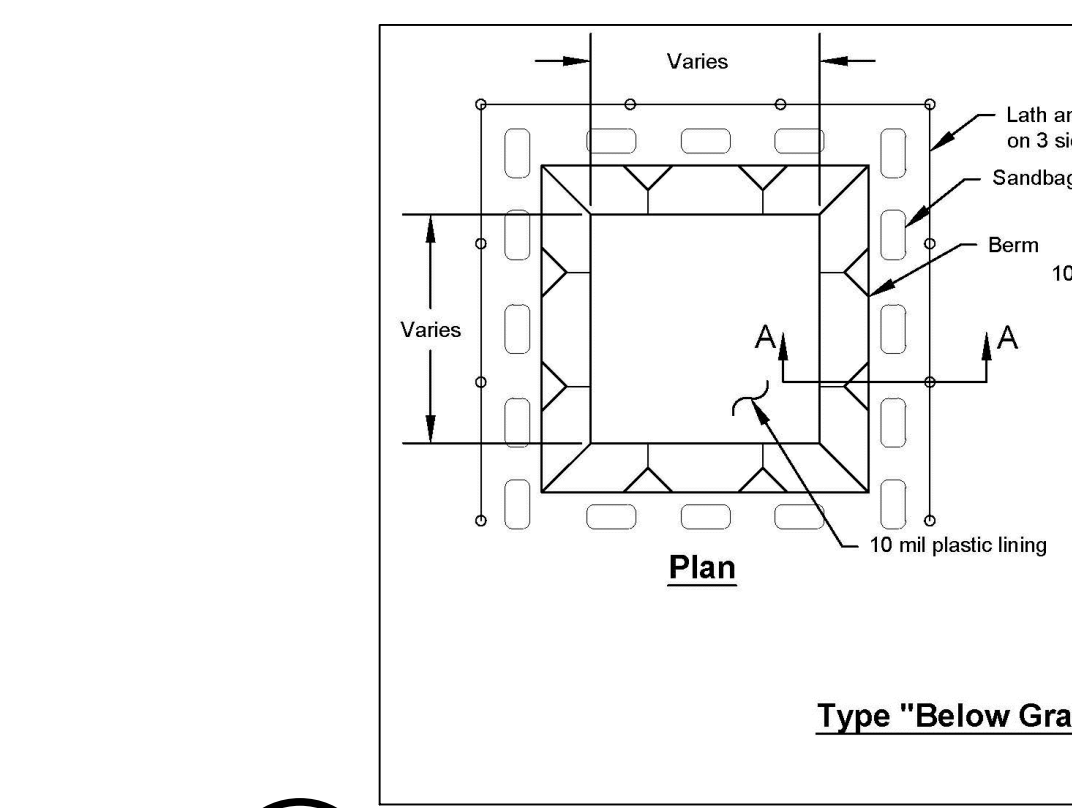
06 CURB INLET PROTECTION NTS



08 ROCK BERM NTS



07 CONCRETE WASHOUT DETAIL NTS



5 TRIANGULAR SEDIMENT FILTER DIKE NTS

Consort, Inc. Copyright © 2022.

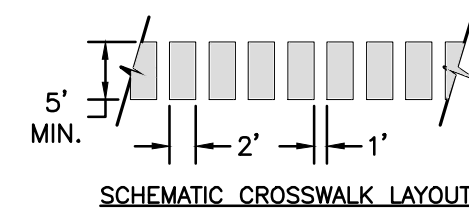
NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS OR STORED IN A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF CONSORT, INC.

FIRE DEPARTMENT NOTE

ANY POWER OPERATED GATES ACROSS FIRE ACCESS ROADS MUST BE PROVIDED WITH A KNOX KEY SWITCH. ALSO, GATES INSTALLED ACROSS FIRE ACCESS ROADS SHALL BE EQUIPPED WITH GATE OPERATORS COMPLYING WITH UL 325 AND ASTM F2200. A MANUAL MEANS OF OPENING THE GATE IN THE EVENT OF POWER LOSS IS REQUIRED.

PAVEMENT PAINT SPECIFICATION:

FIRE LANE PAVEMENT PAINT SHALL BE GLIDDEN #4520 OIL ENAMEL "SAFETY RED" OR EQUAL.
 TRAFFIC ARROW PAVEMENT PAINT SHALL BE GLIDDEN #22693 OIL ENAMEL "TRAFFIC WHITE" OR EQUAL.
 TRAFFIC STRIPE PAVEMENT PAINT SHALL BE GLIDDEN #22693 OIL ENAMEL "TRAFFIC WHITE" OR EQUAL.
 CROSSWALK PAVEMENT PAINT SHALL BE GLIDDEN #22693 OIL ENAMEL "TRAFFIC WHITE" OR EQUAL.



NOTE

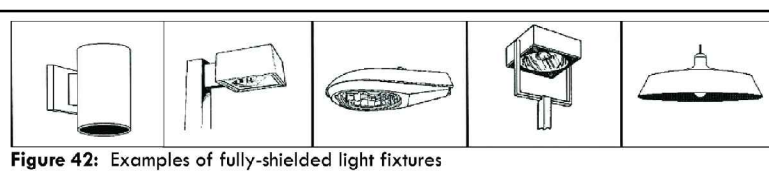
LIGHTING.

A. SITE LIGHTING DESIGN REQUIREMENTS:

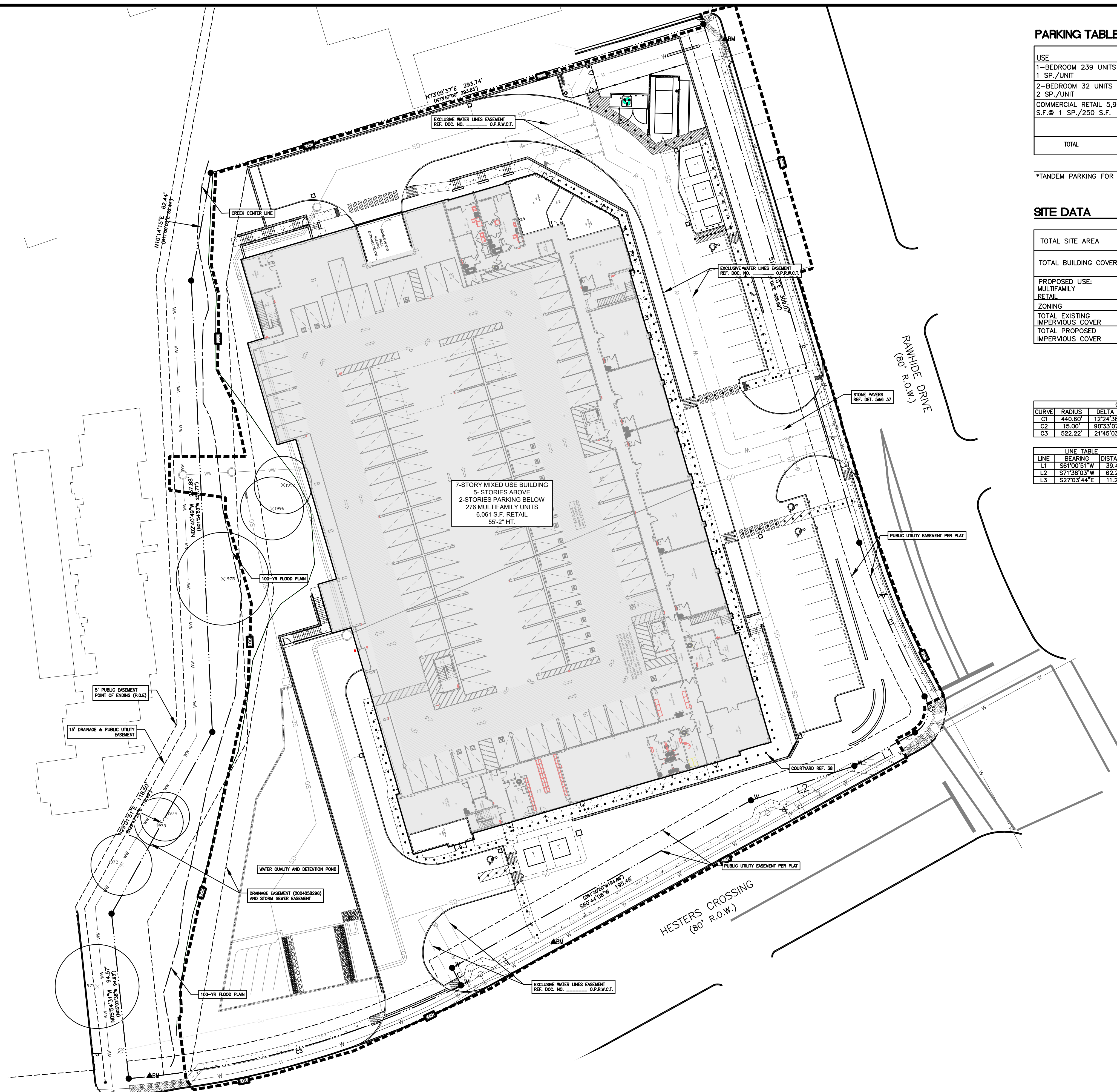
1. FIXTURE (LUMINAIRE). THE LIGHT SOURCE SHALL BE COMPLETELY CONCEALED (RECESSED) WITHIN AN OPAQUE HOUSING AND SHALL NOT BE VISIBLE FROM ANY STREET RIGHT-OF-WAY OR RESIDENTIAL PROPERTY LINE. LIGHT FIXTURES WITHIN GAS STATION CANOPIES SHALL BE FLUSH WITH THE UNDERSIDE OF THE CANOPY.
2. LIGHT SOURCE (LAMP). ONLY INCANDESCENT, FLUORESCENT, COMPACT FLUORESCENT (CFL), LIGHT-EMITTING DIODES (LED), METAL HALIDE, OR COLOR CORRECTED HIGH-PRESSURE SODIUM MAY BE USED. THE SAME TYPE SHALL BE USED FOR THE SAME OR SIMILAR TYPES OF LIGHTING ON ANY ONE SITE THROUGHOUT ANY MASTER PLANNED DEVELOPMENT.
3. MOUNTING. EXCEPT AS REQUIRED BY SUBSECTION (B)(4)(c), BELOW, FIXTURES SHALL BE MOUNTED IN SUCH A MANNER THAT THE CONE OF LIGHT DOES NOT EXCEED ONE (1) FOOT CANDLE AT ANY PROPERTY LINE SHARED WITH A NONRESIDENTIAL USE AND TWO (2) FOOT CANDLES AT ANY PROPERTY LINE ABUTTING A PUBLIC STREET (RIGHT-OF-WAY).
4. ALL SITE AND BUILDING LIGHTING SHALL BE ACCOMPLISHED WITH LIGHT THAT DOES NOT FLASH, BLINK OR PULSE.
5. ATHLETIC FACILITIES ASSOCIATED WITH SCHOOLS, PLACES OF WORSHIP, AND CHARITABLE NONPROFIT ORGANIZATIONS MAY EXCEED THE FIXTURE HEIGHT REQUIREMENT IF THEY IMPLEMENT REASONABLE MEASURES TO LIMIT ADVERSE IMPACTS ON NEIGHBORING PROPERTIES THAT MAY RESULT FROM THE INCREASED FIXTURE HEIGHT.

B. EXCESSIVE ILLUMINATION:

1. INTERFERES WITH USE OR ENJOYMENT. LIGHTING WITHIN ANY LOT THAT UNNECESSARILY ILLUMINATES AND SUBSTANTIALLY INTERFERES WITH THE USE OR ENJOYMENT OF ANY OTHER LOT IS PROHIBITED. LIGHTING UNNECESSARILY ILLUMINATES ANOTHER LOT IF IT CLEARLY EXCEEDS THE REQUIREMENTS OF THIS SECTION, OR IF THE STANDARD COULD REASONABLY BE ACHIEVED IN A MANNER THAT WOULD NOT SUBSTANTIALLY INTERFERE WITH THE USE OR ENJOYMENT OF NEIGHBORING PROPERTIES.
2. GLARES OR IS EXCESSIVE. LIGHTING SHALL NOT BE ORIENTED SO AS TO DIRECT GLARE OR EXCESSIVE ILLUMINATION ONTO STREETS IN A MANNER THAT MAY DISTRACT OR INTERFERE WITH THE VISION OF DRIVERS ON SUCH STREETS. COMPATIBILITY WITH RESIDENTIAL PROPERTIES. 1. LIGHTING SHALL BE DIRECTED AWAY FROM ANY RESIDENTIAL PROPERTIES. 2. THE CONE OF LIGHT SHALL NOT EXCEED 0.5 FOOT CANDLES AT ANY RESIDENTIAL PROPERTY LINE.
3. EXTERIOR SHIELDING OF LIGHT FIXTURES OR OTHER LIGHT MITIGATION MEASURES SHALL BE REQUIRED IF DEEMED NECESSARY BY CITY STAFF DURING THE SITE PLAN REVIEW PROCESS.



Consort, Inc. Copyright © 2022.
 NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS, OR STORED IN A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF CONSORT, INC.



PARKING TABLE

USE	REQUIRED	PROVIDED STRUCTURE			PROVIDED SURFACE			TOTAL
		STANDARD	TANDEM	HANDICAP	STANDARD	HANDICAP	ON-STREET	
1-BEDROOM 239 UNITS @ 1 SP./UNIT	239							
2-BEDROOM 32 UNITS @ 2 SP./UNIT	64							
COMMERCIAL RETAIL 5,932 S.F. @ 1 SP./250 S.F.	24							
TOTAL	327	292	14*	8	30	19	04	06

*TANDEM PARKING FOR 2-BEDROOM USE ONLY PER P.U.D.

SITE DATA

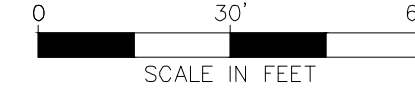
TOTAL	
TOTAL SITE AREA	176,628 S.F. 4.05 A.C.
TOTAL BUILDING COVERAGE	74,451 S.F. 1.71 A.C. 42.2%
PROPOSED USE:	
MULTIFAMILY	276 UNITS
RETAIL	6,061 S.F.
ZONING	PUD
TOTAL EXISTING IMPERVIOUS COVER	0 S.F. 0%
TOTAL PROPOSED IMPERVIOUS COVER	115,215 S.F. 65.23%

CURVE TABLE

CURVE	RADIUS	DELTA	ARC BEARING	CHORD	(RECORD CHORD)
C1	440.60'	12°24'38"	95.44'	S22°59'58"E 95.25'	(S22°06'41"E 95.25')
C2	15.00'	90°33'07"	23.71'	S15°07'32"W 23.32'	(S15°04'26"E 21.26')
C3	522.22'	21°43'03"	198.25'	S74°20'05"W 197.06'	

LINE TABLE

LINE	BEARING	DISTANCE	(RECORD BEARING)
L1	S61°00'51"W	39.40'	(S61°30'00"W 27.33, 33.31)
L2	S71°58'03"W	82.28'	(S72°30'51"W 82.32')
L3	S27°03'44"E	11.22'	(S28°44'02"E 11.40')



LEGEND

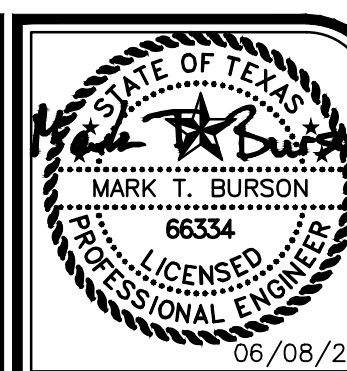
P.R.W.C.T.	PLAT RECORDS WILLIAMSON COUNTY, TEXAS	O.P.R.W.C.T.	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
①	SPACE NUMBER	—	PROPOSED CONCRETE WALK
②	COMPACT PARKING SPACE	—	PROPOSED ASPHALT PAVING
③	ACCESSIBLE PARKING SPACE	—	PROPOSED CONTOUR MORTAR STACK ROCK WALL
TC	TOP OF CURB	—	RETAINING WALL
BC	BOTTOM OF CURB	—	4" HT. WOOD FENCE
HP	HIGH POINT	—	WATER LINE
GRD	GROUND	—	WASTE WATER LINE
FL	FLOW LINE	—	STORM DRAIN LINE
TG	TOP OF GRATE	—	OVERHEAD UTILITIES
FW	TOP OF WALL	—	DOWN GUY
PMAT	PAVEMENT	—	UNDERGROUND UTILITIES
MH	MANHOLE	—	GAS LINE
CO	CLEANOUT	—	EXISTING TREE TO REMAIN
REF. DET.	REFER DETAIL	—	EXISTING TREE TO BE REMOVED
REF. ARCH.	REFER ARCHITECTURAL PLANS	—	SILT FENCE
TYP.	TYPICAL	—	FILTER DIKE
CONC.	CONCRETE	—	TREE PROTECTION FENCE
EXIST.	EXISTING	—	EXIST. SIGN
N87°00'00"E	SURVEY DATA	—	EXIST. LIGHT POLE
N90°00'00"E	RECORD DATA	—	DOWNPOUTS
BM	BENCHMARK	—	HAND RAILS
TBM	TEMPORARY BENCHMARK	—	TRAFFIC GUARD RAIL
IRON ROD FOUND	SURVEY MONUMENT	—	FIRE LANE DESIGNATION
IRON ROD SET	IRON ROD FOUND	—	ACCESSIBLE ROUTE
COTTON GUN BOLT	PROPERTY LINE	—	UNDERGROUND ELECTRIC
—	LIMITS OF CONSTRUCTION	—	
100.00	EXISTING SPOT ELEVATION	—	
100.00	PROPOSED SPOT ELEVATION	—	
—	EXISTING CONTOUR	—	
80P	BOTTOM OF POND	—	

ATTENTION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.



HIGH RISE/LEI VENTURES, LLC
 155 SCHMITT BLVD
 FARMINGDALE, NY, 11735

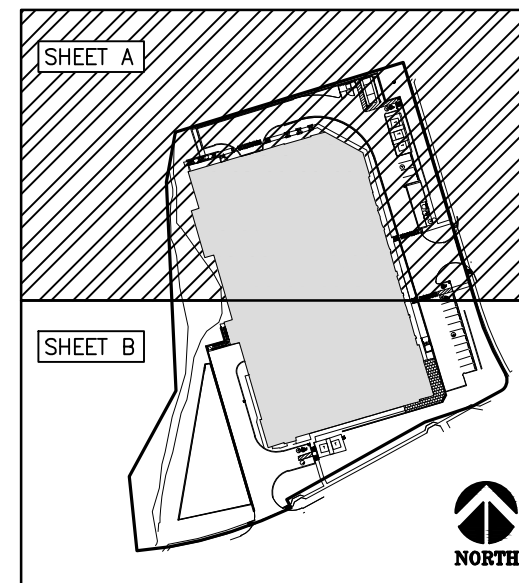
HESTERS 4 APARTMENTS
 2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681
 OVERALL SITE PLAN



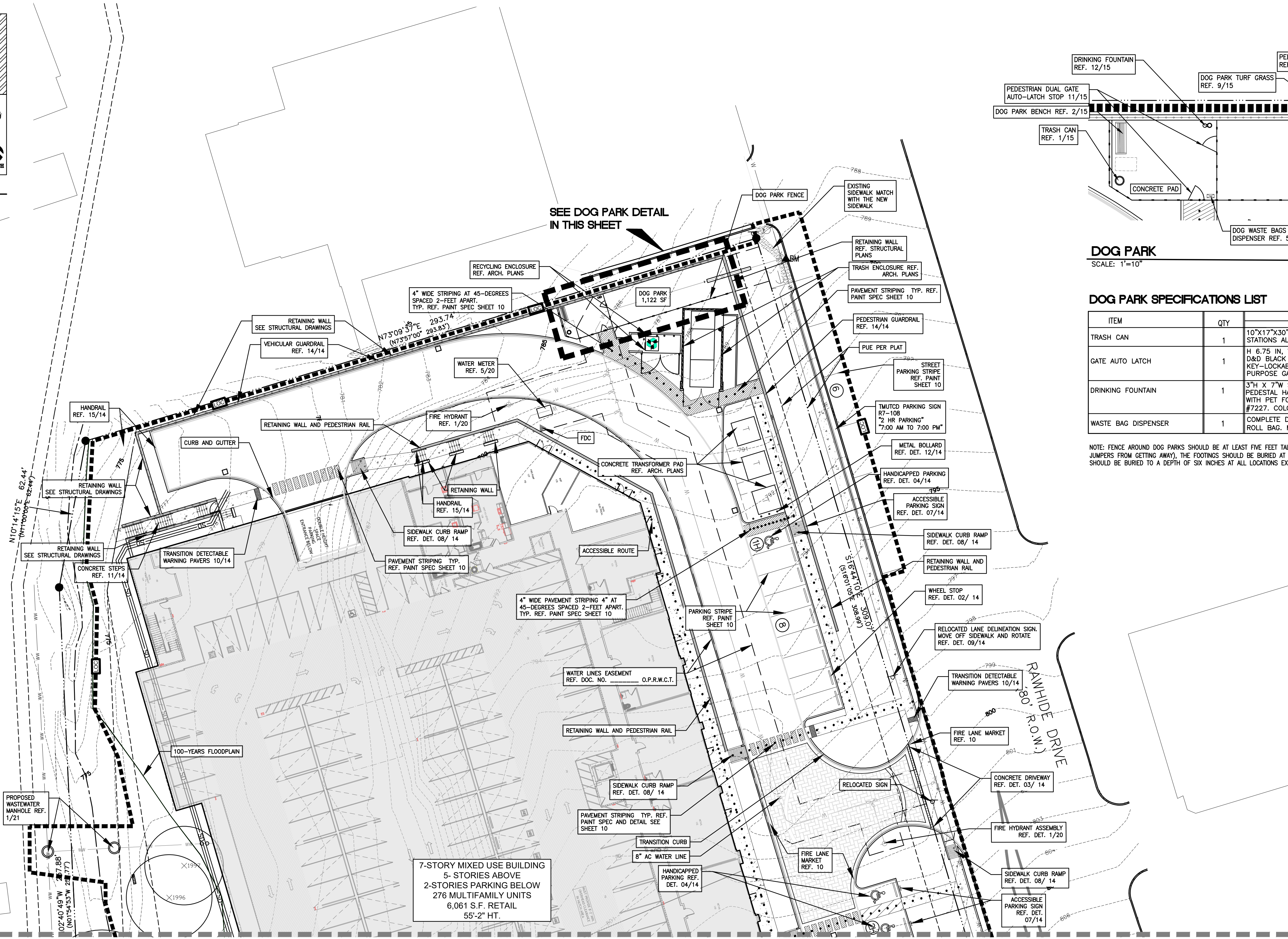
JOB NO.: 1587-003
 DRAWN BY:
 SCALE: 1"=30'
 DATE: 06/08/23
 FILE:
 REV./CORR:

SHEET
 10
 of
 40

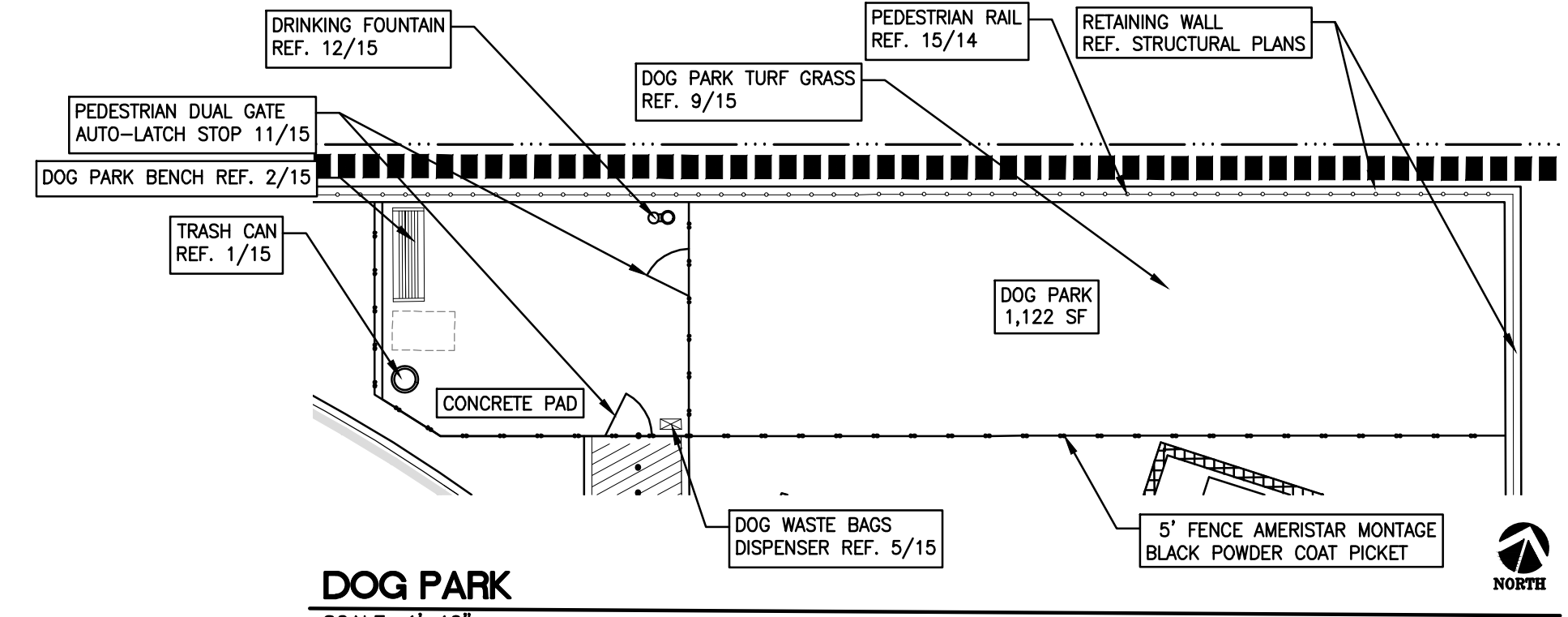
FILE: J:\WORK\1587-003\SITE DEV PLANS\10 - OVERALL SITE PLAN.DWG - PLOTTED ON: 06/08/23 9:29AM - BY: ATOURGATE



KEY MAP
SCALE: N.T.S.



MATCHLINE THIS SHEET 12



DOG PARK
SCALE: 1"=10'

DOG PARK SPECIFICATIONS LIST

ITEM	QTY	MODEL	DESCRIPTION
TRASH CAN	1	10"x17"x30" DOGIPOT PET STATIONS ALUMINUM CONTAINER	KING RIVER CASTING
GATE AUTO LATCH	1	H 6.75 IN, W 7 IN, D 2.75 IN. D&D BLACK TWO-SIDED KEY-LOCKABLE GENERAL PURPOSE GATE LATCH.	LOKKLATCH
DRINKING FOUNTAIN	1	3'H X 7"W STAINLESS STEEL PEDESTAL HAND WASH STATION WITH PET FOUNTAIN. MODEL #7227. COLOR PER OWNER	DOG-ON-IT-PARKS
WASTE BAG DISPENSER	1	COMPLETE DOG WASTE STATION ROLL BAG. MODEL #: 7408R	DOG-ON-IT-PARKS

NOTE: FENCE AROUND DOG PARKS SHOULD BE AT LEAST FIVE FEET TALL (TO PREVENT EVEN THE MOST TALENTED JUMPERS FROM GETTING AWAY), THE FOOTINGS SHOULD BE BURIED AT LEAST ONE FOOT DOWN, AND FENCE PANELS SHOULD BE BURIED TO A DEPTH OF SIX INCHES AT ALL LOCATIONS EXCEPT AT ACCESS POINTS.



LEGEND

①	P.R.W.C.T. PLAT RECORDS WILLIAMSON COUNTY, TEXAS	○	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
②	SPACE NUMBER	▬	PROPOSED CONCRETE WALK
③	COMPACT PARKING SPACE	▬	PROPOSED CONCRETE PAVING
④	ACCESSIBLE PARKING SPACE	▬	PROPOSED ASPHALT PAVING
TC	TOP OF CURB	▬	PROPOSED CONTOUR
BC	BOTTOM OF CURB	▬	MORTAR STACK ROCK WALL
HP	HIGH POINT	▬	RETAINING WALL
GRD	GROUND	▬	2" HT. WOOD FENCE
FL	FLOW LINE	▬	WASTE WATER LINE
TG	TOP OF GRATE	▬	STORM DRAIN LINE
TW	TOP OF WALL	▬	OVERHEAD UTILITIES
PWMT	PANCREAT	▬	DOWN GUY
MH	MANHOLE	○	UNDERGROUND UTILITIES
CO	CLEANOUT	○	GAS LINE
REF. DET.	REFER DETAIL	○	EXISTING TREE TO REMAIN
REF. ARCH.	REFER ARCHITECTURAL PLANS	○	EXISTING TREE TO BE REMOVED
TYP.	TYPICAL	○	EXISTING TREE TO BE REMOVED
CONC.	CONCRETE	○	EXISTING TREE TO BE REMOVED
EXIST.	EXISTING	○	EXISTING TREE TO BE REMOVED
N87°00'00"E	SURVEY DATA	○	EXISTING TREE TO BE REMOVED
N87°00'00"E	RECORD DATA	○	EXISTING TREE TO BE REMOVED
BM	BENCHMARK	○	SILT FENCE
TBM	TEMPORARY BENCHMARK	○	FILTER DIKE
IRON ROD FOUND	SURVEY MONUMENT	○	TREE PROTECTION FENCE
IRON ROD SET	IRON ROD FOUND	○	EXIST. SIGN
COTTON GIN BOLT	IRON ROD SET	○	EXIST. LIGHT POLE
○	PROPERTY LINE	○	DOWNPOUTS
▬	LIMITS OF CONSTRUCTION	○	HAND RAILS
100.00	EXISTING SPOT ELEVATION	○	TRAFFIC GUARD RAIL
100.00	PROPOSED SPOT ELEVATION	○	FIRE LANE DESIGNATION
100.00	EXISTING CONTOUR	○	ACCESSIBLE ROUTE
100.00	BOTTOM OF POND	○	UNDERGROUND ELECTRIC

ATTENTION

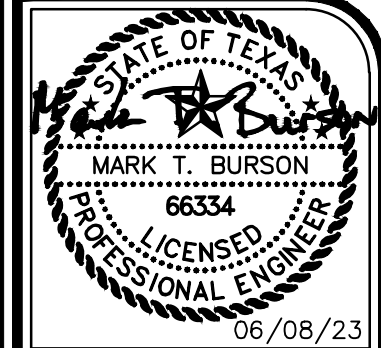
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

FILE: J:\WORK\1587-003\SITE DEV PLANS\11-12- DETAILED SITE PLAN.DWG - PLOTTED ON: 06/08/23 10:47AM - BY: ATOURGATE

Consort, Inc. Copyright © 2022.
NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS OR STORED IN A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF CONSORT, INC.



HIGH RISE/LEB VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

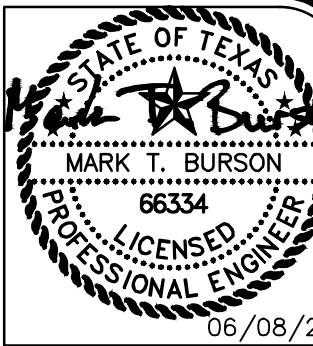
HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681

DETAILED SITE PLAN A



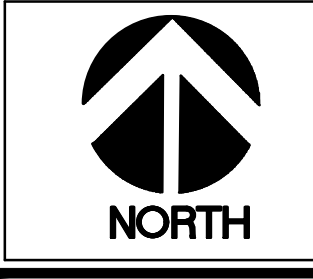
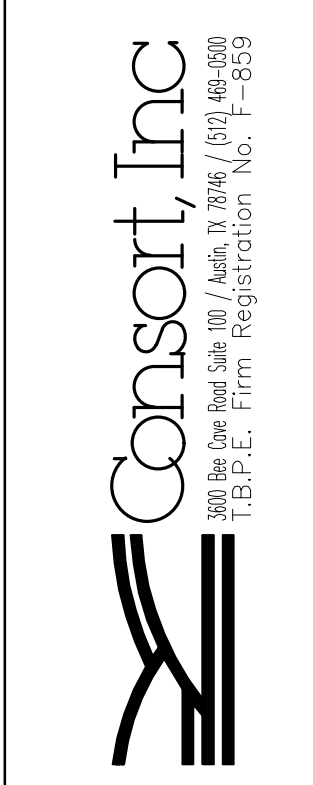
JOB NO.: 1587-003
DRAWN BY:
SCALE: 1"=20'
DATE: 06/08/23
FILE:
REV./CORR:

SHEET
11
of
40



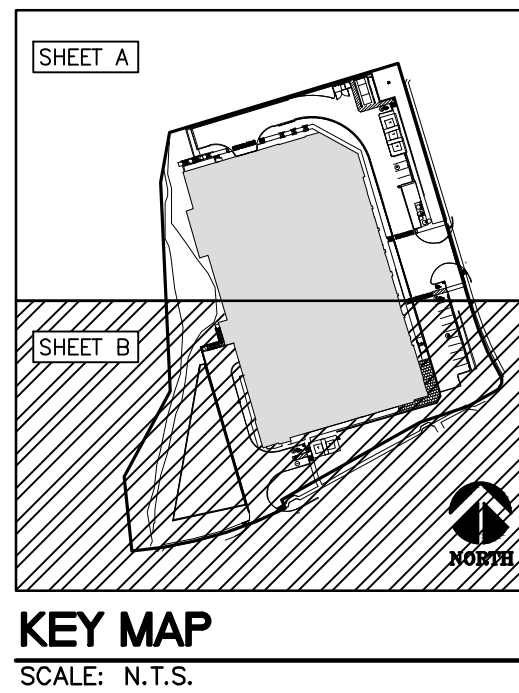
HCH RUSTLER VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681
DETAILED SITE PLAN B



JOB NO.: 1587-003
DRAWN BY: 1"=20'
SCALE: 06/08/23
DATE:
FILE:
XREF:
REV./CORR:

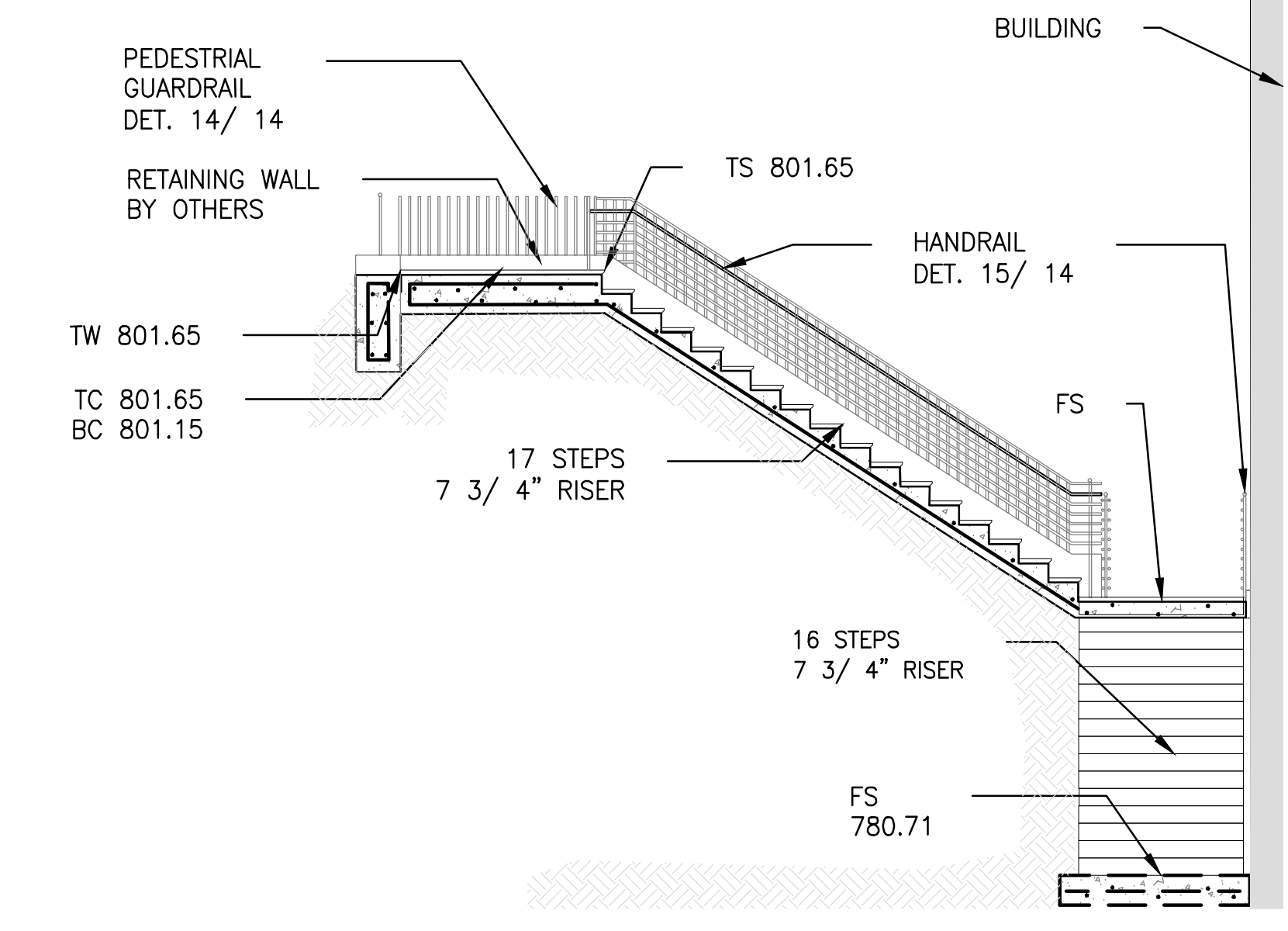
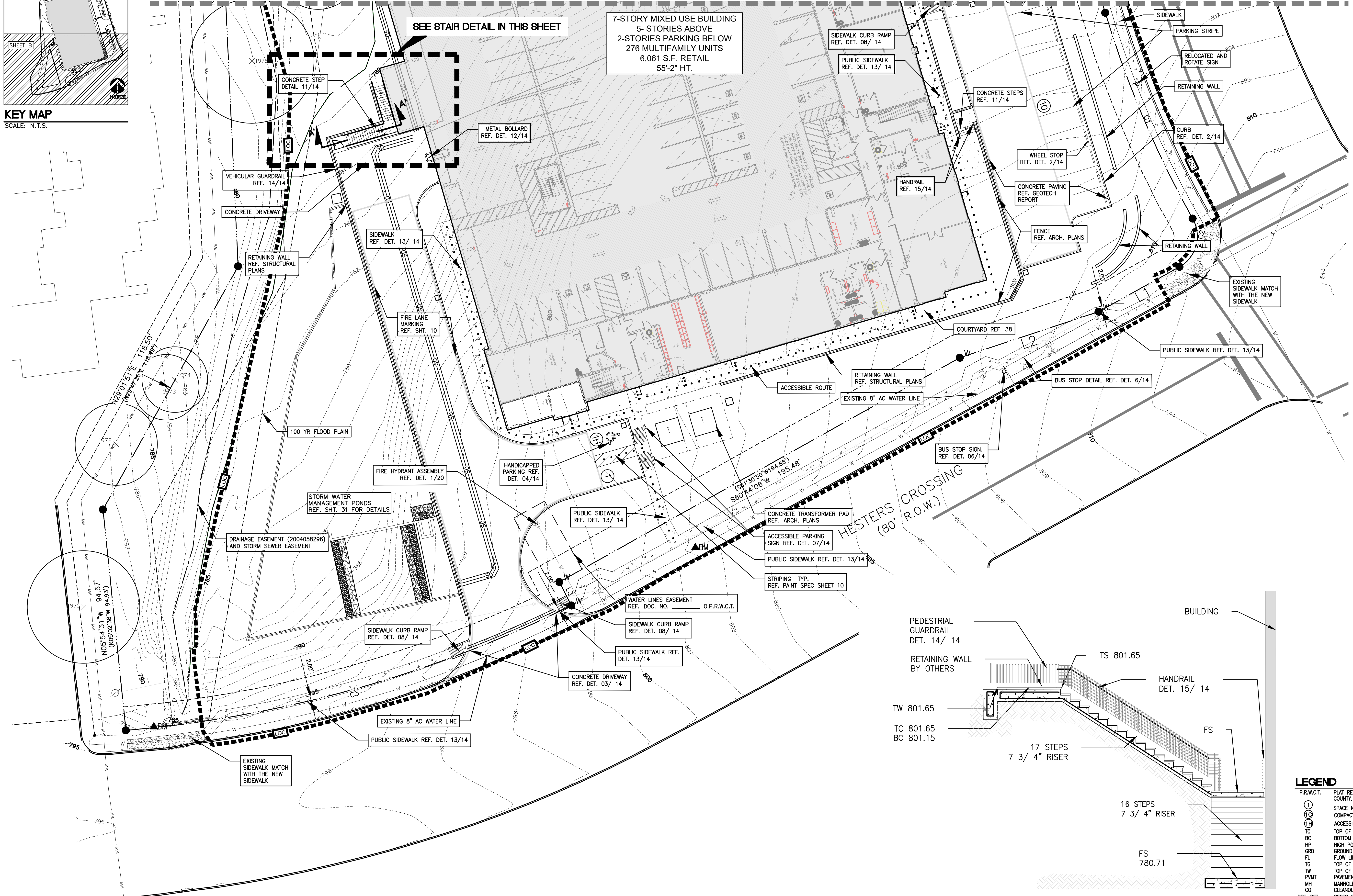
SHEET
12
of
40



MATCHLINE THIS SHEET 11

7-STORY MIXED USE BUILDING
5- STORIES ABOVE
2-STORIES PARKING BELOW
276 MULTIFAMILY UNITS
6,061 S.F. RETAIL
55'-2" HT.

