

# **WATER POLLUTION ABATEMENT PLAN MODIFICATION**

## **COLONY AT COLE SPRINGS PHASE 1 COLE SPRINGS RD AND OLD BLACK COLONY RD BUDA, HAYS COUNTY, TEXAS**

*Prepared For:*

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Firm No. 928  
KHA Project No. 067783129

July 17, 2023



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# EDWARDS AQUIFER APPLICATION COVER PAGE

# Texas Commission on Environmental Quality

## Edwards Aquifer Application Cover Page

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### Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with [30 TAC 213](#).

### Administrative Review

1. [Edwards Aquifer applications](#) must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains “possibly sensitive” features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

### Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited.**
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

### Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a “Mid-Review Modification”. Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ’s Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ’s San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

<b>1. Regulated Entity Name:</b> Colony at Cole Springs Phase 1				<b>2. Regulated Entity No.:</b> N/A			
<b>3. Customer Name:</b> M/I Homes of Austin, LLC Meritage Homes of Texas, LLC				<b>4. Customer No.:</b> 604305250 603298068			
<b>5. Project Type:</b> (Please circle/check one)	New	<b>Modification</b>			Extension	Exception	
<b>6. Plan Type:</b> (Please circle/check one)	<u>WPAP</u> CZP	SCS	UST	AS T	EXP	EXT	Technical Clarification Optional Enhanced Measures
<b>7. Land Use:</b> (Please circle/check one)	<u>Residential</u>	Non-residential			<b>8. Site (acres):</b>		10.81
<b>9. Application Fee:</b>	\$3,000	<b>10. Permanent BMP(s):</b>			Batch Detention Pond		
<b>11. SCS (Linear Ft.):</b>	N/A	<b>12. AST/UST (No. Tanks):</b>			N/A		
<b>13. County:</b>	Hays	<b>14. Watershed:</b>			Onion Creek		

# Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the “Texas Groundwater Conservation Districts within the EAPP Boundaries” map found at:

[http://www.tceq.texas.gov/assets/public/compliance/field\\_ops/eapp/EAPP%20GWCD%20map.pdf](http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf)

For more detailed boundaries, please contact the conservation district directly.

<b>Austin Region</b>			
<b>County:</b>	<b>Hays</b>	<b>Travis</b>	<b>Williamson</b>
Original (1 req.)	<u>  X  </u>	—	—
Region (1 req.)	<u>  X  </u>	—	—
County(ies)	<u>  X  </u>	—	—
Groundwater Conservation District(s)	<u>  </u> Edwards Aquifer Authority <u>  X  </u> Barton Springs/ Edwards Aquifer <u>  </u> Hays Trinity <u>  </u> Plum Creek	<u>  </u> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<u>  </u> Austin <u>  X  </u> Buda <u>  </u> Dripping Springs <u>  </u> Kyle <u>  </u> Mountain City <u>  </u> San Marcos <u>  </u> Wimberley <u>  </u> Woodcreek	<u>  </u> Austin <u>  </u> Bee Cave <u>  </u> Pflugerville <u>  </u> Rollingwood <u>  </u> Round Rock <u>  </u> Sunset Valley <u>  </u> West Lake Hills	<u>  </u> Austin <u>  </u> Cedar Park <u>  </u> Florence <u>  </u> Georgetown <u>  </u> Jerrell <u>  </u> Leander <u>  </u> Liberty Hill <u>  </u> Pflugerville <u>  </u> Round Rock

<b>San Antonio Region</b>					
<b>County:</b>	<b>Bexar</b>	<b>Comal</b>	<b>Kinney</b>	<b>Medina</b>	<b>Uvalde</b>
Original (1 req.)	—	—	—	—	—
Region (1 req.)	—	—	—	—	—
County(ies)	—	—	—	—	—
Groundwater Conservation District(s)	<u>  </u> Edwards Aquifer Authority <u>  </u> Trinity-Glen Rose	<u>  </u> Edwards Aquifer Authority	<u>  </u> Kinney	<u>  </u> EAA <u>  </u> Medina	<u>  </u> EAA <u>  </u> Uvalde
City(ies) Jurisdiction	<u>  </u> Castle Hills <u>  </u> Fair Oaks Ranch <u>  </u> Helotes <u>  </u> Hill Country Village <u>  </u> Hollywood Park <u>  </u> San Antonio (SAWS) <u>  </u> Shavano Park	<u>  </u> Bulverde <u>  </u> Fair Oaks Ranch <u>  </u> Garden Ridge <u>  </u> New Braunfels <u>  </u> Schertz	NA	<u>  </u> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

Alex Granados, P.E.

Print Name of Customer/Authorized Agent

*Alexander E. Granada Rios*

07/17/23

Signature of Customer/Authorized Agent

Date

**\*\*FOR TCEQ INTERNAL USE ONLY\*\***

Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):

# SECTION 1: GENERAL INFORMATION



# General Information Form

## Texas Commission on Environmental Quality

For Regulated Activities on the Edwards Aquifer Recharge and Transition Zones and Relating to 30 TAC §213.4(b) & §213.5(b)(2)(A), (B) Effective June 1, 1999

**To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.**

**Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.**

## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **General Information Form** is hereby submitted for TCEQ review. The application was prepared by:

Print Name of Customer/Agent: Alex Granados, P.E.

Date: July 17, 2023

Signature of Customer/Agent:



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## Project Information

1. Regulated Entity Name: Colony at Cole Springs Phase 1

2. County: Hays

3. Stream Basin: Onion Creek

4. Groundwater Conservation District (If applicable): N/A

5. Edwards Aquifer Zone:

Recharge Zone

Transition Zone

6. Plan Type:

WPAP

SCS

Modification

AST

UST

Exception Request

7. Customer (Applicant):

Contact Person: William Peckman  
Entity: M/I Homes of Austin, LLC  
Mailing Address: 7600 N. Capital of Texas Hwy, Bldg. C, Suite 250  
City, State: Austin, TX Zip: 78731  
Telephone: 512-770-8503 Fax: N/A  
Email Address: aevetts@mihomes.com

Contact Person: Brandon Hammond  
Entity: Meritage Homes of Texas, LLC  
Mailing Address: 8920 Business Park Dr., Suite 350  
City, State: Austin, TX Zip: 78759  
Telephone: 512-615-6432 Fax: N/A  
Email Address: brandon.hammann@meritagehomes.com

8. Agent/Representative (If any):

Contact Person: Alex Granados, P.E.  
Entity: Kimley-Horn  
Mailing Address: 501 S. Austin Ave, Suite 1310  
City, State: Georgetown, Texas Zip: 78626  
Telephone: 512-782-0602 Fax: N/A  
Email Address: alex.granados@kimley-horn.com

9. Project Location:

- The project site is located inside the city limits of Buda.
- The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of \_\_\_\_\_.
- The project site is not located within any city's limits or ETJ.

10.  The location of the project site is described below. The description provides sufficient detail and clarity so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

Intersection of Cole Springs Rd and Old Black Colony

11.  **Attachment A – Road Map.** A road map showing directions to and the location of the project site is attached. The project location and site boundaries are clearly shown on the map.
12.  **Attachment B - USGS / Edwards Recharge Zone Map.** A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000') of the Edwards Recharge Zone is attached. The map(s) clearly show:
- Project site boundaries.
  - USGS Quadrangle Name(s).
  - Boundaries of the Recharge Zone (and Transition Zone, if applicable).

- Drainage path from the project site to the boundary of the Recharge Zone.
13.  **The TCEQ must be able to inspect the project site or the application will be returned.**  
Sufficient survey staking is provided on the project to allow TCEQ regional staff to locate the boundaries and alignment of the regulated activities and the geologic or manmade features noted in the Geologic Assessment.
- Survey staking will be completed by this date: TBD
14.  **Attachment C – Project Description.** Attached at the end of this form is a detailed narrative description of the proposed project. The project description is consistent throughout the application and contains, at a minimum, the following details:
- Area of the site
  - Offsite areas
  - Impervious cover
  - Permanent BMP(s)
  - Proposed site use
  - Site history
  - Previous development
  - Area(s) to be demolished
15. Existing project site conditions are noted below:
- Existing commercial site
  - Existing industrial site
  - Existing residential site
  - Existing paved and/or unpaved roads
  - Undeveloped (Cleared)
  - Undeveloped (Undisturbed/Uncleared)
  - Other: \_\_\_\_\_

### ***Prohibited Activities***

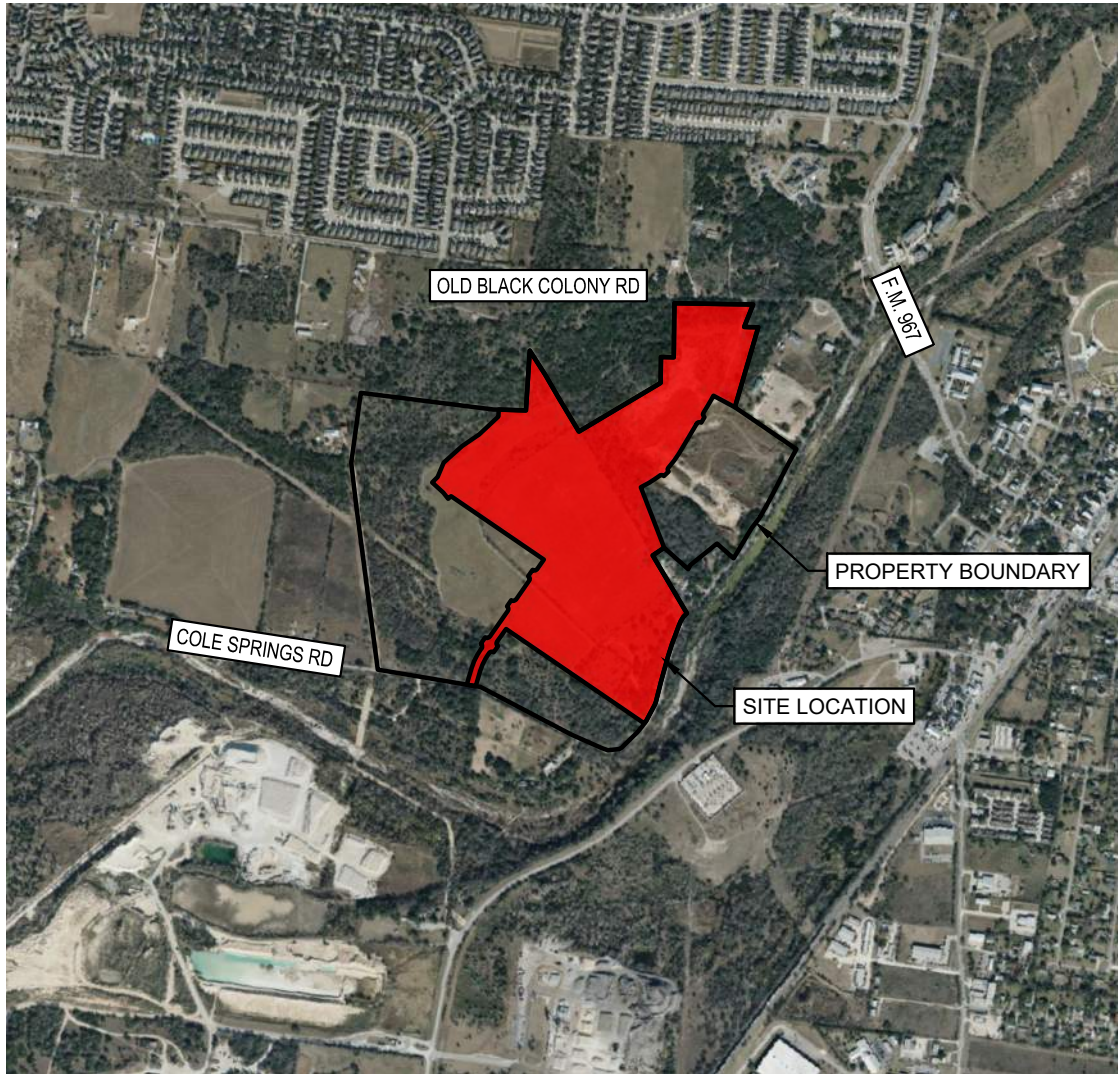
16.  I am aware that the following activities are prohibited on the Recharge Zone and are not proposed for this project:
- (1) Waste disposal wells regulated under 30 TAC Chapter 331 of this title (relating to Underground Injection Control);
  - (2) New feedlot/concentrated animal feeding operations, as defined in 30 TAC §213.3;
  - (3) Land disposal of Class I wastes, as defined in 30 TAC §335.1;
  - (4) The use of sewage holding tanks as parts of organized collection systems; and
  - (5) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41(b), (c), and (d) of this title (relating to Types of Municipal Solid Waste Facilities).

- (6) New municipal and industrial wastewater discharges into or adjacent to water in the state that would create additional pollutant loading.
17.  I am aware that the following activities are prohibited on the Transition Zone and are not proposed for this project:
- (1) Waste disposal wells regulated under 30 TAC Chapter 331 (relating to Underground Injection Control);
  - (2) Land disposal of Class I wastes, as defined in 30 TAC §335.1; and
  - (3) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41 (b), (c), and (d) of this title.

### ***Administrative Information***

18. The fee for the plan(s) is based on:
- For a Water Pollution Abatement Plan or Modification, the total acreage of the site where regulated activities will occur.
  - For an Organized Sewage Collection System Plan or Modification, the total linear footage of all collection system lines.
  - For a UST Facility Plan or Modification or an AST Facility Plan or Modification, the total number of tanks or piping systems.
  - A request for an exception to any substantive portion of the regulations related to the protection of water quality.
  - A request for an extension to a previously approved plan.
19.  Application fees are due and payable at the time the application is filed. If the correct fee is not submitted, the TCEQ is not required to consider the application until the correct fee is submitted. Both the fee and the Edwards Aquifer Fee Form have been sent to the Commission's:
- TCEQ cashier
  - Austin Regional Office (for projects in Hays, Travis, and Williamson Counties)
  - San Antonio Regional Office (for projects in Bexar, Comal, Kinney, Medina, and Uvalde Counties)
20.  Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.
21.  No person shall commence any regulated activity until the Edwards Aquifer Protection Plan(s) for the activity has been filed with and approved by the Executive Director.

**Road Map**



DIRECTIONS FROM TCEQ HEADQUARTERS TO PROJECT SITE

1. HEAD SOUTH ON PARK 35 CIRCLE, TURNING RIGHT ONTO S IH-35 FRONTAGE ROAD
2. USE LEFT LANE TO TAKE RAMP ONTO IH-35 AND CONTINUE SOUTH
3. TAKE EXIT 221 TOWARD MAIN STREET AND CONTINUE SOUTH ON S IH-35 FRONTAGE ROAD
4. SLIGHT RIGHT TOWARD MAIN ST/OLD NORTH LOOP 4
5. TURN RIGHT ONTO FM 967/LIVE OAK ST
6. TURN LEFT ONTO COLE SPRINGS RD
7. TURN RIGHT ONTO OLD BLACK COLONY RD
8. CONTINUE PAST ANTIOCH COLONY PARK FOR 0.2 MILES
9. SITE IS LOCATED ON THE LEFT



SHEET

EX A

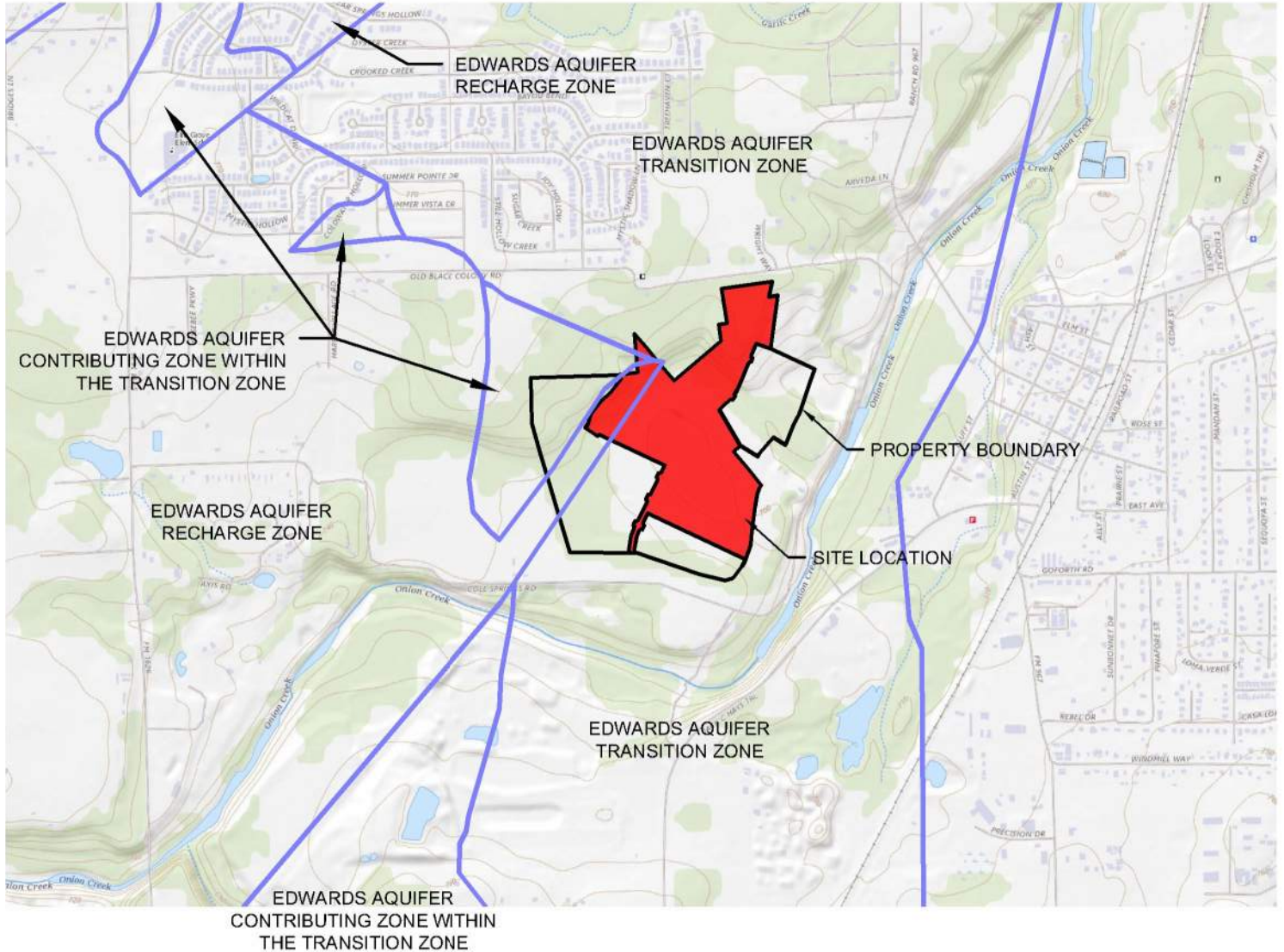
# COLONY AT COLE SPRINGS PH 1

Buda, Texas  
November 2021

**Kimley»Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, STE. 100  
AUSTIN, TX 78735  
PHONE: (512) 646-2237  
CONTACT: WILL BUZZELLI, P.E.  
STATE OF TEXAS  
REGISTRATION NO. 928

***USGS/Edwards Recharge Zone Map***



SHEET  
**EX B**

**COLONY AT COLE SPRINGS PH 1**  
Buda, Texas  
November 2021

**Kimley»Horn**  
5301 SOUTHWEST PARKWAY, BLDG. 3, STE. 100  
AUSTIN, TX 78735  
PHONE: (512) 646-2237  
CONTACT: WILL BUZZELLI, P.E.  
STATE OF TEXAS  
REGISTRATION NO. 928



## Introduction

The subject site that is located in the Edwards aquifer recharge zone and contributing zone within the transition zone totals 10.81 acres and is a largely undeveloped lot located on Cole Springs Rd and Old Black Colony Rd and within the Full Purpose city limits of the City of Buda. The subject property is part of a larger development, Colony at Cole Springs, which encompasses ±178 acres and will comprise of residential single-family.

A portion of Phase 1 is located in the Federal Emergency Management Agency's 100-year floodplain according to FIRM 48209C0280F, dated September 2, 2005. Phase 1 is located in the Edwards Aquifer. The site is located within the Edwards Aquifer Recharge Zone and Transition Zone.

## Current Tract Conditions

### Legal Description

The legal description is described as 117.75 acres of land in the Hiram Cummings Survey, Phillips J. Allen Survey, A-1 & S.V.R. Eggleston Survey Abstract No. 5 City of Buda, Hays, County, Texas.

### Land Use

The lot is zoned as a PUD following regulations for R-3 and F4 zonings, the site resides within the Full Purpose city limits of the City of Buda in Hays County, Texas.

## Existing Drainage Conditions

Under existing conditions, the site generally flows from West to East. The site is part of two watersheds, with both discharging into onion creek along the easter property boundary. This flow is then carried off the property to the North.

## Proposed Development

The proposed Colony at Cole Springs Phase 1 includes construction of 246 lots of single-family residential development, the realignment of Old Black Colony Rd., the realignment/bridge construction of Cole Springs Rd., and the Colony at Cole Springs Lift Station. Water and wastewater lines will be designed according to City of Buda specifications and connect to City of Buda utility services. Access to the site will be through two proposed driveways along FM 967 and Jack C. Hays Rd. The overall subdivision project encompasses 182.02 acres and proposes 68.61 acres (37.69%) of total impervious cover. Stormwater in Phase 1 will be treated according to TCEQ requirements through two (2) on site Batch Detention Ponds. The flow will be discharged east of the site and then into Onion Creek. A timing study was performed, and it was determined detention has a negative impact, therefore a detention waiver was approved.

10.81 acres of the site is within the Edwards Aquifer Recharge Zone and Contributing Zone within the Transition Zone, with 3.92 acres of impervious cover within this site.

## **Drainage and Water Quality Analysis**

### ***Floodplain Information***

A portion of Phase 1 is located in the Federal Emergency Management Agency's 100-year floodplain according to FIRM 48209C0280F, dated September 2, 2005. Phase 1 is located in the Edwards Aquifer. The site is located within the Edwards Aquifer Recharge Zone and Transition Zone.

### ***On-Site Drainage***

The proposed Phase 1 site will convey runoff through an underground storm pipe system into two (2) on site Batch detention ponds. The water quality ponds will be sized for treatment, but no detention ponds are being proposed with an approved Detention Waiver Request. Drainage area maps and calculations are included in the construction set included in the Exhibits Section.

### ***Off-Site Drainage***

Under existing conditions, 353.33 acres of offsite water enters the site from the West. The off-site drainage will be intercepted via trap channels on the western and northern boundaries of the site and will be conveyed around/through the property and be discharged into Onion Creek floodplain on the Southeast and east side of the property.

### ***Detention and Water Quality***

Water Quality Best Management Practices (BMP) for Colony at Cole Springs Phase 1, Old Black Colony Rd., the realignment/bridge construction of Cole Springs Rd., and the Colony at Cole Springs Lift Station will address the water quality requirements for the ultimate area disturbed. Phase 1 will include drainage to Batch Detention Pond 2 and Batch Detention Pond 3. Pond 1, another batch detention pond will be constructed in a later phase as part of overall water quality for the entire subdivision. All of the area in Phase 1 within the recharge zone will be routed to Pond 2. Offsite drainage has no impervious cover and is remaining in its natural state; therefore no treatment will be provided for these areas. These drainage areas are to meet all water quality requirements per TCEQ requirements. See Permanent Stormwater Section – Attachment C for a breakdown on TSS calculations.

No detention ponds are proposed as it would negatively impact the timing. The detention waiver study has been provided for reference.

## **Erosion and Sedimentation Controls**

Temporary erosion and sedimentation controls during construction are proposed on the Erosion Control Plan and include silt fences, inlet protection, construction staging area, concrete washout, rock berm, and a stabilized construction entrance designed to City of Austin criteria. The land disturbed during construction, including the staging and stockpile areas, will drain into the proposed on-site storm sewer system where it will be conveyed to the proposed water quality ponds located on-site. The water quality ponds will discharge onto proposed rock rip rap and eventually into Onion Creek.

# **SECTION 2: MODIFICATION OF PREVIOUSLY APPROVED PLAN**

# Modification of a Previously Approved Plan

## Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Transition Zone and Relating to 30 TAC 213.4(j), Effective June 1, 1999

***To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.***

***Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.***

## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This request for a **Modification of a Previously Approved Plan** is hereby submitted for TCEQ review and executive director approval. The request was prepared by:

Print Name of Customer/Agent: Alex Granados, P.E.

Date: 7/17/2023

Signature of Customer/Agent:



---

## Project Information

1. Current Regulated Entity Name: Colony at Cole Springs Phase 1  
Original Regulated Entity Name: Colony at Cole Springs Phase 1  
Regulated Entity Number(s) (RN): RN111401139  
Edwards Aquifer Protection Program ID Number(s): 11002864  
 The applicant has not changed and the Customer Number (CN) is: 604305250  
 The applicant or Regulated Entity has changed. A new Core Data Form has been provided.
2.  **Attachment A: Original Approval Letter and Approved Modification Letters.** A copy of the original approval letter and copies of any modification approval letters are attached.

3. A modification of a previously approved plan is requested for (check all that apply):
- Physical or operational modification of any water pollution abatement structure(s) including but not limited to ponds, dams, berms, sewage treatment plants, and diversionary structures;
  - Change in the nature or character of the regulated activity from that which was originally approved or a change which would significantly impact the ability of the plan to prevent pollution of the Edwards Aquifer;
  - Development of land previously identified as undeveloped in the original water pollution abatement plan;
  - Physical modification of the approved organized sewage collection system;
  - Physical modification of the approved underground storage tank system;
  - Physical modification of the approved aboveground storage tank system.
4.  Summary of Proposed Modifications (select plan type being modified). If the approved plan has been modified more than once, copy the appropriate table below, as necessary, and complete the information for each additional modification.

<b><i>WPAP Modification</i></b>	<b><i>Approved Project</i></b>	<b><i>Proposed Modification</i></b>
<b><i>Summary</i></b>		
Acres	<u>11.09 acres</u>	<u>10.81 acres</u>
Type of Development	<u>Single Family Residential</u>	<u>Single Family Residential</u>
Number of Residential Lots	<u>33</u>	<u>32</u>
Impervious Cover (acres)	<u>4.06 acres</u>	<u>3.92 acres</u>
Impervious Cover (%)	<u>36.61%</u>	<u>36.26%</u>
Permanent BMPs	<u>Partial Sed Fill Pond</u>	<u>Batch Detention Pond</u>
Other	_____	_____

<b><i>SCS Modification</i></b>	<b><i>Approved Project</i></b>	<b><i>Proposed Modification</i></b>
<b><i>Summary</i></b>		
Linear Feet	<u>N/A</u>	<u>N/A</u>
Pipe Diameter	<u>N/A</u>	<u>N/A</u>
Other	<u>N/A</u>	<u>N/A</u>

<b>AST Modification</b>	<b>Approved Project</b>	<b>Proposed Modification</b>
<b>Summary</b>		
Number of ASTs	<u>N/A</u>	<u>N/A</u>
Volume of ASTs	<u>N/A</u>	<u>N/A</u>
Other	<u>N/A</u>	<u>N/A</u>

<b>UST Modification</b>	<b>Approved Project</b>	<b>Proposed Modification</b>
<b>Summary</b>		
Number of USTs	<u>N/A</u>	<u>N/A</u>
Volume of USTs	<u>N/A</u>	<u>N/A</u>
Other	<u>N/A</u>	<u>N/A</u>

5.  **Attachment B: Narrative of Proposed Modification.** A detailed narrative description of the nature of the proposed modification is attached. It discusses what was approved, including any previous modifications, and how this proposed modification will change the approved plan.
  
6.  **Attachment C: Current Site Plan of the Approved Project.** A current site plan showing the existing site development (i.e., current site layout) at the time this application for modification is attached. A site plan detailing the changes proposed in the submitted modification is required elsewhere.
  - The approved construction has not commenced. The original approval letter and any subsequent modification approval letters are included as Attachment A to document that the approval has not expired.
  - The approved construction has commenced and has been completed. Attachment C illustrates that the site was constructed as approved.
  - The approved construction has commenced and has been completed. Attachment C illustrates that the site was **not** constructed as approved.
  - The approved construction has commenced and has **not** been completed. Attachment C illustrates that, thus far, the site was constructed as approved.
  - The approved construction has commenced and has **not** been completed. Attachment C illustrates that, thus far, the site was **not** constructed as approved.
  
7.  The acreage of the approved plan has increased. A Geologic Assessment has been provided for the new acreage.
  - Acreage has not been added to or removed from the approved plan.
  
8.  Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

Jon Niermann, *Chairman*  
Emily Lindley, *Commissioner*  
Bobby Janecka, *Commissioner*  
Toby Baker, *Executive Director*



## TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

*Protecting Texas by Reducing and Preventing Pollution*

May 13, 2022

Mr. William Peckman  
M/I Homes of Austin, LLC  
7600 N. Capital of Texas Hwy, Suite 250  
Austin, TX 78731-1245

Mr. Elliot Jones  
Meritage Homes of Texas, LLC  
8920 Business Park Drive, Suite 350  
Austin, TX 78759

Re: Edwards Aquifer, Hays County

NAME OF PROJECT: Colony at Cole Springs Phase 1; Located 1.25 Miles from FM 1626 on Cole Springs Rd; Buda, Texas

TYPE OF PLAN: Request for Approval of a Water Pollution Abatement Plan (WPAP) and an Organized Sewage Collection System (SCS); 30 Texas Administrative Code (TAC) Chapter 213 & 217 Edwards Aquifer

Edwards Aquifer Protection Program ID Nos. 11002864 (WPAP) and 11002865 (SCS); Regulated Entity No. RN111401139

Dear Mr. Peckman and Mr. Jones:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the WPAP and SCS applications for the above-referenced project submitted to the Austin Regional Office by Kimley-Horn and Associates, Inc. on behalf of M/I Homes of Austin, LLC and Meritage Homes of Texas, LLC on January 06, 2022. Final review of the WPAP and SCS applications was completed after additional material was received on April 8, 2022, April 28, 2022, and May 6, 2022. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) were selected, and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213 and Chapter 217. These planning materials were sealed, signed, and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

## PROJECT DESCRIPTION

### WPAP DESCRIPTION

The proposed residential project will have an area of approximately 11.09 acres. It includes 33 single family residences, drives, utilities, and associated appurtenances. The impervious cover will be 4.06 acres (36.61 percent).

### SCS DESCRIPTION

The proposed SCS will provide disposal service for single-family residences. The 2,088 linear feet gravity SCS system will consist of 1,518 linear feet of 8-inch diameter PVC SDR-26 pipe that meets ASTM-D3034 standards, 570 linear feet 6-inch diameter PVC SDR-26 pipe that meets ASTM-D3034 standards.

The system will be connected to an existing City of Buda wastewater line for conveyance to the existing City of Buda Wastewater Treatment Plant for treatment and disposal. The project is located within the City of Buda and will conform to all applicable codes, ordinances, and requirements of the City of Buda.

## PERMANENT POLLUTION ABATEMENT MEASURES

To prevent the pollution of stormwater runoff originating on-site or upgradient of the site and potentially flowing across and off the site after construction, two (2) partial sedimentation filtration ponds (Pond 2 & Pond 3), designed using the TCEQ technical guidance document, Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices (2005), will be constructed to treat stormwater runoff. The required total suspended solids (TSS) treatment for this project is 3,644 pounds of TSS generated from the 4.06 acres of impervious cover. The approved measures meet the required 80 percent removal of the increased load in TSS caused by the project.

Pond 2 and Pond 3 are sized for future development and are designed to remove 10,053 pounds of TSS (Pond 2 treats 36,604 pounds, Pond 3 treats 15,493 pounds) to treat stormwater runoff from a maximum of 58.04 acres of impervious cover (Pond 2 treats 40.78 acres, Pond 3 treats 17.26 acres).

## GEOLOGY

According to the Geologic Assessment (GA) included with the application, the site is underlain by the Georgetown Limestone, Del Rio Clay, and Buda Limestone Formations. No sensitive features were identified on site. The site is located partially within Edwards Aquifer contributing zone within the transition zone, partially within Edwards Aquifer recharge zone and partially within Edwards Aquifer transition zone. The TCEQ site assessment conducted on March 17, 2022, revealed the site to be generally in accordance with the description included in the GA.

## SPECIAL CONDITIONS

- I. All permanent pollution abatement measures shall be operational prior to occupancy of the facility.
- II. All sediment and/or media removed from the water quality basins during maintenance activities shall be properly disposed of according to 30 TAC 330 or 30 TAC 335, as applicable.



- III. All wastewater collection and conveyance infrastructure shall be operational prior to any occupancy of the houses and prior to any wastewater flow being introduced into the sewage collection system.

STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

Prior to Commencement of Construction:

4. Within 60 days of receiving written approval of an Edwards Aquifer Protection Plan, the applicant must submit to the Austin Regional Office, proof of recordation of notice in the county deed records, with the volume and page number(s) of the county deed records of the county in which the property is located. A description of the property boundaries shall be included in the deed recordation in the county deed records. A suggested form (Deed Recordation Affidavit, TCEQ-0625) that you may use to deed record the approved WPAP is enclosed.
5. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved WPAP, SCS and this notice of approval shall be maintained at the project location until all regulated activities are completed.
6. Modification to the activities described in the referenced WPAP and SCS applications following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
7. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the Austin Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the date on which the regulated activity will commence, the name of the approved plan and program ID number for the regulated activity, and the name of the prime contractor with the name and telephone number of the contact person. The executive director will use the notification to determine if the approved plan is eligible for an extension.
8. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved WPAP and SCS, must be installed prior to construction and inspected, maintained, and repaired during construction. Temporary E&S controls may be removed when vegetation is established, and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

9. All borings with depths greater than or equal to 20 feet must be plugged with non-shrink grout from the bottom of the hole to within three (3) feet of the surface. The remainder of the hole must be backfilled with cuttings from the boring. All borings less than 20 feet must be backfilled with cuttings from the boring. All borings must be backfilled or plugged within four (4) days of completion of the drilling operation. Voids may be filled with gravel.

During Construction:

10. During the course of regulated activities related to this project, the applicant or agent shall comply with all applicable provisions of 30 TAC Chapter 213 and Chapter 217, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
11. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 6, above.
12. If any sensitive feature (caves, solution cavities, sink holes, etc.) is discovered during construction, all regulated activities near the feature must be suspended immediately. The applicant or his agent must immediately notify the Austin Regional Office of the discovery of the feature. Regulated activities near the feature may not proceed until the executive director has reviewed and approved the methods proposed to protect the feature and the aquifer from potentially adverse impacts to water quality. The plan must be sealed, signed, and dated by a Texas Licensed Professional Engineer.
13. All water wells including injection, dewatering, and monitoring wells must be in compliance with the requirements of the Texas Department of Licensing and Regulation under Title 16 TAC Chapter 76 (relating to Water Well Drillers and Pump Installers) and all other locally applicable rules, as appropriate.
14. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50 percent. Litter, construction debris, and construction chemicals shall be prevented from becoming stormwater discharge pollutants.
15. Discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices.
16. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
17. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.
18. No part of the system shall be used as a holding tank for a pump-and-haul operation.

After Completion of Construction:

19. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the Austin Regional Office within 30 days of site completion.
20. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through Austin Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.
21. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Edwards Aquifer protection plan. If the new owner intends to commence any new regulated activity on the site, a new Edwards Aquifer protection plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
22. Certification by a Texas Licensed Professional Engineer of the testing of sewage collection systems required by 30 TAC Chapter 213 and Chapter 217 shall be submitted to the Austin Regional Office within 30 days of test completion and prior to the new sewage collection system being put into service. The certification should include the project name as it appeared on the approved application, the program ID number, and two copies of a site plan sheet(s) indicating the wastewater lines that were tested and are being certified as complying with the appropriate regulations.

Every five years after the initial certification, the sewage collection system shall be retested. Any lines that fail the test must be repaired and retested. Certification that the system continues to meet the requirements of 30 TAC Chapter 213 and Chapter 217 shall be submitted to the Austin Regional Office. The certification should include the project name as it appeared on the approved application, the program ID number and two copies of a site plan sheet(s) indicating the wastewater lines that were tested and are being certified as complying with the appropriate regulations. Should any test result fail to meet passing test criteria, and then subsequently pass testing, the result(s) and an explanation of what repair, adjustment, or other means were taken to facilitate a subsequent passing result shall be provided.
23. If ownership of this organized sewage collection system is legally transferred (e.g., developer to city or Municipal Utility District), the new owner(s) is required to comply with all terms of the approved Edwards Aquifer protection plan. If the new owner intends to commence any new regulated activity on the site, a new Edwards Aquifer protection plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
24. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.
25. An Edwards Aquifer protection plan approval or extension will expire, and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Edwards Aquifer protection plan must be submitted to the Austin Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.


Mr. William Peckman & Mr. Elliot Jones

Page 6

May 13, 2022

This action is taken under authority delegated by the Executive Director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact Bob Castro, P.E. of the Edwards Aquifer Protection Program of the Austin Regional Office at (512) 339-2929.

Sincerely,

A handwritten signature in cursive script that reads "Lillian Butler".

Lillian Butler, Section Manager  
Edwards Aquifer Protection Program  
Texas Commission on Environmental Quality

LIB/rbc

Enclosures: Deed Recordation Affidavit, Form TCEQ-0625  
Change in Responsibility for Maintenance of Permanent BMPs, Form TCEQ-10263

CC: Mr. William Buzzelli, P.E., Kimley-Horn and Associates, Inc.

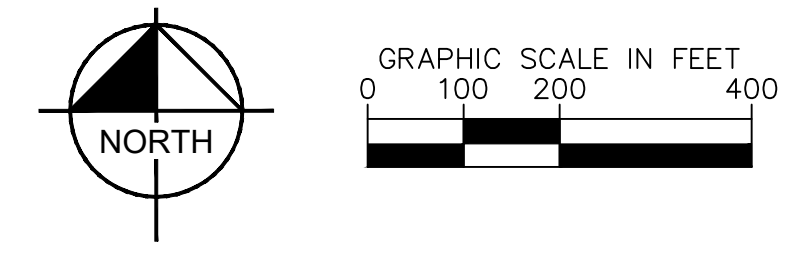
## NARRATIVE OF PROPOSED MODIFICATION

The Colony at Cole Springs Phase 1 within the recharge zone and contributing zone within the transition zone encompasses approximately 10.81 acres with 3.92 acres of impervious cover. This area includes 32 single family residential lots, roads and parkland. The subject property is located in Hays County, TX within the City of Buda. The existing site is undeveloped rangeland. The scope of this project consists of building single family lots along with the associated civil improvements required (roadway, water, wastewater and storm sewer). The entire Phase 1 site lies over the Edwards Aquifer Contributing Zone within the Transition Zone, Transition Zone and Recharge Zone. Phase 1 does contain areas within the FEMA 100-yr Floodplain.

A Water Pollution Abatement Plan (WPAP) was approved on May 13<sup>th</sup>, 2022. The plan approved construction of roadway improvements and associated infrastructure to construct single family lots within 11.09 acres and 4.06 acres of impervious cover.

The proposed modification to the previously approved Water Pollution Abatement Plan is the updating of ponds from partial sedimentation filtration basins to batch detention ponds, as well as updating the number of single family lots proposed within the contributing zone within the transition zone and recharge zone from 33 to 32, based on updates made to the storm sewer. All 3 ponds that will be built for the Colony at Cole Springs will be batch detention ponds. The modification updates the area for Phase 1 within the Recharge Zone and Contributing Zone within the Transition zone to total 10.81 acres with 3.92 acres of impervious cover.

Plotted by: Flynn, Alyssa Date: July 18, 2023 02:00:18pm File Path: K:\SAL\Civil\067783115 Heritage Budd Assemblage\Cad\PlanSheets\C-Phasing plan.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**PHASING BOUNDARIES LEGEND**

	PROPERTY LINE
	PROPOSED PHASING BOUNDARIES
	PHASE 2
	PHASE 3

No.	REVISIONS	DATE	BY

**Kimley»Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78755  
 PH: 512.478.7577  
 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

07/17/2023  
  
 Alejandro E. Granados-Rico  
 Licensed Professional Engineer  
 State of Texas  
 License No. 130084

KHA PROJECT	067783115
DATE	JULY 2023
SCALE	AS SHOWN
DESIGNED BY:	WB,DM
DRAWN BY:	WB, HM, MH, DM
CHECKED BY:	AEG

**PHASING PLAN**

**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARKS**

BM #100 - 1/4" NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 807 10' S NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV = 98.01 (NAVD 88)

BM #104 1/4" NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV = 112.04 (NAVD 88)

BM #106 - 1/4" NAIL SET IN ASPHALT ON THE SOUTH SIDE OF GLEBEAD COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 732.06 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET 228 OF 228

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**11**  
 OF 226

# SECTION 3: GEOLOGIC ASSESSMENT

**GEOLOGIC ASSESSMENT  
FOR THE 123.67-ACRE  
COLONY AT COLE SPRINGS TRACT**

Hays County, Texas

December 2019

**Submitted to:**

M/I Homes

6801 N. Capital of Texas Highway

Lakewood II, Suite 100

Austin, Texas 78731

**Prepared by:**

aci Group, LLC

1001 Mopac Circle

Austin, Texas 78746

TBPG Firm License No. 50260

aci project #: 22-19-100



# Geologic Assessment

## Texas Commission on Environmental Quality

For Regulated Activities on The Edwards Aquifer Recharge/transition Zones and Relating to 30 TAC §213.5(b)(3), Effective June 1, 1999

**To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.**

**Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.**

## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. My signature certifies that I am qualified as a geologist as defined by 30 TAC Chapter 213.

Print Name of Geologist: Mark T. Adams

Telephone: (512) 347-9000

Date: November 26, 2019

Fax: (512) 306-0974

Representing: aci Group LLC TBPG License No. 50260 (Name of Company and TBPG or TBPE registration number)

Signature of Geologist:


Regulated Entity Name: Colony at Cole Springs

## Project Information

1. Date(s) Geologic Assessment was performed: November 12, 13 & 18, 2019

2. Type of Project:

WPAP

AST

SCS

UST

3. Location of Project:

Recharge Zone

Transition Zone

Contributing Zone within the Transition Zone

4.  **Attachment A - Geologic Assessment Table.** Completed Geologic Assessment Table (Form TCEQ-0585-Table) is attached.
5.  Soil cover on the project site is summarized in the table below and uses the SCS Hydrologic Soil Groups\* (Urban Hydrology for Small Watersheds, Technical Release No. 55, Appendix A, Soil Conservation Service, 1986). If there is more than one soil type on the project site, show each soil type on the site Geologic Map or a separate soils map.

**Table 1 - Soil Units, Infiltration Characteristics and Thickness**

Soil Name	Group*	Thickness(feet)
See soils table (pg. 12)		

\* Soil Group Definitions (Abbreviated)

- A. Soils having a high infiltration rate when thoroughly wetted.
- B. Soils having a moderate infiltration rate when thoroughly wetted.
- C. Soils having a slow infiltration rate when thoroughly wetted.
- D. Soils having a very slow infiltration rate when thoroughly wetted.

6.  **Attachment B – Stratigraphic Column.** A stratigraphic column showing formations, members, and thicknesses is attached. The outcropping unit, if present, should be at the top of the stratigraphic column. Otherwise, the uppermost unit should be at the top of the stratigraphic column.
7.  **Attachment C – Site Geology.** A narrative description of the site specific geology including any features identified in the Geologic Assessment Table, a discussion of the potential for fluid movement to the Edwards Aquifer, stratigraphy, structure(s), and karst characteristics is attached.
8.  **Attachment D – Site Geologic Map(s).** The Site Geologic Map must be the same scale as the applicant's Site Plan. The minimum scale is 1": 400'  
 Applicant's Site Plan Scale: 1" = 200'  
 Site Geologic Map Scale: 1" = 200'  
 Site Soils Map Scale (if more than 1 soil type): 1" = 500'
9. Method of collecting positional data:
  - Global Positioning System (GPS) technology.
  - Other method(s). Please describe method of data collection: \_\_\_\_\_
10.  The project site and boundaries are clearly shown and labeled on the Site Geologic Map.
11.  Surface geologic units are shown and labeled on the Site Geologic Map.

12.  Geologic or manmade features were discovered on the project site during the field investigation. They are shown and labeled on the Site Geologic Map and are described in the attached Geologic Assessment Table.
- Geologic or manmade features were not discovered on the project site during the field investigation.
13.  The Recharge Zone boundary is shown and labeled, if appropriate.
14. All known wells (test holes, water, oil, unplugged, capped and/or abandoned, etc.): If applicable, the information must agree with Item No. 20 of the WPAP Application Section.
- There are 2 (#) wells present on the project site and the locations are shown and labeled. (Check all of the following that apply.)
- The wells are not in use and have been properly abandoned.
- The wells are not in use and will be properly abandoned.
- The wells are in use and comply with 16 TAC Chapter 76.
- There are no wells or test holes of any kind known to exist on the project site.

### ***Administrative Information***

15.  Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

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December 3, 2019

## Geologic Assessment for the Colony at Cole Springs Tract located in Hays County, Texas

### 1.0 INTRODUCTION

The purpose of this assessment is to identify karst or non-karst features and their recharge potential. This report complies with the requirements of Title 30, Texas Administrative Code (TAC) Chapter 213 relating to the protection of the Edwards aquifer recharge zone.

The Colony at Cole Springs Tract hereafter referred to as the subject area or site, is located approximately 0.5 mile southeast from the intersection of Cole Springs Road and Old Black Colony Road in the City of Buda Extraterritorial Jurisdiction (ETJ), Hays County, Texas (**Attachment D, Figure 1**).

### 2.0 PROJECT INFORMATION

Pedestrian investigations of the subject area were performed on November 12<sup>th</sup>, 13<sup>th</sup>, and 18<sup>th</sup>, 2019 by Luke Rome, P.G., and Kara Posso, G.I.T., Eric Brown, Ben Ruthven, and Mark Adams, P.G. with **aci consulting**.

This report is intended to satisfy the requirements for a Geologic Assessment, which shall be included as a component of a Water Pollution Abatement Plan (WPAP) and Sewage Collection System (SCS). The proposed site use is for a single-family, residential development. The scope of the report consists of a site reconnaissance, field survey, and review of existing data and reports. Features identified during the field survey were ranked utilizing the Texas Commission on Environmental Quality (TCEQ) matrix for Edwards aquifer recharge zone features. The ranking of the features will determine their viability as “sensitive” features.

According to Edwards aquifer zone maps, the subject area is within the Edwards aquifer Recharge Zone, Transition Zone, and Transition Zone within the Contributing Zone (TCEQ 2005).

### 3.0 INVESTIGATION METHODS

The following investigation methods and activities were used to develop this report:

- Review of existing files and literature to determine the regional geology and any known caves associated with the project area;
- Review of past geological field reports, cave studies, and correspondence regarding the existing geologic features on the project area, if available;
- Site reconnaissance by a registered professional geologist to identify and examine caves, recharge features, and other significant geological structures;
- Evaluation of collected field data and a ranking of features using the TCEQ Ranking Table 0585 for the Edwards Aquifer Recharge Zone; and
- Review of historic aerial photographs to determine if there are any structural features present, and to determine any past disturbances on the subject property.

### 4.0 SUMMARY OF FINDINGS

This report documents the findings of a geologic assessment conducted by **aci consulting** personnel on November 12<sup>th</sup>, 13<sup>th</sup>, and 18<sup>th</sup>, 2019. Nine features (non-karst and manmade features in bedrock) were initially noted on the site. No sensitive karst features were identified within the subject area. Six of the nine features are manmade features in bedrock and should be brought to the attention of the engineer. The remaining three features were classified as other and are not a product of dissolution or karst processes and do not have a direct connection to the Edwards aquifer. Based on the field findings, it appears that the thin sliver of recharge zone that extends onto the subject area as shown on TCEQ maps is likely miss-mapped.

### 5.0 RECOMMENDATIONS

aci consulting recommends that the six manmade features in bedrock (CS-01, CS-04, CS-05, CS-06, CS-07, and CS-08) be brought to the attention of the engineer.

## 6.0 REFERENCES

- Hauwert, N., et. al. 2002. Geologic Map of the Barton Springs Segment of the Edwards Aquifer. Barton Springs Edwards Aquifer Conservation District and the United States Geologic Survey. Austin, Texas.
- (SCS) Soil Conservation Survey. 1983. Soil Survey of Hays County, Texas. United States Department of Agriculture. Texas Agriculture Experiment Station.
- Small, T.A.; J.A. Hanson; and N.M. Hauwert. 1996. Geologic Framework and Hydrogeologic Characteristics of the Edwards Aquifer Outcrop, (Barton Springs Segment) Northeastern Hays and Southwestern Travis Counties, Texas. U.S. Geological Survey Water Resources Investigations Report 96-4306.
- (TCEQ) Texas Commission on Environmental Quality. 2004. Instructions to Geologists for Geologic Assessments on the Edwards Aquifer Recharge/Transition Zones. October 1, 2004. Austin, Texas.
- (TCEQ) Texas Commission on Environmental Quality. 2005. "Edwards Aquifer Protection Program, Chapter 213 Rules - Recharge Zone, Transition Zone, Contributing Zone, and Contributing Zone within the Transition Zone." Map. Digital data. September 1, 2005. Austin, Texas.
- (TWDB) Texas Water Development Board. 2019. Water Data Interactive Groundwater Data Viewer. Accessed on November 11, 2019. Available at:  
<http://www2.twdb.texas.gov/apps/waterdatainteractive/groundwaterdataviewer>
- (USDA NRCS) U.S. Department of Agriculture Natural Resources Conservation Service. 2019. WebSoilSurvey.com. Soil Survey Area: Hays County, Texas. Date accessed: November 11, 2019.



**ATTACHMENT A**  
**Geologic Assessment Table**



GEOLOGIC ASSESSMENT TABLE										PROJECT NAME: Colony at Cole Springs											
LOCATION			FEATURE CHARACTERISTICS										EVALUATION		PHYSICAL SETTING						
1A	1B *	1C *	2A	2B	3	4			5	5A	6	7	8A	8B	9	10		11		12	
FEATURE ID	LATITUDE	LONGITUDE	FEATURE TYPE	POINTS	FORMATION	DIMENSIONS (FEET)			TREND (DEGREES)	ROD	DENSITY (NO/FT)	APERTURE (FEET)	INFILL	RELATIVE INFILTRATION RATE	TOTAL	SENSITIVITY	CATCHMENT AREA (ACRES)		TOPOGRAPHY		
						X	Y	Z		10						<40	≥40	<1.6	≥1.6		
CS-01	30.079596	-97.858919	MB	30	Kbu/Kdr/Kgt	-	-	-	-	-	-	-	X/N	10	40		X	X		Hillside	
CS-02	30.081277	-97.860138	O	5	Kdr (Kbu)	1.5	0.7	1.5	-	-	-	-	O,F,C	15	20	X		X		Drainage	
CS-03	30.082607	-97.857384	O	5	Kgt	2	2	2.75	-	-	-	-	O,F	5	10	X		X		Hillside	
CS-04	30.079589	-97.857979	MB	30	Kbu/Kdr/Kgt	0.25	0.25	-	-	-	-	-	X/N	10	40		X	X		Hillside	
CS-05	30.076847	-97.855193	MB	30	Kbu	-	-	-	-	-	-	-	X/N	10	40		X	X		Hillside	
CS-06	30.077728	-97.856127	MB	30	Kbu	0.08	0.08	-	-	-	-	-	X/N	10	40		X	X		Hillside	
CS-07	30.078152	-97.852964	MB	30	Kbu	3	3	-	-	-	-	-	X/N	10	40		X	X		Hillside	
CS-08	30.078029	-97.85343	MB	30	Kbu	-	-	-	-	-	-	-	X/N	10	40		X	X		Hillside	
CS-09	30.078671	-97.852727	O	5	Kbu	1.7	0.7	3.5	-	-	-	-	O,F,C	10	15	X		X		Hillside	

\* DATUM: NAD 1983 State Plane 4203

2A TYPE	TYPE	2B POINTS
C	Cave	30
SC	Solution cavity	20
SF	Solution-enlarged fracture(s)	20
F	Fault	20
O	Other natural bedrock features	5
MB	Manmade feature in bedrock	30
SW	Swallow hole	30
SH	Sinkhole	20
CD	Non-karst closed depression	5
Z	Zone, clustered or aligned features	30

8A INFILLING	
N	None, exposed bedrock
C	Coarse - cobbles, breakdown, sand, gravel
O	Loose or soft mud or soil, organics, leaves, sticks, dark colors
F	Fines, compacted clay-rich sediment, soil profile, gray or red colors
V	Vegetation. Give details in narrative description
FS	Flowstone, cements, cave deposits
X	Other materials

12 TOPOGRAPHY  
Cliff, Hilltop, Hillside, Drainage, Floodplain, Streambed

I have read, I understood, and I have followed the Texas Commission on Environmental Quality's Instructions to Geologists. The information presented here complies with that document and is a true representation of the conditions observed in the field.

My signature certifies that I am qualified as a geologist as defined by 26 TAC Chapter 213.

Date 12/3/2019

Sheet   1   of   1



**ATTACHMENT B**  
**Stratigraphic Column**

Colony at Cole Springs Tract, Hays County

Group	Formation	Thickness (Small et al., 1996)
Washita Group	Buda Limestone	40-50 feet
Washita Group	Del Rio Clay	50-60 feet
Washita Group	Georgetown Limestone**	40-60 feet

*\*\*Note: the Georgetown Limestone was not identified onsite.*



**ATTACHMENT C**  
**Site Geology**

The following includes a description of the site stratigraphy, geologic structure related to the Edwards aquifer, and karstic characteristics. Also included in this section is a review of historic aerials for presence of geologic changes or changes to manmade features in bedrock, the soil table, and a short feature summary. The final portion of this attachment contains full feature descriptions and photos.

### Stratigraphy

#### **Kbu – Buda Limestone**

Small et al. describes Buda Limestone as “40 to 50 ft of dense, variably nodular, sublithographic or “porcelaneous” limestone; and light-gray to buff mudstone, commonly containing calcispheres and tiny calcite-filled fractures.”

#### **Kdr – Del Rio Clay**

The Del Rio Clay is described by Small as “50 to 60 ft thick and is a dark blue-green to yellow-brown, variably gypsiferous clay, commonly containing pecten-type fossil clams and an abundance of the fossil oyster *Ilymatogyra arietina*, formerly *Exogyra arietina* (Roemer). These fossil oysters are known locally as “rams horns.”

#### **Kgt – Georgetown Limestone (Not identified onsite)**

The Georgetown Limestone is described as “40 ft in the south to about 60 ft in the north. The lithology of the Georgetown Formation generally consists of gray to light-tan, marly, fossiliferous limestone, usually containing ammonites, oyster-like clams, and the brachiopod *Waconella wacoensis*, formerly *Kingena wacoensis* (Roemer).”

### Structure

According to Small et al (1996), the subject area is underlain by Kbu, Kdr, and Kgt, however, Kgt was not observed. There are two mapped normal faults that intersect the subject area at 30°-35° (Hauwert et. al. 2002). Locally, the dominant structural trend of the area is 35°, as evidenced by the mapped fault patterns (**Attachment D, Figure 2**). Thus, all features that have a trend ranging from 20° to 50° are considered on trend and will be awarded an additional 10 points in the Geologic Assessment Table.

The geologic strata associated with the Edwards aquifer include the Georgetown Formations overlying the Edwards Limestone Group. These rocks are underlain by the Walnut Formation, which has members including the Whitestone Member, Keys Valley Marl Member, the Cedar Park Member, the Bee Cave Member and the Bull Creek

Member. The Glen Rose Formation, another marine limestone stratum, is located below the Walnut Formation. On site, the Edwards Aquifer Recharge Zone corresponds to the Georgetown Formation.

### Karstic Characteristics

In limestone terrains, karst is expressed by erratically developed cavernous porosity and the manifestations of sinkholes, voids, and erratic surface drainage. Karst landscapes are typical of the Edwards Limestone, occurring across a vast region of Central Texas, west of the Balcones Escarpment, and these processes are critical to understanding the Edwards aquifer within its various segments. The features produced by karst processes (voids, holes, and solution layers) eventually provide conduits for surface water runoff and “point recharge” for the Edwards aquifer. The identification and protection of these features in established recharge areas is critical to maintaining groundwater quality and species habitat. The TCEQ require protective strategies within these areas to maintain quantity and quality of recharge prior to, during, and upon completion of construction activities.

### Review of Historic Aerials

Aerial photographs were reviewed for the site 1951, 1958, 1967, 1973, 1981, 1995, 2004, 2008, 2014, 2018. It was determined that ranching and agricultural activities occurred on the site with an associated rural residence since the first aerial image dated 1951 (**Attachment E**). There is a “Refined Liquid Product” buried pipeline crossing the site that appears to have been installed prior to the 1951 aerial. It is unclear whether this pipeline is still in service. Additional information regarding the pipeline in **Attachment F**. The 1973 aerial show the first appearance of an aerial easement (transmission line) crossing the site. The 2008 aerial shows the first appearance of a quarry to the northeast of the site.

Soil Table

Soil Name	Group	Thickness (feet)
DeB—Denton silty clay, 1 to 3 percent slopes	D	6.66
ErG—Eckrant-Rock outcrop association, 8 to 30 percent slopes	D	6.66
GrC—Gruene clay, 1 to 5 percent slopes	D	6.66
KrB—Krum clay, 1 to 3 percent slopes	C	6.66
Or—Orif soils, moist, 0 to 3 percent slopes, frequently flooded	A	6.66
RUD—Rumple-Comfort, rubbly association, 1 to 8 percent slopes	D	4.92
SeB—Seawillow clay loam, 1 to 3 percent slopes	B	5.16

Feature Summary

Nine features were identified during site investigations and are detailed below, and shown on **Figure 3 in Attachment D**.

Soils discussed on the Geologic Assessment Form are delineated in **Attachment D, Figure 4**.

## CS-01

GPS: 30.079596, -97.858919

CS-01 is a manmade feature in bedrock that crosses the Buda Limestone, Del Rio Clay, and Georgetown Limestone Formations. The feature is a petroleum pipeline registered to Sunoco Pipeline, L.P. (P-5 # 829627). The pipeline permit information is presented in Attachment F. The probability of rapid infiltration has been assigned a point value of 10 to designate this feature as sensitive to call the attention of the project engineer.

**Recommendation:** This feature should be brought to the attention of the project engineer.



Photo of CS-01.



**CS-02**

**GPS: 30.081277, -97.860138**

CS-02 is an “other natural bedrock feature” and is present on a bank within a drainage. The geology is mapped as the Del Rio Clay Formation but was field confirmed as the Buda Limestone Formation. The feature is 1.5 feet wide by 0.7 feet tall, extending laterally 1.5 feet into the east bank of the drainage. Infill material consists of exposed limestone, rock cobbles, loose leaf litter, soils, and clay with desiccation cracks. The catchment area is less than 1.6 acres. Based on Figure 1 of the TCEQ Instructions to Geologists, the probability of rapid infiltration is designated as low (15 pts). This feature is not a sensitive recharge feature.

**Recommendation:** None, no action required.



Photo of CS-02.

**CS-03**

**GPS: 30.082607, -97.857384**

CS-03 is an “other natural bedrock feature” and is present on a hillside in the Del Rio Clay Formation. This is likely an animal burrow due to the presence of soil mounding surrounding the feature. The dimensions are 2 feet by 2 feet, extending down and laterally 2.5 feet. Infill material consists of loose leaf litter, roots and dark soils. The catchment area is less than 1.6 acres. Based on Instructions to Geologists Figure 1, the probability of rapid infiltration is designated as low (5 pts). This feature is not a sensitive recharge feature.

**Recommendation:** None, no action required.



Photo of CS-03.

**CS-04**

**GPS: 30.079589, -97.857979**

CS-04 represents a buried 3-inch waterline with a series of water spigots (manmade features in bedrock) that protrude approximately 1-2 feet above the surface. The locations of the spigots were located throughout the property and fall within each of the three mapped geological formations on site. Based on conversations with the ranch hand, the waterline and spigots are directly connected to the water well, CS-05, and are found primarily along the open pasture and the fenced areas along the west portion of the subject area. The depth of the waterline is unknown. The probability of rapid infiltration has been assigned a point value of 10 to designate this feature as sensitive and call the attention of the project engineer.

**Recommendation:** This feature should be brought to the attention of the project engineer.



Photo of CS-04

**CS-05**

**GPS: 30.076847, -97.855193**

CS-05 is a manmade feature in bedrock and is present on a hillside in the Buda Limestone Formation. The feature is a well and pumphouse with unknown dimensions. The probability of rapid infiltration has been assigned a point value of 10 to designate this feature as sensitive and call the attention of the project engineer.

**Recommendation:** This feature should be brought to the attention of the project engineer.



Photo of CS-05.

**CS-06**

**GPS: 30.077728, -97.856127**

CS-06 is a manmade feature in bedrock and is present on a hillside in the Buda Limestone Formation. There were two waterline spigots in the vicinity that had a 1-inch diameter each and an unknown depth. These waterlines are likely connected to the well designated as CS-05. The probability of rapid infiltration has been assigned a point value of 10 to designate this feature as sensitive and call the attention of the project engineer.

**Recommendation:** This feature should be brought to the attention of the project engineer.



Photo of CS-06.

**CS-07**

**GPS: 30.078152, -97.852964**

CS-07 is a manmade feature in bedrock and is present on a hillside in the Buda Limestone Formation. The feature was found proximal to a collapsed rural residence and is likely the relict access for a below ground septic system. The dimensions are approximately 3 feet by 3 feet with an unknown depth. The probability of rapid infiltration has been assigned a point value of 10 to designate this feature as sensitive and call the attention of the project engineer.

**Recommendation:** This feature should be brought to the attention of the project engineer.



Photo of CS-07.

**CS-08**

**GPS: 30.078029, -97.85343**

CS-08 is a manmade feature in bedrock and is present on a hillside in the Buda Limestone Formation. The feature is a well and pumphouse with unknown dimensions. The probability of rapid infiltration has been assigned a point value of 10 to designate this feature as sensitive and call the attention of the project engineer.

**Recommendation:** This feature should be brought to the attention of the project engineer.



Photo of CS-08.

**CS-09**

**GPS: 30.078671, -97.852727**

CS-09 is a “other natural bedrock feature” and is present on a hillside outcrop in the Buda Limestone Formation. While the outcrop constituents are consistent with the Buda Limestone, the structure suggests an alluvial concretionary deposit rather than bedrock. The feature dimensions are 1.7 feet by 0.7 feet, extending laterally into the outcrop for 3.5 feet. Infill material consists of rock cobbles, loose leaf litter, and soil. The catchment area is less than 1.6 acres. Based on Instructions to Geologists Figure 1, the probability of rapid infiltration is designated as low (10 pts). This feature is not a sensitive recharge feature.

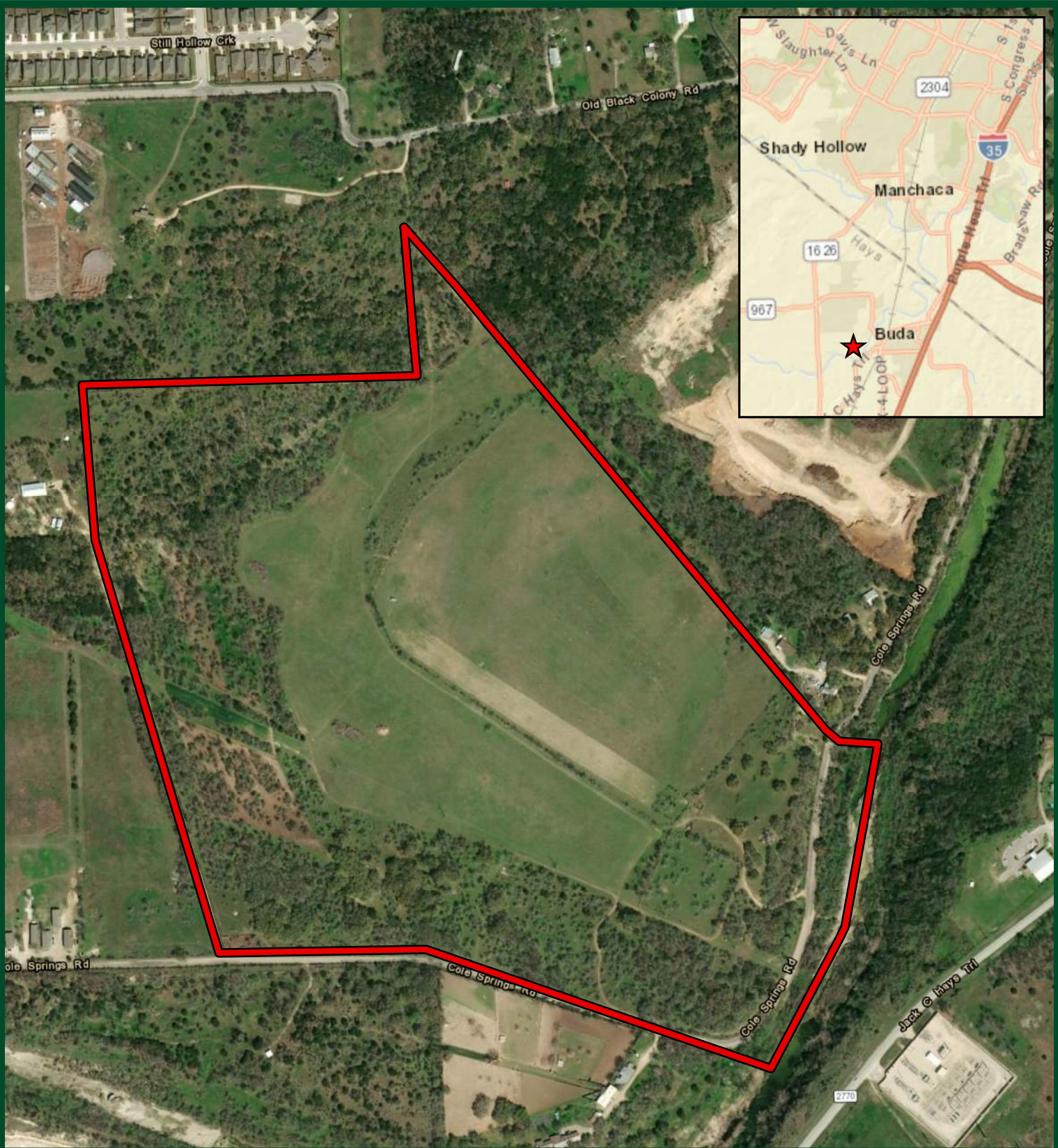
**Recommendation:** None, no action required.



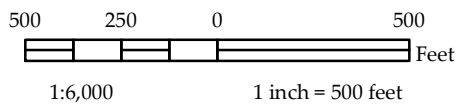
Photo of CS-09.




**ATTACHMENT D**  
**Site Maps**



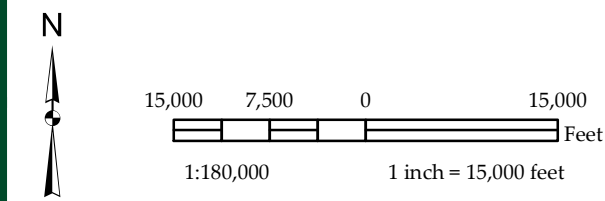
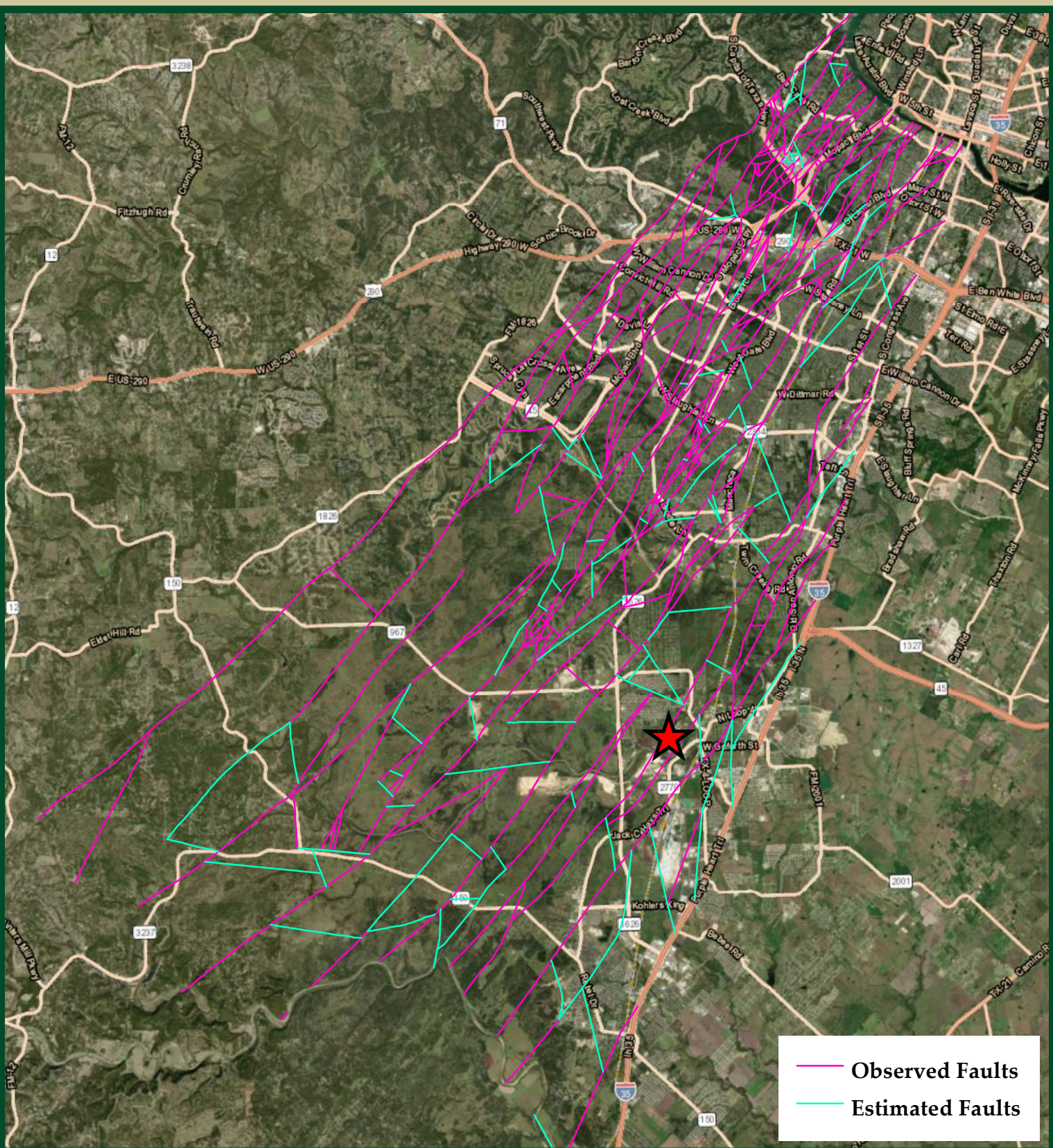
*This map is intended for planning purposes only. All map data should be considered preliminary. All boundaries and designations are subject to confirmation.*



 Subject Area



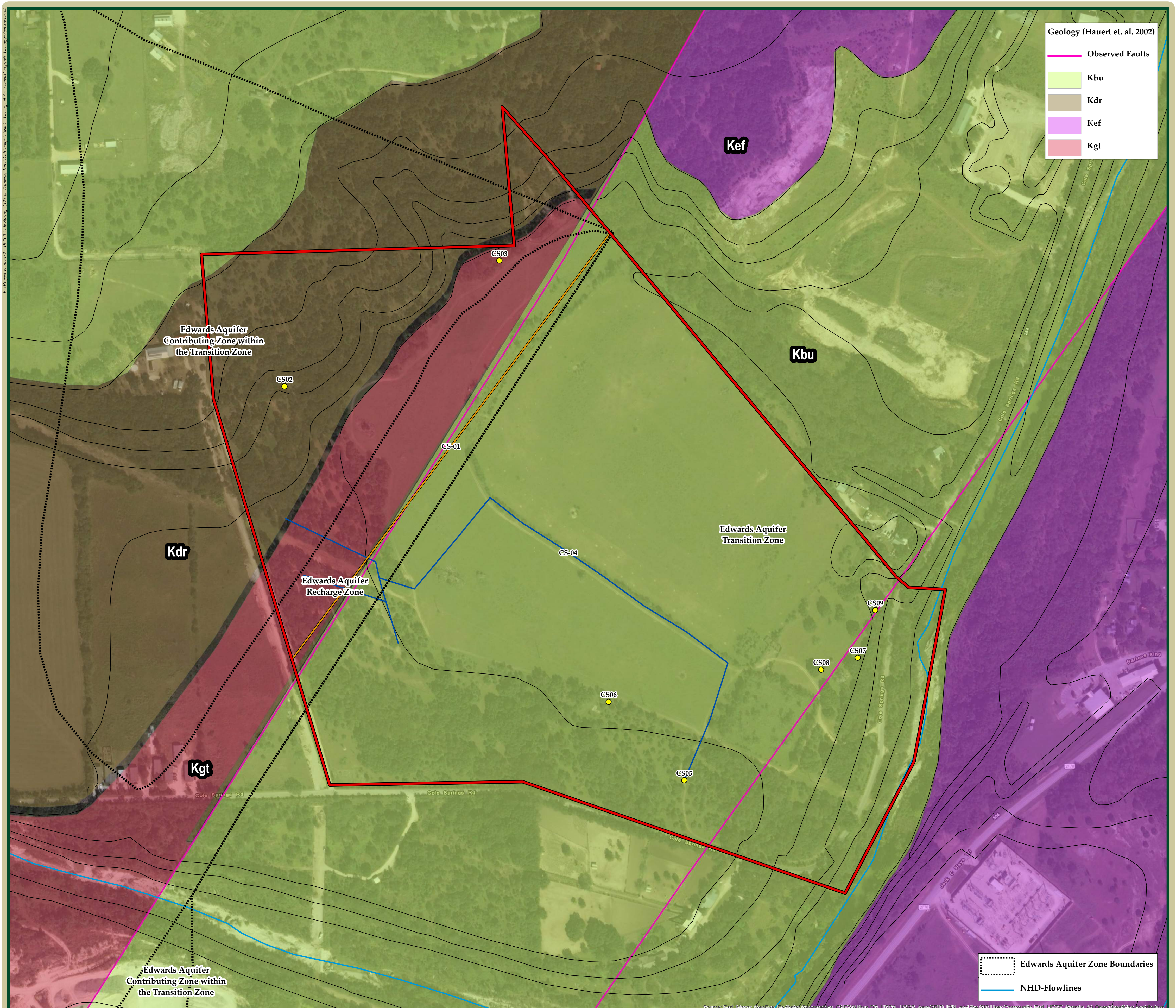
**Colony at Cole Springs**  
**Figure 1: Site Location Map**



**★ Subject Area**  
Regional Trend 35°



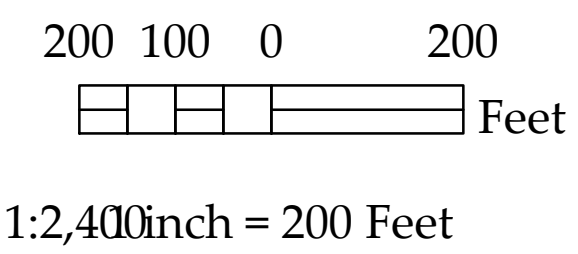
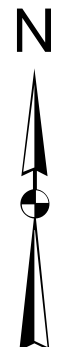
Colony at Cole Springs  
Figure 2: Regional Trend Map



**Geology (Hauert et. al. 2002)**

- Observed Faults
- Kbu
- Kdr
- Kef
- Kgt

- Edwards Aquifer Zone Boundaries
- NHD-Flowlines

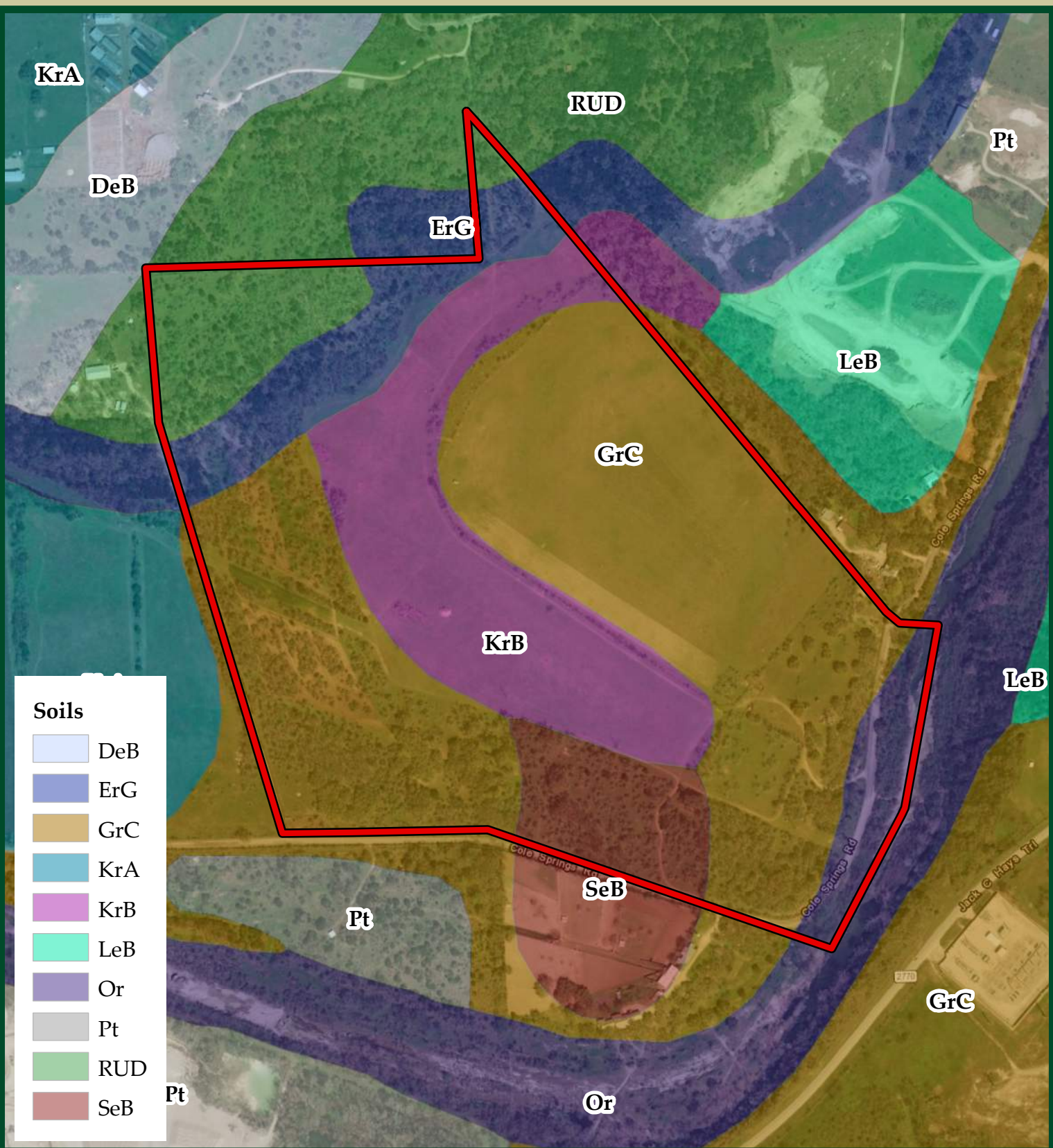


- Subject Area
- Features
- Pipeline
- Waterline
- Contours - 10ft



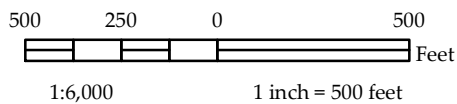
This map is intended for planning purposes only. All map data should be considered preliminary. All boundaries and designations are subject to confirmation. Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors

**Colony at Cole Springs  
Figure 3: Feature Map**



Soils	
	DeB
	ErG
	GrC
	KrA
	KrB
	LeB
	Or
	Pt
	RUD
	SeB

This map is intended for planning purposes only. All map data should be considered preliminary. All boundaries and designations are subject to confirmation.



Subject Area





**ATTACHMENT E**  
**Historical Aerial Photographs**

**Prepared for:**

ACI CONSULTING  
1001 Mopac Circle  
Austin TX 78746



# Historical Aerial Photographs

Cole Springs Road tract

Hays County, TX

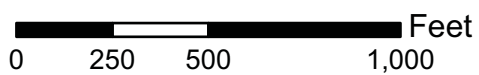
PO #: 22-15-03J

ES-131419

Thursday, June 27, 2019



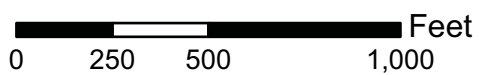
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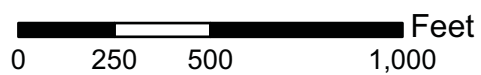


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Source: USDA



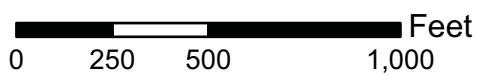


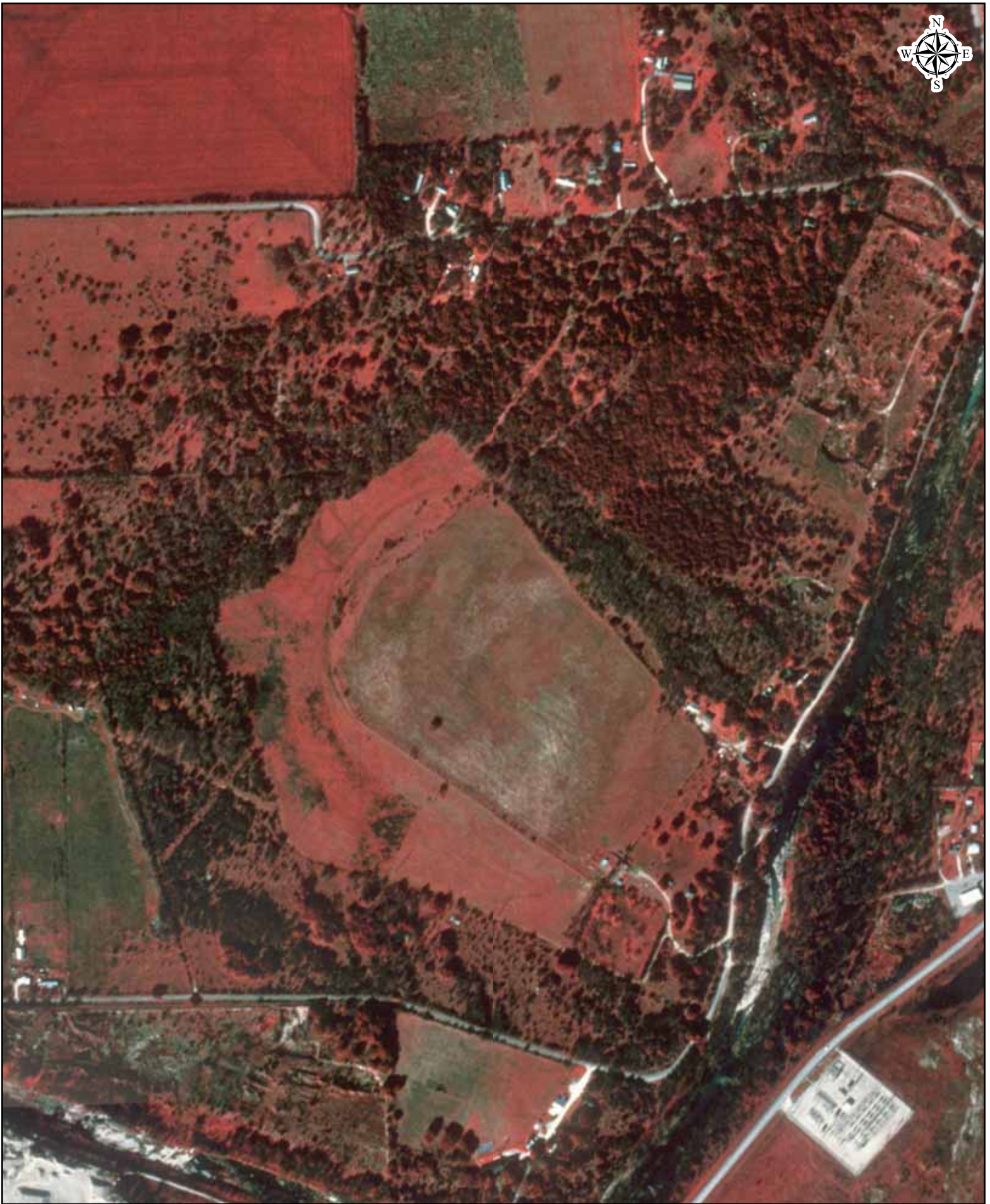
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Source: USDA





Date: 2004  
Source: USDA





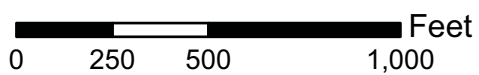
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Source: USGS

0 250 500 1,000 Feet



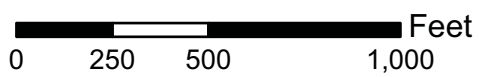


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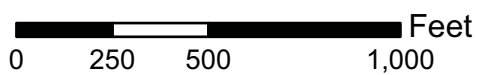


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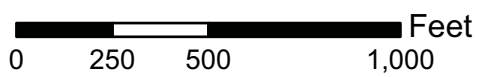


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Source: USGS





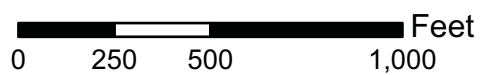
Date: 1958  
Source: USGS







Date: 1951  
Source: USDA



HISTORICAL AERIAL PHOTOGRAPHS	
ES-131419	June 27, 2019



## AERIAL SOURCE DEFINITIONS

Acronym	Agency
<b>NASA</b>	National Aeronautics & Space Administration
AMS	Army Mapping Service
ASCS	Agricultural Stabilization & Conservation Service
<b>SCS</b>	Soil Conservation Service
<b>ISGS</b>	Illinois State Geological Survey
<b>Fairchild</b>	Fairchild Aerial Surveys
TXDOT	Texas Department of Transportation
<b>BLM</b>	Bureau of Land Management
USAF	United States Air Force
USCOE	United States Corps of Engineers
USDA	United States Department of Agriculture
USGS	United States Geological Survey
WALLACE	Wallace-Zingery Aerial Surveys
<b>TNRIS</b>	Texas Natural Resources Information System

HISTORICAL AERIAL PHOTOGRAPHS	
ES-131419	June 27, 2019



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# **SECTION 4: WATER POLLUTION ABATEMENT PLAN**

# Water Pollution Abatement Plan Application

## Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b), Effective June 1, 1999

*To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.*

*Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.*

## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Water Pollution Abatement Plan Application Form** is hereby submitted for TCEQ review and Executive Director approval. The form was prepared by:

Print Name of Customer/Agent: Alex Granados, P.E.

Date: July 17, 2023

Signature of Customer/Agent:



Regulated Entity Name: Colony at Cole Springs Phase 1

## Regulated Entity Information

1. The type of project is:

- Residential: Number of Lots: 32
- Residential: Number of Living Unit Equivalents:
- Commercial
- Industrial
- Other: \_\_\_\_\_

2. Total site acreage (size of property): 10.81

3. Estimated projected population: 112

4. The amount and type of impervious cover expected after construction are shown below:

**Table 1 - Impervious Cover Table**

Impervious Cover of Proposed Project	Sq. Ft.	Sq. Ft./Acre	Acres
Structures/Rooftops	117,000	÷ 43,560 =	2.69
Other paved surfaces	53,698	÷ 43,560 =	1.23
Total Impervious Cover	170,698	÷ 43,560 =	3.92

**Total Impervious Cover  $3.92 \div$  Total Acreage  $10.81 \times 100 = 36.26\%$  Impervious Cover**

5.  **Attachment A - Factors Affecting Surface Water Quality.** A detailed description of all factors that could affect surface water and groundwater quality that addresses ultimate land use is attached.
6.  Only inert materials as defined by 30 TAC §330.2 will be used as fill material.

***For Road Projects Only***

***Complete questions 7 - 12 if this application is exclusively for a road project.***

7. Type of project:

- TXDOT road project.
- County road or roads built to county specifications.
- City thoroughfare or roads to be dedicated to a municipality.
- Street or road providing access to private driveways.

8. Type of pavement or road surface to be used:

- Concrete
- Asphaltic concrete pavement
- Other: \_\_\_\_\_

9. Length of Right of Way (R.O.W.): \_\_\_\_\_ feet.

Width of R.O.W.: \_\_\_\_\_ feet.

$L \times W =$  \_\_\_\_\_  $\text{Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} =$  \_\_\_\_\_ acres.

10. Length of pavement area: \_\_\_\_\_ feet.

Width of pavement area: \_\_\_\_\_ feet.

$L \times W =$  \_\_\_\_\_  $\text{Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} =$  \_\_\_\_\_ acres.

Pavement area \_\_\_\_\_ acres  $\div$  R.O.W. area \_\_\_\_\_ acres  $\times 100 =$  \_\_\_\_\_% impervious cover.

11.  A rest stop will be included in this project.

A rest stop will not be included in this project.

12.  Maintenance and repair of existing roadways that do not require approval from the TCEQ Executive Director. Modifications to existing roadways such as widening

roads/adding shoulders totaling more than one-half (1/2) the width of one (1) existing lane require prior approval from the TCEQ.

### ***Stormwater to be generated by the Proposed Project***

13.  **Attachment B - Volume and Character of Stormwater.** A detailed description of the volume (quantity) and character (quality) of the stormwater runoff which is expected to occur from the proposed project is attached. The estimates of stormwater runoff quality and quantity are based on the area and type of impervious cover. Include the runoff coefficient of the site for both pre-construction and post-construction conditions.

### ***Wastewater to be generated by the Proposed Project***

14. The character and volume of wastewater is shown below:

<u>100</u> % Domestic	<u>60,270</u>	Gallons/day
<u>      </u> % Industrial	<u>          </u>	Gallons/day
<u>      </u> % Commingled	<u>          </u>	Gallons/day
TOTAL gallons/day <u>60,270</u>		

15. Wastewater will be disposed of by:

On-Site Sewage Facility (OSSF/Septic Tank):

**Attachment C - Suitability Letter from Authorized Agent.** An on-site sewage facility will be used to treat and dispose of the wastewater from this site. The appropriate licensing authority's (authorized agent) written approval is attached. It states that the land is suitable for the use of private sewage facilities and will meet or exceed the requirements for on-site sewage facilities as specified under 30 TAC Chapter 285 relating to On-site Sewage Facilities.

Each lot in this project/development is at least one (1) acre (43,560 square feet) in size. The system will be designed by a licensed professional engineer or registered sanitarian and installed by a licensed installer in compliance with 30 TAC Chapter 285.

Sewage Collection System (Sewer Lines):

Private service laterals from the wastewater generating facilities will be connected to an existing SCS.

Private service laterals from the wastewater generating facilities will be connected to a proposed SCS.

The SCS was previously submitted on 11/10/2021.

The SCS was submitted with this application.

The SCS will be submitted at a later date. The owner is aware that the SCS may not be installed prior to Executive Director approval.

The sewage collection system will convey the wastewater to The City of Buda (Downtown) Wastewater Treatment Plant. The treatment facility is:

Existing.

Proposed.

16.  All private service laterals will be inspected as required in 30 TAC §213.5.

## **Site Plan Requirements**

**Items 17 – 28 must be included on the Site Plan.**

17.  The Site Plan must have a minimum scale of 1" = 400'.

Site Plan Scale: 1" = 200'.

18. 100-year floodplain boundaries:

Some part(s) of the project site is located within the 100-year floodplain. The floodplain is shown and labeled.

No part of the project site is located within the 100-year floodplain.

The 100-year floodplain boundaries are based on the following specific (including date of material) sources(s): \_\_\_\_\_

19.  The layout of the development is shown with existing and finished contours at appropriate, but not greater than ten-foot contour intervals. Lots, recreation centers, buildings, roads, open space, etc. are shown on the plan.

The layout of the development is shown with existing contours at appropriate, but not greater than ten-foot intervals. Finished topographic contours will not differ from the existing topographic configuration and are not shown. Lots, recreation centers, buildings, roads, open space, etc. are shown on the site plan.

20. All known wells (oil, water, unplugged, capped and/or abandoned, test holes, etc.):

There is one (1) well present on the project site and the locations are shown and labeled. (Check all of the following that apply)

The wells are not in use and have been properly abandoned.

The wells are not in use and will be properly abandoned.

The wells are in use and comply with 16 TAC §76.

There are no wells or test holes of any kind known to exist on the project site.

21. Geologic or manmade features which are on the site:

All sensitive geologic or manmade features identified in the Geologic Assessment are shown and labeled.

No sensitive geologic or manmade features were identified in the Geologic Assessment.

**Attachment D - Exception to the Required Geologic Assessment.** A request and justification for an exception to a portion of the Geologic Assessment is attached.

22.  The drainage patterns and approximate slopes anticipated after major grading activities.

23.  Areas of soil disturbance and areas which will not be disturbed.



- 24.  Locations of major structural and nonstructural controls. These are the temporary and permanent best management practices.
- 25.  Locations where soil stabilization practices are expected to occur.
- 26.  Surface waters (including wetlands).
  - N/A
- 27.  Locations where stormwater discharges to surface water or sensitive features are to occur.
  - There will be no discharges to surface water or sensitive features.
- 28.  Legal boundaries of the site are shown.

### ***Administrative Information***

- 29.  Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.
- 30.  Any modification of this WPAP will require Executive Director approval, prior to construction, and may require submission of a revised application, with appropriate fees.

## ***Factors Affecting Water Quality***

Materials that are anticipated to be used on site that could be a potential source of contamination include the following:

During Construction:

1. Concrete and Masonry Materials
2. Wood, plastic, and metal Materials
3. Tar and hydrocarbons from paving operations
4. Oil, Grease, fuel, and hydraulic fluid from construction equipment and vehicle drippings
5. Fertilizers, Herbicides, and Pesticides
6. Cleaning solutions and detergents
7. Miscellaneous construction trash and debris
8. Soil erosion and sedimentation due to construction activity

Ultimate Use:

1. Pollutants generated from vehicles utilizing the site
2. Fertilizers, Herbicides, and pesticides used to maintain landscaping
3. Miscellaneous trash and debris generated from the public

(This is not intended to be an all-inclusive list)

All practical management practices will be used to reduce the risk of spills and other exposure of any contaminant to surface or groundwater.

# Volume and Character of Storm Water

The proposed Colony at Cole Springs Phase 1 project within the Recharge Zone includes the construction of 32 single family lots and associated civil improvements including, water, wastewater, roadways. There are two road connections to Colony at Cole Springs Phase 1 to provide ingress and egress from the site. Impervious cover for the site within the Recharge Zone of Phase 1 totals 3.92 total acres (36.26%) of impervious cover proposed.

Under existing conditions, the site generally flows from West to East. The site is a part of two watersheds, with both discharging into onion creek on the eastern property boundary. This flow is then carried off the property to the north

Part of Phase 1 is located in the Federal Emergency Management Agency’s 100-year floodplain according to FIRM 48209CO280F, Hays County, Texas and incorporated areas, dated September 2, 2005. In proposed conditions, all onsite flow will be captured and conveyed through a proposed storm system. Water will be treated according to TCEQ requirements. The area of Phase 1 within the recharge zone will be treated by Pond 2. The remainder of Phase 1 will be treated by both Pond 2 and Pond 3. Pond 1 will be built at a later date to treat stormwater from future phases. Offsite drainage has no impervious cover and is remaining in its natural state; therefore no treatment will be provided for these areas.

The subject site has no existing detention or water quality ponds. Three (3) on site Batch detention ponds are proposed on site for the entire subdivision. Only Pond 2 and Pond 3 will be built during Phase 1. The Detention and Water Quality Structures are sized per current City of Buda and TCEQ design standards. Drainage area maps and calculations are included in the plan set for reference

Regarding stormwater volume (quantity) of the stormwater runoff which is expected to occur from the proposed project, see table below depicting existing vs proposed runoff volume. This increase of runoff is being detained in proposed detention ponds to at or below existing condition runoff rates for the 2, 10, 25 and 100 year events.

	<b>Storm Event</b>	<b>Volume of Runoff (CF)</b>
<b>EXISTING</b>	2	775,640
	10	1,599,733
	25	2,242,723
	100	3,142,705,896
<b>PROPOSED</b>	2	853,640
	10	1,698,155
	25	2,349,904
	100	3,143,385,432

## ***Suitability Letter From Authorized Agent***

An on-site sewage facility will **not** be used to treat and dispose of the wastewater.

***Exception to the Required Geologic Assessment***

No sensitive geologic or manmade features were identified in the geologic assessment. Therefore, an exception to the Geologic Assessment Requirements will not be required.

# SECTION 5: TEMPORARY STORMWATER SECTION

# Temporary Stormwater Section

## Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

**To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.**

**Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.**

## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Alex Granados, P.E.

Date: July 17, 2023

Signature of Customer/Agent:



Regulated Entity Name: Colony at Cole Springs Phase 1

## Project Information

### Potential Sources of Contamination

*Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.*

1. Fuels for construction equipment and hazardous substances which will be used during construction:

The following fuels and/or hazardous substances will be stored on the site: \_\_\_\_\_

These fuels and/or hazardous substances will be stored in:

Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.

- Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- Fuels and hazardous substances will not be stored on the site.
- 2.  **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3.  Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4.  **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

### ***Sequence of Construction***

- 5.  **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
  - For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
  - For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6.  Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project:   N/A

### ***Temporary Best Management Practices (TBMPs)***

*Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.*

- 7.  **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:
  - A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.



- A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
  - A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
  - A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8.  The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
  - There will be no temporary sealing of naturally-occurring sensitive features on the site.
9.  **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10.  **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
  - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
  - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
  - There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.
  - There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.

11.  **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.  
 N/A
12.  **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13.  All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14.  If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15.  Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16.  Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

## ***Soil Stabilization Practices***

*Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.*

17.  **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.
18.  Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
19.  Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

## ***Administrative Information***

20.  All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
21.  If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
22.  Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.

## Spill Response Actions

If there is an accidental spill on site, the contractor shall respond with appropriate action. The contractor will be required to contact the owner and in turn the owner will contact the TCEQ in the event of a spill on site. In addition to the following guidance, reference the latest version of TCEQ's Technical Guidance Manual (TGM) RG-348 Section 1.4.16. Onsite personnel will be trained to follow the spill response actions for the site.

### Cleanup

- Clean up leaks and spills immediately.
- Use a rag for small spills on paved surfaces, a damp mop for general cleanup, and absorbent material for larger spills. If the spilled material is hazardous, then the used cleanup materials are also hazardous and must be disposed of as hazardous waste.
- Never hose down or bury dry material spills. Clean up as much of the material as possible and dispose of properly. See the waste management BMPs in this section for specific information.

### Minor Spills

- Minor spills typically involve small quantities of oil, gasoline, paint, etc. which can be controlled by the first responder at the discovery of the spill.
- Use absorbent materials on small spills rather than hosing down or burying the spill.
- Absorbent materials should be promptly removed and disposed of properly.
- Follow the practice below for a minor spill:
  - Contain the spread of the spill.
  - Recover spilled materials.
  - Clean the contaminated area and properly dispose of contaminated materials.

### Semi-Significant Spills

Semi-significant spills still can be controlled by the first responder along with the aid of other personnel such as laborers and the foreman, etc. This response may require the cessation of all other activities.

Spills should be cleaned up immediately:

- Contain spread of the spill.
- Notify the project foreman immediately.
- If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (absorbent materials, cat litter and/or rags). Contain the spill by encircling with absorbent materials and do not let the spill spread widely.
- If the spill occurs in dirt areas, immediately contain the spill by constructing an earthen dike. Dig up and properly dispose of contaminated soil.
- If the spill occurs during rain, cover spill with tarps or other material to prevent contaminating runoff.

### Significant/Hazardous Spills

For significant or hazardous spills that are in reportable quantities:

- Notify the TCEQ by telephone as soon as possible and within 24 hours at (512)339-2929 (Austin) or 210-490-3096 (San Antonio) between 8 AM and 5 PM. After hours, contact the Environmental Release Hotline at 1-800-832-8224. It is the contractor's responsibility to have all emergency phone numbers at the construction site.

- For spills of federal reportable quantities, in conformance with the requirements in 40 CFR parts 110,119, and 302, the contractor should notify the National Response Center at (800) 424-8802.
- Notification should first be made by telephone and followed up with a written report.
- The services of a spills contractor or a Haz-Mat team should be obtained immediately. Construction personnel should not attempt to clean up until the appropriate and qualified staffs have arrived at the job site.
- Other agencies which may need to be consulted include, but not limited to, the City Police Department, County Sheriff Office, Fire Departments, etc.

## Potential Sources of Contamination

Potential Source: Oil, grease, fuel, and hydraulic fluid contamination from construction equipment and vehicle dripping.

Preventative Measures: Vehicle maintenance will be performed within the construction staging area or a local maintenance shop.

Potential Source: Miscellaneous trash and litter from construction workers and material wrappings.

Preventative Measures: Trash containers will be placed throughout the site to encourage proper disposal of trash.

Potential Source: Silt leaving the site.

Preventative Measures: Contractor will install all temporary best management practices prior to start of construction including the stabilized construction entrance to prevent tracking onto adjoining streets.

Potential Source: Construction Debris.

Preventative Measures: Construction debris will be monitored daily by contractor. Debris will be collected weekly and placed in disposal bins. Situations requiring immediate attention will be addressed on a case by case basis.

Potential Source: Soil and Mud from Construction Vehicle tires as they leave the site.

Preventative Measures: A stabilized construction exit shall be utilized as vehicles leave the site. Any soil, mud, etc. carried from the project onto public roads shall be cleaned up within 24 hours.

Potential Source: Sediment from soil, sand, gravel and excavated materials stock piled on site.

Preventative Measures: Silt fence shall be installed on the down gradient side of the stock piled materials. Reinforced rock berms shall be installed at all downstream discharge locations.

Potential Source: Portable toilet spill.

Preventative Measures: Toilets on the site will be emptied on a regular basis by the contracted toilet company.

## Sequence of Major Activities

The installation of erosion and sedimentation controls shall occur prior to any excavation of materials or major disturbances on the site. The sequence of major construction activities will be as follows. Approximate acreage to be disturbed is listed in parentheses next to each activity.

### Intended Schedule or Sequence of Major Activities:

1. Construct Access (0.05 Acres)
2. Installation of Temporary BMPs (116.26 Acres)
3. Initiate Grubbing and Topsoil Stripping of Site (116.26 Acres)
4. Rough Subgrade Preparation (earthwork, grading, street and drainage excavation and embankment) (116.26 Acres)
5. Wet and Dry Utility Construction (6 Acres)
6. Final Subgrade Preparation (11.4 Acres)
7. Installation of Base Materials (11.4 Acres)
8. Concrete (foundations, curbs, flatwork) (14.4 Acres)
9. Building Construction (19.6 Acres)
10. Paving Activities (11.4 Acres)
11. Permanent Soil Stabilization, Topsoil, Irrigation and Landscaping (116.26 Acres)
12. Site cleanup and Removal of Temporary BMPs (116.26 Acres)

Maximum total construction time is not expected to exceed 36 months.

## Temporary Best Management Practices and Measures

- A. No storm water originates up gradient that impacts the site.
- B. Temporary BMPs will be installed prior to soil disturbing construction activity. Silt fencing will be placed along the down-gradient sides of the property to prevent silt from escaping the construction area. A temporary construction entrance will be placed on site to reduce vehicle “tracking” onto adjoining streets. A concrete washout pit will be used to collect all excess concrete during construction. A spoils and staging area will be designated as part of the temporary best management practices near the intersection of Old Black Colony Road and the proposed Clarissa Street.

BMPs for this project will protect surface water or groundwater from turbid water, phosphorus, sediment, oil, and other contaminants, which may mobilize in storm water flows by slowing the flow of runoff to allow sediment and suspended solids to settle out of the runoff.

Practices may also be implemented on site for interim and permanent stabilization. Stabilization practices may include but are not limited to: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of existing trees and vegetation, and other similar measures.

- C. There are no sensitive features or surface streams within the boundaries of the project. The temporary onsite BMPs will be used to treat stormwater runoff before it leaves the project and prevent pollutants from entering into surface streams or any sensitive features down-gradient of the site.
- D. There were no sensitive features identified during the geologic assessment. However, the BMPs for this project are designed to allow water to pass through after sedimentation has occurred. Existing flow patterns will be maintained to any naturally-occurring sensitive features that are discovered during construction.



## Request To Temporarily Seal a Feature

Naturally-occurring features will not be sealed on the site.

## Structural Practices

Structural BMPs will be used to limit runoff discharge of pollutants from exposed areas of the site. BMPs will be installed prior to soil disturbing construction activity. Silt fencing will be placed along the down-gradient sides of the property to prevent silt from escaping the construction area. A temporary construction entrance will be placed at the site entry/exit point to reduce tracking onto adjoining streets. A construction staging area will be used onsite to perform all vehicle maintenance and for equipment and material storage. A concrete truck washout pit will be placed on site to provide containment and easier cleanup of waste from concrete operations. The location of all structural temporary BMP's are shown on the erosion control plan sheet and details and specifications are provided on the erosion control details sheet which can be found at the end of this report under Section 8.

### Description of Temporary BMPs

#### Temporary Construction Entrance/Exit

The purpose of a temporary gravel construction entrance is to provide a stable entrance/exit condition from the construction site and keep mud and sediment off public roads. A stabilized construction entrance is a stabilized pad of crushed stone located at any point traffic will be entering or leaving the construction site from a public right-of-way, street, alley, sidewalk or parking area. The purpose of a stabilized construction entrance is to reduce or eliminate the tracking or flowing of sediment onto public rights-of-way. This practice should be used at all points of construction ingress and egress.

Excessive amounts of mud can also present a safety hazard to roadway users. To minimize the amount of sediment loss to nearby roads, access to the construction site should be limited to as few points as possible and vegetation around the perimeter should be protected where access is not necessary. A rock stabilized construction entrance should be used at all designated access points.

#### Inspection and Maintenance Guidelines:

- (1) The entrance should be maintained in a condition, which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment.
- (2) All sediment spilled, dropped, washed or tracked onto public rights-of-way should be removed immediately by contractor.
- (3) When necessary, wheels should be cleaned to remove sediment prior to entrance onto public right-of-way.
- (4) When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin.
- (5) All sediment should be prevented from entering any storm drain, ditch or water course by using approved methods.

#### Silt Fence

The purpose of a silt fence is to intercept and detain water-borne sediment from unprotected areas of a limited extent. Silt fence is used during the period of construction near the perimeter of a disturbed area to intercept sediment while allowing water to percolate through. This fence should remain in place until the disturbed area is permanently stabilized. Silt fence should not be used where there is a concentration of water in a channel or drainage way. If concentrated flow occurs after installation, corrective action must be taken such as placing a rock berm in the areas of concentrated flow.

Silt fencing within the site may be temporarily moved during the day to allow construction activity provided it is replaced and properly anchored to the ground at the end of the day. Silt fences on the perimeter of the site or around drainage ways should not be moved at any time.

## Inspection and Maintenance Guidelines:

- (1) Inspect all fencing weekly, and after any rainfall.
- (2) Remove sediment when buildup reaches 6 inches.
- (3) Replace any torn fabric or install a second line of fencing parallel to the torn section.
- (4) Replace or repair any sections crushed or collapsed in the course of construction activity. If a section of fence is obstructing vehicular access, consider relocating it to a spot where it will provide equal protection, but will not obstruct vehicles. A triangular filter dike may be preferable to a silt fence at common vehicle access points.
- (5) When construction is complete, the sediment should be disposed of in a manner that will not cause additional siltation and the prior location of the silt fence should be revegetated. The fence itself should be disposed of in an approved landfill.

## Concrete Washout Area

The purpose of concrete washout areas is to prevent or reduce the discharge of pollutants to stormwater from concrete waste by conducting washout offsite, performing onsite washout in a designated area, and training employees and subcontractors.

The following steps will help reduce stormwater pollution from concrete wastes:

- Incorporate requirements for concrete waste management into material supplier and subcontractor agreements.
- Avoid mixing excess amounts of fresh concrete.
- Perform washout of concrete trucks in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped onsite, except in designated areas.
- For onsite washout:
  - Locate washout area at least 50 feet from sensitive features, storm drains, open ditches, or water bodies. Do not allow runoff from this area by constructing a temporary pit or bermed area large enough for liquid and solid waste.
  - Wash out wastes into the temporary pit where the concrete can set, be broken up, and then disposed properly.

Below grade concrete washout facilities are typical. These consist of a lined excavation sufficiently large to hold expected volume of washout material. Above grade facilities are used if excavation is not practical. Temporary concrete washout facility (type above grade) should be constructed as shown on the details at the end of this section, with sufficient quantity and volume to contain all liquid and concrete waste generated by washout operations. Plastic lining material should be a minimum of 10 mil in polyethylene sheeting and should be free of holes, tears, or other defects that compromise the impermeability of the material.

When temporary concrete washout facilities are no longer required for the work, the hardened concrete should be removed and disposed of. Materials used to construct temporary concrete washout facilities should be removed from the site of the work and disposed of. Holes, depressions or other ground disturbance caused by the removal of the temporary concrete washout facilities should be backfilled and repaired.

## Rock Berm

The purpose of a rock berm is to serve as a check dam in areas of concentrated flow, to intercept sediment-laden runoff, detain the sediment and release the water in sheet flow. The rock berm should be used when the contributing drainage area is less than 5 acres. Rock berms are used in areas where the volume of runoff is too great for a silt fence to contain. They are less effective for sediment removal than silt fences, particularly for fine particles, but are able to withstand higher flows than a silt fence. As such, rock berms are often used in areas of channel flows (ditches, gullies, etc.). Rock berms are most effective at reducing bed load in channels and should not be substituted for other erosion and sediment control measures further up the watershed.

### Inspection and Maintenance Guidelines:

- (1) Inspection should be made weekly and after each rainfall by the responsible party. For installations in streambeds, additional daily inspections should be made.
- (2) Remove sediment and other debris when buildup reaches 6 inches and dispose of the accumulated silt in an approved manner that will not cause any additional siltation.
- (3) Repair any loose wire sheathing.
- (4) The berm should be reshaped as needed during inspection.
- (5) The berm should be replaced when the structure ceases to function as intended due to silt accumulation among the rocks, washout, construction traffic damage, etc.
- (6) The rock berm should be left in place until all upstream areas are stabilized and accumulated silt removed.

## Inlet Protection

Storm sewers that are made operational prior to stabilization of the associated drainage areas can convey large amounts of sediment to natural drainage ways. In case of extreme sediment loading, the storm sewer itself may clog and lose a major portion of its capacity. To avoid these problems, it is necessary to prevent sediment from entering the system at the inlets. The following guidelines for inlet protection are based primarily on recommendations by the Virginia Dept. of Conservation and Recreation (1992) and the North Central Texas Council of Governments (NCTCOG, 1993b).

In developments for which drainage is to be conveyed by underground storm sewers (i.e., streets with curbs and gutters), all inlets that may receive storm runoff from disturbed areas should be protected. Temporary inlet protection is a series of different measures that provide protection against silt transport or accumulation in storm sewer systems. This clogging can greatly reduce or completely stop the flow in the pipes. The different measures are used for different site conditions and inlet types.

Care should be taken when choosing a specific type of inlet protection. Field experience has shown that inlet protection that causes excessive ponding in an area of high construction activity may become so inconvenient that it is removed or bypassed, thus transmitting sediment-laden flows unchecked. In such situations, a structure with an adequate overflow mechanism should be utilized.

It should also be noted that inlet protection devices are designed to be installed on construction sites and not on streets and roads open to the public. When used on public streets these devices will cause ponding of runoff, which can cause minor flooding and can present a traffic hazard. An example of appropriate siting would be a new subdivision where the storm drain system is installed before the area is stabilized and the streets open to the general public. When construction occurs adjacent to active streets, the sediment should be controlled on site and not on public thoroughfares. Occasionally, roadwork or utility installation will occur on public roads. In these cases, inlet protection is an appropriate temporary BMP.

The following inlet protection devices are for drainage areas of one acre or less. Runoff from larger disturbed areas should be routed to a temporary sediment trap or basin.

Filter barrier protection using silt fence is appropriate when the drainage area is less than one acre and the basin slope is less than five percent. This type of protection is not applicable in paved areas.

Block and gravel protection is used when flows exceed 0.5 cubic feet per second and it is necessary to allow for overtopping to prevent flooding. This form of protection is also useful for curb type inlets as it works well in paved areas.

Wire mesh and gravel protection is used when flows exceed 0.5 cubic feet per second and construction traffic may occur over the inlet. This form of protection may be used with both curb and drop inlets.

Excavated impoundment protection around a drop inlet may be used for protection against sediment entering a storm drain inlet. With this method, it is necessary to install weep holes to allow the impoundment to drain completely. If this measure is implemented, the impoundment should be sized such that the volume of excavation is 3,600 cubic feet per acre (equivalent to 1 inch of runoff) of disturbed area entering the inlet.

#### Inspection and Maintenance Guidelines:

- (1) Inspection should be made weekly and after each rainfall. Repair or replacement should be made promptly as needed by the contractor.
- (2) Remove sediment when buildup reaches a depth of 3 inches. Removed sediment should be deposited in a suitable area and in such a manner that it will not erode.
- (3) Check placement of device to prevent gaps between device and curb.
- (4) Inspect filter fabric and patch or replace if torn or missing.
- (5) Structures should be removed and the area stabilized only after the remaining drainage area has been properly stabilized.

## Drainage Area Map

There are two areas greater than 10 acres within a common drainage area that will be disturbed at one time. An existing and proposed drainage area map is provided at the end of this report in Section 8 to support the aforementioned requirement.

# Temporary Sediment Pond(s) Plans and Calculations

A sedimentation basin is required, where feasible, for a common drainage location that serves an area with ten (10) or more acres disturbed at one time.

A sedimentation basin may be temporary or permanent and must provide sufficient storage to contain a calculated volume of runoff from a 2-year, 24-hour storm from each disturbed acre drained. When calculating the volume of runoff from a 2-year, 24-hour storm event, it is not required to include the flows from offsite areas and flow from onsite areas that are either undisturbed or have already undergone permanent stabilization, if these flows are diverted around both the disturbed areas of the site and the sediment basin.

Where rainfall data is not available or a calculation cannot be performed, the sedimentation basin must provide at least 3,600 cubic feet of storage per acre drained until final stabilization of the site.

If a sedimentation basin is not feasible, then the permittee shall provide equivalent control measures until final stabilization of the site. In determining whether installing a sediment basin is feasible, the permittee may consider factors such as site soils, slope, available area, public safety, precipitation patterns, site geometry, site vegetation, infiltration capacity, geotechnical factors, depth to groundwater, and other similar considerations. The permittee shall document the reason that the sediment basins are not feasible, and shall utilize equivalent control measures, which may include a series of smaller sediment basins.

## **Sites With Drainage Areas Less than Ten Acres**

Sediment traps and sediment basins may be used to control solids in storm water runoff for drainage locations serving less than ten (10) acres.

Alternatively, a sediment basin that provides storage for a calculated volume of runoff from a 2-year, 24-hour storm from each disturbed acre drained may be utilized. Where rainfall data is not available or a calculation cannot be performed, a temporary or permanent sediment basin providing 3,600 cubic feet of storage per acre drained may be provided.

## **Proposed Sedimentation Basin Calculations**

For Colony at Cole Springs Phase 1, the proposed onsite batch detention ponds will serve as a storage for on-site and off-site drainage. The basins will be designed to contain the 3,600 cubic feet per acre of disturbed area draining to the pond.

### **Temporary Sedimentation:**

The batch detention ponds will serve as storage for on-site and off-site drainage for Colony at Cole Springs Phase 1 (as shown on sheets 151-156 of the construction drawings) during the construction phase.

# Inspection and Maintenance for BMPs

## Personnel Responsible for Inspections

The agent that performs the inspections should be knowledgeable of this general permit, familiar with the construction site, and knowledgeable of the SWPPP for the site. The contractor is to provide an inspector with a CPESC, CESSWI, or CISEC certification. Documentation of the inspector's qualifications is to be included in the attached Inspector Qualifications Log.

## Inspection Schedule

The primary operator is required to choose one of the two inspections listed below.

- Option 1:** Once every seven calendar days. If this alternative schedule is developed, then the inspection must occur regardless of whether or not there has been a rainfall event since the previous inspection.
- Option 2:** Once every 14 calendar days and within 24 hours of the end of a storm event of two inches or greater.

The inspections may occur on either schedule provided that documentation reflects the current schedule and that any changes to the schedule are conducted in accordance with the following provisions: the schedule may be changed a maximum of one time each month, the schedule change must be implemented at the beginning of a calendar month, and the reason for the schedule change must be documented (e.g., end of “dry” season and beginning of “wet” season).

If option 2 is the chosen frequency of inspections a rain gauge must be properly maintained on site or the storm event information from a weather station that is representative of the site location. For any day of rainfall during normal business hours that measures 0.25 inches or greater, proper documentation of the total rainfall measured for that day must be recorded.

Personnel provided by the permittee must inspect:

- disturbed areas of the construction site that have not been finally stabilized;
- areas used for storage of materials that are exposed to precipitation;
- structural controls (for evidence of, or the potential for, pollutants entering the drainage system);
- rock berms;
- concrete washout area;
- inlet protection;
- sediment and erosion control measures identified in the SWP3 (to ensure they are operating correctly); and
- locations where vehicles enter or exit the site (for evidence of off-site sediment tracking).

## Reductions in Inspection Frequency

Where sites have been finally or temporarily stabilized or where runoff is unlikely due to winter conditions (e.g. site is covered with snow, ice, or frozen ground exists), inspections must be conducted at least once every month. In arid, semi-arid, or drought-stricken areas, inspections must be conducted at least once every month and within 24 hours after the end of a storm event of 0.5 inches or greater. A record of the total rainfall measured, as well as the approximate beginning and ending dates of winter or drought conditions resulting in monthly frequency of inspections in the attached Rain Gauge Log.

In the event of flooding or other uncontrollable situations which prohibit access to the inspection sites, inspections must be conducted as soon as access is practicable.



## **Inspection Report Forms**

Use the Inspection Report Forms given as a checklist to ensure that all required areas of the construction site are addressed. There is space to document the inspector's name as well as when the inspections regularly take place. The tables will document that the required area was inspected. (If there were any areas of concern, briefly describe them in this space with a more detailed description in the narrative section. Use the last table to document any discharges found during the inspections).

Describe how effective the installed BMPs are performing. Describe any BMP failures that were noted during the investigation and describe any maintenance required due to the failure. If new BMPs are needed as the construction site changes, the inspector can use the space at the bottom of the section to list BMPs to be implemented before the next inspection.

Describe the inspector's qualifications, how the inspection was conducted, and describe any areas of non-compliance in detail. If an inspection report does not identify any incidents of non-compliance, then it must contain a certifying signature stating that the facility or site is in compliance. The report must be signed by a person and in a manner required by 30 TAC 305.128. There is space at the end of the form to allow for this certifying signature.

Whenever an inspection shows that BMP modifications are needed to better control pollutants in runoff, the changes must be completed within seven calendar days following the inspection. If existing BMPs are modified or if additional BMPs are needed, you must describe your implementation schedule, and wherever possible, make the required BMP changes before the next storm event.

The Inspection Report Form functions as the required report and must be signed in accordance with TCEQ rules at 30 TAC 305.128.

## **Corrective Action**

### **Personnel Responsible for Corrective Actions**

Both Primary and Secondary Operators are responsible for maintaining all necessary Corrective Actions. If an individual is specifically identified as the responsible party for modifying the contact information for that individual should be documented in the attached Inspector Qualifications Log.

### **Corrective Action Forms**

The Temporary BMPs must be modified based on the results of inspections, as necessary, to better control pollutants in runoff. Revisions must be completed within seven (7) calendar days following the inspection. If existing BMPs are modified or if additional BMPs are necessary, an implementation schedule must be described in the attached forms and wherever possible those changes implemented before the next storm event. If implementation before the next anticipated storm event is impracticable, these changes must be implemented as soon as practicable. Actions taken as a result of inspections must be properly documented by completing the corrective action forms given.

## **Schedule of Interim and Permanent Soil Stabilization**

Construction practices shall disturb the minimal amount of existing ground cover as required for land clearing, grading, and construction activity for the shortest amount of time possible to minimize the potential of erosion and sedimentation from the site. Existing vegetation shall be maintained and left in place until it is necessary to disturb for construction activity. For this project the following stabilization practices will be implemented:

1. Hydraulic Mulch and Seeding: Disturbed areas subject to erosion shall be stabilized with hydraulic mulch and/or seeded and watered to provide interim stabilization. For areas that are not to be sodded as per the project landscaping plan, a minimum of 85% vegetative cover will be established to provide permanent stabilization.
2. Sodding and Wood Mulch: As per the project landscaping plan, Sodding and wood mulch will be applied to landscaped areas to provide permanent stabilization prior to project completion.

Records of the following shall be maintained:

- a) The dates when major grading activities occur;

- b) The dates when construction activities temporarily or permanently cease on a portion of the site; and
- c) The dates when stabilization measures are initiated.

Stabilization measures must be initiated as soon as practical in portions of the site where construction activities have temporarily or permanently ceased, and except as provided in the following, must be initiated no more that fourteen (14) days after the construction activity in that portion of the site has temporarily or permanently ceased:

Where the initiation of stabilization measures by the 14<sup>th</sup> day after construction activity temporarily or permanently ceased is precluded by snow cover or frozen ground conditions, stabilization measures must be initiated as soon as practical.

Where construction activity on a portion of the site is temporarily ceased and earth disturbing activities will be resumed within twenty-one (21) days, temporary stabilization measures do not have to be initiated on that portion of the site.

In arid areas (areas with an average rainfall of 0-10 inches), semiarid areas (areas with an average annual rainfall of 10 to 20 inches), and areas experiencing droughts where the initiation of stabilization measures by the 14<sup>th</sup> day after construction activity has temporarily or permanently ceased is precluded by seasonably arid conditions, stabilization measures must be initiated as soon as practical.

## **Maintenance**

Below are some maintenance practices to be used to maintain erosion and sediment controls:

- All measures will be maintained in good working order. The operator should correct any damage or deficiencies as soon as practicable after the inspection, but in no case later than seven (7) calendar days after the inspection.
- BMP Maintenance (as applicable)
- Sediment must be removed from sediment traps and sedimentation ponds no later than the time that design capacity has been reduced by 50%. For perimeter controls such as silt fences, berms, etc., the trapped sediment must be removed before it reaches 50% of the above-ground height.
- Silt fence will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.
- Drainage swale will be inspected and repaired as necessary.
- Inlet control and protection will be inspected and repaired as necessary.
- Check dam will be inspected and repaired as necessary.
- Straw bale dike will be inspected and repaired as necessary.
- Diversion dike will be inspected and any breaches promptly repaired.
- Stabilized construction entrance will be inspected and repaired as necessary.
- Rock berms will be inspected and repaired as necessary.
- Concrete washout area will be inspected and maintained as necessary.
- Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth.
- If sediment escapes the site, accumulations must be removed at a frequency that minimizes off-site impacts, and prior to the next rain event, if feasible. If the permittee does not own or operate the off-site conveyance, then the permittee must work with the owner or operator of the property to remove the sediment.