SEE STAIR DETAIL IN THIS SHEET



02 STAIR SECTION A'-A'

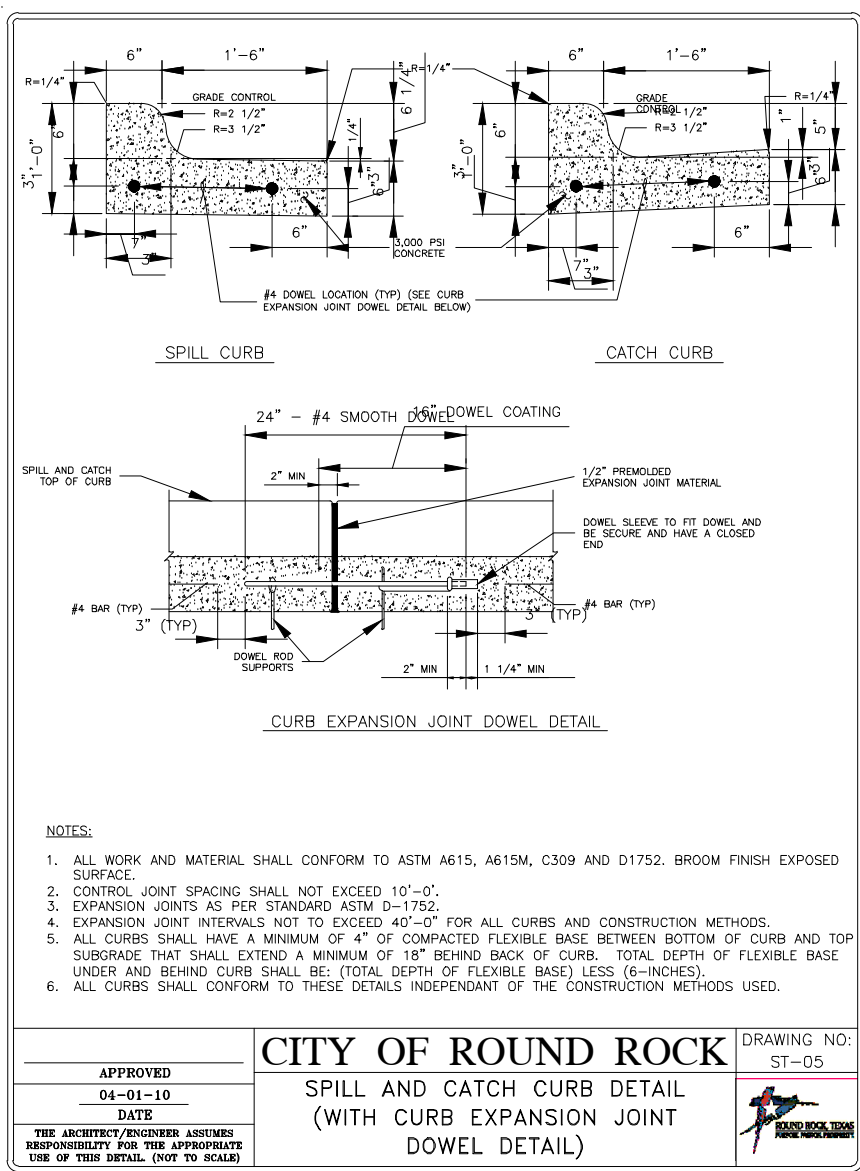
SCALE: 1"=5'

ATTENTION
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.
ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

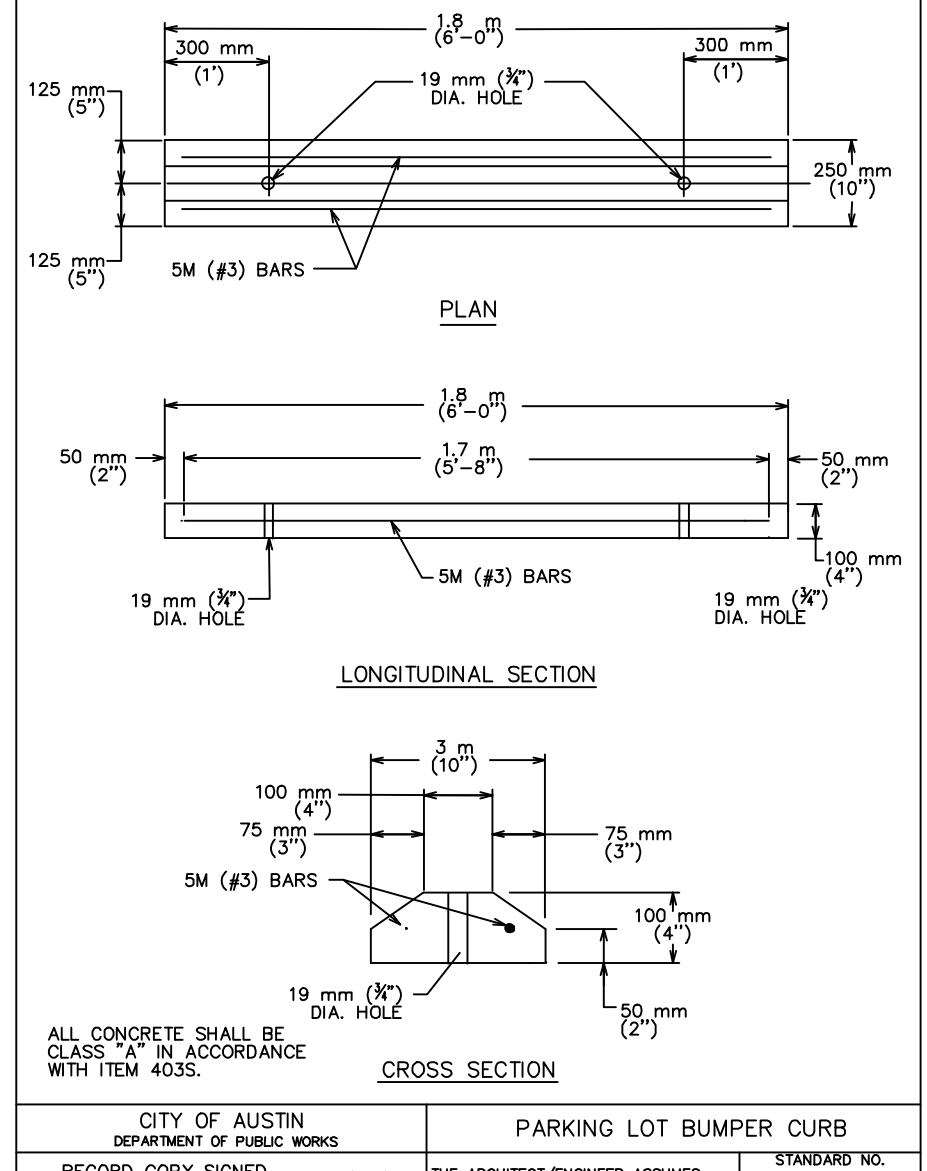
LEGEND

P.R.W.C.T.	FLAT RECORDS WILLIAMSON COUNTY, TEXAS	O.P.R.W.C.T.	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
1	SPACE NUMBER	[Symbol]	PROPOSED CONCRETE WALK
2	COMPACT PARKING SPACE	[Symbol]	PROPOSED CONCRETE PAVING
3	ACCESSIBLE PARKING SPACE	[Symbol]	PROPOSED ASPHALT PAVING
TC	TOP OF CURB	[Symbol]	PROPOSED CONTOUR
BC	BOTTOM OF CURB	[Symbol]	MORTAR STACK ROCK WALL
HP	HIGH POINT	[Symbol]	RETAINING WALL
GRD	GROUND	[Symbol]	4" HT. WOOD FENCE
FL	FLOW LINE	[Symbol]	WATER LINE
TG	TOP OF GRATE	[Symbol]	WASTE WATER LINE
TW	TOP OF WALL	[Symbol]	STORM DRAIN LINE
PVMT	PAVEMENT	[Symbol]	OVERHEAD UTILITIES
MH	MANHOLE	[Symbol]	DOWN GUY
CO	CLEANOUT	[Symbol]	UNDERGROUND UTILITIES
REF. DET.	REFER DETAIL	[Symbol]	GAS LINE
REF. ARCH.	REFER ARCHITECTURAL PLANS	[Symbol]	EXISTING TREE TO REMAIN
TYP.	TYPICAL	[Symbol]	EXISTING TREE TO BE REMOVED
CONC.	CONCRETE	[Symbol]	EXIST. SIGN
EXIST.	EXISTING	[Symbol]	EXIST. LIGHT POLE
NS0700'00"E	SURVEY DATA	[Symbol]	DOWNSPOTS
(NS0700'00"E)	RECORD DATA	[Symbol]	HAND RAILS
BM	BENCHMARK	[Symbol]	TRAFFIC GUARD RAIL
TBM	TEMPORARY BENCHMARK	[Symbol]	FIRE LANE DESIGNATION
SM	SURVEY MONUMENT	[Symbol]	ACCESSIBLE ROUTE
IRON ROD FOUND	IRON ROD FOUND	[Symbol]	UNDERGROUND ELECTRIC
IRON ROD SET	IRON ROD SET	[Symbol]	
COTTON GIN BOLT	COTTON GIN BOLT	[Symbol]	
PROPERTY LINE	PROPERTY LINE	[Symbol]	
LIMITS OF CONSTRUCTION	LIMITS OF CONSTRUCTION	[Symbol]	
100.00	EXISTING SPOT ELEVATION	[Symbol]	
100.00	PROPOSED SPOT ELEVATION	[Symbol]	
100.00	EXISTING CONTOUR	[Symbol]	
100.00	PROPOSED CONTOUR	[Symbol]	
BOF	BOTTOM OF POND	[Symbol]	

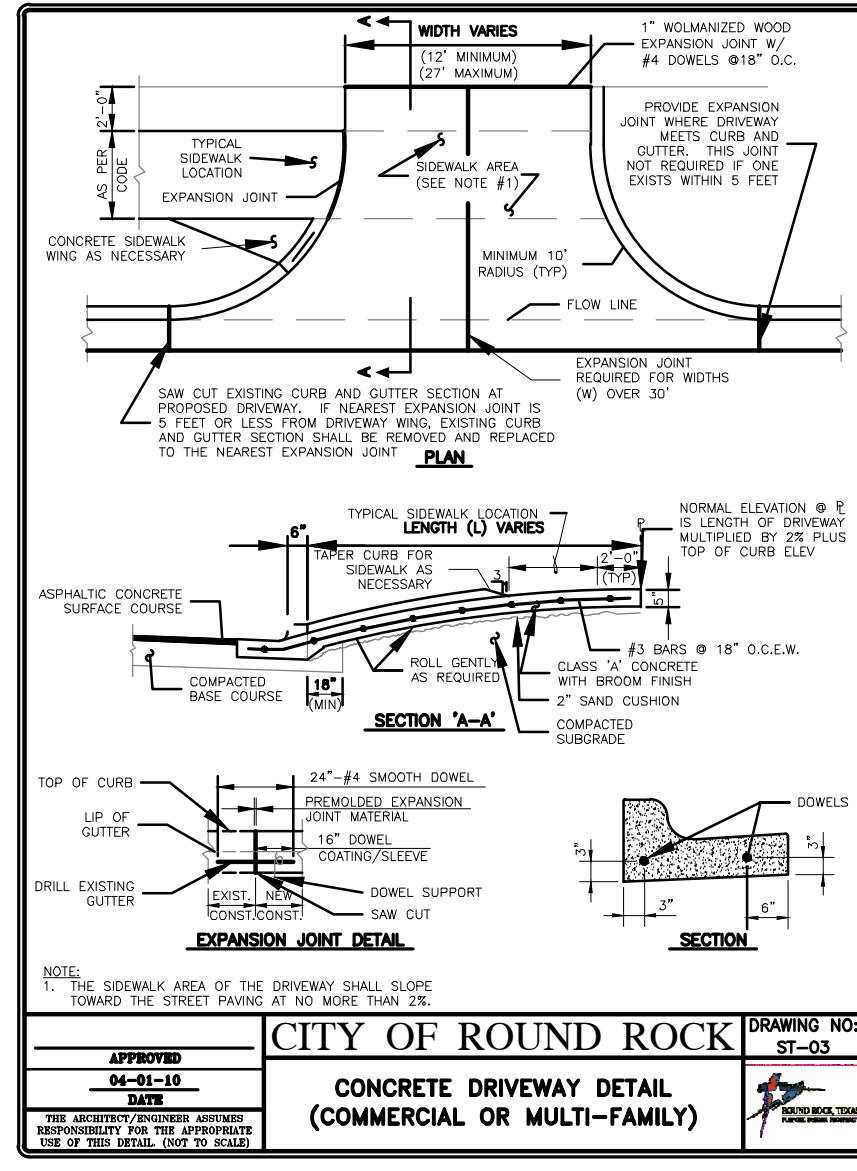
FILE: J:\WORK\1587-003\SITE DEV PLANS\11-12- DETAILED SITE PLANDWG - PLOTTED ON: 06/08/23 10:47AM - BY: ATOURGATE



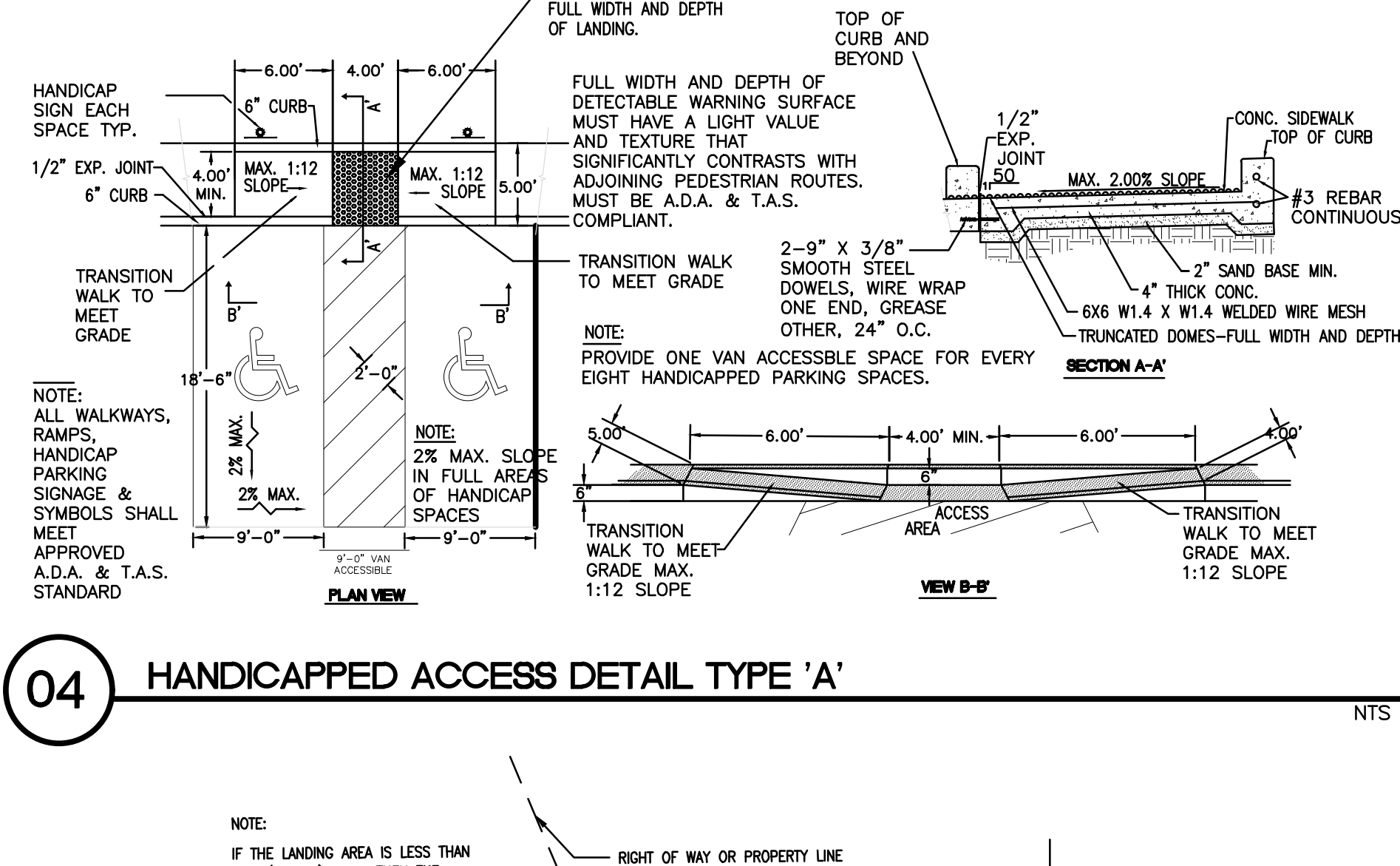
01 SPILL AND CATCH CURB DETAIL NTS



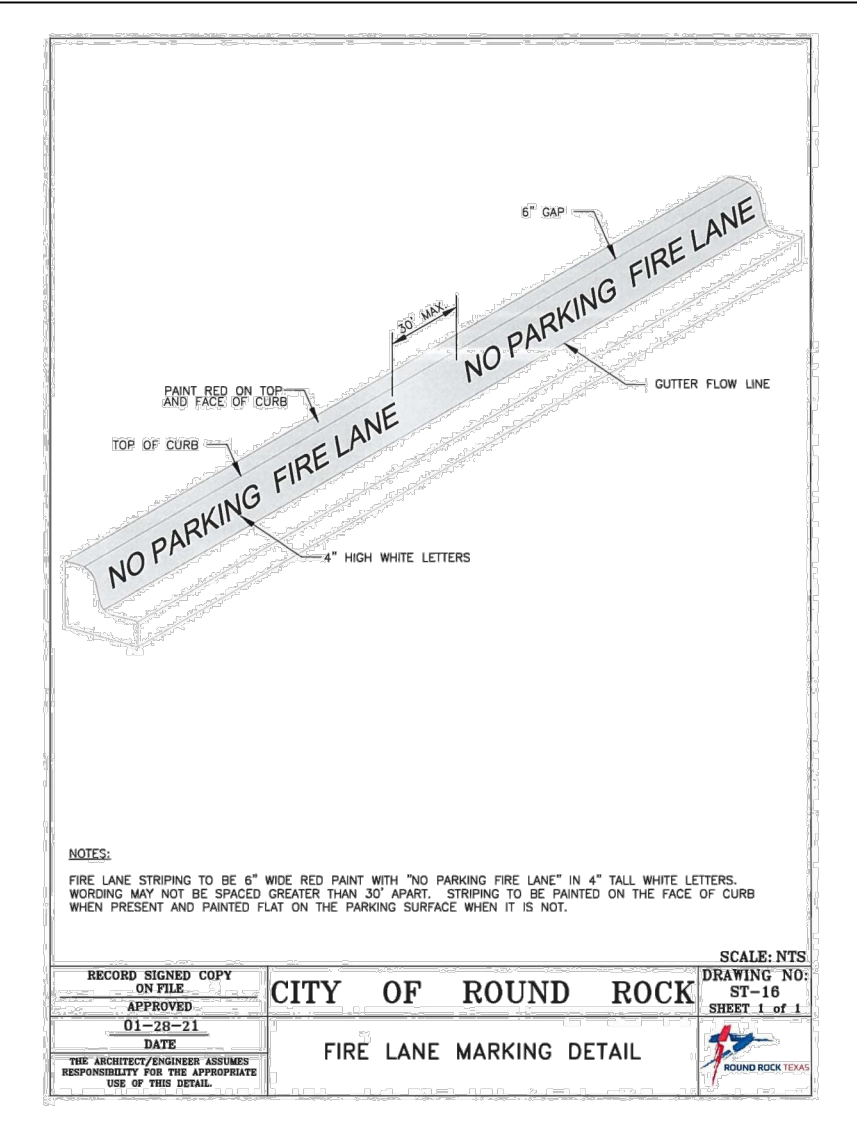
02 WHEEL STOP DETAIL NTS



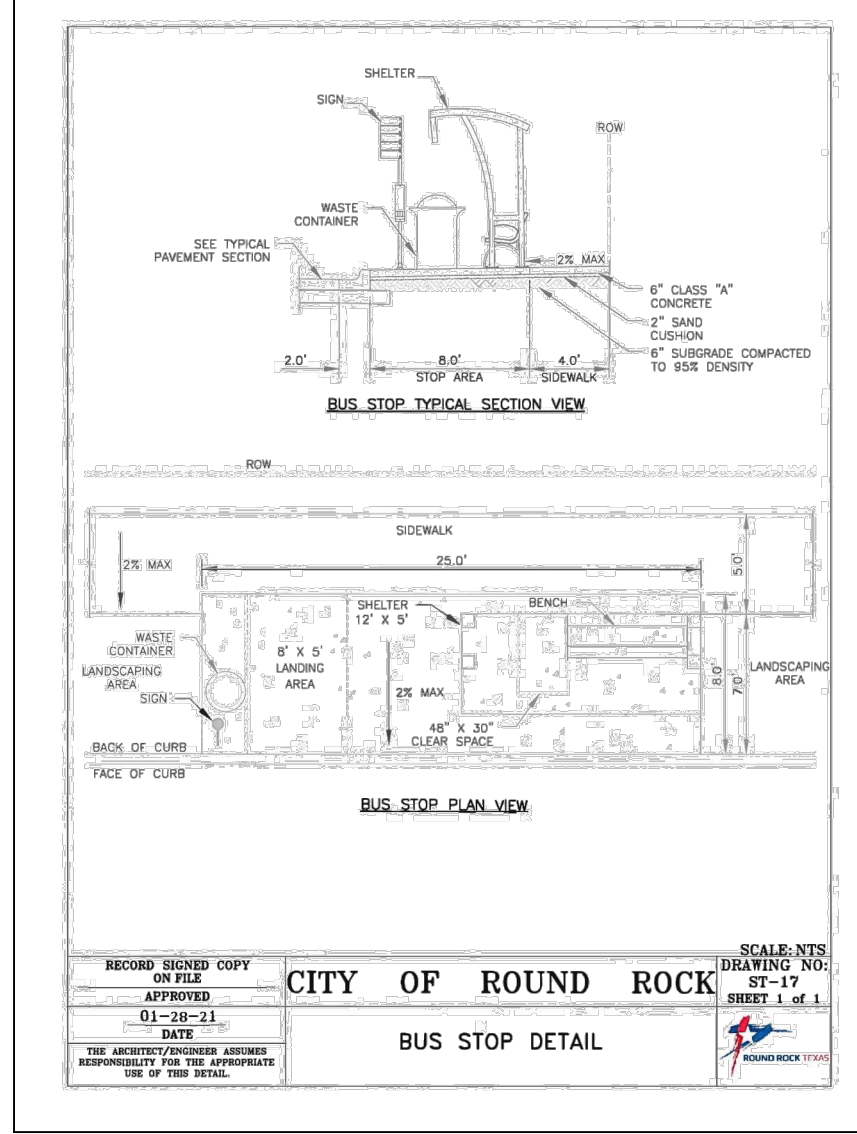
03 CONCRETE DRIVEWAY DETAIL (COMMERCIAL OR MULTI-FAMILY) NTS



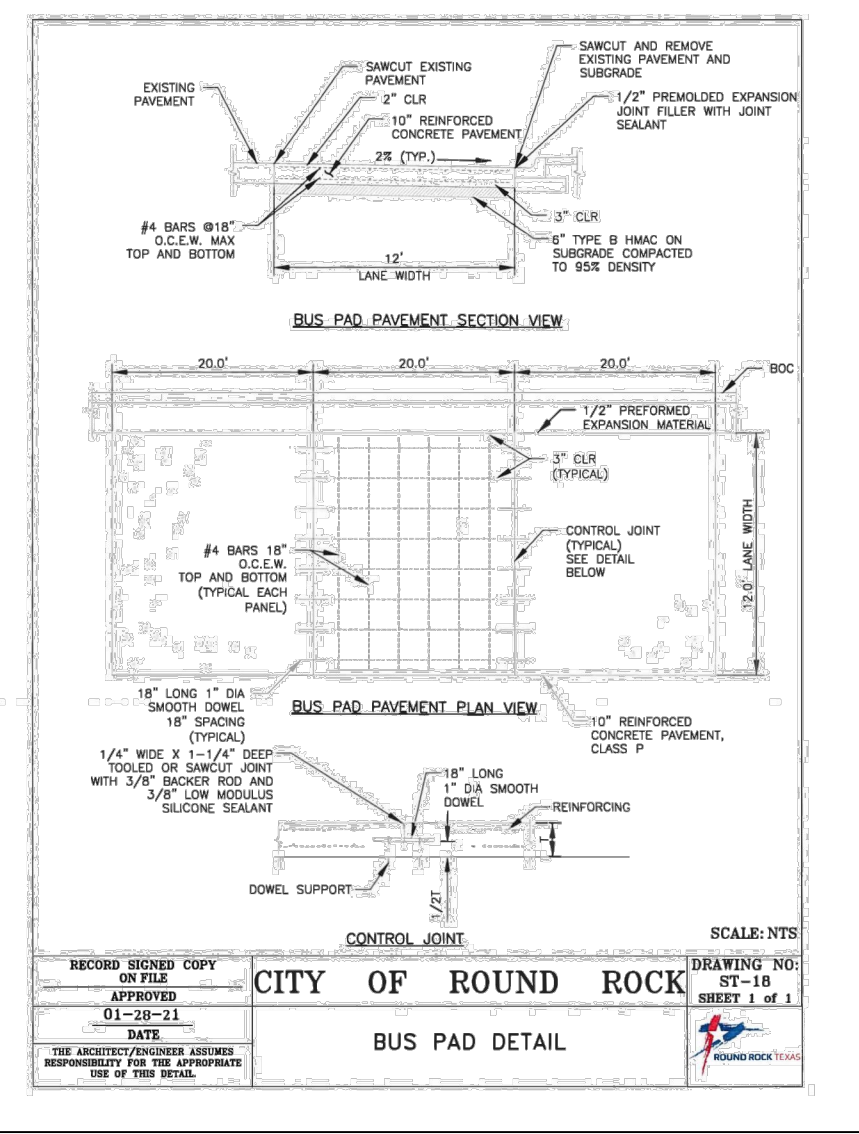
04 HANDICAPPED ACCESS DETAIL TYPE 'A' NTS



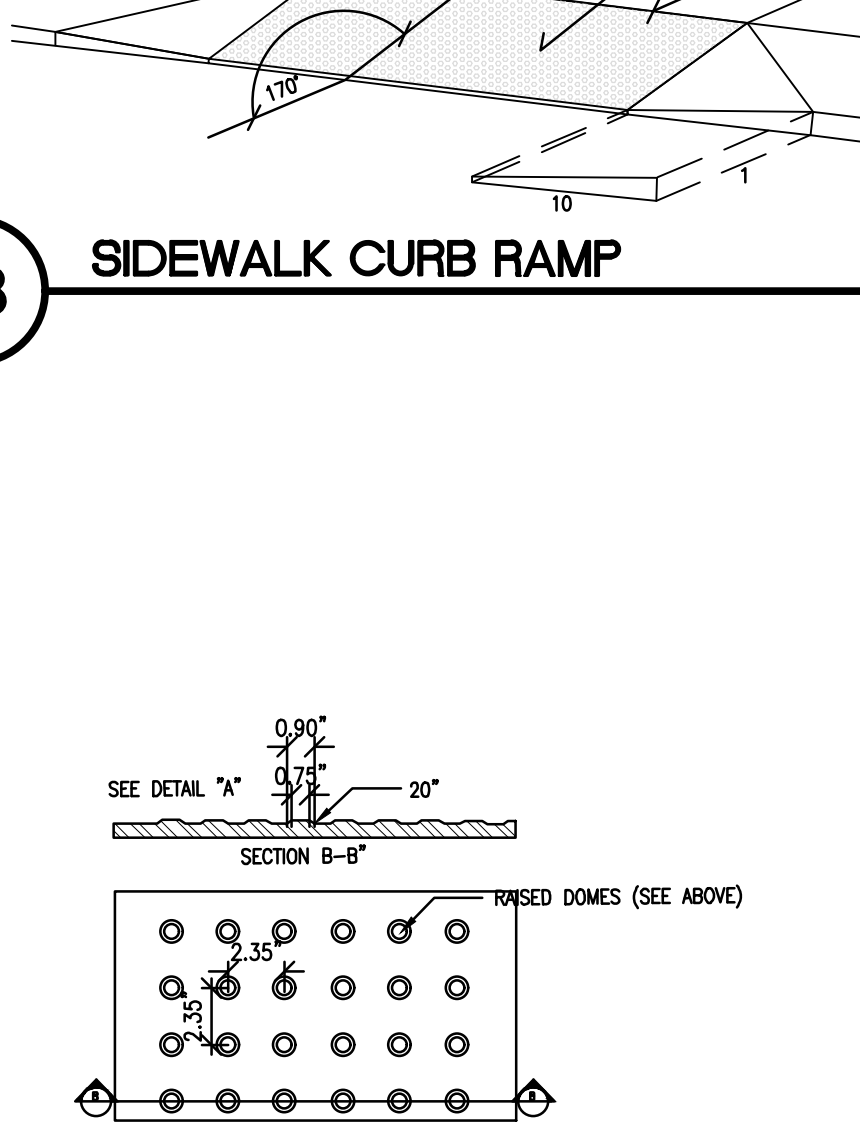
05 FIRE LANE MARKING DETAIL NTS



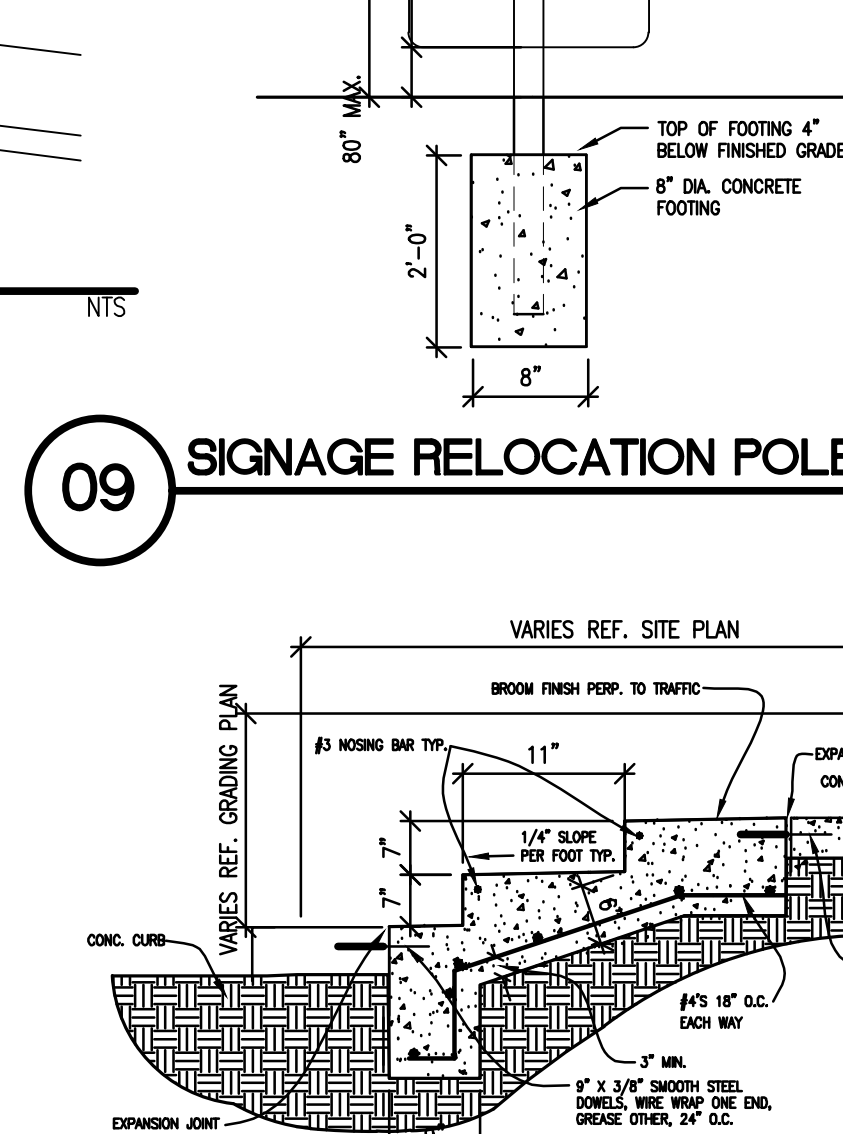
06 BUS STOP DETAIL NTS



07 ACCESSIBILITY SIGNAGE DETAIL NTS



08 SIDEWALK CURB RAMP NTS



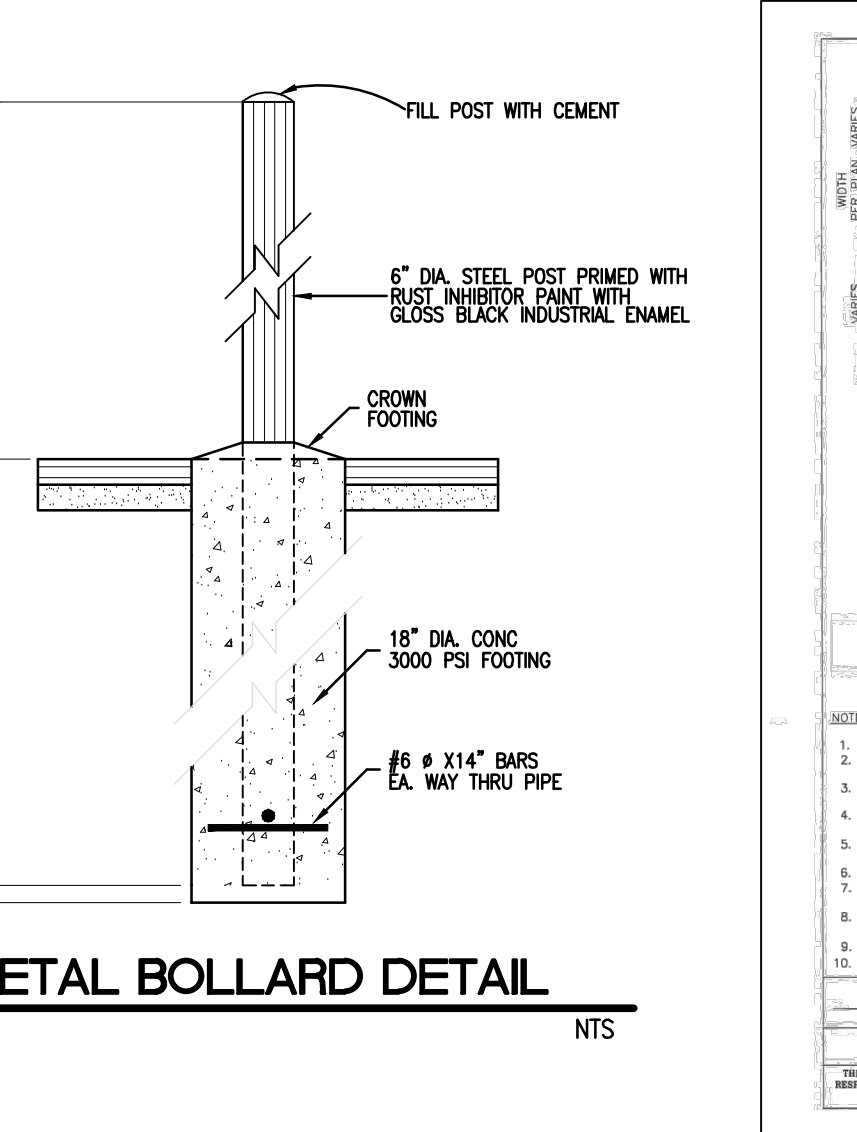
09 SIGNAGE RELOCATION POLE DETAIL NTS



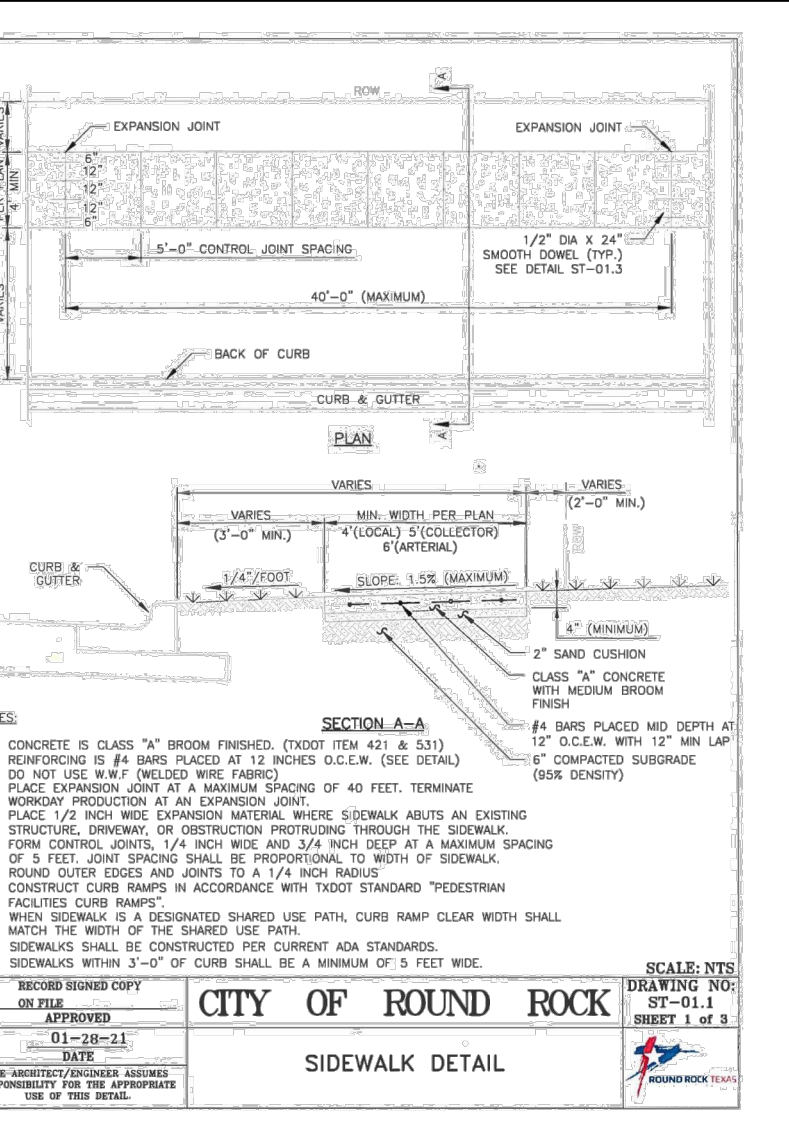
10 DETECTABLE WARNING ON RAMP WALK SURFACE NTS



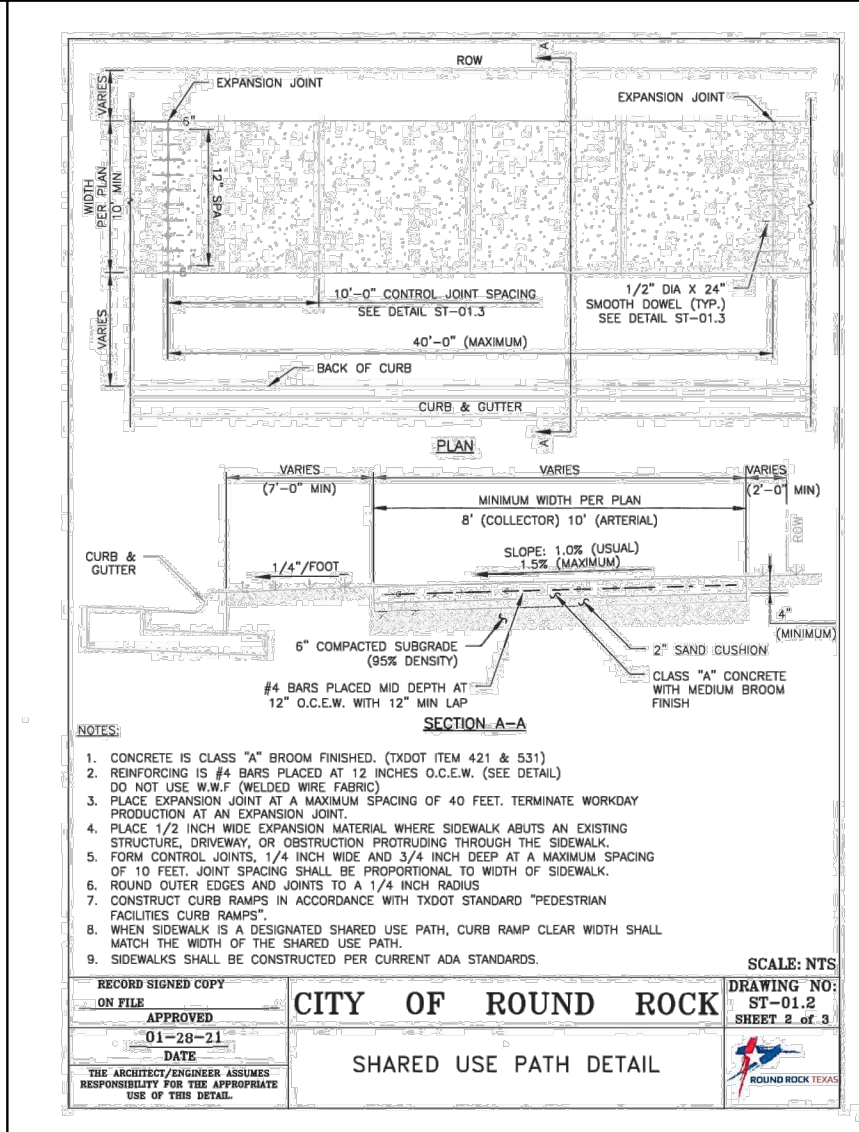
11 CONCRETE STEP DETAIL NTS



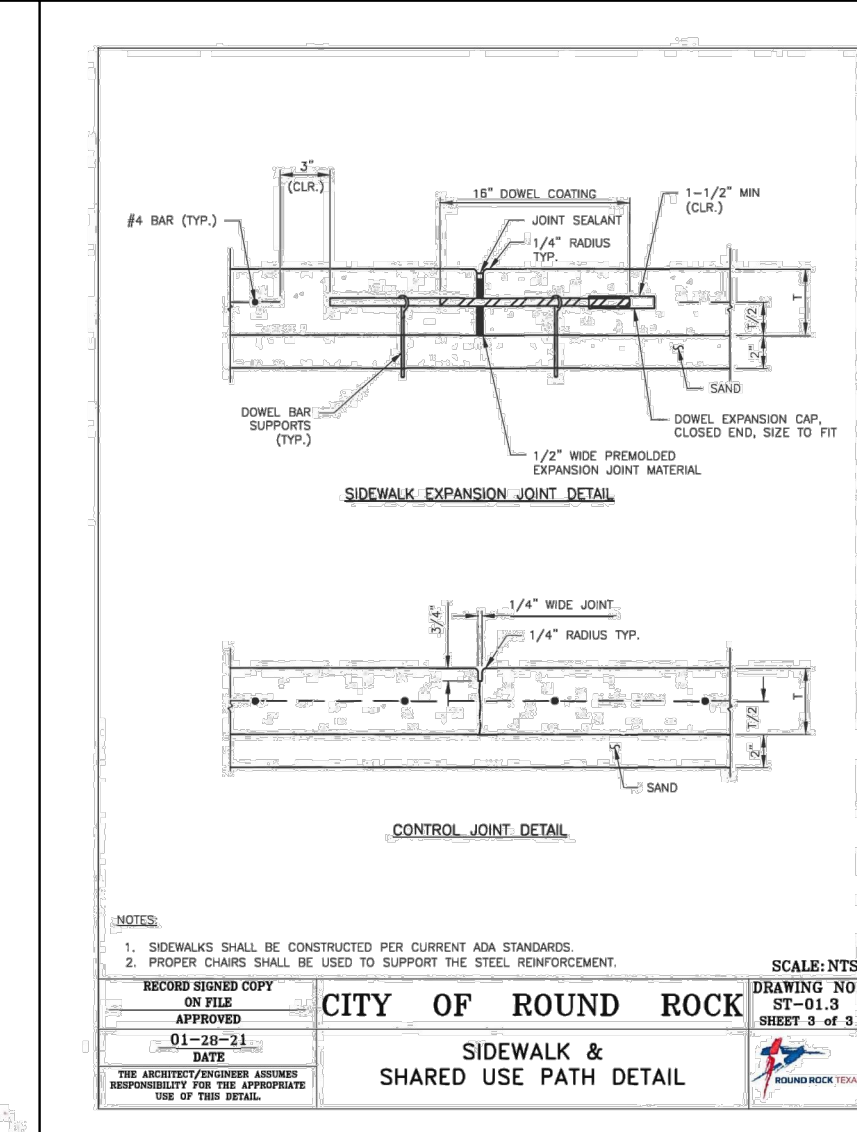
12 METAL BOLLARD DETAIL NTS



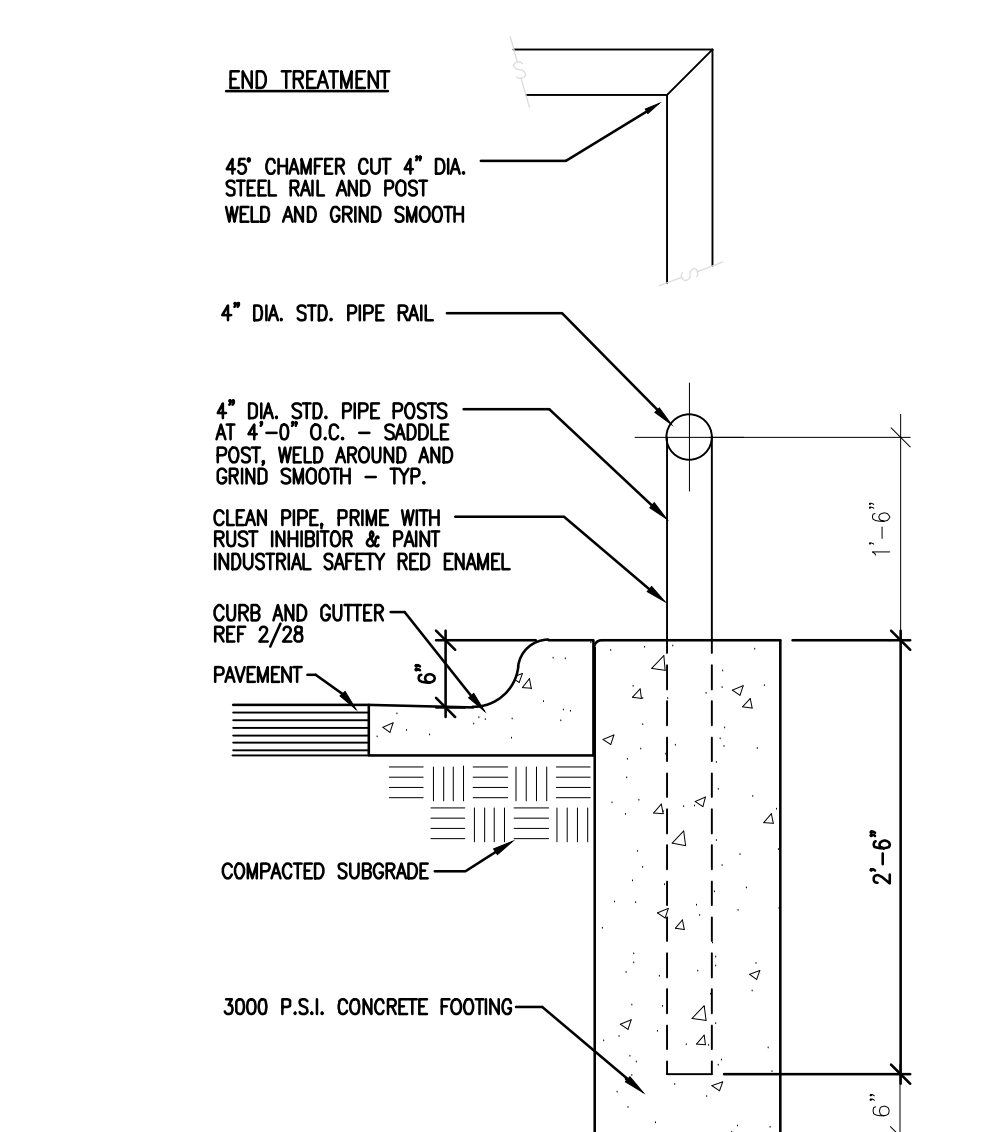
13 SIDEWALK NTS



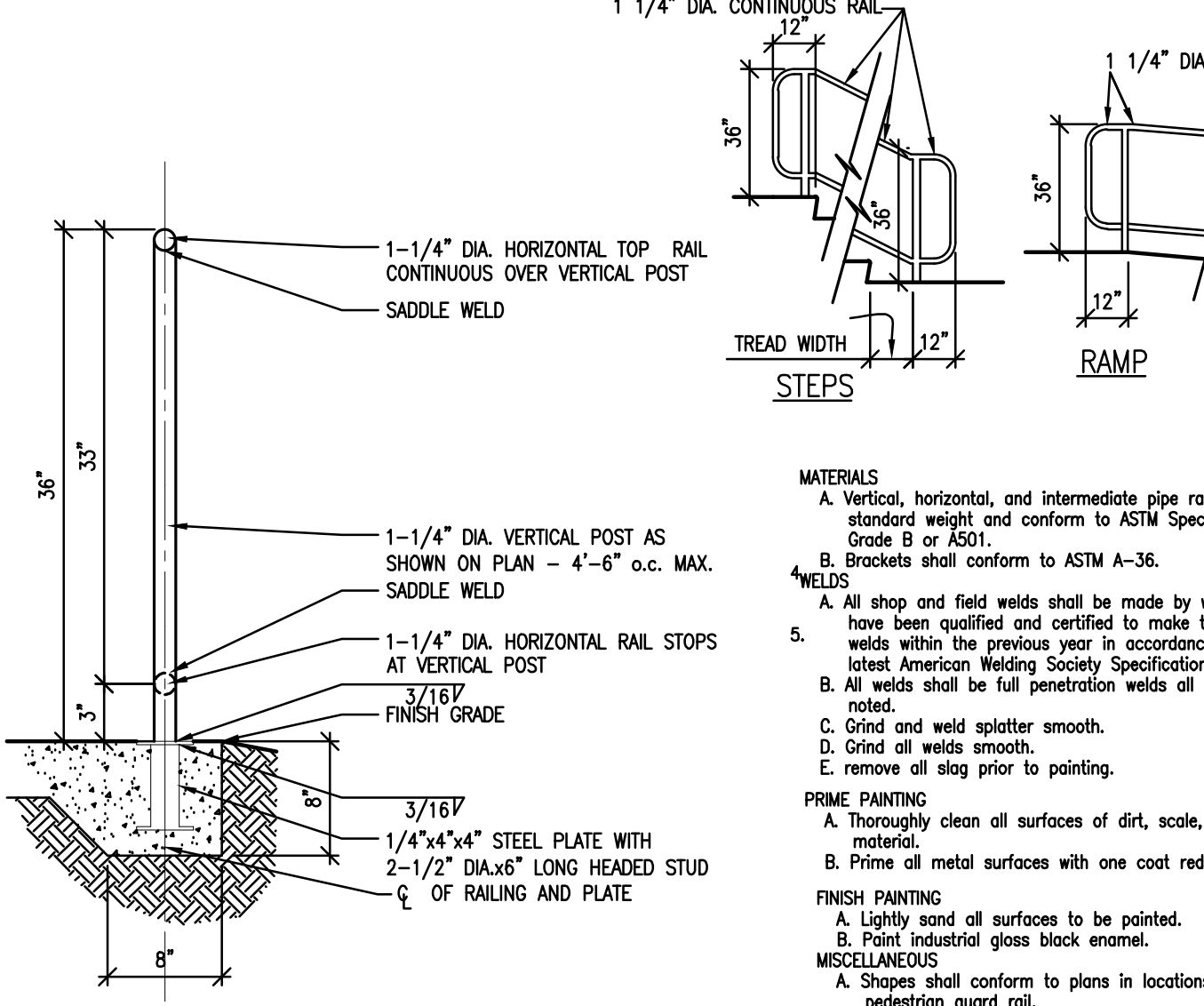
14 SHARED USE PATH DETAIL NTS



15 HANDRAIL DETAIL NTS



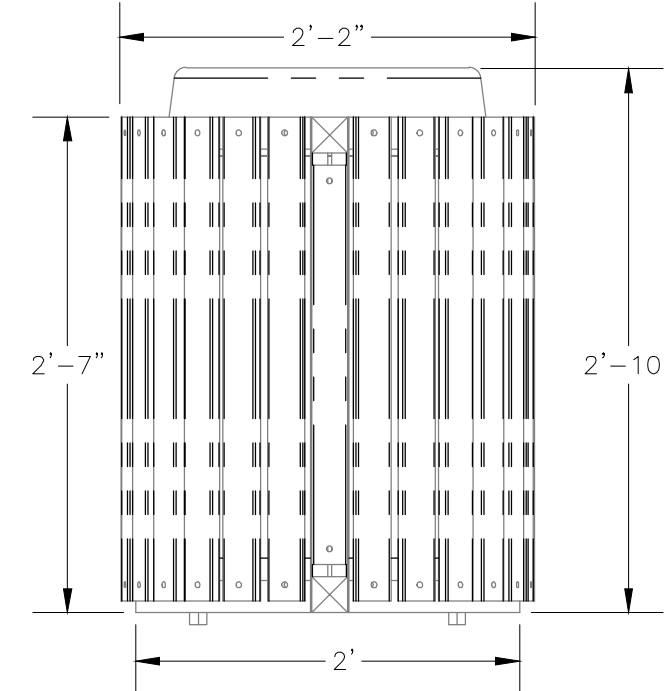
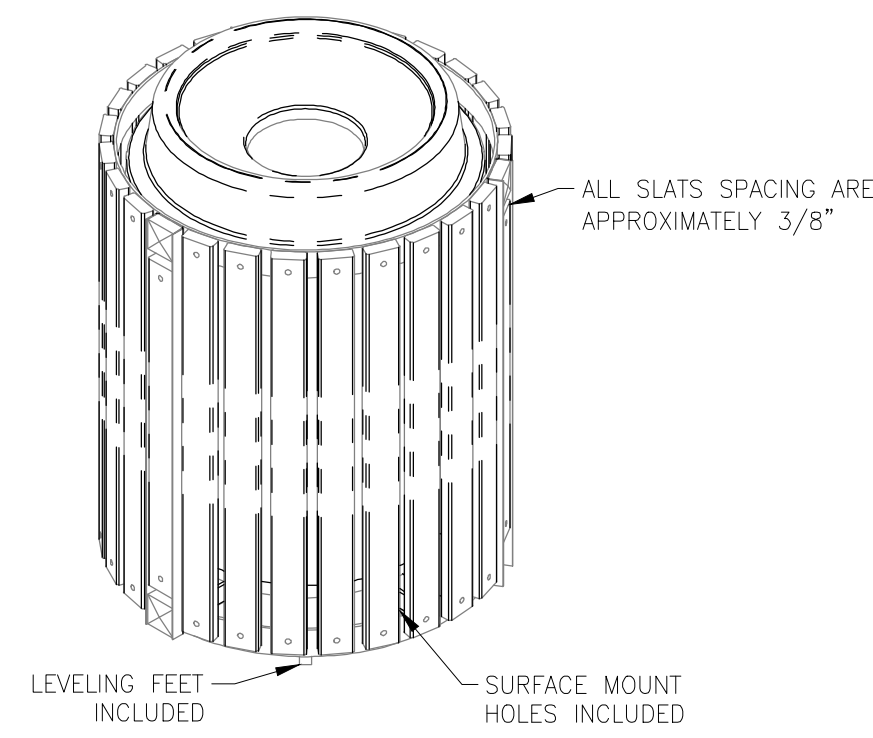
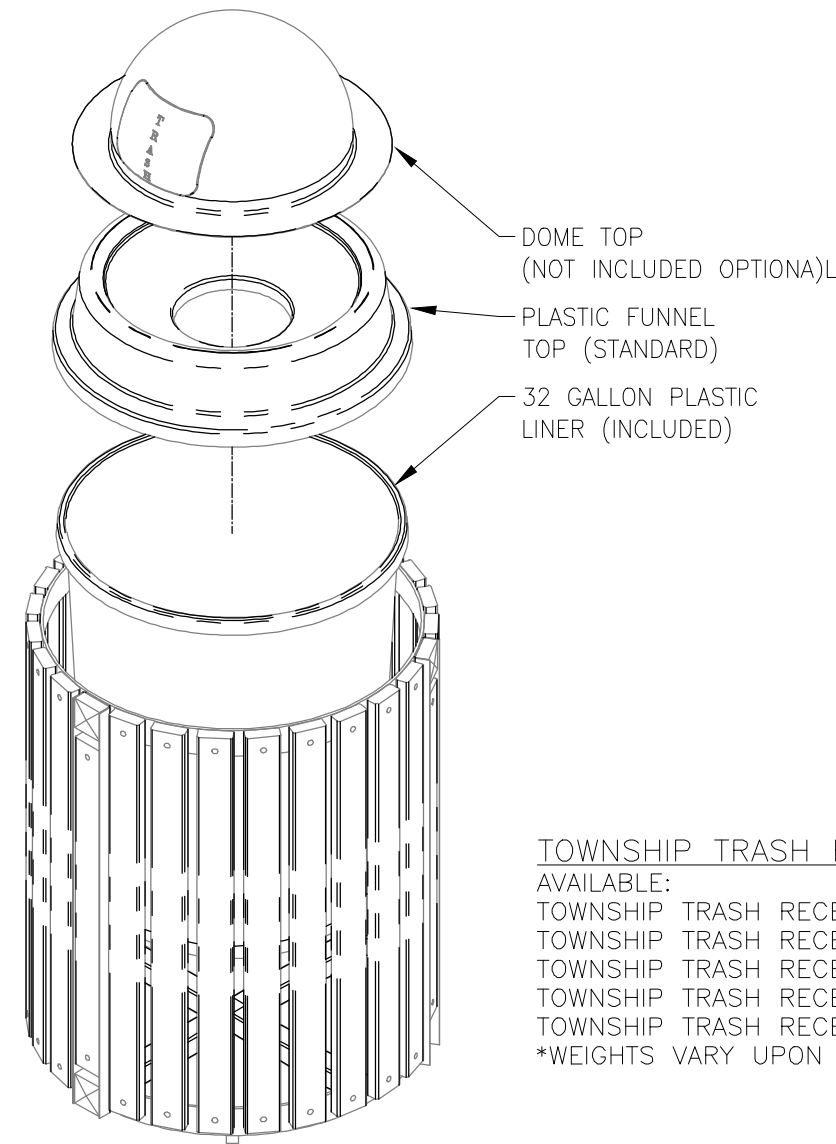
16 GUARD RAIL W/ CONCRETE FOOTING NTS



17 HANDRAIL DETAIL NTS

FILE: J:\WORK\1587-003\SITE DEV PLANS\14-SITE PLAN DETAILS.DWG - PLOTTED ON: 06/08/23 9:30AM - BY: ATOURGATE

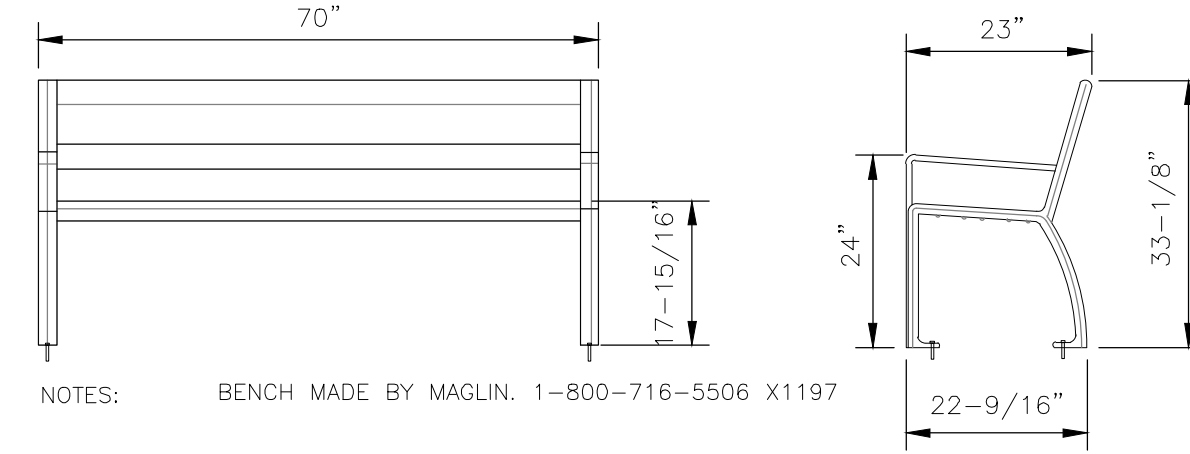
LID OPTIONS INCLUDE:



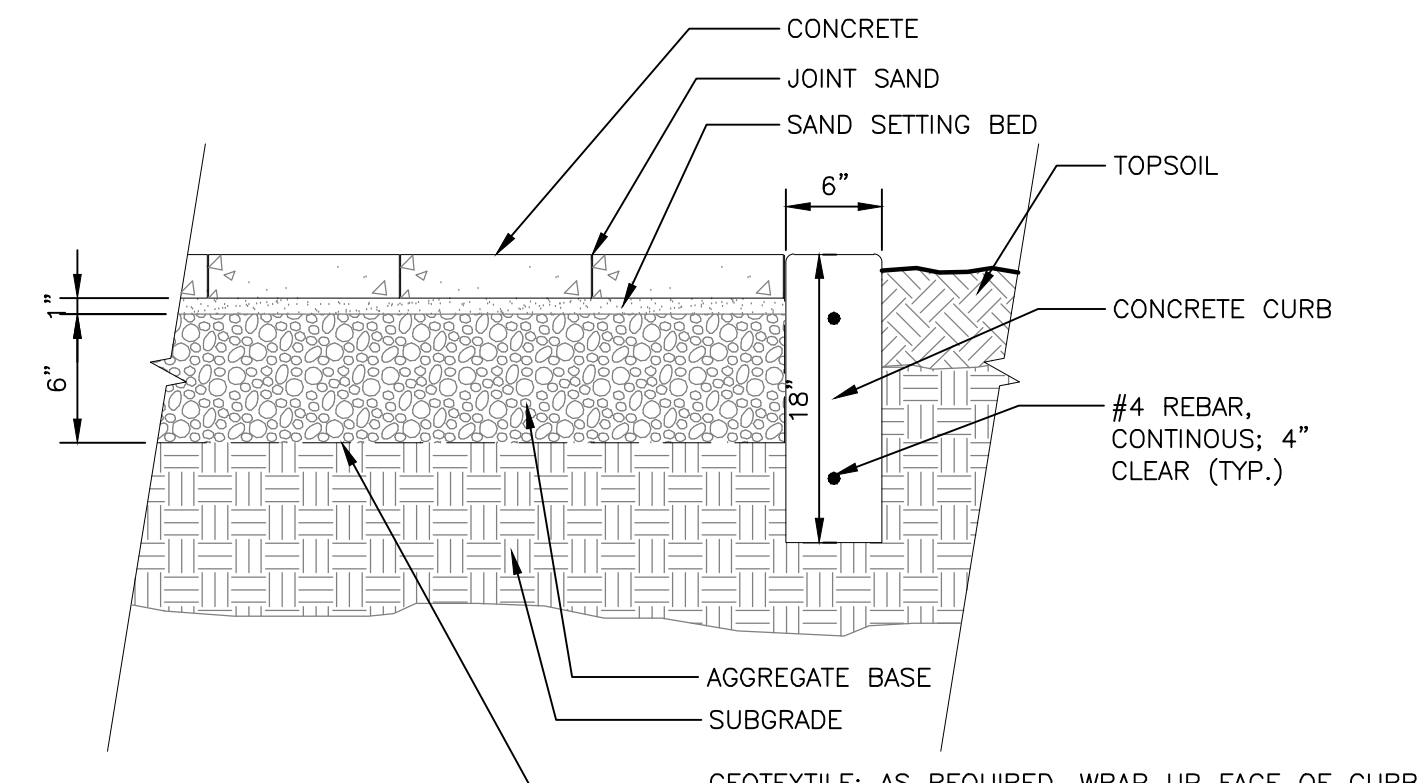
TOWNSHIP TRASH RECEPTACLES
 AVAILABLE: DESCRIPTION MODEL NO.
 TOWNSHIP TRASH RECEPTACLE- OAK TTR-OAK
 TOWNSHIP TRASH RECEPTACLE- RECYCLED PLASTIC TTR-RP
 TOWNSHIP TRASH RECEPTACLE- ALUMINUM TTR-A
 TOWNSHIP TRASH RECEPTACLE- FIBERGLASS TTR-FG
 TOWNSHIP TRASH RECEPTACLE- IPE TTR-IPE
 *WEIGHTS VARY UPON MATERIAL USED



ADDRESS: 1350 NORTH AVE. SANGER CALIFORNIA 93657
 PHONE: (559) 875-8250
 FAX: (559) 875-1491
 kingsrivercasting@verizon.net
 WEIGHT: 90 LBS
 MODEL NO.: TTR
 SIZE: B



NOTES: BENCH MADE BY MAGLIN. 1-800-716-5506 X1197
 MATERIALS: BENCH ENDS ARE MADE FROM SOLID CAST ALUMINUM. THE SEAT EMPLOYS 2.625" X 1" AND 5.5" X 1" (ACTUAL) IPE SLATS
 FINISH: THE MAGLIN POWDERCOAT SYSTEM PROVIDES A DURABLE FINISH ON ALL METAL SURFACES. WOOD SLATS ARE TREATED WITH PENETRATING SEALERS.
 INSTALLATION: THE BENCH IS DELIVERED PRE-ASSEMBLED. HOLES (0.6") ARE PROVIDED IN EACH FOOT FOR SECURING TO BASE.
 TO SPECIFY: SELECT MLB970-W AND CHOOSE POWDERCOAT COLOR
 OPTIONS: -CENTER ARM
 -PLAQUE
 -SKATE DETERRENT
 ANCHOR: BENCH TO BE ANCHORED TO CONCRETE USING 3/8" X 2-1/4" GALVANIZED STEEL WEDGE ANCHOR AT THE FOOT OF EACH LEG
 DIMENSIONS: HEIGHT: 33.13" LENGTH: 70" DEPTH: 23" WEIGHT: 111.81 LBS

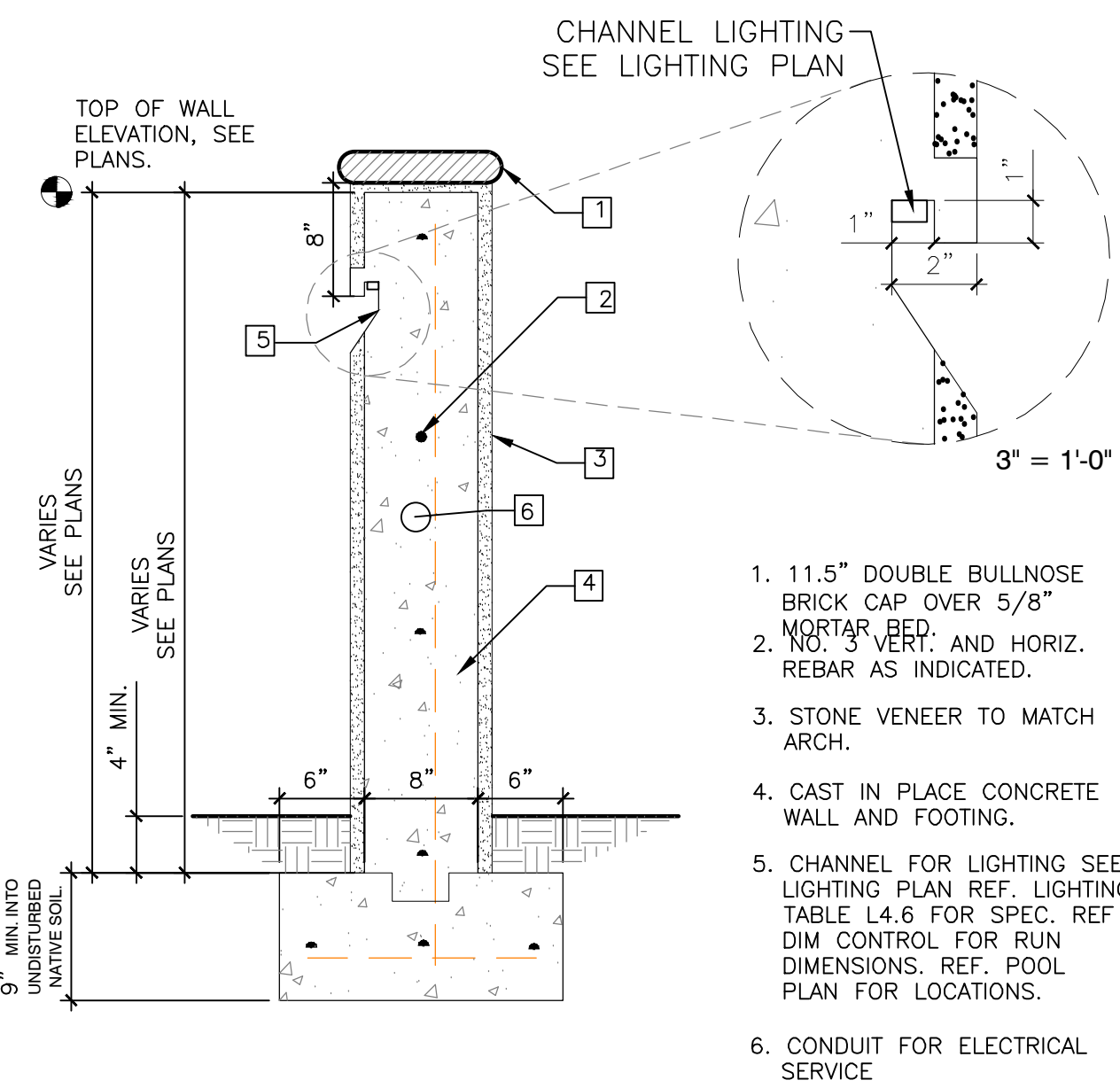


NOTES: THIS CROSS SECTION IS INTENDED FOR PRELIMINARY DESIGN PROPOSES ONLY. CONFIRM SITE CONDITIONS AND CONSULT WITH A QUALIFIED DESIGN PROFESSIONAL OR INSTALLER PRIOR TO INSTALLATION.

1 TOWNSHIP TRASH RECEPTACLE
 NTS

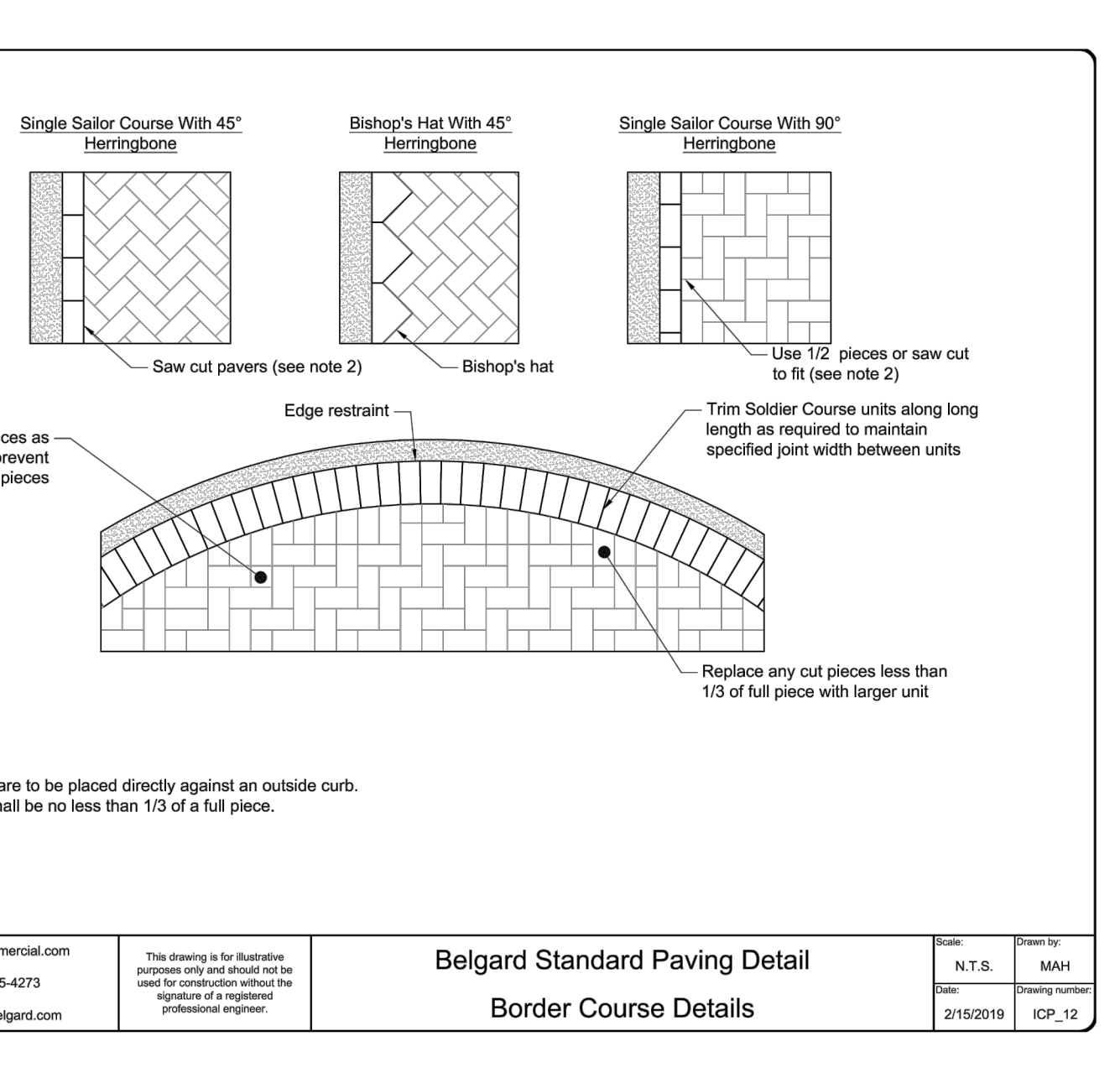
2 DOG PARK BENCH: MODEL #MLB970-W
 1/2" = 1'-0"

3 COMMERCIAL APPLICATION PAVER DETAIL
 NTS



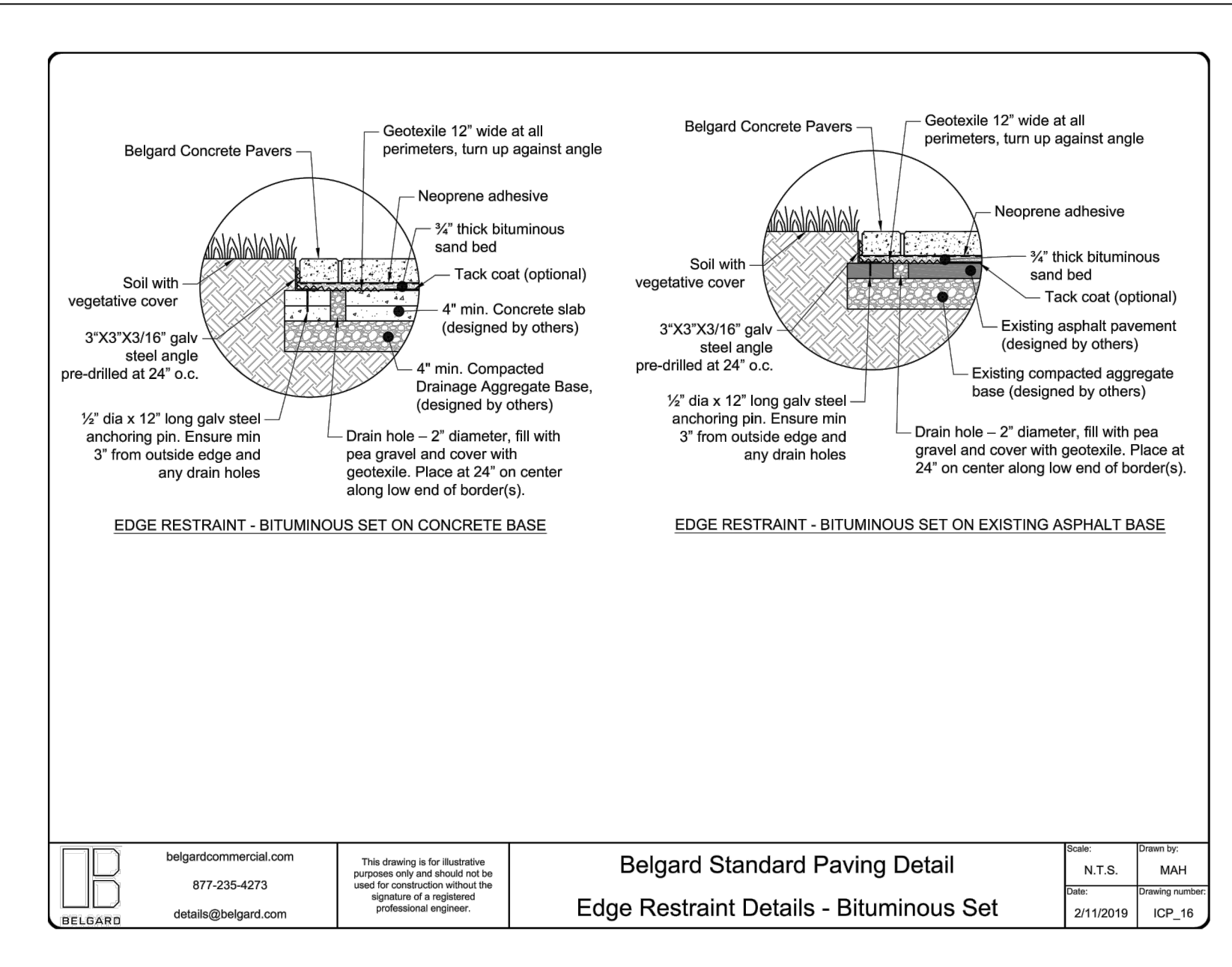
- 11.5" DOUBLE BULLNOSE BRICK CAP OVER 5/8" MORTAR BED.
- NO. 3 VERT. AND HORIZ. REBAR AS INDICATED.
- STONE VENEER TO MATCH ARCH.
- CAST IN PLACE CONCRETE WALL AND FOOTING.
- CHANNEL FOR LIGHTING SEE LIGHTING PLAN REF. LIGHTING TABLE L4.6 FOR SPEC. REF DIM CONTROL FOR RUN DIMENSIONS. REF. POOL PLAN FOR LOCATIONS.
- CONDUIT FOR ELECTRICAL SERVICE

4 RETAINING WALL WITH CHANNEL LIGHT - ONE SIDE
 1" = 1'-0"

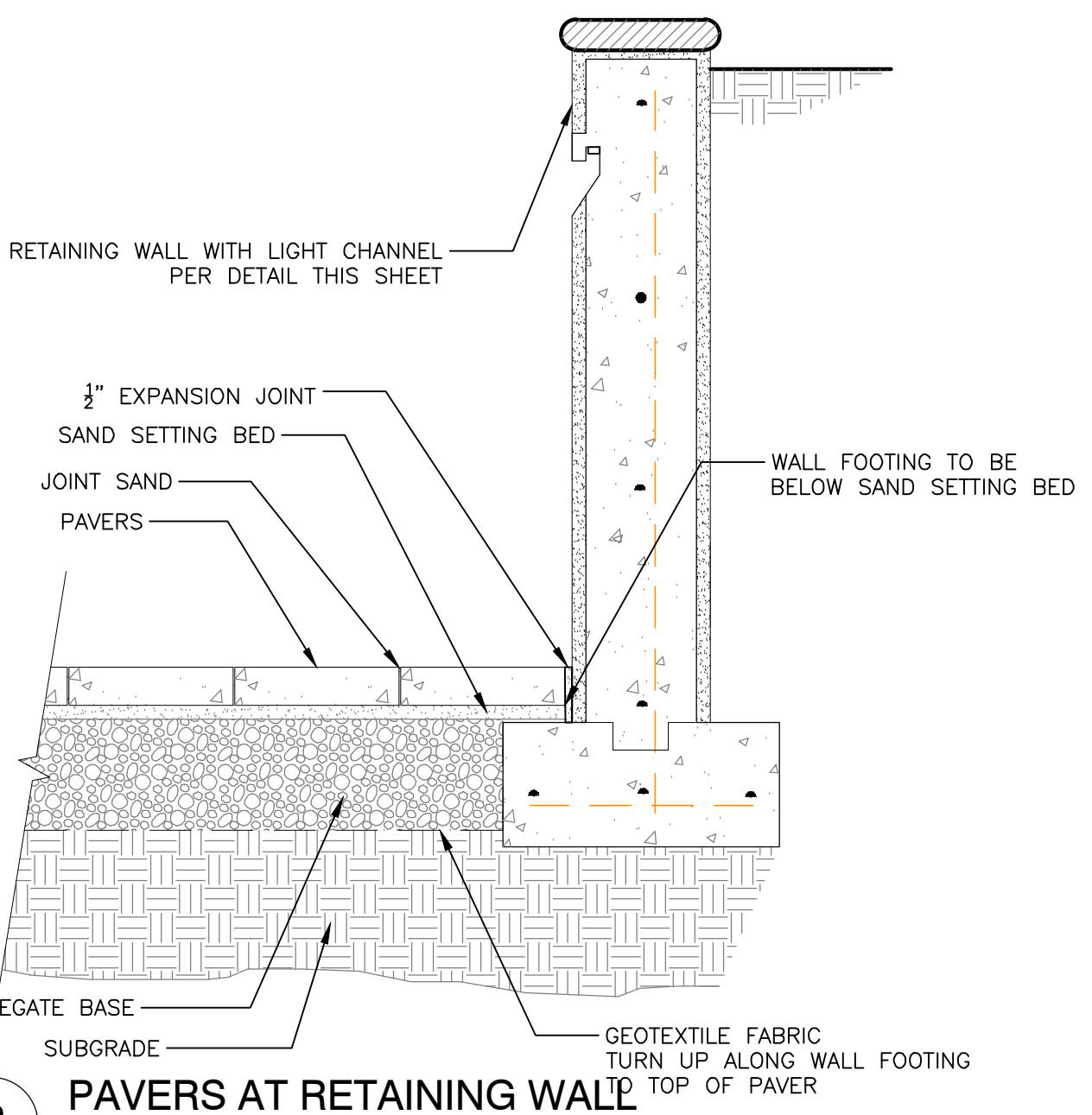


- Design Notes:
 1. No cut faces are to be placed directly against an outside curb.
 2. Cut pavers shall be no less than 1/3 of a full piece.