- Locations where vehicles enter or exit the site must be inspected for evidence of off-site sediment tracking.

To maintain the above practices, the following will be performed:

- Maintenance and repairs will be conducted before the next anticipated storm event or as necessary to maintain the continued effectiveness of storm water controls. Following an inspection, deficiencies should be corrected no later than seven (7) calendar days after the inspection.

**Inspector Qualifications Log\***

Inspector Name: \_\_\_\_\_  
Qualifications (Check as appropriate and provide description):  
 Training Course \_\_\_\_\_  
 Supervised Experience \_\_\_\_\_  
 Other \_\_\_\_\_

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Inspector Name: \_\_\_\_\_  
Qualifications (Check as appropriate and provide description):  
 Training Course \_\_\_\_\_  
 Supervised Experience \_\_\_\_\_  
 Other \_\_\_\_\_

-----  
Inspector Name: \_\_\_\_\_  
Qualifications (Check as appropriate and provide description):  
 Training Course \_\_\_\_\_  
 Supervised Experience \_\_\_\_\_  
 Other \_\_\_\_\_

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Inspector Name: \_\_\_\_\_  
Qualifications (Check as appropriate and provide description):  
 Training Course \_\_\_\_\_  
 Supervised Experience \_\_\_\_\_  
 Other \_\_\_\_\_

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Inspector Name: \_\_\_\_\_  
Qualifications (Check as appropriate and provide description):  
 Training Course \_\_\_\_\_  
 Supervised Experience \_\_\_\_\_  
 Other \_\_\_\_\_

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Inspector Name: \_\_\_\_\_  
Qualifications (Check as appropriate and provide description):  
 Training Course \_\_\_\_\_  
 Supervised Experience \_\_\_\_\_  
 Other \_\_\_\_\_

*\* The agent that performs the inspections should be knowledgeable of this general permit, familiar with the construction site, and knowledgeable of the SWPPP for the site. The contractor is to provide an inspector with a CPESC, CESSWI, or CISEC certification.*

***Amendment Log***

No.	Description of the Amendment	Date of Amendment	Amendment Prepared by [Name(s) and Title]

## *Construction Activity Sequence Log*

Name of Operator	Projected dates Month/year	Activity Disturbing Soil clearing, excavation, etc.	Location on-site where activity will be conducted	Acreage being disturbed

\*Construction activity sequences for linear projects may be conducted on a rolling basis. As a result, construction activities may be at different stages at different locations in the project area. The Contractor is required to complete and update the schedule and adjust as necessary.

***Stormwater Control Installation and Removal Log***

<b>Stormwater Control</b>	<b>Location On-Site</b>	<b>Installation Date</b>	<b>Removal Date</b>

**Stabilization Activities Log**

Date Activity Initiated	Description of Activity	Description of Stabilization Measure and Location	Date Activity Ceased (Indicate Temporary or Permanent)	Date When Stabilization Measures Initiated

Stabilization and erosion control practices may include, but are not limited to: establishing temporary or permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, and protecting existing trees and vegetation. List practices used where they are located, when they will be implemented, and whether they are temporary (interim) or permanent.





Rain Gauge Log

Date	Location of Rain Gauge	Gauge Reading

General Information					
Name of Project		Tracking No.		Inspection Date	
Inspector Name, Title & Contact Information					
Present Phase of Construction					
Inspection Location (if multiple inspections are required, specify location where this inspection is being conducted)					
<b>Inspection Frequency</b> <b>Standard Frequency:</b> <input type="checkbox"/> Weekly <input type="checkbox"/> Every 14 days and within 24 hours of a 0.25" rain <b>Increased Frequency:</b> <input type="checkbox"/> Every 7 days and within 24 hours of a 0.25" rain <b>Reduced Frequency:</b> - <input type="checkbox"/> Once per month (for stabilized areas) - <input type="checkbox"/> Once per month and within 24 hours of a 0.25" rain (for arid, semi-arid, or drought-stricken areas during seasonally dry periods or during drought) - <input type="checkbox"/> Once per month (for frozen conditions where earth-disturbing activities are being conducted)					
<b>Was this inspection triggered by a 0.25" storm event?</b> <input type="checkbox"/> Yes <input type="checkbox"/> No <b>If yes, how did you determined whether a 0.25" storm event has occurred?</b> <input type="checkbox"/> Rain gauge on site <input type="checkbox"/> Weather station representative of site. Specify weather station source:  <b>Total rainfall amount that triggered the inspection (in inches):</b>					
<b>Unsafe Conditions for Inspection</b> <b>Did you determine that any portion of your site was unsafe for inspection?</b> <input type="checkbox"/> Yes <input type="checkbox"/> No <b>If "yes", complete the following:</b> - Describe the conditions that prevented you from conducting the inspection in this location:          - Location(s) where conditions were found:					

Condition and Effectiveness of Erosion and Sediment (E&S) Controls				
Type/Location of E&S Control	Repairs or Other Maintenance Needed?	Corrective Action Required?	Date on Which Maintenance or Corrective Action First Identified?	Notes
1.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
2.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
3.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
4.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
5.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
6.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
7.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
8.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
9.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
10.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		

Condition and Effectiveness of Pollution Prevention (P2) Practices				
Type/Location of P2 Practices	Repairs or Other Maintenance Needed?	Corrective Action Required?	Identification Date	Notes
1.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
2.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
3.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
4.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
5.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
6.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
7.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
8.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
9.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
10.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		

Stabilization of Exposed Soil			
Stabilization Area	Stabilization Method	Have You Initiated Stabilization?	Notes
1.		<input type="checkbox"/> YES <input type="checkbox"/> NO If yes, provide date:	
2.		<input type="checkbox"/> YES <input type="checkbox"/> NO If yes, provide date:	
3.		<input type="checkbox"/> YES <input type="checkbox"/> NO If yes, provide date:	
4.		<input type="checkbox"/> YES <input type="checkbox"/> NO If yes, provide date:	
5.		<input type="checkbox"/> YES <input type="checkbox"/> NO If yes, provide date:	
Description of Discharges			
<b>Was a stormwater discharge or other discharge occurring from any part of your site at the time of the inspection?</b> <input type="checkbox"/> Yes <input type="checkbox"/> No <b>If “yes”, provide the following information for each point of discharge:</b>			
Discharge Location	Observations		
1.	Describe the discharge:  At points of discharge and the channels and banks of surface waters in the immediate vicinity, are there any visible signs of erosion and/or sediment accumulation that can be attributed to your discharge? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe what you see, specify the location(s) where these conditions were found, and indicate whether modification, maintenance, or corrective action is needed to resolve the issue:		
2.	Describe the discharge:  At points of discharge and the channels and banks of surface waters in the immediate vicinity, are there any visible signs of erosion and/or sediment accumulation that can be attributed to your discharge? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe what you see, specify the location(s) where these conditions were found, and indicate whether modification, maintenance, or corrective action is needed to resolve the issue:		
3.	Describe the discharge:  At points of discharge and the channels and banks of surface waters in the immediate vicinity, are there any visible signs of erosion and/or sediment accumulation that can be attributed to your discharge? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe what you see, specify the location(s) where these conditions were found, and indicate whether modification, maintenance, or corrective action is needed to resolve the issue:		

## Contractor or Subcontractor Certification and Signature

“I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.”

**Signature of Contractor or Subcontractor:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Printed Name and Affiliation:** \_\_\_\_\_

## Certification and Signature by Permittee

“I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.”

**Signature of Permittee or  
“Duly Authorized Representative”:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Printed Name and Affiliation:** \_\_\_\_\_

<b>Section A – Initial Report</b>				
(Complete this section <u>within 24 hours</u> of discovering the condition that triggered corrective action)				
Name of Project		Tracking No.		Today's Date
Date Problem First Discovered			Time Problem First Discovered	
Name and Contact Information of Individual Completing this Form				
<p>What site conditions triggered the requirement to conduct corrective action:</p> <input type="checkbox"/> A required stormwater control was never installed, was installed incorrectly, or not in accordance with the requirements in Part 2 and/or 3 <input type="checkbox"/> The stormwater controls that have been installed and maintained are not effective enough for the discharge to meet applicable water quality standards <input type="checkbox"/> A prohibited discharge has occurred or is occurring				
Provide a description of the problem:				
Deadline for completing corrective action ( <i>Enter date that is either: (1) no more than 7 calendar days after the date you discovered the problem, or (2) if it is infeasible to complete work within the first 7 days, enter the date that is as soon as practicable following the 7th day</i> ):				
If your estimated date of completion falls after the 7-day deadline, explain (1) why you believe it is infeasible to complete work within 7 days, and (2) why the date you have established for making the new or modified stormwater control operational is the soonest practicable timeframe:				
<b>Section B – Corrective Action Progress</b>				
(Complete this section <u>no later than 7 calendar days</u> after discovering the condition that triggered corrective action)				
<b>Section B.1 – Why the Problem Occurred</b>				
Cause(s) of Problem (Add an additional sheet if necessary)			How This Was Determined and the Date You Determined the Cause	
1.			1.	
2.			2.	
3.			3.	
<b>Section B.2 – Stormwater Control Modifications to be Implemented to Correct the Problem</b>				
List of Stormwater Control Modification(s) Needed to Correct Problem (Add an additional sheet if necessary)	Completion Date	SWPPP Update Necessary?	Notes	
1.		<input type="checkbox"/> Yes <input type="checkbox"/> No Date:		
2.		<input type="checkbox"/> Yes <input type="checkbox"/> No Date:		
3.		<input type="checkbox"/> Yes <input type="checkbox"/> No Date:		



<b>Section A – Initial Report</b>				
(Complete this section <u>within 24 hours</u> of discovering the condition that triggered corrective action)				
Name of Project		Tracking No.		Today's Date
Date Problem First Discovered			Time Problem First Discovered	
Name and Contact Information of Individual Completing this Form				
What site conditions triggered the requirement to conduct corrective action: <input type="checkbox"/> A required stormwater control was never installed, was installed incorrectly, or not in accordance with the requirements in Part 2 and/or 3 <input type="checkbox"/> The stormwater controls that have been installed and maintained are not effective enough for the discharge to meet applicable water quality standards <input type="checkbox"/> A prohibited discharge has occurred or is occurring  Provide a description of the problem:     Deadline for completing corrective action ( <i>Enter date that is either: (1) no more than 7 calendar days after the date you discovered the problem, or (2) if it is infeasible to complete work within the first 7 days, enter the date that is as soon as practicable following the 7th day</i> ):   If your estimated date of completion falls after the 7-day deadline, explain (1) why you believe it is infeasible to complete work within 7 days, and (2) why the date you have established for making the new or modified stormwater control operational is the soonest practicable timeframe:				
<b>Section B – Corrective Action Progress</b>				
(Complete this section <u>no later than 7 calendar days</u> after discovering the condition that triggered corrective action)				
<b>Section B.1 – Why the Problem Occurred</b>				
Cause(s) of Problem (Add an additional sheet if necessary)			How This Was Determined and the Date You Determined the Cause	
1.			1.	
2.			2.	
3.			3.	
<b>Section B.2 – Stormwater Control Modifications to be Implemented to Correct the Problem</b>				
List of Stormwater Control Modification(s) Needed to Correct Problem (Add an additional sheet if necessary)	Completion Date	SWPPP Update Necessary?	Notes	
1.		<input type="checkbox"/> Yes <input type="checkbox"/> No Date:		
2.		<input type="checkbox"/> Yes <input type="checkbox"/> No Date:		
3.		<input type="checkbox"/> Yes <input type="checkbox"/> No Date:		

## Contractor or Subcontractor Certification and Signature

“I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.”

**Signature of Contractor or Subcontractor:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Printed Name and Affiliation:** \_\_\_\_\_

## Certification and Signature by Permittee

“I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.”

**Signature of Permittee or  
“Duly Authorized Representative”:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Printed Name and Affiliation:** \_\_\_\_\_

# SECTION 6: PERMANENT STORMWATER

# Permanent Stormwater Section

## Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(C), (D)(ii), (E), and (5), Effective June 1, 1999

**To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.**

**Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.**

## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Permanent Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Alex Granados, P.E.

Date: July 17, 2023

Signature of Customer/Agent



Regulated Entity Name: Colony at Cole Springs Phase 1

## Permanent Best Management Practices (BMPs)

**Permanent best management practices and measures that will be used during and after construction is completed.**

- Permanent BMPs and measures must be implemented to control the discharge of pollution from regulated activities after the completion of construction.  
 N/A
- These practices and measures have been designed, and will be constructed, operated, and maintained to insure that 85% of the incremental increase in the annual mass loading of total suspended solids (TSS) from the site caused by the regulated activity is removed. These quantities have been calculated in accordance with technical guidance prepared or accepted by the executive director.  
 The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site.

A technical guidance other than the TCEQ TGM was used to design permanent BMPs and measures for this site. The complete citation for the technical guidance that was used is: \_\_\_\_\_

N/A

3.  Owners must insure that permanent BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the appropriate regional office within 30 days of site completion.

N/A

4. Where a site is used for low density single-family residential development and has 20 % or less impervious cover, other permanent BMPs are not required. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

The site will be used for low density single-family residential development and has 20% or less impervious cover.

The site will be used for low density single-family residential development but has more than 20% impervious cover.

The site will not be used for low density single-family residential development.

5. The executive director may waive the requirement for other permanent BMPs for multi-family residential developments, schools, or small business sites where 20% or less impervious cover is used at the site. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

**Attachment A - 20% or Less Impervious Cover Waiver.** The site will be used for multi-family residential developments, schools, or small business sites and has 20% or less impervious cover. A request to waive the requirements for other permanent BMPs and measures is attached.

The site will be used for multi-family residential developments, schools, or small business sites but has more than 20% impervious cover.

The site will not be used for multi-family residential developments, schools, or small business sites.

6.  **Attachment B - BMPs for Upgradient Stormwater.**

- A description of the BMPs and measures that will be used to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site is attached.
  - No surface water, groundwater or stormwater originates upgradient from the site and flows across the site, and an explanation is attached.
  - Permanent BMPs or measures are not required to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site, and an explanation is attached.
7.  **Attachment C - BMPs for On-site Stormwater.**
- A description of the BMPs and measures that will be used to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff from the site is attached.
  - Permanent BMPs or measures are not required to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff, and an explanation is attached.
8.  **Attachment D - BMPs for Surface Streams.** A description of the BMPs and measures that prevent pollutants from entering surface streams, sensitive features, or the aquifer is attached. Each feature identified in the Geologic Assessment as sensitive has been addressed.
- N/A
9.  The applicant understands that to the extent practicable, BMPs and measures must maintain flow to naturally occurring sensitive features identified in either the geologic assessment, executive director review, or during excavation, blasting, or construction.
- The permanent sealing of or diversion of flow from a naturally-occurring sensitive feature that accepts recharge to the Edwards Aquifer as a permanent pollution abatement measure has not been proposed.
  - Attachment E - Request to Seal Features.** A request to seal a naturally-occurring sensitive feature, that includes, for each feature, a justification as to why no reasonable and practicable alternative exists, is attached.
10.  **Attachment F - Construction Plans.** All construction plans and design calculations for the proposed permanent BMP(s) and measures have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer, and are signed, sealed, and dated. The plans are attached and, if applicable include:
- Design calculations (TSS removal calculations)
  - TCEQ construction notes
  - All geologic features
  - All proposed structural BMP(s) plans and specifications
- N/A

11.  **Attachment G - Inspection, Maintenance, Repair and Retrofit Plan.** A plan for the inspection, maintenance, repairs, and, if necessary, retrofit of the permanent BMPs and measures is attached. The plan includes all of the following:
- Prepared and certified by the engineer designing the permanent BMPs and measures
  - Signed by the owner or responsible party
  - Procedures for documenting inspections, maintenance, repairs, and, if necessary retrofit
  - A discussion of record keeping procedures
- N/A
12.  **Attachment H - Pilot-Scale Field Testing Plan.** Pilot studies for BMPs that are not recognized by the Executive Director require prior approval from the TCEQ. A plan for pilot-scale field testing is attached.
- N/A
13.  **Attachment I -Measures for Minimizing Surface Stream Contamination.** A description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is attached. The measures address increased stream flashing, the creation of stronger flows and in-stream velocities, and other in-stream effects caused by the regulated activity, which increase erosion that results in water quality degradation.
- N/A

### ***Responsibility for Maintenance of Permanent BMP(s)***

***Responsibility for maintenance of best management practices and measures after construction is complete.***

14.  The applicant is responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred.
- N/A
15.  A copy of the transfer of responsibility must be filed with the executive director at the appropriate regional office within 30 days of the transfer if the site is for use as a multiple single-family residential development, a multi-family residential development, or a non-residential development such as commercial, industrial, institutional, schools, and other sites where regulated activities occur.
- N/A

**COLONY AT COLE SPRINGS PHASE 1  
WATER POLLUTION ABATEMENT PLAN**

***20% or Less Impervious Cover Waiver***

The site has more than 20% impervious cover. Therefore, a waiver will not be submitted for this project.



***BMPs for UP-GRADIENT STORMWATER***

Up- gradient storm water exists north and west of the site. The off-site drainage will be intercepted via trap channels on the western and northern boundaries of the site and will be conveyed around/through the property and be discharged into Onion Creek floodplain on the Southeast and east side of the property.

**COLONY AT COLE SPRINGS PHASE 1  
WATER POLLUTION ABATEMENT PLAN**

***BMPs for On-Site Stormwater***

Colony at Cole Springs Phase 1, Section 1 has a total of 6 onsite basins. The overall required removal for this 10.81 acre site in phase 1 of development is  $L_m = 3,519$  LBS. The basins have been broken out and are shown on the construction drawings (Overall Drainage Plan, Sheet 76). Water quality drainage area DA-1 will overland flow to drainage inlets then pipe flow to Batch Detention Pond 1. Batch Detention Pond 1 will be constructed with a later phase of the Colony at Cole Springs. Water quality drainage area DA-2 will overland flow to drainage inlets then pipe flow to Batch Detention Pond 2. Batch Detention Pond 2 will provide 35,100 LBS of TSS removal. Water quality drainage area DA-3 will overland flow to drainage inlets then pipe flow to Batch Detention Pond 3. Batch Detention Pond 3 will provide 16,500 LBS of TSS removal. All TSS calculations are shown on the construction drawings sheets 151-154. The impervious breakdown is shown under the project narrative.

After construction, all disturbed areas on the site will be re-vegetated and runoff from the proposed improvements will be captured by the proposed storm system and conveyed through the proposed BMP's.

Construction plans, calculations and specifications are provided in Section 8 which is located at the end of this report.

**COLONY AT COLE SPRINGS PHASE 1  
WATER POLLUTION ABATEMENT PLAN**

***BMPs for Surface Streams***

There are no existing surface streams or sensitive features on site. All permanent BMP's have been designed to remove minimum of 80% of the increase in Total Suspended Solids as per current TCEQ and City of Buda requirements.

## ***Request To Seal a Feature***

The permanent sealing of or diversion of flow from a naturally-occurring “sensitive” or “possibly sensitive” feature that accepts recharge to the Edwards Aquifer as a permanent pollution abatement measure has not been proposed for any naturally-occurring “sensitive” or “possibly sensitive” features on this site.

## ***Construction Plans***

Calculations for the load removal requirements for the project and the load removal provided by the permanent BMP's are provided as an exhibit in section 8 which have been preliminary approved by a professional engineer licensed in the state of Texas. The load removal requirements are derived from the equations from the technical guidance manual based upon project area and increase in impervious cover. All stormwater runoff from impervious areas will be treated by the proposed permanent BMP's to provide the overall required removal of 85% of the increase in Total Suspended Solids. Provided within the calculations is a summary of the amount of pollutant load required to be removed from the drainage areas and the amount of removal provided by the permanent BMP's.

Construction plans, details, specifications, calculations, and construction notes are provided in section 8 which is attached at the end of this report.

COLONY AT COLE SPRINGS PHASE 1,  
SECTION 1 WATER POLLUTION  
ABATEMENT PLAN

***Inspection, Maintenance, Repair and Retrofit Plan***

The inspection and maintenance plan outlines the procedures necessary to maintain the performance of the Permanent Best Management Practices for this project. It should be noted that the plan provides guidelines that may have to be adjusted dependent on site specific and weather-related conditions.

It is the responsibility of the owner to provide the inspections and maintenance as outlined in the plan for the duration of the project. The owner will maintain this responsibility until it is assumed or transferred to another entity in writing. If the property is leased or sold, the responsibility for the maintenance will be required to be transferred through the lease agreement, binding covenants, closing documents, or other binding legal instrument.

Disposal of accumulated silt shall be accomplished following Texas Commission on Environmental Quality guidelines and specifications.

Maintenance records shall be kept on the installation, maintenance, or removal of items necessary for the proper operation of the facilities. All inspections shall be documented.


An amended copy of this document will be provided to the Texas Commission on Environmental Quality within thirty (30) days of any changes in the following information.

Responsible Party: M/I Homes of Austin, LLC  
Mailing Address: 7600 N. Capital of Texas Hwy, Bldg. C, Suite 250  
City, State: Austin, TX Zip: 78731  
Telephone: 512-770-8503 Fax: N/A

I, the owner, have read and understand the requirements of the attached Inspection and Maintenance Plan for the proposed Permanent Best Management Practices for my project. I acknowledge that I will maintain responsibility for the implementation and execution of the plan until the responsibility is transferred to or assumed by another party in writing through a binding legal instrument.

Signature of Responsible Party  Date 7/2/23

This Maintenance Plan is based on TCEQ Maintenance Guidelines.

By:   
Alex Granados, P.E.

Date 7/17/2023

## INSPECTION AND MAINTENANCE FOR BMPS

### Batch Detention Basin

1. Inspections: Basins should be inspected at least twice a year (once during or immediately following wet weather) to evaluate facility operation. When possible, inspections should be conducted during wet weather to determine if the pond is meeting the target detention times. In particular, the extended detention control device should be regularly inspected for evidence of clogging, or conversely, for too rapid a release. If the design drawdown times are exceeded by more than 24 hours, then repairs should be scheduled immediately. The upper stage pilot channel, if any, and its flow path to the lower stage should be checked for erosion problems. During each inspection, erosion areas inside and downstream of the BMP should be identified and repaired or revegetated immediately.
2. Mowing. The upper stage, side slopes, embankment, and emergency spillway of an extended detention basin must be mowed regularly to discourage woody growth and control weeds. Grass areas in and around basins should be mowed at least twice annually to limit vegetation height to 18 inches. More frequent mowing to maintain aesthetic appeal may be necessary in landscaped areas. When mowing of grass is performed, a mulching mower should be used, or grass clippings should be caught and removed.
3. Debris and Litter Removal. Debris and litter will accumulate near the extended detention control device and should be removed during regular mowing operations and inspections. Particular attention should be paid to floating debris that can eventually clog the control device or riser.
4. Erosion Control. The pond side slopes, emergency spillway, and embankment all may periodically suffer from slumping and erosion, although this should not occur often if the soils are properly compacted during construction. Regrading and revegetation may be required to correct the problems. Similarly, the channel connecting an upper stage with a lower stage may periodically need to be replaced or repaired. g: Grass areas in and around sand filters must be mowed at least twice annually to limit vegetation height to 18 inches. More frequent mowing to maintain aesthetic appeal may be necessary in landscape areas. Vegetation on the pond embankments should be mowed as appropriate to prevent the establishment of woody vegetation
5. Structural Repairs and Replacement. With each inspection, any damage to the structural elements of the system (pipes, concrete drainage structures, retaining walls, etc.) should be identified and repaired immediately. These repairs should include patching of cracked concrete, sealing of voids, and removal of vegetation from cracks and joints. The various inlet/outlet and riser works in a basin will eventually deteriorate and must be replaced. Public works experts have estimated that corrugated metal pipe (CMP) has a useful life of about 25 yr, whereas reinforced concrete barrels and risers may last from 50 to 75 yr.
6. Nuisance Control. Standing water (not desired in a extended detention basin) or soggy conditions within the lower stage of the basin can create nuisance conditions for nearby residents. Odors, mosquitoes, weeds, and litter are all occasionally perceived to be problems. Most of these problems are generally a sign that regular

**COLONY AT COLE SPRINGS PHASE 1  
WATER POLLUTION ABATEMENT PLAN**

inspections and maintenance are not being performed (e.g., mowing, debris removal, clearing the outlet control device).

7. Sediment Removal. When properly designed, dry extended detention basins will accumulate quantities of sediment over time. Sediment accumulation is a serious maintenance concern in extended detention dry ponds for several reasons. First, the sediment gradually reduces available stormwater management storage capacity within the basin. Second, unlike wet extended detention basins (which have a permanent pool to conceal deposited sediments), sediment accumulation can make dry extended detention basins very unsightly. Third, and perhaps most importantly, sediment tends to accumulate around the control device. Sediment deposition increases the risk that the orifice will become clogged, and gradually reduces storage capacity reserved for pollutant removal. Sediment can also be resuspended if allowed to accumulate over time and escape through the hydraulic control to downstream channels and streams. For these reasons, accumulated sediment needs to be removed from the lower stage when sediment buildup fills 20% of the volume of the basin or at least every 10 years.

**Rock Berm**

1. Inspection should be made weekly and after each rainfall in accordance to Section 1.4.5 of RG-348. If placed in streambeds, inspection should occur on a daily basis.
2. Accumulated silt shall be removed when it reaches a depth of six (6) inches. The silt shall be disposed of on an approved site and in such a manner that will not contribute to additional siltation.
3. Loose wire sheathing shall be repaired immediately when necessary and the berm shall be reshaped as needed during inspection.
4. Berm shall be replaced if the structure ceases to function as initially intended due to factors such as silt accumulation, washout, construction traffic damage, etc.
5. When all upstream areas are stabilized and the accumulated silt has been removed, the rock berm should be removed and disposed of.

**Sand Filter Systems**

**First Year:** Sand filter systems require regular routine maintenance for lasting effectiveness. It is recommended that sand filter BMPs inspected on a quarterly basis and after large storms for the first year of operation. Subsequent inspections can be limited to semi-annually or more often if deemed necessary.

**Construction:** Construction with the watershed should be complete prior to exposing the filter to stormwater runoff. All exposed areas should be stabilized to minimize sediment loads. Runoff from any unstabilized construction areas should be treated via a separate sediment system that bypasses the filter media. Another important consideration in constructing the filter bed is to ensure that the top of the media is completely level. The filter design is based on the use of the entire filter media surface area; a sloped filter surface would result in disproportionate use of the filter media.

**Inspection:** BMP facilities must be inspected at least twice a year (once during or immediately following wet weather) to evaluate facility operation. During each inspection, erosion areas



**COLONY AT COLE SPRINGS PHASE 1  
WATER POLLUTION ABATEMENT PLAN**

inside and downstream of the BMP must be identified and repaired or revegetated immediately. With each inspection, any damage to the structural elements of the system (pipes, concrete drainage structures, retaining walls, etc.) must be identified and repaired immediately. Cracks, voids and undermining should be patched/filled to prevent additional structural damage. Trees and root systems should be removed to prevent growth in cracks and joints that can cause structural damage.

***Sediment Removal:*** Remove sediment from the inlet structure and sedimentation chamber when sediment buildup reaches a depth of 6 inches or when the proper functioning of inlet and outlet structures is impaired. Sediment should be cleared from the inlet structure at least every year and from the sedimentation basin at least every 5 years.

***Media Replacement:*** Maintenance of the filter media is necessary when the drawdown time exceeds 48 hours. When this occurs, the upper layer of sand should be removed and replaced with new material meeting the original specifications. Any discolored sand should also be removed and replaced. In filters that have been regularly maintained, this should be limited to the top 2 to 3 inches.

***Debris and Litter Removal:*** Debris and litter will accumulate near the sedimentation basin outlet device and should be removed during regular mowing operations and inspections. Particular attention should be paid to floating debris that can eventually clog the control device or riser.

***Filter Underdrain:*** Clean underdrain piping network to remove any sediment buildup as needed to maintain design drawdown time.

***Mowing:*** Grass areas in and around sand filters must be mowed at least twice annually to limit vegetation height to 18 inches. More frequent mowing to maintain aesthetic appeal may be necessary in landscaped areas. Vegetation on the pond embankments should be mowed as appropriate to prevent the establishment of woody vegetation.

### ***Pilot-Scale Field Testing Plan***

The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site; therefore pilot-scale field testing is not required.

## ***Measures for Minimizing Surface Stream Contamination***

Surface streams do not exist on site. Therefore, a description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is not provided at the end of this form. All disturbed areas will be re-vegetated as soon as practical.

# SECTION 7: ADDITIONAL FORMS

**Agent Authorization Form**  
For Required Signature  
Edwards Aquifer Protection Program  
Relating to 30 TAC Chapter 213  
Effective June 1, 1999

I William Peckman,  
Print Name

Area President,  
Title - Owner/President/Other

of M/I HOMES OF AUSTIN,  
Corporation/Partnership/Entity Name

have authorized Alex Granados, P.E.  
Print Name of Agent/Engineer

of Kimley-Horn and Associates  
Print Name of Firm

to represent and act on the behalf of the above named Corporation, Partnership, or Entity for the purpose of preparing and submitting this plan application to the Texas Commission on Environmental Quality (TCEQ) for the review and approval consideration of regulated activities.

I also understand that:

1. The applicant is responsible for compliance with 30 Texas Administrative Code Chapter 213 and any condition of the TCEQ's approval letter. The TCEQ is authorized to assess administrative penalties of up to \$10,000 per day per violation.
2. For those submitting an application who are not the property owner, but who have the right to control and possess the property, additional authorization is required from the owner.
3. Application fees are due and payable at the time the application is submitted. The application fee must be sent to the TCEQ cashier or to the appropriate regional office. The application will not be considered until the correct fee is received by the commission.
4. A notarized copy of the Agent Authorization Form must be provided for the person preparing the application, and this form must accompany the completed application.
5. No person shall commence any regulated activity on the Edwards Aquifer Recharge Zone, Contributing Zone or Transition Zone until the appropriate application for the activity has been filed with and approved by the Executive Director.

SIGNATURE PAGE:

William C. Peckham  
Applicant's Signature

7/7/23  
Date

THE STATE OF TEXAS §

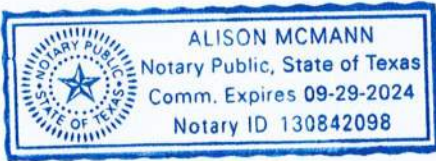
County of TRAVIS §

BEFORE ME, the undersigned authority, on this day personally appeared WILLIAM C. PECKHAM known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 7 day of JULY, 2023

Alison McMann  
NOTARY PUBLIC

ALISON MCMANN  
Typed or Printed Name of Notary



MY COMMISSION EXPIRES: 09.29.2024

**Agent Authorization Form**  
 For Required Signature  
 Edwards Aquifer Protection Program  
 Relating to 30 TAC Chapter 213  
 Effective June 1, 1999

I \_\_\_\_\_  
 Brandon Hammann  
 \_\_\_\_\_  
 Print Name  
 \_\_\_\_\_  
 Vice President of Land Development  
 \_\_\_\_\_  
 Title - Owner/President/Other  
 of \_\_\_\_\_  
 Meritage Homes of Texas, LLC  
 \_\_\_\_\_  
 Corporation/Partnership/Entity Name  
 have authorized \_\_\_\_\_  
 Alex Granados, P.E.  
 \_\_\_\_\_  
 Print Name of Agent/Engineer  
 of \_\_\_\_\_  
 Kimley-Horn  
 \_\_\_\_\_  
 Print Name of Firm

to represent and act on the behalf of the above named Corporation, Partnership, or Entity for the purpose of preparing and submitting this plan application to the Texas Commission on Environmental Quality (TCEQ) for the review and approval consideration of regulated activities.

I also understand that:

1. The applicant is responsible for compliance with 30 Texas Administrative Code Chapter 213 and any condition of the TCEQ's approval letter. The TCEQ is authorized to assess administrative penalties of up to \$10,000 per day per violation.
2. For those submitting an application who are not the property owner, but who have the right to control and possess the property, additional authorization is required from the owner.
3. Application fees are due and payable at the time the application is submitted. The application fee must be sent to the TCEQ cashier or to the appropriate regional office. The application will not be considered until the correct fee is received by the commission.
4. A notarized copy of the Agent Authorization Form must be provided for the person preparing the application, and this form must accompany the completed application.
5. No person shall commence any regulated activity on the Edwards Aquifer Recharge Zone, Contributing Zone or Transition Zone until the appropriate application for the activity has been filed with and approved by the Executive Director.

SIGNATURE PAGE:

Brendon Hammack  
Applicant's Signature

8/16/23  
Date

THE STATE OF TEXAS §

County of TRAVIS §

BEFORE ME, the undersigned authority, on this day personally appeared Brendon Hammack known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 16 day of August, 2023.



Annette Hermiston  
NOTARY PUBLIC

ANNETTE HERMISTON  
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: 4.13.2025



# Application Fee Form

## Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: Colony at Cole Springs Phase 1

Regulated Entity Location: Cole Springs Rd and Old Black Colony Rd

Name of Customer: M/I Homes of Austin, LLC

Contact Person: William Peckman

Phone: 512-770-8503

Customer Reference Number (if issued): 604305250

Regulated Entity Reference Number (if issued):N/A

### Austin Regional Office (3373)

Hays

Travis

Williamson

### San Antonio Regional Office (3362)

Bexar

Medina

Uvalde

Comal

Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

Austin Regional Office

San Antonio Regional Office

Mailed to: TCEQ - Cashier

Overnight Delivery to: TCEQ - Cashier

Revenues Section

12100 Park 35 Circle

Mail Code 214

Building A, 3rd Floor

P.O. Box 13088

Austin, TX 78753

Austin, TX 78711-3088

(512)239-0357

### Site Location (Check All That Apply):

Recharge Zone

Contributing Zone

Transition Zone

<i>Type of Plan</i>	<i>Size</i>	<i>Fee Due</i>
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	10.81 Acres	\$ 4,000
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	Acres	
Sewage Collection System		
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	Each	\$
Extension of Time	Each	\$

Signature: Alexander E. Gonzalez River

Date: July 17, 2023

## **Application Fee Schedule**

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

### **Water Pollution Abatement Plans and Modifications**

#### **Contributing Zone Plans and Modifications**

<i>Project</i>	<i>Project Area in Acres</i>	<i>Fee</i>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

#### **Organized Sewage Collection Systems and Modifications**

<i>Project</i>	<i>Cost per Linear Foot</i>	<i>Minimum Fee- Maximum Fee</i>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

#### **Underground and Aboveground Storage Tank System Facility Plans and Modifications**

<i>Project</i>	<i>Cost per Tank or Piping System</i>	<i>Minimum Fee- Maximum Fee</i>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

#### **Exception Requests**

<i>Project</i>	<i>Fee</i>
Exception Request	\$500

#### **Extension of Time Requests**

<i>Project</i>	<i>Fee</i>
Extension of Time Request	\$150

***Check Payable to the "Texas Commission on Environmental Quality"***

**Core Data Form**



# TCEQ Core Data Form

For detailed instructions on completing this form, please read the Core Data Form Instructions or call 512-239-5175.

## SECTION I: General Information

<b>1. Reason for Submission</b> (If other is checked please describe in space provided.)		
<input type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)		<input checked="" type="checkbox"/> Other
<b>2. Customer Reference Number</b> (if issued)	<a href="#">Follow this link to search for CN or RN numbers in Central Registry**</a>	<b>3. Regulated Entity Reference Number</b> (if issued)
CN 604305250		RN 111401139

## SECTION II: Customer Information

<b>4. General Customer Information</b>		<b>5. Effective Date for Customer Information Updates</b> (mm/dd/yyyy)		
<input type="checkbox"/> New Customer <input type="checkbox"/> Update to Customer Information <input type="checkbox"/> Change in Regulated Entity Ownership <input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)				
<i>The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).</i>				
<b>6. Customer Legal Name</b> (If an individual, print last name first: eg: Doe, John)			<i>If new Customer, enter previous Customer below:</i>	
M/I Homes of Austin, LLC				
<b>7. TX SOS/CPA Filing Number</b>	<b>8. TX State Tax ID</b> (11 digits)		<b>9. Federal Tax ID</b>	<b>10. DUNS Number</b> (if applicable)
0801672376	32049298139		(9 digits)	
<b>11. Type of Customer:</b>	<input checked="" type="checkbox"/> Corporation		<input type="checkbox"/> Individual	Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited
Government: <input type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> Local <input type="checkbox"/> State <input type="checkbox"/> Other	<input type="checkbox"/> Sole Proprietorship		<input type="checkbox"/> Other:	
<b>12. Number of Employees</b>			<b>13. Independently Owned and Operated?</b>	
<input checked="" type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input type="checkbox"/> 501 and higher			<input type="checkbox"/> Yes <input type="checkbox"/> No	
<b>14. Customer Role</b> (Proposed or Actual) – as it relates to the Regulated Entity listed on this form. Please check one of the following				
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Operator <input type="checkbox"/> Owner & Operator <input type="checkbox"/> Other: <input type="checkbox"/> Occupational Licensee <input type="checkbox"/> Responsible Party <input type="checkbox"/> VCP/BSA Applicant				
<b>15. Mailing Address:</b>	7600 N. Capital of Texas Highway, Building C ite 250			
	<b>City</b>	Austin	<b>State</b>	TX
	<b>ZIP</b>	78731	<b>ZIP + 4</b>	
<b>16. Country Mailing Information</b> (if outside USA)			<b>17. E-Mail Address</b> (if applicable)	
<b>18. Telephone Number</b>		<b>19. Extension or Code</b>		<b>20. Fax Number</b> (if applicable)

**SECTION III: Regulated Entity Information**

<b>21. General Regulated Entity Information</b> <i>(If "New Regulated Entity" is selected, a new permit application is also required.)</i>							
<input type="checkbox"/> New Regulated Entity <input type="checkbox"/> Update to Regulated Entity Name <input checked="" type="checkbox"/> Update to Regulated Entity Information							
<i>The Regulated Entity Name submitted may be updated, in order to meet TCEQ Core Data Standards (removal of organizational endings such as Inc, LP, or LLC).</i>							
<b>22. Regulated Entity Name</b> <i>(Enter name of the site where the regulated action is taking place.)</i>							
The Colony at Cole Springs Phase 1							
<b>23. Street Address of the Regulated Entity:</b> <i>(No PO Boxes)</i>							
<b>City</b>	Buda	<b>State</b>	TX	<b>ZIP</b>	78610	<b>ZIP + 4</b>	
<b>24. County</b>	Hays County						

If no Street Address is provided, fields 25-28 are required.

<b>25. Description to Physical Location:</b>		Turn onto Cole Springs Rd from FM 1626 and go 1.25 miles on Cole Springs Road					
<b>26. Nearest City</b>				<b>State</b>		<b>Nearest ZIP Code</b>	
Buda				TX		78610	
<i>Latitude/Longitude are required and may be added/updated to meet TCEQ Core Data Standards. (Geocoding of the Physical Address may be used to supply coordinates where none have been provided or to gain accuracy).</i>							
<b>27. Latitude (N) In Decimal:</b>		30.080681		<b>28. Longitude (W) In Decimal:</b>		-97.858217	
Degrees	Minutes	Seconds	Degrees	Minutes	Seconds		
<b>29. Primary SIC Code</b>		<b>30. Secondary SIC Code</b>		<b>31. Primary NAICS Code</b>		<b>32. Secondary NAICS Code</b>	
(4 digits)		(4 digits)		(5 or 6 digits)		(5 or 6 digits)	
6514				53111			
<b>33. What is the Primary Business of this entity?</b> <i>(Do not repeat the SIC or NAICS description.)</i>							
Single Family Residential Development							
<b>34. Mailing Address:</b>		501 S. Austin Ave, Suite 1310					
<b>City</b>	Georgetown	<b>State</b>	TX	<b>ZIP</b>	78626	<b>ZIP + 4</b>	
<b>35. E-Mail Address:</b>		alex.granados@kimley-horn.com					
<b>36. Telephone Number</b>			<b>37. Extension or Code</b>		<b>38. Fax Number</b> <i>(if applicable)</i>		
( 512 ) 782-602					( ) -		

**39. TCEQ Programs and ID Numbers** Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.

<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input checked="" type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Wastewater	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

## **SECTION IV: Preparer Information**

<b>40. Name:</b>	Alex Granados		<b>41. Title:</b>	P.E.
<b>42. Telephone Number</b>	<b>43. Ext./Code</b>	<b>44. Fax Number</b>	<b>45. E-Mail Address</b>	
( 512 ) 782-0602		( ) -	alex.granados@kimley-horn.com	

## **SECTION V: Authorized Signature**

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

<b>Company:</b>	Kimley-Horn	<b>Job Title:</b>	Project Manager	
<b>Name (In Print):</b>	Alex Granados	<b>Phone:</b>	( 512 ) 782- 602	
<b>Signature:</b>	<i>Alexander E. Granados Ruiz</i>		<b>Date:</b>	7/17/2023

# SECTION 8: EXHIBITS

See Plan sheets uploaded as a second file to this application





KH GENERAL NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE PLANS, CITY (OR TOWN) STANDARD DETAILS AND SPECIFICATIONS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL FURNISH ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE PLANS...

- 1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL EROSION CONTROL AND WATER QUALITY REQUIREMENTS, LAWS, AND ORDINANCES THAT APPLY TO THE CONSTRUCTION SITE... 2. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE "TCEQ GENERAL PERMIT TO DISCHARGE UNDER THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TXR) 15000"

- 14. CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS IN ACCORDANCE WITH CITY SPECIFICATIONS... 15. SITE ENTRY AND EXITS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING AND FLOWING OF SEDIMENT AND DIRT ONTO OFF-SITE ROADWAYS...

- 16. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SILT AND DEBRIS FROM THE AFFECTED OFF-SITE ROADWAYS THAT ARE A RESULT OF THE CONSTRUCTION... 17. WHEN WASHING OF VEHICLES IS REQUIRED TO REMOVE SEDIMENT PRIOR TO EXITING THE SITE, IT SHOULD BE DONE IN AN AREA THAT DOES NOT ADJACENT TO OR INTERFERE WITH THE OPERATION OF ANY OTHER VEHICLE OR TRAFFIC...

- 1. THE CONTRACTOR SHALL COMPLY WITH ALL TCEQ AND EPA STORM WATER POLLUTION PREVENTION REQUIREMENTS... 2. THE CONTRACTOR SHALL SUBMIT A COPY OF THE TCEQ GENERAL PERMIT TO DISCHARGE UNDER THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM TXR 15000... 3. THE CONTRACTOR SHALL ENSURE THAT ALL PRIMARY OPERATORS SUBMIT A NOI TO TCEQ AT LEAST SEVEN DAYS PRIOR TO THE START OF CONSTRUCTION...

- 1. THE CONTRACTOR AND GRADING SUBCONTRACTOR SHALL VERIFY THE SUITABILITY OF EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION... 2. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED GRADING PERMITS FROM THE CITY... 3. UNLESS OTHERWISE NOTED, PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN PAVED AREAS REFLECT TOP OF PAVEMENT...

- 1. ALL WATER AND WASTEWATER MATERIALS AND CONSTRUCTION SHALL COMPLY WITH CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS... 2. CONTRACTOR SHALL FIELD VERIFY THE SIZE, CONDITION, HORIZONTAL, AND VERTICAL LOCATIONS OF ALL EXISTING WATER AND WASTEWATER FACILITIES THAT ARE TO BE CONNECTED TO... 3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER...

- BY A LICENSED ENGINEER AND ARE NOT PART OF THIS PLAN SET... 2. RETAINING WALL DESIGN SHALL MEET THE INTENT OF THE GRADING PLAN AND SHALL ACCOUNT FOR ANY INFLUENCE ON ADJACENT BUILDING FOUNDATIONS, UTILITIES AND THE GEOTECHNICAL RECOMMENDATION SPECIFIC TO FLATWORK ADJACENT TO THE PROPOSED BUILDING... 5. RETAINING WALL ENGINEER SHALL CONSULT THESE PLANS AND THE GEOTECHNICAL REPORT FOR POTENTIAL CONFLICTS.

- 17. WHEN WASHING OF VEHICLES IS REQUIRED TO REMOVE SEDIMENT PRIOR TO EXITING THE SITE, IT SHOULD BE DONE IN AN AREA THAT DOES NOT ADJACENT TO OR INTERFERE WITH THE OPERATION OF ANY OTHER VEHICLE OR TRAFFIC... 18. THE CONTRACTOR SHALL INSTALL A TEMPORARY SEDIMENT BASIN FOR ANY ON-SITE DRAINAGE AREAS THAT ARE GREATER THAN 10 ACRES, PER TCEQ AND CITY STANDARDS... 19. ALL FINES IMPOSED FOR SEDIMENT OR DIRT DISCHARGED FROM THE SITE SHALL BE PAID BY THE RESPONSIBLE CONTRACTOR... 20. WHEN SEDIMENT OR DIRT HAS CLOGGED THE CONSTRUCTION ENTRANCE VOID SPACES BETWEEN STONES OR DIRT IS BEING TRAPPED, THE OWNER AND CONTRACTOR ARE ADVISED TO OBTAIN A GEOTECHNICAL ENGINEER RECOMMENDATION SPECIFIC TO FLATWORK ADJACENT TO THE BUILDING...

- 1. ALL STORM SEWER MATERIALS AND CONSTRUCTION SHALL COMPLY WITH CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS... 2. THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER... 3. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE, CONDITION, HORIZONTAL, AND VERTICAL LOCATIONS OF ALL EXISTING STORM SEWER FACILITIES THAT ARE TO BE CONNECTED TO... 4. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATION OF ALL UTILITY CROSSINGS PRIOR TO THE INSTALLATION OF ANY PIPE...

- 1. ALL WATER AND WASTEWATER MATERIALS AND CONSTRUCTION SHALL COMPLY WITH CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS... 2. CONTRACTOR SHALL FIELD VERIFY THE SIZE, CONDITION, HORIZONTAL, AND VERTICAL LOCATIONS OF ALL EXISTING WATER AND WASTEWATER FACILITIES THAT ARE TO BE CONNECTED TO... 3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER...

- 1. ALL WATER AND WASTEWATER MATERIALS AND CONSTRUCTION SHALL COMPLY WITH CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS... 2. CONTRACTOR SHALL FIELD VERIFY THE SIZE, CONDITION, HORIZONTAL, AND VERTICAL LOCATIONS OF ALL EXISTING WATER AND WASTEWATER FACILITIES THAT ARE TO BE CONNECTED TO... 3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER...

- 1. PRIOR TO EXCAVATION WITHIN TREE DRUPLINES OR THE REMOVAL OF TREES ADJACENT TO OTHER TREES THAT ARE TO REMAIN, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO THE ROOT OF DAMAGED TREE... 2. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION WITH FENCING AND WHERE HEAVY VEHICULAR TRAFFIC IS ANTICIPATED, COVER THOSE AREAS WITH A MINIMUM OF 12 INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION... 3. PERFORM ALL GRADING WITHIN CRITICAL ROOT ZONE AREAS BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE...

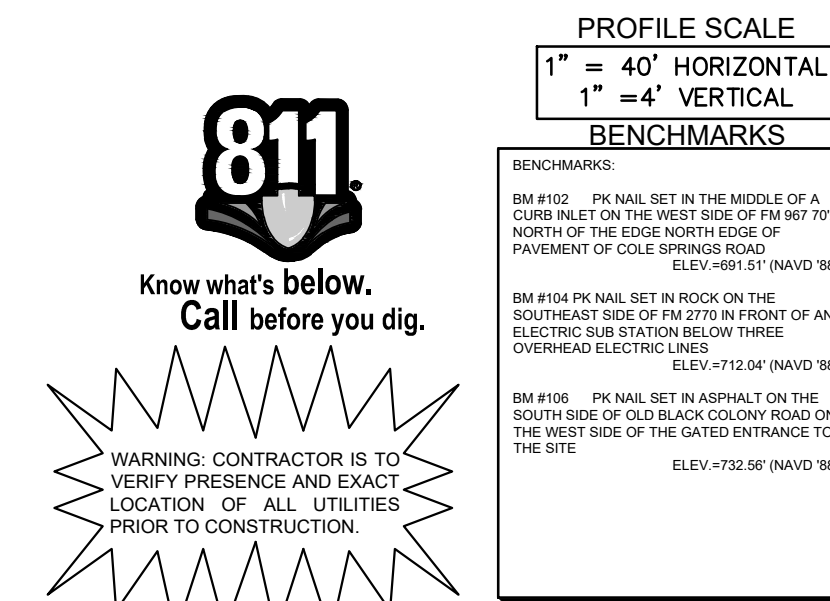
ABBREVIATIONS AND DEFINITIONS: A AREA, ADA AMERICANS WITH DISABILITIES ACT, AWWA AMERICAN WATER WORKS ASSOCIATION, B-B BACK TO BACK, BC BEGIN CURVE, BCR BEGIN CURB RETURN, BMP BEST MANAGEMENT PRACTICE, BVC BEGIN VERTICAL CURVE ELEVATION, BVCS BEGIN VERTICAL CURVE STATION, BW CUBIC FEET PER SECOND, CITY CITY, TOWN, OR OTHER APPLICABLE LOCAL, CL CENTERLINE, CONC CONCRETE, CONC CURB VARD, DEMO DEMOLITION, DEC DECOMPOSED GRANITE, DTL DETAIL, EAC EXISTING GROUND, EC END CURVE, ECR END CURB RETURN, EX EXISTING GROUND, EL ELEVATION, ELEC ELECTRICAL / ELECTRICITY, ELEV ELEVATION, EPA UNITED STATES ENVIRONMENTAL PROTECTION AGENCY, ES EASEMENT, EVMT END VERTICAL CURVE ELEVATION, EVCS END VERTICAL CURVE STATION, EX EXISTING, F-F FACE TO FACE, FHS FINISHED SURFACE, FH FIRE HYDRANT, FL FLOW LINE, FOC FACE OF CURB, FT FEET, HGL HYDRAULIC GRADE LINE, KH KIMLEY-HORN AND ASSOCIATES, INC, KHA KIMLEY-HORN AND ASSOCIATES, INC, LAT LATERAL, LF LINEAR FEET, LT LEFT

UTILITY CONTACTS: 1. TELECOM COMPANY, CONTACT NAME, PHONE NUMBER, EMAIL, 2. CABLE COMPANY, CONTACT NAME, PHONE NUMBER, EMAIL, 3. FERNDELES ELECTRIC COOPERATIVE, INC., CODY LUEHFELDS, 830-226-7831, 4. ATMOS ENERGY, 888-286-6700, 5. CITY OF WOODUTILITIES, BLAKE NEFFENDORF, 512-522-1079, 6. CITY OF BUDDUTILITIES, NICOLE LUNA, 512-382-2066, NICOLLUNA@TAYLORTX.GOV

THESE PLANS AND GENERAL NOTES REFER TO: GEOTECHNICAL ENGINEERING REPORT (FROM) M/LA GEOTECHNICAL (PROJECT) REPORT #1 22101108-019 (DATE) 08/28/2022, INCLUDING ALL REVISIONS AND ADDENDA TO THIS REPORT THAT MAY HAVE BEEN RELEASED AFTER THE NOTED DATE.

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- 1. ALL WATER AND WASTEWATER MATERIALS AND CONSTRUCTION SHALL COMPLY WITH CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS... 2. CONTRACTOR SHALL FIELD VERIFY THE SIZE, CONDITION, HORIZONTAL, AND VERTICAL LOCATIONS OF ALL EXISTING WATER AND WASTEWATER FACILITIES THAT ARE TO BE CONNECTED TO... 3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER...

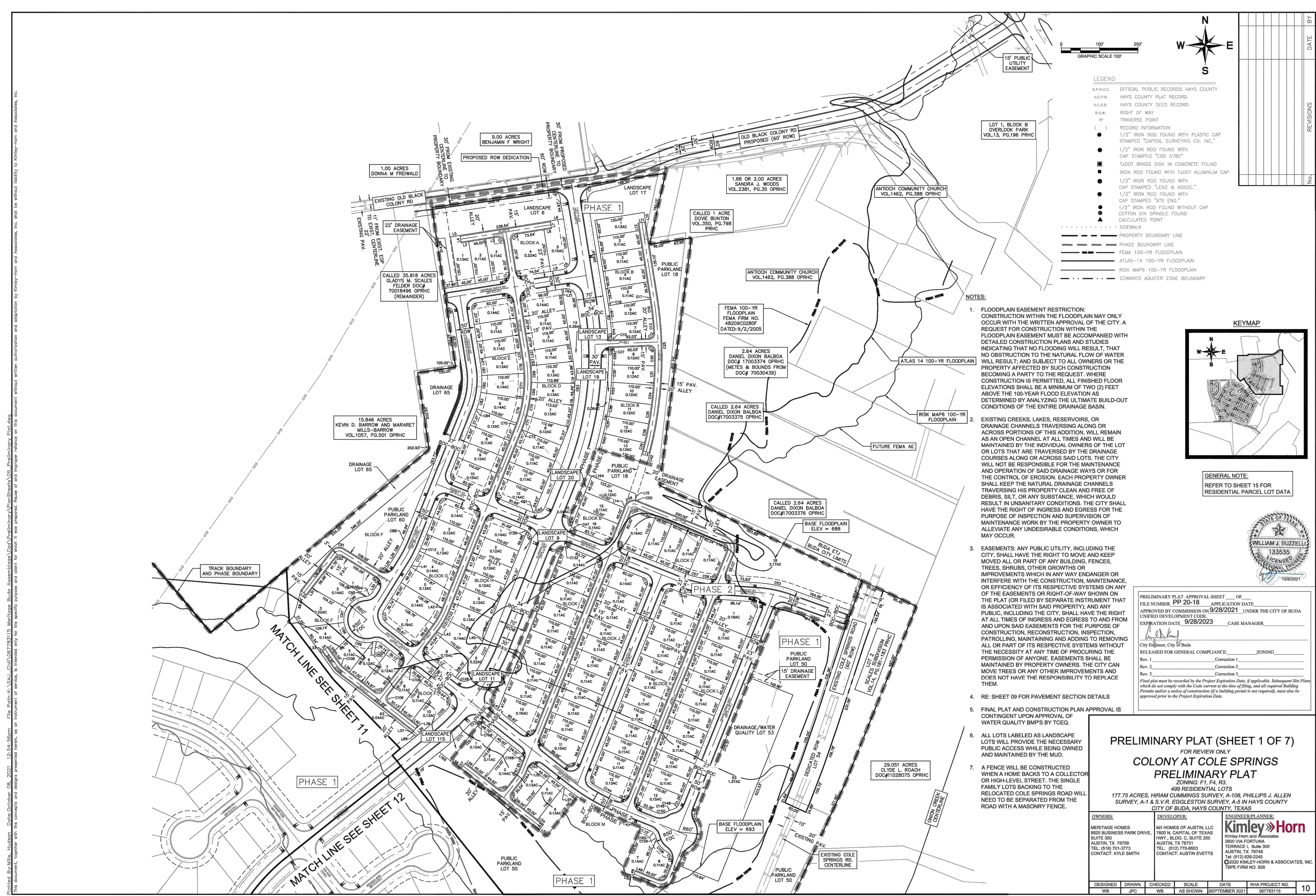


CONSTRUCTION PLAN APPROVAL SHEET NO. 226, FILE NUMBER, APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDDA, EXPIRATION DATE 2021-737, CASE NUMBER 08/16/2021, A. KENNEDY, City Engineer, City of Budda, RELEASED FOR GENERAL COMPLIANCE, ZONING N/A

Project information: KHA PROJECT 067783115, DATE 07/17/2023, SCALE AS SHOWN, DESIGNED BY WB/DW, DRAWN BY MH/MH/MDM, CHECKED BY AEC, SHEET NUMBER 2 OF 226. Includes Kimley-Horn logo and contact information for Austin, TX 78746-3537.



Plotted by: Alvarado, Alex Date: July 17, 2023 08:33:54am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\C-Preliminary Plat.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reason of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



KHA PROJECT NO. 067783115

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78746  
 WWW.KIMLEY-HORN.COM  
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 TBE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 133355  
 WILLIAM J. BUZZELLI  
 LICENSED PROFESSIONAL ENGINEER  
 No. 133355

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB, DM  
 DRAWN BY: WB, HM, MJD, DM  
 CHECKED BY: AEC

**PRELIMINARY PLAT**  
 (SHEET 1 OF 7)

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**4**  
 OF 226

**PRELIMINARY PLAT (SHEET 1 OF 7)**  
 FOR REVIEW ONLY  
**COLONY AT COLE SPRINGS**  
**PRELIMINARY PLAT**  
 ZONING: F1, F4, R3  
 499 RESIDENTIAL LOTS  
 177.75 ACRES, HIRAM CUMMINGS SURVEY, A-108, PHILLIPS J. ALLEN SURVEY, A-1 & S.V.R. EGGLESTON SURVEY, A-5 IN HAYS COUNTY CITY OF BUDA, HAYS COUNTY, TEXAS

**OWNERS:**  
 MERITAGE HOMES  
 8920 BUSINESS PARK DRIVE,  
 SUITE 300  
 AUSTIN, TX 78759  
 TEL: (512) 701-3773  
 CONTACT: KYLE SMITH

**ENGINEER:**  
 KIMLEY-HORN AND ASSOCIATES  
 2800 VIA FORTUNA  
 TERRACE | SUITE 300  
 AUSTIN, TX 78746  
 TEL: (512) 828-2248  
 CONTACT: KIMLEY-HORN & ASSOCIATES, INC.  
 TYPE FIRM NO. 928

**DESIGNED** DRAWN CHECKED SCALE DATE KHA PROJECT NO. BY  
 VB JPC VB AS SHOWN SEPTEMBER 2021 067783115 10

PP 20-18

**811**  
 Know what's below.  
 Call before you dig.

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV = 815.01 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE ELEV = 112.04 (NAVD 88)

BM #06 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV = 732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET \_\_\_ OF 226  
 FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: ZONING N/A

Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.*

PERMIT NUMBER: 2021-737

- NOTES:**
- FLOODPLAIN EASEMENT RESTRICTION: CONSTRUCTION WITHIN THE FLOODPLAIN MAY ONLY OCCUR WITH THE WRITTEN APPROVAL OF THE CITY. A REQUEST FOR CONSTRUCTION WITHIN THE FLOODPLAIN EASEMENT MUST BE ACCOMPANIED WITH DETAILED CONSTRUCTION PLANS AND STUDIES INDICATING THAT NO FLOODING WILL RESULT, THAT NO OBSTRUCTION TO THE NATURAL FLOW OF WATER WILL RESULT, AND SUBJECT TO ALL OWNERS OF THE PROPERTY AFFECTED BY SUCH CONSTRUCTION BECOMING A PARTY TO THE REQUEST. WHERE CONSTRUCTION IS PERMITTED, ALL FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE 100-YEAR FLOOD ELEVATION AS DETERMINED BY ANALYZING THE ULTIMATE BUILD-OUT CONDITIONS OF THE ENTIRE DRAINAGE BASIN.
  - EXISTING CREEKS, LAKES, RESERVOIRS, OR DRAINAGE CHANNELS TRAVERSING ALONG OR ACROSS PORTIONS OF THIS ADDITION, WILL REMAIN AS AN OPEN CHANNEL AT ALL TIMES AND WILL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY THE DRAINAGE COURSE ALONG OR ACROSS SAID LOTS. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID DRAINAGE WAYS OR FOR THE CONTROL OF EROSION. EACH PROPERTY OWNER SHALL KEEP THE NATURAL DRAINAGE CHANNELS TRAVERSING HIS PROPERTY CLEAN AND FREE OF DEBRIS, SILT, OR ANY SUBSTANCE, WHICH WOULD RESULT IN UNSANITARY CONDITIONS. THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS, WHICH MAY OCCUR.
  - EASEMENTS: ANY PUBLIC UTILITY, INCLUDING THE CITY, SHALL HAVE THE RIGHT TO MOVE AND KEEP MOVED ALL OR PART OF ANY BUILDING, FENCES, TREES, SHRUBS, OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THE EASEMENTS OR RIGHT-OF-WAY SHOWN ON THE PLAT (OR FILED BY SEPARATE INSTRUMENT THAT IS ASSOCIATED WITH SAID PROPERTY) AND ANY PUBLIC, INCLUDING THE CITY, SHALL HAVE THE RIGHT AT ALL TIMES OF INGRESS AND EGRESS TO AND FROM AND UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, PATROLLING, MAINTAINING AND ADDING TO REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. EASEMENTS SHALL BE MAINTAINED BY PROPERTY OWNERS. THE CITY CAN MOVE TREES OR ANY OTHER IMPROVEMENTS AND DOES NOT HAVE THE RESPONSIBILITY TO REPLACE THEM.
  - RE: SHEET 09 FOR PAVEMENT SECTION DETAILS
  - FINAL PLAT AND CONSTRUCTION PLAN APPROVAL IS CONTINGENT UPON APPROVAL OF WATER QUALITY BMP'S BY TCQE.
  - ALL LOTS LABELED AS LANDSCAPE LOTS WILL PROVIDE THE NECESSARY PUBLIC ACCESS WHILE BEING OWNED AND MAINTAINED BY THE MUD.
  - A FENCE WILL BE CONSTRUCTED WHEN A HOME BACKS TO A COLLECTOR OR HIGH-LEVEL STREET. THE SINGLE FAMILY LOTS BACKING TO THE RELOCATED COLE SPRINGS ROAD WILL NEED TO BE SEPARATED FROM THE ROAD WITH A MASONRY FENCE.