06 HERRINGBONE PATTERN WITH TRIM SOLDIER BORDER COURSE
 NTS

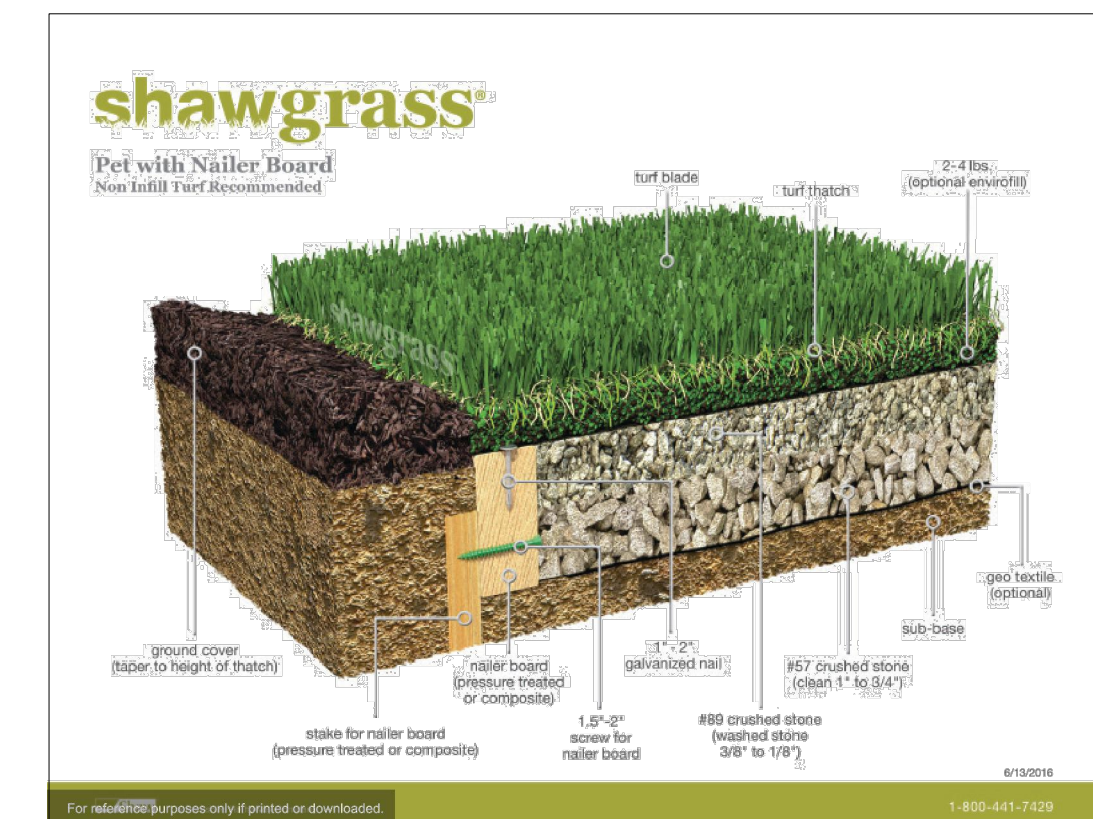


07 EDGE RESTRAINT DETAIL
 NTS

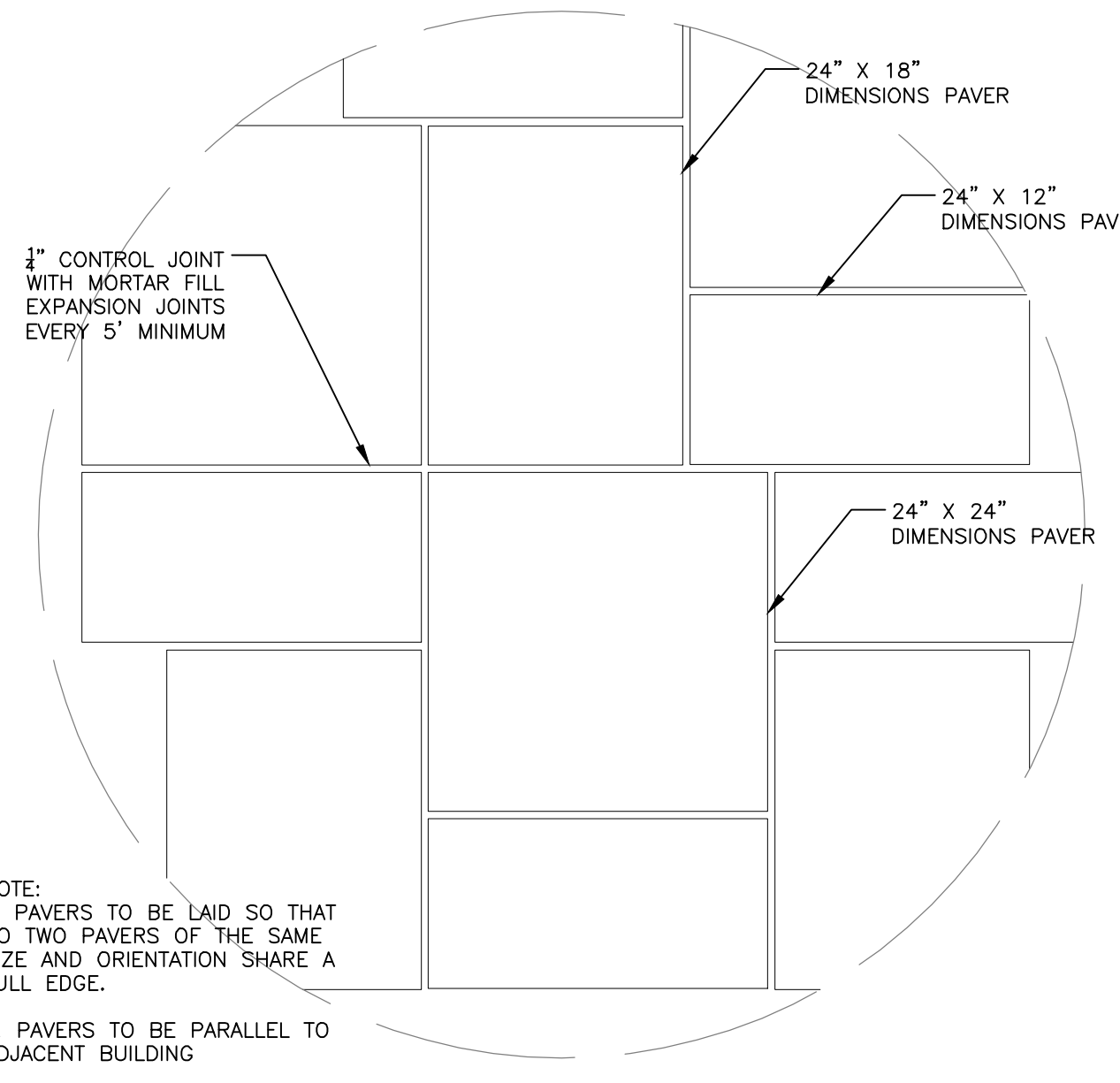


8 PAVERS AT RETAINING WALL
 1" = 1'-0"

05 NOT USED
 NTS



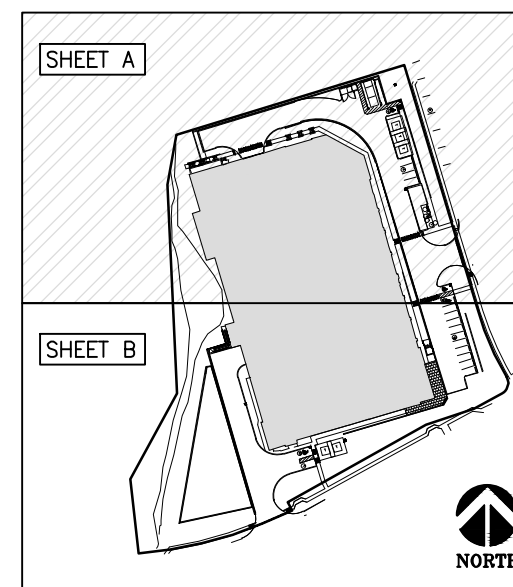
9 SHAWGRASS PET TURF 358SG - FIELD GREEN/OLIVE
 NTS



- NOTE:
 1. PAVERS TO BE LAID SO THAT NO TWO PAVERS OF THE SAME SIZE AND ORIENTATION SHARE A FULL EDGE.
 2. PAVERS TO BE PARALLEL TO ADJACENT BUILDING

10 DIMENSIONS PAVER PATTERN DETAIL
 1" = 1'-0"

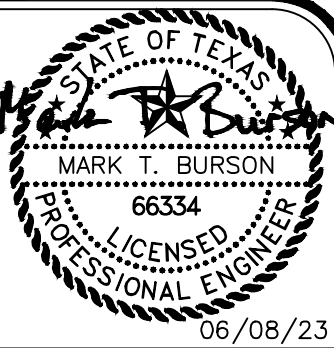
FILE: J:\WORK\1587-003\14-SITE PLAN DETAILS.DWG - PLOTTED ON: 06/08/23 10:01AM - BY: ATOURGAITE



KEY MAP

SCALE: N.T.S.

NOTES:
1. THE CONTRACTOR IS TO LOCATE THE EXISTING UTILITIES AND NOTIFY THE ENGINEER IF THEY ARE NOT LOCATED AS INDICATED ON THIS PLAN.



HIGH RIBBLER VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681

UTILITY PLAN A

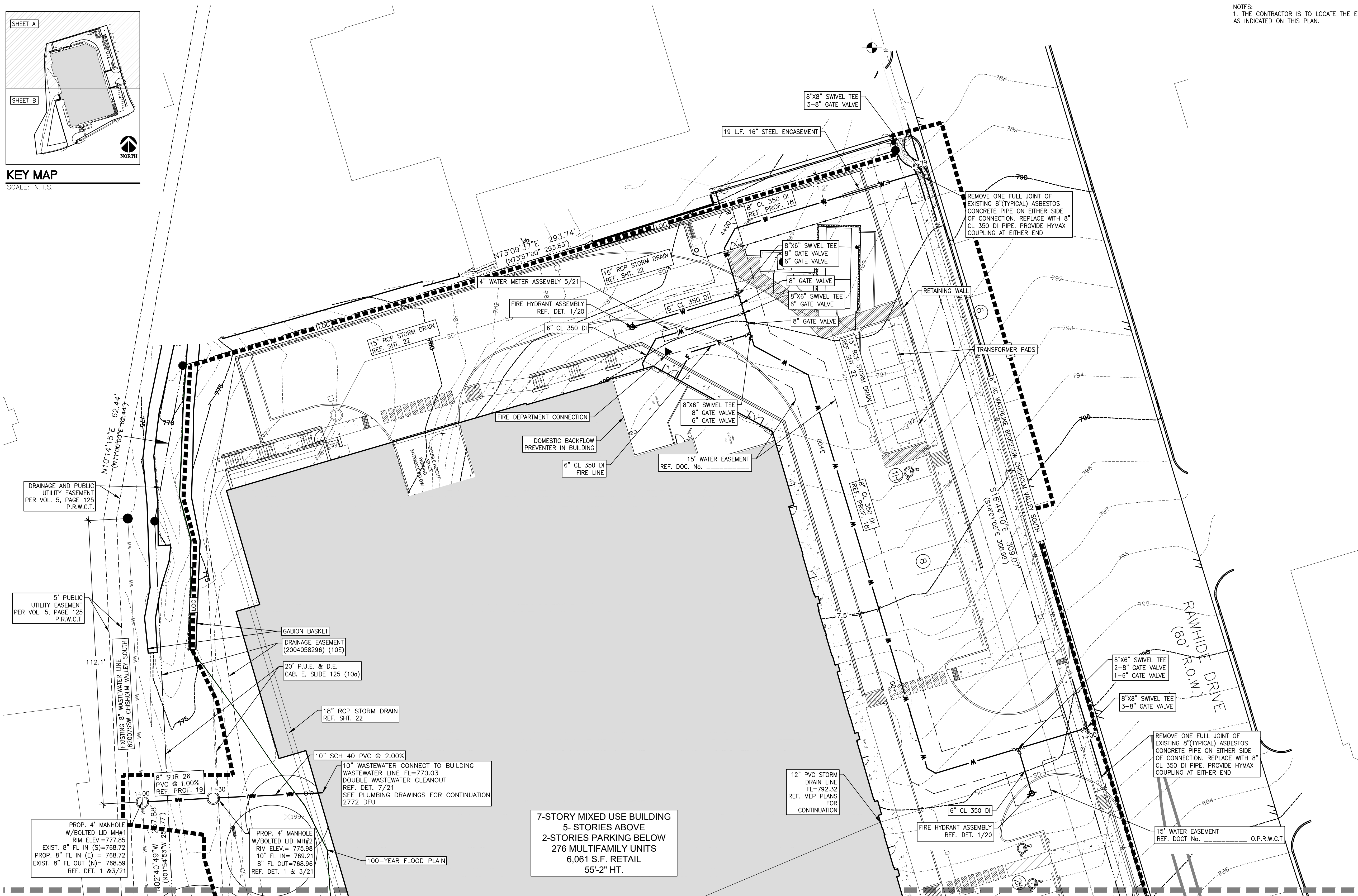
Consort, Inc.
3916 Bee Cave Road, Suite 100 / Austin, TX 78746 / (512) 499-0001
L.P.E. Firm Registration No. P-6059



JOB NO.: 1587-003
DRAWN BY:
SCALE: 1"=20'
DATE: 06/08/23
FILE:
REV./CORR:

SHEET
16
of
40

FILE: J:\WORK\1587-003\SITE DEV PLANS\16-17- UTILITY PLAN.DWG - PLOTTED ON: 06/08/23 9:49AM - BY: NATE ALVARADO



7-STORY MIXED USE BUILDING
5-STORIES ABOVE
2-STORIES PARKING BELOW
276 MULTIFAMILY UNITS
6,061 S.F. RETAIL
55'-2" HT.

MATCHLINE THIS SHEET 17



LEGEND

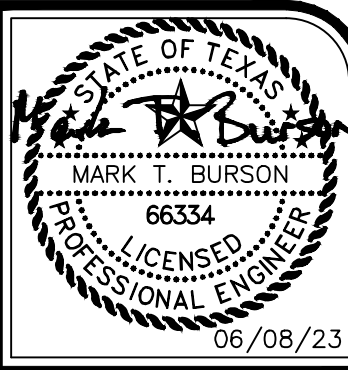
①	P.R.W.C.T.	PLAT RECORDS WILLIAMSON COUNTY, TEXAS	①	O.P.R.W.C.T.	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
②	SPACE NUMBER	PROPOSED CONCRETE WALK	②	④	PROPOSED ASPHALT PAVING
③	COMPACT PARKING SPACE	③	⑤	⑥	PROPOSED CONTOUR MORTAR STACK ROCK WALL
④	ACCESSIBLE PARKING SPACE	④	⑦	⑧	RETAINING WALL
⑤	TOP OF CURB	⑤	⑨	⑩	4" HT. WOOD FENCE
⑥	BOTTOM OF CURB	⑥	⑪	⑫	WASTE WATER LINE
⑦	HIGH POINT	⑦	⑬	⑭	STORM DRAIN LINE
⑧	GROUND	⑧	⑮	⑯	OVERHEAD UTILITIES
⑨	FLOW LINE	⑨	⑰	⑱	DOWN GUY
⑩	TOP OF GRATE	⑩	⑲	⑳	UNDERGROUND UTILITIES
⑪	PAVEMENT	⑪	㉑	㉒	GAS LINE
⑫	MANHOLE CLEANOUT	⑫	㉓	㉔	EXISTING TREE TO REMAIN
⑬	REFER DETAIL	⑬	㉕	㉖	EXISTING TREE TO BE REMOVED
⑭	REFER ARCH.	⑭	㉗	㉘	SILT FENCE
⑮	TYPICAL	⑮	㉙	㉚	FILTER DIKE
⑯	CONC.	⑯	㉛	㉜	TREE PROTECTION FENCE
⑰	EXIST.	⑰	㉝	㉞	EXIST. SIGN
⑱	EXISTING SURVEY DATA	⑱	㉟	㊱	EXIST. LIGHT POLE
㉑	RECORD DATA	㉑	㊲	㊳	DOWNPOUNTS
㉒	BENCHMARK	㉒	㊴	㊵	HAND RAILS
㉓	TEMPORARY BENCHMARK	㉓	㊶	㊷	TRAFFIC GUARD RAIL
㉔	SURVEY MONUMENT	㉔	㊸	㊹	FIRE LANE DESIGNATION
㉕	IRON ROD FOUND	㉕	㊺	㊻	ACCESSIBLE ROUTE
㉖	IRON ROD SET	㉖	㊼	㊽	UNDERGROUND ELECTRIC
㉗	COTTON GIN BOLT	㉗	㊾	㊿	
㉘	PROPERTY LINE				
㉙	LIMITS OF CONSTRUCTION				
㉚	EXISTING SPOT ELEVATION				
㉛	PROPOSED SPOT ELEVATION				
㉜	EXISTING CONTOUR				
㉝	BOP				

ATTENTION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

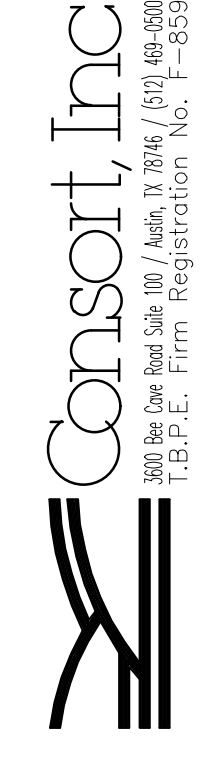
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.



HIGH RISE VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

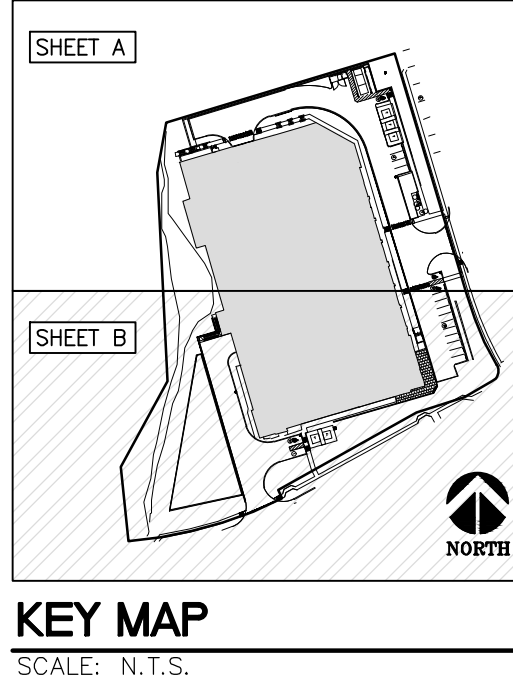
HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681

UTILITY PLAN B



JOB NO.: 1587-003
DRAWN BY:
DATE: 06/08/23
FILE:
REV./CORR:

SHEET
17
of
40

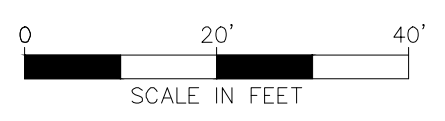
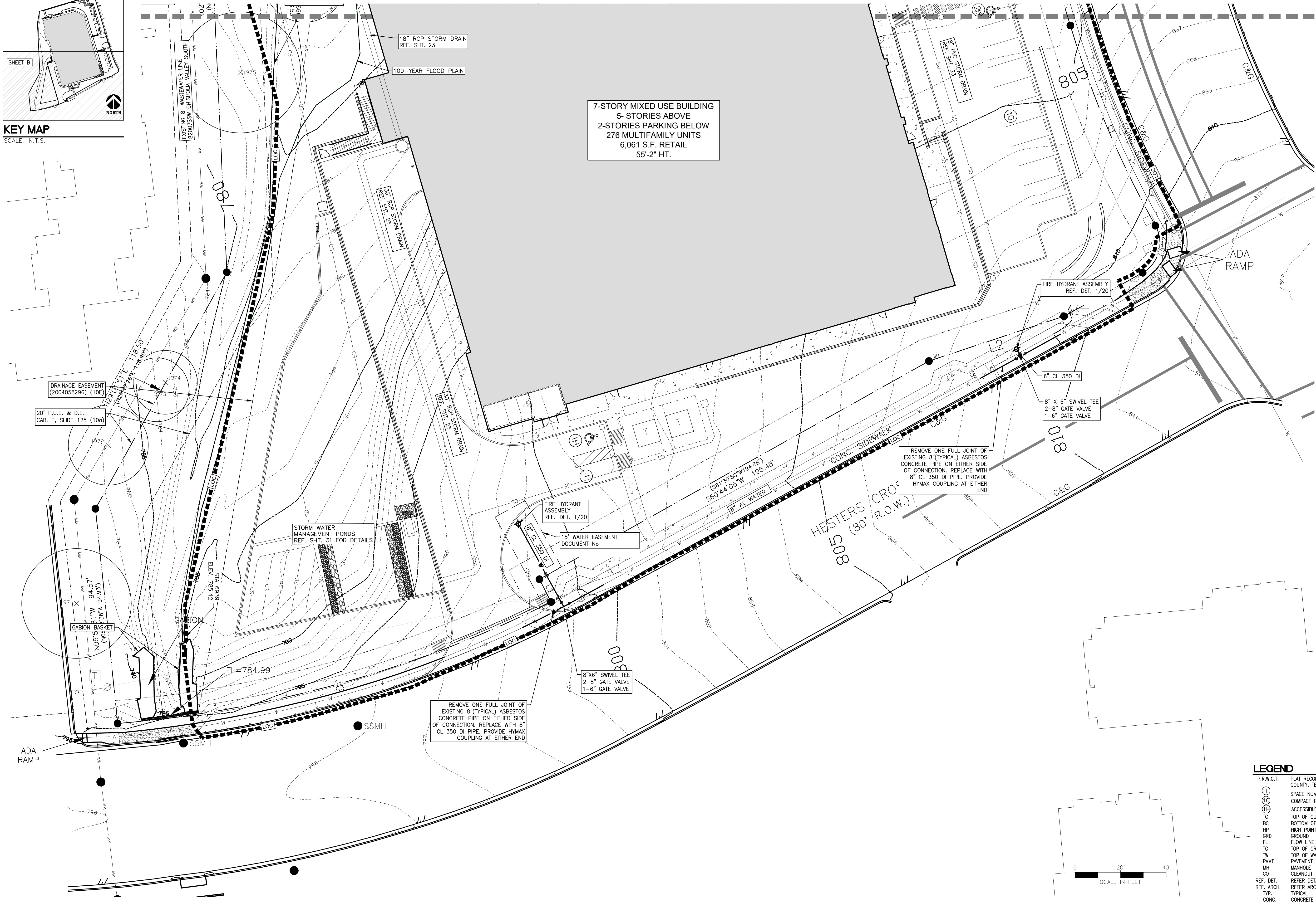


MATCHLINE THIS SHEET 16

MATCHLINE THIS SHEET 16

7-STORY MIXED USE BUILDING
5- STORIES ABOVE
2-STORIES PARKING BELOW
276 MULTIFAMILY UNITS
6,061 S.F. RETAIL
55'-2" HT.

FILE: J:\WORK\1587-003\SITE DEV PLANS\16-17- UTILITY PLAN.DWG - PLOTTED ON: 06/08/23 9:49AM - BY: NATE ALVARADO



ATTENTION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

LEGEND

P.R.W.C.T.	PLAT RECORDS WILLIAMSON COUNTY, TEXAS	O.P.R.W.C.T.	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
①	SPACE NUMBER	—	PROPOSED CONCRETE WALK
②	COMPACT PARKING SPACE	—	PROPOSED CONCRETE PAVING
③	ACCESSIBLE PARKING SPACE	—	PROPOSED ASPHALT PAVING
TC	TOP OF CURB	—	PROPOSED CONTOUR
BC	BOTTOM OF CURB	—	MORTAR STACK ROCK WALL
HP	HIGH POINT	—	RETAINING WALL
GRD	GROUND	—	X" HT. WOOD FENCE
FL	FLOW LINE	—	WASTE WATER LINE
TG	TOP OF GRATE	—	STORM DRAIN LINE
TW	TOP OF WALL	—	OVERHEAD UTILITIES
PWMT	PANCREMENT	—	DOWN GUY
MH	MANHOLE	—	UNDERGROUND UTILITIES
CO	CLEANOUT	—	GAS LINE
REF. DET.	REFER DETAIL	—	EXISTING TREE TO REMAIN
REF. ARCH.	REFER ARCHITECTURAL PLANS	—	EXISTING TREE TO BE REMOVED
TYP.	TYPICAL	—	SILT FENCE
CONC.	CONCRETE	—	FILTER DIKE
EXIST.	EXISTING	—	TREE PROTECTION FENCE
N80°00'00"E	SURVEY DATA	—	EXIST. SIGN
N90°00'00"E	RECORD DATA	—	EXIST. LIGHT POLE
BM	BENCHMARK	—	DOWNPOUTS
TBM	TEMPORARY BENCHMARK	—	HAND RAILS
IRON ROD FOUND	SURVEY MONUMENT	—	TRAFFIC GUARD RAIL
IRON ROD SET	IRON ROD FOUND	—	FIRE LANE DESIGNATION
COTTON GIN BOLT	COTTON GIN BOLT	—	ACCESSIBLE ROUTE
—	PROPERTY LINE	—	—
—	LIMITS OF CONSTRUCTION	—	—
100.00	EXISTING SPOT ELEVATION	—	—
1100.00	PROPOSED SPOT ELEVATION	—	—
—	EXISTING CONTOUR	—	—
—	BOTTOM OF POND	—	—

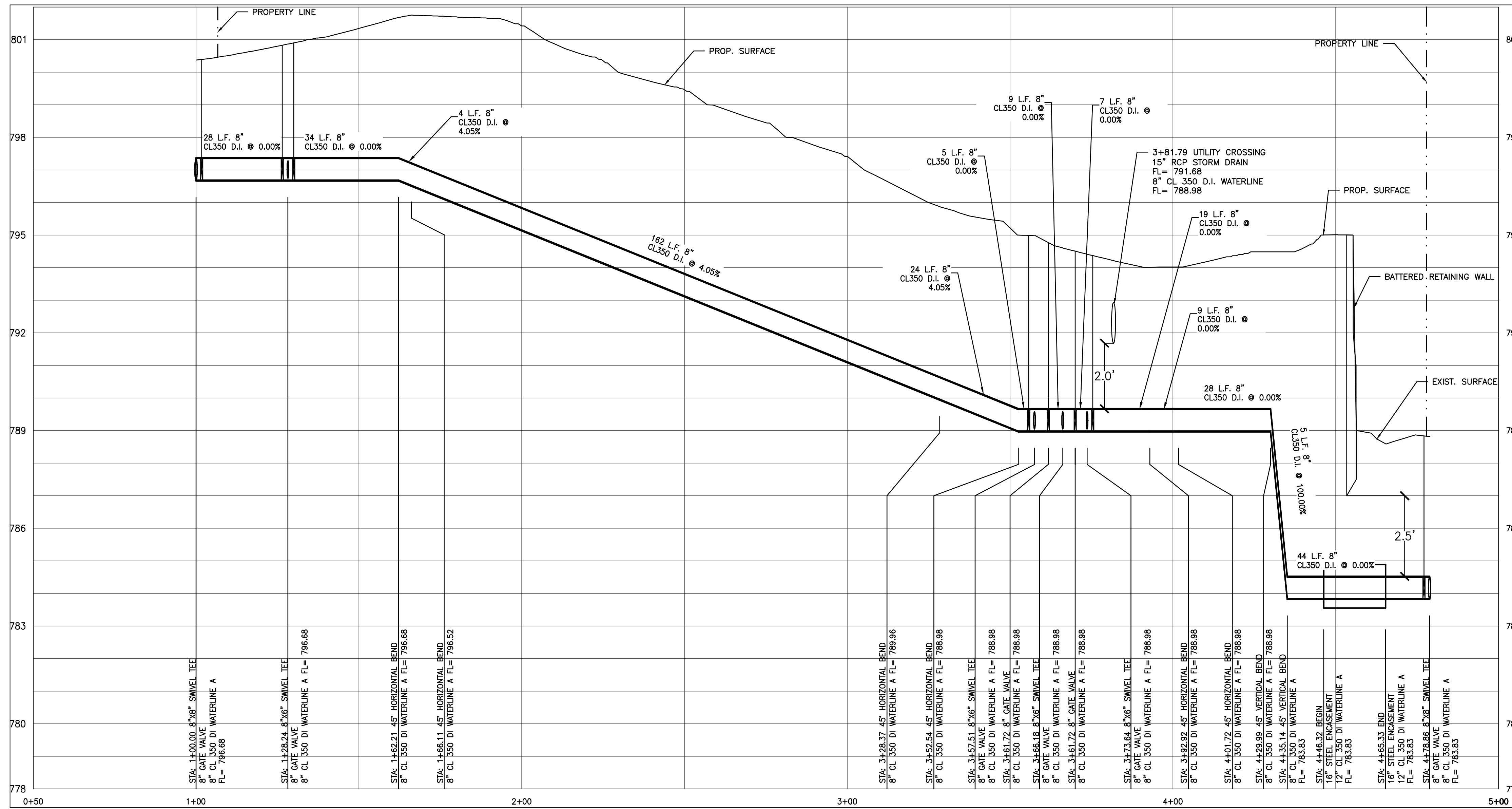
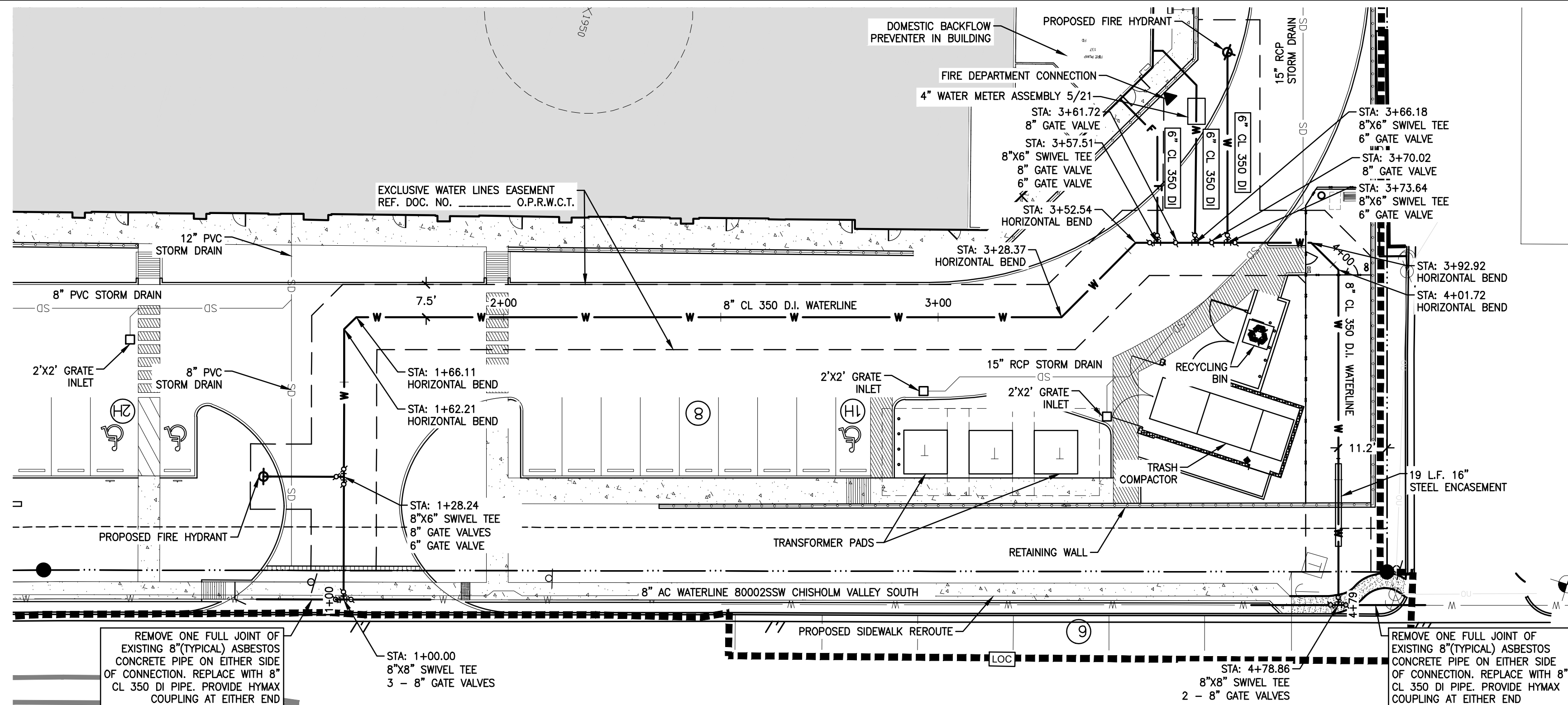
Consort, Inc. Copyright © 2022.
NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS OR STORED IN A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF CONSORT, INC.

SDP2212-0003



FILE: J:\WORK\1587-003\SITE DEV PLANS\18-19- UTILITY PLAN PROFILES.DWG - PLOTTED ON: 06/08/23 9:04AM - BY: NATE ALVARADO

NOTES:
1. THE CONTRACTOR IS TO LOCATE THE EXISTING UTILITIES AND NOTIFY THE ENGINEER IF THEY ARE NOT LOCATED AS INDICATED ON THIS PLAN.

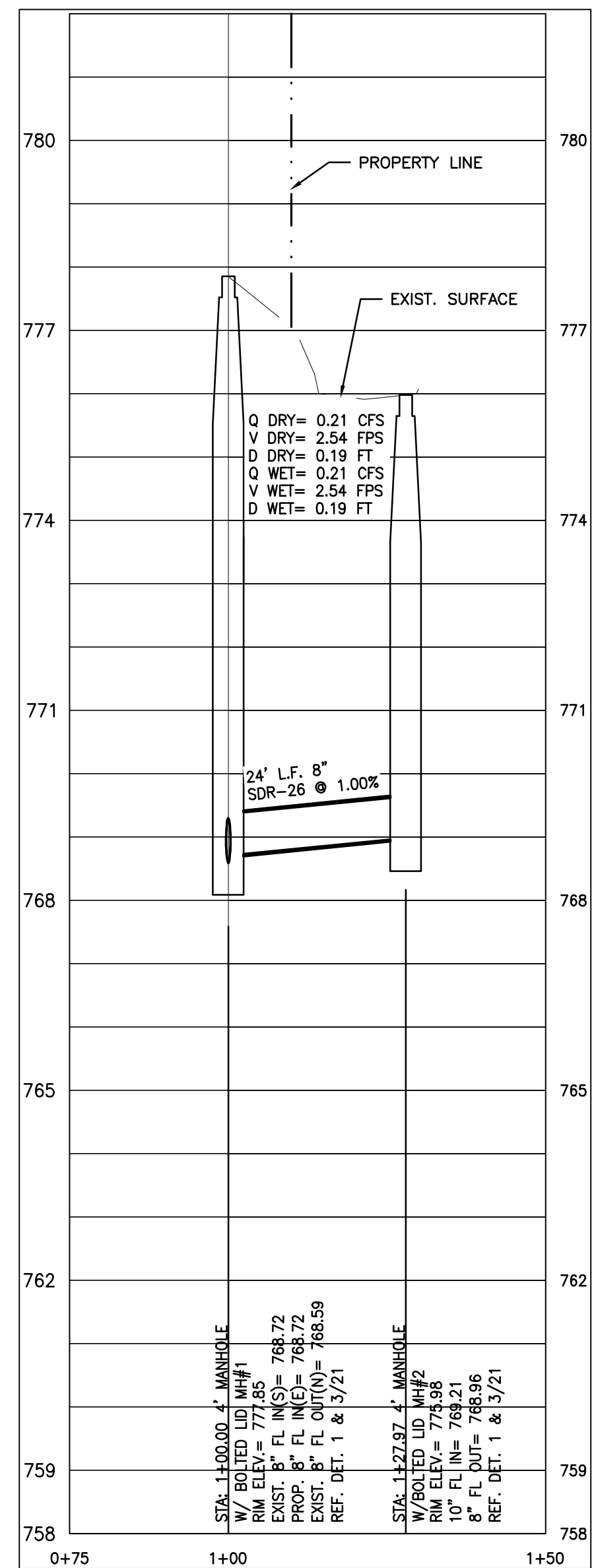
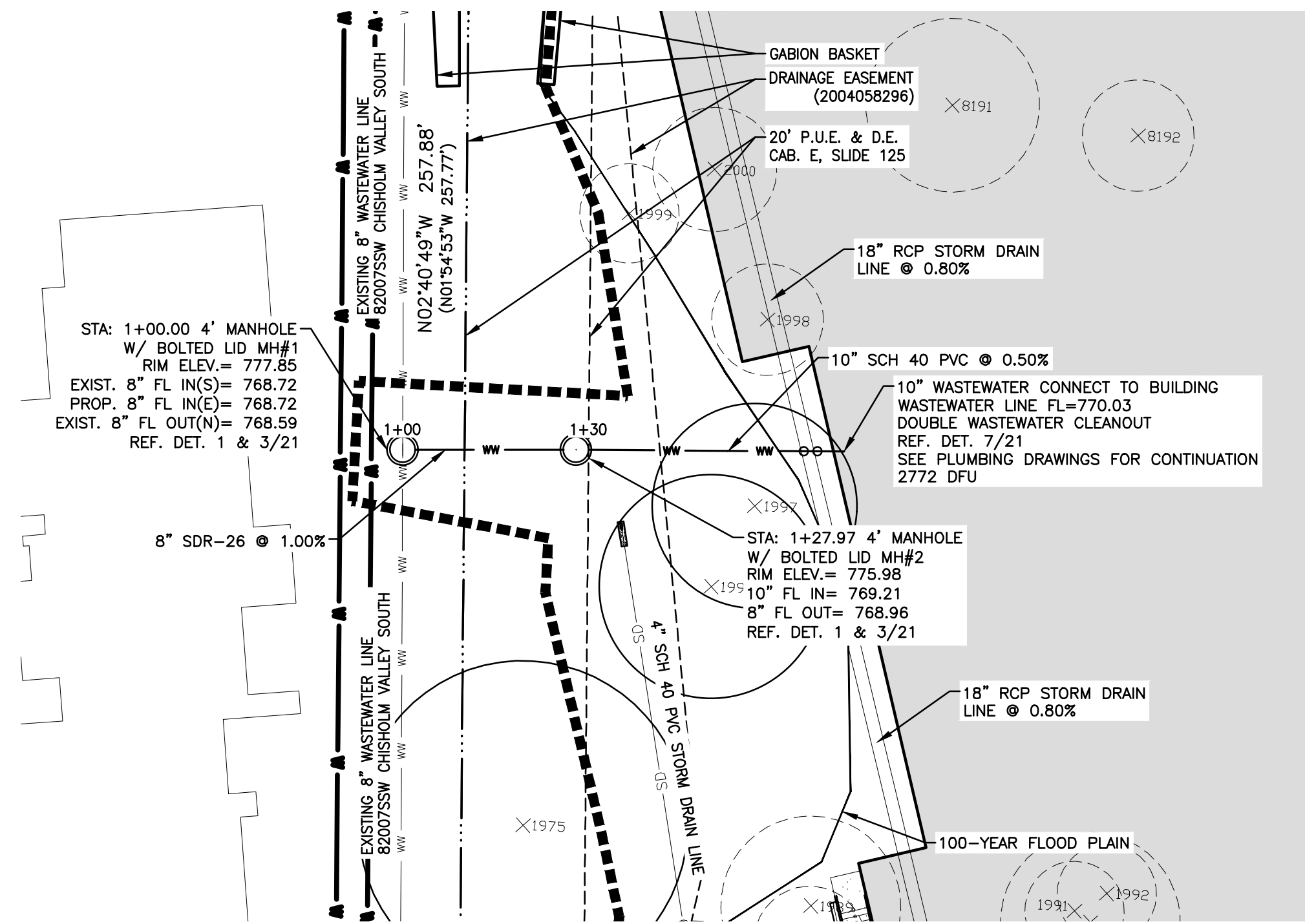


ATTENTION
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800)344-8377 AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.
ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

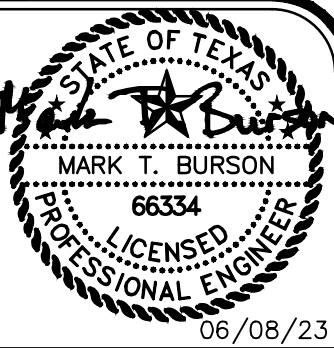
LEGEND	
<ul style="list-style-type: none"> ① PLAT RECORDS WILLIAMSON COUNTY, TEXAS ② SPACE NUMBER ③ COMPACT PARKING SPACE ④ ACCESSIBLE PARKING SPACE TC TOP OF CURB BC BOTTOM OF CURB HP HIGH POINT GRD GROUND FL FLOW LINE TW TOP OF GRATE TOP OF WALL MANHOLE CO CLEANOUT REF. DET. REFER DETAIL REF. ARCH. REFER ARCHITECTURAL PLANS TYP TYPICAL CONC. CONCRETE EXIST. EXISTING SURV. SURVEY DATA N89°00'00"E (N89°00'00"E) BM BENCHMARK TBM TEMPORARY BENCHMARK IRON ROD FOUND SURVEY MONUMENT IRON ROD SET COTTON GN BOLT LIMITS OF CONSTRUCTION EXIST. SPOT ELEVATION PROPOSED SPOT ELEVATION EXISTING CONTOUR BOP BOTTOM OF POND 	<ul style="list-style-type: none"> O.P.R.W.C.T. OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS PROPOSED CONCRETE WALK PROPOSED CONCRETE PAVING PROPOSED ASPHALT PAVING PROPOSED CONTOUR MORTAR STACK ROCK WALL RETAINING WALL "x" HT. WOOD FENCE WASTE WATER LINE STORM DRAIN LINE OVERHEAD UTILITIES DOWN GUY UNDERGROUND UTILITIES GAS LINE EXISTING TREE TO REMAIN EXISTING TREE TO BE REMOVED SILT FENCE FILTER DIKE TREE PROTECTION FENCE EXIST. SIGN EXIST. LIGHT POLE DOWNSPOUTS HAND RAILS TRAFFIC GUARD RAIL FIRE LANE DESIGNATION ACCESSIBLE ROUTE UNDERGROUND ELECTRIC

FILE: J:\WORK\1587-003\SITE DEV PLANS\18-19- UTILITY PLAN PROFILES.DWG - PLOTTED ON: 06/08/23 9:04AM - BY: NATE ALVARADO

Consort, Inc. Copyright © 2022.
 NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR
 DISTRIBUTED IN ANY FORM OR BY ANY MEANS OR STORED IN
 A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE PRIOR
 WRITTEN PERMISSION OF CONSORT, INC.



NOTES:
 1. THE CONTRACTOR IS TO LOCATE THE EXISTING UTILITIES AND NOTIFY THE ENGINEER IF THEY ARE NOT LOCATED AS INDICATED ON THIS PLAN.