**PRELIMINARY PLAT (SHEET 2 OF 7)**  
 FOR REVIEW ONLY  
**COLONY AT COLE SPRINGS**  
 PRELIMINARY PLAT  
 ZONING: F1, F4, R3  
 498 RESIDENTIAL LOTS  
 177.76 ACRES, HIRAM CUMMINGS SURVEY, A-108, PHILLIPS J. ALLEN SURVEY, A-1 & S.V.R. EGGLESTON SURVEY, A-5 IN HAYS COUNTY CITY OF BUDA, HAYS COUNTY, TEXAS

**OWNERS:**  
 MERITAGE HOMES  
 8920 BUSINESS PARK DRIVE,  
 SUITE 300  
 AUSTIN, TX 78759  
 TEL: (512) 701-3773  
 CONTACT: KYLE SMITH

**ENGINEER/ANALYST:**  
 M.H. HOMES OF AUSTIN, LLC  
 7600 N. CAPITAL OF TEXAS HWY., BLDG. C, SUITE 250  
 AUSTIN, TX 78751  
 TEL: (512) 770-4033  
 CONTACT: AUSTIN EVETS

**Kimley-Horn and Associates**  
 2800 VIA FORTUNA  
 TRAILHEAD, SUITE 300  
 AUSTIN, TX 78746  
 TEL: (512) 629-2240  
 CONTACT: KIMLEY-HORN & ASSOCIATES, INC.  
 TYPE FIRM NO. 528

**DESIGNED:** JPC **DRAWN:** JPC **CHECKED:** YB **SCALE:** AS SHOWN **DATE:** SEPTEMBER 2021 **KHA PROJECT NO.:** 067783115 **11**

**811**  
 Know what's below.  
 Call before you dig.

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL  
**BENCHMARKS**

BENCHMARKS:  
 BM #100 PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 775 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=719.97 (NAVD 88)  
 BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)  
 BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=732.56 (NAVD 88)

**CONSTRUCTION PLAN APPROVAL** SHEET 226 OF 226  
 FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A  
 Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.*

PERMIT NUMBER: 2021-737

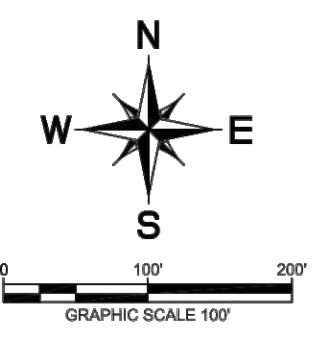
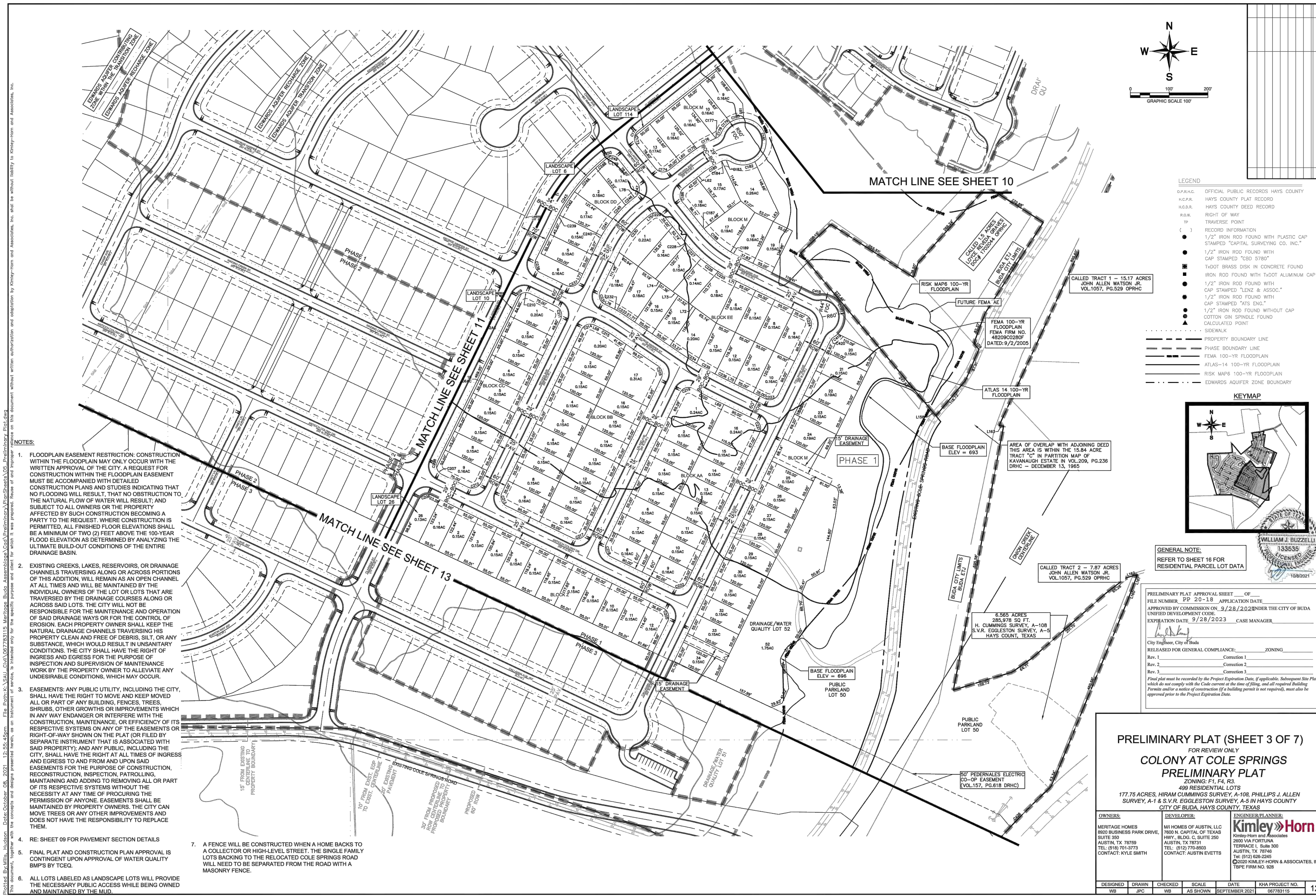
**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 WWW.KIMLEY-HORN.COM  
 © 2016 KIMLEY-HORN AND ASSOCIATES, INC.  
 TBPE Firm No. 928

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

**PRELIMINARY PLAT**  
 (SHEET 2 OF 7)

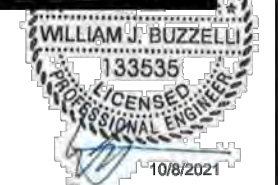
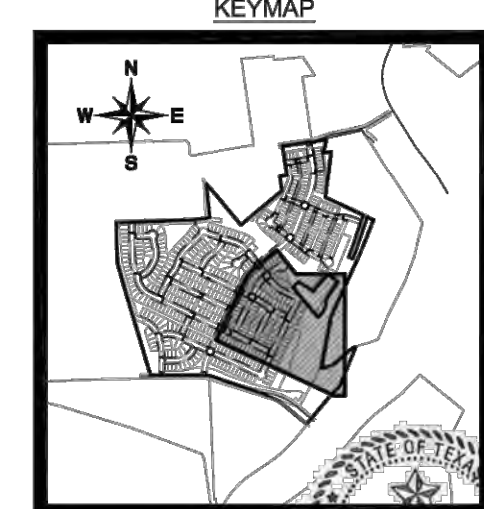
**SHEET NUMBER**  
 5  
 OF 226

NO.	REVISIONS	DATE	BY



**LEGEND**

- OFFICIAL PUBLIC RECORDS HAYS COUNTY
- HAYS COUNTY PLAT RECORD
- HAYS COUNTY DEED RECORD
- RIGHT OF WAY
- TRAVERSE POINT
- RECORD INFORMATION
- 1/2" IRON ROD FOUND WITH PLASTIC CAP STAMPED "CAPITAL SURVEYING CO. INC."
- 1/2" IRON ROD FOUND WITH CAP STAMPED "MS ENCL"
- 1/2" IRON ROD FOUND WITH CAP STAMPED "CSD 5780"
- 1"00" BRASS DISK IN CONCRETE FOUND
- IRON ROD FOUND WITH 1/20" ALUMINUM CAP
- 1/2" IRON ROD FOUND WITH CAP STAMPED "LENZ & ASSOC."
- 1/2" IRON ROD FOUND WITH CAP STAMPED "MS ENCL"
- 1/2" IRON ROD FOUND WITHOUT CAP
- COTTON GIN SPINDLE FOUND
- CALCULATED POINT
- SIDEWALK
- PROPERTY BOUNDARY LINE
- PHASE BOUNDARY LINE
- FEMA 100-YR FLOODPLAIN
- ATLAS-14 100-YR FLOODPLAIN
- RISK MAP6 100-YR FLOODPLAIN
- EDWARDS AQUIFER ZONE BOUNDARY



**GENERAL NOTE:**  
REFER TO SHEET 16 FOR RESIDENTIAL PARCEL LOT DATA

PRELIMINARY PLAT APPROVAL SHEET \_\_\_ OF \_\_\_  
FILE NUMBER PP 20-18 APPLICATION DATE  
APPROVED BY COMMISSION ON 9/28/2022 UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
EXPIRATION DATE 9/28/2023 CASE MANAGER

City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE: ZONING  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

**PRELIMINARY PLAT (SHEET 3 OF 7)**  
FOR REVIEW ONLY  
**COLONY AT COLE SPRINGS**  
**PRELIMINARY PLAT**  
ZONING: F1, F4, R3  
498 RESIDENTIAL LOTS  
177.76 ACRES, HIRAM CUMMINGS SURVEY, A-108, PHILLIPS J. ALLEN SURVEY, A-1 & S.V.R. EGGLESTON SURVEY, A-5 IN HAYS COUNTY CITY OF BUDA, HAYS COUNTY, TEXAS

**OWNERS:**  
MERITAGE HOMES  
8920 BUSINESS PARK DRIVE,  
SUITE 300  
AUSTIN, TX 78759  
TEL: (512) 701-3773  
CONTACT: KYLE SMITH

**ENGINEER/ANALYST:**  
M.H. HOMES OF AUSTIN, LLC  
7800 N. CAPITAL OF TEXAS HWY., BLDG. C, SUITE 250  
AUSTIN, TX 78751  
TEL: (512) 770-9033  
CONTACT: AUSTIN EVETS

**DESIGNED:** JPC  
**DRAWN:** JPC  
**CHECKED:** JPC  
**SCALE:** AS SHOWN  
**DATE:** SEPTEMBER 2021  
**KHA PROJECT NO.:** 067783115  
**12**

PP 20-18

- NOTES:**
- FLOODPLAIN EASEMENT RESTRICTION: CONSTRUCTION WITHIN THE FLOODPLAIN MAY ONLY OCCUR WITH THE WRITTEN APPROVAL OF THE CITY. A REQUEST FOR CONSTRUCTION WITHIN THE FLOODPLAIN EASEMENT MUST BE ACCOMPANIED WITH DETAILED CONSTRUCTION PLANS AND STUDIES INDICATING THAT NO FLOODING WILL RESULT, THAT NO OBSTRUCTION TO THE NATURAL FLOW OF WATER WILL RESULT, AND SUBJECT TO ALL OWNERS OR THE PROPERTY AFFECTED BY SUCH CONSTRUCTION BECOMING A PARTY TO THE REQUEST, WHERE CONSTRUCTION IS PERMITTED, ALL FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE 100-YEAR FLOOD ELEVATION AS DETERMINED BY ANALYZING THE ULTIMATE BUILD-OUT CONDITIONS OF THE ENTIRE DRAINAGE BASIN.
  - EXISTING CREEKS, LAKES, RESERVOIRS, OR DRAINAGE CHANNELS TRAVERSING ALONG OR ACROSS PORTIONS OF THIS ADDITION, WILL REMAIN AS AN OPEN CHANNEL AT ALL TIMES AND WILL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY THE DRAINAGE COURSES ALONG OR ACROSS SAID LOTS. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID DRAINAGE WAYS OR FOR THE CONTROL OF EROSION. EACH PROPERTY OWNER SHALL KEEP THE NATURAL DRAINAGE CHANNELS TRAVERSING HIS PROPERTY CLEAN AND FREE OF DEBRIS, SILT, OR ANY SUBSTANCE, WHICH WOULD RESULT IN UNSANITARY CONDITIONS. THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS, WHICH MAY OCCUR.
  - EASEMENTS: ANY PUBLIC UTILITY, INCLUDING THE CITY, SHALL HAVE THE RIGHT TO MOVE AND KEEP MOVED ALL OR PART OF ANY BUILDING, FENCES, TREES, SHRUBS, OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THE EASEMENTS OR RIGHT-OF-WAY SHOWN ON THE PLAT (OR FILED BY SEPARATE INSTRUMENT THAT IS ASSOCIATED WITH SAID PROPERTY), AND ANY PUBLIC, INCLUDING THE CITY, SHALL HAVE THE RIGHT AT ALL TIMES OF INGRESS AND EGRESS TO AND FROM AND UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, PATROLLING, MAINTAINING AND ADDING TO REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. EASEMENTS SHALL BE MAINTAINED BY PROPERTY OWNERS. THE CITY CAN MOVE TREES OR ANY OTHER IMPROVEMENTS AND DOES NOT HAVE THE RESPONSIBILITY TO REPLACE THEM.
  - RE: SHEET 09 FOR PAVEMENT SECTION DETAILS
  - FINAL PLAT AND CONSTRUCTION PLAN APPROVAL IS CONTINGENT UPON APPROVAL OF WATER QUALITY BMP'S BY TCEQ.
  - ALL LOTS LABELED AS LANDSCAPE LOTS WILL PROVIDE THE NECESSARY PUBLIC ACCESS WHILE BEING OWNED AND MAINTAINED BY THE MUD.
  - A FENCE WILL BE CONSTRUCTED WHEN A HOME BACKS TO A COLLECTOR OR HIGH-LEVEL STREET. THE SINGLE FAMILY LOTS BACKING TO THE RELOCATED COLE SPRINGS ROAD WILL NEED TO BE SEPARATED FROM THE ROAD WITH A MASONRY FENCE.

**811**  
Know what's below.  
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

**BENCHMARKS**

- BM #102 PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 774 PAVEMENT OF COLE SPRINGS ROAD ELEV: 498.01 (NAVD 88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV: 112.04 (NAVD 88)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV: 732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET \_\_\_ OF 226  
FILE NUMBER APPLICATION DATE  
APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE: ZONING N/A  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78745  
PH: 512.444.3537  
WWW.KIMLEY-HORN.COM  
© 2016 KIMLEY-HORN AND ASSOCIATES, INC.  
TBE Firm

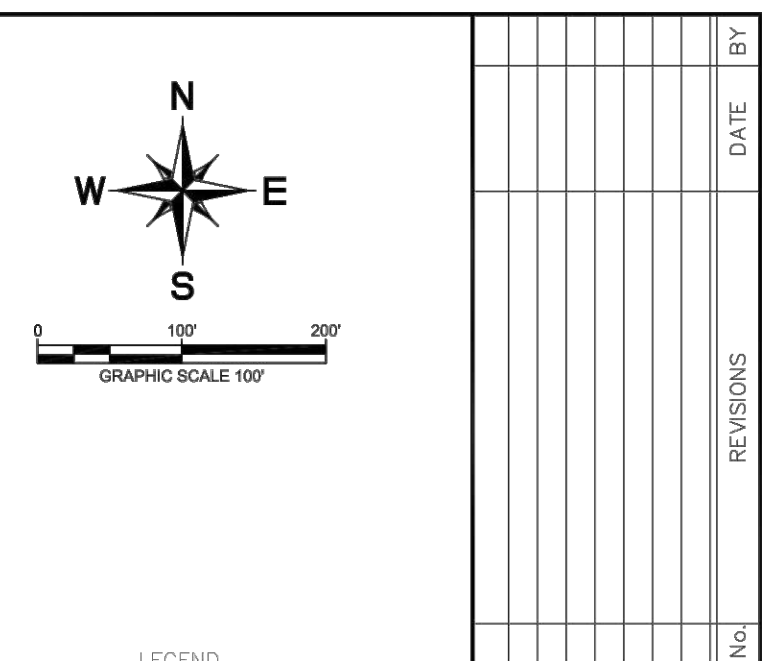
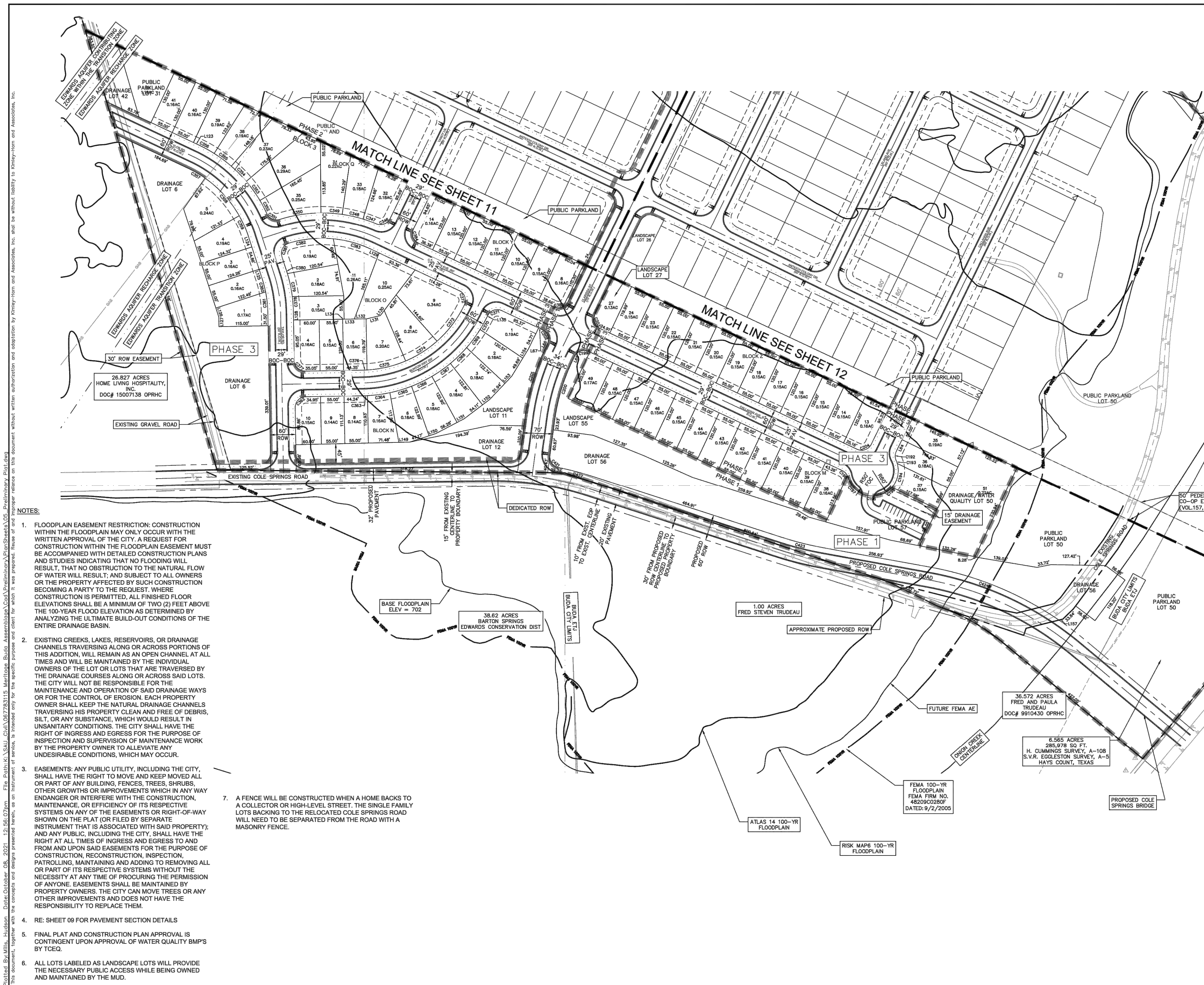
07/17/2023  
KHA PROJECT 067783115  
DATE JULY 2023  
SCALE AS SHOWN  
DESIGNED BY: WB, DM  
DRAWN BY: WM, HM, JLD, DM  
CHECKED BY: AEC

**William J. Buzzelli**  
LICENSED PROFESSIONAL ENGINEER  
STATE OF TEXAS  
NO. 133335

**PRELIMINARY PLAT**  
**(SHEET 3 OF 7)**

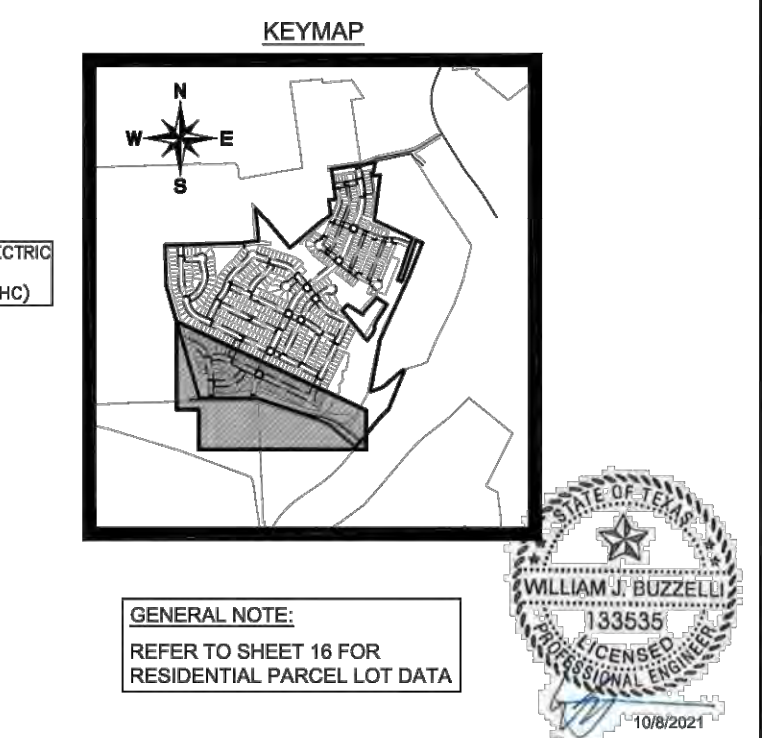
**THE COLONY - PHASE 1**  
**CITY OF BUDA**  
**HAYS COUNTY, TEXAS**

No.	REVISIONS	DATE	BY



**LEGEND**

- OFFICIAL PUBLIC RECORDS HAYS COUNTY
- HAYS COUNTY PLAT RECORD
- HAYS COUNTY DEED RECORD
- RIGHT OF WAY
- TRAVERSE POINT
- RECORD INFORMATION
- 1/2" IRON ROD FOUND WITH PLASTIC CAP STAMPED "CAPITAL SURVEYING CO. INC."
- 1/2" IRON ROD FOUND WITH CAP STAMPED "CSD 5783"
- 1/2" IRON ROD FOUND WITH TADOT BRASS DISK IN CONCRETE FOUND
- 1/2" IRON ROD FOUND WITH TADOT ALUMINUM FOUND
- 1/2" IRON ROD FOUND WITH CAP STAMPED "LENZ & ASSOC."
- 1/2" IRON ROD FOUND WITH CAP STAMPED "ATS ENG."
- 1/2" IRON ROD FOUND WITHOUT CAP
- COTTON OR SINGLE FOUND
- CALCULATED POINT
- SIDEWALK
- PROPERTY BOUNDARY LINE
- PHASE BOUNDARY LINE
- FEMA 100-YR FLOODPLAIN
- ATLAS-14 100-YR FLOODPLAIN
- RISK MAPS 100-YR FLOODPLAIN
- EDWARDS AQUIFER ZONE BOUNDARY



- NOTES:**
- FLOODPLAIN EASEMENT RESTRICTION: CONSTRUCTION WITHIN THE FLOODPLAIN MAY ONLY OCCUR WITH THE WRITTEN APPROVAL OF THE CITY. A REQUEST FOR CONSTRUCTION WITHIN THE FLOODPLAIN EASEMENT MUST BE ACCOMPANIED WITH DETAILED CONSTRUCTION PLANS AND STUDIES INDICATING THAT NO FLOODING WILL RESULT, THAT NO OBSTRUCTION TO THE NATURAL FLOW OF WATER WILL RESULT; AND SUBJECT TO ALL OWNERS OR THE PROPERTY AFFECTED BY SUCH CONSTRUCTION BECOMING A PARTY TO THE REQUEST. WHERE CONSTRUCTION IS PERMITTED, ALL FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE 100-YEAR FLOOD ELEVATION AS DETERMINED BY ANALYZING THE ULTIMATE BUILD-OUT CONDITIONS OF THE ENTIRE DRAINAGE BASIN.
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  - RE: SHEET 09 FOR PAVEMENT SECTION DETAILS
  - FINAL PLAT AND CONSTRUCTION PLAN APPROVAL IS CONTINGENT UPON APPROVAL OF WATER QUALITY BMPs BY TCEQ.
  - ALL LOTS LABELED AS LANDSCAPE LOTS WILL PROVIDE THE NECESSARY PUBLIC ACCESS WHILE BEING OWNED AND MAINTAINED BY THE MUD.
  - A FENCE WILL BE CONSTRUCTED WHEN A HOME BACKS TO A COLLECTOR OR HIGH-LEVEL STREET. THE SINGLE FAMILY LOTS BACKING TO THE RELATED COLE SPRINGS ROAD WILL NEED TO BE SEPARATED FROM THE ROAD WITH A MASONRY FENCE.

**GENERAL NOTE:**  
REFER TO SHEET 16 FOR RESIDENTIAL PARCEL LOT DATA

PRELIMINARY PLAT APPROVAL SHEET \_\_\_ OF \_\_\_  
 FILE NUMBER PP 20-18 APPLICATION DATE  
 APPROVED BY COMMISSION ON 9/28/2020 UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE 9/28/2023 CASE MANAGER

City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: ZONING  
 Rev. 1 Correction 1  
 Rev. 2 Correction 2  
 Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

**PRELIMINARY PLAT (SHEET 4 OF 7)**  
 FOR REVIEW ONLY  
**COLONY AT COLE SPRINGS**  
**PRELIMINARY PLAT**  
 ZONING: F1, F4, R3  
 498 RESIDENTIAL LOTS  
 177.75 ACRES, HIRAM CUMMINGS SURVEY, A-108, PHILLIPS J. ALLEN SURVEY, A-1 & S.V.R. EGGLESTON SURVEY, A-5 IN HAYS COUNTY CITY OF BUDA, HAYS COUNTY, TEXAS

**OWNERS:**  
 MERITAGE HOMES  
 8920 BUSINESS PARK DRIVE,  
 SUITE 350  
 AUSTIN, TX 78759  
 TEL: (512) 701-3773  
 CONTACT: KYLE SMITH

**ENGINEER/PLANNER:**  
 M.H. HOMES OF AUSTIN, LLC  
 7800 N. CAPITAL OF TEXAS  
 HWY., BLDG. C, SUITE 250  
 AUSTIN, TX 78751  
 TEL: (512) 770-4933  
 CONTACT: AUSTIN EVETS

**Kimley-Horn & Associates**  
 2800 VIA FORTUNA  
 TERRACE, SUITE 300  
 AUSTIN, TX 78746  
 TEL: (512) 620-2340  
 WWW.KIMLEY-HORN.COM  
 TYPE FIRM NO. 928

DESIGNED	DRAWN	CHECKED	SCALE	DATE	KHA PROJECT NO.
VB	JPC	VB	AS SHOWN	SEPTEMBER 2021	067783115

PP 20-18

**811**  
 Know what's below.  
 Call before you dig.

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**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB IN SET ON THE WEST SIDE OF FM 897 77.5 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV: 695.01 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES ON THIRSE. ELEV: 712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
 FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: ZONING N/A  
 Rev. 1 Correction 1  
 Rev. 2 Correction 2  
 Rev. 3 Correction 3

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PERMIT NUMBER: 2021-737

**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 WWW.KIMLEY-HORN.COM  
 © 2016 KIMLEY-HORN AND ASSOCIATES, INC.  
 TYPE FIRM NO. 928

07/17/2023

**PRELIMINARY PLAT (SHEET 4 OF 7)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**7**  
 OF 226

NO.	REVISIONS	DATE	BY

Kimley-Horn and Associates, Inc. File Path: K:\SAU\_Civil\06778315 Specific Auto Assemblage\Cad\PlanSheets\01-Preliminary Plat.dwg

Table with multiple columns for PH 1 CURVE TABLE, PH 2 CURVE TABLE, and PH 3 CURVE TABLE. Each column contains detailed curve data including curve radius, length, chord bearing, chord, delta, and tangent.

Table with multiple columns for PH 1 LINE TABLE, PH 2 LINE TABLE, and PH 3 LINE TABLE. Each column contains detailed line data including line length and bearing.

Table with columns for DESIGN, DRAWN, CHECKED, SCALE, DATE, and KHA PROJECT NO. It includes a signature block for the City Engineer and project details.

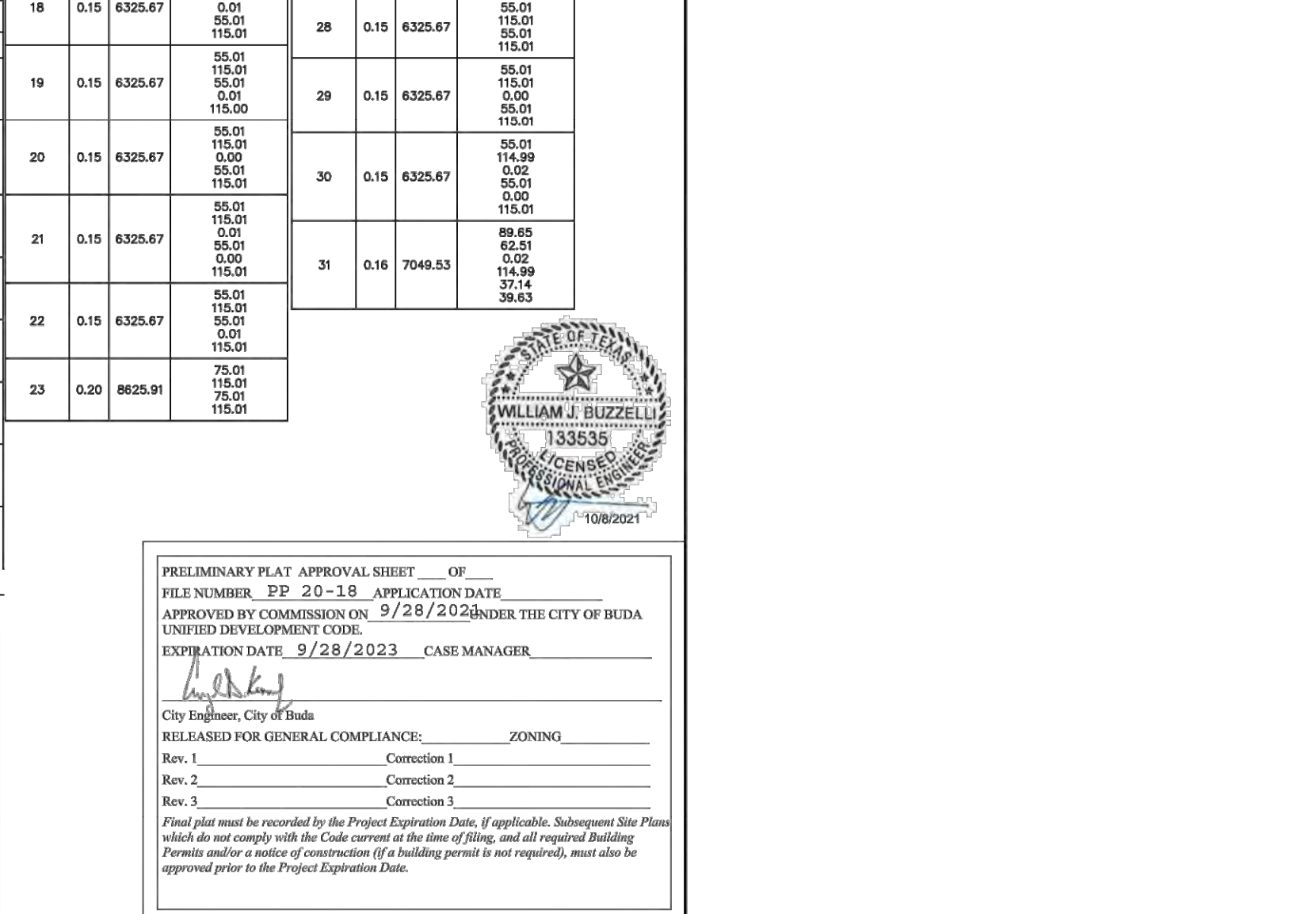
Project information including 'THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS', 'PRELIMINARY PLAT (SHEET 5 OF 7)', and 'COLONY AT COLE SPRINGS PRELIMINARY PLAT'. Includes logos for Kimley-Horn and City of Buda.

REVISIONS table with columns for No., Description, and Date.



BLOCK A LOTS AREA TABLE		BLOCK B LOTS AREA TABLE		BLOCK C LOTS AREA TABLE		BLOCK D LOTS AREA TABLE		BLOCK E LOTS AREA TABLE		BLOCK F LOTS AREA TABLE		BLOCK G LOTS AREA TABLE		BLOCK H LOTS AREA TABLE	
Lot #	Area (Ac.)	Area (Sf)	Segment Lengths	Lot #	Area (Ac.)	Area (Sf)	Segment Lengths	Lot #	Area (Ac.)	Area (Sf)	Segment Lengths	Lot #	Area (Ac.)	Area (Sf)	Segment Lengths
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2	0.11	4950.00	110.00 45.00 20.00	2	0.11	4950.00	110.00 45.00 20.00	10	0.12	5259.37	110.00 45.00 20.00	2	0.12	5289.00	110.00 45.00 20.00
3	0.11	4859.65	110.00 45.00 20.00	3	0.11	4859.65	110.00 45.00 20.00	11	0.12	5259.38	110.00 45.00 20.00	3	0.12	5289.00	110.00 45.00 20.00
4	0.22	9849.52	110.00 45.00 20.00	4	0.11	4859.65	110.00 45.00 20.00	12	0.12	5259.38	110.00 45.00 20.00	4	0.14	6101.59	110.00 45.00 20.00
5	0.15	6616.56	110.00 45.00 20.00	5	0.11	4988.89	110.00 45.00 20.00	13	0.13	5827.56	110.00 45.00 20.00	5	0.13	5790.98	110.00 45.00 20.00
				6	0.12	5259.37	110.00 45.00 20.00	14	0.12	5330.54	110.00 45.00 20.00	6	0.14	6101.59	110.00 45.00 20.00
				7	0.12	5283.44	110.00 45.00 20.00	15	0.11	4950.00	110.00 45.00 20.00	7	0.19	8118.78	110.00 45.00 20.00
				8	0.12	5283.44	110.00 45.00 20.00	16	0.14	5995.05	110.00 45.00 20.00	8	0.15	6370.42	110.00 45.00 20.00

BLOCK A LOTS AREA TABLE		BLOCK B LOTS AREA TABLE		BLOCK C LOTS AREA TABLE		BLOCK D LOTS AREA TABLE		BLOCK E LOTS AREA TABLE		BLOCK F LOTS AREA TABLE		BLOCK G LOTS AREA TABLE		BLOCK H LOTS AREA TABLE		BLOCK I LOTS AREA TABLE		BLOCK J LOTS AREA TABLE					
Lot #	Area (Ac.)	Area (Sf)	Segment Lengths	Lot #	Area (Ac.)	Area (Sf)	Segment Lengths	Lot #	Area (Ac.)	Area (Sf)	Segment Lengths	Lot #	Area (Ac.)	Area (Sf)	Segment Lengths	Lot #	Area (Ac.)	Area (Sf)	Segment Lengths				
1	0.21	9180.14	110.00 45.00 20.00	29	0.18	6881.51	110.00 45.00 20.00	44	0.19	8177.49	110.00 45.00 20.00	1	0.24	10440.38	110.00 45.00 20.00	1	0.17	7269.83	110.00 45.00 20.00	16	0.19	8058.09	110.00 45.00 20.00
2	0.20	8742.75	110.00 45.00 20.00	30	0.18	7856.15	110.00 45.00 20.00	45	0.18	7723.85	110.00 45.00 20.00	2	0.16	6909.63	110.00 45.00 20.00	2	0.16	7048.58	110.00 45.00 20.00	17	0.17	7316.33	110.00 45.00 20.00
3	0.19	8437.61	110.00 45.00 20.00	31	0.18	7816.91	110.00 45.00 20.00	46	0.18	7723.85	110.00 45.00 20.00	3	0.17	7201.28	110.00 45.00 20.00	3	0.16	7012.68	110.00 45.00 20.00	18	0.29	12890.34	110.00 45.00 20.00
4	0.15	6600.97	110.00 45.00 20.00	32	0.17	7817.80	110.00 45.00 20.00	47	0.19	8295.51	110.00 45.00 20.00	4	0.17	7408.46	110.00 45.00 20.00	4	0.29	12844.76	110.00 45.00 20.00	19	0.27	11924.28	110.00 45.00 20.00
5	0.15	6600.00	110.00 45.00 20.00	33	0.17	7878.44	110.00 45.00 20.00	48	0.21	8187.03	110.00 45.00 20.00	5	0.16	6930.94	110.00 45.00 20.00	5	0.24	10334.67	110.00 45.00 20.00	20	0.15	6325.67	110.00 45.00 20.00
6	0.15	6600.00	110.00 45.00 20.00	34	0.15	6331.03	110.00 45.00 20.00	49	0.21	8187.03	110.00 45.00 20.00	6	0.17	7206.33	110.00 45.00 20.00	6	0.15	6325.67	110.00 45.00 20.00	21	0.15	6325.67	110.00 45.00 20.00
7	0.15	6600.00	110.00 45.00 20.00	35	0.17	7212.11	110.00 45.00 20.00	50	0.18	7939.31	110.00 45.00 20.00	7	0.15	6272.54	110.00 45.00 20.00	7	0.15	6325.67	110.00 45.00 20.00	22	0.15	6325.67	110.00 45.00 20.00
8	0.15	6600.00	110.00 45.00 20.00	36	0.15	6332.00	110.00 45.00 20.00	51	0.16	7082.86	110.00 45.00 20.00	8	0.15	6272.54	110.00 45.00 20.00	8	0.15	6325.67	110.00 45.00 20.00	23	0.20	8625.91	110.00 45.00 20.00
9	0.15	6600.00	110.00 45.00 20.00	37	0.18	8132.50	110.00 45.00 20.00	52	0.17	7940.78	110.00 45.00 20.00	9	0.21	8684.35	110.00 45.00 20.00	9	0.20	8625.91	110.00 45.00 20.00	24	0.15	6325.67	110.00 45.00 20.00
10	0.15	6600.00	110.00 45.00 20.00	38	0.15	6325.00	110.00 45.00 20.00	53	0.17	7987.04	110.00 45.00 20.00	10	0.15	6272.54	110.00 45.00 20.00	10	0.15	6325.67	110.00 45.00 20.00	25	0.15	6325.67	110.00 45.00 20.00
11	0.15	6600.00	110.00 45.00 20.00	39	0.16	7071.11	110.00 45.00 20.00	54	0.23	10147.02	110.00 45.00 20.00	11	0.15	6272.54	110.00 45.00 20.00	11	0.15	6325.67	110.00 45.00 20.00	26	0.15	6325.67	110.00 45.00 20.00
12	0.15	6600.00	110.00 45.00 20.00	40	0.15	6900.43	110.00 45.00 20.00	55	0.28	11297.88	110.00 45.00 20.00	12	0.15	6272.54	110.00 45.00 20.00	12	0.15	6325.67	110.00 45.00 20.00	27	0.15	6325.67	110.00 45.00 20.00
13	0.15	6600.00	110.00 45.00 20.00	41	0.19	8118.84	110.00 45.00 20.00	56	0.19	8251.06	110.00 45.00 20.00	13	0.15	6272.54	110.00 45.00 20.00	13	0.15	6325.67	110.00 45.00 20.00	28	0.15	6325.67	110.00 45.00 20.00
14	0.15	6600.00	110.00 45.00 20.00	42	0.36	15741.00	110.00 45.00 20.00	57	0.17	7141.55	110.00 45.00 20.00	14	0.15	6272.54	110.00 45.00 20.00	14	0.15	6325.67	110.00 45.00 20.00	29	0.29	12942.14	110.00 45.00 20.00
15	0.15	6600.00	110.00 45.00 20.00	43	0.21	9209.48	110.00 45.00 20.00	58	0.16	7141.55	110.00 45.00 20.00	15	0.15	6272.54	110.00 45.00 20.00	15	0.15	6325.67	110.00 45.00 20.00	30	0.15	6325.67	110.00 45.00 20.00
16	0.15	6600.00	110.00 45.00 20.00	44	0.23	9209.48	110.00 45.00 20.00	59	0.19	8302.47	110.00 45.00 20.00	16	0.15	6272.54	110.00 45.00 20.00	16	0.15	6325.67	110.00 45.00 20.00	31	0.16	7048.53	110.00 45.00 20.00
17	0.15	6600.00	110.00 45.00 20.00	45	0.16	7141.55	110.00 45.00 20.00					17	0.15	6272.54	110.00 45.00 20.00	17	0.15	6325.67	110.00 45.00 20.00	32	0.20	8625.91	110.00 45.00 20.00
18	0.15	6600.00	110.00 45.00 20.00	46	0.16	7141.55	110.00 45.00 20.00					18	0.15	6272.54	110.00 45.00 20.00	18	0.15	6325.67	110.00 45.00 20.00	33	0.20	8625.91	110.00 45.00 20.00
19	0.15	6600.00	110.00 45.00 20.00	47	0.16	7141.55	110.00 45.00 20.00					19	0.15	6272.54	110.00 45.00 20.00	19	0.15	6325.67	110.00 45.00 20.00	34	0.20	8625.91	110.00 45.00 20.00
20	0.15	6600.00	110.00 45.00 20.00	48	0.16	7141.55	110.00 45.00 20.00					20	0.15	6272.54	110.00 45.00 20.00	20	0.15	6325.67	110.00 45.00 20.00	35	0.20	8625.91	110.00 45.00 20.00



PRELIMINARY PLAT APPROVAL SHEET OF 226  
FILE NUMBER: PP 20-18 APPLICATION DATE: 9/28/2023  
APPROVED BY COMMISSION ON 9/28/2023 UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
EXPIRATION DATE: 9/28/2023 CASE MANAGER: N/A

RELEASED FOR GENERAL COMPLIANCE: ZONING N/A  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or notices of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

OWNER: HERRIDGE HOMES, 7820 BUSINESS PARK DRIVE, SUITE 300, AUSTIN, TX 78759, TEL: (512) 770-3773, CONTACT: JYLE SMITH  
DESIGNED: M. J. HORN, DRAWN: M. J. HORN, CHECKED: J. L. HORN, SCALE: AS SHOWN, DATE: SEPTEMBER 2021, KHA PROJECT NO.: 067783115

KHA PROJECT NO. 067783115

PP 20-18

Kimley-Horn & Associates, Inc. logo and address: 5301 SOUTH WEST PARKWAY, BLDG. 3, SUITE 100, AUSTIN, TX 78746-5637, WWW.KIMLEY-HORN.COM, © 2016 KIMLEY-HORN AND ASSOCIATES, INC., TBE Firm No. 928

THE COLONY - PHASE 1, CITY OF BUDA, HAYS COUNTY, TEXAS

PRELIMINARY PLAT (SHEET 6 OF 7)

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

CONSTRUCTION PLAN APPROVAL SHEET OF 226  
FILE NUMBER: PP 20-18 APPLICATION DATE: 9/28/2023  
APPROVED BY COMMISSION ON 9/28/2023 UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
EXPIRATION DATE: 9/28/2023 CASE MANAGER: N/A

A. KENNEDY  
City Engineer, City of Buda  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or notices of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

REVISIONS: No. DATE BY

SHEET NUMBER 9 OF 226

RESIDENTIAL LOTS SHEET 12

Grid of residential lot data for Sheet 12, including columns for Block (M, N, X, Y, Z, AA, BB, CC), Lot #, Area (Ac.), and Segment Lengths.

RESIDENTIAL LOTS SHEET 13

Grid of residential lot data for Sheet 13, including columns for Block (M, N, O, P, Q, W, X, Y), Lot #, Area (Ac.), and Segment Lengths.

Revisions table with columns for No., Date, and By.

KHA PROJECT NO. 067783115



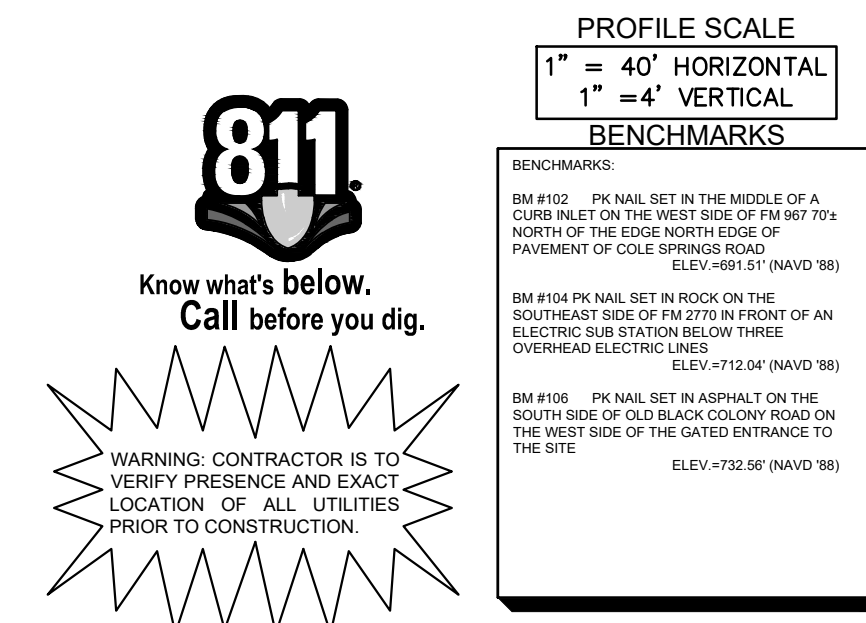
KHA PROJECT 067783115, DATE JULY 2023, SCALE AS SHOWN, DESIGNED BY: WB, DM, DRAWN: WB, HM, HJ, DM, CHECKED BY: AEC

PRELIMINARY PLAT (SHEET 7 OF 7)

THE COLONY - PHASE 1, CITY OF BUDA, HAYS COUNTY, TEXAS, SHEET NUMBER 10 OF 226

PRELIMINARY PLAT APPROVAL SHEET... FILE NUMBER PP 20-18... APPROVED BY COMMISSION ON 9/28/2023... EXPIRATION DATE 9/28/2023... CASE MANAGER

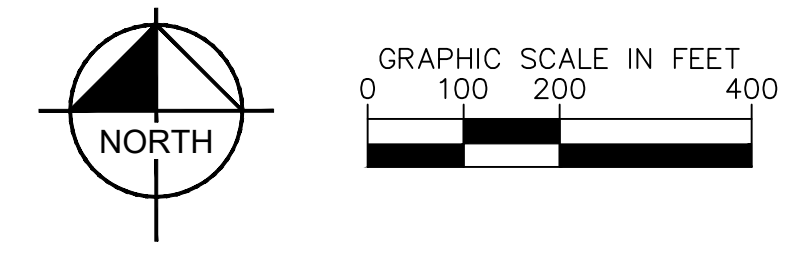
PRELIMINARY PLAT (SHEET 7 OF 7) FOR REVIEW ONLY. COLONY AT COLE SPRINGS. PRELIMINARY PLAT. ZONING: F1, F4, R3. 498 RESIDENTIAL LOTS. 177.75 ACRES, HIRAM CUMMINGS SURVEY, A-108, PHILLIPS J. ALLEN SURVEY, A-1 & S.V.R. EGGLESTON SURVEY, A-5 IN HAYS COUNTY, CITY OF BUDA, HAYS COUNTY, TEXAS.



CONSTRUCTION PLAN APPROVAL SHEET OF 226. FILE NUMBER PP 20-18. APPLICATION DATE 9/28/2023. APPROVED BY COMMISSION ON 9/28/2023 UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE. EXPIRATION DATE 2021-737. CASE MANAGER 08/16/2021. A. KENNEDY. City Engineer, City of Buda. RELEASED FOR GENERAL COMPLIANCE. ZONING N/A. Rev. 1 Correction 1, Rev. 2 Correction 2, Rev. 3 Correction 3.

Plotted by: Alvarado, Alex Date: July 17, 2023 08:34:33am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblies\Cad\PlanSheets\C-Preliminary Plat.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reason of and improper reliance on this document without written authorization and appropriation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: Flynn, Alyssa Date: July 18, 2023 02:00:18pm File Path: K:\SAL\_Civil\067783115 Heritage Budd Assemblage\Cut\PlanSheets\C-Phasing plan.dwg  
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**PHASING BOUNDARIES LEGEND**

- PROPERTY LINE
- PROPOSED PHASING BOUNDARIES
- PHASE 2
- PHASE 3

No.	REVISIONS	DATE	BY

**Kimley»Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 PH: 512.478.7757  
 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

Alejandro E. Granados-Rico  
 Licensed Professional Engineer

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

## PHASING PLAN

811

Know what's below.  
Call before you dig.

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**

BM #100 - 1PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 807 10' S NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV = 81.01 (NAVD 88)  
 BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV = 712.04 (NAVD 88)  
 BM #106 - 1PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF GLEBEAD COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 732.06 (NAVD 88)

---

CONSTRUCTION PLAN APPROVAL SHEET   228   OF   228  

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON:   N/A   UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE:   2021-737   CASE MANAGER:   08/16/2021  

**A. KENNEDY**

City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING:   N/A  

Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

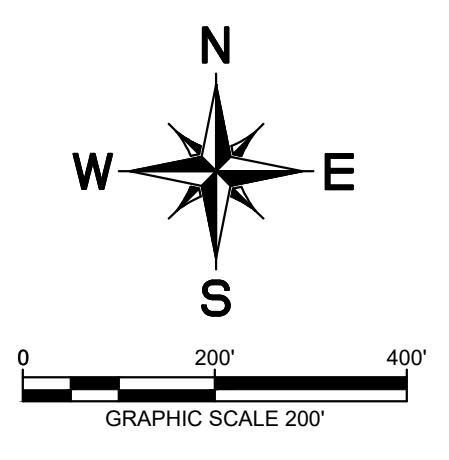
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

## THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS

SHEET NUMBER  
**11**  
OF 226

Plotted By: Alvarado, Alex Date: July 17, 2023 09:06:34am File Path: K:\SAU\Civil\067783115 Meeting\_Buda Assemblage\CA\PlanSheets\CA-Existing Conditions Plan.dwg  
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- LEGEND**
- O.P.R.H.C. OFFICIAL PUBLIC RECORDS HAYS COUNTY
  - H.C.P.R. HAYS COUNTY PLAT RECORD
  - H.C.D.R. HAYS COUNTY DEED RECORD
  - R.O.W. RIGHT OF WAY
  - TP TRAVERSE POINT
  - ( ) RECORD INFORMATION
  - 1/2" IRON ROD FOUND WITH PLASTIC CAP STAMPED "CAPITAL SURVEYING CO. INC."
  - 1/2" IRON ROD FOUND WITH CAP STAMPED "CBD 5780"
  - TxDOT BRASS DISK IN CONCRETE FOUND
  - IRON ROD FOUND WITH TxDOT ALUMINUM CAP
  - 1/2" IRON ROD FOUND WITH CAP STAMPED "LENZ & ASSOC."
  - 1/2" IRON ROD FOUND WITH CAP STAMPED "ATS ENG."
  - 1/2" IRON ROD FOUND WITHOUT CAP
  - COTTON GIN SPINDLE FOUND
  - ▲ CALCULATED POINT
  - SIDEWALK
  - PROPERTY BOUNDARY LINE
  - PHASE BOUNDARY LINE
  - FEMA 100-YR FLOODPLAIN
  - HAYS COUNTY 100-YR FLOODPLAIN
  - EDWARDS AQUIFER ZONE BOUNDARY

- NOTES:**
- ALL WASTEWATER SERVICES TO BE EXTENDED 5' BEYOND THE PROPOSED 10' UTILITY EASEMENT.
  - ENTIRE SITE IS LOCATED WITHIN BUDA CITY LIMITS AND BUDA ETJ

811

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WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

CONSTRUCTION PLAN APPROVAL		SHEET 228	
FILE NUMBER	APPLICATION DATE	APPROVED BY	COMMISSION ON
2021-737	08/16/2021	N/A	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737		CASE MANAGER: 08/16/2021	
<b>A. KENNEDY</b>			
City Engineer, City of Buda			
RELEASED FOR GENERAL COMPLIANCE: ZONING, N/A			
Rev. 1	Correction 1		
Rev. 2	Correction 2		
Rev. 3	Correction 3		
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.			
PERMIT NUMBER: 2021-737			

NO.	REVISIONS	DATE	BY

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78725  
PHONE: 512-646-2237  
WWW.KIMLEY-HORN.COM  
© 2016 KIMLEY-HORN & ASSOCIATES, INC.  
LIFE Firm No. 928

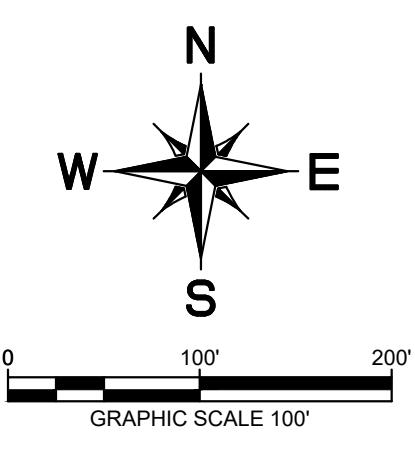
Alejandro E. Granados

EXISTING CONDITIONS  
OVERALL

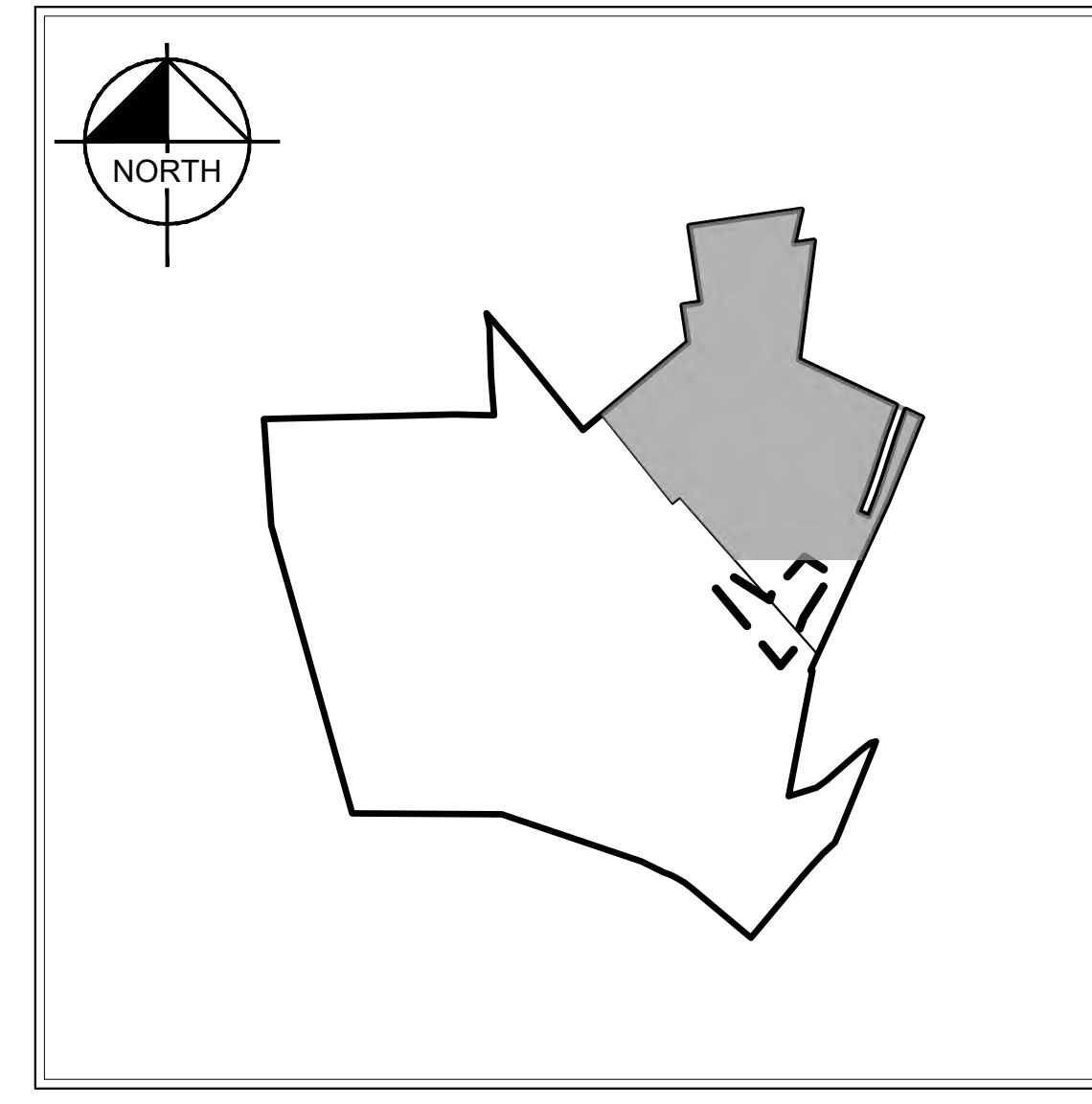
THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER  
**14**  
OF 226

Plotted by: Alvarado, Alex Date: July 17, 2023 09:06:49am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\0-Existing Conditions Plan.dwg  
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- LEGEND**
- O.P.R.H.C. OFFICIAL PUBLIC RECORDS HAYS COUNTY
  - H.C.P.R. HAYS COUNTY PLAT RECORD
  - H.C.D.R. HAYS COUNTY DEED RECORD
  - R.O.W. RIGHT OF WAY
  - TP TRAVERSE POINT
  - ( ) RECORD INFORMATION
  - 1/2" IRON ROD FOUND WITH PLASTIC CAP STAMPED "CAPITAL SURVEYING CO. INC."
  - 1/2" IRON ROD FOUND WITH CAP STAMPED "CBD 5780"
  - TxDOT BRASS DISK IN CONCRETE FOUND
  - IRON ROD FOUND WITH TxDOT ALUMINUM CAP
  - 1/2" IRON ROD FOUND WITH CAP STAMPED "LENZ & ASSOC."
  - 1/2" IRON ROD FOUND WITH CAP STAMPED "ATS ENG."
  - 1/2" IRON ROD FOUND WITHOUT CAP
  - COTTON GIN SPINDLE FOUND
  - ▲ CALCULATED POINT
  - SIDEWALK
  - PROPERTY BOUNDARY LINE
  - PHASE BOUNDARY LINE
  - FEMA 100-YR FLOODPLAIN
  - HAYS COUNTY 100-YR FLOODPLAIN
  - EDWARDS AQUIFER ZONE BOUNDARY



**811**  
 Know what's below.  
 Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #102 PK NAIL SET IN THE MIDDLE OF A CURB IN SET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV: 718.51 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV: 712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF OLD BLACK COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV: 712.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET	OF 226
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE 2021-737	CASE MANAGER 08/16/2021
A. KENNEDY	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE:	ZONING N/A
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
Final plan must be received by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.	
PERMIT NUMBER: 2021-737	

NO.	REVISIONS	DATE	BY

**Kimley & Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 PH: 512.454.5377  
 WWW.KIMLEY-HORN.COM  
 © 2016 KIMLEY-HORN AND ASSOCIATES, INC.  
 TBPE Firm