HIGH RIBBELL VENTURES, LLC
 155 SCHMITT BLVD
 FARMINGDALE, NY, 11735

HESTERS 4 APARTMENTS
 2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681
**PUBLIC WASTEWATER PLAN AND
 PROFILES**



JOB NO.: 1587-003
 DRAWN BY:
 SCALE: 1"=20'
 DATE: 06/08/23
 FILE:
 REV./CORR:

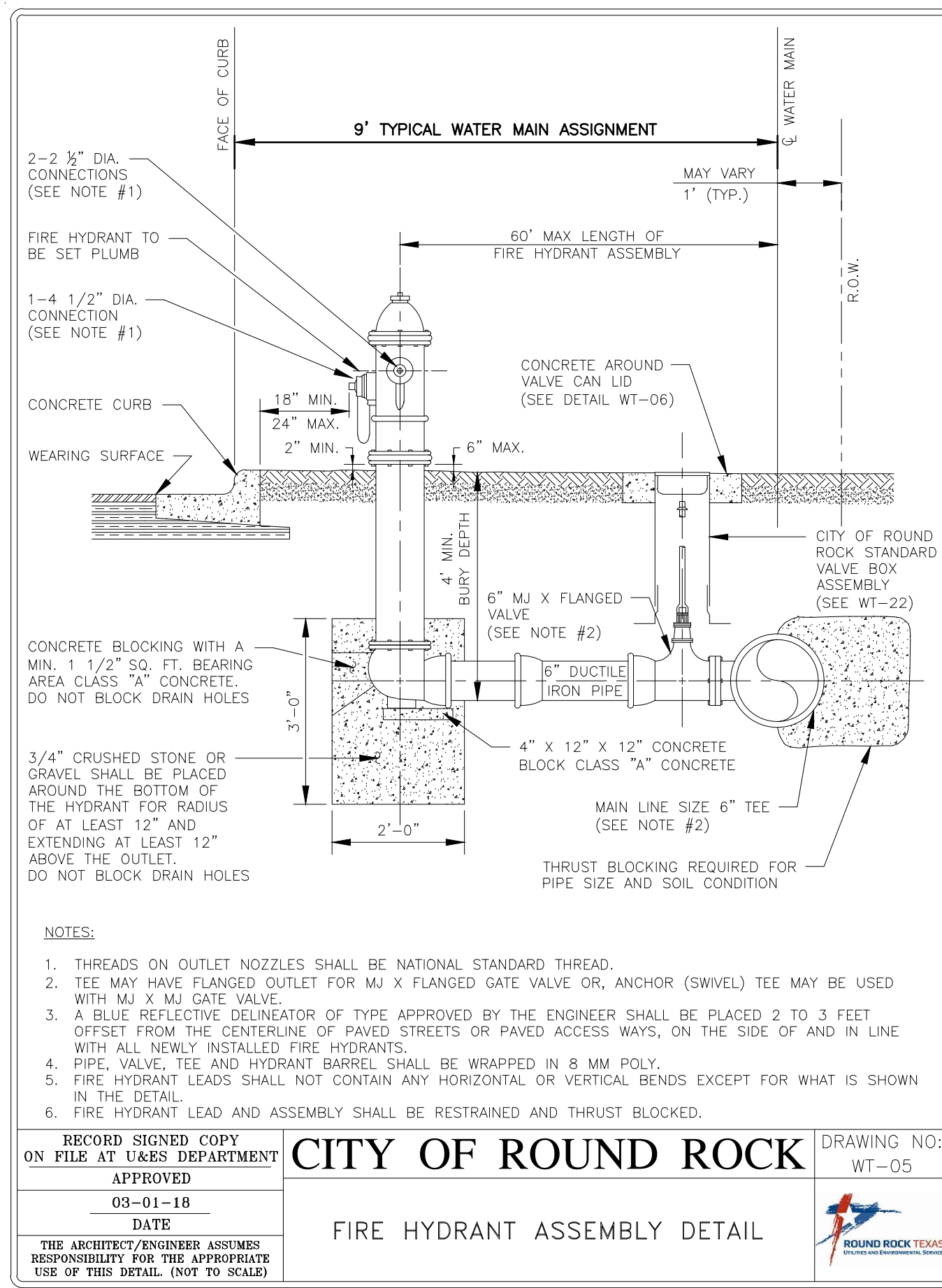
**SHEET
 19
 of
 40**

LEGEND

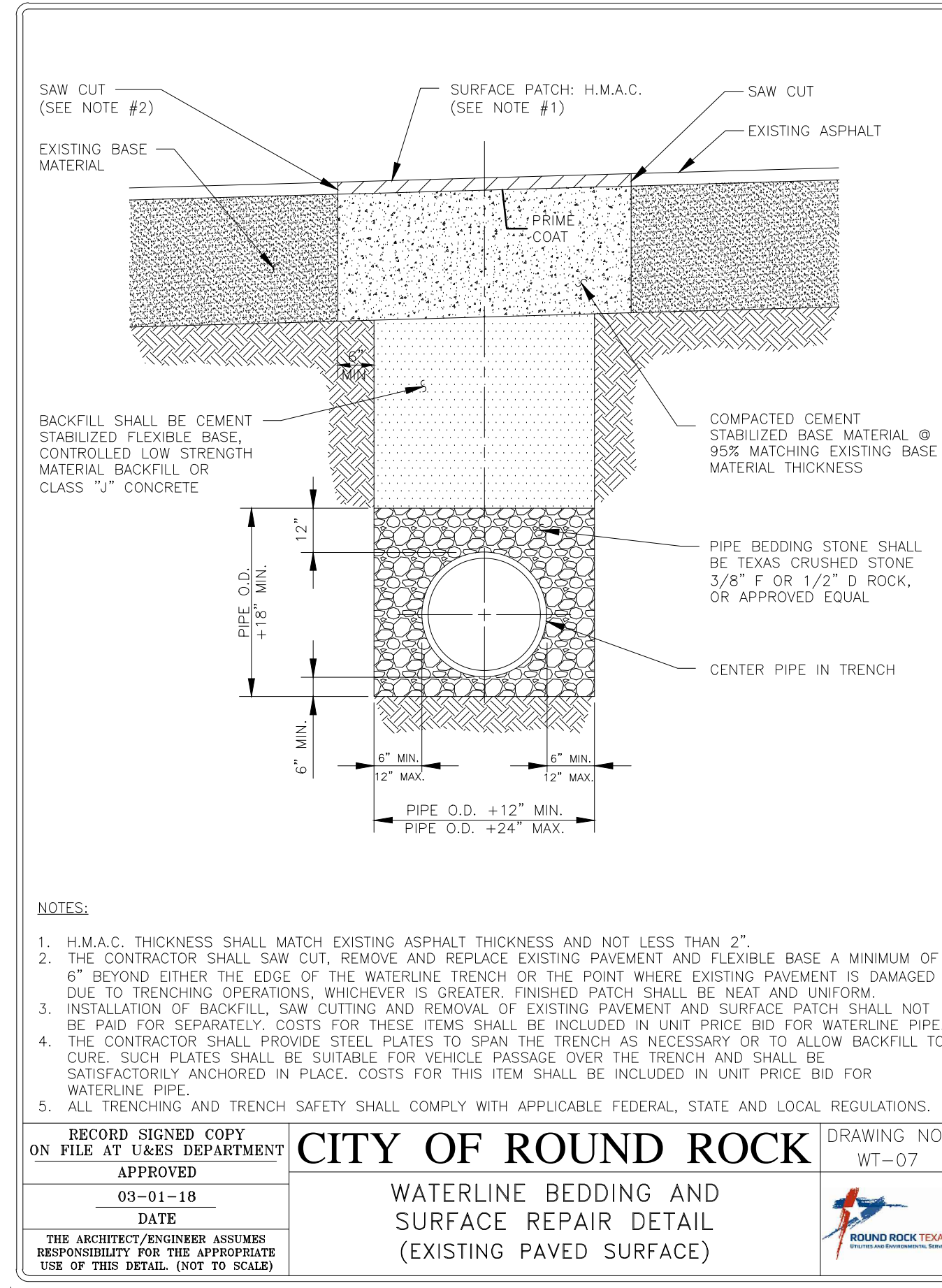
P.R.W.C.T.	PLAT RECORDS WILLIAMSON COUNTY, TEXAS	O.P.R.W.C.T.	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS	
①	SPACE NUMBER	[Symbol]	PROPOSED CONCRETE WALK	
②	COMPACT PARKING SPACE	[Symbol]	PROPOSED ASPHALT PAVING	
③	ACCESSIBLE PARKING SPACE	[Symbol]	PROPOSED CONTOUR	
TC	TOP OF CURB	[Symbol]	MORTAR STACK ROCK WALL	
BC	BOTTOM OF CURB	[Symbol]	RETAINING WALL	
HP	HIGH POINT	[Symbol]	4" HT. WOOD FENCE	
GRD	GROUND	[Symbol]	W	WATER LINE
FL	FLOW LINE	[Symbol]	WW	WASTE WATER LINE
TG	TOP OF GRATE	[Symbol]	SD	STORM DRAIN LINE
TW	TOP OF WALL	[Symbol]	OU	OVERHEAD UTILITIES
PWMT	PAVEMENT	[Symbol]	[Symbol]	DOWN GUY
MH	MANHOLE	[Symbol]	[Symbol]	UNDERGROUND UTILITIES
CO	CLEANOUT	[Symbol]	[Symbol]	GAS LINE
REF. DET.	REFER ARCHITECTURAL PLANS	[Symbol]	[Symbol]	EXISTING TREE TO REMAIN
REF. ARCH.	REFER ARCHITECTURAL PLANS	[Symbol]	[Symbol]	EXISTING TREE TO BE REMOVED
TYP.	TYPICAL	[Symbol]	[Symbol]	SILT FENCE
CONC.	CONCRETE	[Symbol]	[Symbol]	TREE PROTECTION FENCE
EXIST.	EXISTING	[Symbol]	[Symbol]	EXIST. SIGN
NS(0'00"00"E)	SURVEY DATA	[Symbol]	[Symbol]	EXIST. LIGHT POLE
NS(0'00"00"E)	RECORD DATA	[Symbol]	[Symbol]	DOWNPOUTS
BM	BENCHMARK	[Symbol]	[Symbol]	HAND RAILS
TBM	TEMPORARY BENCHMARK	[Symbol]	[Symbol]	TRAFFIC GUARD RAIL
IRON ROD FOUND	SURVEY MONUMENT	[Symbol]	[Symbol]	FIRE LINE DESIGNATION
IRON ROD SET	IRON ROD FOUND	[Symbol]	[Symbol]	ACCESSIBLE ROUTE
COTTON GN BOLT	COTTON GN BOLT	[Symbol]	[Symbol]	UNDERGROUND ELECTRIC
[Symbol]	PROPERTY LINE	[Symbol]	[Symbol]	
[Symbol]	LIMITS OF CONSTRUCTION	[Symbol]	[Symbol]	
[Symbol]	EXISTING SPOT ELEVATION	[Symbol]	[Symbol]	
[Symbol]	PROPOSED SPOT ELEVATION	[Symbol]	[Symbol]	
[Symbol]	EXISTING CONTOUR	[Symbol]	[Symbol]	
[Symbol]	BOP	[Symbol]	[Symbol]	

ATTENTION
 THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.
 ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.
 ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

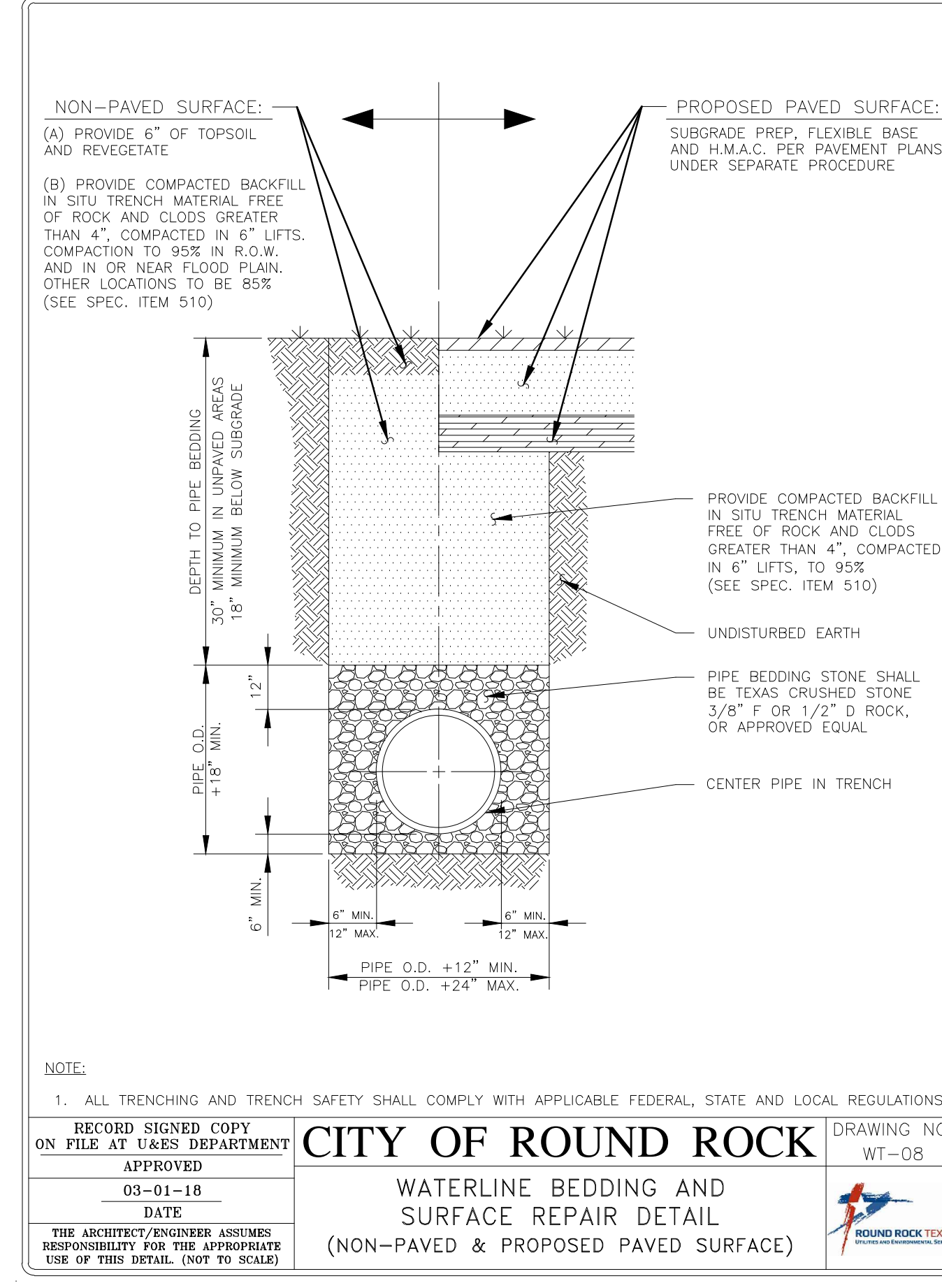
SDP2212-0003



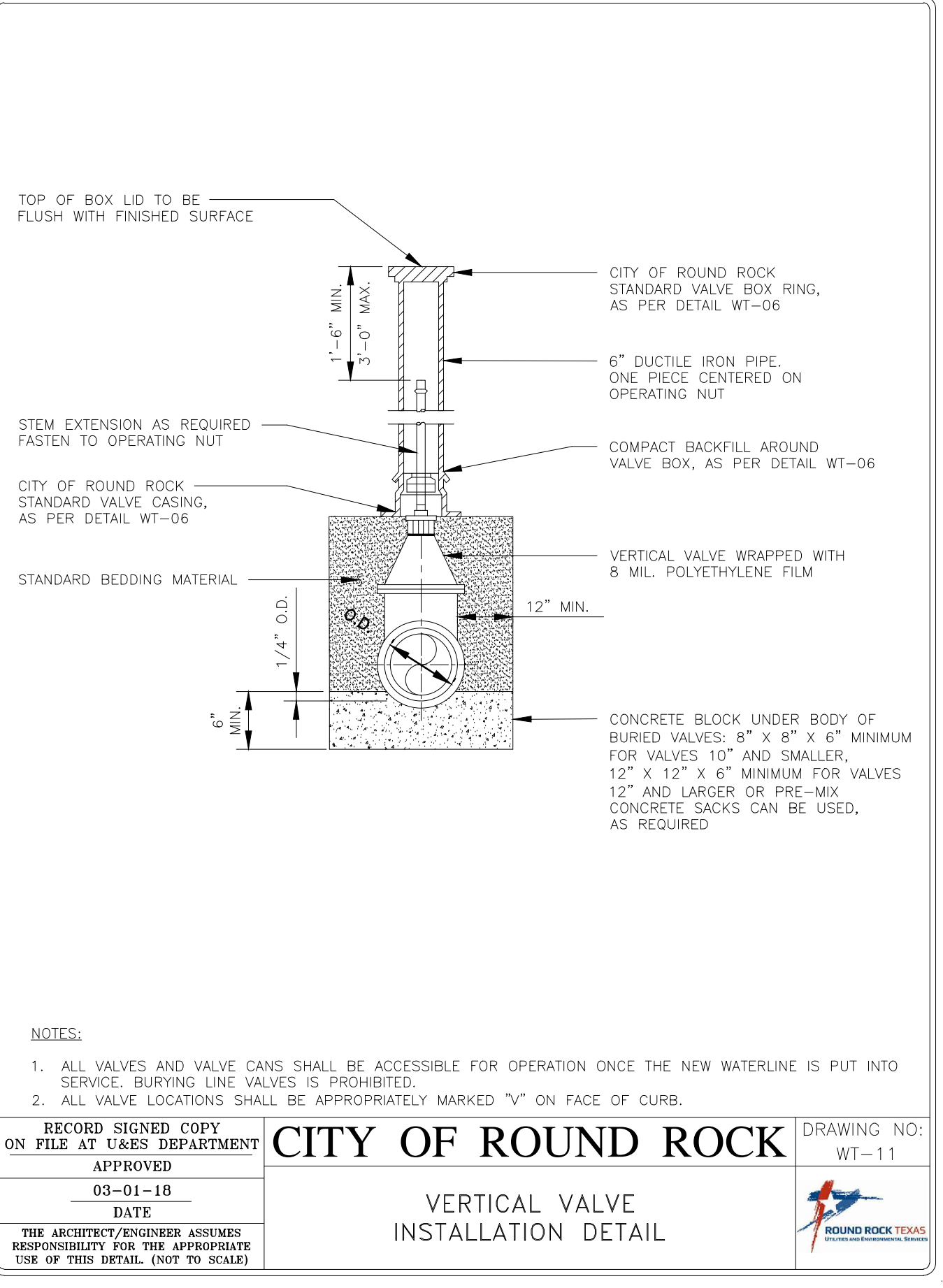
01 FIRE HYDRANT ASSEMBLY DETAIL
NTS
CITY OF ROUND ROCK
DRAWING NO: WT-05
DATE: 03-01-18
FIRE HYDRANT ASSEMBLY DETAIL



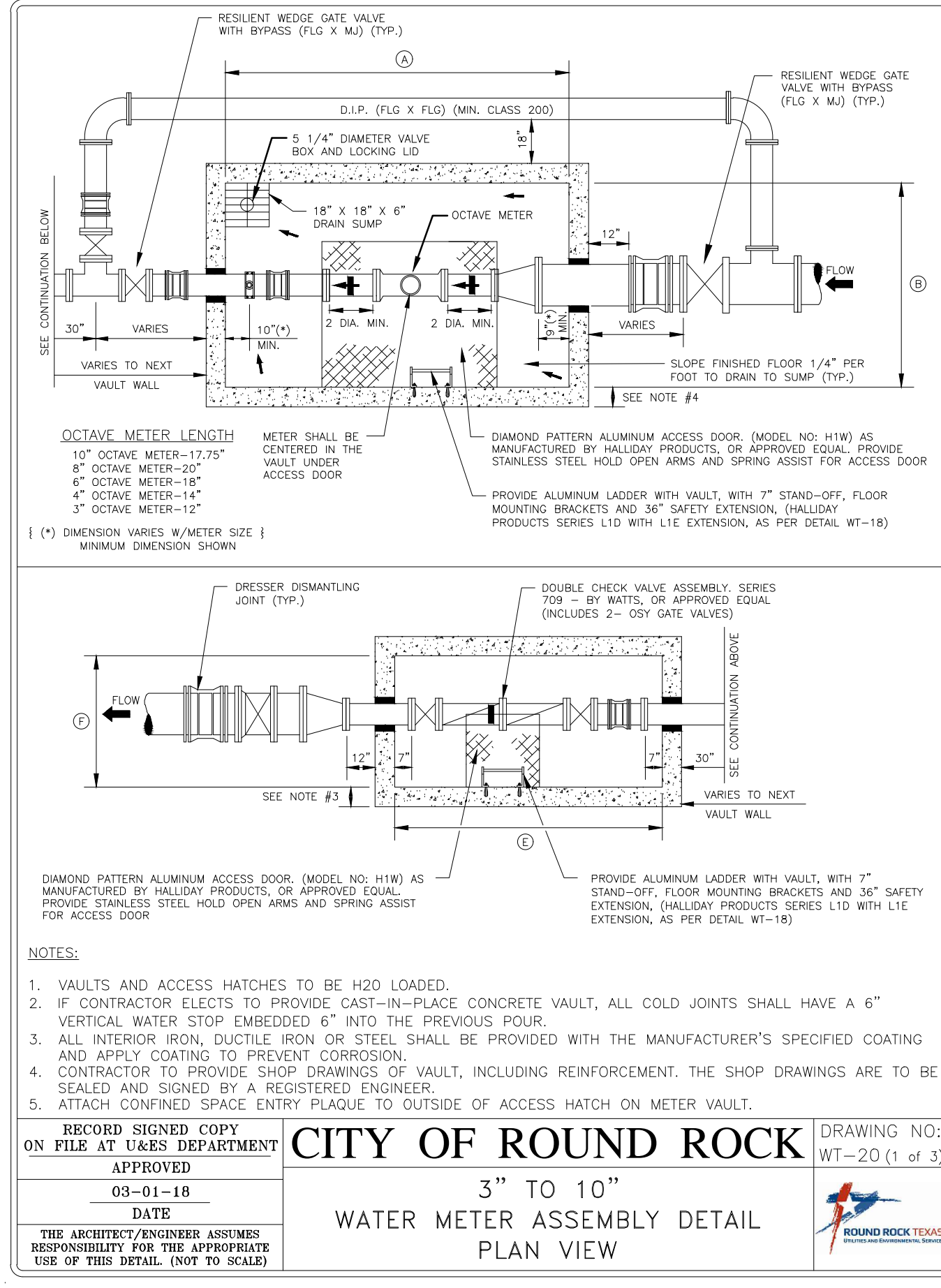
02 WATERLINE BEDDING AND SURFACE REPAIR DETAIL (EXISTING PAVED SURFACE)
NTS
CITY OF ROUND ROCK
DRAWING NO: WT-07
DATE: 03-01-18
WATERLINE BEDDING AND SURFACE REPAIR DETAIL (EXISTING PAVED SURFACE)



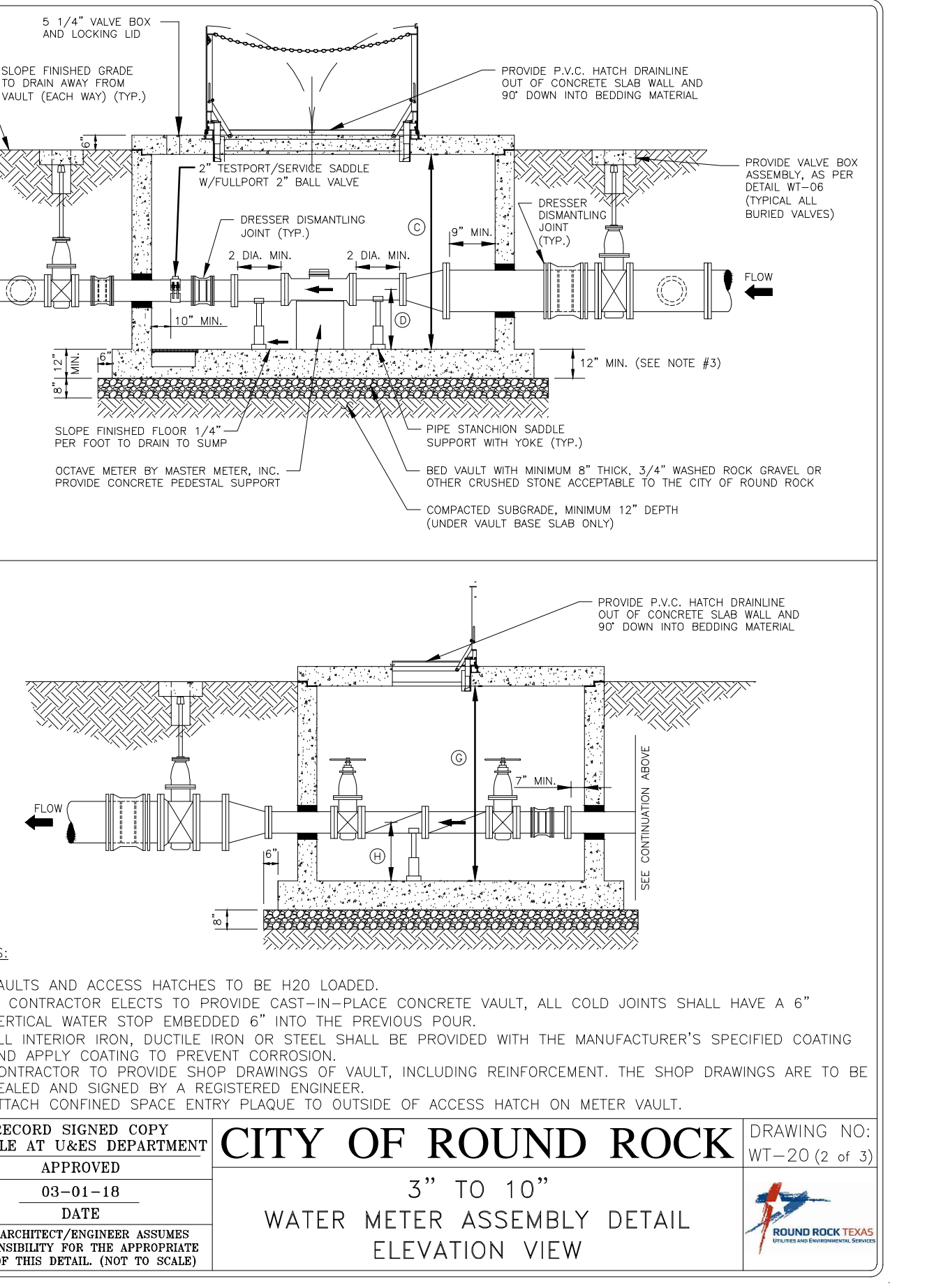
03 WATERLINE BEDDING AND SURFACE REPAIR DETAILS (NON-PAVED AND PROPOSED PAVED SURFACE)
NTS
CITY OF ROUND ROCK
DRAWING NO: WT-08
DATE: 03-01-18
WATERLINE BEDDING AND SURFACE REPAIR DETAIL (NON-PAVED & PROPOSED PAVED SURFACE)



04 VERTICAL VALVE INSTALLATION DETAIL
NTS
CITY OF ROUND ROCK
DRAWING NO: WT-11
DATE: 03-01-18
VERTICAL VALVE INSTALLATION DETAIL



05 WATER METER ASSEMBLY DETAIL
NTS
CITY OF ROUND ROCK
DRAWING NO: WT-20 (1 of 3)
DATE: 03-01-18
3\"/>



06 WATER METER ASSEMBLY DETAIL (ELEVATION VIEW)
NTS
CITY OF ROUND ROCK
DRAWING NO: WT-20 (2 of 3)
DATE: 03-01-18
3\"/>

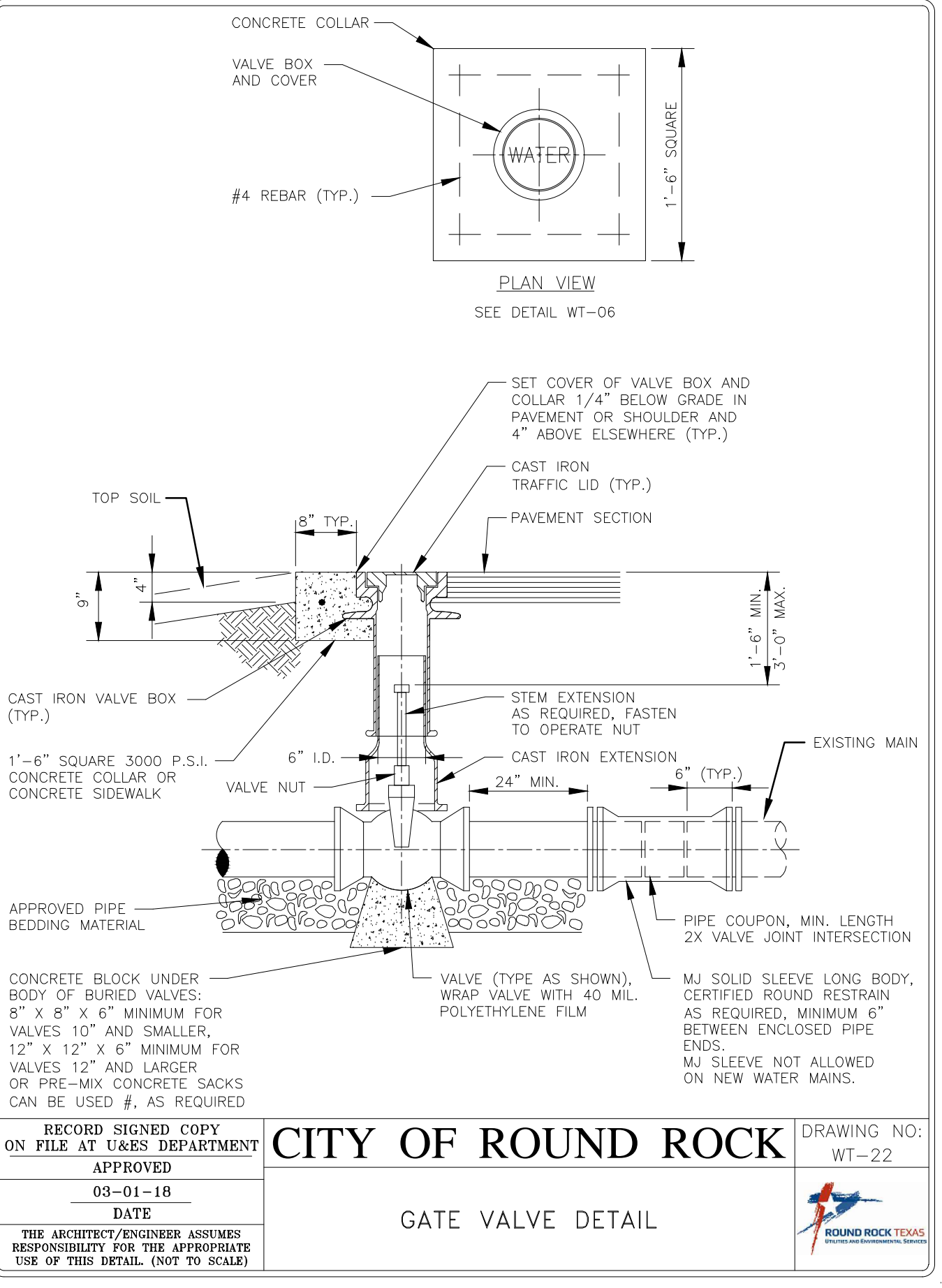
WATER METER VAULT SCHEDULE

TAG NO.	DESCRIPTION	VAULT NO. 1 (3' METER)	VAULT NO. 2 (4' METER)	VAULT NO. 3 (6' METER)	VAULT NO. 4 (8' METER)	VAULT NO. 5 (10' METER)
A	MINIMUM VAULT LENGTH	6'-0"	6'-0"	8'-0"	9'-0"	12'-0"
B	MINIMUM VAULT WIDTH	4'-0"	4'-0"	6'-0"	6'-0"	6'-0"
C	MINIMUM VAULT HEIGHT	4'-0"	4'-0"	6'-0"	6'-6"	6'-6"
D	MINIMUM PIPE HEIGHT	18"	18"	24"	24"	24"
-	OCTAVE METER SIZE	3"	4"	6"	8"	10"
-	METER LAY LENGTH	12'	14'	18'	20'	17.75'
-	DOUBLE-LEAF ACCESS DOOR	42' x 42'	42' x 42'	42' x 42'	60' x 60'	60' x 60'

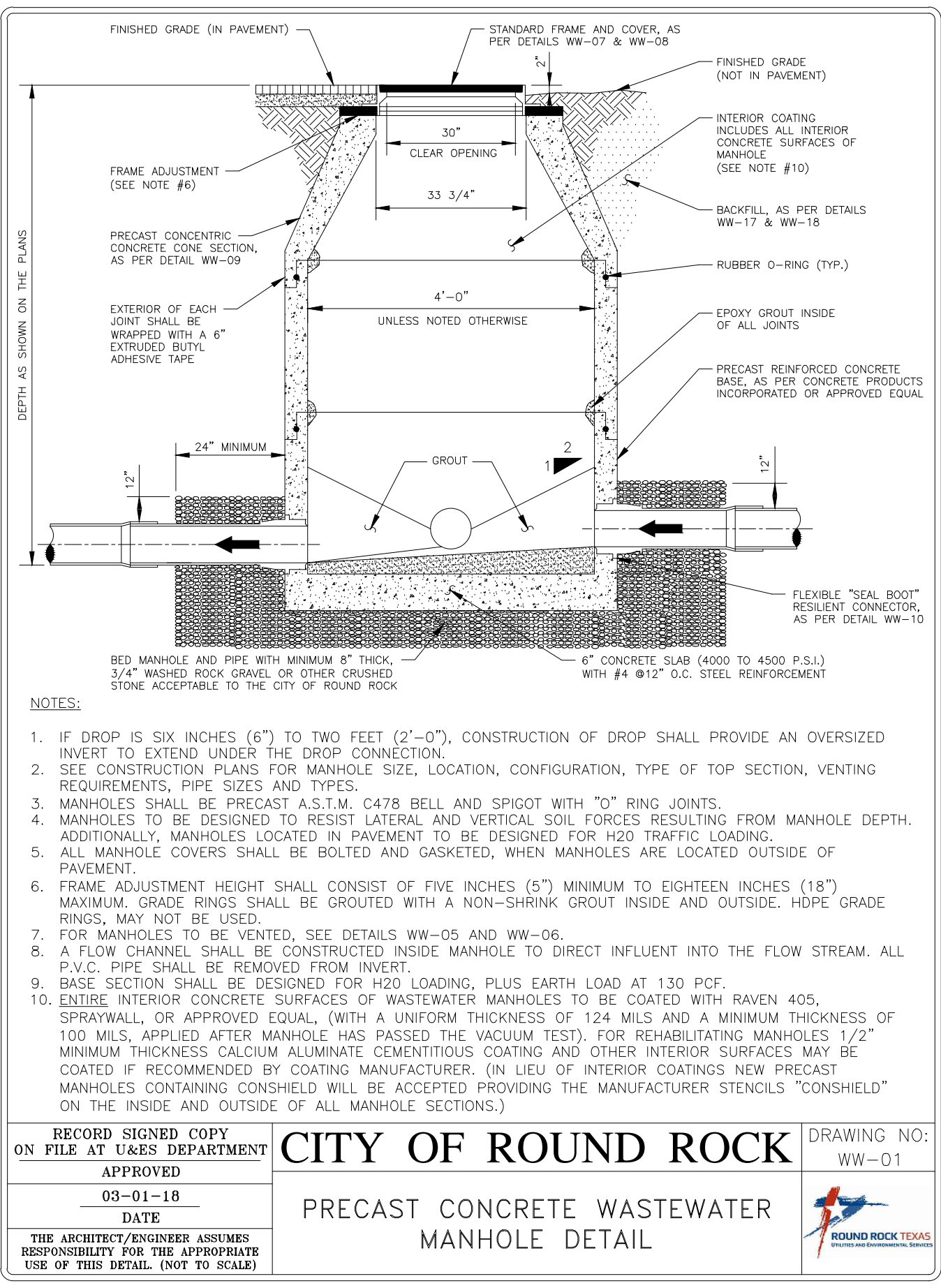
BACKFLOW PREVENTOR VAULT SCHEDULE

TAG NO.	DESCRIPTION	VAULT NO. 1 (3' BACKFLOW)	VAULT NO. 2 (4' BACKFLOW)	VAULT NO. 3 (6' BACKFLOW)	VAULT NO. 4 (8' BACKFLOW)	VAULT NO. 5 (10' BACKFLOW)
E	MINIMUM VAULT LENGTH	6'-0"	7'-0"	8'-0"	9'-0"	10'-0"
F	MINIMUM VAULT WIDTH	4'-0"	5'-0"	5'-0"	5'-0"	5'-0"
G	MINIMUM VAULT HEIGHT	4'-0"	4'-0"	6'-6"	6'-6"	6'-6"
H	MINIMUM PIPE HEIGHT	18"	18"	24"	24"	24"
-	BACKFLOW PREVENTOR SIZE	3"	4"	6"	8"	10"
-	DOUBLE-LEAF ACCESS DOOR	42' x 42'	42' x 42'	42' x 42'	42' x 42'	42' x 42'

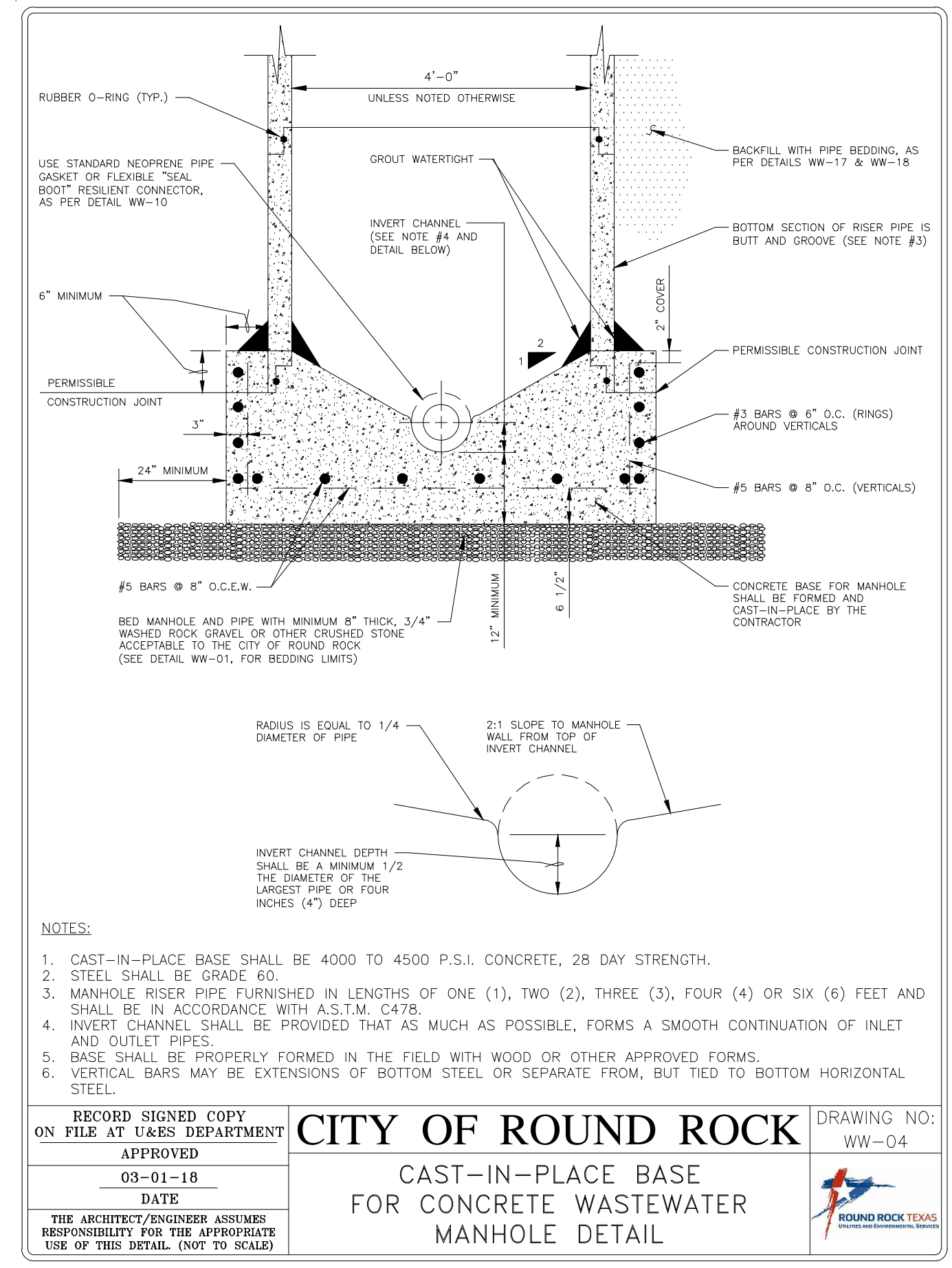
07 WATER METER ASSEMBLY DETAIL (VAULT SCHEDULE)
NTS
CITY OF ROUND ROCK
DRAWING NO: WT-20 (3 of 3)
DATE: 03-01-18
3\"/>



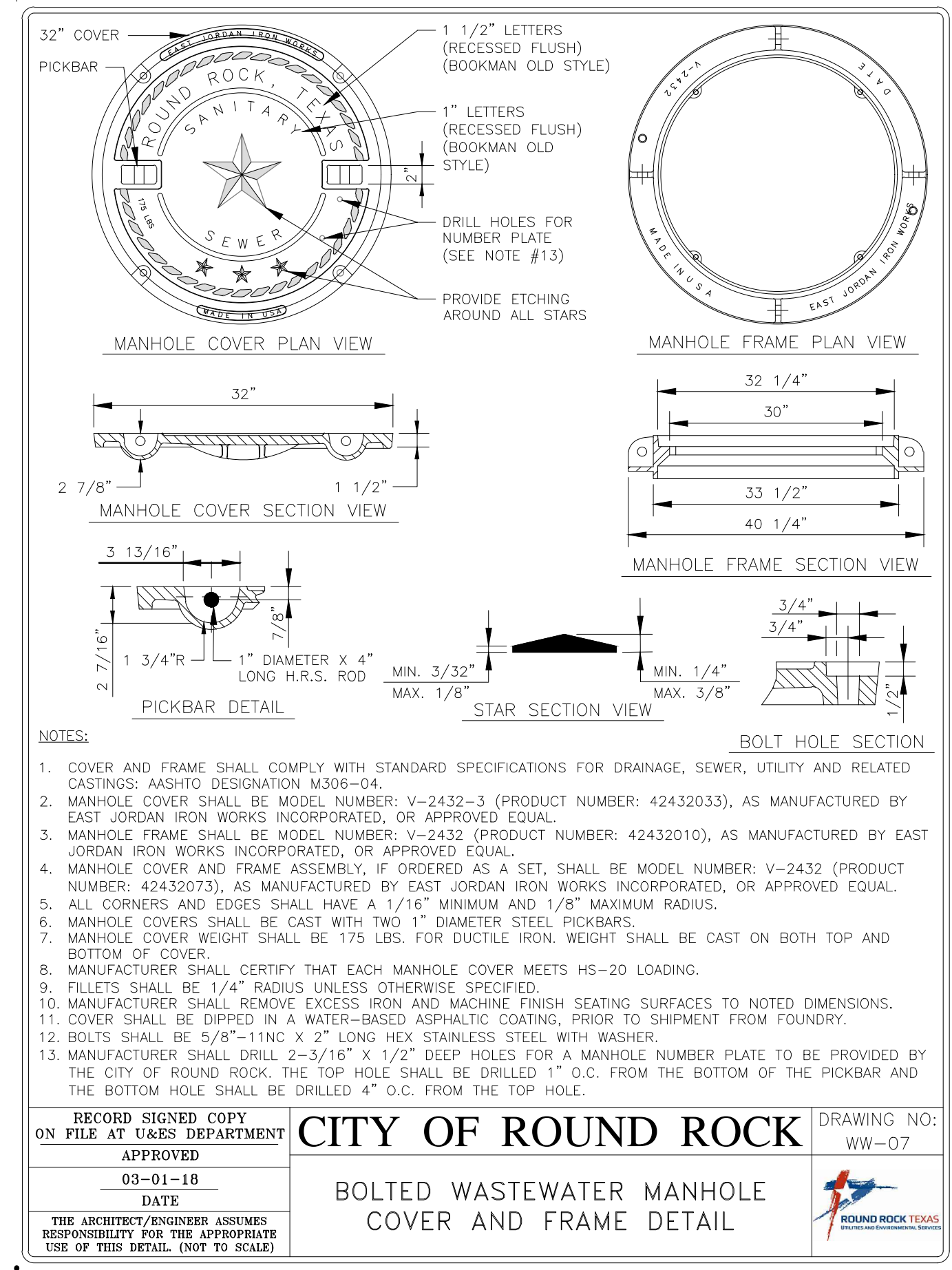
08 GATE VALVE DETAIL
NTS
CITY OF ROUND ROCK
DRAWING NO: WT-22
DATE: 03-01-18
GATE VALVE DETAIL