07/17/2023

Alejandro E. Granados-Rico

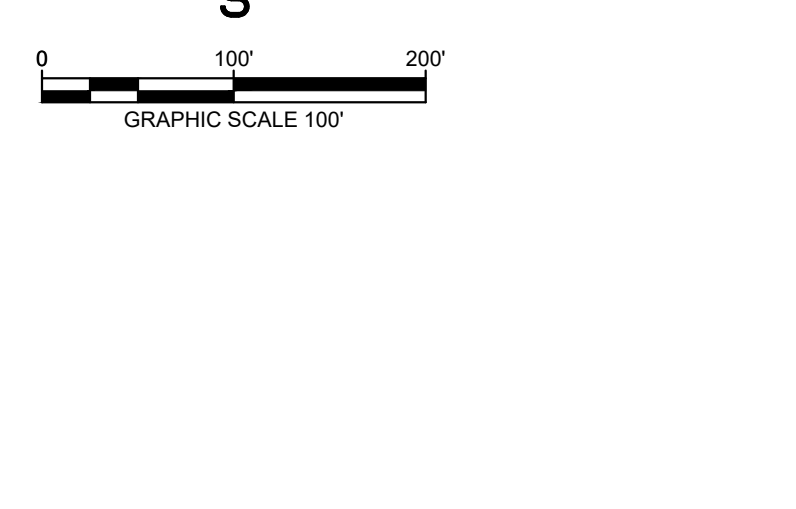
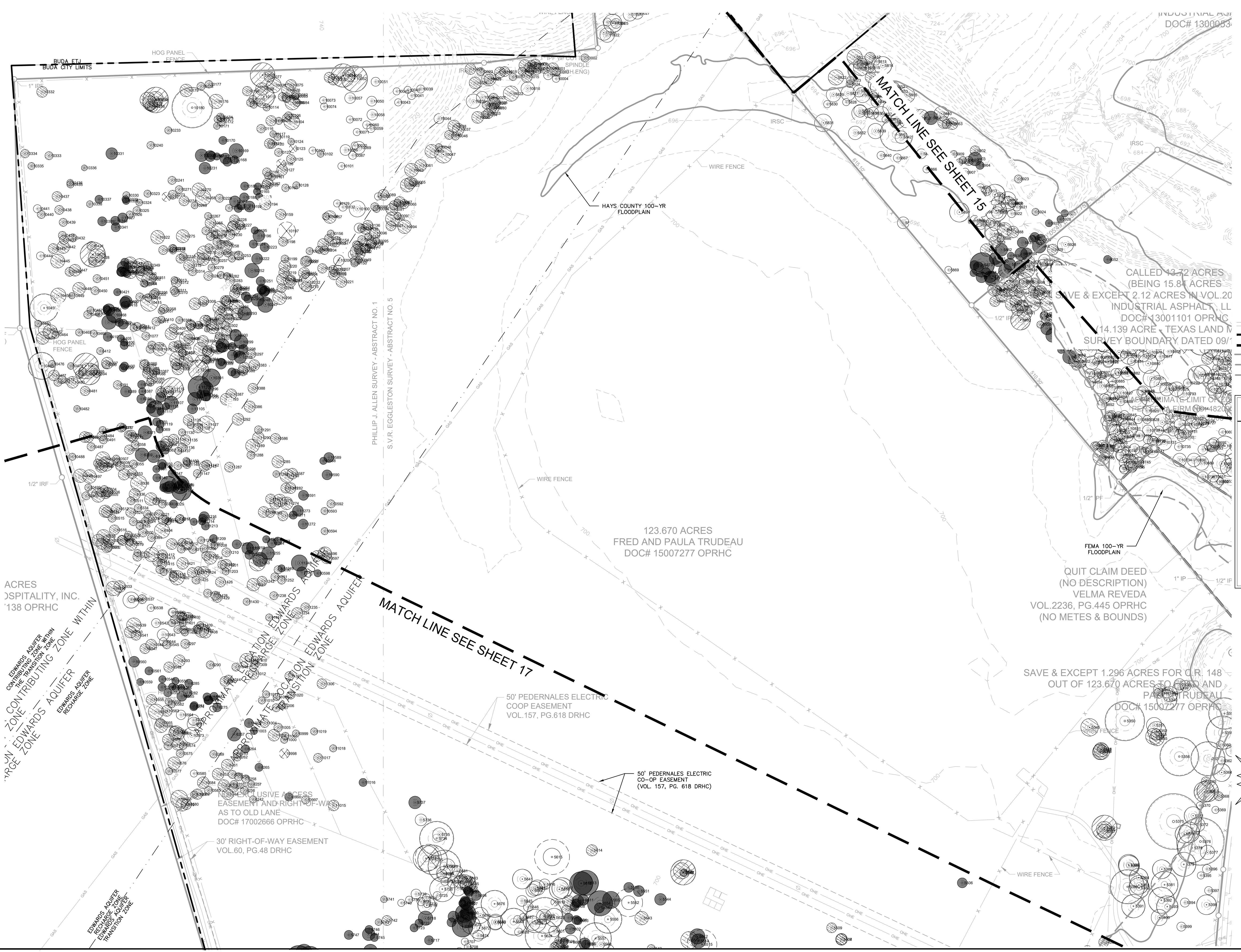
KHA PROJECT	06/783115
DATE	JULY 2023
SCALE	AS SHOWN
DESIGNED BY	WB, DM
DRAWN BY	WB, HM, MH, DM
CHECKED BY	AEG

**EXISTING CONDITIONS**  
 (SHEET 1 OF 3)

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

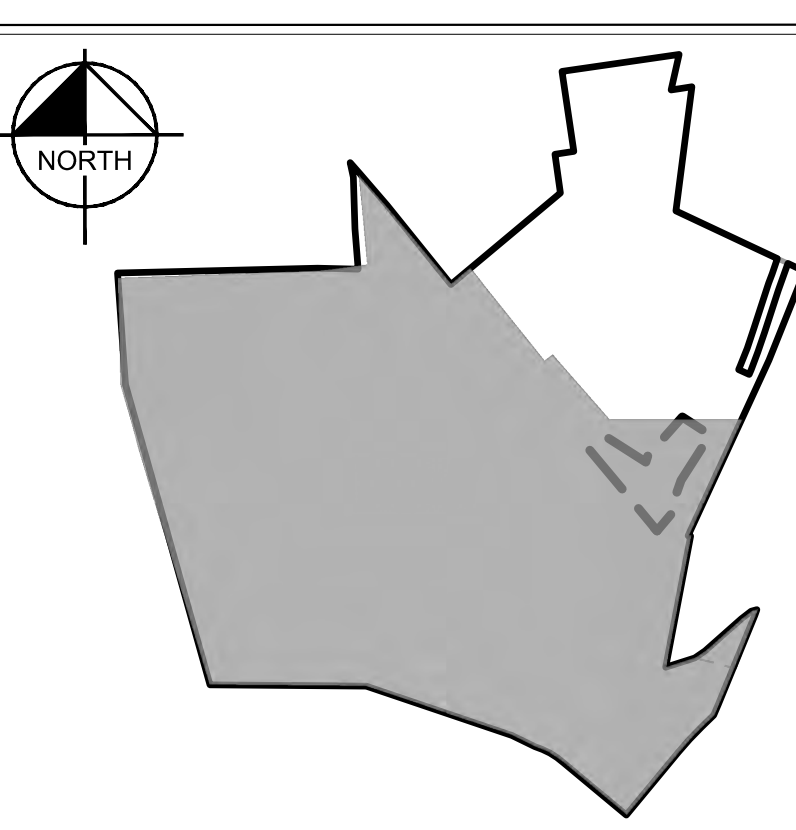
SHEET NUMBER  
**15**  
 OF 226

Plotted by: Alvarado, Alex Date: July 17, 2023 09:07:11am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\C-Existing Conditions Plan.dwg  
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**LEGEND**

○ P.P.H.C.	OFFICIAL PUBLIC RECORDS HAYS COUNTY
○ H.C.P.R.	HAYS COUNTY PLAT RECORD
○ H.C.D.R.	HAYS COUNTY DEED RECORD
○ R.O.W.	RIGHT OF WAY
○ TP	TRAVERSE POINT
( )	RECORD INFORMATION
●	1/2" IRON ROD FOUND WITH PLASTIC CAP STAMPED "CAPITAL SURVEYING CO. INC."
●	1/2" IRON ROD FOUND WITH CAP STAMPED "CBD 5780"
■	TXDOT BRASS DISK IN CONCRETE FOUND
■	IRON ROD FOUND WITH TXDOT ALUMINUM CAP
●	1/2" IRON ROD FOUND WITH CAP STAMPED "LENZ & ASSOC."
●	1/2" IRON ROD FOUND WITH CAP STAMPED "ATS ENG."
●	1/2" IRON ROD FOUND WITHOUT CAP
▲	COTTON GIN SPINDLE FOUND
○	CALCULATED POINT
---	SIDEWALK
---	PROPERTY BOUNDARY LINE
---	PHASE BOUNDARY LINE
---	FEMA 100-YR FLOODPLAIN
---	HAYS COUNTY 100-YR FLOODPLAIN
---	EDWARDS AQUIFER ZONE BOUNDARY



**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARKS**

BM #100 - PK NAIL SET IN THE MIDDLE OF A CURB IN SET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=712.56 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW ON THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF GULFBANK COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=712.56 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET **226** OF 226

FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON N/A	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737	CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A

Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.*

PERMIT NUMBER: 2021-737

No.	REVISIONS	DATE	BY

**Kimley-Horn**

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 AUSTIN, TX 78745-5737  
 WWW.KIMLEY-HORN.COM  
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 TBPE Firm

07/17/2023

**Alejandro E. Granados**  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF TEXAS

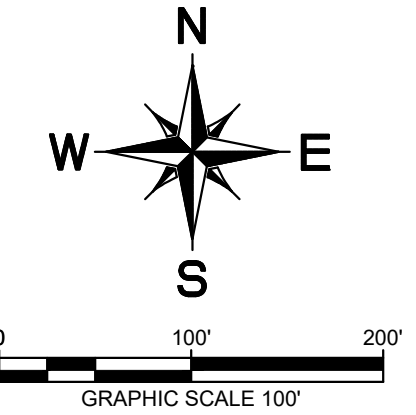
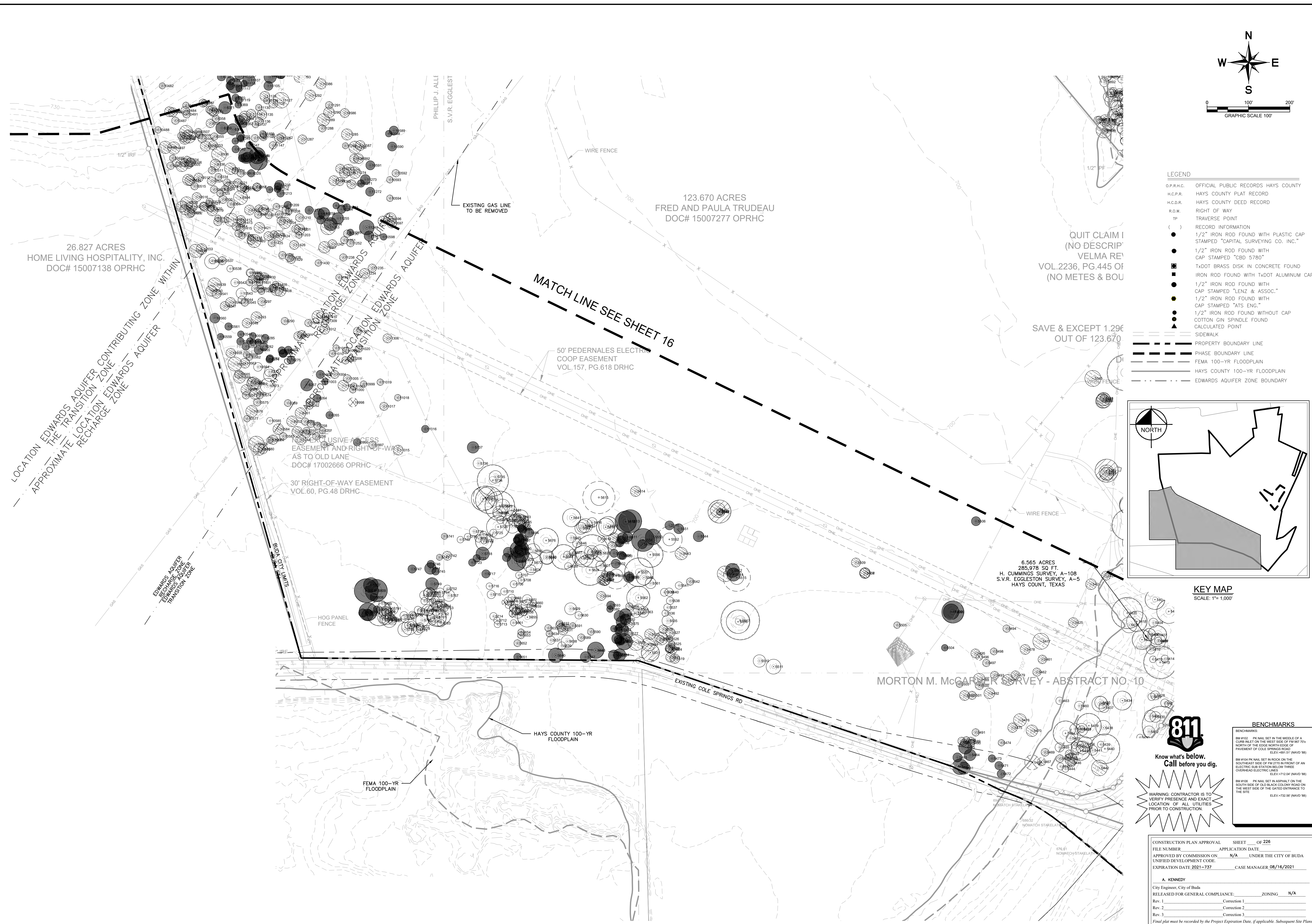
KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

**EXISTING CONDITIONS (SHEET 2 OF 3)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER **16**  
 OF 226

Plotted by: Alvarado, Alex Date: July 17, 2023 09:07:28am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\C-Existing Conditions Plan.dwg  
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**LEGEND**

OP.R.H.C.	OFFICIAL PUBLIC RECORDS HAYS COUNTY
H.C.P.R.	HAYS COUNTY PLAT RECORD
H.C.D.R.	HAYS COUNTY DEED RECORD
R.O.W.	RIGHT OF WAY
TP	TRAVERSE POINT
( )	RECORD INFORMATION
●	1/2" IRON ROD FOUND WITH PLASTIC CAP STAMPED "CAPITAL SURVEYING CO. INC."
●	1/2" IRON ROD FOUND WITH CAP STAMPED "CBD 5780"
●	1/2" IRON ROD FOUND WITH TxDOT BRASS DISK IN CONCRETE FOUND
●	IRON ROD FOUND WITH TxDOT ALUMINUM CAP
●	1/2" IRON ROD FOUND WITH CAP STAMPED "LENZ & ASSOC."
●	1/2" IRON ROD FOUND WITH CAP STAMPED "ATS ENG."
●	1/2" IRON ROD FOUND WITHOUT CAP
●	COTTON GIN SPINDLE FOUND
●	CALCULATED POINT
—	SIDEWALK
---	PROPERTY BOUNDARY LINE
---	PHASE BOUNDARY LINE
---	FEMA 100-YR FLOODPLAIN
---	HAYS COUNTY 100-YR FLOODPLAIN
---	EDWARDS AQUIFER ZONE BOUNDARY



**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**

BM #102	PK NAIL SET IN THE MIDDLE OF A CURB IN SET ON THE WEST SIDE OF FM 807 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV = 718.51 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV = 712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF GULFBROOK COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV = 732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET	OF 226
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE 2021-737	CASE MANAGER 08/16/2021
<b>A. KENNEDY</b>	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE	ZONING N/A
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
<small>Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.</small>	
PERMIT NUMBER: 2021-737	

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
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 TBPE Firm No. 928

07/17/2023  
 KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

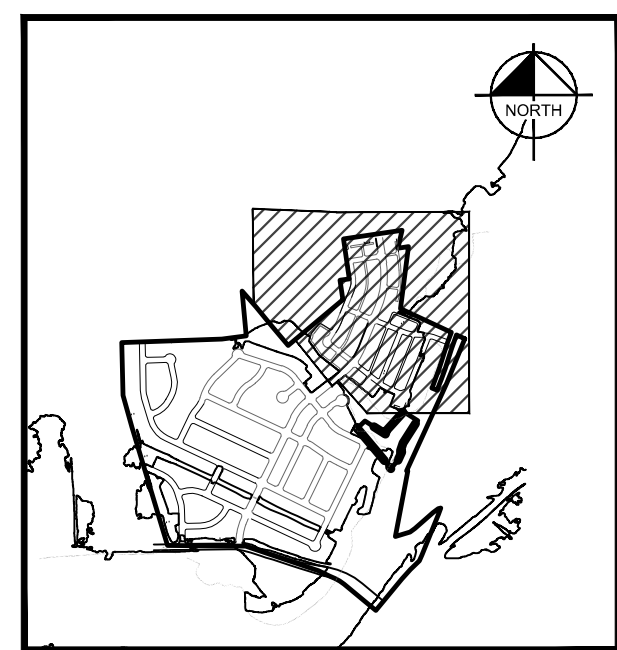
**EXISTING CONDITIONS (SHEET 3 OF 3)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**17**  
 OF 226

Plotted by: Alvarado, Alex Date: July 17, 2023 11:19:47am File Path: K:\SAU\_CIV\05783115 Heritage Buda Assemblage\Cad\PlanSheets\C-Erosion Control\Plan.dwg  
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**KEYMAP**



KEY MAP  
1:2000'

**NOTES:**

- FLOODPLAIN EASEMENT RESTRICTION: CONSTRUCTION WITHIN THE FLOODPLAIN MAY ONLY OCCUR WITH THE WRITTEN APPROVAL OF THE CITY. A REQUEST FOR CONSTRUCTION WITHIN THE FLOODPLAIN EASEMENT MUST BE ACCOMPANIED WITH DETAILED CONSTRUCTION PLANS AND STUDIES INDICATING THAT NO FLOODING WILL RESULT, THAT NO OBSTRUCTION TO THE NATURAL FLOW OF WATER WILL RESULT, AND SUBJECT TO ALL OWNERS OR THE PROPERTY AFFECTED BY SUCH CONSTRUCTION BECOMING A PARTY TO THE REQUEST, WHERE CONSTRUCTION IS PERMITTED, ALL FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE 100-YEAR FLOOD ELEVATION AS DETERMINED BY ANALYZING THE ULTIMATE BUILD-OUT CONDITIONS OF THE ENTIRE DRAINAGE BASIN.
- EXISTING CREEKS, LAKES, RESERVOIRS, OR DRAINAGE CHANNELS TRAVELING ALONG OR ACROSS PORTIONS OF THIS ADDITION, WILL REMAIN AS AN OPEN CHANNEL AT ALL TIMES AND WILL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY THE DRAINAGE COURSES ALONG OR ACROSS SAID LOTS. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID DRAINAGE WAYS OR FOR THE CONTROL OF EROSION. EACH PROPERTY OWNER SHALL KEEP THE NATURAL DRAINAGE CHANNELS TRAVELING HIS PROPERTY CLEAN AND FREE OF DEBRIS, SILT, OR ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS. THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS, WHICH MAY OCCUR.
- EASEMENTS: ANY PUBLIC UTILITY, INCLUDING THE CITY, SHALL HAVE THE RIGHT TO MOVE AND KEEP MOVED ALL OR PART OF ANY BUILDING, FENCES, TREES, SHRUBS, OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THE EASEMENTS OR RIGHT-OF-WAY SHOWN ON THE PLAT (OR FILED BY SEPARATE INSTRUMENT THAT IS ASSOCIATED WITH SAID PROPERTY); AND ANY PUBLIC, INCLUDING THE CITY, SHALL HAVE THE RIGHT AT ALL TIMES OF INGRESS AND EGRESS TO AND FROM AND UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, PATROLLING, MAINTAINING AND ADDING TO REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. EASEMENTS SHALL BE MAINTAINED BY PROPERTY OWNERS. THE CITY CAN MOVE TREES OR ANY OTHER IMPROVEMENTS AND DOES NOT HAVE THE RESPONSIBILITY TO REPLACE THEM.
- THE CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS AND TREE/NATURAL AREA PROTECTIVE FENCING PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR EXCAVATION).
- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE CITY OF BUDA ENVIRONMENTAL CRITERIA MANUAL AS ADOPTED BY THE CITY OF BUDA.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE CONTRACTOR, DESIGN ENGINEER/PERMIT APPLICANT AND INSPECTOR AFTER INSTALLATION OF THE EROSION/SEDIMENTATION CONTROLS AND TREE/NATURAL AREA PROTECTION MEASURES AND PRIOR TO BEGINNING ANY SITE PREPARATION WORK. THE CONTRACTOR SHALL NOTIFY THE CITY OF BUDA ENGINEERING DEPARTMENT, 312-0084, AT LEAST THREE DAYS PRIOR TO THE MEETING DATE.
- ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST OR CITY ARBORIST AS APPROPRIATE. MINOR CHANGES TO BE MADE AS FIELD REVISIONS TO THE PLAN MAY BE REQUIRED BY THE INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES.
- THE CONTRACTOR IS REQUIRED TO INSPECT THE CONTROLS AND FENCES AT WEEKLY INTERVALS AND AFTER SIGNIFICANT RAINFALL EVENTS TO INSURE THAT THEY ARE FUNCTIONING PROPERLY. THE PERSON(S) RESPONSIBLE FOR THE MAINTENANCE OF CONTROLS AND FENCES SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHED SIX (6) INCHES.
- WHERE A DIVERSION OR PERIMETER CONTROL SILT FENCE IS INSTALLED IN THE DIRECTION OF A SLOPE, A 20-FLOOR LENGTH OF FENCE SHOULD BE TURNED IN, ACROSS THE SLOPE, AT REGULAR INTERVALS (100 FEET) TO CREATE A "J" HOOK.

**PERMANENT EROSION CONTROL:**

ALL DISTURBED AREAS SHALL BE RESTORED AS NOTED BELOW, A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE PLACED IN ALL DRAINAGE CHANNELS (EXCEPT ROCK) AND BETWEEN THE CURB AND RIGHT-OF-WAY LINE.

THE SEEDING FOR PERMANENT EROSION CONTROL SHALL BE AS SPECIFIED IN THE CITY OF AUSTIN STANDARD SPECIFICATION 604S, AS ADOPTED BY THE CITY OF BUDA. USE NATIVE SEEDING.

**DUST CONTROL:**

DUST CONTROL METHODS ARE REQUIRED AS PER CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL SECTION 1.4.5.D AS ADOPTED BY THE CITY OF BUDA.



**EROSION CONTROL LEGEND**

---	PROPERTY LINE
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
SF	SILT FENCE
TP	TREE PROTECTION
#	BLOCK NUMBER
#	LOT NUMBER
CE	STABILIZED CONSTRUCTION ENTRANCE/EXIT
IP	INLET PROTECTION
RB	ROCK BERM
LOC	LIMITS OF CONSTRUCTION
WO	CONCRETE WASHOUT AREA
DB	DIVERSION BERM
SK	TEMPORARY SEDIMENT BASIN
SK	DEWATERING SKIMMER
SK	SPOILS AND STAGING AREAS
⊙ 8"-20"	TREES
⊙ 8"-20"	DEAD TREES
⊙ 8"-20"	TREES IN ROW
⊙ 8"-20"	TREES TO BE REMOVED
⊙ 20"-30"	TREES
⊙ 30" +	TREES
⊙ 20"-30"	DEAD TREES
⊙ 20"-30"	TREES IN ROW
⊙ 30" +	TREES IN ROW
⊙ 20"-30"	TREES TO BE REMOVED
⊙ 30" +	TREES TO BE REMOVED

**811**  
 Know what's below.  
 Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #100	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77.4 NORTH OF THE 5000 NORTH ROAD SP PAYMENT OF COLE SPRINGS ROAD	ELEV: 877.50 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES	ELEV: 712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE	ELEV: 732.50 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE	2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE:	ZONING	N/A
Rev. 1	Correction 1	
Rev. 2	Correction 2	
Rev. 3	Correction 3	

*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.*

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley >>> Horn**  
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 AUSTIN, TX 78745  
 WWW.KIMLEY-HORN.COM  
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 TBE Firm

07/17/2023

**ALVARADO, ALEX**  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF TEXAS  
 LICENSE NO. 13030

KHA PROJECT: 06/783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB/DW  
 DRAWN BY: WB, HM, MJD, DM  
 CHECKED BY: AEC

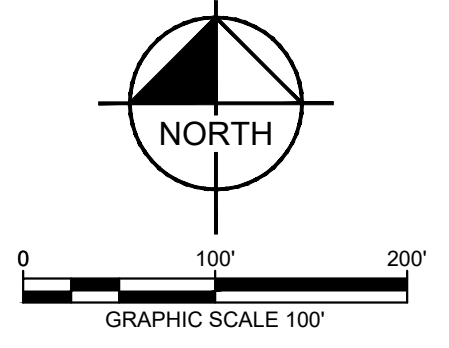
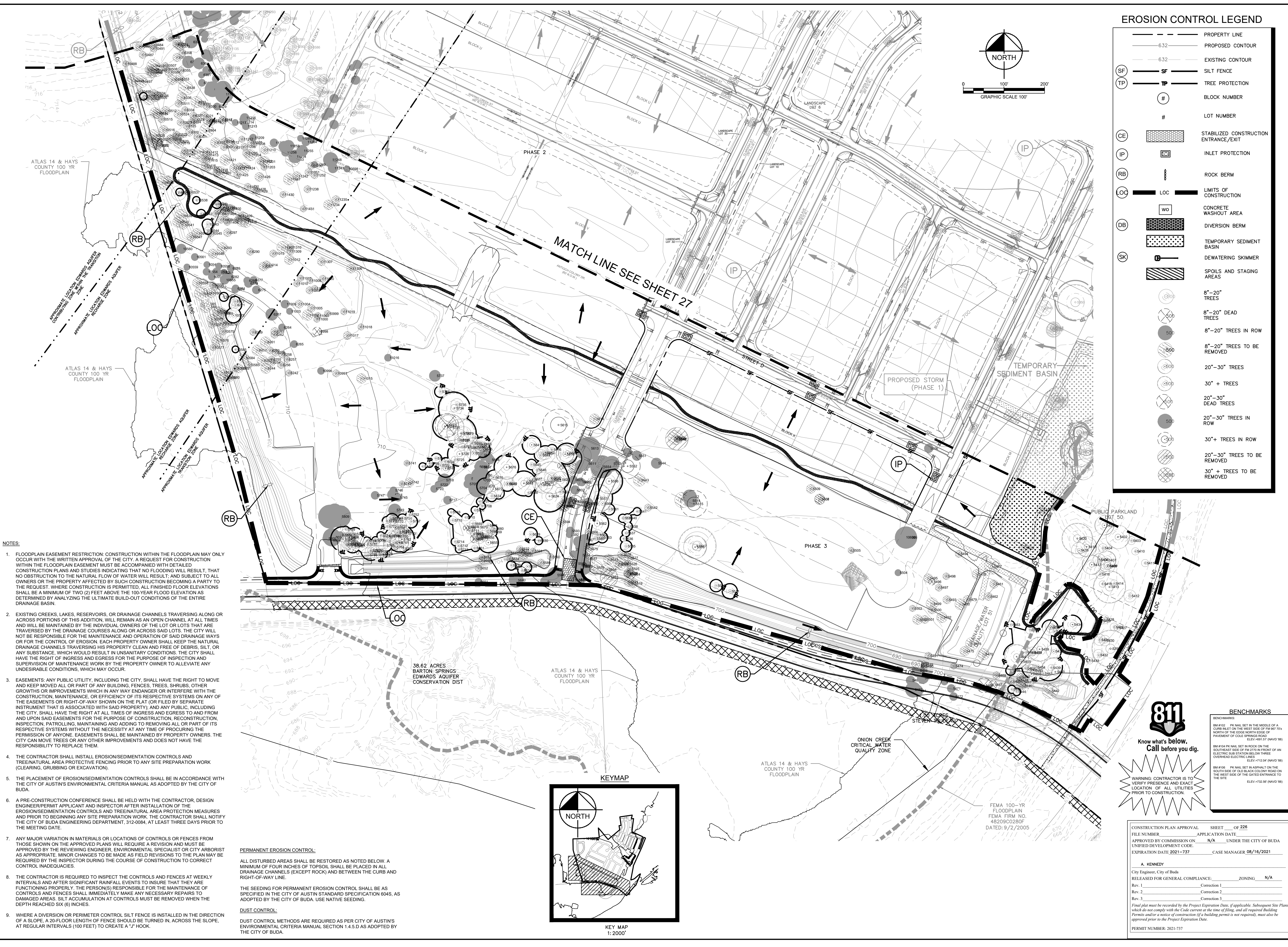
**EROSION & SEDIMENTATION CONTROL PLAN (1 OF 3)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**25**  
 OF 226



Plotted by: Alvarado, Alex Date: July 17, 2023 11:04:46am File Path: K:\SAU\_Civil\06783115 Heritage Buda Assemblage\Cad\PlanSheets\C-Erosion Control Plan.dwg  
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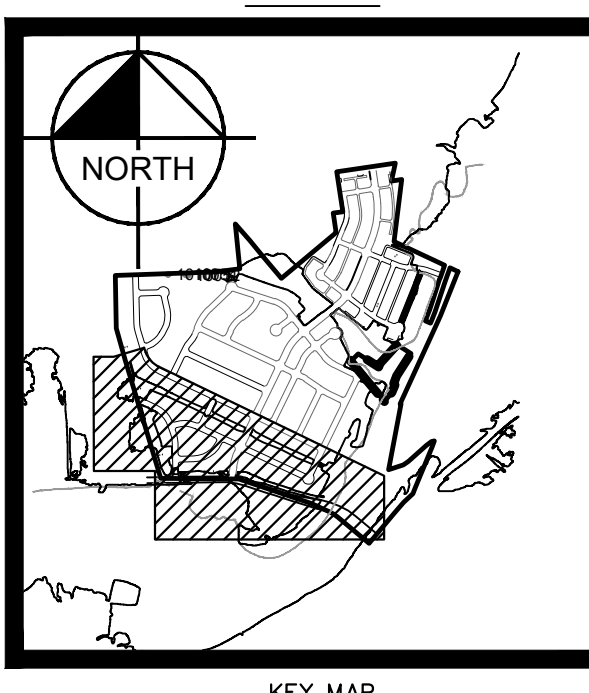
**EROSION CONTROL LEGEND**

---	PROPERTY LINE
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
SF	SILT FENCE
TP	TREE PROTECTION
#	BLOCK NUMBER
#	LOT NUMBER
CE	STABILIZED CONSTRUCTION ENTRANCE/EXIT
IP	INLET PROTECTION
RB	ROCK BERM
LOC	LIMITS OF CONSTRUCTION
WO	CONCRETE WASHOUT AREA
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SK	DEWATERING SKIMMER
SK	SPOILS AND STAGING AREAS
8"-20"	TREES
8"-20"	DEAD TREES
8"-20"	TREES IN ROW
8"-20"	TREES TO BE REMOVED
20"-30"	TREES
30" +	TREES
20"-30"	DEAD TREES
20"-30"	TREES IN ROW
20"-30"	TREES TO BE REMOVED
30" +	TREES TO BE REMOVED

- NOTES:**
- FLOODPLAIN EASEMENT RESTRICTION: CONSTRUCTION WITHIN THE FLOODPLAIN MAY OCCUR WITH THE WRITTEN APPROVAL OF THE CITY. A REQUEST FOR CONSTRUCTION WITHIN THE FLOODPLAIN EASEMENT MUST BE ACCOMPANIED WITH DETAILED CONSTRUCTION PLANS AND STUDIES INDICATING THAT NO FLOODING WILL RESULT, THAT NO OBSTRUCTION TO THE NATURAL FLOW OF WATER WILL RESULT, AND SUBJECT TO ALL OWNERS OR THE PROPERTY AFFECTED BY SUCH CONSTRUCTION BECOMING A PARTY TO THE REQUEST. WHERE CONSTRUCTION IS PERMITTED, ALL FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE 100-YEAR FLOOD ELEVATION AS DETERMINED BY ANALYZING THE ULTIMATE BUILD-OUT CONDITIONS OF THE ENTIRE DRAINAGE BASIN.
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  - WHERE A DIVERSION OR PERIMETER CONTROL, SILT FENCE IS INSTALLED IN THE DIRECTION OF A SLOPE, A 20-FOOT LENGTH OF FENCE SHOULD BE TURNED IN, ACROSS THE SLOPE, AT REGULAR INTERVALS (100 FEET) TO CREATE A "J" HOOK.

**PERMANENT EROSION CONTROL:**  
 ALL DISTURBED AREAS SHALL BE RESTORED AS NOTED BELOW. A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE PLACED IN ALL DRAINAGE CHANNELS (EXCEPT ROCK) AND BETWEEN THE CURB AND RIGHT-OF-WAY LINE.  
 THE SEEDING FOR PERMANENT EROSION CONTROL SHALL BE AS SPECIFIED IN THE CITY OF AUSTIN STANDARD SPECIFICATION 604S, AS ADOPTED BY THE CITY OF BUDA. USE NATIVE SEEDING.

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WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #102	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE GATED ENTRANCE TO PAVEMENT OF COLE SPRINGS ROAD. ELEV: 897.87 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN OVERHEAD ELECTRIC LINE ON PHASE 1. ELEV: 12.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 772.50 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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 AUSTIN, TX 78745  
 WWW.KIMLEY-HORN.COM  
 BY: WB, HM, MH, DM  
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 TBE Firm

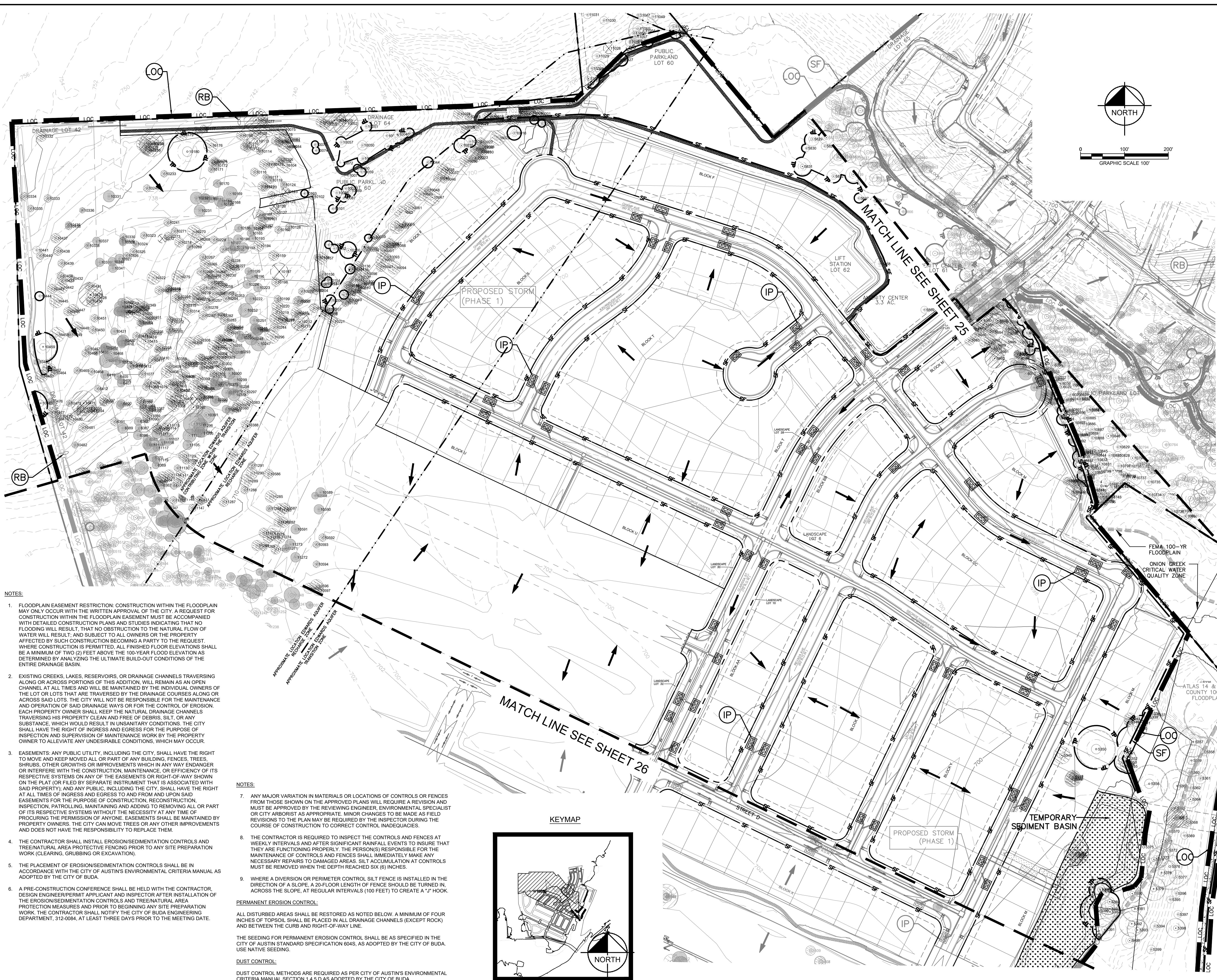
07/17/2023

**THE COLONY - PHASE 1**  
**EROSION & SEDIMENTATION CONTROL PLAN (2 OF 3)**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER: 26  
 OF 226

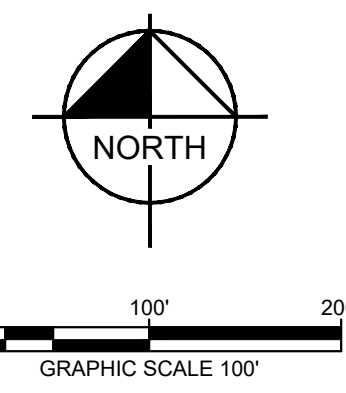
NO.	REVISIONS	DATE	BY

Plotted by: Alvarado, Alex Date: July 17, 2023 11:05:45am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\C-Erosion Control Plan.dwg  
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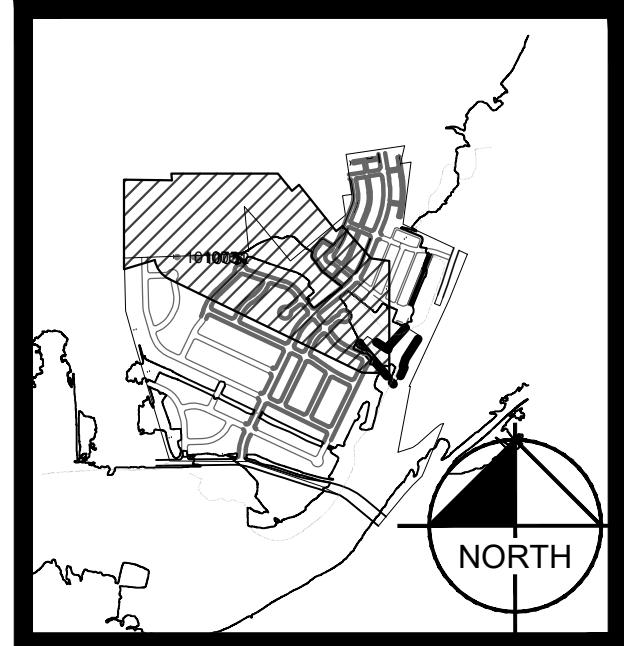
### EROSION CONTROL LEGEND

	PROPERTY LINE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SILT FENCE
	TREE PROTECTION
	BLOCK NUMBER
	LOT NUMBER
	STABILIZED CONSTRUCTION ENTRANCE/EXIT
	INLET PROTECTION
	ROCK BERM
	LIMITS OF CONSTRUCTION
	CONCRETE WASHOUT AREA
	DIVERSION BERM
	TEMPORARY SEDIMENT BASIN
	DEWATERING SKIMMER
	SPOILS AND STAGING AREAS
	8"-20" TREES
	8"-20" DEAD TREES
	8"-20" TREES IN ROW
	8"-20" TREES TO BE REMOVED
	20"-30" TREES
	30" + TREES
	20"-30" DEAD TREES
	20"-30" TREES IN ROW
	20"-30" TREES TO BE REMOVED
	30" + TREES TO BE REMOVED



- NOTES:**
- FLOODPLAIN EASEMENT RESTRICTION: CONSTRUCTION WITHIN THE FLOODPLAIN MAY ONLY OCCUR WITH THE WRITTEN APPROVAL OF THE CITY. A REQUEST FOR CONSTRUCTION WITHIN THE FLOODPLAIN EASEMENT MUST BE ACCOMPANIED WITH DETAILED CONSTRUCTION PLANS AND STUDIES INDICATING THAT NO FLOODING WILL RESULT, THAT NO OBSTRUCTION TO THE NATURAL FLOW OF WATER WILL RESULT, AND SUBJECT TO ALL OWNERS OR THE PROPERTY AFFECTED BY SUCH CONSTRUCTION BECOMING A PARTY TO THE REQUEST, WHERE CONSTRUCTION IS PERMITTED, ALL FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE 100-YEAR FLOOD ELEVATION AS DETERMINED BY ANALYZING THE ULTIMATE BUILD-OUT CONDITIONS OF THE ENTIRE DRAINAGE BASIN.
  - EXISTING CREEKS, LAKES, RESERVOIRS, OR DRAINAGE CHANNELS TRAVERSING ALONG OR ACROSS PORTIONS OF THIS ADDITION, WILL REMAIN AS AN OPEN CHANNEL AT ALL TIMES AND WILL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY THE DRAINAGE COURSES ALONG OR ACROSS SAID LOTS. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID DRAINAGE WAYS OR FOR THE CONTROL OF EROSION. EACH PROPERTY OWNER SHALL KEEP THE NATURAL DRAINAGE CHANNELS TRAVERSED HIS PROPERTY CLEAN AND FREE OF DEBRIS, SILT, OR ANY SUBSTANCE, WHICH WOULD RESULT IN UNSANITARY CONDITIONS. THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS, WHICH MAY OCCUR.
  - EASEMENTS: ANY PUBLIC UTILITY, INCLUDING THE CITY, SHALL HAVE THE RIGHT TO MOVE AND KEEP MOVED ALL OR PART OF ANY BUILDING, FENCES, TREES, SHRUBS, OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENHANCE OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THE EASEMENTS OR RIGHT-OF-WAY SHOWN ON THE PLAN OR FILED BY SEPARATE INSTRUMENT THAT IS ASSOCIATED WITH SAID PROPERTY; AND ANY PUBLIC, INCLUDING THE CITY, SHALL HAVE THE RIGHT AT ALL TIMES OF INGRESS AND EGRESS TO AND FROM AND UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. EASEMENTS SHALL BE MAINTAINED BY PROPERTY OWNERS. THE CITY CAN MOVE TREES OR ANY OTHER IMPROVEMENTS AND DOES NOT HAVE THE RESPONSIBILITY TO REPLACE THEM.
  - THE CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS AND TREENATURAL AREA PROTECTIVE FENCING PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR EXCAVATION).
  - THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE CITY OF AUSTIN'S ENVIRONMENTAL CRITERIA MANUAL AS ADOPTED BY THE CITY OF BUDA.
  - A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE CONTRACTOR, DESIGN ENGINEER/PERMIT APPLICANT AND INSPECTOR AFTER INSTALLATION OF THE EROSION/SEDIMENTATION CONTROLS AND TREENATURAL AREA PROTECTIVE MEASURES AND PRIOR TO BEGINNING ANY SITE PREPARATION WORK. THE CONTRACTOR SHALL NOTIFY THE CITY OF BUDA ENGINEERING DEPARTMENT, 312-0084, AT LEAST THREE DAYS PRIOR TO THE MEETING DATE.

- NOTES:**
- ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST OR CITY ARBORIST AS APPROPRIATE. MINOR CHANGES TO BE MADE AS FIELD REVISIONS TO THE PLAN MAY BE REQUIRED BY THE INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES.
  - THE CONTRACTOR IS REQUIRED TO INSPECT THE CONTROLS AND FENCES AT WEEKLY INTERVALS AND AFTER SIGNIFICANT RAINFALL EVENTS TO INSURE THAT THEY ARE FUNCTIONING PROPERLY. THE PERSON(S) RESPONSIBLE FOR THE MAINTENANCE OF CONTROLS AND FENCES SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHED SIX (6) INCHES.
  - WHERE A DIVERSION OR PERIMETER CONTROL SILT FENCE IS INSTALLED IN THE DIRECTION OF A SLOPE, A 20-FOOT LENGTH OF FENCE SHOULD BE TURNED IN, ACROSS THE SLOPE, AT REGULAR INTERVALS (100 FEET) TO CREATE A "J" HOOK.
- PERMANENT EROSION CONTROL:**
- ALL DISTURBED AREAS SHALL BE RESTORED AS NOTED BELOW. A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE PLACED IN ALL DRAINAGE CHANNELS (EXCEPT ROCK) AND BETWEEN THE CURB AND RIGHT-OF-WAY LINE.
- THE SEEDING FOR PERMANENT EROSION CONTROL SHALL BE AS SPECIFIED IN THE CITY OF AUSTIN STANDARD SPECIFICATION 8045, AS ADOPTED BY THE CITY OF BUDA. USE NATIVE SEEDING.**
- DUST CONTROL:**
- DUST CONTROL METHODS ARE REQUIRED AS PER CITY OF AUSTIN'S ENVIRONMENTAL CRITERIA MANUAL SECTION 1.4.5.D AS ADOPTED BY THE CITY OF BUDA.



**811**  
 Know what's below.  
 Call before you dig.  
 WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #100	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 877 774 NORTH OF THE GOLF COURSE ROAD. ELEV: 712.54 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV: 712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF GOLF COURSE ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 712.50 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

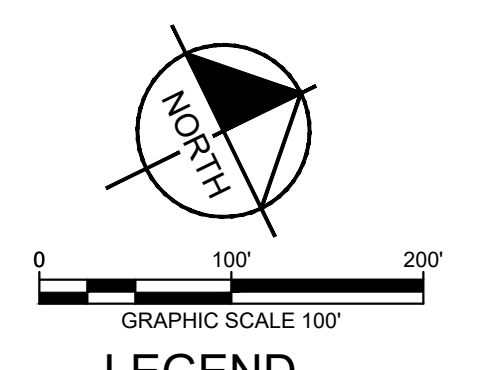
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

KHA PROJECT 067783115	DATE JULY 2023		DESIGNED BY: WB,DM DRAWN BY: WB,HH,MH,DM CHECKED BY: AEC
	SCALE: AS SHOWN		
<b>THE COLONY - PHASE 1</b> <b>EROSION &amp; SEDIMENTATION CONTROL PLAN (3 OF 3)</b>		<b>THE COLONY - PHASE 1</b> <b>CITY OF BUDA</b> <b>HAYS COUNTY, TEXAS</b>	
SHEET NUMBER		DATE	
27		BY	
OF 226		REVISIONS	
		No.	

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 WWW.KIMLEY-HORN.COM  
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 TBE Firm No. 928

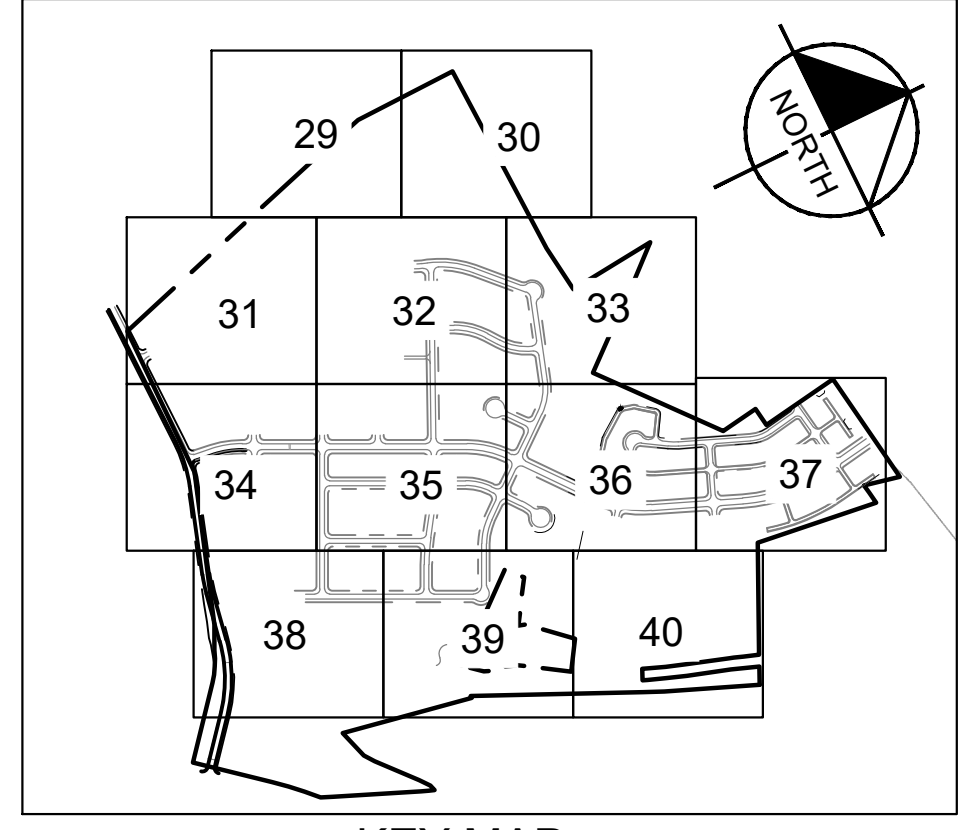
Plotted By: Granados, Alex Date: July 17, 2023 08:19:44am File Path: K:\SAL\_Civil\067783115\_Meritage Blvd Assemblies\Civil\PlanSheets\C-Grading\_Plan.dwg  
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LEGEND	
---	PROPERTY LINE
55.5 +	PROPOSED SPOT ELEVATION
EX 55.5 +	EXISTING SPOT ELEVATION
TW 55.5 +	PROPOSED TOP OF WALL ELEVATION
BW 55.5 +	PROPOSED BOTTOM OF WALL ELEVATION
EW 55.5 +	PROPOSED END WALL ELEVATION
→	LOT DRAINAGE FLOW DIRECTION
→	STREET DRAINAGE FLOW DIRECTION
---	PROPOSED RETAINING WALL
---	PROPOSED CONTOUR
---	EXISTING CONTOUR

**GRADING GENERAL NOTES**

- CONTRACTOR SHALL CUT 3' BEHIND BACK OF CURB TO SUBGRADE ELEVATION.
- PROPOSED PRIVATE RETAINING WALLS LOCATED ON PRIVATE LOTS TO BE MAINTAINED BY THE PROPERTY OWNER.
- GLOBAL STABILITY AND STRUCTURAL DESIGN OF RETAINING WALLS PROVIDED BY OTHERS.
- THE END ELEVATION CALLS FOR RETAINING WALLS DEPICT GROUND ELEVATION. TOP OF WALL ELEVATIONS ARE TYPICALLY 0.5' ABOVE GROUND.
- ALL PERIMETER SLOPES TO NATURAL GROUND ARE TO BE 3:1 MAX, UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS SHALL MAINTAIN A MAXIMUM 2% CROSS SLOPE & A 5% LONGITUDINAL SLOPE.
- CONTRACTOR TO MATCH EXISTING GRADES AT ALL PHASE BOUNDARIES
- REFER TO GEOTECH REPORT BY MLA GEOTECHNICAL REPORT NO.22101100.019 DATED 5/3/2022.
- NO PORTION OF PROPOSED RETAINING WALL TO BE LOCATED WITHIN FEMA 100-YEAR FLOODPLAIN.
- ALL PROPOSED ELEVATIONS (SPOT GRADES AND CONTOURS) ARE TO FUTURE TOP OF GROUND AND TOP OF CURB UNLESS NOTED AS TO TOP OF PAVEMENT. CONTRACTOR TO CONSTRUCT ROADWAYS AND R.O.W. TO FINAL TOP OF PAVEMENT, CURB AND GROUND ELEVATIONS PER THESE PLANS. CONTRACTOR TO VERIFY EXISTING TOP OF SUBGRADE ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES. CONTRACTOR TO MASS GRADE TO TOP OF PAVEMENT SUBGRADE FOR FUTURE ROADWAYS, AND TO TOP OF FINISHED PAD, AND TO TOP OF GROUND FOR LOTS/LANDSCAPE AREAS.
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- RETAINING WALLS WILL REQUIRE A BUILDING PERMIT PRIOR TO CONSTRUCTION.



**KEY MAP**  
SCALE: 1" = 1,000'

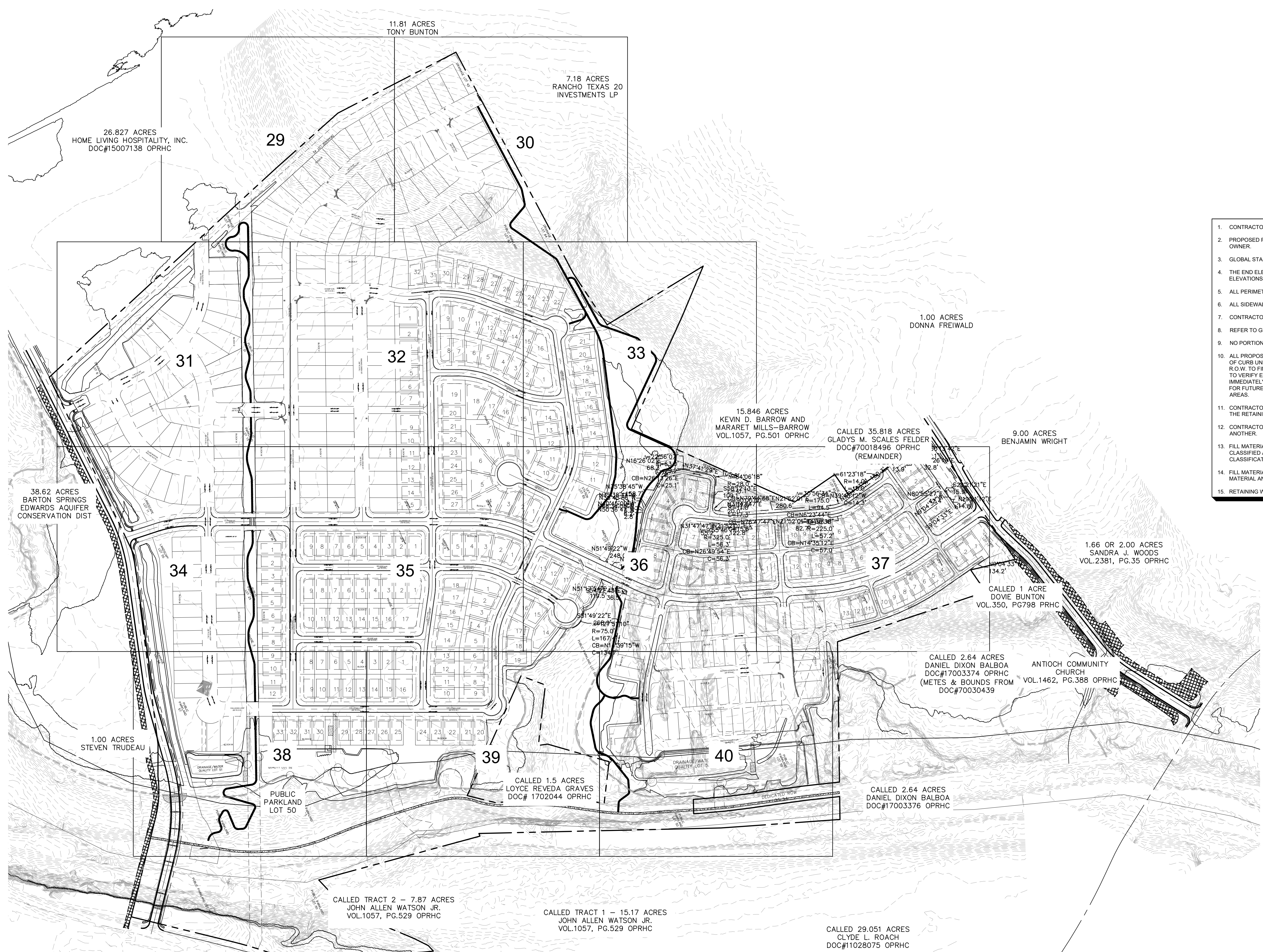


**Know what's below. Call before you dig.**

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

BENCHMARKS	
BM #102	IPK NAIL SET IN THE MIDDLE OF A CURB SET ON THE WEST SIDE OF FM 807 702 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF COLLE SPRINGS ROAD (ELEV. +81.51 (NAVD 88))
BM #104	IPK NAIL SET IN ROCK ON THE SOUTHWEST CORNER OF FM 2702 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES (ELEV. +712.04 (NAVD 88))
BM #106	IPK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF BALBOA COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE (ELEV. +732.50 (NAVD 88))

CONSTRUCTION PLAN APPROVAL SHEET <b>0226</b>	FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON <b>N/A</b> UNDER THE CITY OF BUDA	UNIFIED DEVELOPMENT CODE	EXPIRATION DATE <b>2021-737</b> CASE MANAGER <b>08/16/2021</b>
<b>A. KENNEDY</b>		
City Engineer, City of Buda		
RELEASED FOR GENERAL COMPLIANCE: <b>ZONING N/A</b>		
Rev. 1	Correction 1	
Rev. 2	Correction 2	
Rev. 3	Correction 3	
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.		
PERMIT NUMBER: 2021-737		



No.	REVISIONS	DATE	BY

**Kimley-Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78735  
PHONE: 512-646-2237  
FAX: 512-646-2237  
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TPE Firm No. 928

07/17/2023

**ALEJANDRO E. GRANADOS RICO**  
130084  
LICENSED PROFESSIONAL ENGINEER

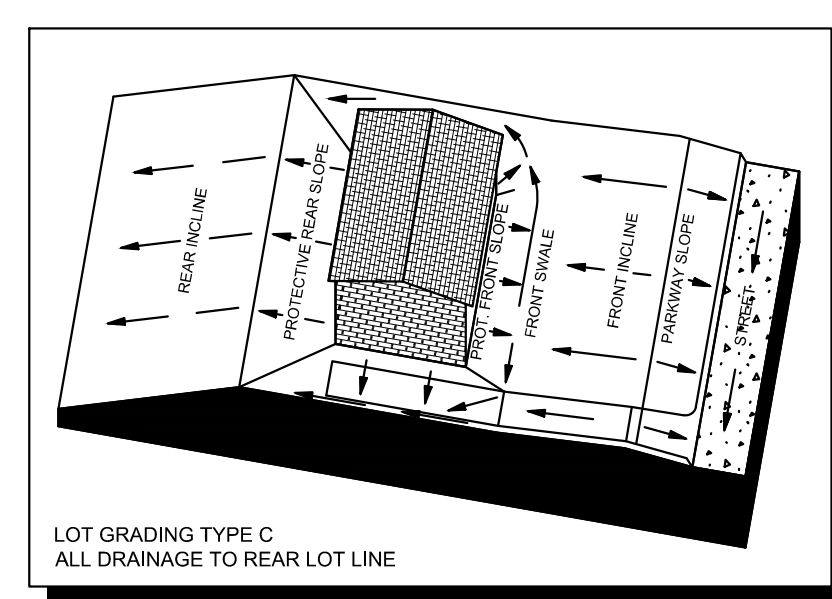
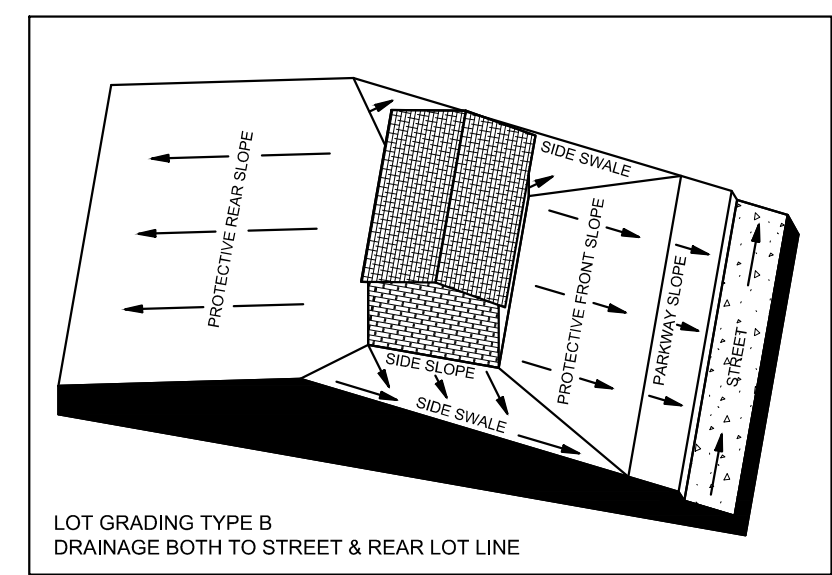
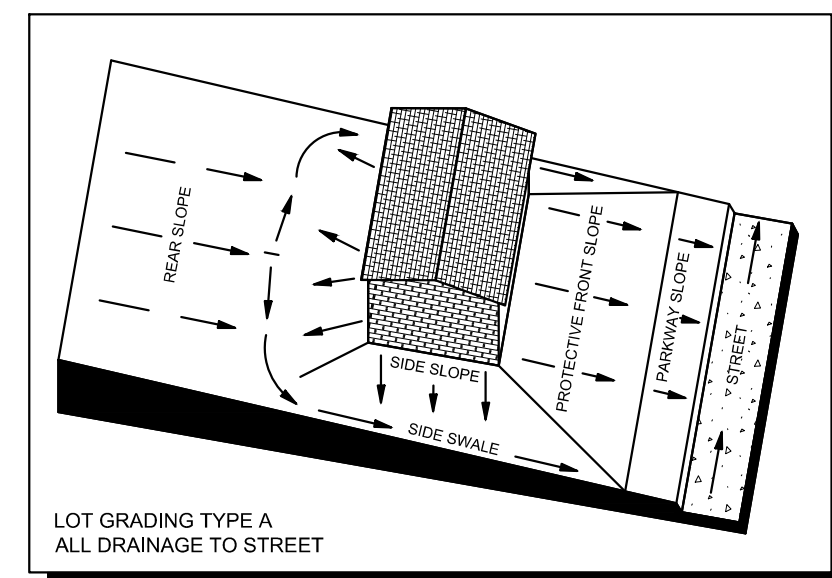
*Aljando E. Granados Rico*