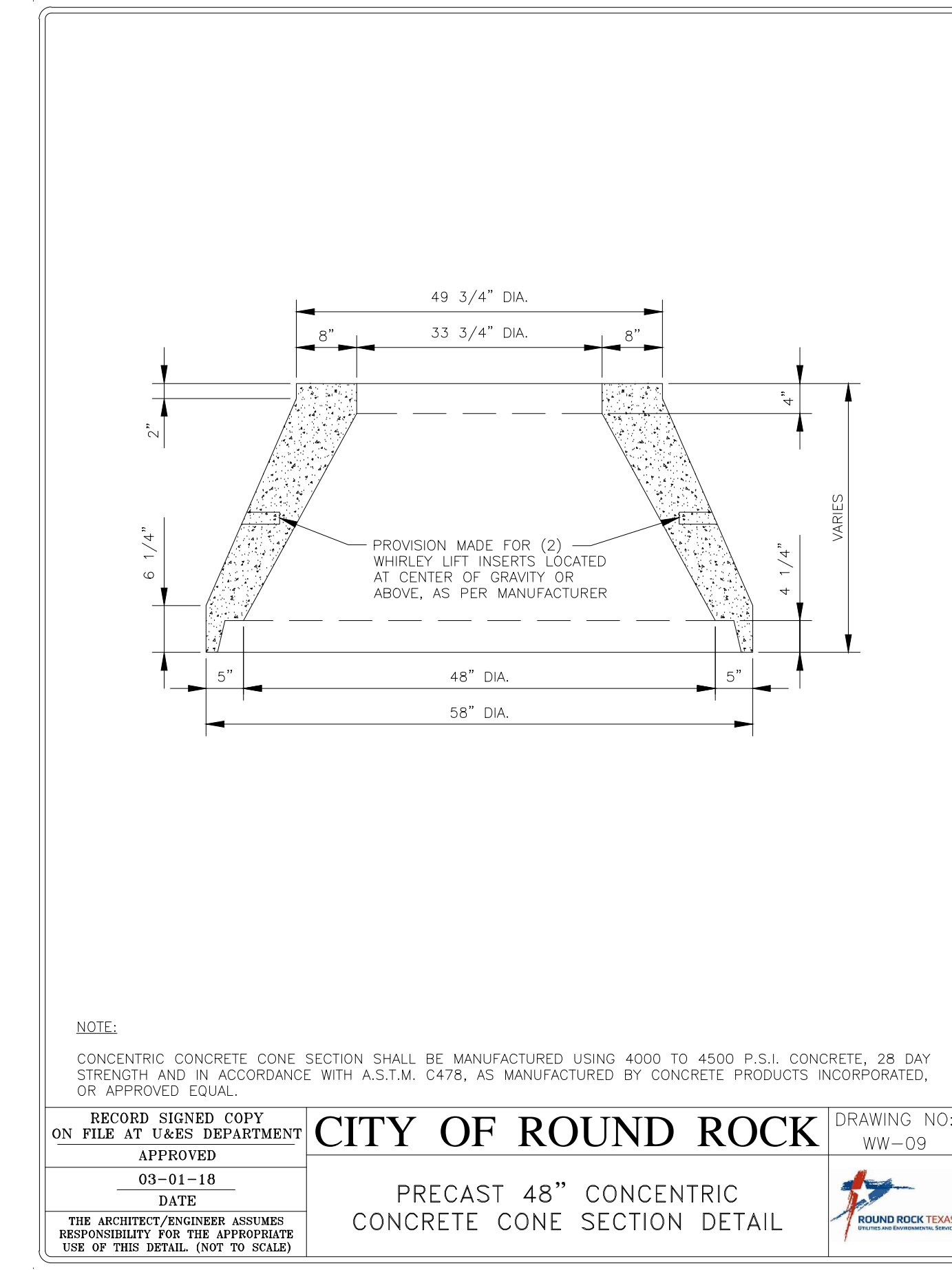
01 PRECAST CONCRETE WASTEWATER MANHOLE
 NTS
 RECORD SIGNED COPY ON FILE AT U&ES DEPARTMENT APPROVED
 DATE: 03-01-18
 CITY OF ROUND ROCK
 PRECAST CONCRETE WASTEWATER MANHOLE DETAIL
 DRAWING NO.: WW-01



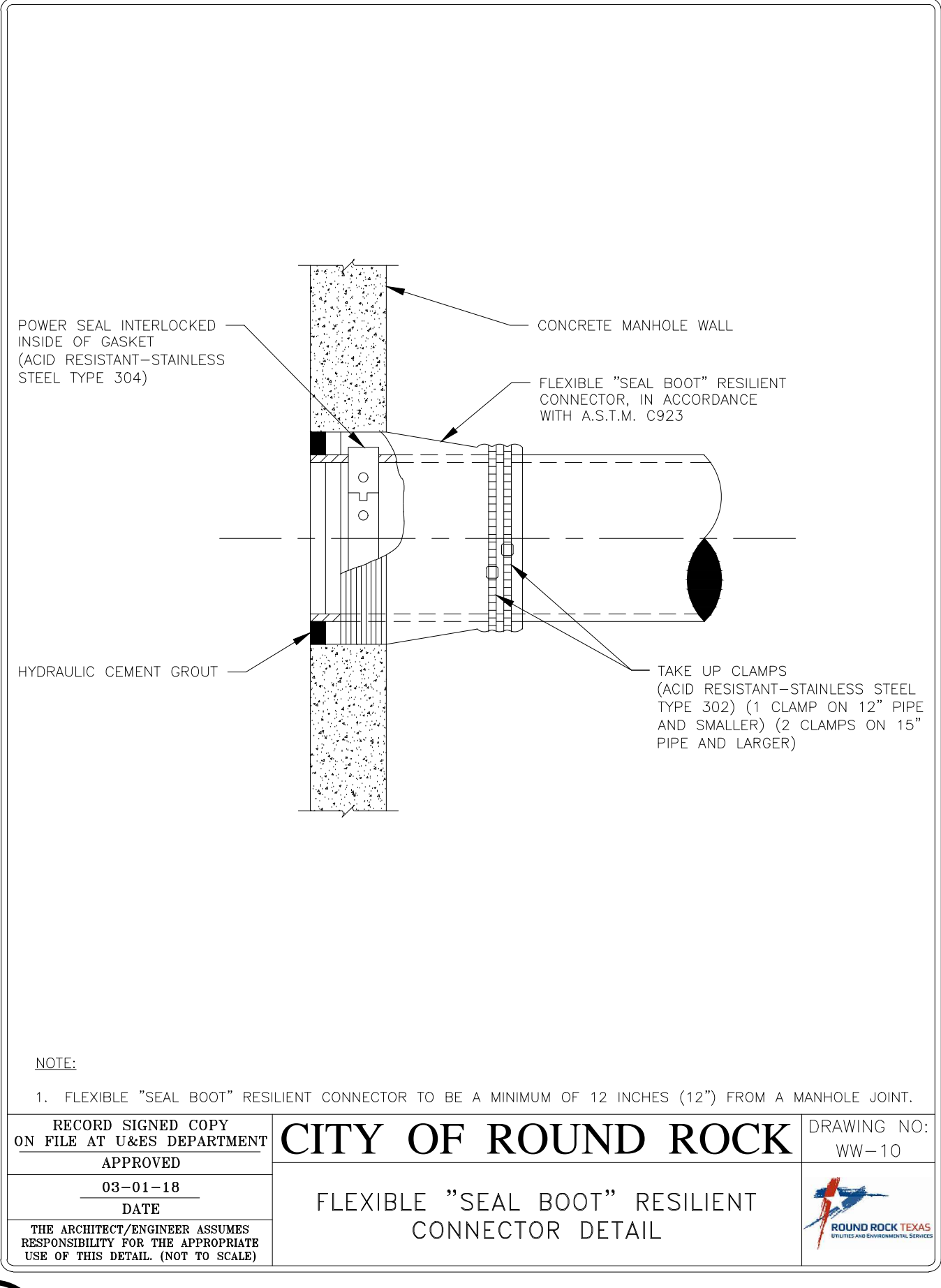
02 CAST IN PLACE FOR CONCRETE WASTEWATER
 NTS
 RECORD SIGNED COPY ON FILE AT U&ES DEPARTMENT APPROVED
 DATE: 03-01-18
 CITY OF ROUND ROCK
 CAST-IN-PLACE BASE FOR CONCRETE WASTEWATER MANHOLE DETAIL
 DRAWING NO.: WW-04



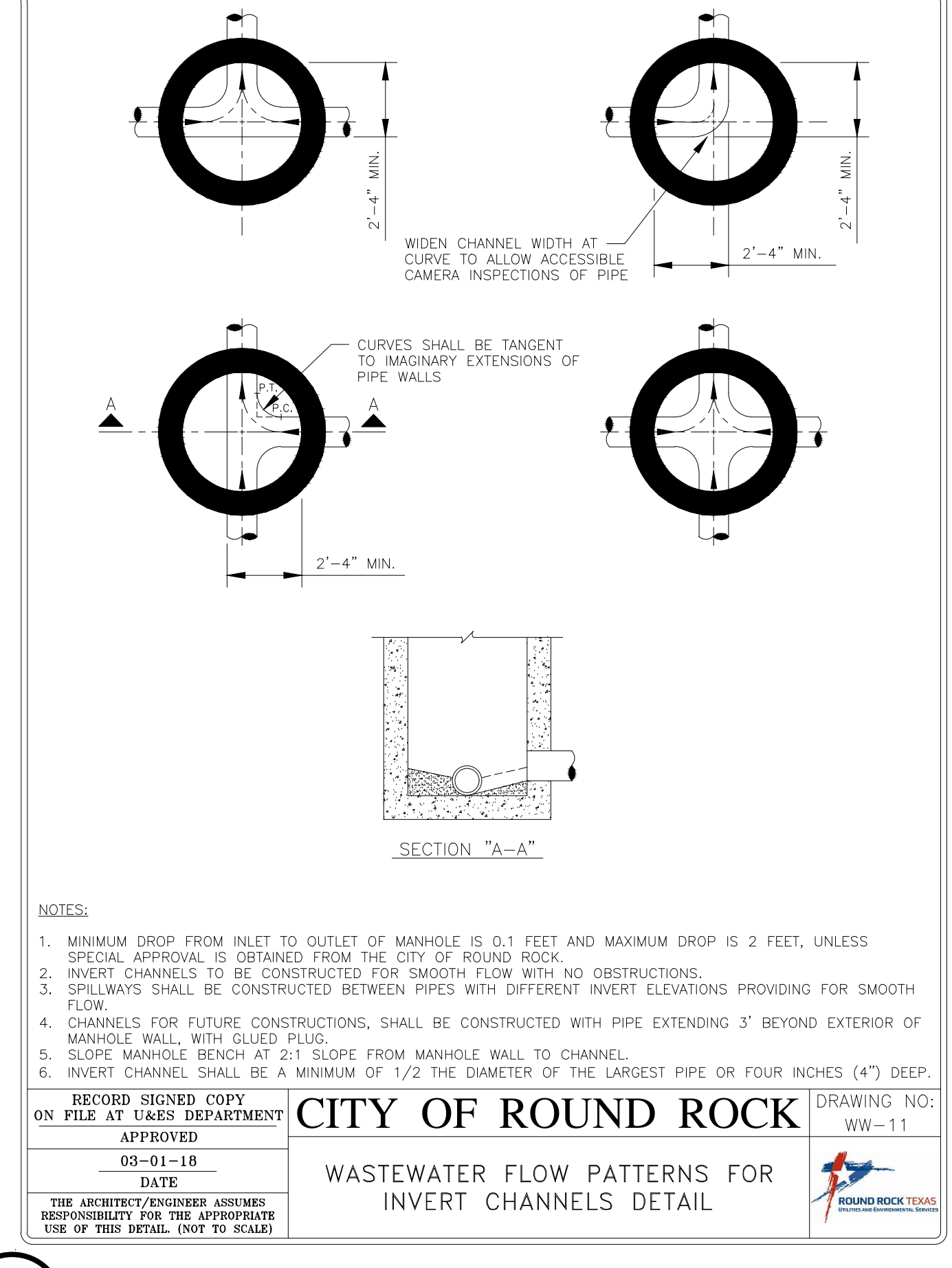
03 BOLTED WASTEWATER MANHOLE COVER AND FRAME
 NTS
 RECORD SIGNED COPY ON FILE AT U&ES DEPARTMENT APPROVED
 DATE: 03-01-18
 CITY OF ROUND ROCK
 BOLTED WASTEWATER MANHOLE COVER AND FRAME DETAIL
 DRAWING NO.: WW-07



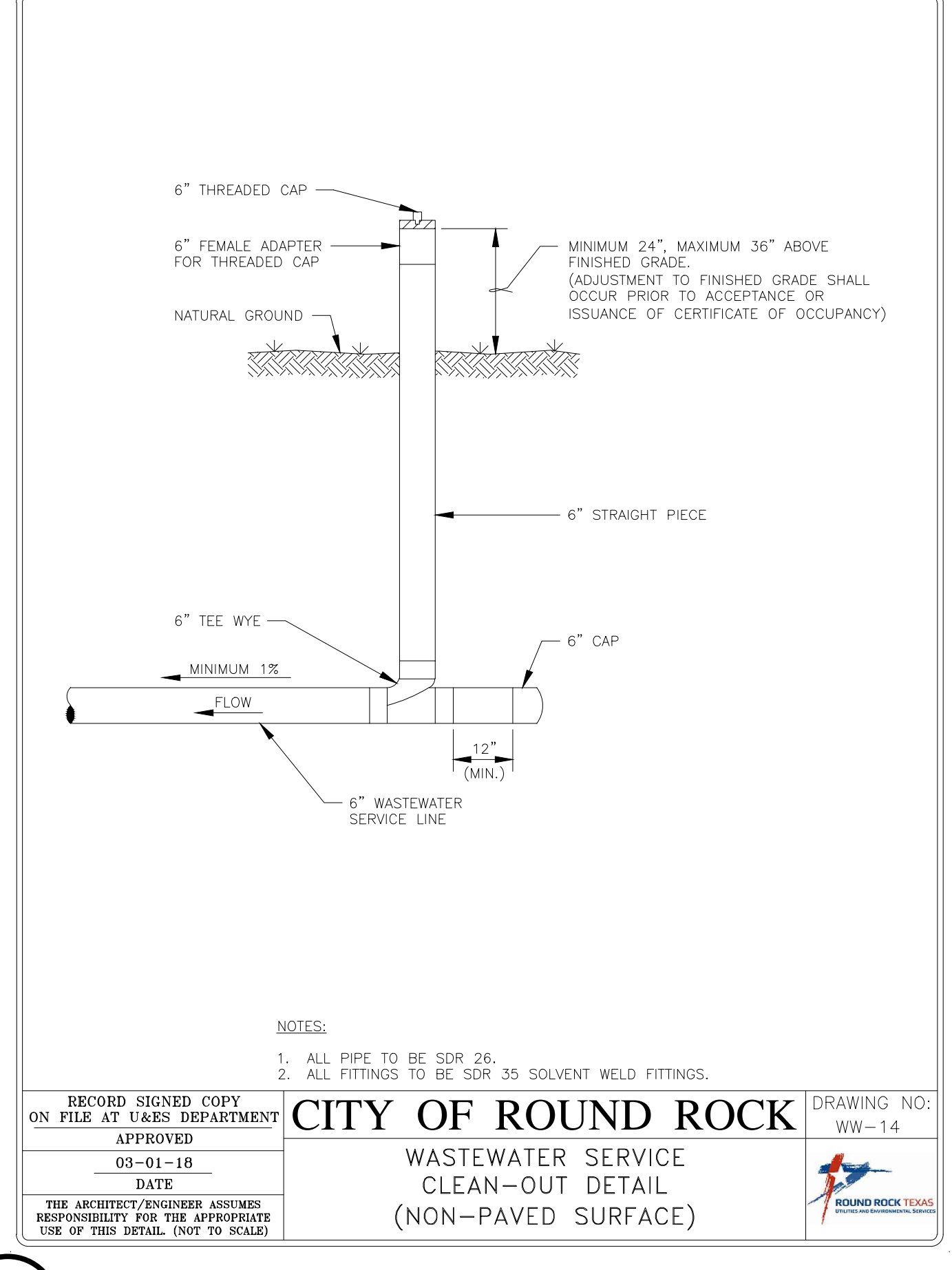
**04 PRECAST 48\"/>
 NTS
 RECORD SIGNED COPY ON FILE AT U&ES DEPARTMENT APPROVED
 DATE: 03-01-18
 CITY OF ROUND ROCK
 PRECAST 48\"/>
 DRAWING NO.: WW-09**



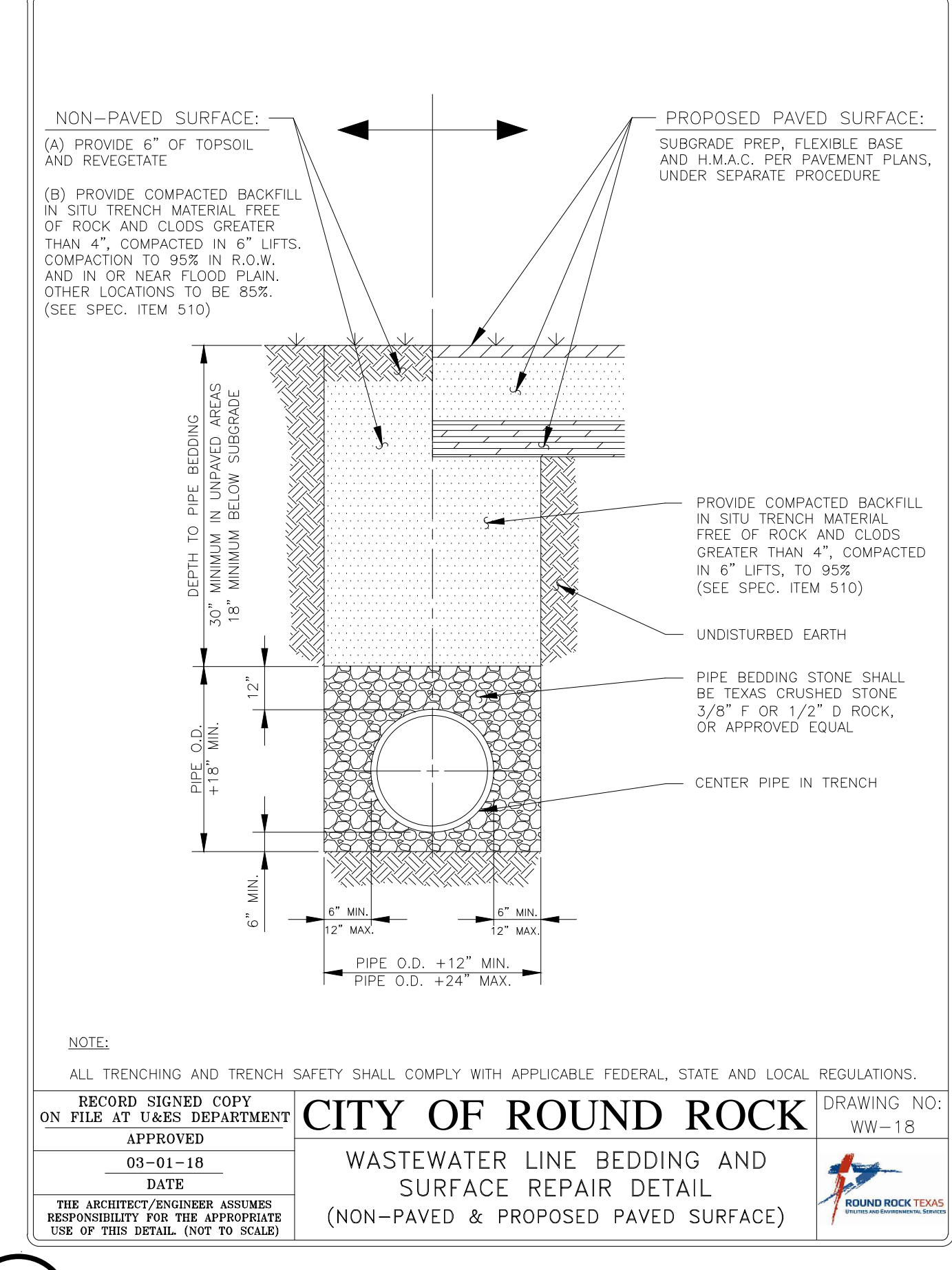
05 FLEXIBLE 'SEAL BOOT' RESILIENT CONNECTOR
 NTS
 RECORD SIGNED COPY ON FILE AT U&ES DEPARTMENT APPROVED
 DATE: 03-01-18
 CITY OF ROUND ROCK
 FLEXIBLE 'SEAL BOOT' RESILIENT CONNECTOR DETAIL
 DRAWING NO.: WW-10



06 WASTEWATER FLOW PATTERNS FOR INVERT CHANNELS
 NTS
 RECORD SIGNED COPY ON FILE AT U&ES DEPARTMENT APPROVED
 DATE: 03-01-18
 CITY OF ROUND ROCK
 WASTEWATER FLOW PATTERNS FOR INVERT CHANNELS DETAIL
 DRAWING NO.: WW-11

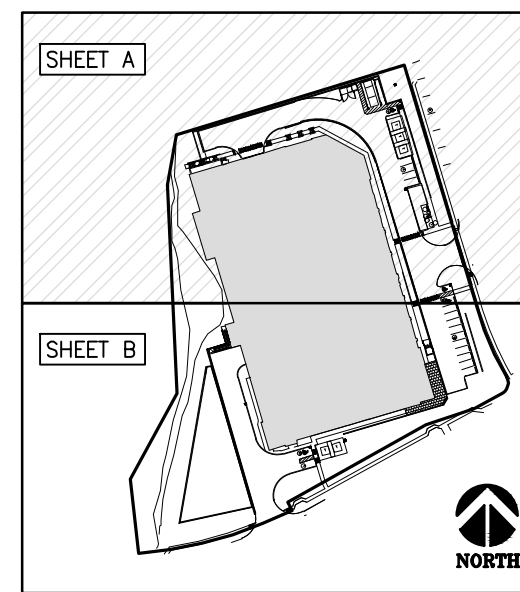


07 WASTEWATER SERVICE CLEAN OUT
 NTS
 RECORD SIGNED COPY ON FILE AT U&ES DEPARTMENT APPROVED
 DATE: 03-01-18
 CITY OF ROUND ROCK
 WASTEWATER SERVICE CLEAN-OUT DETAIL (NON-PAVED SURFACE)
 DRAWING NO.: WW-14

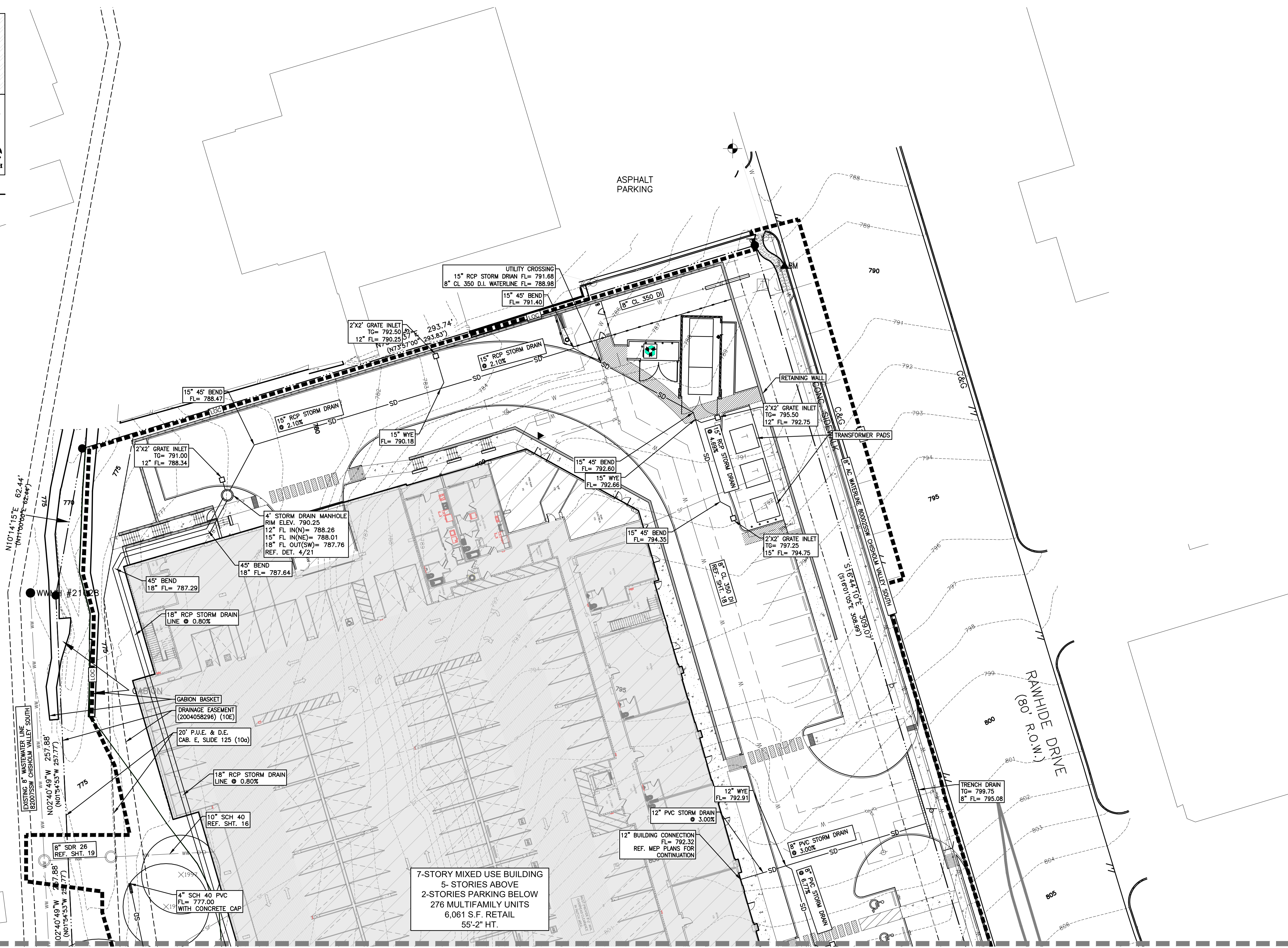


08 WASTEWATER LINE BEDDING AND SURFACE REPAIR
 NTS
 RECORD SIGNED COPY ON FILE AT U&ES DEPARTMENT APPROVED
 DATE: 03-01-18
 CITY OF ROUND ROCK
 WASTEWATER LINE BEDDING AND SURFACE REPAIR DETAIL (NON-PAVED & PROPOSED PAVED SURFACE)
 DRAWING NO.: WW-18

FILE: J:\WORK\1587-003\SITE DEV PLANS\21- UTILITY DETAILS 2.DWG - PLOTTED ON: 06/12/23 11:38AM - BY: NATE ALVARADO

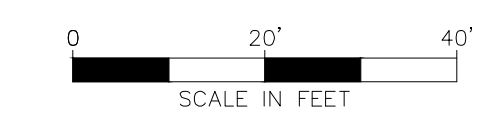


KEY MAP
SCALE: N.T.S.



7-STORY MIXED USE BUILDING
5-STORIES ABOVE
2-STORIES PARKING BELOW
276 MULTIFAMILY UNITS
6,061 S.F. RETAIL
55'-2" HT.

MATCHLINE THIS SHEET 17



LEGEND

①	PLAT RECORDS WILLIAMSON COUNTY, TEXAS	○ P.R.W.C.T.	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
②	SPACE NUMBER	▬	PROPOSED CONCRETE WALK
③	COMPACT PARKING SPACE	▬	PROPOSED ASPHALT PAVING
④	ACCESSIBLE PARKING SPACE	▬	PROPOSED CONTOUR
TC	TOP OF CURB	▬	MORTAR STACK ROCK WALL
BC	BOTTOM OF CURB	▬	RETAINING WALL
HP	HIGH POINT	▬	4" HT. WOOD FENCE
GRD	GROUND	▬	WATER LINE
FL	FLOW LINE	▬	WASTE WATER LINE
TG	TOP OF GRATE	▬	STORM DRAIN LINE
TW	TOP OF WALL	▬	OVERHEAD UTILITIES
PWIT	PANICENT	▬	DOWN GUY
MH	MANHOLE	○	UNDERGROUND UTILITIES
CO	CLEANOUT	○	GAS LINE
REF. DET.	REFER DETAIL	○	EXISTING TREE TO REMAIN
REF. ARCH.	REFER ARCHITECTURAL PLANS	○	EXISTING TREE TO BE REMOVED
TYP.	TYPICAL	○	EXISTING TREE
CONC.	CONCRETE	○	SILT FENCE
EXIST.	EXISTING	○	FILTER DIKE
N87°00'00"E	SURVEY DATA	○	TREE PROTECTION FENCE
N90°00'00"E	RECORD DATA	○	EXST. SIGN
BM	BENCHMARK	○	EXST. LIGHT POLE
TBM	TEMPORARY BENCHMARK	○	DOWNPOUTS
IRON ROD FOUND	SURVEY MONUMENT	○	HAND RAILS
IRON ROD SET	IRON ROD FOUND	○	TRAFFIC GUARD RAIL
COTTON GIN BOLT	IRON ROD SET	○	FIRE LINE DESIGNATION
○	PROPERTY LINE	○	ACCESSIBLE ROUTE
▬	LIMITS OF CONSTRUCTION	○	UNDERGROUND ELECTRIC
100.00	EXISTING SPOT ELEVATION	○	
1100.00	PROPOSED SPOT ELEVATION	○	
100	EXISTING CONTOUR	○	
100	BOP	○	

ATTENTION

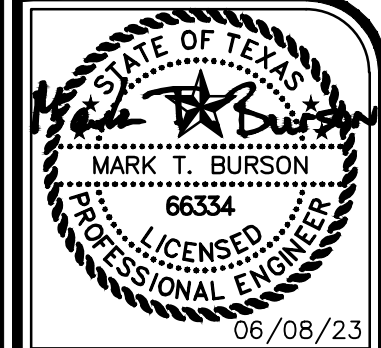
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

FILE: J:\WORK\1587-003\SITE DEV PLANS\23- STORM SEWER PLAN.DWG - PLOTTED ON: 06/08/23 9:31AM - BY: ATOURGATE

Consort, Inc. Copyright © 2022.
NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS OR STORED IN A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF CONSORT, INC.



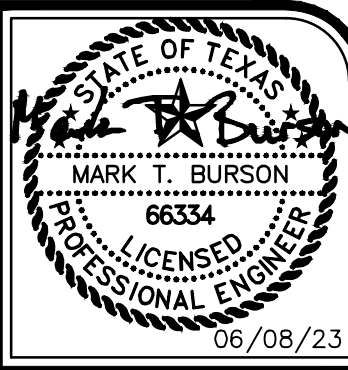
HIGH RISTLER VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681
STORM SEWER PLAN A



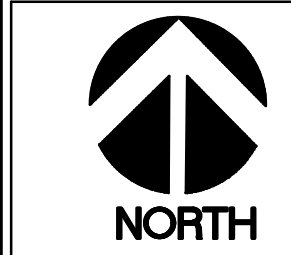
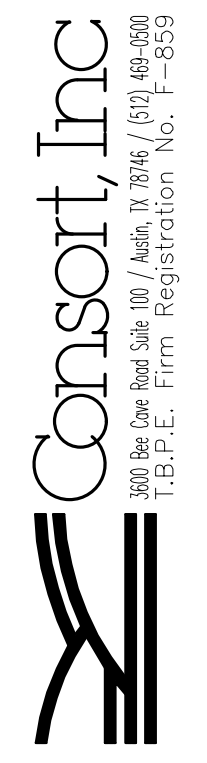
JOB NO.: 1587-003
DRAWN BY:
SCALE: 1"=30'
DATE: 06/08/23
FILE:
REV./CORR:

SHEET
22
of
40



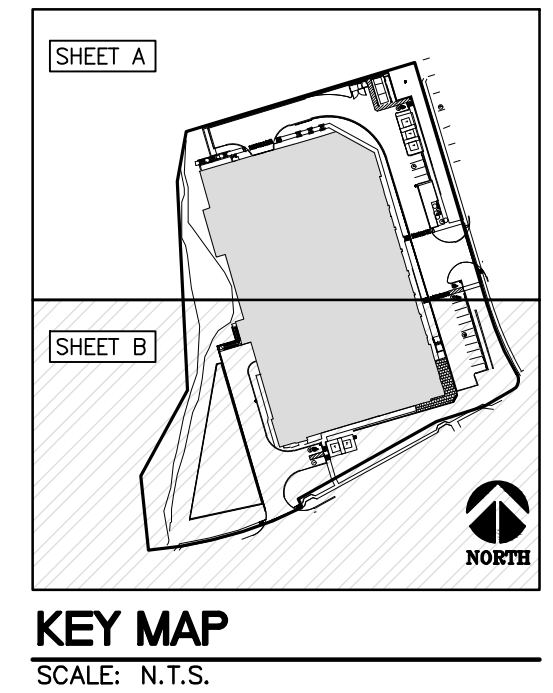
HIGHTS 4 APARTMENTS
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

HIGHTS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681
STORM SEWER PLAN B



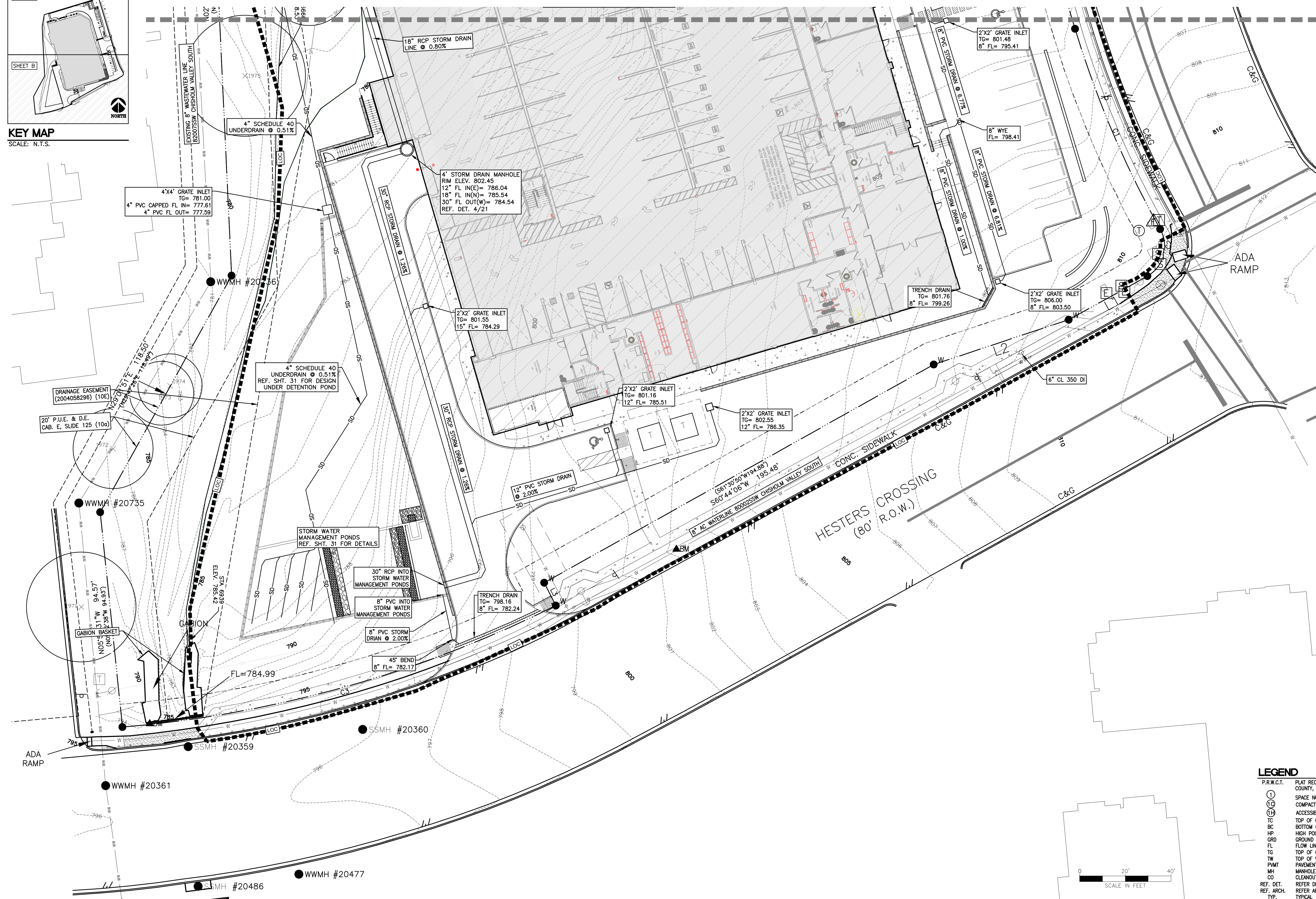
JOB NO.: 1587-003
DRAWN BY:
SCALE: 1"=30'
DATE: 06/08/23
FILE:
REV./CORR:

SHEET
23
of
40



MATCHLINE THIS SHEET 16

MATCHLINE THIS SHEET 16



LEGEND

①	P.R.W.C.T. PLAT RECORDS WILLIAMSON COUNTY, TEXAS	①	O.P.R.W.C.T. OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
②	SPACE NUMBER	②	PROPOSED CONCRETE WALK
③	COMPACT PARKING SPACE	③	PROPOSED ASPHALT PAVING
④	ACCESSIBLE PARKING SPACE	④	PROPOSED CONTOUR
TC	TOP OF CURB	⑤	MORTAR STACK ROCK WALL
BC	BOTTOM OF CURB	⑥	RETAINING WALL
HP	HIGH POINT	⑦	4" HT. WOOD FENCE
GRD	GROUND	⑧	WATER LINE
FL	FLOW LINE	⑨	WASTE WATER LINE
TG	TOP OF GRATE	⑩	STORM DRAIN LINE
TW	TOP OF WALL	⑪	OVERHEAD UTILITIES
PWMT	PANCREMENT	⑫	DOWN GUY
MH	MANHOLE	⑬	UNDERGROUND UTILITIES
CO	CLEANOUT	⑭	GAS LINE
REF. DET.	REFER DETAIL	⑮	EXISTING TREE TO REMAIN
REF. ARCH.	REFER ARCHITECTURAL PLANS	⑯	EXISTING TREE TO BE REMOVED
TYP.	TYPICAL	⑰	SILT FENCE
CONC.	CONCRETE	⑱	FILTER DIKE
EXIST.	EXISTING	⑲	TREE PROTECTION FENCE
NS(0°00'00"E)	SURVEY DATA RECORD DATA	⑳	EXIST. SIGN
NS(0°00'00"E)	BENCHMARK	㉑	EXIST. LIGHT POLE
BM	TEMPORARY BENCHMARK	㉒	DOWNPOUTS
TBM	SURVEY MONUMENT	㉓	HAND RAILS
IR	IRON ROD FOUND	㉔	TRAFFIC GUARD RAIL
IR	IRON ROD SET	㉕	FIRE LANE DESIGNATION
CB	COTTON GIN BOLT	㉖	ACCESSIBLE ROUTE
---	PROPERTY LINE	㉗	UNDERGROUND ELECTRIC
---	LIMITS OF CONSTRUCTION		
---	EXISTING SPOT ELEVATION		
---	PROPOSED SPOT ELEVATION		
---	EXISTING CONTOUR		
---	BOP		

ATTENTION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

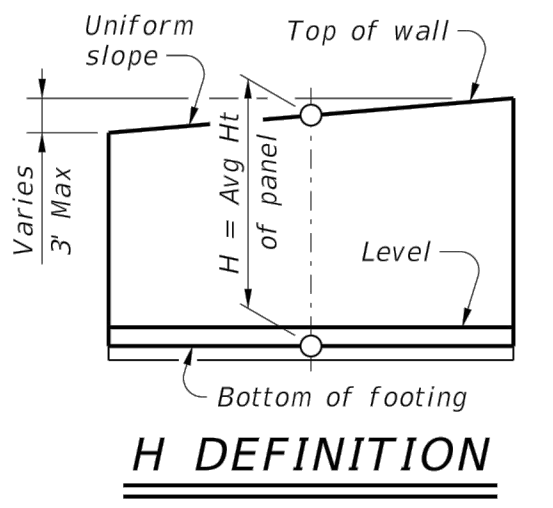
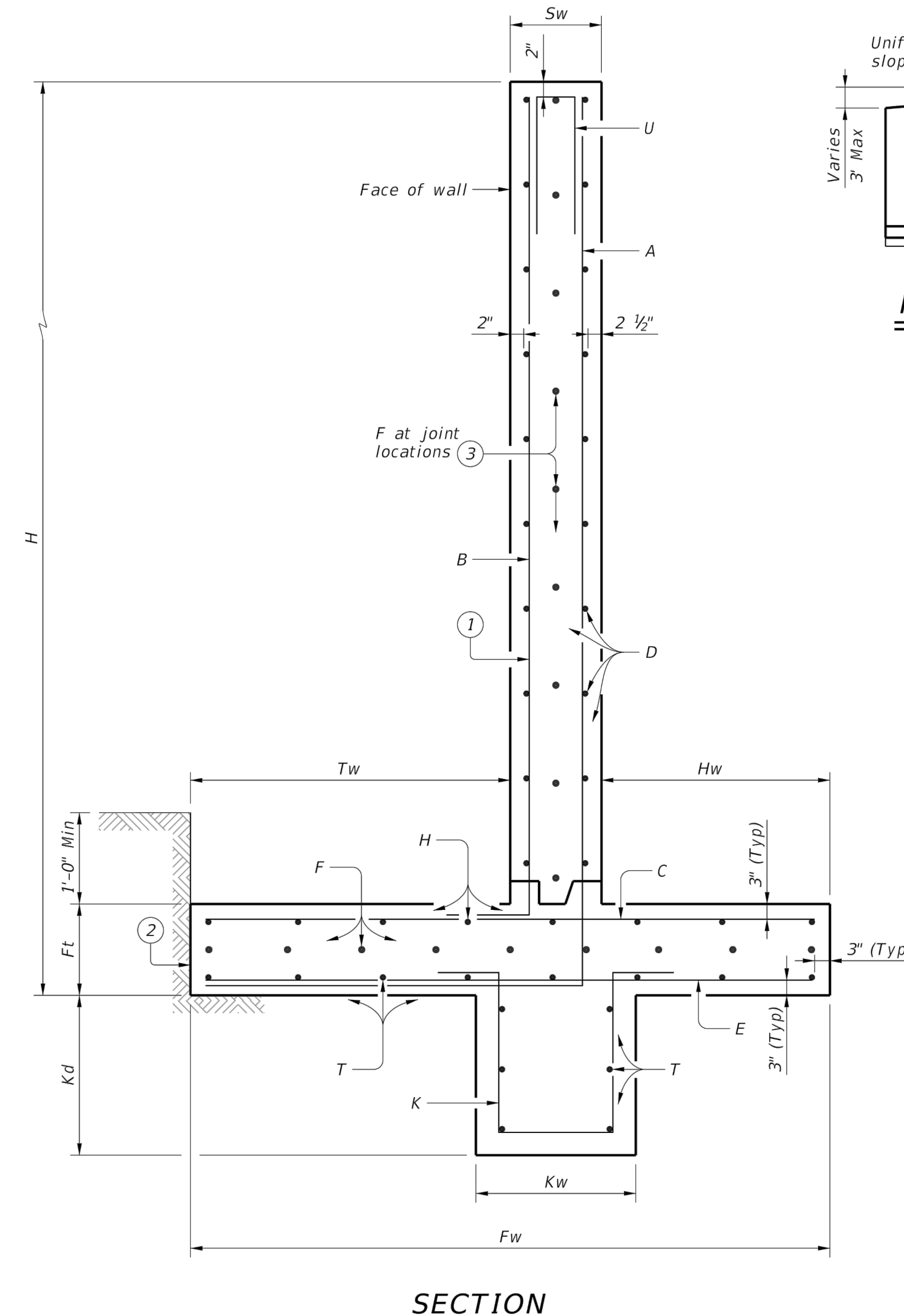
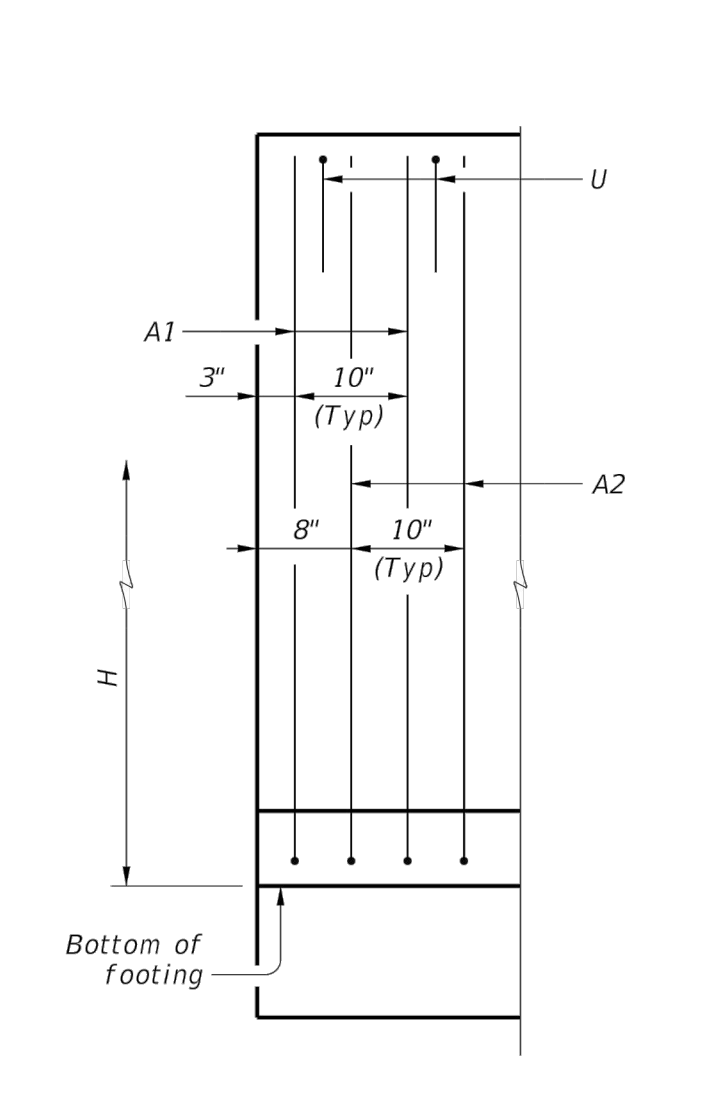
ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

FILE: J:\WORK\1587-003\SITE DEV PLANS\23- STORM SEWER PLAN.DWG - PLOTTED ON: 06/08/23 9:31AM - BY: ATOURGATE

DISCLAIMER: This standard is governed by the Texas Engineering Practice Act. No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.