**OVERALL GRADING PLAN**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

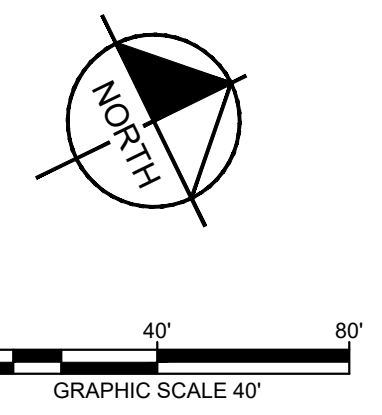
SHEET NUMBER **28**  
OF 226

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26.827 ACRES  
HOME LIVING HOSPITALITY, INC.  
DOC#15007138 OPRHC

11.81 ACRES  
TONY BUNTON

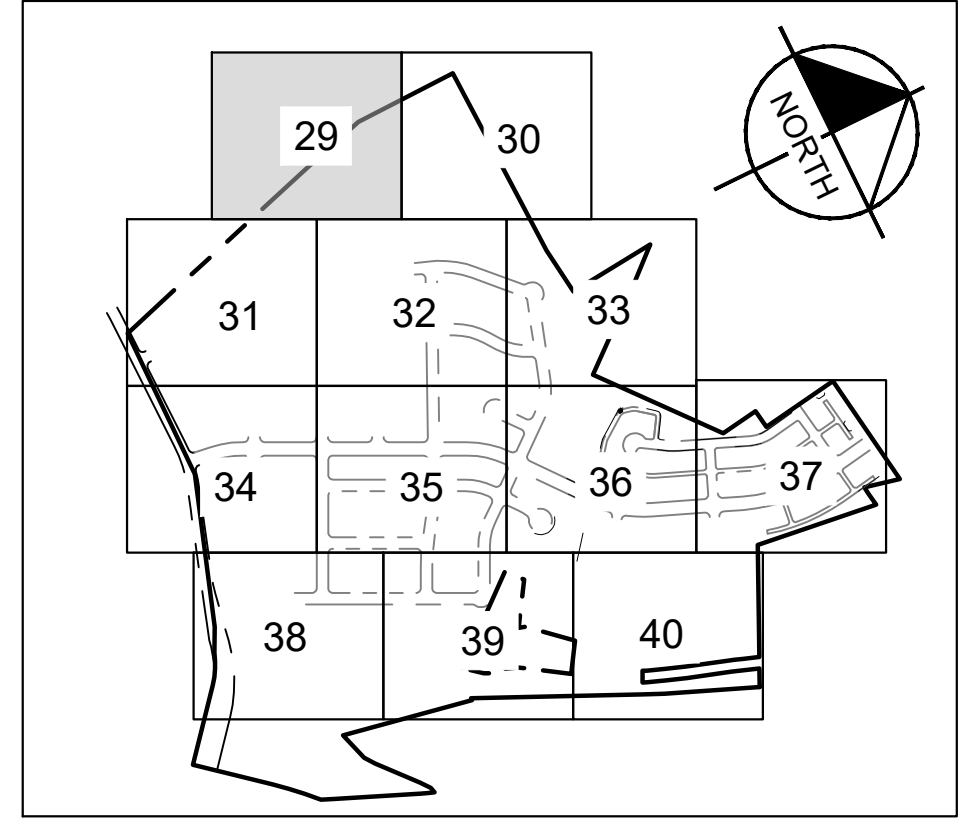


LEGEND	
---	PROPERTY LINE
55.5 •	PROPOSED SPOT ELEVATION
EX 55.5 •	EXISTING SPOT ELEVATION
TW 55.5 •	PROPOSED TOP OF WALL ELEVATION
BW 55.5 •	PROPOSED BOTTOM OF WALL ELEVATION
EW 55.5 •	PROPOSED END WALL ELEVATION
→	LOT DRAINAGE FLOW DIRECTION
→	STREET DRAINAGE FLOW DIRECTION
---	PROPOSED RETAINING WALL
---	PROPOSED CONTOUR
---	EXISTING CONTOUR

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MATCH LINE SHEET 30



**811**  
Know what's below.  
Call before you dig.

**BENCHMARKS**

BM #102 IPK NAIL SET IN THE MIDDLE OF A CURB MET ON THE WEST SIDE OF FM 807 702 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF CODE SPRINGS ROAD (ELEV. 681.51 (NAVD 88))

BM #104 IPK NAIL SET IN ROCK ON THE SOUTHWEST CORNER OF FM 870 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES (ELEV. 712.04 (NAVD 88))

BM #106 IPK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF BUDA COLORADO ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE (ELEV. 732.59 (NAVD 88))

**WARNING:** CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

CONSTRUCTION PLAN APPROVAL SHEET **067783115** OF **226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: **N/A** UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: **N/A**

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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PERMIT NUMBER: 2021-737

**Kimley-Horn**

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AUSTIN, TX 78735  
PHONE: 512-646-2237  
WWW.KIMLEY-HORN.COM  
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TPE Firm No. 928

07/17/2023

**ALEJANDRO E. GRANADOS RICO**  
130084  
LICENSED PROFESSIONAL ENGINEER

*Alexander E. Granados Rico*

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WEJ/DM  
DRAWN BY: WEJ/DM/ML/DM  
CHECKED BY: AEG

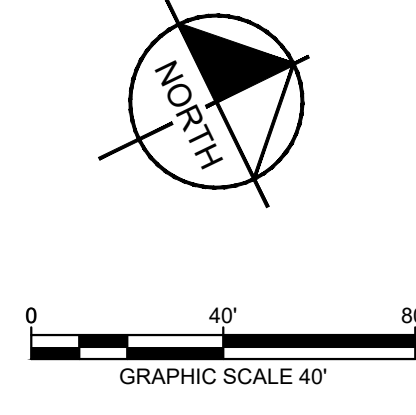
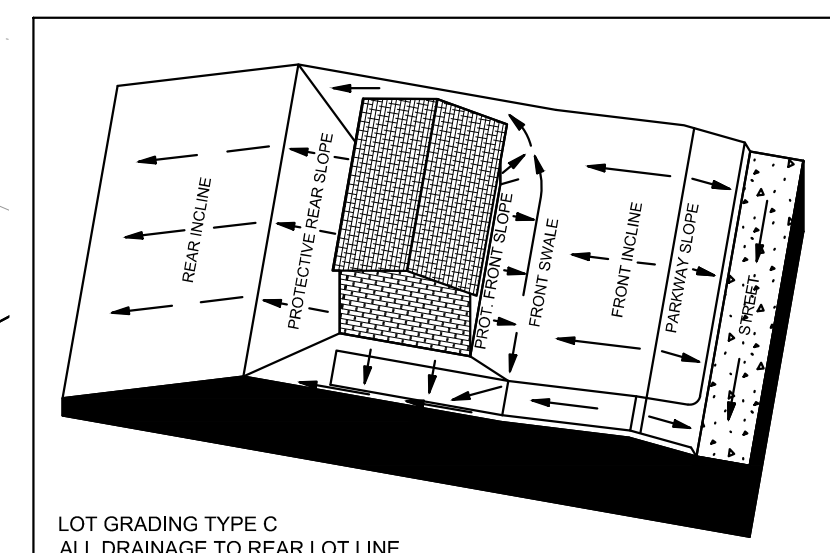
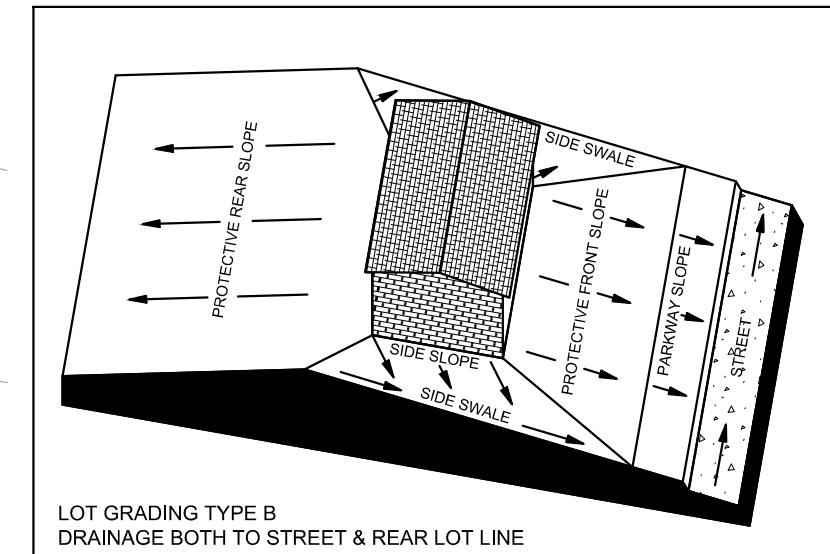
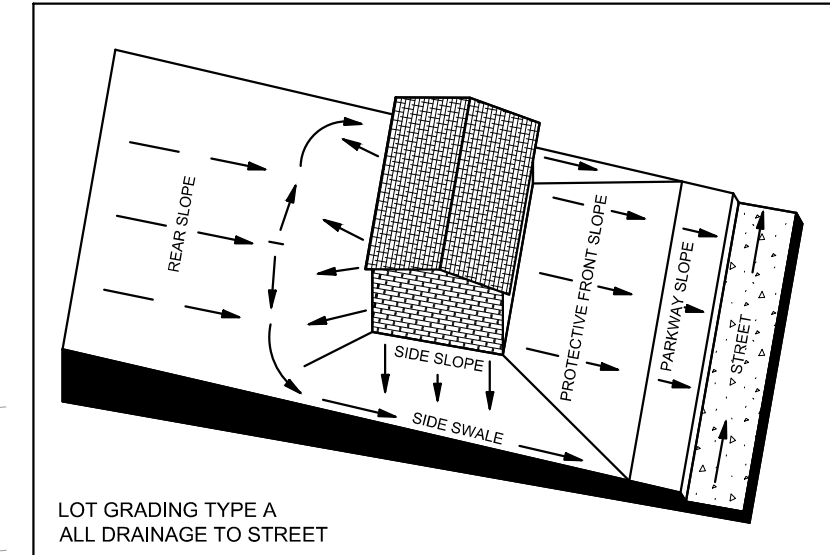
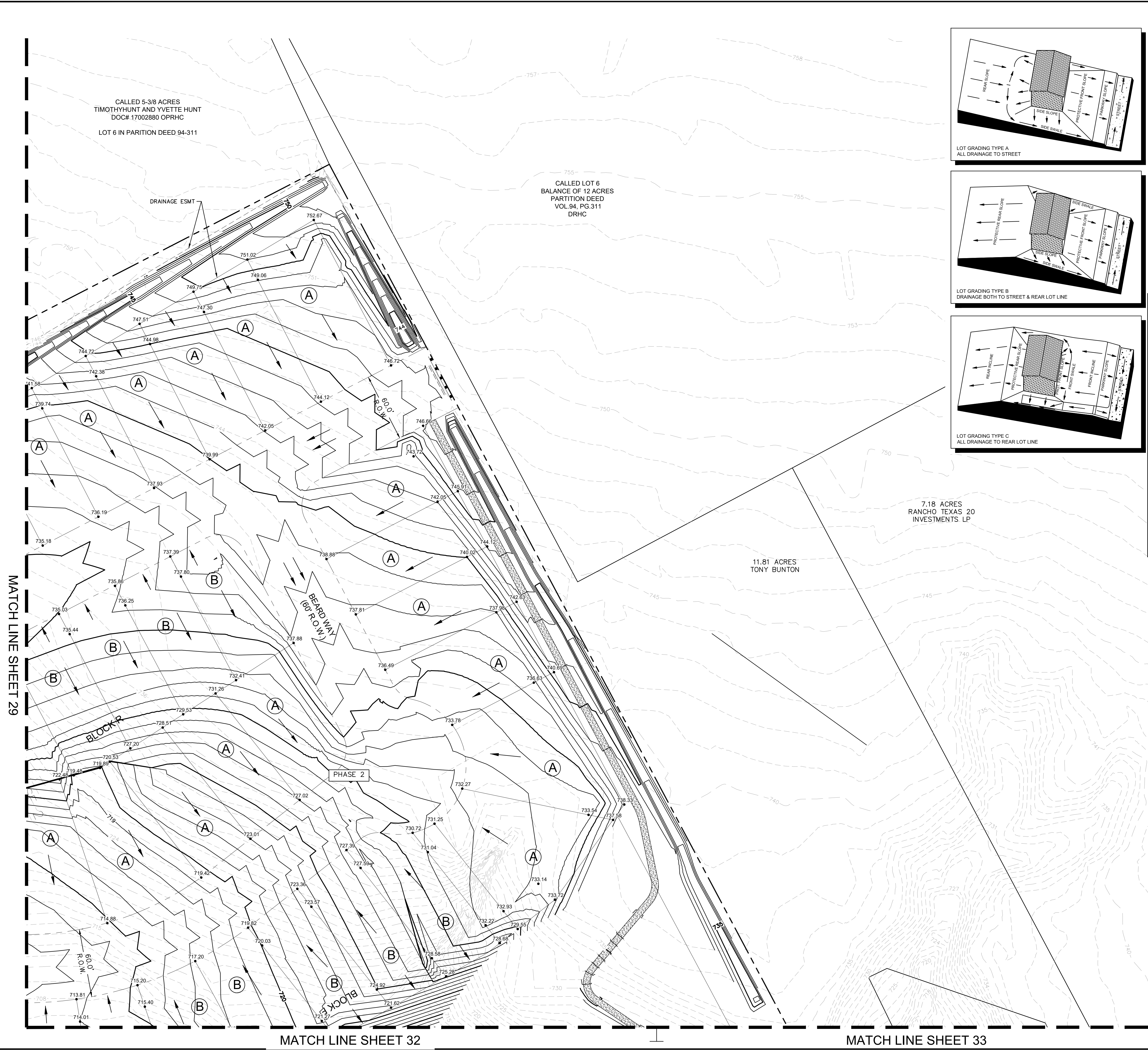
**GRADING PLAN  
(1 OF 12)**

**THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS**

MATCH LINE SHEET 31

MATCH LINE SHEET 32

Plotted By: Granados, Alex. Date: July 17, 2023 08:19:59pm. File Path: K:\SAU\_Civil\067783115 Merrittage Buda Assemblage\Cad\PlanSheets\C-Grading Plan.dwg  
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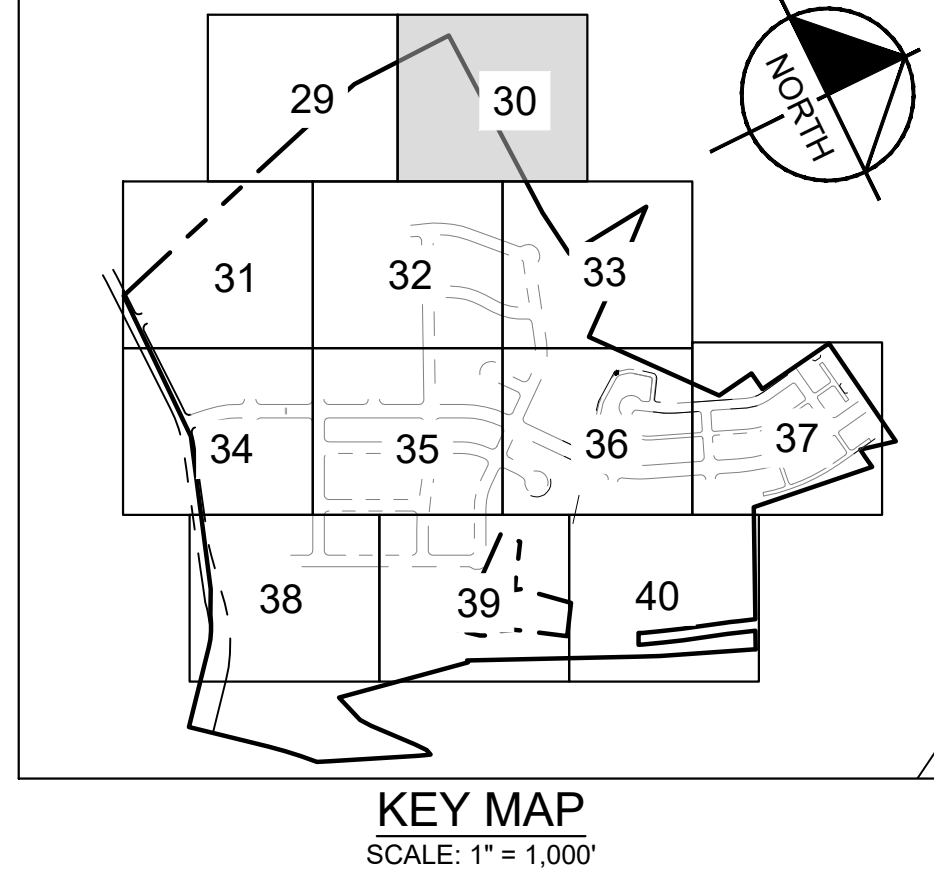


**LEGEND**

---	PROPERTY LINE
•	PROPOSED SPOT ELEVATION
EX 55.5 •	EXISTING SPOT ELEVATION
TW 55.5 •	PROPOSED TOP OF WALL ELEVATION
BW 55.5 •	PROPOSED BOTTOM OF WALL ELEVATION
EW 55.5 •	PROPOSED END WALL ELEVATION
→	LOT DRAINAGE FLOW DIRECTION
→	STREET DRAINAGE FLOW DIRECTION
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---	EXISTING CONTOUR

**GRADING GENERAL NOTES**

- CONTRACTOR SHALL CUT 3' BEHIND BACK OF CURB TO SUBGRADE ELEVATION.
- PROPOSED PRIVATE RETAINING WALLS LOCATED ON PRIVATE LOTS TO BE MAINTAINED BY THE PROPERTY OWNER.
- GLOBAL STABILITY AND STRUCTURAL DESIGN OF RETAINING WALLS PROVIDED BY OTHERS.
- THE END ELEVATION CALLS FOR RETAINING WALLS DEPICT GROUND ELEVATION. TOP OF WALL ELEVATIONS ARE TYPICALLY 0.5' ABOVE GROUND.
- ALL PERIMETER SLOPES TO NATURAL GROUND ARE TO BE 3:1 MAX, UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS SHALL MAINTAIN A MAXIMUM 2% CROSS SLOPE & A 5% LONGITUDINAL SLOPE.
- CONTRACTOR TO MATCH EXISTING GRADES AT ALL PHASE BOUNDARIES
- REFER TO GEOTECH REPORT BY MLA GEOTECHNICAL REPORT NO.22101100.019 DATED 5/3/2022.
- NO PORTION OF PROPOSED RETAINING WALL TO BE LOCATED WITHIN FEMA 100-YEAR FLOODPLAIN.
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**811**  
Know what's below.  
Call before you dig.

**BENCHMARKS**

BM #102 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 2770 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF COLL SPRING ROAD

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELONGING TO THREE OVERHEAD ELECTRIC LINES

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF OLD BLACK COLONY ROAD ON THE WEST SIDE OF THE GATES ENTRANCE TO THE SITE

ELEV = 732.04' (NAVD 83)

CONSTRUCTION PLAN APPROVAL SHEET 228 OF 228

FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-7-27	CASE MANAGER: 08/14/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: ZONING N/A

Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

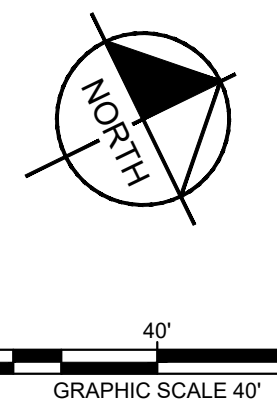
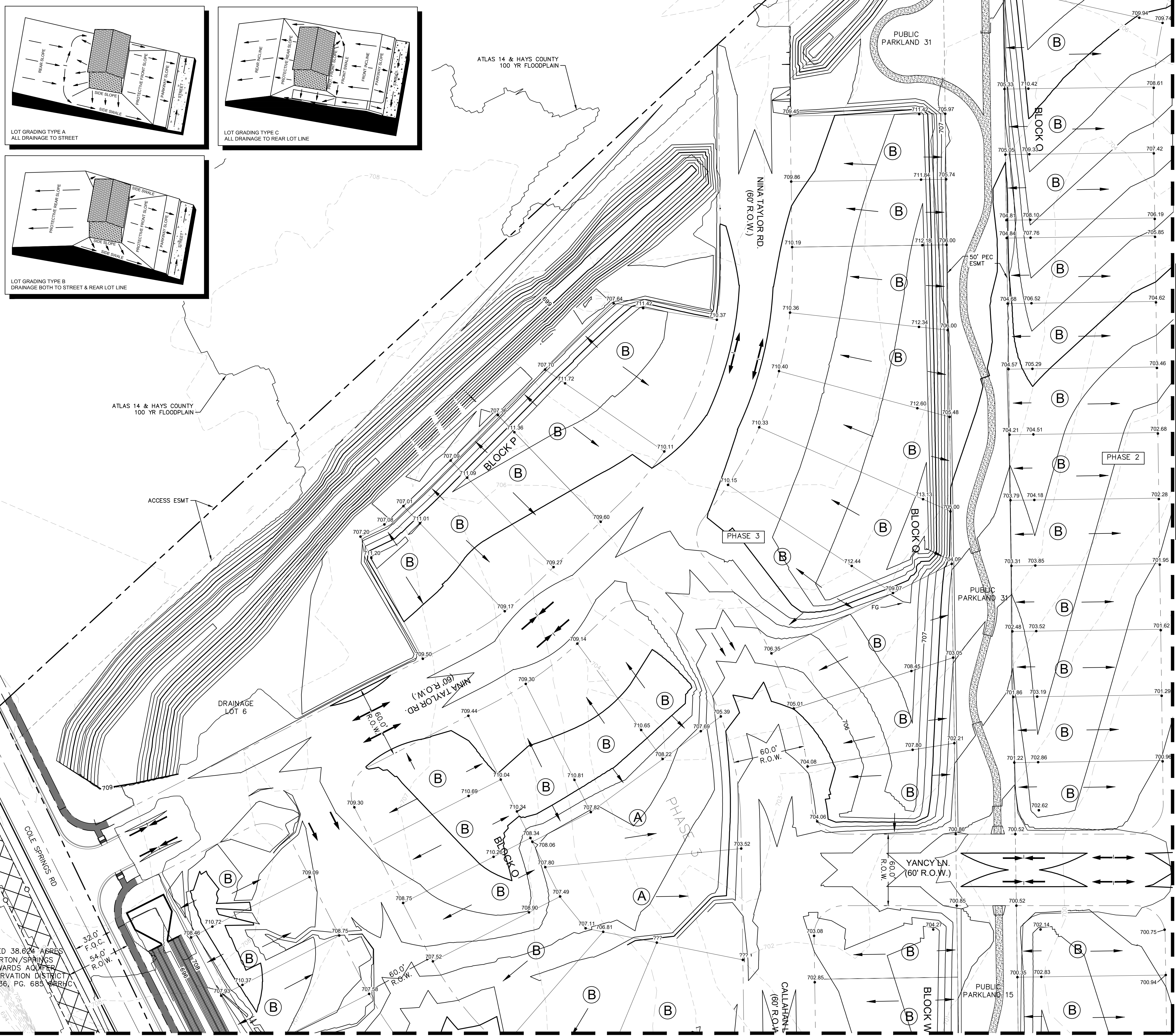
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

<p><b>Kimley-Horn</b></p> <p>5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100 AUSTIN, TX 78735 PHONE: 512-846-2237 FAX: 512-846-2237</p> <p>© 2016 KIMLEY-HORN AND ASSOCIATES, INC. TBPE Firm No. 928</p>	NO.	REVISIONS	DATE
	<p>07/17/2023</p> <p>Alejandro E. Sranous, P.E.</p>		
	<p>KHA PROJECT 067783115</p>	<p>DATE JULY 2023</p>	<p>SCALE: AS SHOWN</p>
<p><b>GRADING PLAN</b> (2 OF 12)</p>			
<p><b>THE COLONY - PHASE 1</b> CITY OF BUDA HAYS COUNTY, TEXAS</p>			
<p>SHEET NUMBER</p> <p style="font-size: 24pt; font-weight: bold;">30</p>			<p>OF 226</p>

Plotted By: Crenados, Alex Date: July 17, 2023 08:20:09am File Path: K:\S\ALL Civil\067783115 Meritage Bldg Assemblies\Civil\PropSheets\C-Grading Plan.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

MATCH LINE SHEET 29



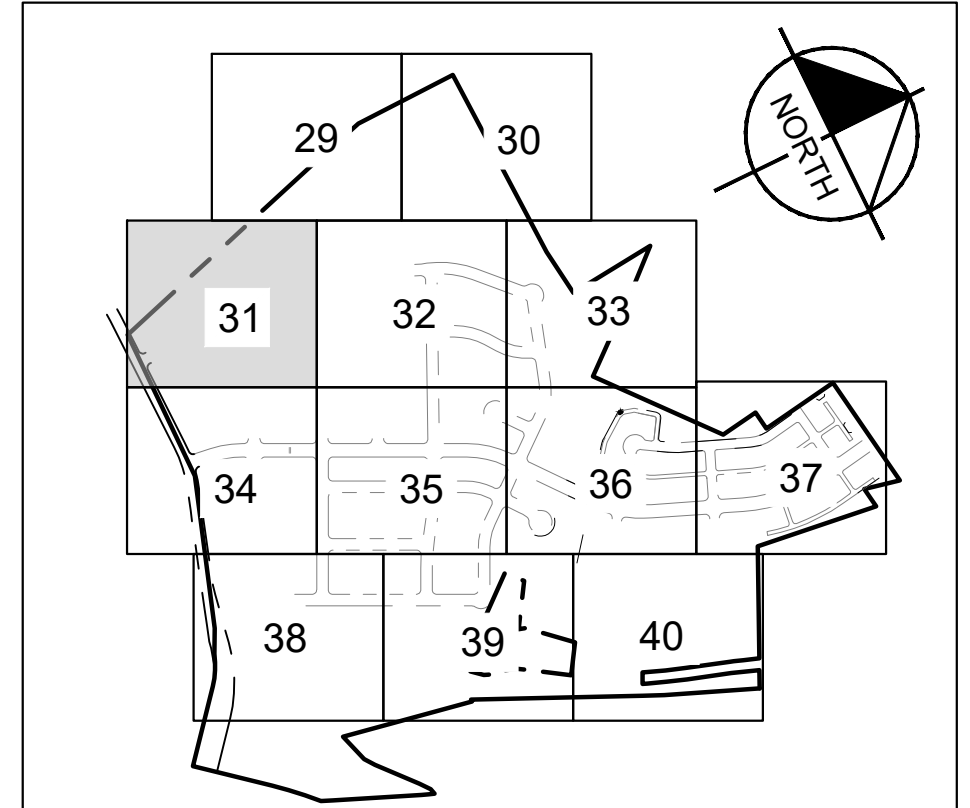
**LEGEND**

---	PROPERTY LINE
55.5 •	PROPOSED SPOT ELEVATION
EX 55.5 •	EXISTING SPOT ELEVATION
TW 55.5 •	PROPOSED TOP OF WALL ELEVATION
BW 55.5 •	PROPOSED BOTTOM OF WALL ELEVATION
EW 55.5 •	PROPOSED END WALL ELEVATION
→	LOT DRAINAGE FLOW DIRECTION
→	STREET DRAINAGE FLOW DIRECTION
---	PROPOSED RETAINING WALL
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---	EXISTING CONTOUR

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MATCH LINE SHEET 32



**KEY MAP**  
SCALE: 1" = 1,000'



**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**

BM #102	IPK NAIL SET IN THE MIDDLE OF A CURB MET ON THE WEST SIDE OF PH 807 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF COLLEGE SPRINGS ROAD	ELEV: 681.51 (NAVD 88)
BM #104	IPK NAIL SET IN ROCK ON THE SOUTHWEST CORNER OF PH 2705 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES	ELEV: 712.04 (NAVD 88)
BM #106	IPK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF 620 BLACK COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE	ELEV: 732.58 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET	OF 226
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION	N/A UNDER THE CITY OF BUDA
UNIFIED DEVELOPMENT CODE	
EXPIRATION DATE 2021-737	CASE MANAGER 08/16/2021

A. KENNEDY	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE:	ZONING N/A
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3

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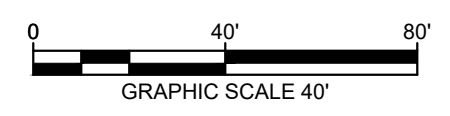
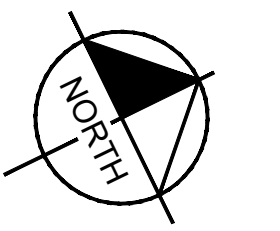
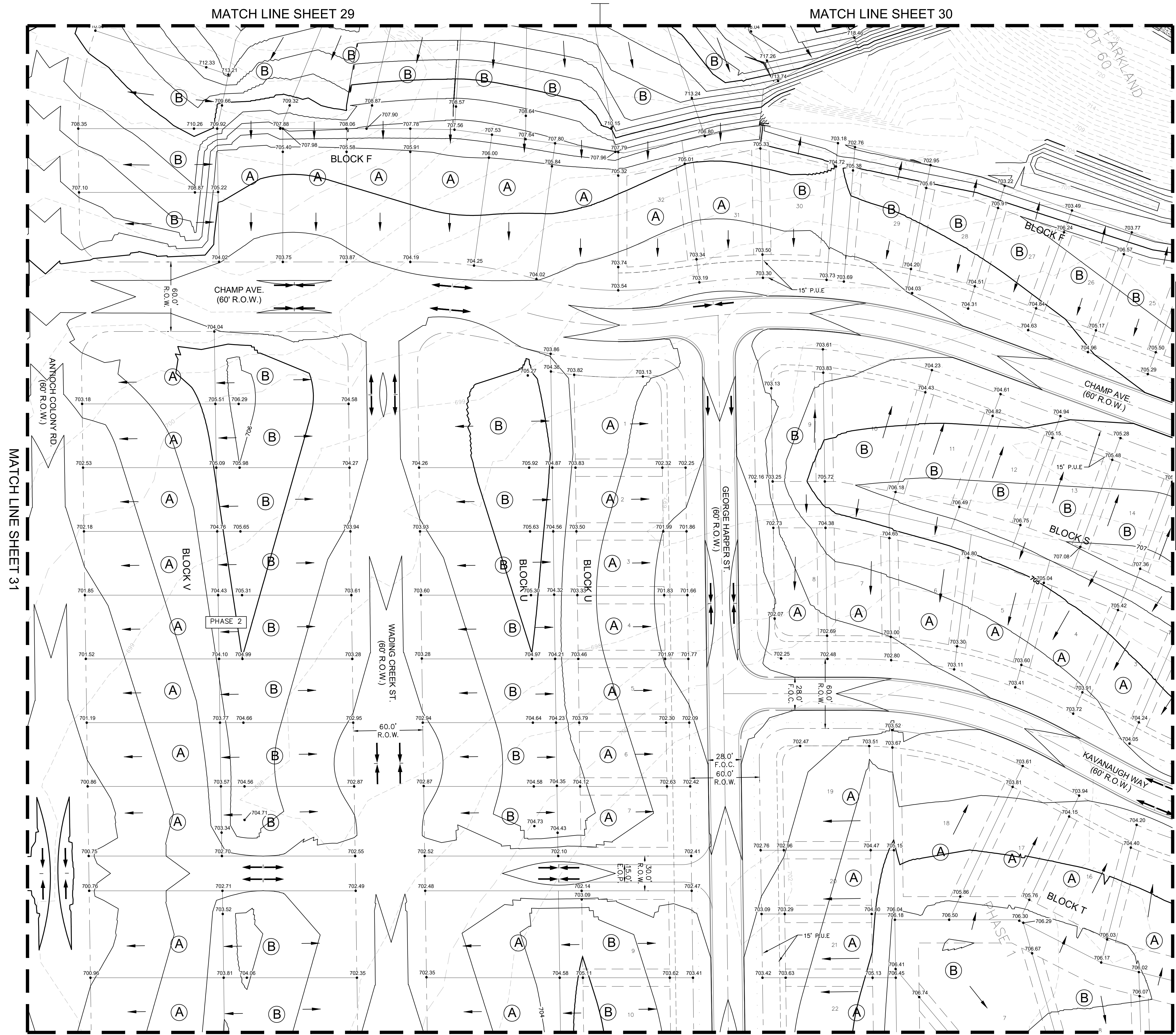
PERMIT NUMBER: 2021-737

CALLED 38.824 ASREG  
 BARTON SPRINGS  
 EDWARDS ACQUISITION  
 CONSERVATION DISTRICT  
 VOL. 1336, PG. 685 WRHC

MATCH LINE SHEET 34

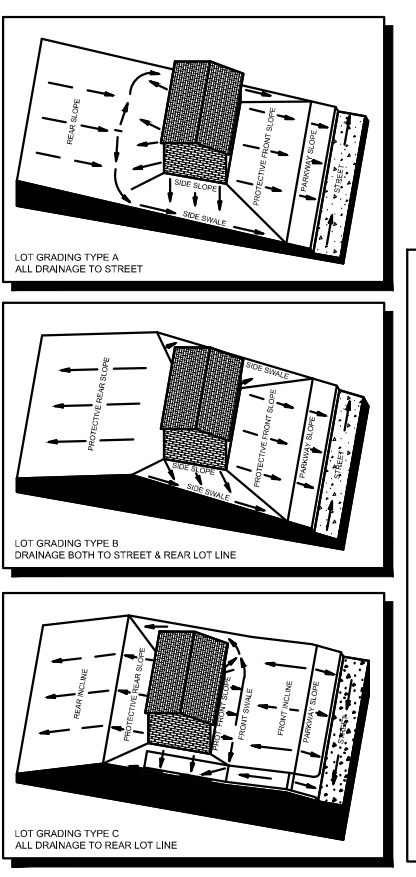
<p><b>Kimley-Horn</b></p> <p>5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100          AUSTIN, TX 78735          PHONE: 512-646-2237          FAX: 512-646-2237          WWW.KIMLEY-HORN.COM          © 2016 KIMLEY-HORN AND ASSOCIATES, INC.          TPE Firm No. 928</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;"> <p>07/17/2023</p> <p><b>ALEJANDRO E. GRANADOS RICO</b>            130084            PROFESSIONAL ENGINEER</p> <p><i>Alejandro E. Granados Rico</i></p> </td> <td style="width: 50%; text-align: center;"> <p><b>THE COLONY - PHASE 1</b>            CITY OF BUDA            HAYS COUNTY, TEXAS</p> </td> </tr> <tr> <td style="width: 50%; text-align: center;"> <p>KHA PROJECT 067783115</p> <p>DATE JULY 2023</p> <p>SCALE: AS SHOWN</p> <p>DESIGNED BY: WEJ/DM</p> <p>DRAWN BY: WEJ/HMH/DM</p> <p>CHECKED BY: AEG</p> </td> <td style="width: 50%; text-align: center;"> <p><b>GRADING PLAN</b> (3 OF 12)</p> </td> </tr> <tr> <td style="width: 50%; text-align: center;"> <p>SHEET NUMBER <b>31</b></p> <p>OF 226</p> </td> <td style="width: 50%; text-align: center;"> <p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table> </td> </tr> </table>	<p>07/17/2023</p> <p><b>ALEJANDRO E. GRANADOS RICO</b>            130084            PROFESSIONAL ENGINEER</p> <p><i>Alejandro E. Granados Rico</i></p>	<p><b>THE COLONY - PHASE 1</b>            CITY OF BUDA            HAYS COUNTY, TEXAS</p>	<p>KHA PROJECT 067783115</p> <p>DATE JULY 2023</p> <p>SCALE: AS SHOWN</p> <p>DESIGNED BY: WEJ/DM</p> <p>DRAWN BY: WEJ/HMH/DM</p> <p>CHECKED BY: AEG</p>	<p><b>GRADING PLAN</b> (3 OF 12)</p>	<p>SHEET NUMBER <b>31</b></p> <p>OF 226</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	REVISIONS	DATE	BY				
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Plotted By: Crenados, Alex Date: July 17, 2023 08:20:20am File Path: K:\SAIL Civil\067783115 Heritage Blvd Assemblies\Cad\PropSheets\C-Crading Plan.dwg  
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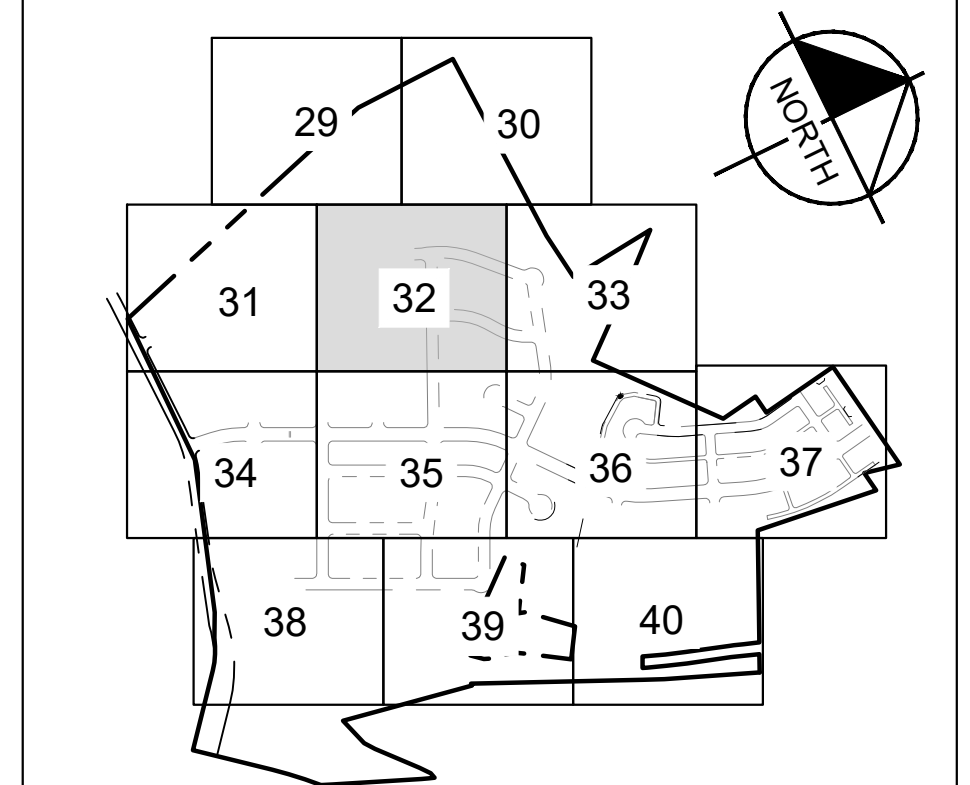
### LEGEND

- PROPERTY LINE
- 55.5 • PROPOSED SPOT ELEVATION
- EX 55.5 • EXISTING SPOT ELEVATION
- TW 55.5 • PROPOSED TOP OF WALL ELEVATION
- BW 55.5 • PROPOSED BOTTOM OF WALL ELEVATION
- EW 55.5 • PROPOSED END WALL ELEVATION
- LOT DRAINAGE FLOW DIRECTION
- STREET DRAINAGE FLOW DIRECTION
- - - PROPOSED RETAINING WALL
- 555 --- PROPOSED CONTOUR
- 505 --- EXISTING CONTOUR



### GRADING GENERAL NOTES

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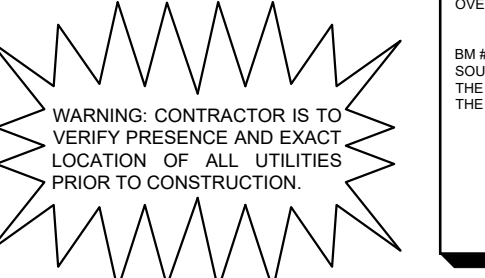


### KEY MAP

SCALE: 1" = 1,000'



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- #### BENCHMARKS
- BM #102 - PIN NAIL SET IN THE MIDDLE OF A CURB MET ON THE WEST SIDE OF FM 2702 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF CODE SPRINGS ROAD. ELEV: 691.51' (NAVD 88)
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CONSTRUCTION PLAN APPROVAL SHEET	OF 226
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION	N/A UNDER THE CITY OF BUDA
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EXPIRATION DATE 2021-737	CASE MANAGER 08/16/2021

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PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78735  
PHONE: 512-646-2337  
FAX: 512-646-2338  
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TPE Firm No. 928

07/17/2023

Alejandro E. Granados Rico  
Professional Engineer

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WEJ/DM  
DRAWN BY: WEJ/HM/ML/DM  
CHECKED BY: AEG

## GRADING PLAN (4 OF 12)

## THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS

SHEET NUMBER  
**32**  
OF 226

MATCH LINE SHEET 30

7.18 ACRES  
RANCHO TEXAS 20  
INVESTMENTS LP

11.81 ACRES  
TONY BUNTON

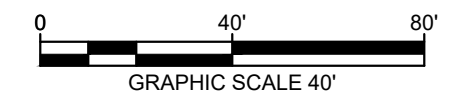
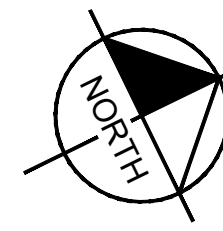
WW EASMENT

PUBLIC  
PARKLAND  
LOT 60

ATLAS 14 & HAYS COUNTY  
100-YR FLOODPLAIN

15,846 ACRES  
KEVIN D. BARROW AND  
MARARET MILLS-BARROW  
VOL.1057, PG.501 OPRHC

FEMA 100-YR FLOODPLAIN  
FEMA FIRM NO. 48209C0280F  
DATED: 9/2/2005

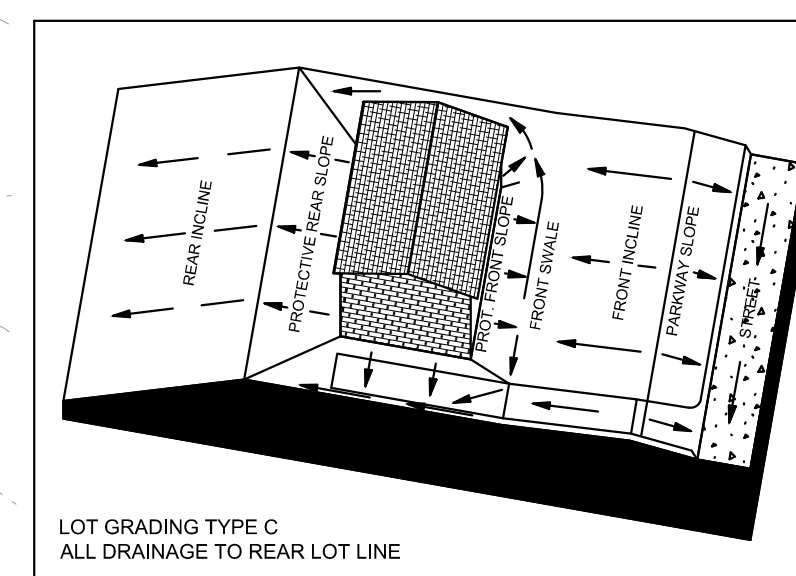
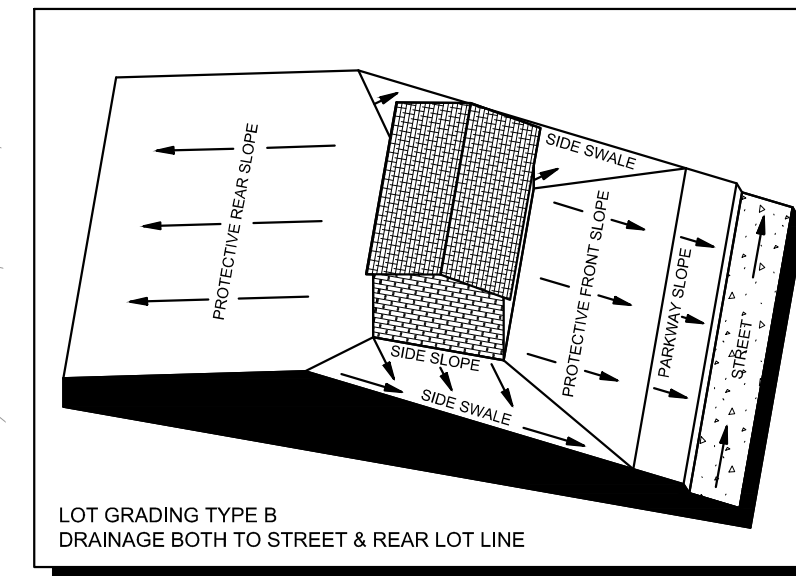
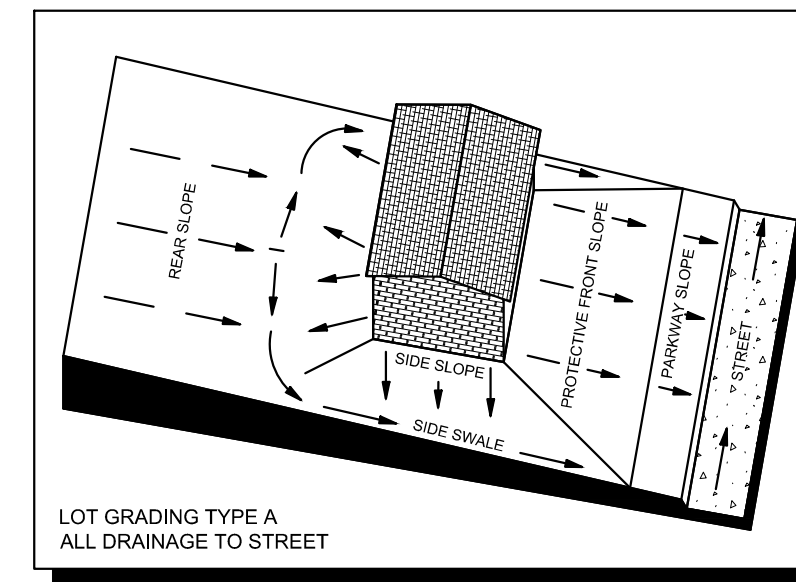


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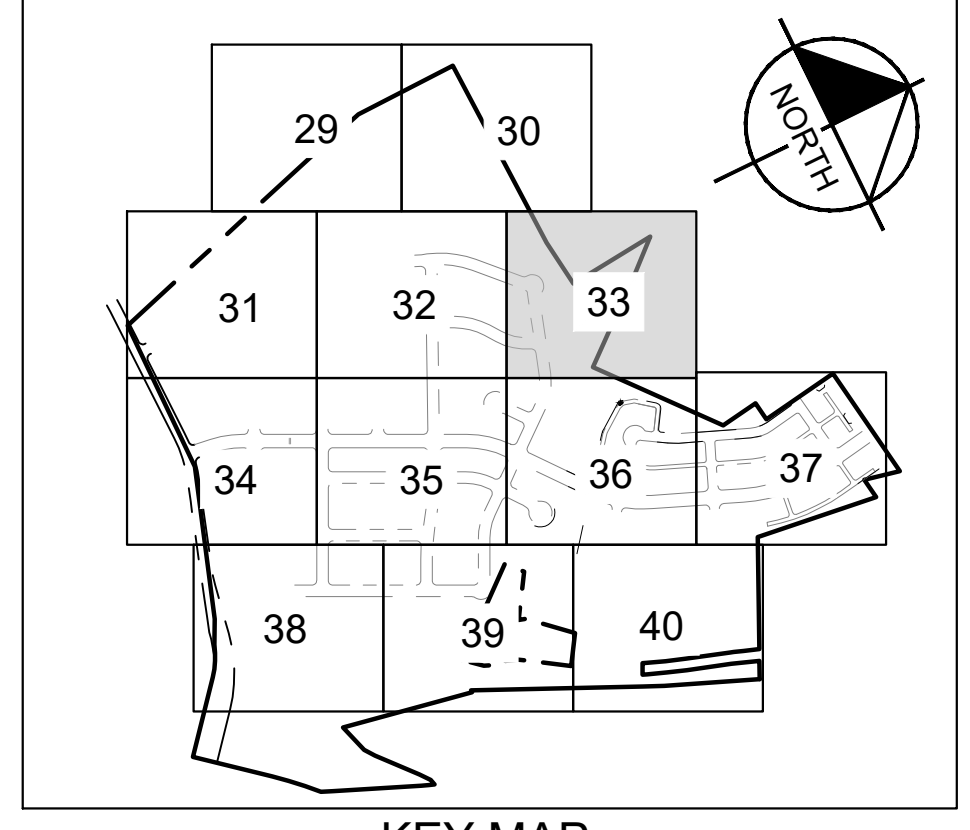


MATCH LINE SHEET 32

Plotted By: Granados, Alex Date: July 17, 2023 08:20:30am File Path: K:\SAIL Civil\067783115 Heritage Blvd. Assemblies\Cad\PlanSheets\C-Crading Plan.dwg  
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**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78735  
 PHONE: 512-646-2237  
 WWW.KIMLEY-HORN.COM  
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 TPE Firm No. 928

07/17/2023  
 ALEJANDRO E. GRANADOS RICO  
 130084  
 LICENSED PROFESSIONAL ENGINEER  
 Alejandro E. Granados Rico  
 License No. 130084  
 State of Texas  
 KHA PROJECT  
 067783115  
 DATE  
 JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WEJ/DM  
 DRAWN BY: WEJ/DM/DM  
 CHECKED BY: AEG



KEY MAP  
SCALE: 1" = 1,000'

**811**  
 Know what's below.  
 Call before you dig.  
 WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #102 - PIN NAIL SET IN THE MIDDLE OF A CURB SET ON THE WEST SIDE OF FM 807 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF CODE SPRINGS ROAD. ELEV -891.51' (NAVD 88)

BM #104 - PIN NAIL SET IN ROCK ON THE SOUTHWEST CORNER OF FM 870 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV -712.04' (NAVD 88)

BM #106 - PIN NAIL SET IN ASPHALT ON THE SOUTH SIDE OF BUDLA COLOR ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV -732.92' (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
 FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
 APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER THE CITY OF BUDA  
 UNIFIED DEVELOPMENT CODE \_\_\_\_\_  
 EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A

Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

GRADING PLAN  
(5 OF 12)

THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

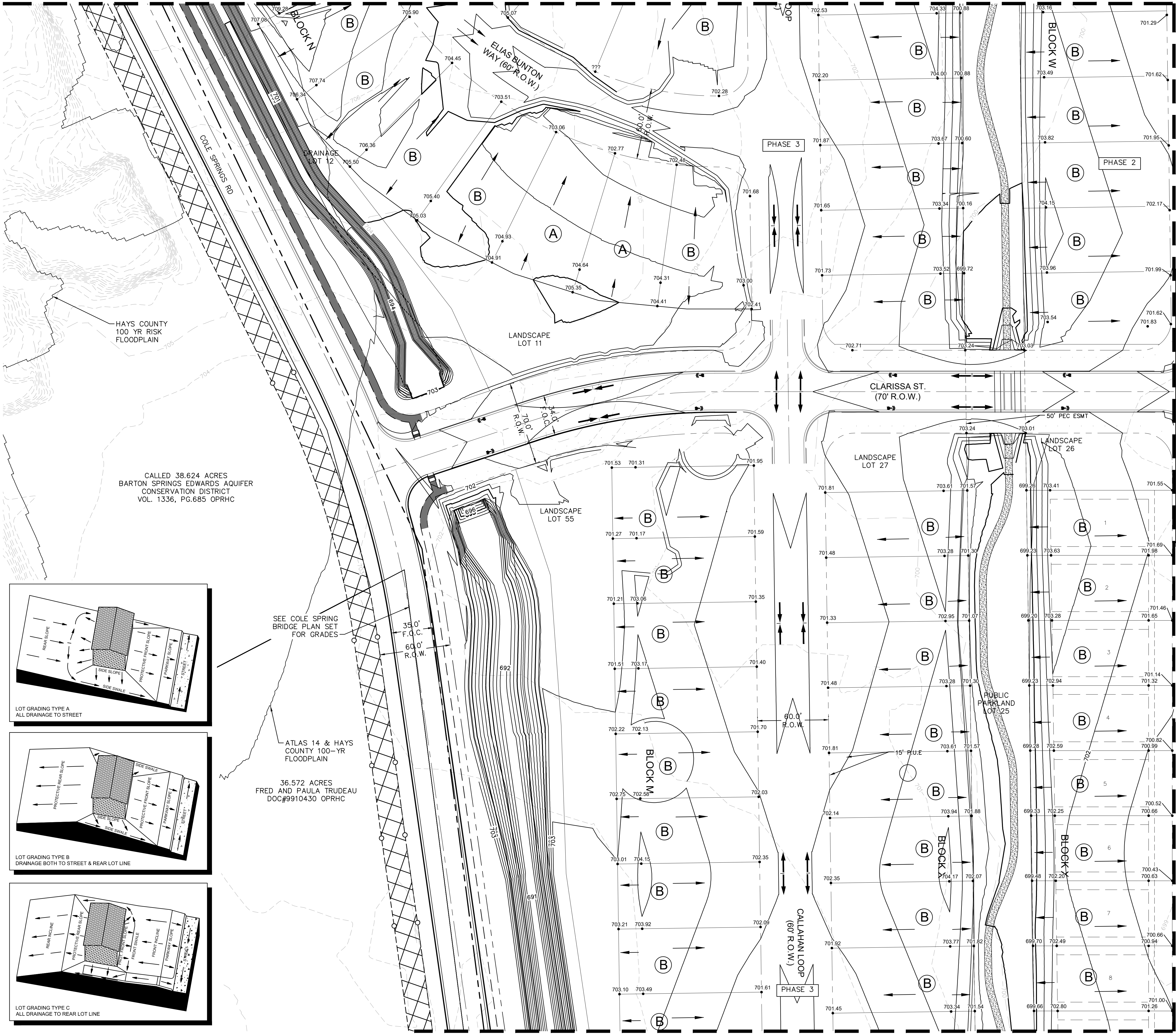
SHEET NUMBER  
**33**  
OF 226

MATCH LINE SHEET 36



Plotted By: Crenados, Alex Date: July 17, 2023 08:20:40am File Path: K:\SAIL Civil\067783115 Heritage Budo Assemblies\Civil\PropSheets\C-C-Grading Plan.dwg  
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MATCH LINE SHEET 31

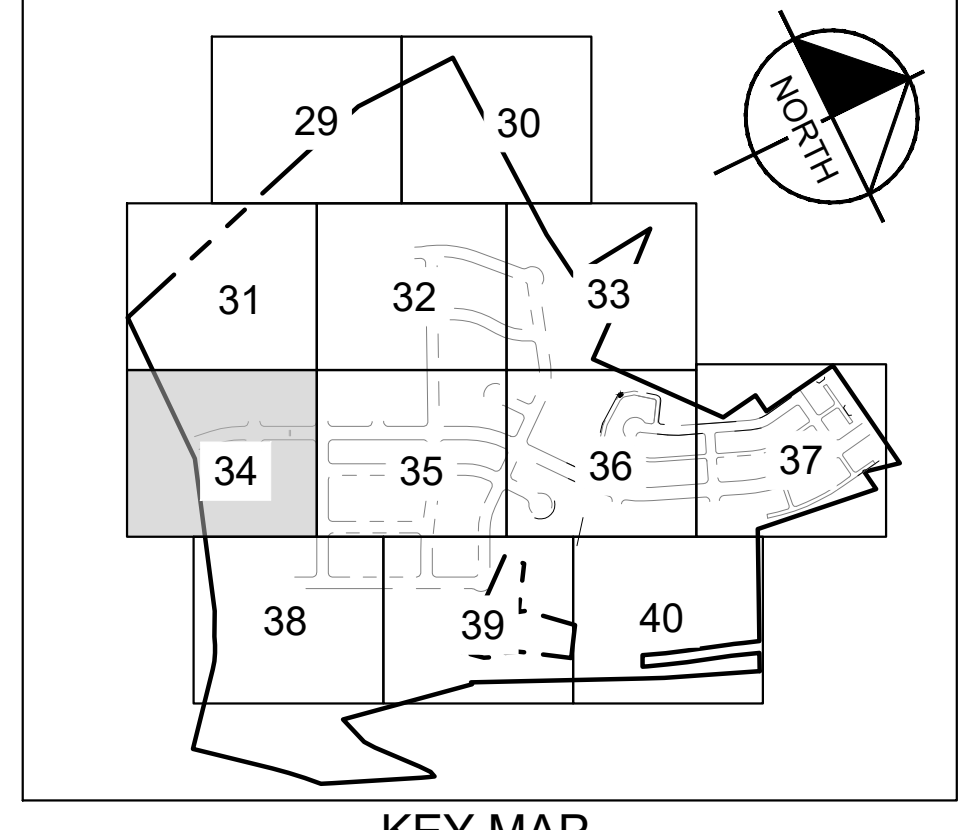
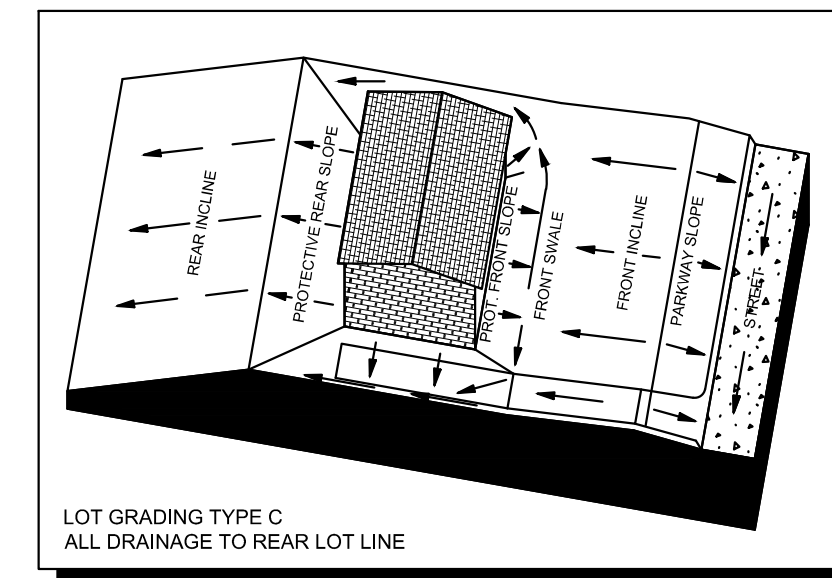
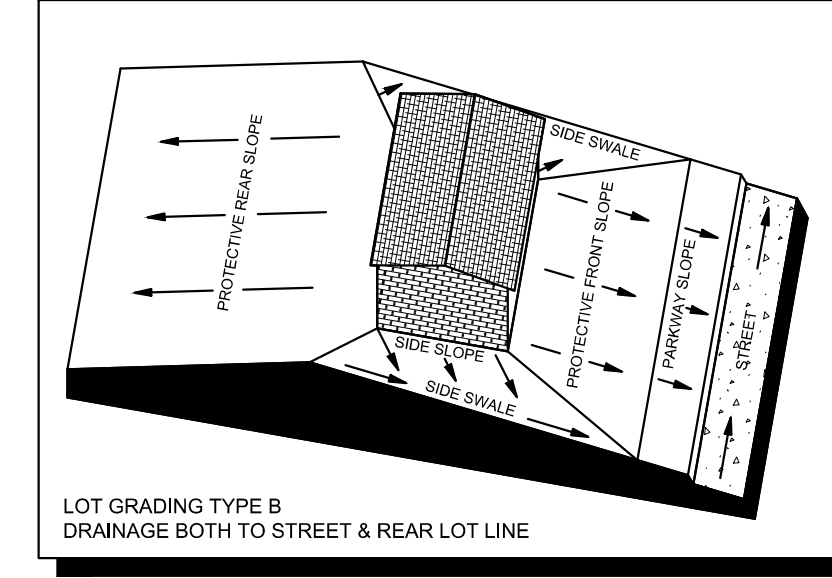
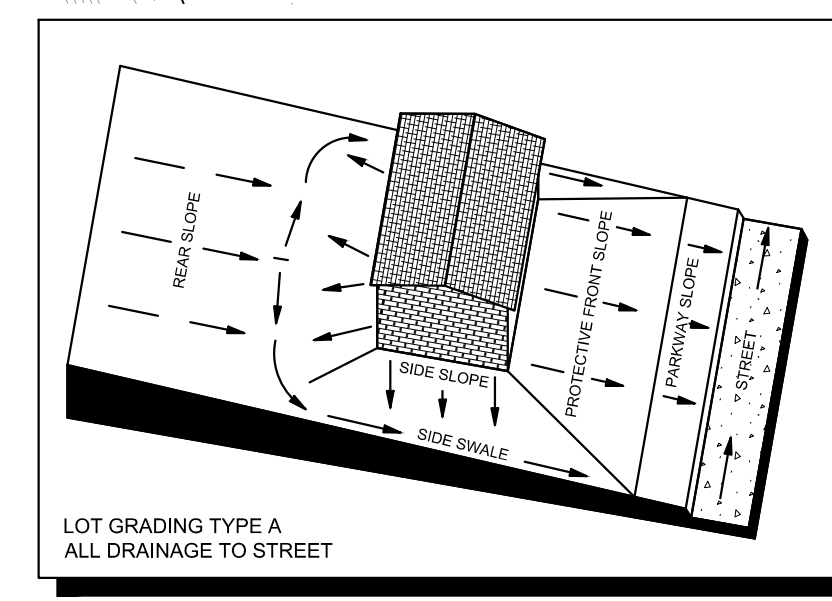


**LEGEND**

---	PROPERTY LINE
55.5 •	PROPOSED SPOT ELEVATION
EX 55.5 •	EXISTING SPOT ELEVATION
TW 55.5 •	PROPOSED TOP OF WALL ELEVATION
BW 55.5 •	PROPOSED BOTTOM OF WALL ELEVATION
EW 55.5 •	PROPOSED END WALL ELEVATION
→	LOT DRAINAGE FLOW DIRECTION
→	STREET DRAINAGE FLOW DIRECTION
---	PROPOSED RETAINING WALL
---	PROPOSED CONTOUR
---	EXISTING CONTOUR