Wall Height "H" (Ft)	PROPERTIES							REINFORCING STEEL FOR ONE 32' PANEL (DESIGN C)																QUANTITY FOR ONE 32' PANEL		Wall Height "H" (Ft)																									
	WALL DIMENSIONS							Bars A1		Bars A2		Bars B		Bars C		Bars E		Bars K		D (#5) at 12" Max.		Dowel F at 12" Max.		H (#5) at 12" Max.			T (#5) at 12" Max.		U - 27 #5 at 15" Max.		Conc (CY)	REINF (LB)																			
	Fw	Tw	Sw	Hw	Ft	Kw	Kd	No.	Size	No.	Size	No.	Size	No.	Size	No.	Size	No.	Size	No.	Weight	No.	Weight	No.	Weight		No.	Weight	No.	Weight			No.	Weight	No.	Weight															
2	5'-0"	1'-0"	1'-0"	3'-0"	1'-0"	1'-0"	1'-0"	0.218	39	#4	10	3'-2"	83	39	#4	10	3'-2"	83	39	#4	10	1'-11"	50	39	#4	10	4'-6"	118	39	#4	10	4'-6"	118	39	#4	10	3'-10"	100	4	132	8	65	6	198	6	198	2'-0"	57	8.3	1202	2
4	5'-0"	1'-0"	1'-0"	3'-0"	1'-0"	1'-0"	1'-0"	0.321	39	#4	10	5'-2"	135	39	#4	10	5'-2"	135	39	#4	10	3'-11"	103	39	#4	10	4'-6"	118	39	#4	10	4'-6"	118	39	#4	10	3'-10"	100	8	263	10	81	6	198	6	198	3'-6"	99	10.7	1548	4
6	5'-6"	1'-6"	1'-0"	3'-0"	1'-0"	1'-0"	1'-0"	0.395	39	#4	10	7'-8"	200	39	#4	10	7'-8"	200	39	#4	10	5'-0"	131	39	#4	10	5'-0"	131	39	#4	10	3'-10"	100	12	395	12	97	6	198	6	198	3'-6"	99	13.7	1904	6					
8	7'-4"	1'-9"	1'-1"	4'-6"	1'-0"	1'-0"	1'-0"	0.500	39	#4	10	10'-0"	261	39	#4	10	10'-0"	261	39	#4	10	7'-11"	207	39	#4	10	6'-10"	179	39	#4	10	6'-10"	179	39	#4	10	3'-10"	100	16	526	16	129	8	263	8	263	3'-7"	101	18.9	2469	8
10	8'-8"	2'-4"	1'-1"	5'-3"	1'-2"	1'-6"	1'-6"	0.590	39	#5	10	12'-7"	512	39	#4	10	12'-7"	328	39	#4	10	9'-9"	255	39	#5	10	8'-2"	333	39	#4	10	8'-2"	213	39	#4	10	5'-4"	139	20	658	20	161	10	329	10	329	3'-7"	101	26.0	3358	10
12	10'-4"	2'-11"	1'-2"	6'-3"	1'-4"	1'-9"	1'-9"	0.684	39	#5	10	15'-3"	621	39	#4	10	15'-3"	398	39	#4	10	11'-7"	302	39	#5	10	9'-10"	400	39	#4	10	9'-10"	257	39	#4	10	6'-1"	159	24	789	23	185	11	362	11	362	3'-8"	104	34.8	3939	12
14	11'-8"	3'-6"	1'-4"	6'-10"	1'-7"	2'-0"	2'-0"	0.769	39	#5	10	18'-0"	733	39	#4	10	18'-0"	469	39	#4	10	13'-4"	348	39	#5	10	11'-2"	455	39	#4	10	11'-2"	291	39	#4	10	6'-10"	179	28	920	27	217	13	428	13	428	3'-10"	108	46.3	4576	14
16	13'-1"	4'-0"	1'-6"	7'-7"	1'-9"	2'-0"	2'-0"	0.853	39	#5	10	20'-8"	841	39	#5	10	20'-8"	841	39	#4	10	15'-2"	396	39	#6	10	12'-7"	738	39	#4	10	12'-7"	329	39	#4	10	6'-10"	179	32	1052	30	241	14	460	14	460	4'-0"	113	57.3	5650	16
18	14'-7"	4'-6"	1'-8"	8'-5"	1'-9"	2'-0"	2'-0"	0.937	39	#6	10	23'-4"	1367	39	#5	10	23'-4"	950	39	#4	10	17'-2"	448	39	#7	10	14'-1"	1124	39	#4	10	14'-1"	368	39	#4	10	6'-10"	179	36	1183	34	273	16	526	16	526	4'-2"	118	67.1	7062	18
20	16'-5"	5'-0"	1'-10"	9'-7"	2'-0"	2'-0"	2'-0"	1.039	39	#6	10	26'-0"	1524	39	#6	10	26'-0"	1524	39	#4	10	18'-11"	493	39	#7	10	17'-11"	1429	39	#4	10	17'-11"	467	39	#4	10	6'-10"	179	38	1249	36	289	17	559	17	559	4'-4"	123	82.8	8395	20



- ① Place vertical bars inside of horizontal bars (Typical both faces.)
- ② Place footing toe against undisturbed soil.
- ③ See Retaining Wall Miscellaneous Details (RW(SF)) standard for size.

MATERIAL NOTES:
Provide Class C concrete ($f'c=3,600$ psi).
Provide Grade 60 reinforcing steel.

GENERAL NOTES:
Designed according to AASHTO LRFD Bridge Design Specifications.
Walls are designed assuming unit weight of soil = 120 pcf and a friction angle = 30 degrees for Foundation and retained soil.
See Retaining Wall Miscellaneous Details (RW(SF)) standard for details and notes not shown.
These details provide designs for wall heights of 2 to 20 feet. For heights not shown, round up "H" to determine wall dimensions and reinforcing. (For example, a 9-foot high wall would use the 10-foot high dimensions and reinforcing.)
Quantities are based on "H" being average height of panel.
Retaining walls are designed to be coded as follows on Retaining Wall Layout Sheets:

- C - 15 - 32 Panel length ~ 32 ft. is standard; 28 ft. requires special quantities.
- Average height (H) of panel.
- Design A = No surcharge or slope above wall.
- Design B = No surcharge; slopes to 3:1.
- Design C = Traffic surcharge; no slope above wall.

Cover dimensions are clear dimensions, unless noted otherwise.
Reinforcing bar dimensions shown are out-to-out of bar.

Texas Department of Transportation Bridge Division Standard

SPREAD FOOTING RETAINING WALL
RW(SFC)

FILE: RW-SFC-22.dgn	DN: TAR	CK: RLE	DW: JER	CK: TAR
REV: JUNE 2022	CONT: SECT	JOB: HIGHWAY		
REVISIONS				
DIST	COUNTY	SHEET NO.		

LEGEND

① PLAT RECORDS WILLIAMSON COUNTY, TEXAS	① O.P.R.W.C.T. OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
② COMPACT PARKING SPACE	② PROPOSED CONCRETE WALK
③ ACCESSIBLE PARKING SPACE	③ PROPOSED ASPHALT PAVING
TC TOP OF CURB	④ PROPOSED CONTOUR MORTAR STACK ROCK WALL
BC BOTTOM OF CURB	④ RETAINING WALL
HP HIGH POINT	⑤ WASTE WATER LINE
GRD GROUND	⑤ WASTE WATER LINE
FL FLOW LINE	⑤ STORM DRAIN LINE
TG TOP OF GRATE	⑤ OVERHEAD UTILITIES
TW TOP OF WALL	⑤ DOWN GUY
PMT PAVEMENT	⑤ UNDERGROUND UTILITIES
MH MANHOLE	⑤ GAS LINE
CO CLEANOUT	⑤ EXISTING TREE TO REMAIN
REF. DET. REFER DETAIL	⑤ EXISTING TREE TO BE REMOVED
REF. ARCH. REFER ARCHITECTURAL PLANS	⑤ TYPICAL
TYP. TYPICAL	⑤ SILT FENCE
CONC. CONCRETE	⑤ FILTER DIKE
EXIST. EXISTING	⑤ TREE PROTECTION FENCE
NS(0'00'00"E) SURVEY DATA	⑤ EXIST. SIGN
RECORD DATA	⑤ EXIST. LIGHT POLE
RECORD DATA	⑤ DOWNSPOUTS
BM BENCHMARK	⑤ HAND RAILS
TBM TEMPORARY BENCHMARK	⑤ TRAFFIC GUARD RAIL
SM SURVEY MONUMENT	⑤ FIRE LINE DESIGNATION
IRON ROD FOUND	⑤ ACCESSIBLE ROUTE
IRON ROD SET	⑤ UNDERGROUND ELECTRIC
COTTON GIN BOLT	⑤
PROPERTY LINE	⑤
LIMITS OF CONSTRUCTION	⑤
EXISTING SPOT ELEVATION	⑤
PROPOSED SPOT ELEVATION	⑤
EXISTING CONTOUR	⑤
BOP BOTTOM OF POND	⑤

HIGH RISE, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

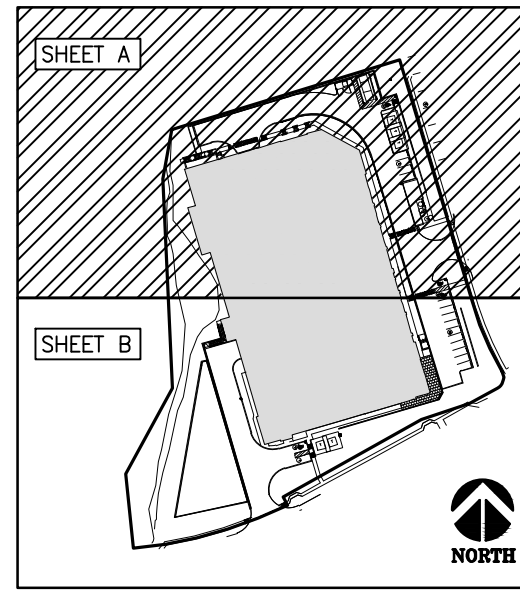
HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681
RETAINING WALL DESIGN

Consort, Inc.
3906 Bee Cave Road, Suite 100 / Austin, TX 78746 / (512) 499-0200
12312 E. Firm Registration No. P-059

JOB NO.: 1587-003
DRAWN BY:
DATE: 06/08/23
FILE:
REV./CORR:

SHEET
24
of
40

Consort, Inc. Copyright © 2022.
NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS, OR STORED IN A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONSORT, INC.



KEY MAP
SCALE: N.T.S.

STA 6398
ELEV. NO CONTOURS

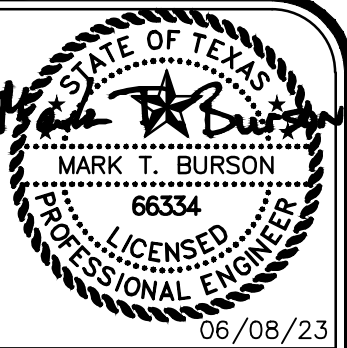


7-STORY MIXED USE BUILDING
5-STORIES ABOVE
2-STORIES PARKING BELOW
276 MULTIFAMILY UNITS
6,061 S.F. RETAIL
55'-2" HT.

MATCHLINE THIS SHEET 26

DIMENSION CONTROL NOTES

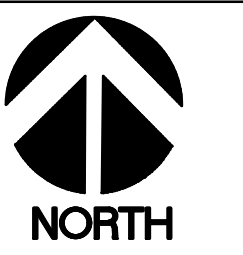
1. ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
3. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
4. CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND PROTECT ALL EXISTING SITE IMPROVEMENTS AND UTILITIES DURING CONSTRUCTION OPERATIONS.
5. ALL WALKWAYS LEADING TO ENTRANCES ARE TO BE CENTERED ON DOORWAYS UNLESS OTHERWISE NOTED.
6. CURB RADI ARE 3' UNLESS OTHERWISE NOTED.



HIGH RISE/LEVER VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681

DIMENSION CONTROL PLAN A



JOB NO.: 1587-003
DRAWN BY:
SCALE: 1"=20'
DATE: 06/08/23
FILE:
REV./CORR:

SHEET
25
of
40

FILE: J:\WORK\1587-003\SITE DEV PLANS\25-DIMENSION PLAN PROPOSED.DWG - PLOTTED ON: 06/08/23 9:31AM - BY: ATOURGATE

Consort, Inc. Copyright © 2022.
NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS OR STORED IN A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF CONSORT, INC.

ATTENTION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

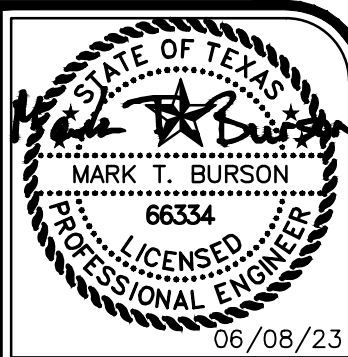
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.



LEGEND

P.R.W.C.T.	PLAT RECORDS WILLIAMSON COUNTY, TEXAS	O.P.R.W.C.T.	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
①	SPACE NUMBER	—	PROPOSED CONCRETE WALK
②	COMPACT PARKING SPACE	—	PROPOSED ASPHALT PAVING
③	ACCESSIBLE PARKING SPACE	—	PROPOSED CONTOUR
BC	TOP OF CURB	—	MORTAR STACK ROCK WALL
BP	BOTTOM OF CURB	—	RETAINING WALL
HP	HIGH POINT	—	4" HT. WOOD FENCE
GRD	GROUND	—	WATER LINE
FL	FLOW LINE	—	WASTE WATER LINE
TG	TOP OF GRATE	—	STORM DRAIN LINE
TW	TOP OF WALL	—	OVERHEAD UTILITIES
PWMT	PAVEMENT	—	DOWN GUY
MH	MANHOLE	—	UNDERGROUND UTILITIES
CO	CLEANOUT	—	GAS LINE
REF. DET.	REFER DETAIL	—	EXISTING TREE TO REMAIN
REF. ARCH.	REFER ARCHITECTURAL PLANS	—	EXISTING TREE TO BE REMOVED
TYP.	TYPICAL	—	SILT FENCE
CONC.	CONCRETE	—	FILTER DIKE
EXIST.	EXISTING	—	TREE PROTECTION FENCE
N80°00'00"E	SURVEY DATA	—	EXIST. SIGN
N80°00'00"E	RECORD DATA	—	EXIST. LIGHT POLE
BM	BENCHMARK	—	DOWNSPOUTS
TBM	TEMPORARY BENCHMARK	—	HAND RAILS
IRON ROD FOUND	SURVEY MONUMENT	—	TRAFFIC GUARD RAIL
IRON ROD SET	IRON ROD FOUND	—	FIRE LINE DESIGNATION
COTTON GIN BOLT	COTTON GIN BOLT	—	ACCESSIBLE ROUTE
—	PROPERTY LINE	—	UNDERGROUND ELECTRIC
—	LIMITS OF CONSTRUCTION	—	
100.00	EXISTING SPOT ELEVATION	—	
100.00	PROPOSED SPOT ELEVATION	—	
—	EXISTING CONTOUR	—	
BOP	BOTTOM OF POND	—	

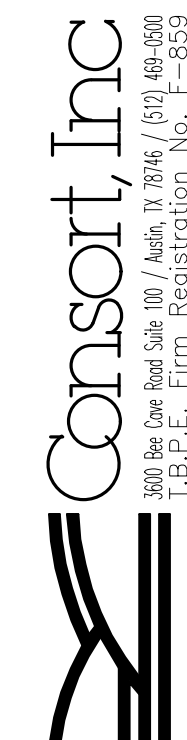
SDP2212-0003



HIGHTER VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681

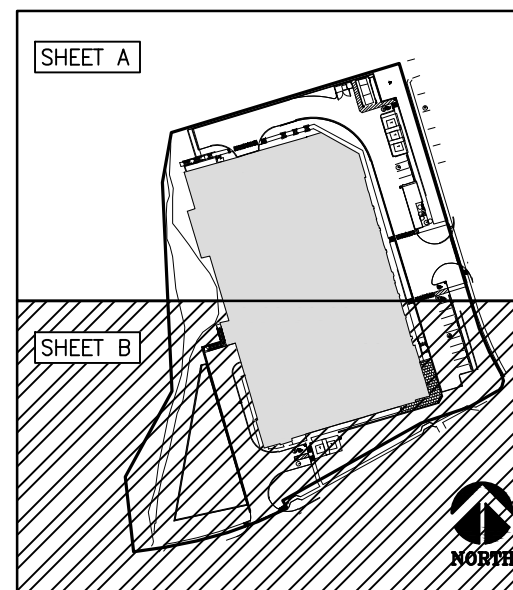
DIMENSION CONTROL PLAN B



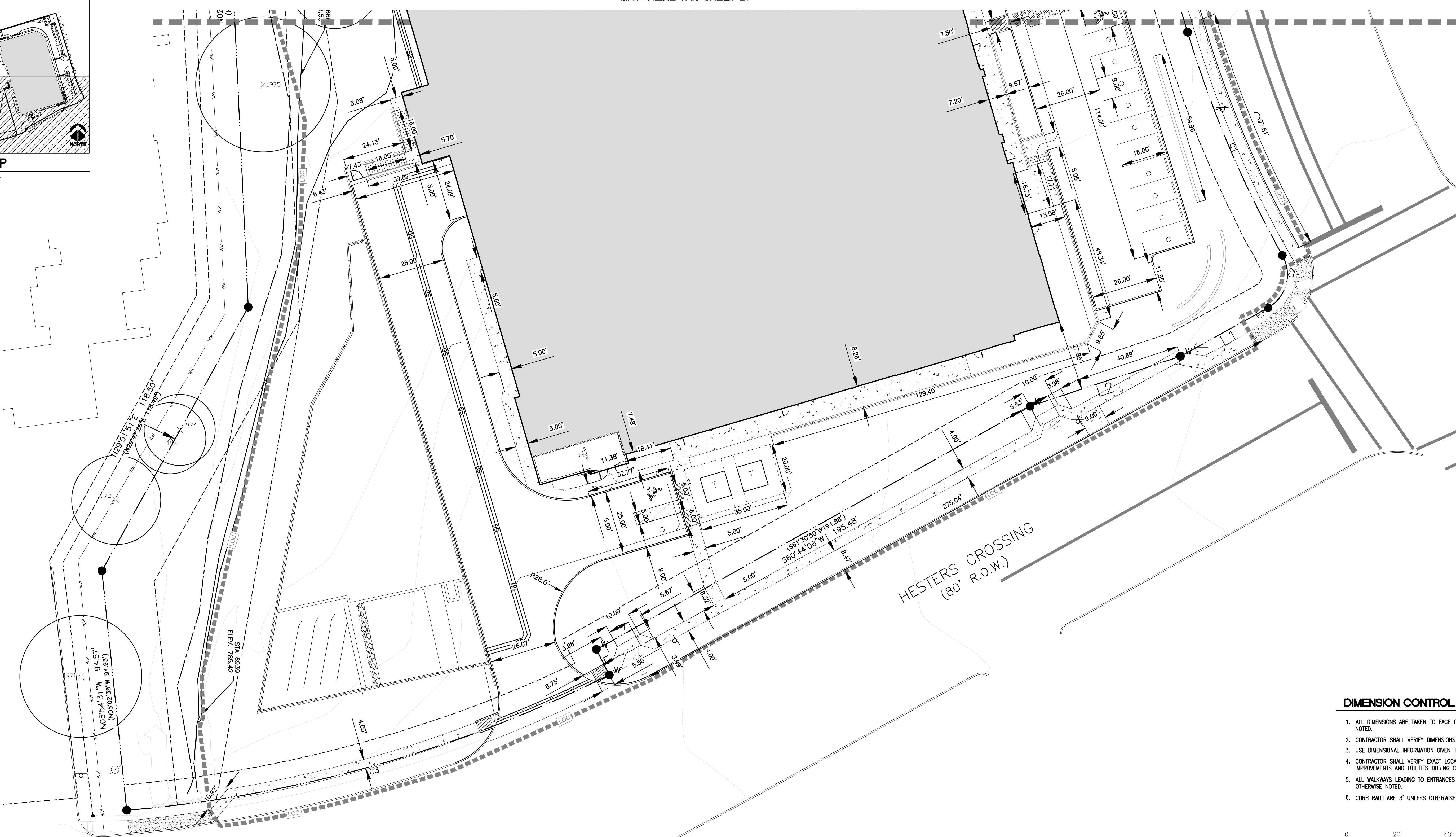
JOB NO.: 1587-003
DRAWN BY:
SCALE: 1"=20'
DATE: 06/08/23
FILE:
REV./CORR:

SHEET
26
of
40

MATCHLINE THIS SHEET 25



KEY MAP
SCALE: N.T.S.



DIMENSION CONTROL NOTES

1. ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
3. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
4. CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND PROTECT ALL EXISTING SITE IMPROVEMENTS AND UTILITIES DURING CONSTRUCTION OPERATIONS.
5. ALL WALKWAYS LEADING TO ENTRANCES ARE TO BE CENTERED ON DOORWAYS UNLESS OTHERWISE NOTED.
6. CURB RADI ARE 3' UNLESS OTHERWISE NOTED.



LEGEND

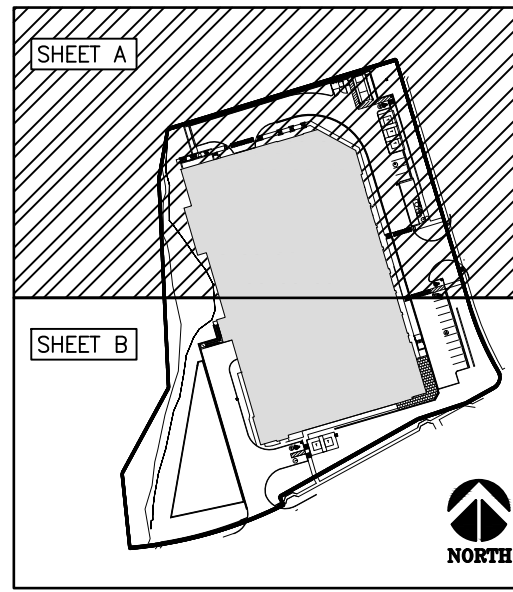
P.R.W.C.T.	PLAT RECORDS WILLIAMSON COUNTY, TEXAS	O.P.R.W.C.T.	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
①	SPACE NUMBER	—	PROPOSED CONCRETE WALK
②	COMPACT PARKING SPACE	—	PROPOSED CONCRETE PAVING
③	ACCESSIBLE PARKING SPACE	—	PROPOSED ASPHALT PAVING
TC	TOP OF CURB	—	PROPOSED CONTOUR
BC	BOTTOM OF CURB	—	MORTAR STACK ROCK WALL
HP	HIGH POINT	—	RETAINING WALL
GRD	GROUND	—	4" HT. WOOD FENCE
FL	FLOW LINE	—	WATER LINE
TG	TOP OF GRATE	—	WASTE WATER LINE
TW	TOP OF WALL	—	STORM DRAIN LINE
PWMT	PAVEMENT	—	OVERHEAD UTILITIES
MH	MANHOLE	—	DOWN GUY
CO	CLEANOUT	—	UNDERGROUND UTILITIES
REF. DET.	REFER DETAIL	—	GAS LINE
REF. ARCH.	REFER ARCHITECTURAL PLANS	—	EXISTING TREE TO REMAIN
TYP.	TYPICAL	—	EXISTING TREE TO BE REMOVED
CONC.	CONCRETE	—	SILT FENCE
EXIST.	EXISTING	—	FILTER DIKE
NS00'00"00"E	SURVEY DATA RECORD DATA	—	TREE PROTECTION FENCE
BM	BENCHMARK	—	EXIST. SIGN
TBM	TEMPORARY BENCHMARK	—	EXIST. LIGHT POLE
IRON ROD FOUND	SURVEY MONUMENT	—	DOWNSPOUTS
IRON ROD SET	IRON ROD FOUND	—	HAND RAILS
COTON GN BOLT	COTON GN BOLT	—	TRAFFIC GUARD RAIL
—	PROPERTY LINE	—	FIRE LANE DESIGNATION
—	LIMITS OF CONSTRUCTION	—	ACCESSIBLE ROUTE
100.00	EXISTING SPOT ELEVATION	—	UNDERGROUND ELECTRIC
100.00	PROPOSED SPOT ELEVATION	—	
—	EXISTING CONTOUR	—	
—	BOP	—	

ATTENTION

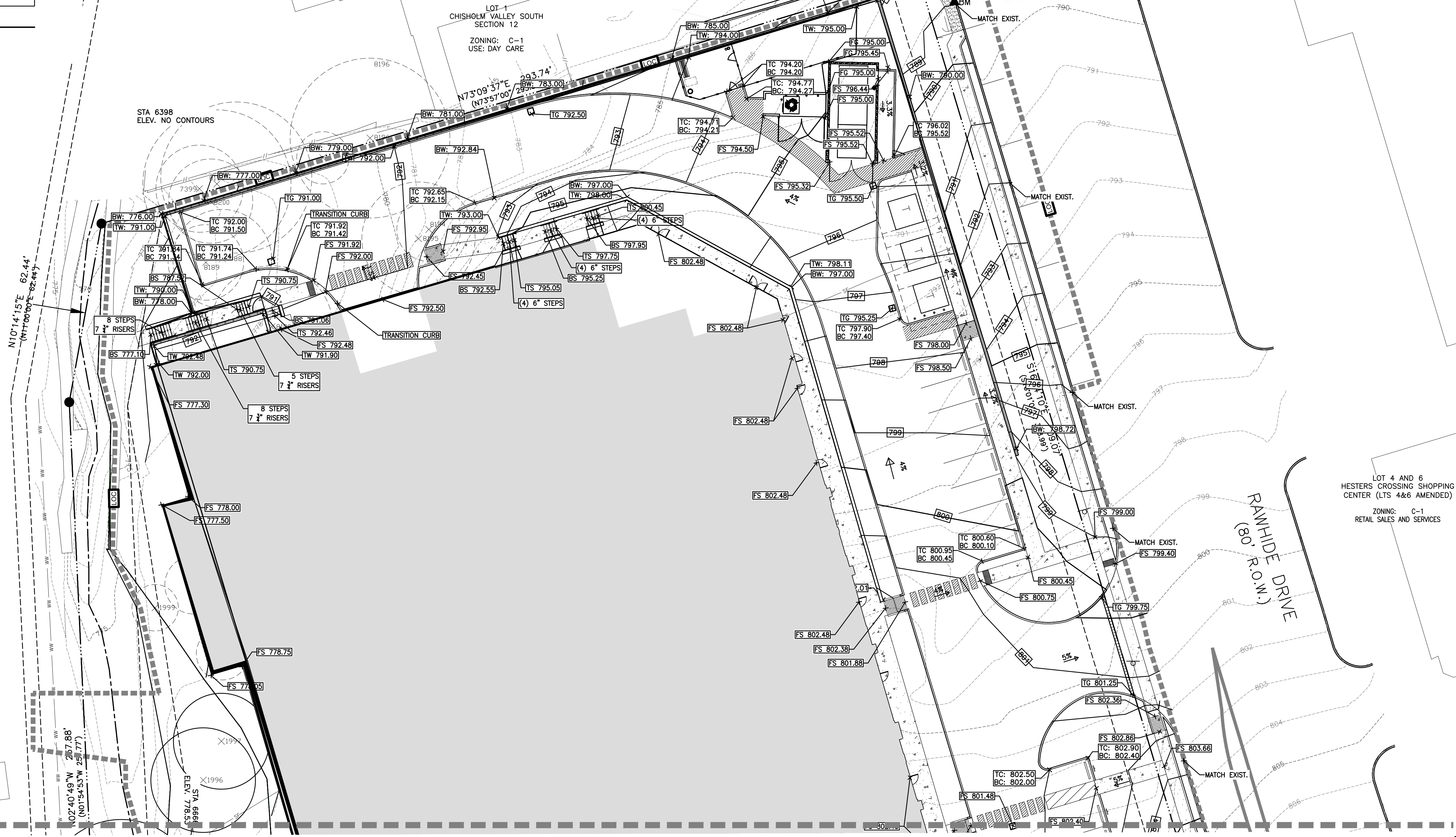
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.



KEY MAP
SCALE: N.T.S.



MATCHLINE THIS SHEET 28



LEGEND

P.R.W.C.T.	PLAT RECORDS WILLIAMSON COUNTY, TEXAS	O.P.R.W.C.T.	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
①	SPACE NUMBER	—/—	PROPOSED CONCRETE WALK
②	COMPACT PARKING SPACE	—/—	PROPOSED CONCRETE PAVING
③	ACCESSIBLE PARKING SPACE	—/—	PROPOSED ASPHALT PAVING
TC	TOP OF CURB	—/—	PROPOSED CONTOUR
BC	BOTTOM OF CURB	—/—	MORTAR STACK ROCK WALL
HP	HIGH POINT	—/—	RETAINING WALL
GRD	GROUND	—/—	4" HT. WOOD FENCE
FL	FLOW LINE	—/—	WATER LINE
TG	TOP OF GRATE	—/—	WASTE WATER LINE
TW	TOP OF WALL	—/—	STORM DRAIN LINE
PAVT	PAVEMENT	—/—	OVERHEAD UTILITIES
MH	MANHOLE	—/—	DOWN GUY
CO	CLEANOUT	—/—	UNDERGROUND UTILITIES
REF. DET.	REFER DETAIL	—/—	GAS LINE
REF. ARCH.	REFER ARCHITECTURAL PLANS	—/—	EXISTING TREE TO REMAIN
TYP.	TYPICAL	—/—	EXISTING TREE TO BE REMOVED
CONC.	CONCRETE	—/—	SILT FENCE
EXIST.	EXISTING	—/—	FILTER DIKE
N87°00'00"E (N87°00'00"E)	SURVEY DATA RECORD DATA	—/—	TREE PROTECTION FENCE
BM	BENCHMARK	—/—	EXIST. SIGN
TBM	TEMPORARY BENCHMARK	—/—	EXIST. LIGHT POLE
IRON ROD FOUND	SURVEY MONUMENT	—/—	DOWNPOUTS
IRON ROD SET	IRON ROD FOUND	—/—	HAND RAILS
COTTON GN BOLT	COTTON GN BOLT	—/—	TRAFFIC GUARD RAIL
—/—	PROPERTY LINE	—/—	FIRE LANE DESIGNATION
—/—	LIMITS OF CONSTRUCTION	—/—	ACCESSIBLE ROUTE
100.00	EXISTING SPOT ELEVATION	—/—	UNDERGROUND ELECTRIC
100.00	PROPOSED SPOT ELEVATION	—/—	
100	EXISTING CONTOUR	—/—	
BOP	BOTTOM OF POND	—/—	

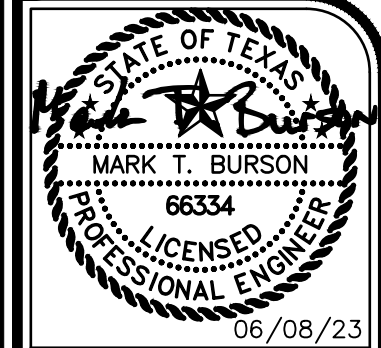
ATTENTION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

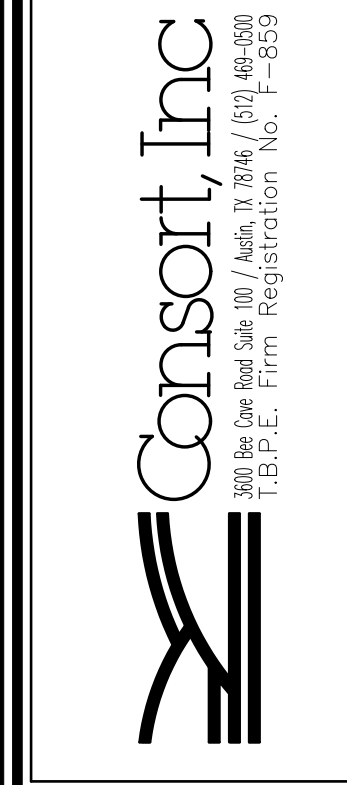
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

FILE: J:\WORK\1587-003\SITE DEV PLANS\25- DIMENSION PLAN PROPOSED.DWG - PLOTTED ON: 06/08/23 10:00AM - BY: NATE ALVARADO



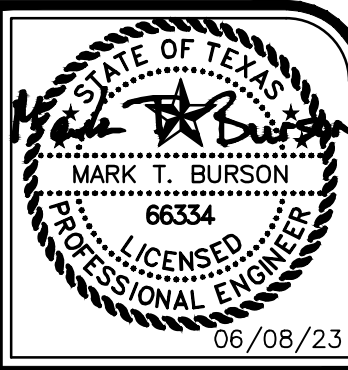
HIGH RISTLER VENTURES, LLC
 155 SCHMITT BLVD
 FARMINGDALE, NY, 11735

HESTERS 4 APARTMENTS
 2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681



JOB NO.: 1587-003
 DRAWN BY:
 SCALE: 1"=20'
 DATE: 06/08/23
 FILE:
 REV./CORR:

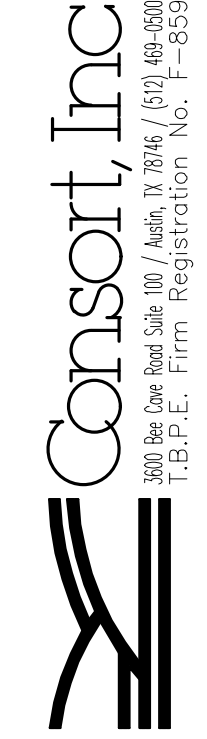
SHEET
27
of
40



HIGHTER VENTURES, LLC
155 SCHMITT BLVD
FARMINGDALE, NY, 11735

HESTERS 4 APARTMENTS
2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681

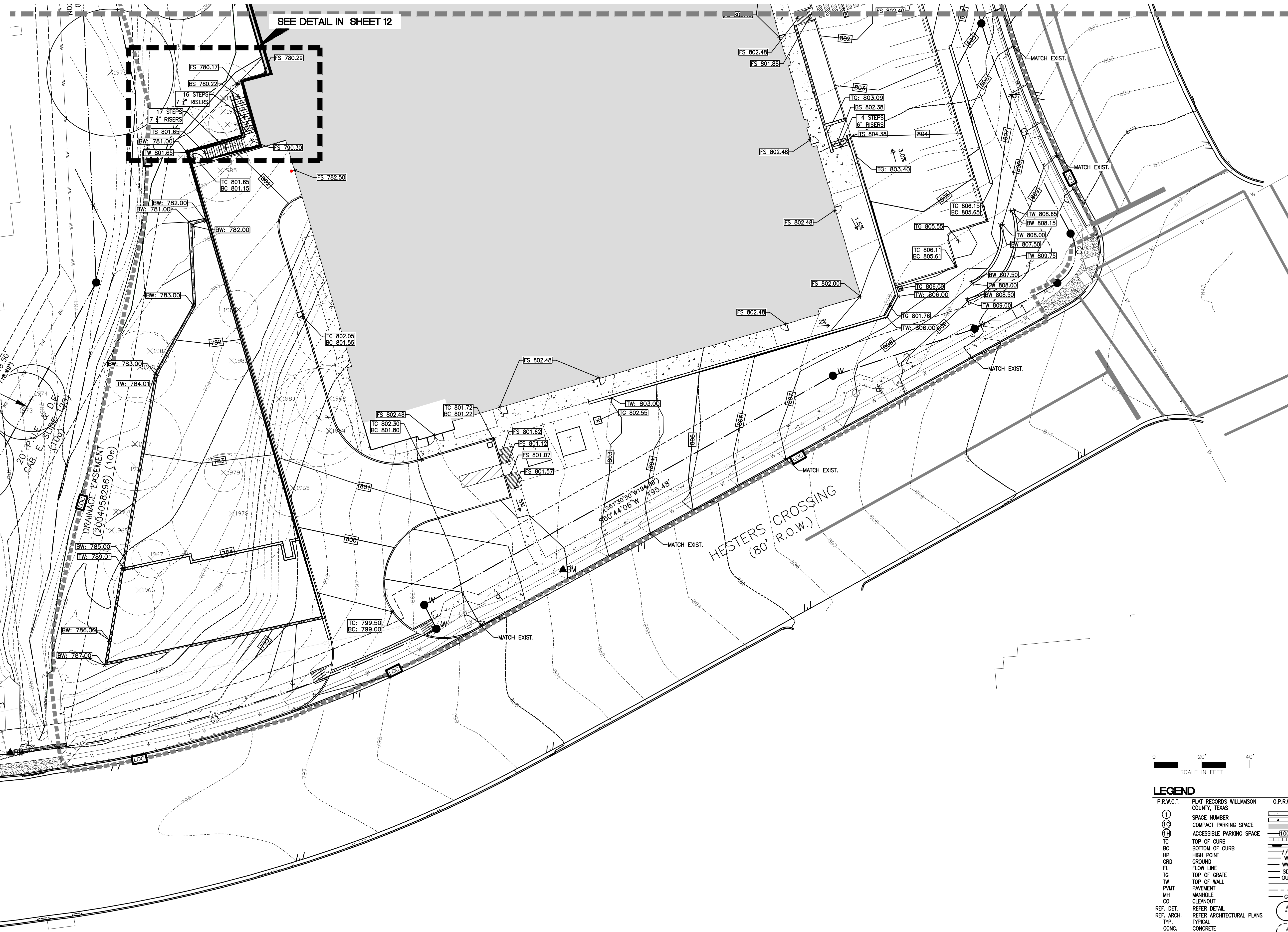
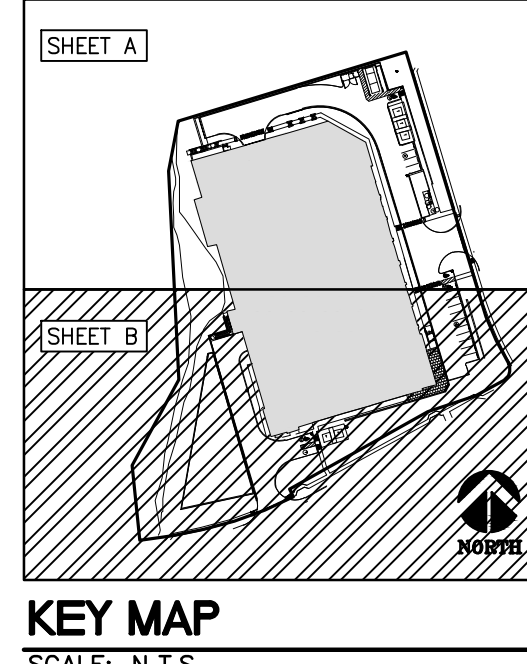
GRADING PLAN B



JOB NO.: 1587-003
DRAWN BY:
SCALE: 06/08/23
DATE: 06/08/23
FILE:
REV./CORR:

SHEET
28
of
40

MATCHLINE THIS SHEET 27



LEGEND

①	P.R.W.C.T. PLAT RECORDS WILLIAMSON COUNTY, TEXAS	①	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
②	SPACE NUMBER	②	PROPOSED CONCRETE WALK
③	COMPACT PARKING SPACE	③	PROPOSED CONCRETE PAVING
④	ACCESSIBLE PARKING SPACE	④	PROPOSED ASPHALT PAVING
TC	TOP OF CURB	⑤	PROPOSED CONTOUR
BC	BOTTOM OF CURB	⑥	MORTAR STACK ROCK WALL
HP	HIGH POINT	⑦	RETAINING WALL
GRD	GROUND	⑧	4" HT. WOOD FENCE
FL	FLOW LINE	⑨	WATER LINE
TG	TOP OF GRATE	⑩	WASTE WATER LINE
TW	TOP OF WALL	⑪	STORM DRAIN LINE
PWMT	PANCREMENT	⑫	OVERHEAD UTILITIES
MH	MANHOLE	⑬	DOWN GUY
CO	CLEANOUT	⑭	UNDERGROUND UTILITIES
REF. DET.	REFER DETAIL	⑮	GAS LINE
REF. ARCH.	REFER ARCHITECTURAL PLANS	⑯	EXISTING TREE TO REMAIN
TYP.	TYPICAL	⑰	EXISTING TREE TO BE REMOVED
CONC.	CONCRETE	⑱	SILT FENCE
EXIST.	EXISTING	⑲	TREE PROTECTION FENCE
N80°00'00"E	SURVEY DATA	⑳	EXIST. SIGN
N90°00'00"E	RECORD DATA	㉑	EXIST. LIGHT POLE
BM	BENCHMARK	㉒	DOWNPOUTS
TBM	TEMPORARY BENCHMARK	㉓	HAND RAILS
IRON ROD FOUND	SURVEY MONUMENT	㉔	TRAFFIC GUARD RAIL
IRON ROD SET	IRON ROD FOUND	㉕	FIRE LINE DESIGNATION
COTTON GUN BOLT	COTTON GUN BOLT	㉖	ACCESSIBLE ROUTE
PROPERTY LINE	PROPERTY LINE	㉗	UNDERGROUND ELECTRIC
LIMITS OF CONSTRUCTION	LIMITS OF CONSTRUCTION		
100.00	EXISTING SPOT ELEVATION		
100.00	PROPOSED SPOT ELEVATION		
100.00	EXISTING CONTOUR		
100.00	BOP		

ATTENTION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

FILE: J:\WORK\1587-003\SITE DEV PLANS\27- GRADING PLAN.DWG - PLOTTED ON: 06/08/23 9:57AM - BY: NATE ALVARADO

Consort, Inc. Copyright © 2022. NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS OR STORED IN A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF CONSORT, INC.