**GRADING GENERAL NOTES**

- CONTRACTOR SHALL CUT 3' BEHIND BACK OF CURB TO SUBGRADE ELEVATION.
- PROPOSED PRIVATE RETAINING WALLS LOCATED ON PRIVATE LOTS TO BE MAINTAINED BY THE PROPERTY OWNER.
- GLOBAL STABILITY AND STRUCTURAL DESIGN OF RETAINING WALLS PROVIDED BY OTHERS.
- THE END ELEVATION CALLS FOR RETAINING WALLS DEPICT GROUND ELEVATION. TOP OF WALL ELEVATIONS ARE TYPICALLY 0.5' ABOVE GROUND.
- ALL PERIMETER SLOPES TO NATURAL GROUND ARE TO BE 3:1 MAX, UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS SHALL MAINTAIN A MAXIMUM 2% CROSS SLOPE & A 5% LONGITUDINAL SLOPE.
- CONTRACTOR TO MATCH EXISTING GRADES AT ALL PHASE BOUNDARIES
- REFER TO GEOTECH REPORT BY MLA GEOTECHNICAL REPORT NO.22101100.019 DATED 5/3/2022.
- NO PORTION OF PROPOSED RETAINING WALL TO BE LOCATED WITHIN FEMA 100-YEAR FLOODPLAIN.
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**BENCHMARKS**

BM #102 - P.N.NAL SET IN THE MIDDLE OF A CURB MEET ON THE WEST SIDE OF FM 807 702 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF COLE SPRINGS ROAD. (ELEV. 691.51' (NAVD 88))

BM #104 - P.N.NAL SET IN ROCK ON THE SOUTHWEST CORNER OF FM 2705 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. (ELEV. 671.02' (NAVD 88))

BM #106 - P.N.NAL SET IN ASPHALT ON THE SOUTHWEST CORNER OF BLACK COLOR ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. (ELEV. 702.92' (NAVD 88))

**811**  
Know what's below. Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

CONSTRUCTION PLAN APPROVAL SHEET **OF 226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: **N/A** UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: **N/A**

Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3

*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.*

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley & Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78735  
PHONE: 512-646-2237  
FAX: 512-646-2237  
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TPE Firm No. 928

07/17/2023

**ALEJANDRO E. GRANADOS RICO**  
130084  
LICENSED PROFESSIONAL ENGINEER

*Aljando E. Granados Rico*

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WEJ/DM  
DRAWN BY: WEJ/HMH/DM  
CHECKED BY: AEG

**GRADING PLAN**  
(6 OF 12)

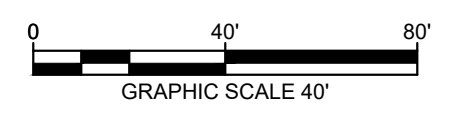
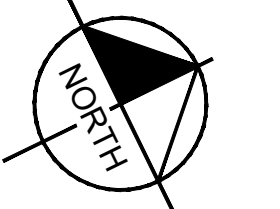
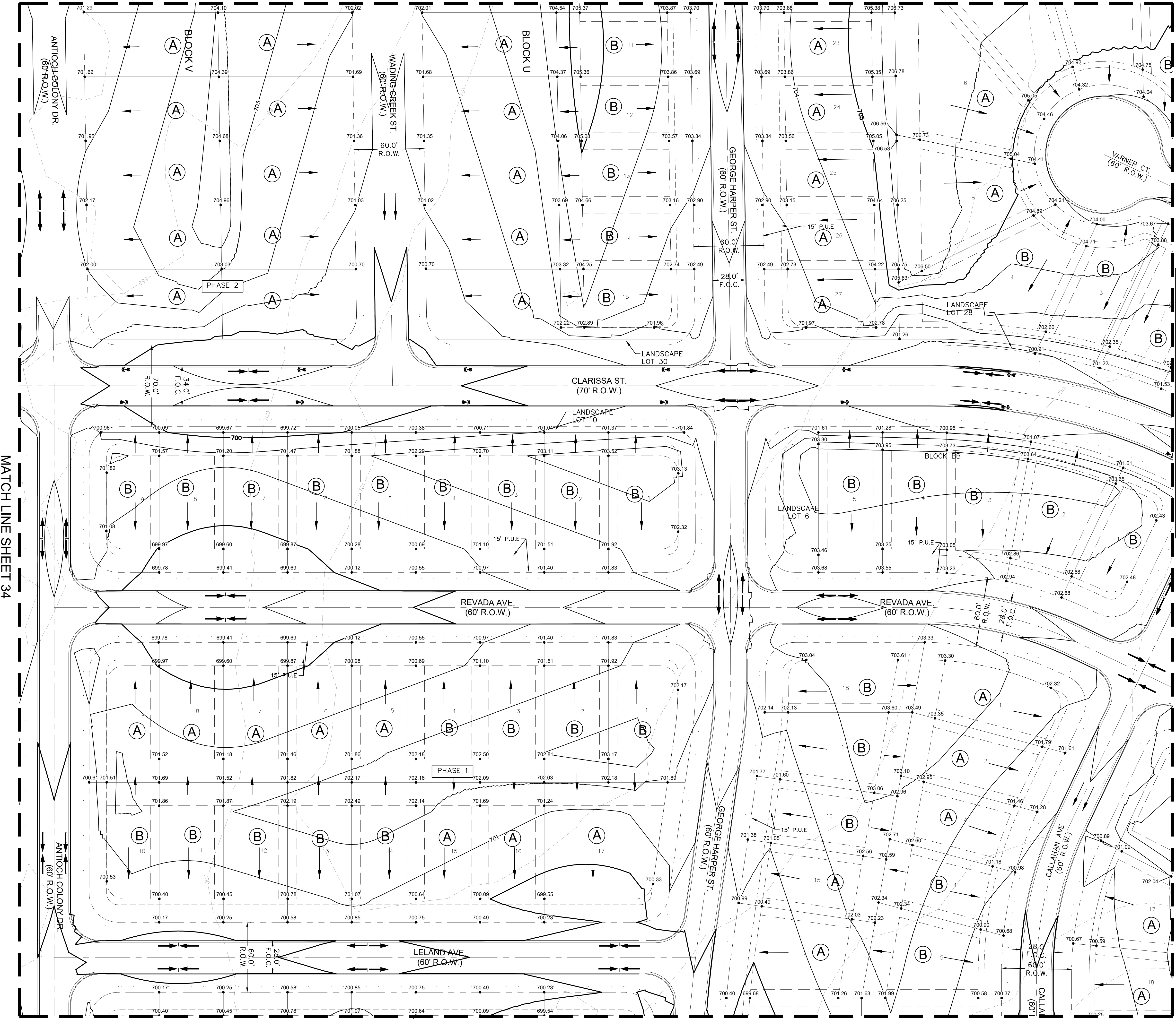
**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER **34**  
OF 226

MATCH LINE SHEET 38

Plotted By: C. Granados, Alex Date: July 17, 2023 08:20:50am File Path: K:\SAIL\067783115 Heritage Blvd Assemblies\067783115\_C-Grading Plan.dwg  
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MATCH LINE SHEET 32



LEGEND

	PROPERTY LINE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	PROPOSED TOP OF WALL ELEVATION
	PROPOSED BOTTOM OF WALL ELEVATION
	PROPOSED END WALL ELEVATION
	LOT DRAINAGE FLOW DIRECTION
	STREET DRAINAGE FLOW DIRECTION
	PROPOSED RETAINING WALL
	PROPOSED CONTOUR
	EXISTING CONTOUR

GRADING GENERAL NOTES

- CONTRACTOR SHALL CUT 3' BEHIND BACK OF CURB TO SUBGRADE ELEVATION.
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- CONTRACTOR TO MATCH EXISTING GRADES AT ALL PHASE BOUNDARIES
- REFER TO GEOTECH REPORT BY MLA GEOTECHNICAL REPORT NO 22101100 019 DATED 5/3/2022.
- NO PORTION OF PROPOSED RETAINING WALL TO BE LOCATED WITHIN FEMA 100-YEAR FLOODPLAIN.
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MATCH LINE SHEET 34

MATCH LINE SHEET 36

MATCH LINE SHEET 38

MATCH LINE SHEET 39

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78735  
PHONE: 512-646-2237  
FAX: 512-646-2237  
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TPE Firm No. 928

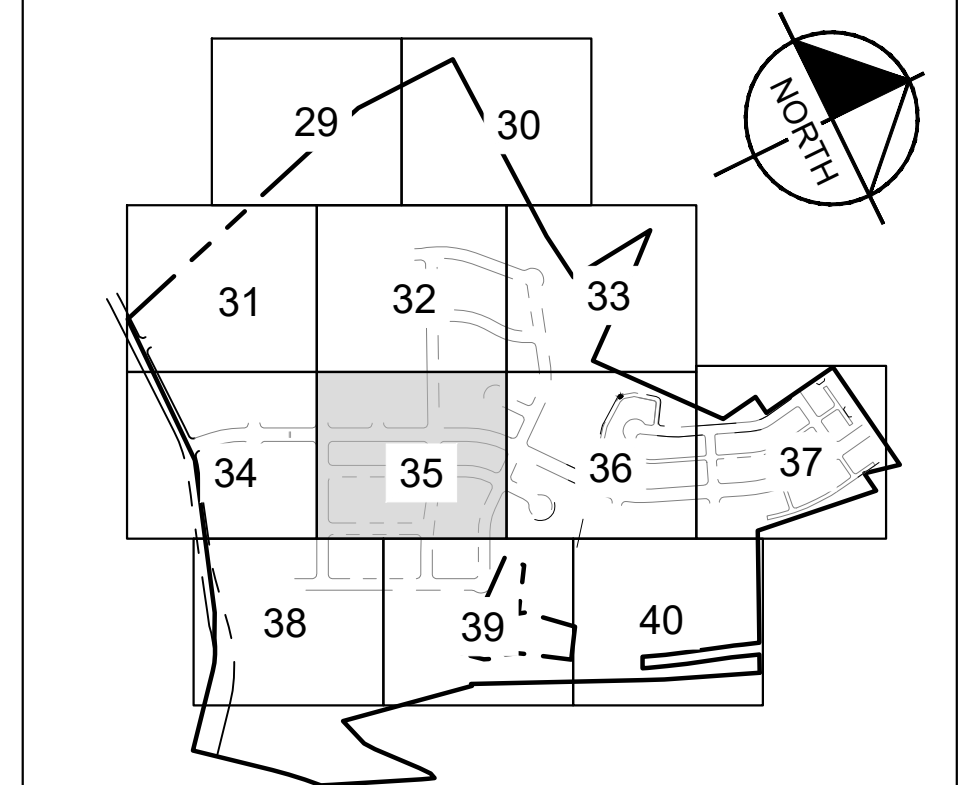
07/17/2023  
  
Alejandro E. Granados Rico  
Professional Engineer  
Checked By: AEG

KHA PROJECT  
067783115  
DATE  
JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WEJ/DM  
DRAWN BY: WEJ/DM/ML/DM  
CHECKED BY: AEG

**GRADING PLAN  
(7 OF 12)**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER  
**35**  
OF 226



KEY MAP  
SCALE: 1" = 1,000'

**811**  
Know what's below.  
Call before you dig.  
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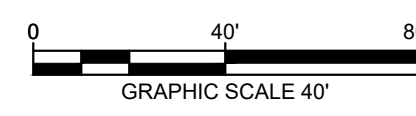
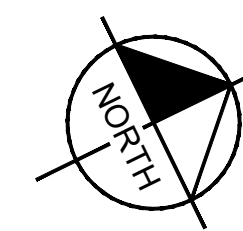
CONSTRUCTION PLAN APPROVAL SHEET OF 226  
FILE NUMBER: APPLICATION DATE:  
APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA  
UNIFIED DEVELOPMENT CODE  
EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE: ZONING N/A

Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3

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SHEET NUMBER: 2021-737



LEGEND

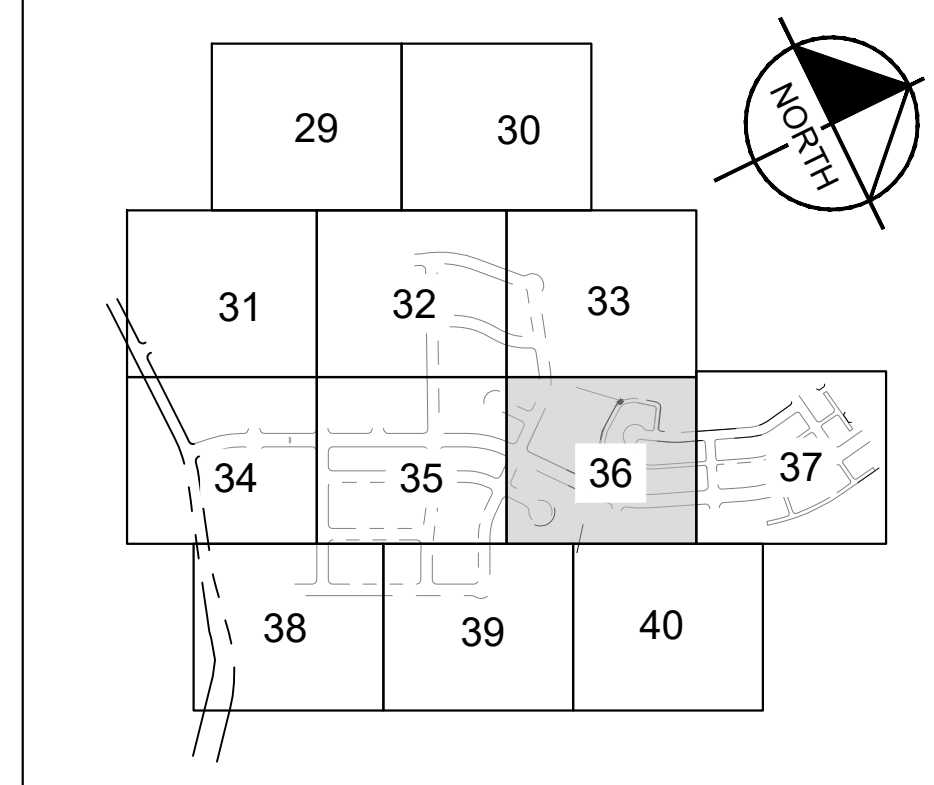
- PROPERTY LINE
- 55.5 • PROPOSED SPOT ELEVATION
- EX 55.5 • EXISTING SPOT ELEVATION
- TW 55.5 • PROPOSED TOP OF WALL ELEVATION
- BW 55.5 • PROPOSED BOTTOM OF WALL ELEVATION
- EW 55.5 • PROPOSED END WALL ELEVATION
- LOT DRAINAGE FLOW DIRECTION
- STREET DRAINAGE FLOW DIRECTION
- PROPOSED RETAINING WALL
- 555 EXISTING CONTOUR

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 TPE Firm No. 928

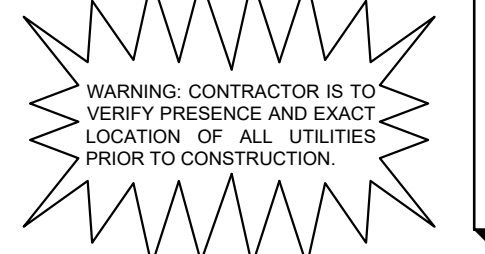
07/17/2023  
  
 Alejandro E. Granados Rico  
 Professional Engineer  
 License No. 130084  
 State of Texas  
 KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WEJ/DM  
 DRAWN BY: WEJ/HMH/DM  
 CHECKED BY: AEC



KEY MAP SCALE: 1" = 1,000'



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- BENCHMARKS**
- BW #102 - PIN NAIL SET IN THE MIDDLE OF A CURB MET ON THE WEST SIDE OF FM 807 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF CODE SPRINGS HIGHWAY. ELEV: 691.51' (NAVD 88)
  - BW #104 - PIN NAIL SET IN ROCK ON THE SOUTHWEST CORNER OF FM 270 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV: 712.04' (NAVD 88)
  - BW #108 - PIN NAIL SET IN ASPHALT ON THE SOUTH SIDE OF THE BLACK COLOR ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 732.50' (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226  
 FILE NUMBER: APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: ZONING N/A

Rev. 1 Correction 1  
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PERMIT NUMBER: 2021-737

GRADING PLAN (8 OF 12)

THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS

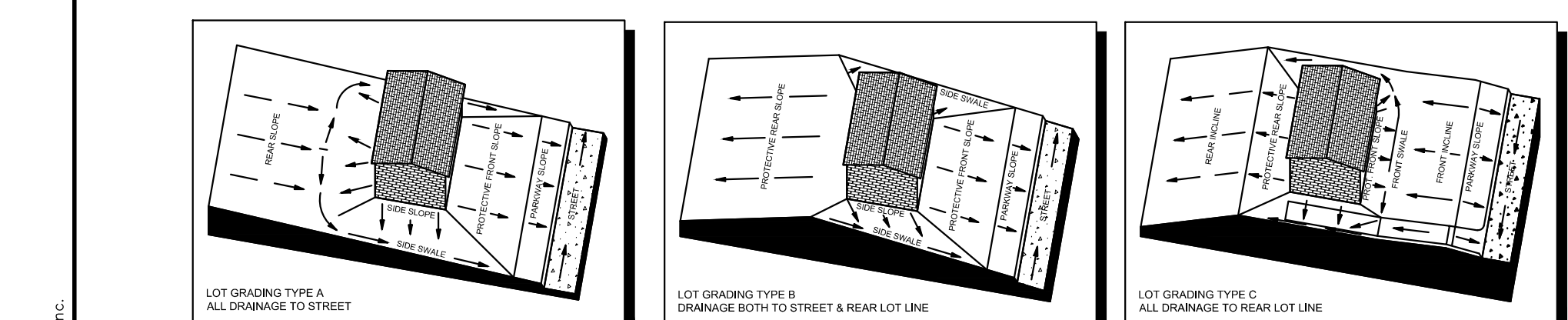
Plotted By: Crenados, Alex Date: July 17, 2023 08:21:00am File Path: K:\SAL\_GUL\067783115\_Meritage\_Buda\_Assemble\067783115\_Crading\_Plan.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. In no event shall the liability of Kimley-Horn and Associates, Inc. be limited by the terms of this document without written authorization and approval by Kimley-Horn and Associates, Inc.

MATCH LINE SHEET 35

MATCH LINE SHEET 39

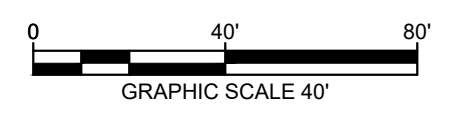
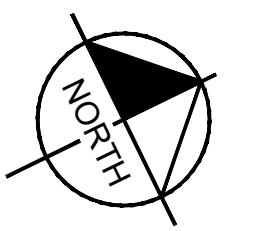
MATCH LINE SHEET 40

MATCH LINE SHEET 37



CALLED 35,818 ACRES  
GLADYS M. SCALES FELDER  
DOC# 70018496 OPRHC  
(REMAINDER)

9.00 ACRES  
BENJAMIN WRIGHT



**LEGEND**

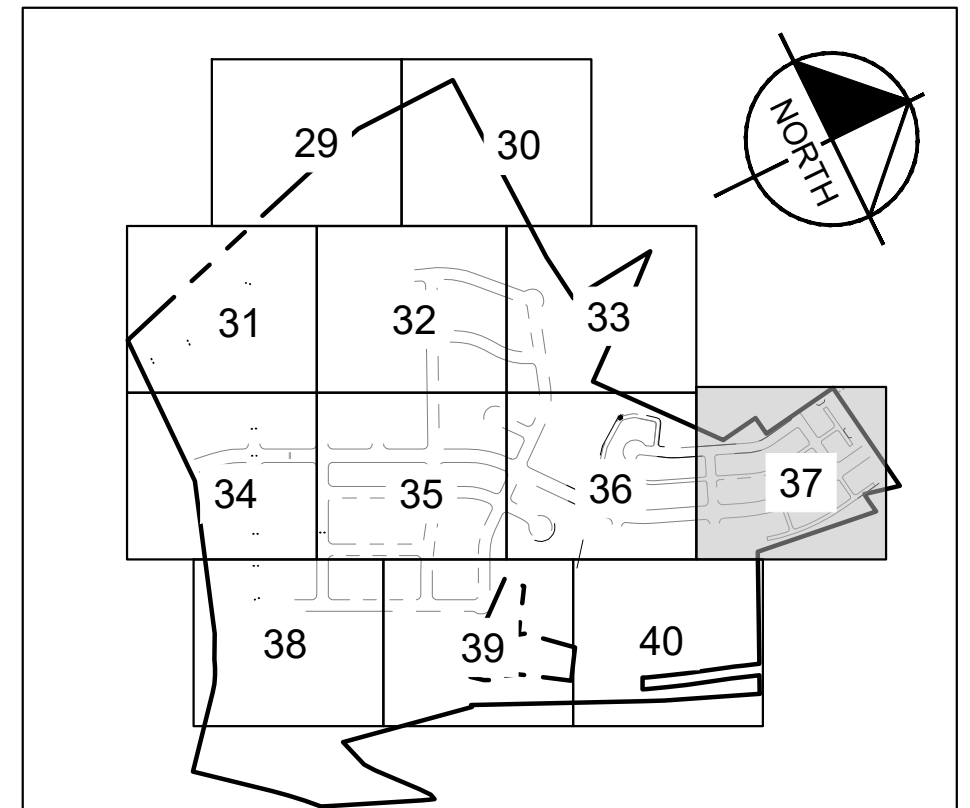
---	PROPERTY LINE
55.5 •	PROPOSED SPOT ELEVATION
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TW 55.5 •	PROPOSED TOP OF WALL ELEVATION
BW 55.5 •	PROPOSED BOTTOM OF WALL ELEVATION
EW 55.5 •	PROPOSED END WALL ELEVATION
→	LOT DRAINAGE FLOW DIRECTION
→	STREET DRAINAGE FLOW DIRECTION
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---	PROPOSED CONTOUR
---	EXISTING CONTOUR

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**Kimley»Horn**  
5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78735  
PHONE: 512-646-2337  
FAX: 512-646-2337  
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TPE Firm No. 928

07/17/2023  
ALEJANDRO E. GRANADOS RICO  
130084  
LICENSED PROFESSIONAL ENGINEER  
Mjuna E. Ho Li  
KHA PROJECT 067783115  
DATE JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WEJ/DM  
DRAWN BY: WEJ/HM/ML/DM  
CHECKED BY: AEG



**KEY MAP**  
SCALE: 1" = 1,000'



Know what's below.  
Call before you dig.



WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #102	IPK NAIL SET IN THE MIDDLE OF A CURB SET ON THE WEST SIDE OF FM 807 20' NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF CODE SPRINGS ROAD	ELEV: 681.51 (NAVD 88)
BM #104	IPK NAIL SET IN ROCK ON THE SOUTHWEST CORNER OF PM 2700 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES	ELEV: 712.04 (NAVD 88)
BM #106	IPK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF OLD BLACK COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE	ELEV: 732.57 (NAVD 88)

CONSTRUCTION PLAN APPROVAL	SHEET	OF 226
FILE NUMBER	APPLICATION DATE	
APPROVED BY COMMISSION ON	N/A	UNDER THE CITY OF BUDA
UNIFIED DEVELOPMENT CODE		
EXPIRATION DATE 2021-737	CASE MANAGER	08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE: ZONING N/A

Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code in effect at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737



MATCH LINE SHEET 36

MATCH LINE SHEET 40

2.64 ACRES  
DANIEL DIXON BALBOA  
DOC# 17003374 OPRHC  
(METES & BOUNDS FROM  
DOC# 70030439)

2.64 ACRES  
DANIEL DIXON BALBOA  
DOC# 17003376 OPRHC

2.64 ACRES  
DANIEL DIXON BALBOA  
DOC# 17003375 OPRHC

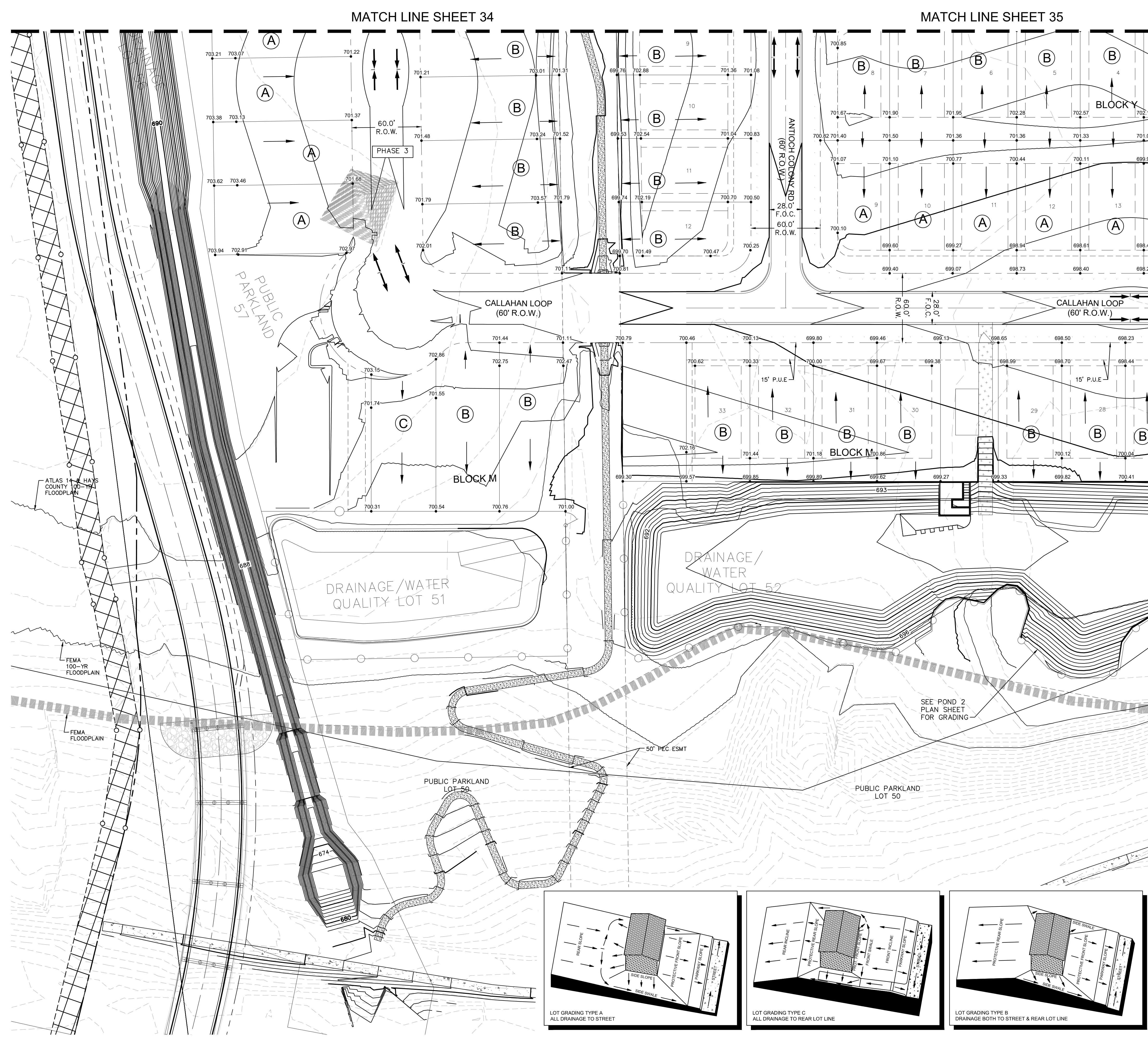
ANTIOCH COMMUNITY CHURCH  
VOL. 1462, PG.388 OPRHC

Plotted By: Crenados, Alex Date: July 17, 2023 08:21:00am File Path: K:\SALL\Civil\067783115 Meritage Budo Assemblies\067783115\Grading\_Plan.dwg  
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**GRADING PLAN**  
(9 OF 12)

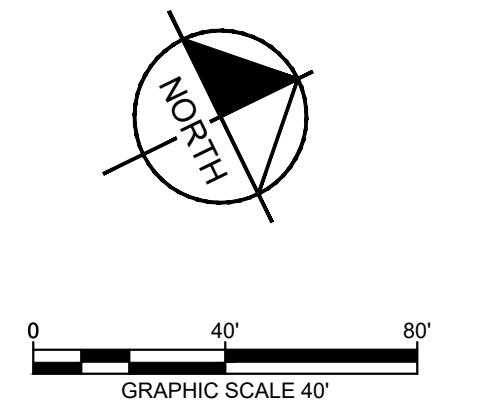
**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

Plotted By: Crenados, Alex Date: July 17, 2023 08:21:20am File Path: K:\SAL\_GUL\067783115\_Meritage Blvd\_Assemblies\Civil\PropSheets\C-Grading\_Plan.dwg  
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MATCH LINE SHEET 34

MATCH LINE SHEET 35



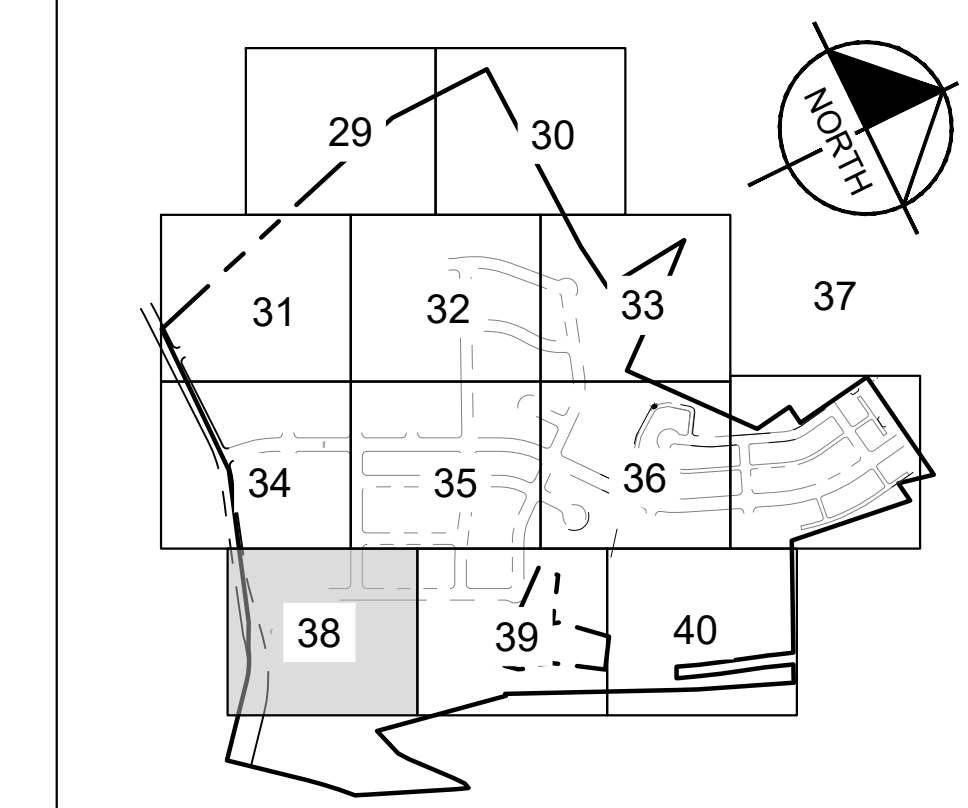
**LEGEND**

---	PROPERTY LINE
55.5 •	PROPOSED SPOT ELEVATION
EX 55.5 •	EXISTING SPOT ELEVATION
TW 55.5 •	PROPOSED TOP OF WALL ELEVATION
BW 55.5 •	PROPOSED BOTTOM OF WALL ELEVATION
EW 55.5 •	PROPOSED END WALL ELEVATION
→	LOT DRAINAGE FLOW DIRECTION
→	STREET DRAINAGE FLOW DIRECTION
---	PROPOSED RETAINING WALL
---	PROPOSED CONTOUR
---	EXISTING CONTOUR

**GRADING GENERAL NOTES**

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MATCH LINE SHEET 39



**KEY MAP**  
SCALE: 1" = 1,000'

**811**  
Know what's below.  
Call before you dig.

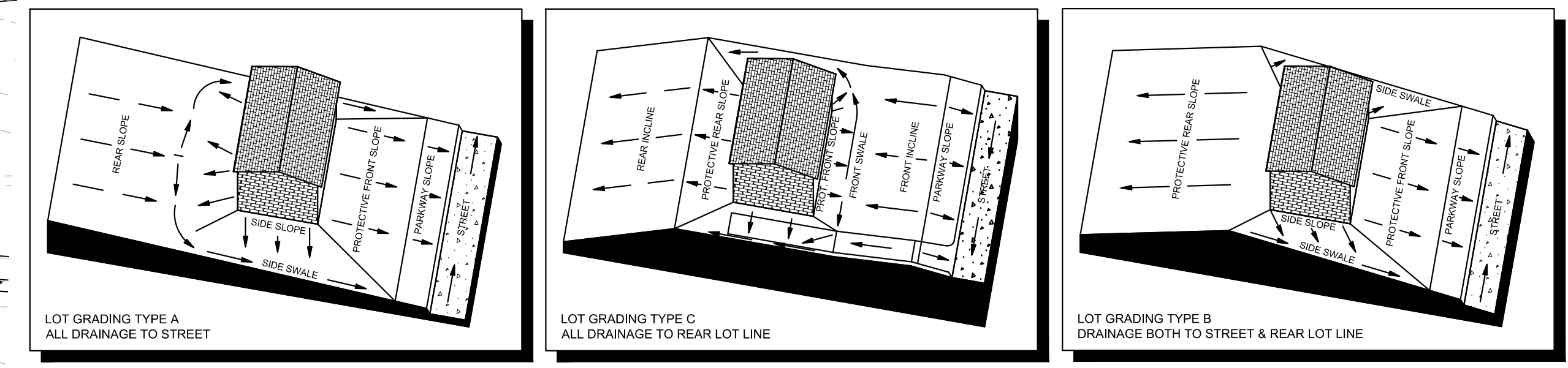
WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #102 - PIN NAIL SET IN THE MIDDLE OF A CURB SET ON THE WEST SIDE OF FM 807 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF CODE SPRINGS ROAD. (ELEV. +891.51' (NAVD 88))

BM #104 - PIN NAIL SET IN ROCK ON THE SOUTHWEST CORNER OF FM 2705 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. (ELEV. +712.04' (NAVD 88))

BM #106 - PIN NAIL SET IN ASPHALT ON THE SOUTH SIDE OF BUDA COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. (ELEV. +732.59' (NAVD 88))



NO.	REVISIONS	DATE	BY

**Kimley-Horn**

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 AUSTIN, TX 78735  
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 FAX: 512-646-2237  
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 TPE Firm No. 928

07/17/2023

**Professional Engineer**  
 ALEJANDRO E. GRANADOS RICO  
 130084  
 Mjanda & Kim Li

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WEJ/DM  
 DRAWN BY: WEJ/HM/ML/DM  
 CHECKED BY: AEG

**GRADING PLAN**  
(10 OF 12)

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**38**  
 OF 226

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: APPLICATION DATE: N/A

APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA  
 UNIFIED DEVELOPMENT CODE

EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: ZONING N/A

Rev. 1 Correction 1  
 Rev. 2 Correction 2  
 Rev. 3 Correction 3

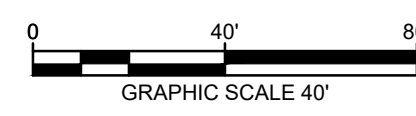
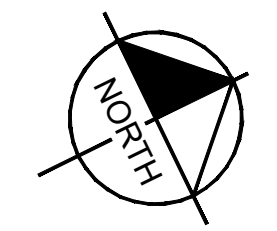
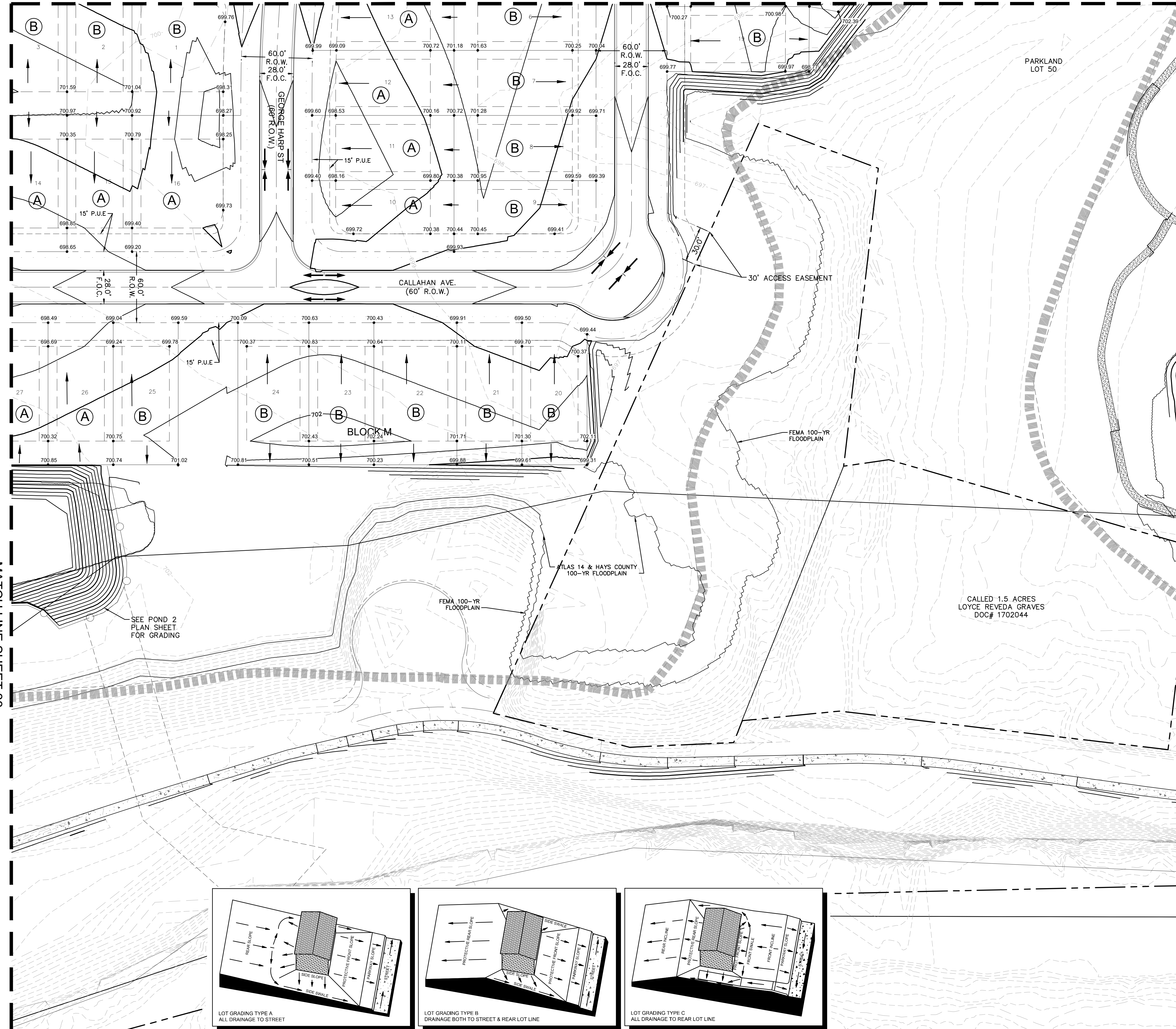
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PERMIT NUMBER: 2021-737

Plotted By: Duffy, Daniel Date: July 17, 2023 11:19:27am File Path: K:\New\_civil\067783115\_meritage\_budo\_assemblies\Cad\plansheets\C-Grading\_Plan.dwg  
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MATCH LINE SHEET 35

MATCH LINE SHEET 36



LEGEND

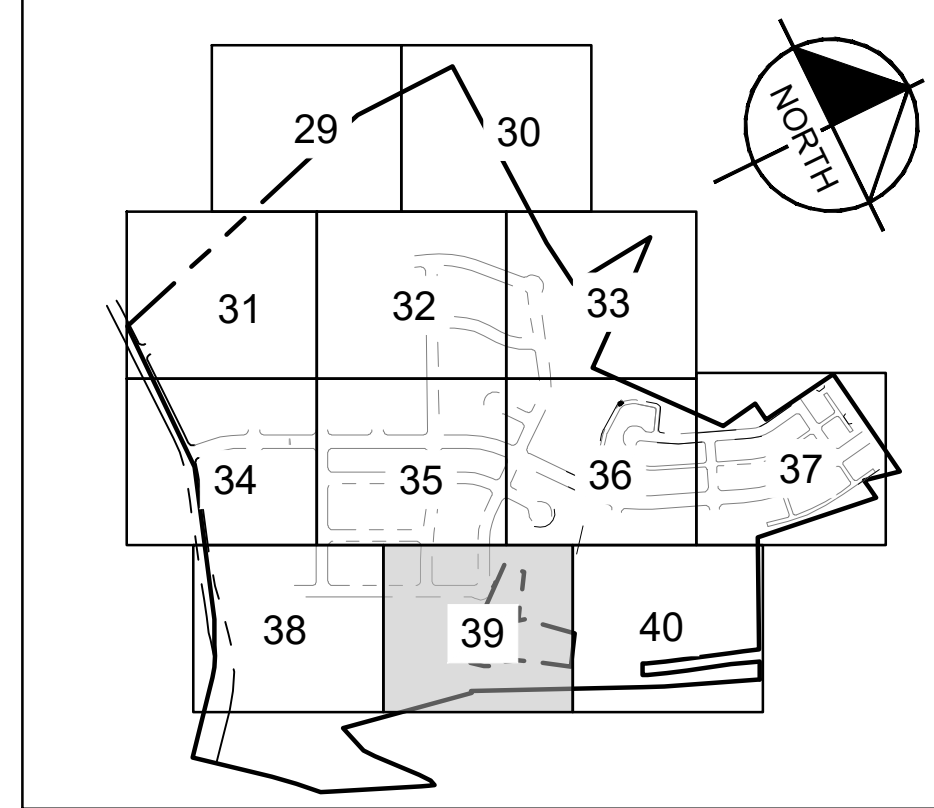
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TW 55.5 •	PROPOSED TOP OF WALL ELEVATION
BW 55.5 •	PROPOSED BOTTOM OF WALL ELEVATION
EW 55.5 •	PROPOSED END WALL ELEVATION
→	LOT DRAINAGE FLOW DIRECTION
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---	PROPOSED RETAINING WALL
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 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
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 TPBE Firm No. 928

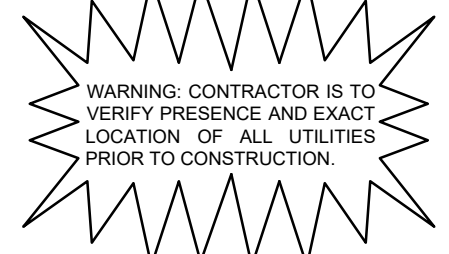
07/17/2023  
 ALEJANDRO E. GRANADOS RICO  
 130084  
 PROFESSIONAL ENGINEER  
 Mjane & Day Li



KEY MAP  
 SCALE: 1" = 1,000'



Know what's below.  
 Call before you dig.



BENCHMARKS

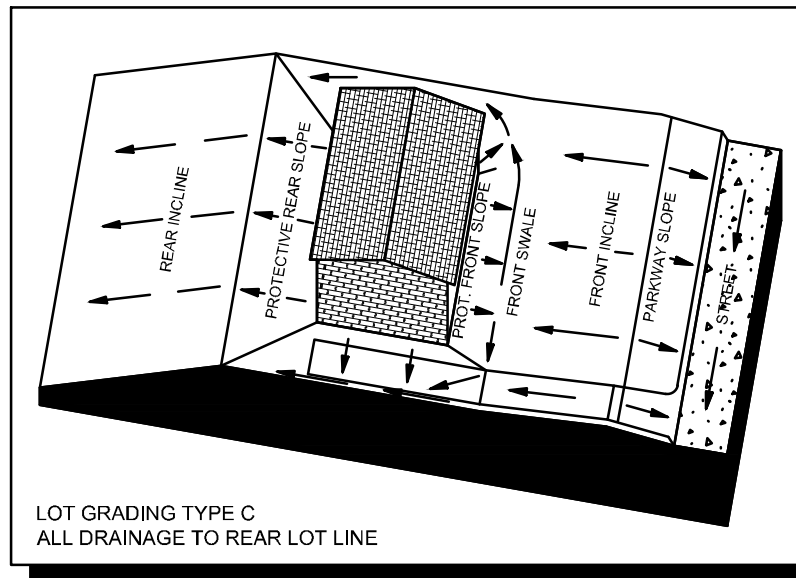
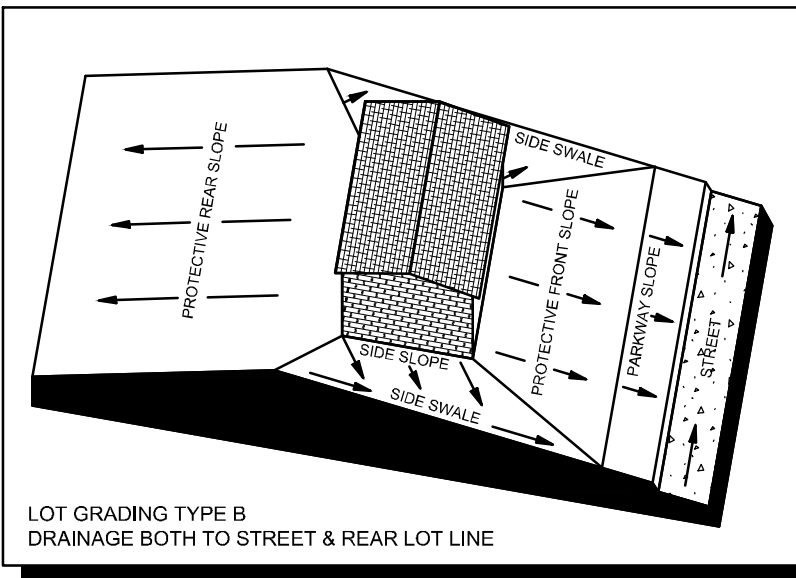
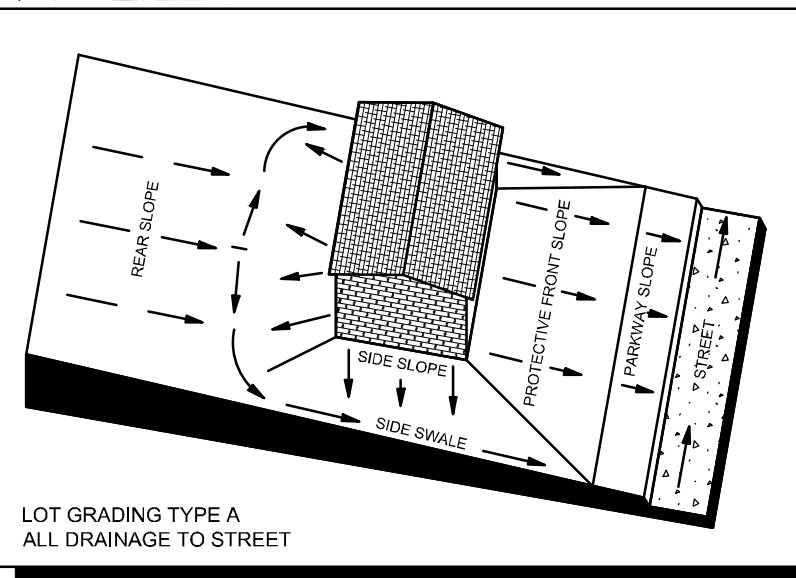
BM #102	IPK NAIL SET IN THE MIDDLE OF A CURB MET ON THE WEST SIDE OF FM 807 702 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF CODE SPRINGS ROAD	ELEV: +891.51 (NAVD 88)
BM #104	IPK NAIL SET IN ROCK ON THE SOUTHWEST CORNER OF FM 2702 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES	ELEV: +712.04 (NAVD 88)
BM #106	IPK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF 624 BILCOA COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE	ELEV: +732.52 (NAVD 88)

CONSTRUCTION PLAN APPROVAL	SHEET	OF 226
FILE NUMBER	APPLICATION DATE	
APPROVED BY COMMISSION ON	N/A	UNDER THE CITY OF BUDA
UNIFIED DEVELOPMENT CODE		
EXPIRATION DATE 2021-737	CASE MANAGER	08/16/2021

A. KENNEDY  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: ZONING N/A

Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3

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 PERMIT NUMBER: 2021-737



KHA PROJECT  
 067783115

DATE  
 JULY 2023

SCALE: AS SHOWN  
 DESIGNED BY: WEJ/DM  
 DRAWN BY: WEJ/DM/ML/DM

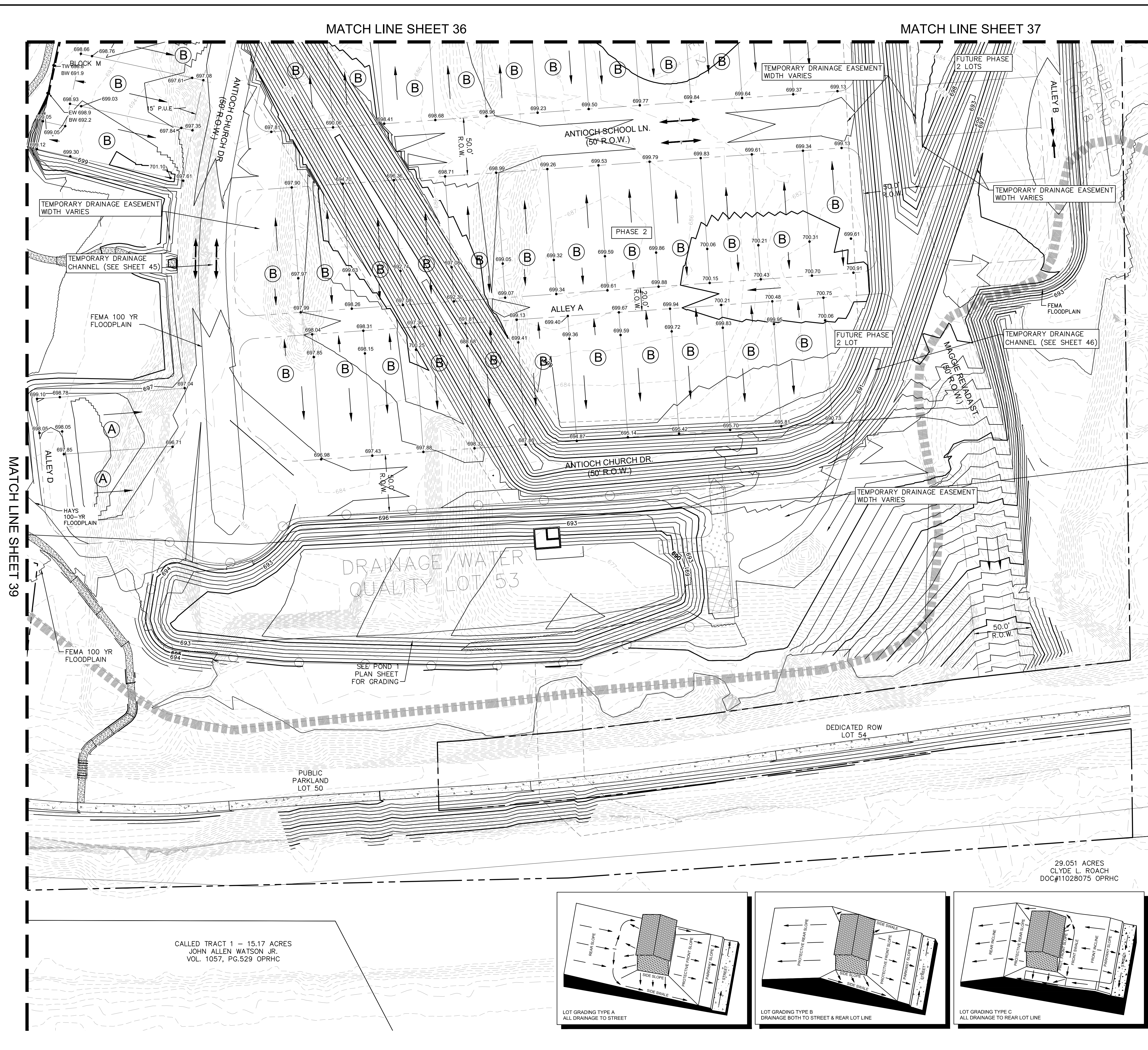
CHECKED BY: AEG

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
 39  
 OF 226

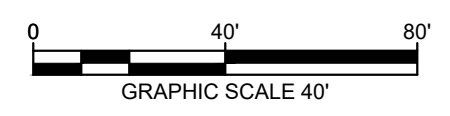
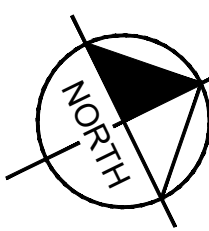
NO.	REVISIONS	DATE	BY

Plotted By: Crenados, Alex Date: July 17, 2023 08:21:55am File Path: K:\SAL\_Civil\067783115 Heritage Blvd Assemblies\Civil\PlanSheets\C-Grading\_Plan.dwg  
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MATCH LINE SHEET 36

MATCH LINE SHEET 37



**LEGEND**

---	PROPERTY LINE
55.5 •	PROPOSED SPOT ELEVATION
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NO.	REVISIONS	DATE	BY

**Kimley-Horn**

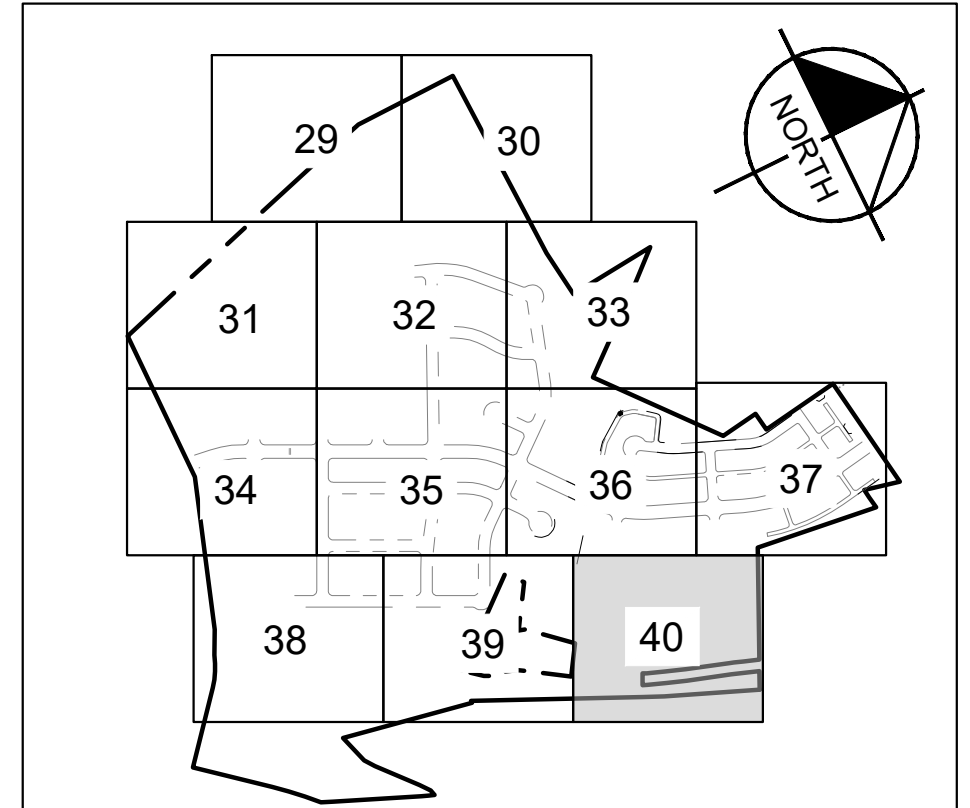
5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78735  
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 TPE Firm No. 928

07/17/2023

**ALEJANDRO E. GRANADOS RICO**  
 130084  
 LICENSED PROFESSIONAL ENGINEER

*Aljando E. Granados Rico*

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WEJ/DM  
 DRAWN BY: WEJ/HMH/DM  
 CHECKED BY: AEG



KEY MAP  
SCALE: 1" = 1,000'



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**BENCHMARKS**

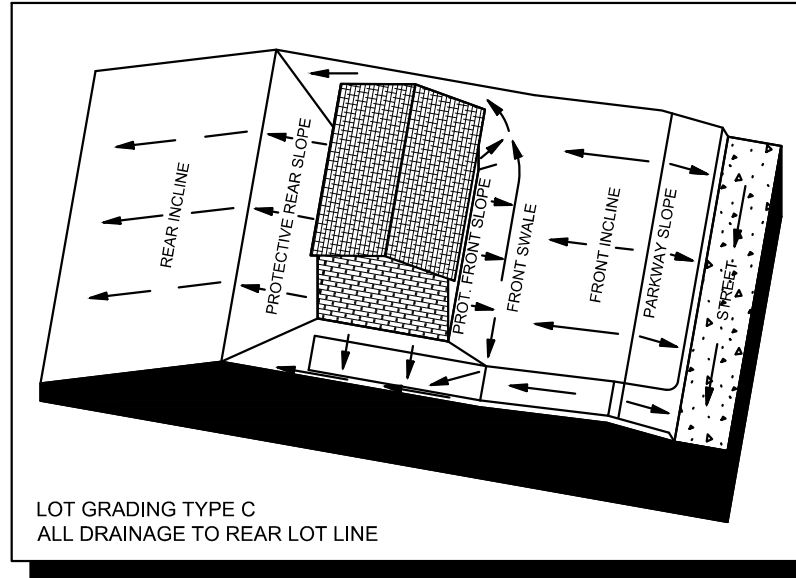
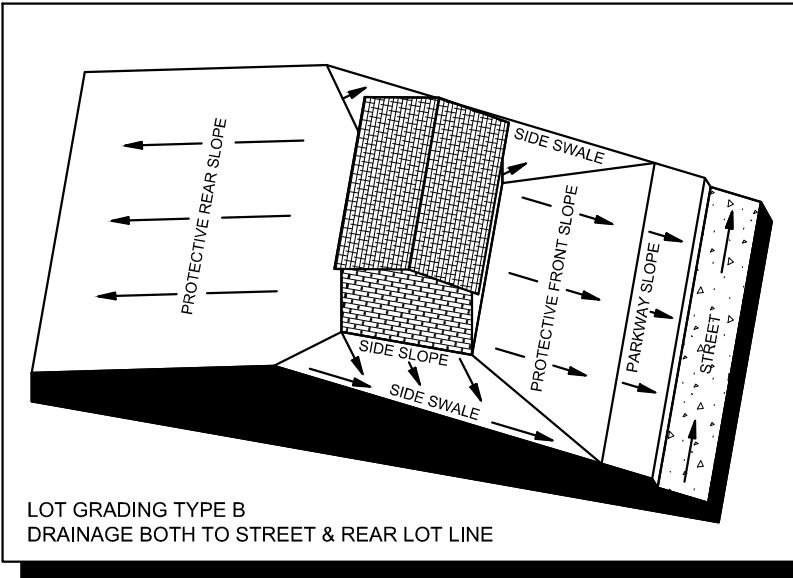
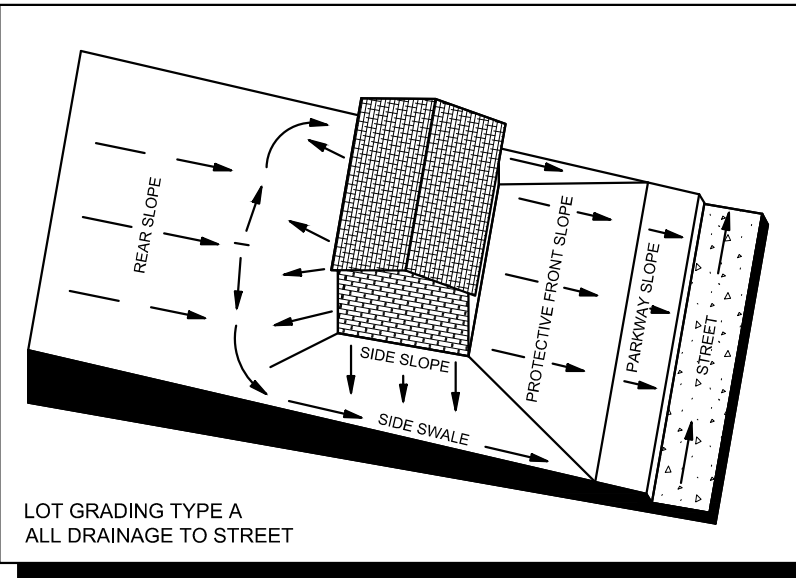
BM #102 - PIN NAIL SET IN THE MIDDLE OF A CURB SET ON THE WEST SIDE OF FM 807 702 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF CODE SPRINGS ROAD. ELEV -861.51 (NAVD 88)

BM #104 - PIN NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2702 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV -712.04 (NAVD 88)

BM #106 - PIN NAIL SET IN ASPHALT ON THE SOUTH SIDE OF BLUE-GREEN COLOR ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV -732.57 (NAVD 88)

CALLED TRACT 1 - 15.17 ACRES  
 JOHN ALLEN WATSON JR.  
 VOL. 1057, PG.529 OPRHC

29.051 ACRES  
 CLYDE L. ROACH  
 DOC#11028075 OPRHC



CONSTRUCTION PLAN APPROVAL SHEET    OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON:   N/A   UNDER THE CITY OF BUDA  
 UNIFIED DEVELOPMENT CODE

EXPIRATION DATE 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING:   N/A  

Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.*

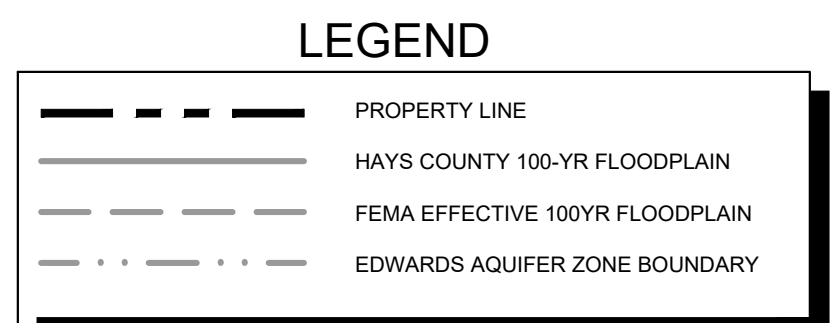
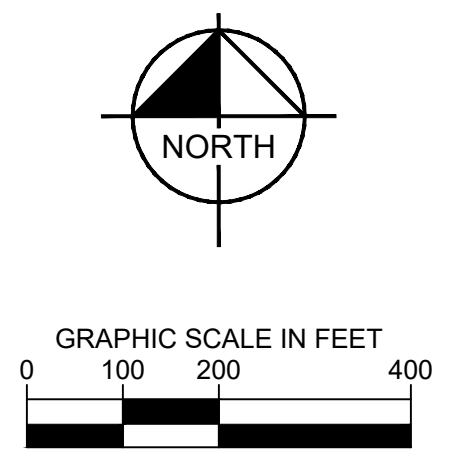
PERMIT NUMBER: 2021-737

**GRADING PLAN**  
(12 OF 12)

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

Plotted By: Granados, Alex. Date: July 17, 2023 08:36:37am File Path: K:\SAU\_Civil\067783115\_Meritage Buda Assemblage\Map\PlanSheets\C-Slope\_Map.dwg  
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Slopes Table				
Number	Minimum Slope	Maximum Slope	Area	Color
1	0.00%	15.00%	7206096.53	
2	15.00%	25.00%	369606.72	
3	25.00%	35.00%	190216.25	
4	35.00%	100.00%	148467.27	



Public Parkland Dedication Summary					
Lot	Block	Total Acreage	Acreage <5%	DA Dedication Phase	Actual Phase Prelim Dedication
50	M	22.23	10.01	Phase 1/Phase 3	Phase 1
15	W	0.46	0.46	Phase 2	Phase 2
25	X	0.82	0.82	Phase 1	Phase 1
60	F	7.66	3.79	Phase 1/Phase 2	Phase 1
18	B	2.19	0.51	Phase 1	Phase 2
31	Q	1.15	1.15	Phase 2	Phase 2
57	M	0.53	0.53	Phase 3	Phase 3
<b>Total</b>		<b>35.04</b>	<b>17.27</b>		

**Available Public Parkland <5%** 17.3  
**Required Public Parkland Per D.A.** 33.1  
**Additional Public Parkland Outside the D.A.** 7.5  
**Total Public Parkland Provided** 42.5

**Note:**  
 1. Over 50% of the required parkland dedication specified in the Development Agreement is over 5%.  
 2. Additional parkland not included in the Development Agreement, was excluded from these calculations per slope map on Sheet 50.