SDP2212-0003

FILE: J:\WORK\1587-003\SITE DEV PLANS\29- EXISTING DRAINAGE DETAILS PLANDWG - PLOTTED ON: 06/12/23 11:38AM - BY: NATE ALVARADO

Basin	Sheet	Shallow			Channel			Total	Total*0.6			
		Length	Slope	n	Length	Velocity	Tc					
X1	100	0.05	0.13	5.41	271	0.1	0.89	130	3	0.72	7.02	4.21
X2	100	0.05	0.13	5.41	366	0.075	1.38	70	3	0.39	7.18	4.31
X3	100	0.04	0.13	5.92	333	0.081	1.21	0	3	0.00	7.12	4.27
X4	100	0.06	0.13	5.03	321	0.069	1.26	102	3	0.57	7.38	4.43

TIME OF CONCENTRATION CALCULATIONS

Basin	Area (acres)	Tc (min.)	Impervious Cover (%)	Curve Number	Q2 (CFS)	Q10 (CFS)	Q25 (CFS)	Q100 (CFS)
X1	1.65	4.21	0%	80	5.2	9.7	12.9	18.4
X2	0.86	4.31	0%	80	2.7	5	6.7	9.5
X3	0.56	4.27	0%	80	1.7	3.3	4.4	6.2
X4	1.76	4.43	28%	80	6.4	11.1	14.4	20

EXISTING DRAINAGE BASINS

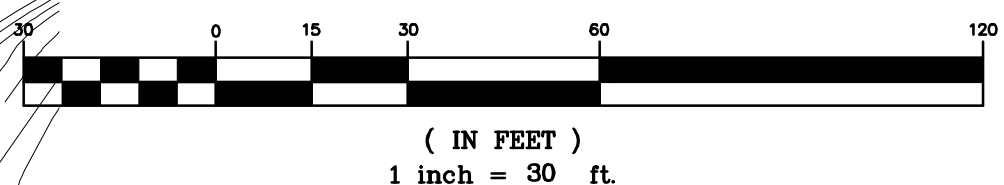
COMMON ANALYSIS POINT FOR X1, X2, X3, & X4
 EXISTING FLOW
 100-YR = 54.1
 25-YR = 38.4
 10-YR = 29.2
 2-YR = 16.0



DRAINAGE LEGEND

- BASIN BOUNDARY
- DIRECTION OF FLOW
- SUB AREA
- TIME OF CONCENTRATION PATH
- IMPERVIOUS COVER HATCH

GRAPHIC SCALE



LEGEND

- | | |
|---|---|
| <ul style="list-style-type: none"> ① PLAT RECORDS WILLIAMSON COUNTY, TEXAS ② SPACE NUMBER ③ COMPACT PARKING SPACE ④ ACCESSIBLE PARKING SPACE BC TOP OF CURB BTM BOTTOM OF CURB HP HIGH POINT GRD GROUND FL FLOW LINE FG TOP OF GRATE TW TOP OF WALL PWMT PAVEMENT MH MANHOLE CO CLEANOUT REF. DET. REFER DETAIL REF. ARCH. REFER ARCHITECTURAL PLANS TYP. TYPICAL CONC. CONCRETE EXIST. EXISTING NS(0'00"00"E) SURVEY DATA NS(90'00"00"E) RECORD DATA BM BENCHMARK TBM TEMPORARY BENCHMARK IRON ROD FOUND SURVEY MONUMENT IRON ROD SET COTTON GIN BOLT PROPERTY LINE LIMITS OF CONSTRUCTION EXISTING SPOT ELEVATION PROPOSED SPOT ELEVATION EXISTING CONTOUR BOP BOTTOM OF POND | <ul style="list-style-type: none"> OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS PROPOSED CONCRETE WALK PROPOSED CONCRETE PAVING PROPOSED ASPHALT PAVING PROPOSED CONTOUR MORTAR STACK ROCK WALL RETAINING WALL 4" HT. WOOD FENCE W WATER LINE WW WASTE WATER LINE SD STORM DRAIN LINE OU OVERHEAD UTILITIES DOWN GUY UNDERGROUND UTILITIES GAS LINE EXISTING TREE TO REMAIN EXISTING TREE TO BE REMOVED SILT FENCE DIKE TREE PROTECTION FENCE EXIST. SIGN EXIST. LIGHT POLE DOWNPOUTS HAND RAILS TRAFFIC GUARD RAIL FIRE LANE DESIGNATION ACCESSIBLE ROUTE UNDERGROUND ELECTRIC |
|---|---|

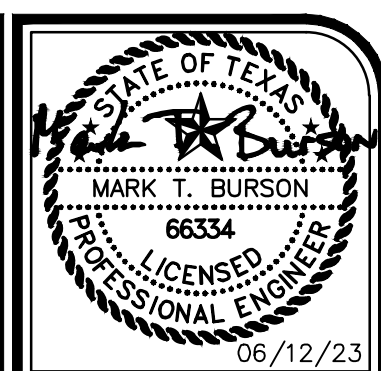
ATTENTION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

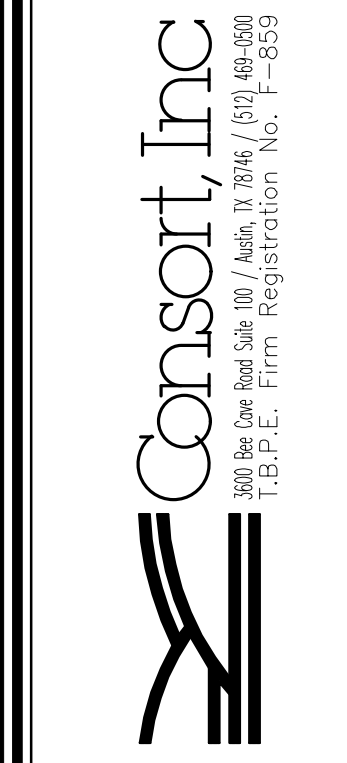
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

Consort, Inc. Copyright © 2022.
 NO PART OF THIS SITE PLAN MAY BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS, OR STORED IN A DATA BASE OR RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF CONSORT, INC.



HIGH RISTLER VENTURES, LLC
 155 SCHMITT BLVD
 FARMINGDALE, NY, 11735

HESTERS 4 APARTMENTS
 2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681
 EXISTING DRAINAGE PLAN



JOB NO.: 1587-003
 DRAWN BY:
 SCALE: 1"=30'
 DATE: 06/12/23
 FILE:
 REV./CORR:

SHEET
 29
 of
 40

Basin	Area (acres)	Tc (min.)	Impervious Cover (%)	Curve Number	Q2 (CFS)	Q10 (CFS)	Q25 (CFS)	Q100 (CFS)
P1	0.58	3.00	75%	80	2.8	4.4	5.6	7.5
P2	0.43	3.00	62%	80	2	3.2	4	5.4
P3	1.71	3.00	100%	80	9.4	14	17.2	22.8
P4	0.47	3.00	53%	80	2.1	3.5	4.4	6
P5	0.66	3.00	0%	80	2.2	4.1	5.5	7.9
P6	0.87	3.00	56%	80	4	6.4	8.1	11.1

PROPOSED DRAINAGE BASINS

Year Storm	Proposed Discharge (CFS)	Existing Discharge (CFS)
2	15.3	16
10	27.4	29.2
25	37	38.4
100	53	54.1

HEC-HMS RESULTS EXISTING VS. PROPOSED DISCHARGE AT COMMON POINT OF ANALYSIS

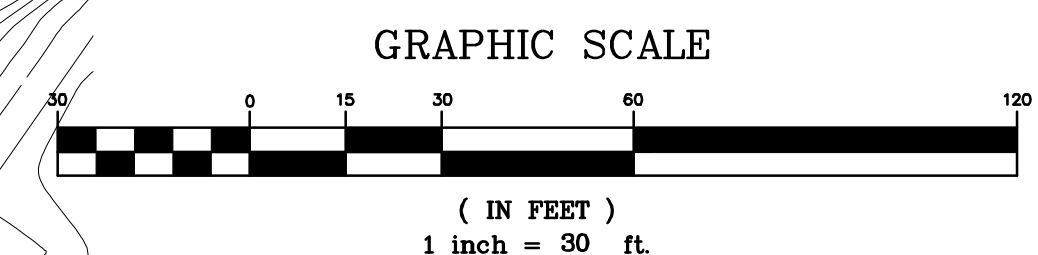
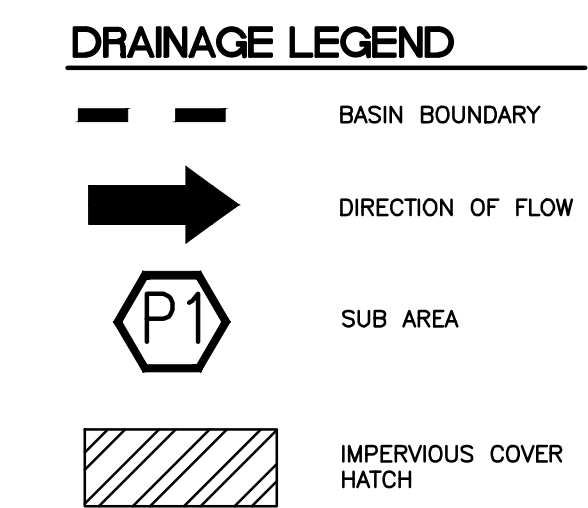
Table 4: NOAA Atlas 14 Lake Creek Watershed

Duration	Depth of Precipitation			
	2-yr.	10-yr.	25-yr.	100-yr.
5-min.	0.519	0.774	0.952	1.26
15-min.	1.04	1.55	1.9	2.5
30-min.	1.92	2.86	3.52	4.66
1-hr.	2.35	3.66	4.61	6.33
2-hr.	2.61	4.16	5.31	7.48
3-hr.	3.05	4.99	6.46	9.26
6-hr.	3.51	5.75	7.44	10.7
12-hr.	4.01	6.51	8.39	11.9
24-hr.				

ATLAS 14 DDF VALUES

P1, P2, P3 & P4 Existing Conditions		Developed P1, P2, P3 & P4 with Detention Pond	
Year Storm	Discharge	Year Storm	Discharge
2-yr.	10.5	2-yr.	10.3
10-yr.	20	10-yr.	19
25-yr.	26.7	25-yr.	25.2
100-yr.	38.1	100-yr.	35.4

HEC-HMS RESULTS PRE AND POST DEVELOPMENT



LEGEND

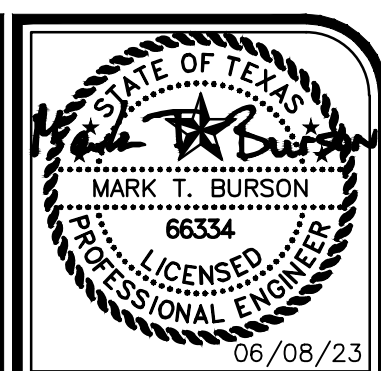
P.R.W.C.T.	PLAT RECORDS WILLIAMSON COUNTY, TEXAS	O.P.R.W.C.T.	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
①	SPACE NUMBER	▬	PROPOSED CONCRETE WALK
②	COMPACT PARKING SPACE	▬	PROPOSED ASPHALT PAVING
③	ACCESSIBLE PARKING SPACE	▬	PROPOSED CONTOUR
TC	TOP OF CURB	▬	MORTAR STACK ROCK WALL
BC	BOTTOM OF CURB	▬	RETAINING WALL
HP	HIGH POINT	W	WATER LINE
GRD	GROUND	WW	WASTE WATER LINE
FL	FLOW LINE	SD	STORM DRAIN LINE
TG	TOP OF GRATE	OU	OVERHEAD UTILITIES
TW	TOP OF WALL	OU	DOWN GUY
PWMT	PAVEMENT	—	UNDERGROUND UTILITIES
MH	MANHOLE	—	CLEANLINE
CO	CLEANLINE	—	GAS LINE
REF. DET.	REFER DETAIL	○	EXISTING TREE TO REMAIN
REF. ARCH.	REFER ARCHITECTURAL PLANS	○	EXISTING TREE TO BE REMOVED
TYP.	TYPICAL	—	SILT FENCE
CONC.	CONCRETE	—	FILTER DIKE
EXIST.	EXISTING	—	TREE PROTECTION FENCE
NSR(00'00"E)	SURVEY DATA RECORD DATA	—	EXIST. SIGN
BM	BENCHMARK	—	EXIST. LIGHT POLE
TBM	TEMPORARY BENCHMARK	—	DOWNPOUTS
IRON ROD FOUND	SURVEY MONUMENT	—	HAND RAILS
IRON ROD SET	IRON ROD FOUND	—	TRAFFIC GUARD RAIL
COTTON GIN BOLT	PROPERTY LINE	—	FIRE LANE DESIGNATION
—	LIMITS OF CONSTRUCTION	—	UNDERGROUND ELECTRIC
—	EXISTING SPOT ELEVATION	—	
—	PROPOSED SPOT ELEVATION	—	
—	EXISTING CONTOUR	—	
—	BOTTOM OF POND	—	

ATTENTION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

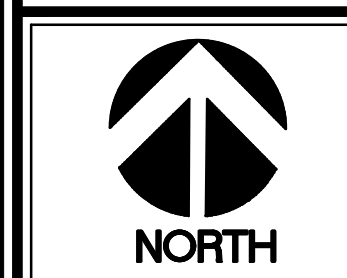
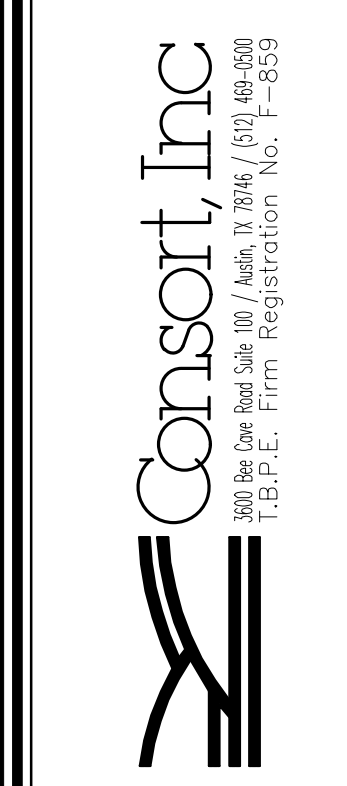
ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.



HIGH RISE/LEB VENTURES, LLC
 155 SCHMITT BLVD
 FARMINGDALE, NY, 11735

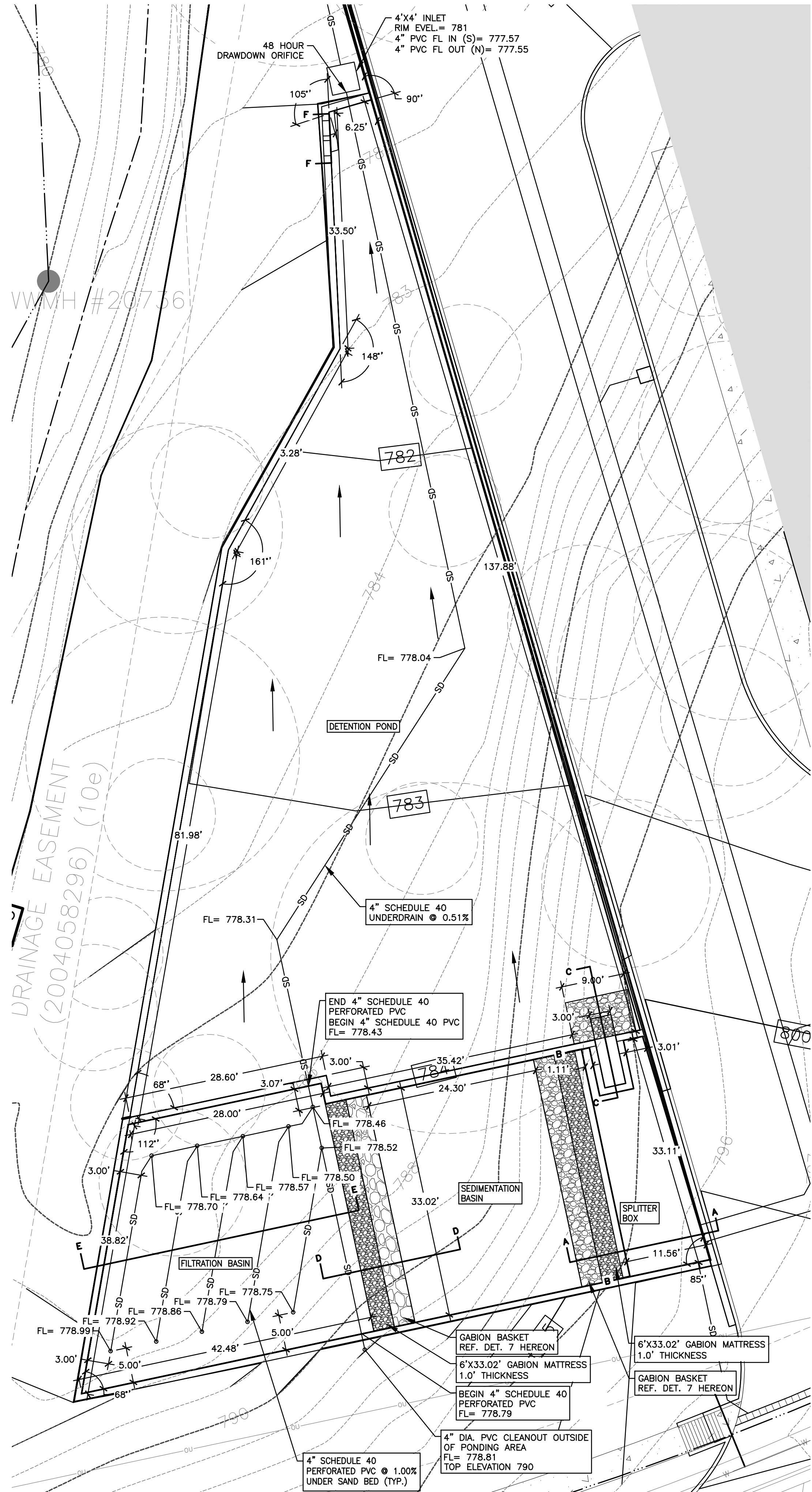
HESTERS 4 APARTMENTS
 2240 RAWHIDE DRIVE, ROUND ROCK, TX 78681
PROPOSED DRAINAGE PLAN



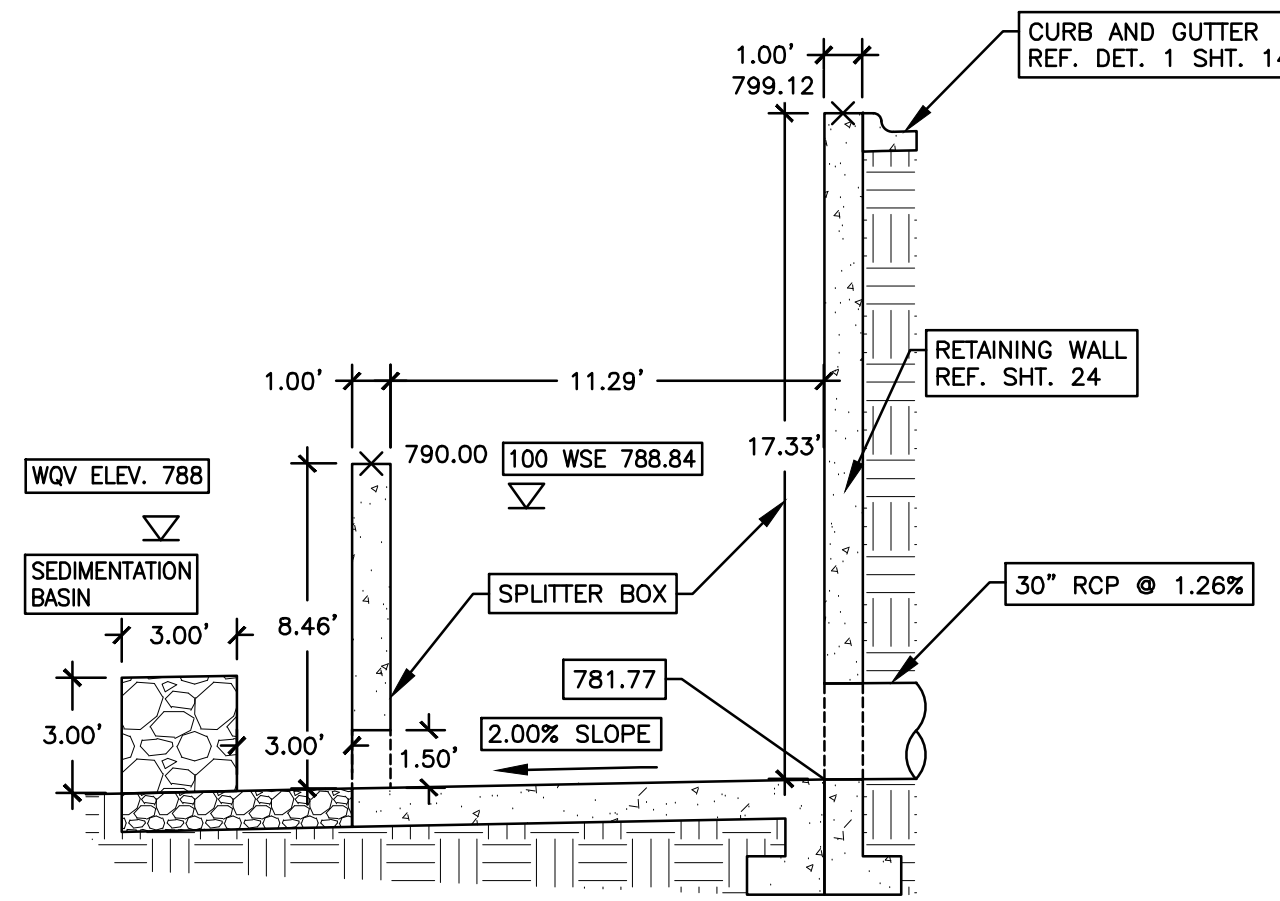
JOB NO.: 1587-003
 DRAWN BY:
 SCALE: 06/08/23
 DATE:
 FILE:
 REF./CORR:

SHEET 30 of 40

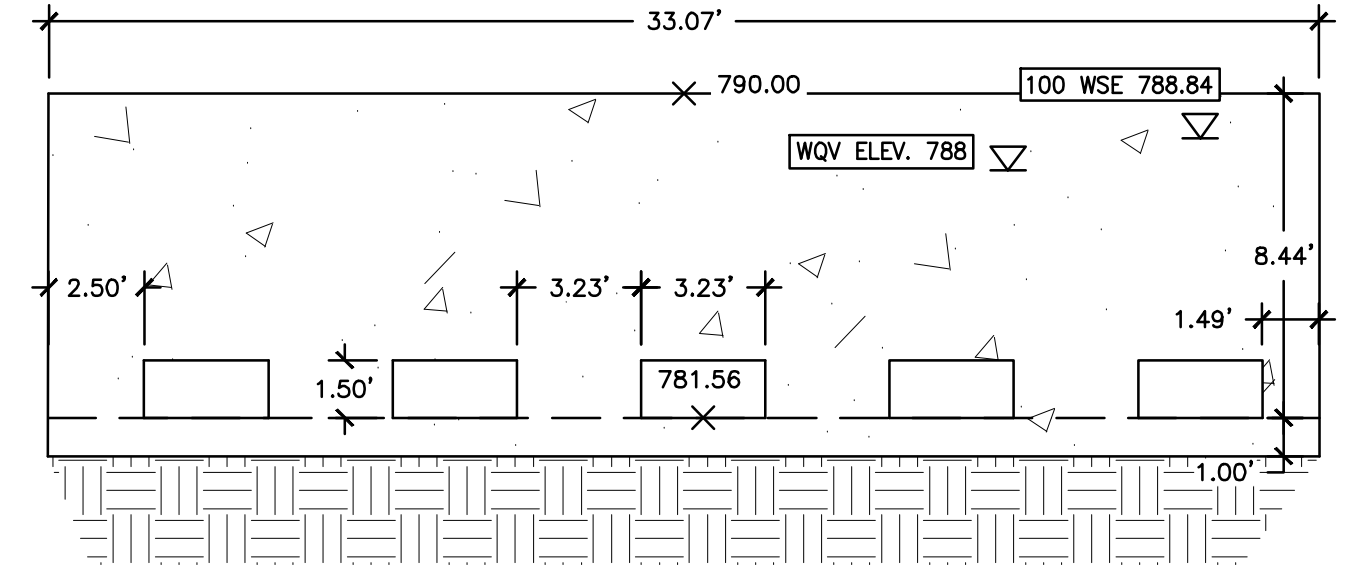
FILE: J:\WORK\1587-003\SITE DEV PLANS\30-31-PROPOSED DRAINAGE PLAN.DWG - PLOTTED ON: 06/08/23 9:40AM - BY: NATE ALVARADO



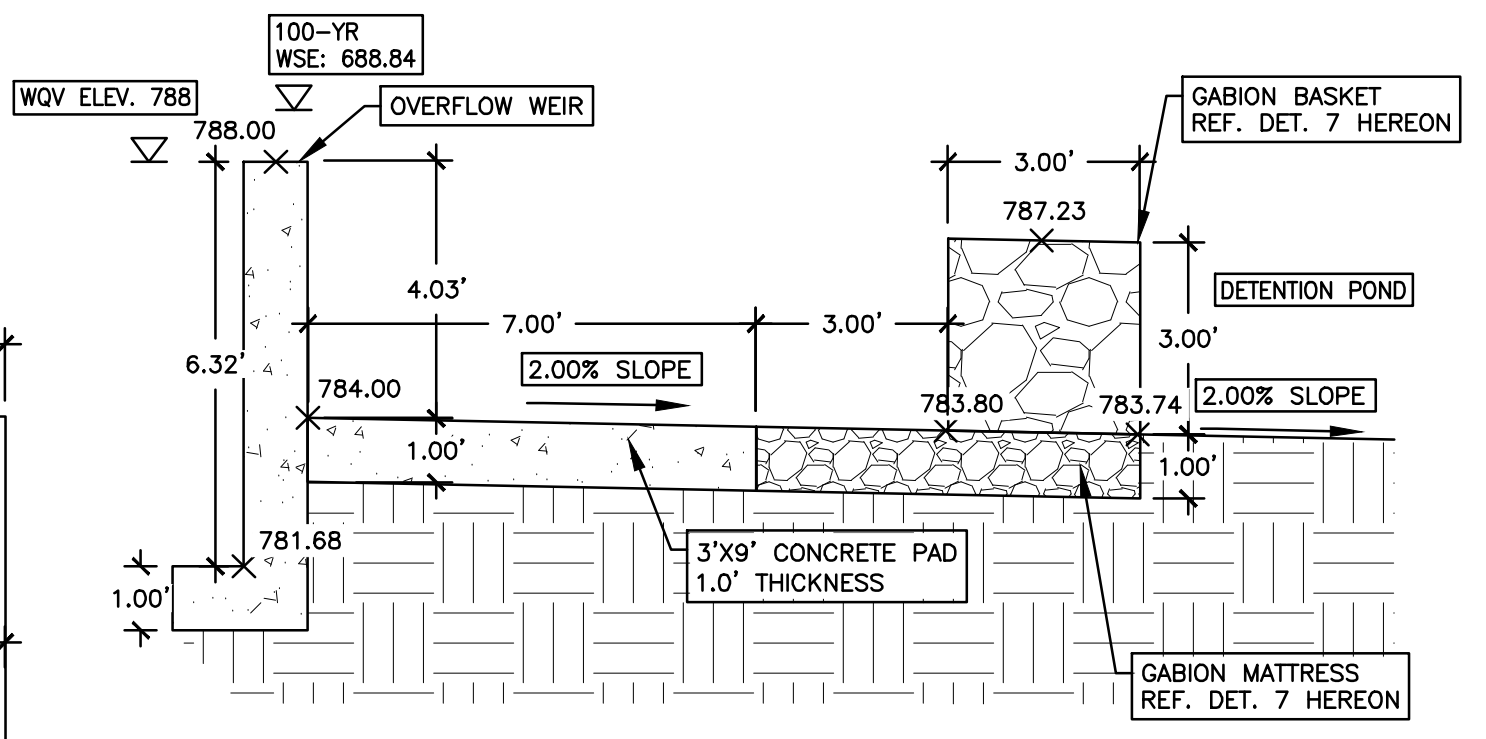
1 SPLITTER BOX AND ENERGY DISSIPATER CROSS SECTION A-A SCALE = 1":5'



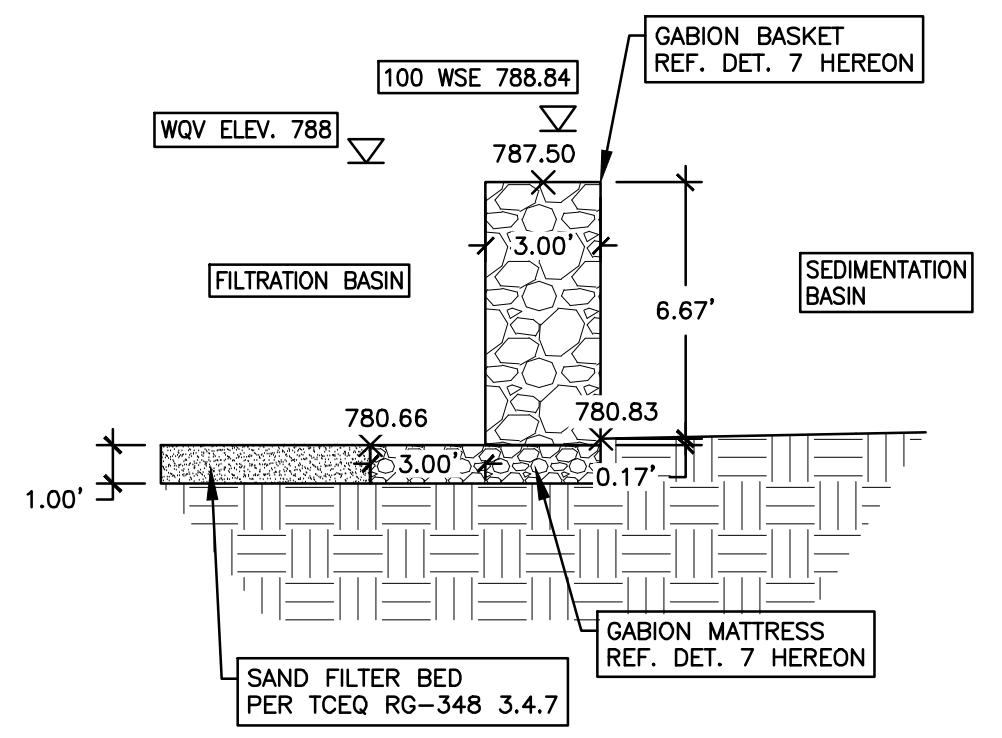
2 SEDIMENTATION POND FLOW SPREADER CROSS SECTION B-B SCALE = 1":5'



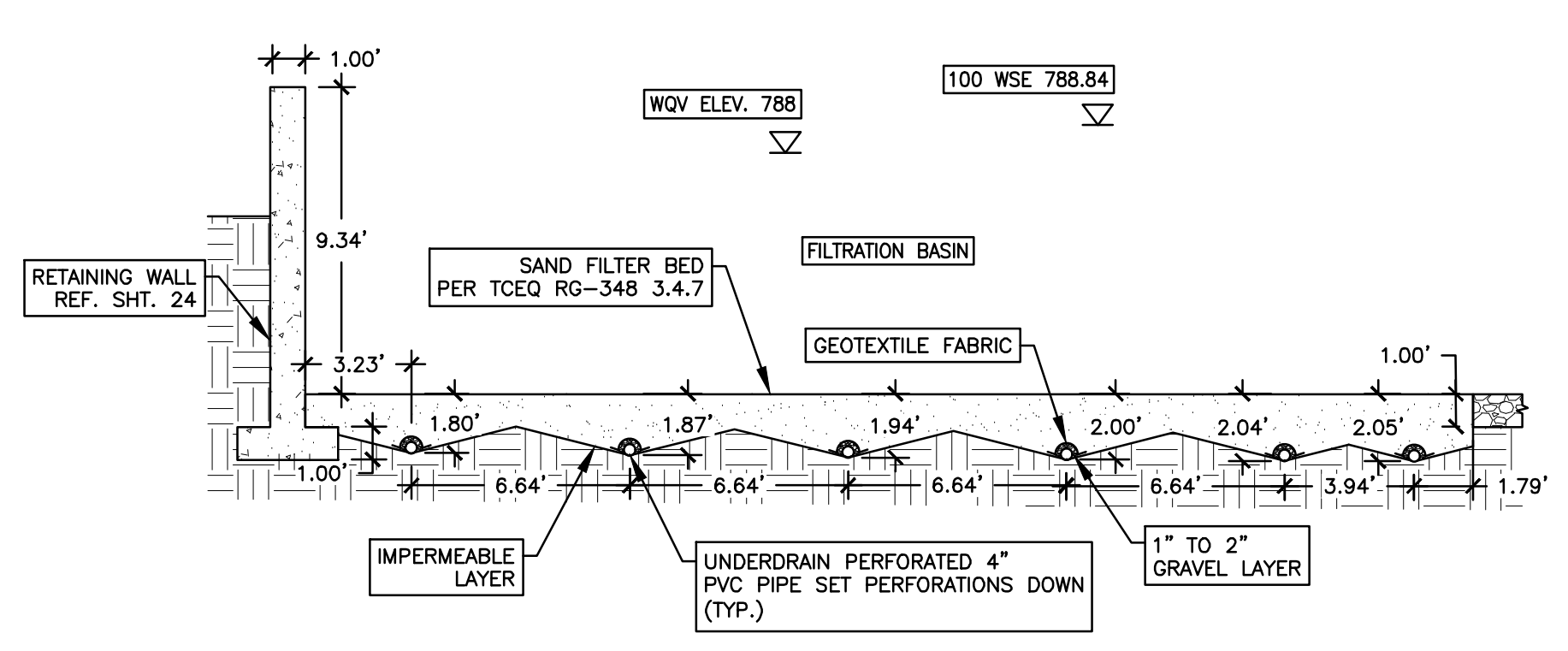
3 SPLITTER BOX OUTLET STRUCTURE CROSS SECTION C-C SCALE = 1":3'



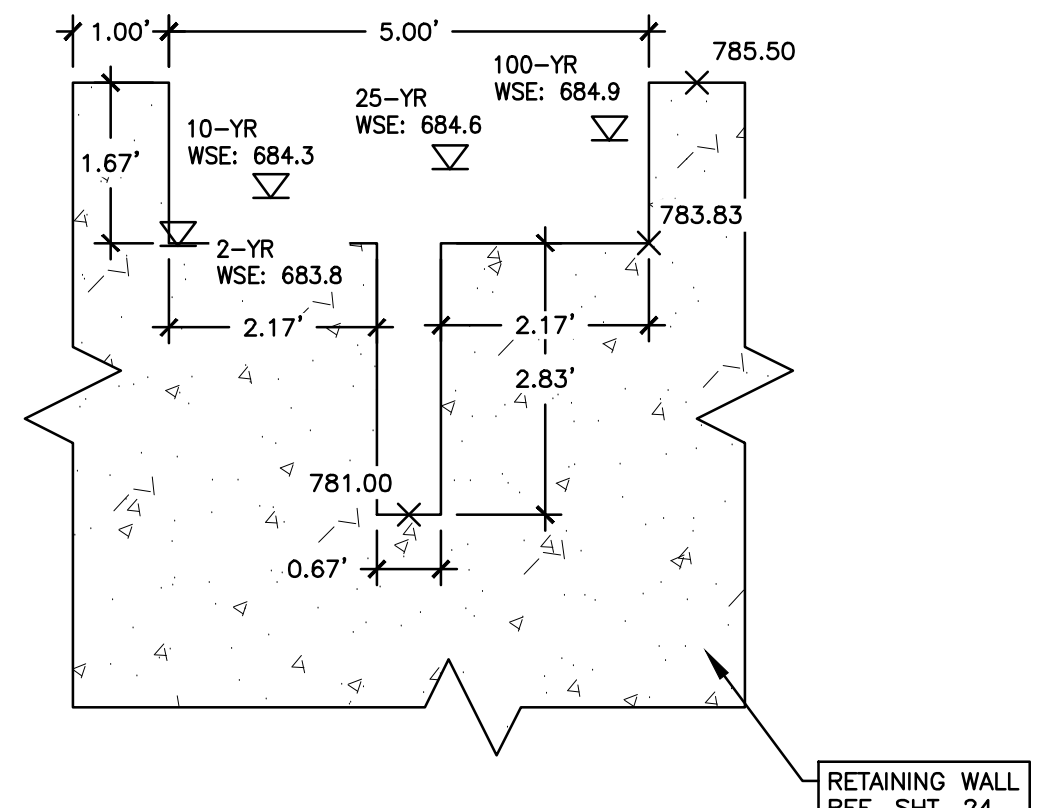
4 SEDIMENTATION TO FILTRATION BASIN CROSS SECTION D-D SCALE = 1":3'



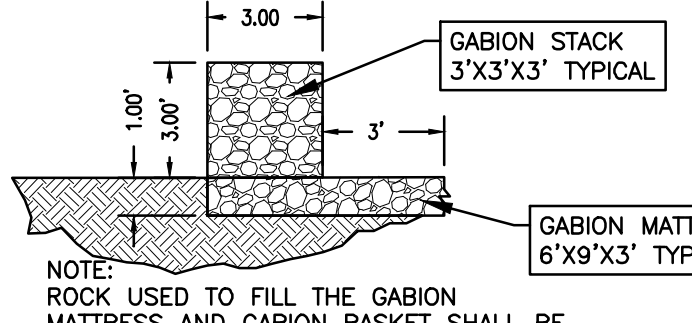
5 FILTRATION BASIN AND UNDERDRAIN CROSS SECTION E-E SCALE = 1":5'



6 DETENTION POND OUTLET STRUCTURE CROSS SECTION F-F SCALE = 1":2'



7 GABION WALL TYPICAL SECTION NTS



YEAR STORM	EXISTING RUNOFF Q (CFS)	PROPOSED RUNOFF Q (CFS)	ELEVATION OF POND
2	10.7	10.4	783.8
10	20.4	19.3	784.3
25	27.1	25.6	784.6
100	38.7	35.9	784.9

ELEVATION (FT)	AREA (ACRE)
781	0
782	0.01441
783	0.06183
784	0.12
785	0.12
786	0.12
787	0.12

ATTENTION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AGENCIES AND/OR OWNERS TO VERIFY THIS INFORMATION. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG TESS) AT (800/344-8377) AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY SUBSURFACE WORK OR ANY OTHER WORK THAT WOULD AFFECT UTILITIES.

ALL CONSTRUCTION MATERIALS AND TECHNIQUES SHALL CONFORM TO CURRENT CITY OF ROUND ROCK STANDARD SPECIFICATIONS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROUND ROCK MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

LEGEND

- | | | | |
|------------|---------------------------------------|--------------|--|
| P.R.W.C.T. | PLAT RECORDS WILLIAMSON COUNTY, TEXAS | O.P.R.W.C.T. | OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS |
| ① | SPACE NUMBER | — | PROPOSED CONCRETE WALK |
| ② | COMPACT PARKING SPACE | — | PROPOSED ASPHALT PAVING |
| ③ | ACCESSIBLE PARKING SPACE | — | PROPOSED CONTOUR |
| TC | TOP OF CURB | — | MORTAR STACK ROCK WALL |
| BC | BOTTOM OF CURB | — | RETAINING WALL |
| HP | HIGH POINT | — | 8" HT. WOOD FENCE |
| GRD | GROUND | — | WATER LINE |
| FL | FLOW LINE | — | WASTE WATER LINE |
| TG | TOP OF GRATE | — | STORM DRAIN LINE |
| W | TOP OF WALL | — | OVERHEAD UTILITIES |
| PWMT | PACIFIC MANHOLE | — | DOWN GUY |
| MH | CLEANOUT | — | UNDERGROUND UTILITIES |
| CO | REFER DETAIL | — | GAS LINE |
| REF. ARCH. | REFER ARCHITECTURAL PLANS | — | EXISTING TREE TO REMAIN |
| TYP. | TYPICAL | — | EXISTING TREE TO BE REMOVED |
| CONC. | CONCRETE | — | EXISTING TREE TO BE REMOVED |
| EXIST. | EXISTING | — | SILT FENCE |
| NSD000000E | SURVEY DATA RECORD DATA | — | FILTER DIKE |
| NSD000000E | BENCHMARK | — | TREE PROTECTION FENCE |
| BM | TEMPORARY BENCHMARK | — | EXIST. SIGN |
| TBM | SURVEY MONUMENT | — | EXIST. LIGHT POLE |
| IR | IRON ROD FOUND | — | DOWNPOUTS |
| RF | IRON ROD FOUND | — | HAND RAILS |
| CB | COTTON GIN BOLT | — | TRAFFIC GUARD RAIL |
| — | PROPERTY LINE | — | FIRE LANE DESIGNATION |
| — | LIMITS OF CONSTRUCTION | — | UNDERGROUND ELECTRIC |
| 100.00 | EXISTING SPOT ELEVATION | — | |
| 100.00 | PROPOSED SPOT ELEVATION | — | |
| — | EXISTING CONTOUR | — | |
| — | BOTTOM OF POND | — | |