Private Parkland/Landscape Lot					
Lot	Block	Acreage	Lot	Block	Acreage
6	A	0.74	114	M	0.07
17	B	0.52	115	M	0.03
11	N	0.40	28	T	0.04
20	B	0.40	6	BB	0.16
13	D	0.29	30	U	0.02
9	H	0.22	32	V	0.02
11	I	0.15	10	AA	0.06
55	M	0.68	26	X	0.13
19	B	0.06	27	X	0.13
8	U	0.16	9	V	0.16
<b>Total</b>					<b>4.44</b>

Water Quality/Drainage Lot		
Lot	Block	Acreage
6	P	2.47
12	N	0.96
42	Q	1.88
51	M	0.72
52	M	1.75
53	M	1.37
56	M	2.27
64	F	1.2
65	F	0.94

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78735  
 PHONE: 512-648-2237  
 FAX: 512-648-2237  
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 TBP Firm No. 928

07/17/2023  
  
 Alejandro E. Serrano, P.E.  
 Alex. Granados, P.E.

**OVERALL SLOPE MAP**  
 KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HH,MDM  
 CHECKED BY: AEG

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

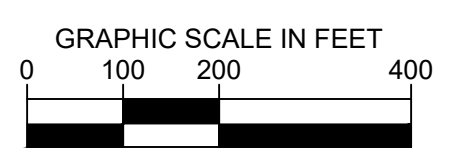
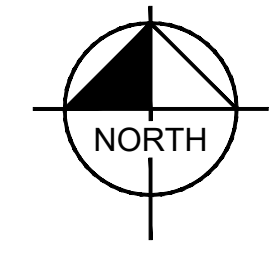
**BENCHMARKS**  
 BM #102 - PKNAIL SET IN THE MIDDLE OF A CURB/SEWER ON THE WEST SIDE OF FM 2714 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF COLE SPRINGS ROAD (NAVD 98)  
 BM #104 - PKNAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2714 IN FRONT OF AN ELECTRIC SUB STATION BELONGING TO THREE OVERHEAD ELECTRIC LINES (NAVD 98)  
 BM #106 - PKNAIL SET IN ASPHALT ON THE SOUTH SIDE OF OLD BLACK COLONY ROAD ON THE WEST SIDE OF THE GATES ENTRANCE TO THE SITE (ELEV +732.98' (NAVD 98))

CONSTRUCTION PLAN APPROVAL SHEET	OF 228
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA
UNIFIED DEVELOPMENT CODE	EXPIRATION DATE: 2021-7-27
CASE MANAGER	08/14/2021
A. KENNEDY	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE:	ZONING N/A
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.	
PERMIT NUMBER: 2021-737	



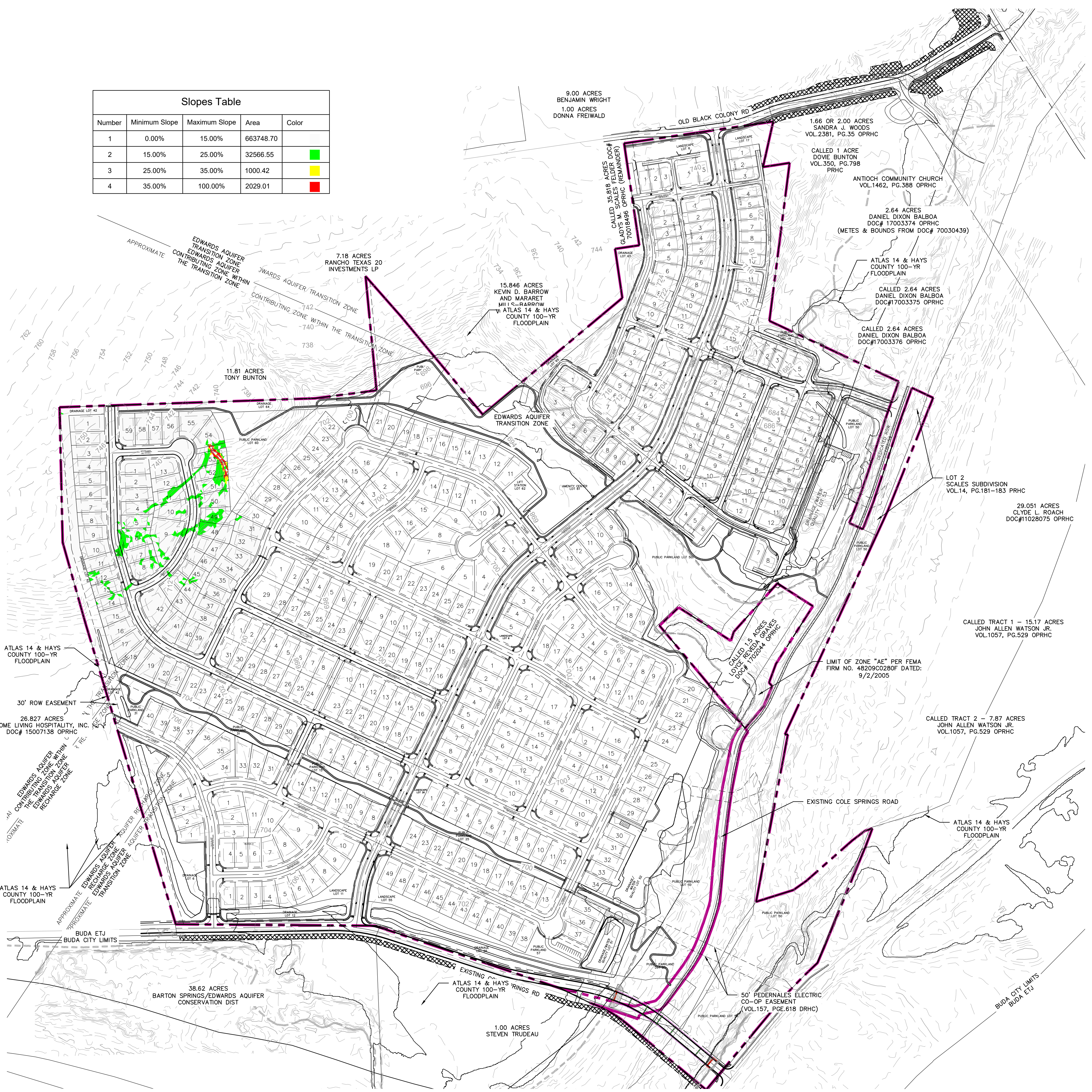
Plotted By: Granados, Alex. Date: July 17, 2023 08:36:45pm File Path: K:\SAU\_Civil\067783115\_Meritage\_Buda\_Assembly\Map\_Slope\PlanSheets\C-Slope\_Map.dwg  
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Number	Minimum Slope	Maximum Slope	Area	Color
1	0.00%	15.00%	663748.70	
2	15.00%	25.00%	32566.55	
3	25.00%	35.00%	1000.42	
4	35.00%	100.00%	2029.01	

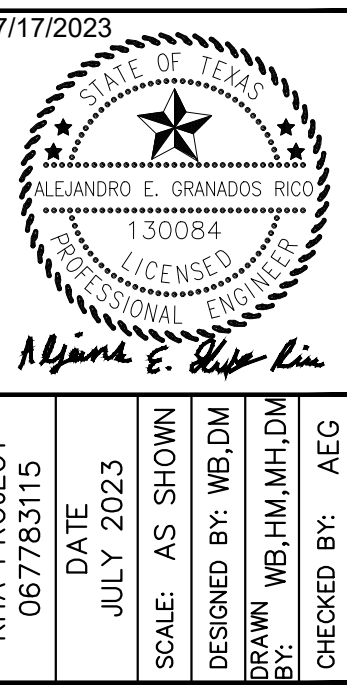


	PROPERTY LINE
	HAYS COUNTY 100-YR FLOODPLAIN
	FEMA EFFECTIVE 100YR FLOODPLAIN
	EDWARDS AQUIFER ZONE BOUNDARY

SLOPE	TOTAL SLOPE AREA	IC AREA W/15% SLOPES	% OF IC W/15% SLOPES
15% SLOPE	369,606.72 SQFT	32,566.55 SQFT	8.81%



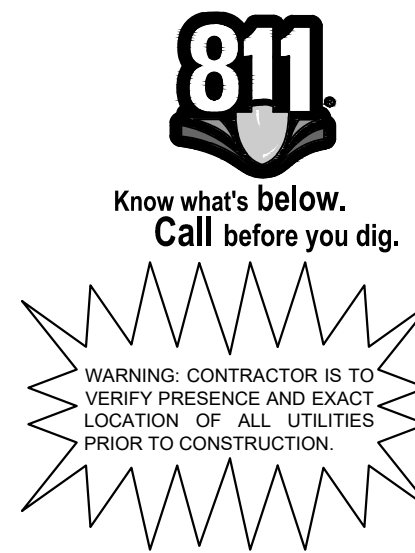
**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78735  
 PHONE: 512-646-1237  
 FAX: 512-646-1237  
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 TBPE Firm No. 928



**IMPERVIOUS COVER SLOPE MAP**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**42**  
 OF 226





**BENCHMARKS**

BM #102 - PPK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 2710 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV: 7191.51' (NAVD 83)  
 BM #104 PPK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION BELONGING TO THREE OVERHEAD ELECTRIC LINES. ELEV: 712.04' (NAVD 83)  
 BM #106 - PPK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF OLD BLACK COLONY ROAD ON THE WEST SIDE OF THE GATES ENTRANCE TO THE SITE. ELEV: 7132.58' (NAVD 83)

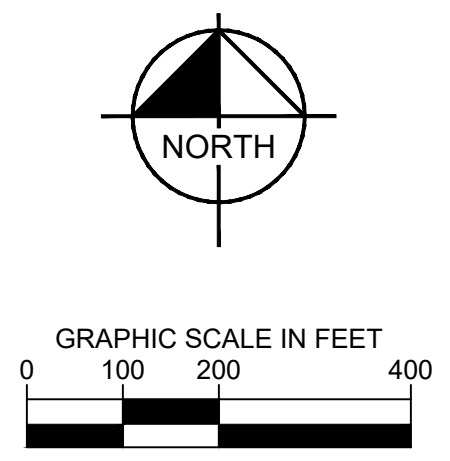
CONSTRUCTION PLAN APPROVAL	SHEET	OF	226
FILE NUMBER	APPLICATION DATE		
APPROVED BY COMMISSION ON	UNDER THE CITY OF BUDA		
UNIFIED DEVELOPMENT CODE	EXPIRATION DATE: 2021-737		
	CASE MANAGER: 08/14/2021		
A. KENNEDY			
City Engineer, City of Buda			
RELEASED FOR GENERAL COMPLIANCE: ZONING N/A			
Rev. 1	Correction 1		
Rev. 2	Correction 2		
Rev. 3	Correction 3		
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.			
PERMIT NUMBER: 2021-737			

NO.	REVISIONS	DATE	BY

Plotted By: Granados, Alex. Date: July 17, 2023 08:37:10am File Path: K:\SAU\_Civil\067783115\_Meritage\_Buda\_Assembly\Buda\_PlanSheets\C-Slope\_Map - FG.dwg  
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Slopes Table				
Number	Minimum Slope	Maximum Slope	Area	Color
1	0.00%	15.00%	5256712.26	
2	15.00%	Vertical	486576.90	

TOTAL AREA: 5742389.16 SF  
 15% SLOPES = 486576.90/5742389.16  
 15% SLOPES = 8.47% OF TOTAL SITE AREA



**LEGEND**

- PROPERTY LINE
- HAYS COUNTY 100-YR FLOODPLAIN
- FEMA EFFECTIVE 100YR FLOODPLAIN
- EDWARDS AQUIFER ZONE BOUNDARY



**811**  
 Know what's below.  
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**BENCHMARKS**

BM #102 - PPK NAIL SET IN THE MIDDLE OF A CURB IN SET ON THE WEST SIDE OF FM 2770 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF COLE SPRINGS ROAD (ELEV: 919.55' (NAVD 98))

BM #104 PPK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELONGING TO THREE OVERHEAD ELECTRIC LINES (ELEV: 912.04' (NAVD 98))

BM #106 - PPK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF OLD BLACK COLONY ROAD ON THE WEST SIDE OF THE GATES ENTRANCE TO THE SITE (ELEV: 912.58' (NAVD 98))

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL	SHEET	OF	228
FILE NUMBER	APPLICATION DATE		
APPROVED BY COMMISSION ON UNIFIED DEVELOPMENT CODE	N/A UNDER THE CITY OF BUDA		
EXPIRATION DATE: 2021-737	CASE MANAGER: 08/14/2021		
A. KENNEDY			
City Engineer, City of Buda			
RELEASED FOR GENERAL COMPLIANCE: ZONING N/A			
Rev. 1	Correction 1		
Rev. 2	Correction 2		
Rev. 3	Correction 3		
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.			
PERMIT NUMBER: 2021-737			

**Kimley & Horn**  
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 AUSTIN, TX 78735  
 PHONE: 512-846-2237  
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 TBPE Firm No. 928

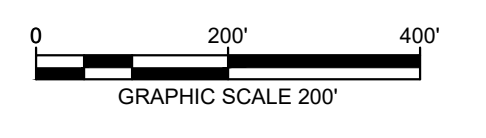
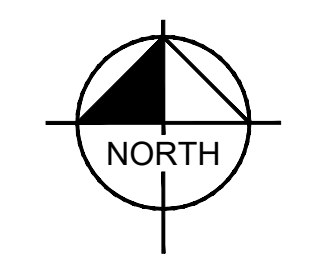
**PROPOSED SLOPE MAP**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**43**  
 OF 226

DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 BY: \_\_\_\_\_

Plotted by: Gromados, Alex Date: July 17, 2023 08:38:06am File Path: K:\SAU\_Civil\067783115\_Meritage Buda Assemblage\Coa\PlanSheets\C-PH1\_Street\_Layout.dwg  
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### LEGEND

	FEMA EFFECTIVE 100YR FLOODPLAIN
	PROP ROW
	PROP LOT BOUNDARY
	PROP PHASE BOUNDARY

NOTE:  
1. ALL LANDSCAPE LOTS ARE TO BE IRRIGATED PER IRRIGATION/LANDSCAPE PLANS.



No.	REVISIONS	DATE	BY

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78746-6437  
WWW.KIMLEY-HORN.COM  
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TBE Firm No. 928

07/17/2023

**Alejandro E. Granados**  
Professional Engineer  
No. 130036

KHA PROJECT	067783115
DATE	JULY 2023
SCALE	AS SHOWN
DESIGNED BY	WB, DM
DRAWN BY	WB, HM, MH, DM
CHECKED BY	AEG

## OVERALL PHASE 1 STREET LAYOUT

### THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS

SHEET NUMBER  
**44**  
OF 226

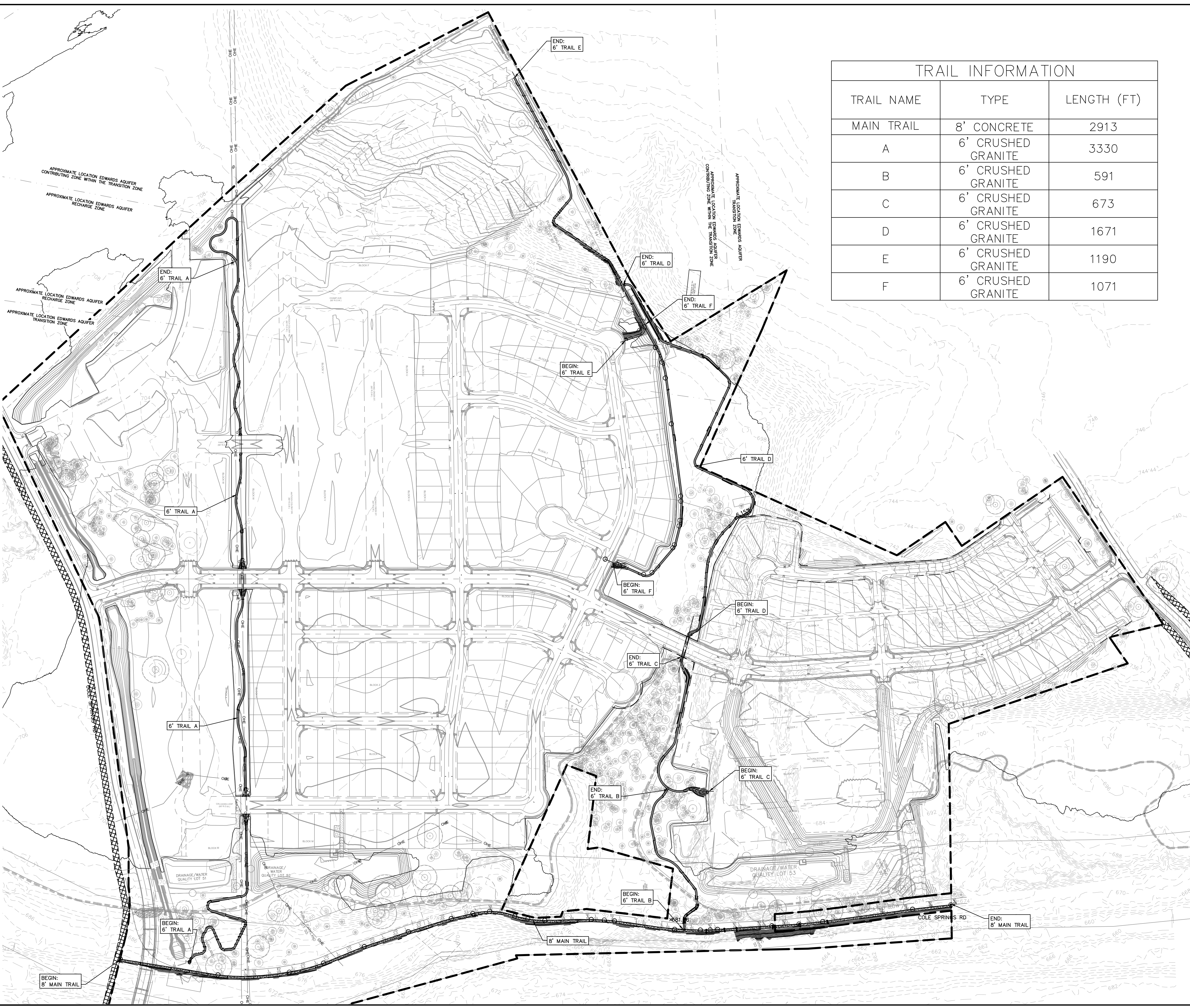


WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

BENCHMARKS	
BM #00	PK NAIL SET IN THE MIDDLE OF A CURB IN SET ON THE WEST SIDE OF FM 867 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=718.87 (NAVD 88)
BM #04	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)
BM #06	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=712.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL	SHEET	OF	226
FILE NUMBER	APPLICATION DATE		
APPROVED BY COMMISSION ON	N/A	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE	
EXPIRATION DATE	2021-737	CASE MANAGER	08/16/2021
A. KENNEDY			
City Engineer, City of Buda			
RELEASED FOR GENERAL COMPLIANCE, ZONING N/A			
Rev. 1	Correction 1		
Rev. 2	Correction 2		
Rev. 3	Correction 3		
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.			
PERMIT NUMBER: 2021-737			

Plotted by: Duff, Daniel Date: July 17, 2023 09:45:58am File Path: K:\\_pda\_civil\067783115\_meritage\_buda\_assemblies\067783115\_C-Trail\_Plan.dwg  
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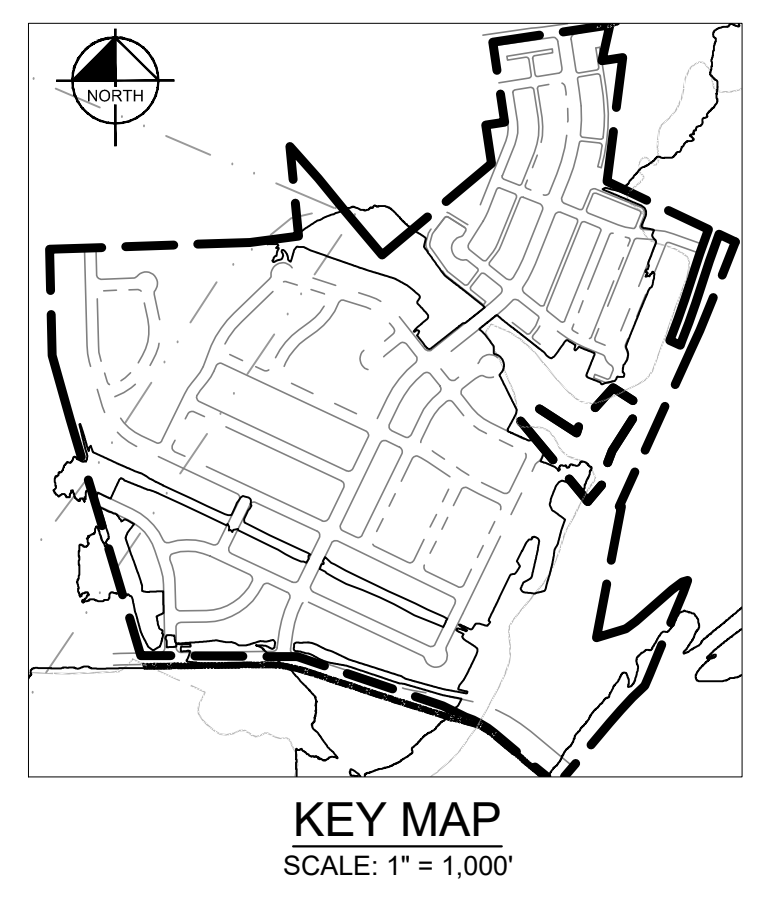
TRAIL INFORMATION		
TRAIL NAME	TYPE	LENGTH (FT)
MAIN TRAIL	8' CONCRETE	2913
A	6' CRUSHED GRANITE	3330
B	6' CRUSHED GRANITE	591
C	6' CRUSHED GRANITE	673
D	6' CRUSHED GRANITE	1671
E	6' CRUSHED GRANITE	1190
F	6' CRUSHED GRANITE	1071

NORTH

GRAPHIC SCALE IN FEET  
0 75 150 300

**LEGEND**

- PROPERTY LINE
- 55.55 • PROPOSED SPOT ELEVATION
- EX 55.55 • EXISTING SPOT ELEVATION
- [Pattern] 6' CRUSHED GRANITE TRAIL
- [Pattern] 8' CONCRETE MAIN TRAIL
- [Pattern] PROPOSED 84"X84" TRAIL CULVERT CROSSING
- 555 --- PROPOSED CONTOUR
- 555 --- EXISTING CONTOUR



**811**  
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WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV +98.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV +12.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV +732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley & Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78745  
PH: 512.454.5777  
WWW.KIMLEY-HORN.COM

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TBPE Firm No. 928

07/17/2023

ALEJANDRO E. GRANADOS RICO  
130008  
LICENSED PROFESSIONAL ENGINEER  
STATE OF TEXAS

Aljank E. Granados Rico

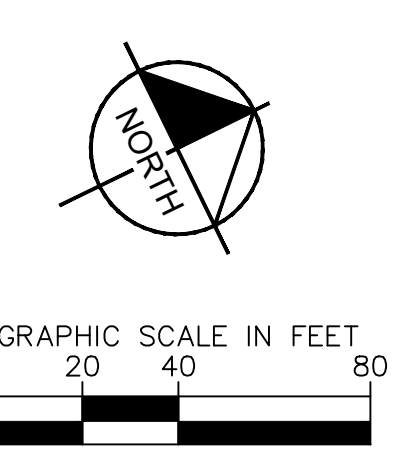
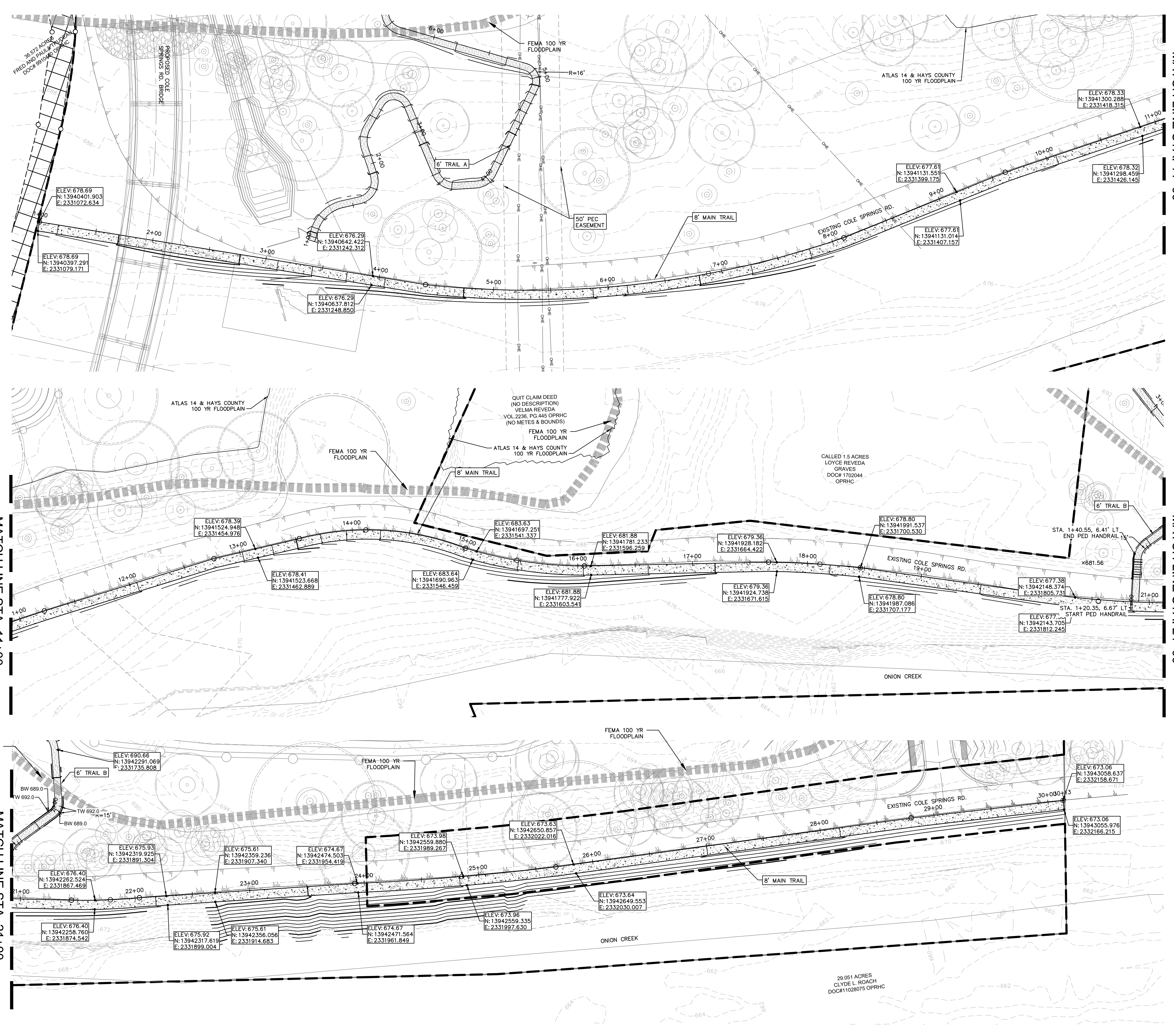
KHA PROJECT	06/783115
DATE	JULY 2023
SCALE	AS SHOWN
DESIGNED BY	WB, DM
DRAWN BY	WB, HM, MH, DM
CHECKED BY	AEC

**OVERALL TRAIL PLAN**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

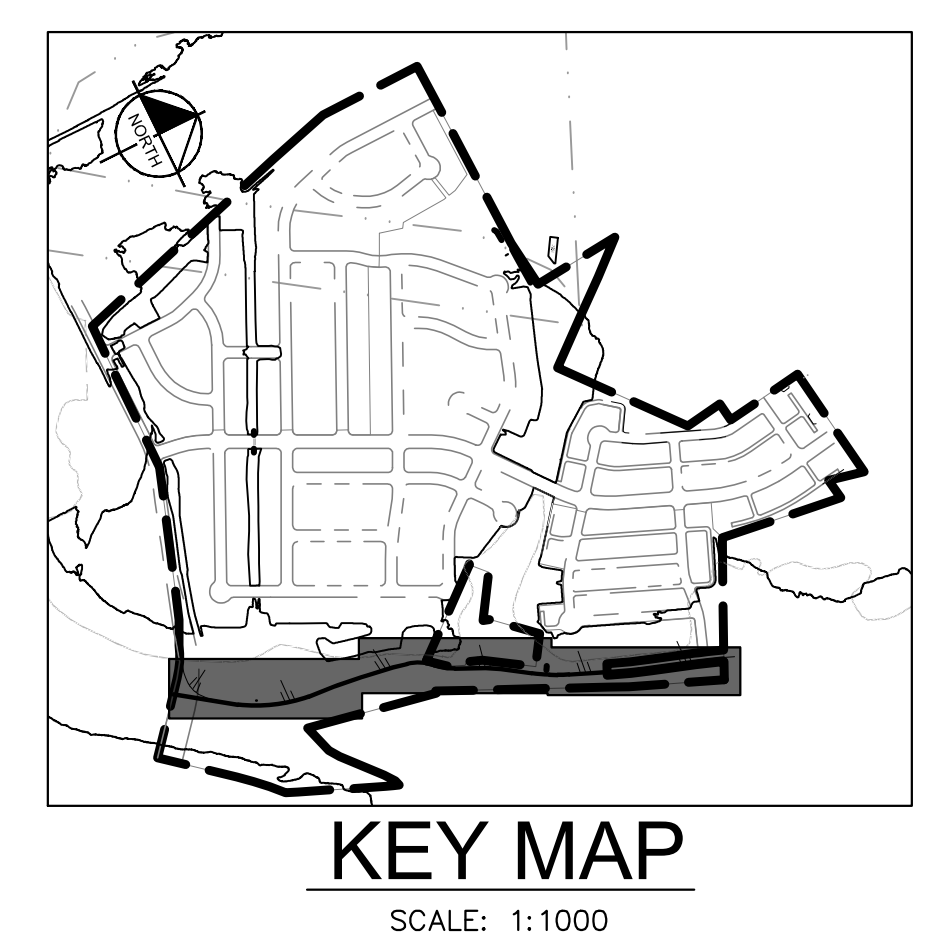
SHEET NUMBER  
..  
OF 226

Plotted by: Duffy, Daniel Date: July 17, 2023 09:46:38am File Path: K:\buds\_civil\067783115\_meritage\_buda\_assemblage\067783115\067783115\_C-Trail\_Plan.dwg  
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**LEGEND**

---	PROPERTY LINE
55.55 •	PROPOSED SPOT ELEVATION
EX 55.55 •	EXISTING SPOT ELEVATION
[Pattern]	6" CRUSHED GRANITE TRAIL
[Pattern]	8" CONCRETE MAIN TRAIL
[Pattern]	PROPOSED 84"x84" TRAIL CULVERT CROSSING
---	PROPOSED CONTOUR
---	EXISTING CONTOUR



NOTES:  
1. STATION ALIGNMENT ON LEFT SIDE OF TRAIL.



**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**

BM #100	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD	ELEV: 67.87 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES	ELEV: 72.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE	ELEV: 72.50 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE	2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda

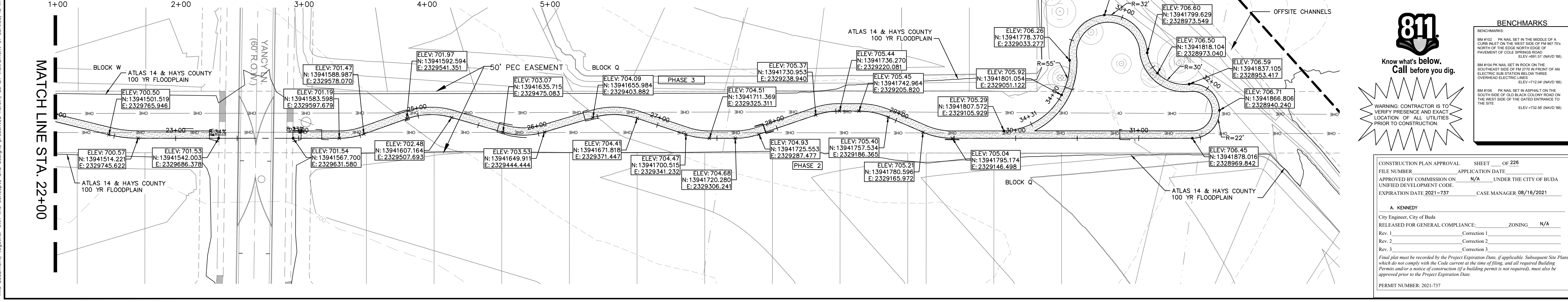
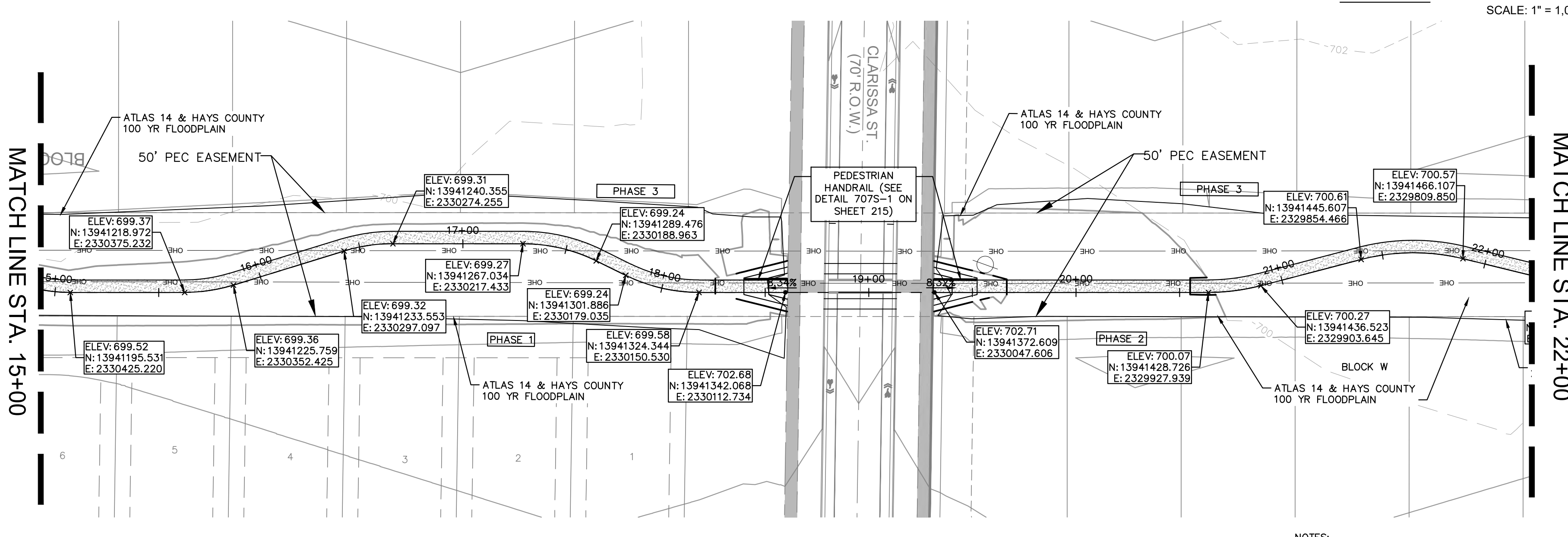
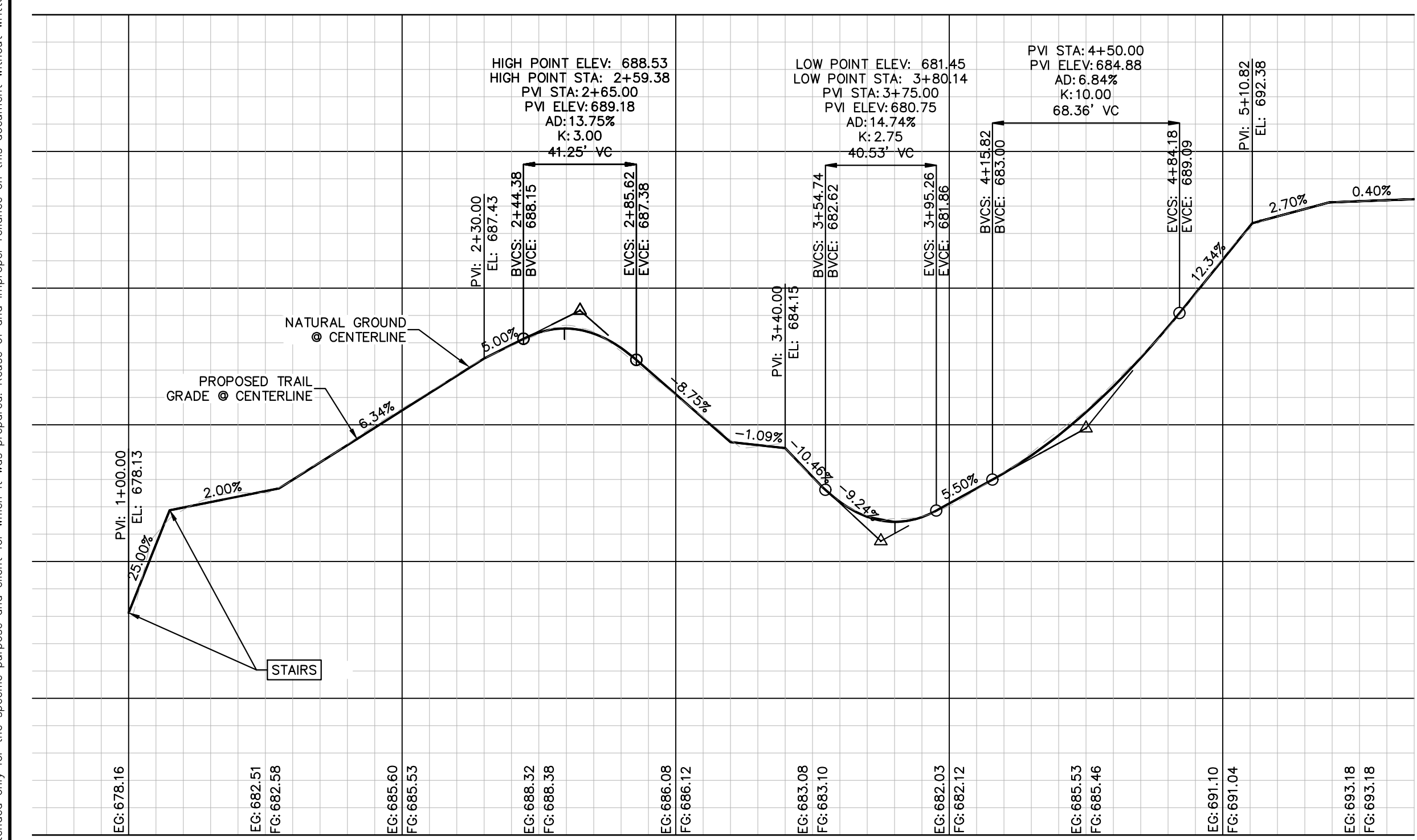
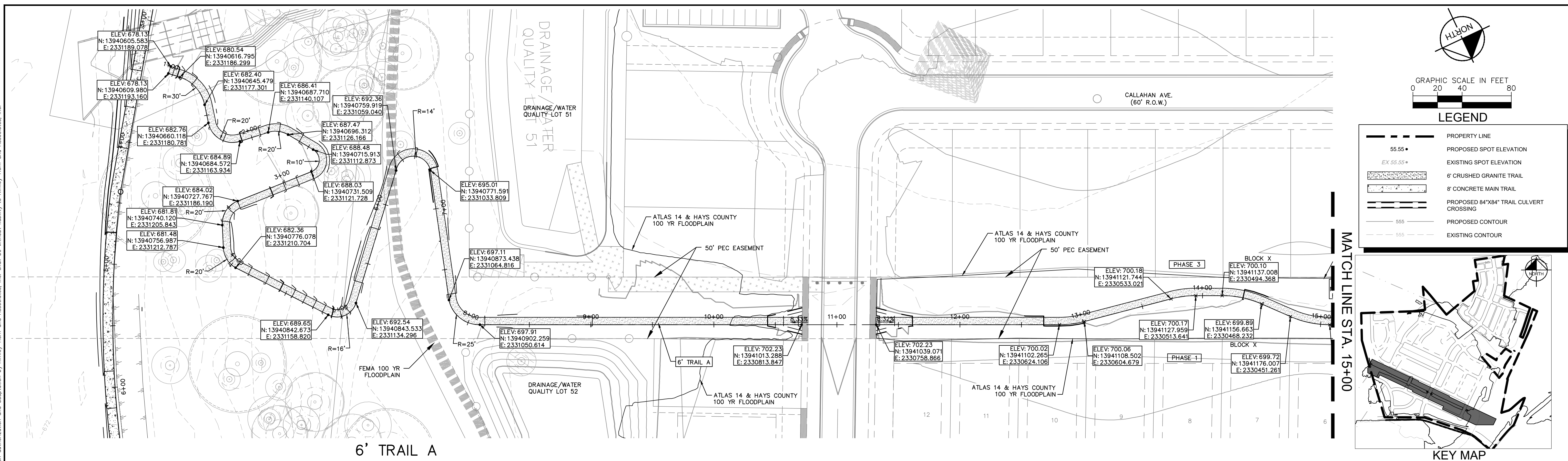
RELEASED FOR GENERAL COMPLIANCE:	ZONING	N/A
Rev. 1	Correction 1	
Rev. 2	Correction 2	
Rev. 3	Correction 3	

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

<p>5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100 AUSTIN, TX 78745 WWW.KIMLEY-HORN.COM © 2016 KIMLEY-HORN AND ASSOCIATES, INC. TBE Firm No. 928</p>	
<p>Alejandro E. Granados-Rico</p>	<p>07/17/2023</p> <p>KHA PROJECT 067783115 DATE JULY 2023 SCALE AS SHOWN DESIGNED BY: WB,DM DRAWN BY: WB,MM,MH,DM CHECKED BY: AEC</p>
<p><b>8' MAIN TRAIL - PLAN</b></p>	
<p><b>THE COLONY - PHASE 1</b> CITY OF BUDA HAYS COUNTY, TEXAS</p>	
<p>SHEET NUMBER <b>70</b> OF 226</p>	

Plotted by: Duff, Daniel Date: July 17, 2023 09:47:14am File Path: K:\sou\_civil\067783115\_meritage\_buda\_assemble\cadd\plansheets\6'-Trail\_A.dwg  
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**NOTES:**  
 1. STATION ALIGNMENT ON RIGHT SIDE OF TRAIL.  
 2. CURVE RADI MEASURED FROM ALIGNMENT.  
 3. PORTIONS OF TRAIL PROFILED AT SLOPES GREATER THAN OR EQUAL TO 5%.

**BENCHMARKS**

**811**  
 Know what's below.  
 Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

CONSTRUCTION PLAN APPROVAL SHEET OF 226  
 FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION CODE N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE. ZONING N/A  
 Rev. 1 Correction 1  
 Rev. 2 Correction 2  
 Rev. 3 Correction 3

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PERMIT NUMBER: 2021-737

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

**6' TRAIL A - PLAN**

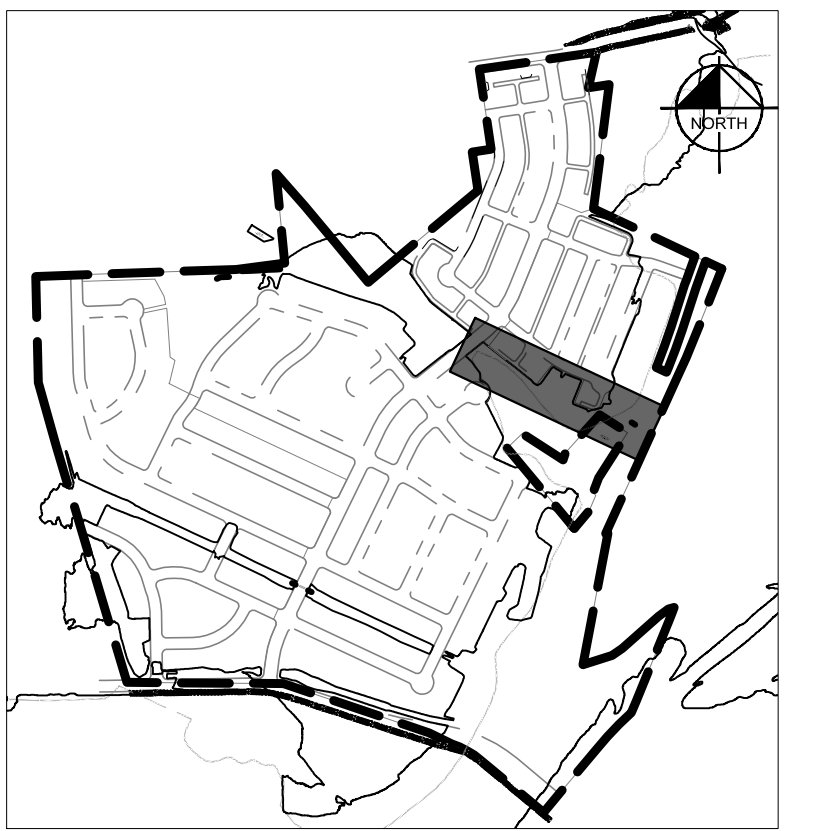
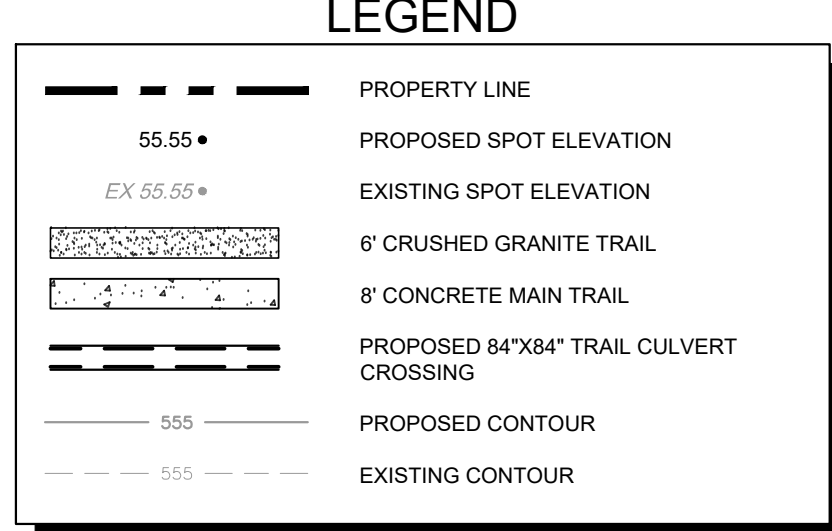
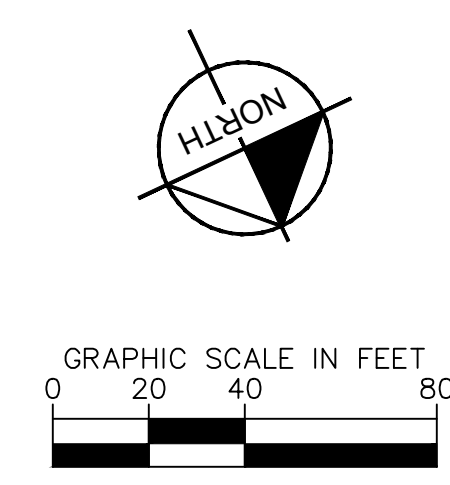
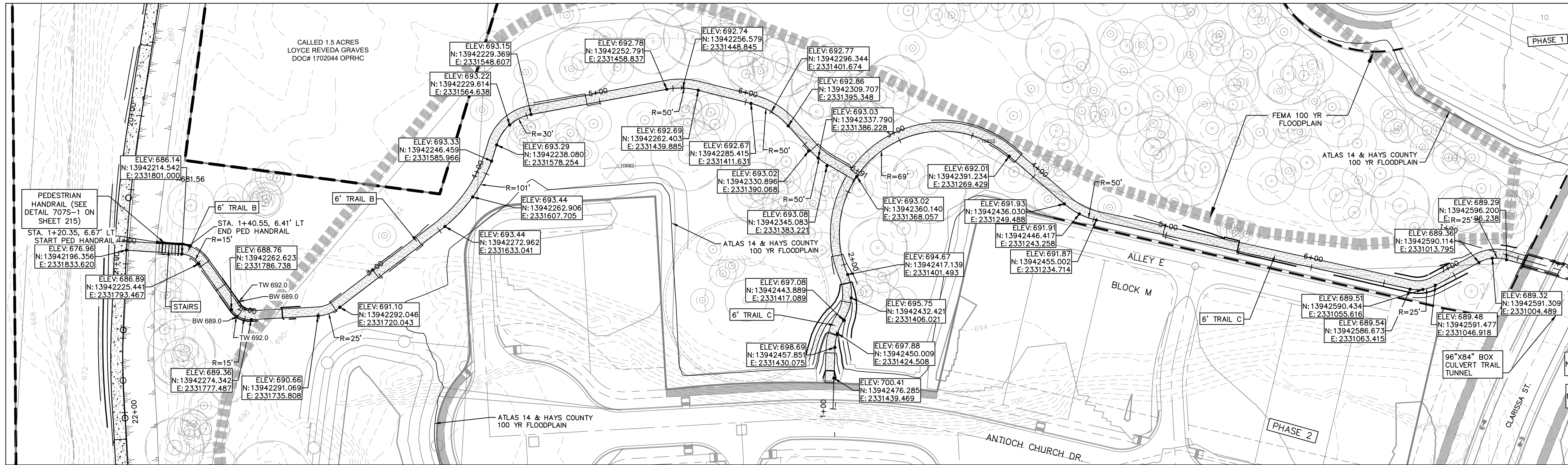
KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,MM,MH,DM  
 CHECKED BY: AEC

**Kimley-Horn**  
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 AUSTIN, TX 78745  
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 TBE Firm

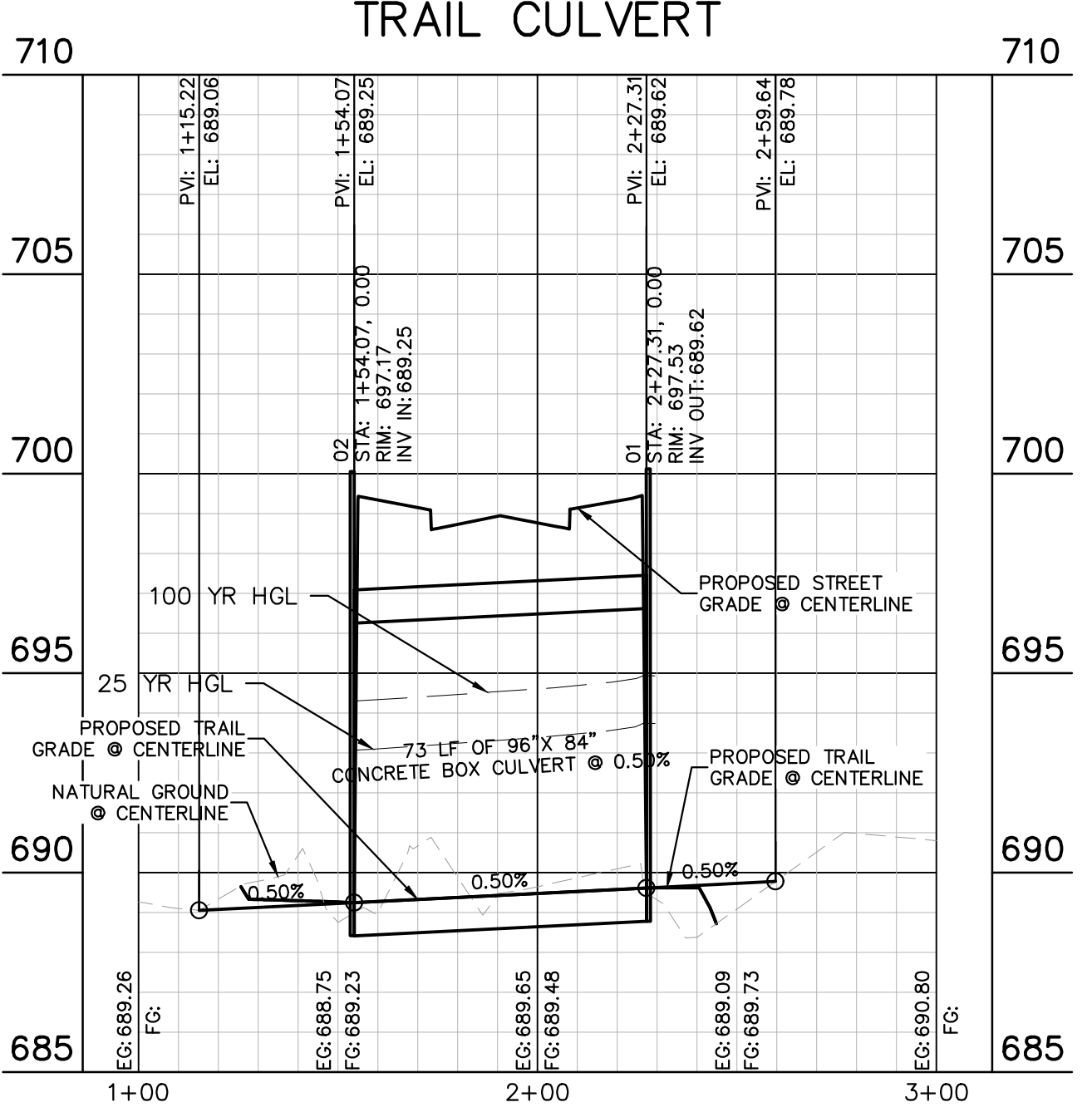
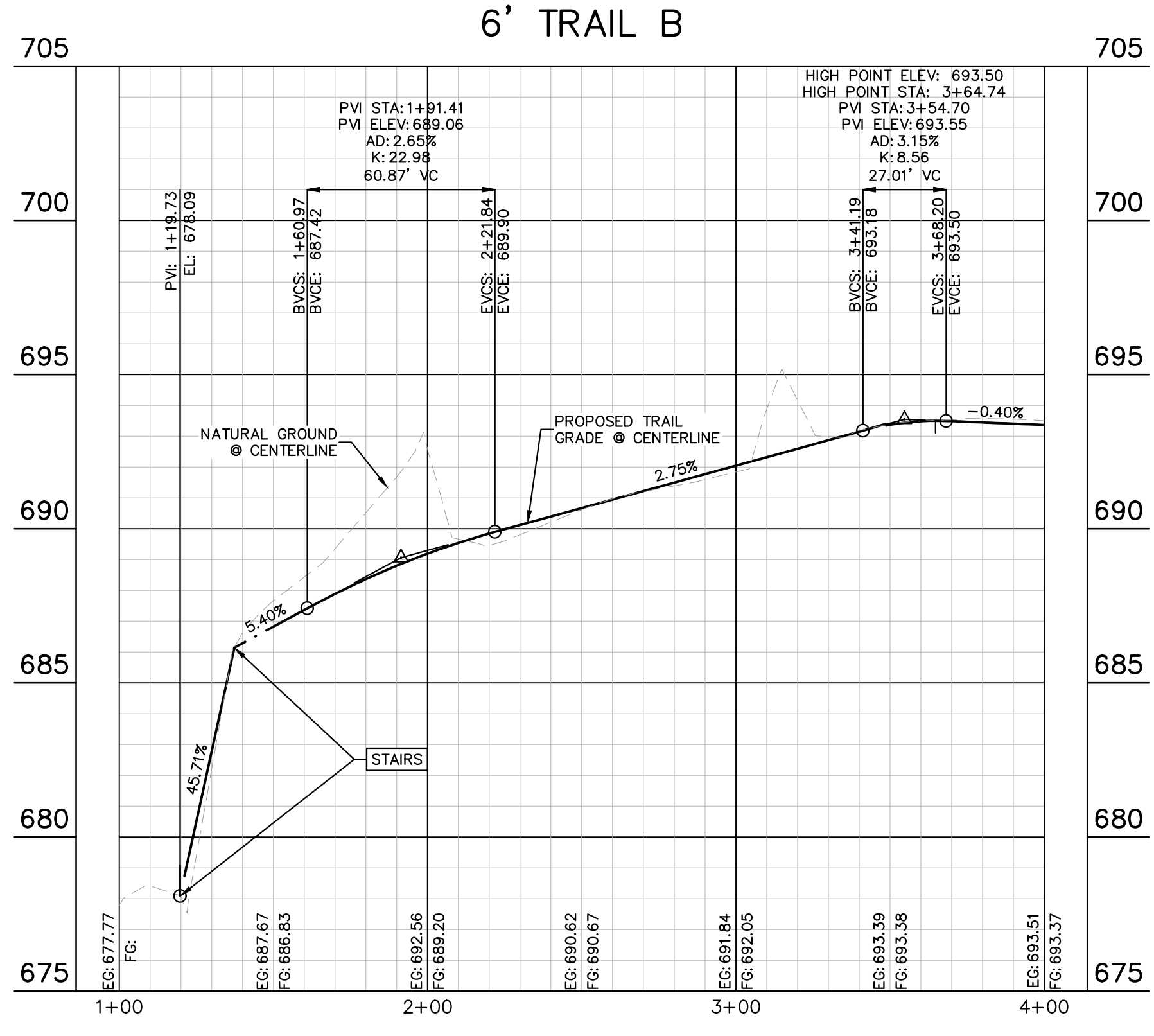
REVISIONS  
 No. DATE BY

SHEET NUMBER  
 OF 226

Plotted by: Duffy, Daniel Date: July 17, 2023 09:47:39am File Path: K:\you\_civil\067783115\_meritage\_buda\_assemblage\Cad\plansheets\C-Trail\_Plan.dwg  
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- NOTES:
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  - CURVE RADII MEASURED FROM ALIGNMENT.
  - PORTIONS OF TRAIL PROFILED AT SLOPES GREATER THAN OR EQUAL TO 5%.



**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

BM #100	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 2770 N. NORTH OF THE SIDE OF COLE SPRINGS ROAD. ELEV = 712.04 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV = 712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTHWEST SIDE OF CLARISSA COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 732.50 (NAVD 88)

CONSTRUCTION PLAN APPROVAL	SHEET 226 OF 226
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.
EXPIRATION DATE: 2021-737	CASE MANAGER: 08/16/2021
A. KENNEDY	
City Engineer, City of Buda	RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: N/A
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
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PERMIT NUMBER: 2021-737	

KHA PROJECT	06/783115
DATE	JULY 2023
SCALE	AS SHOWN
DESIGNED BY	WB,DM
DRAWN BY	WB,MM,MLDM
CHECKED BY	AEC

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AUSTIN, TX 78745  
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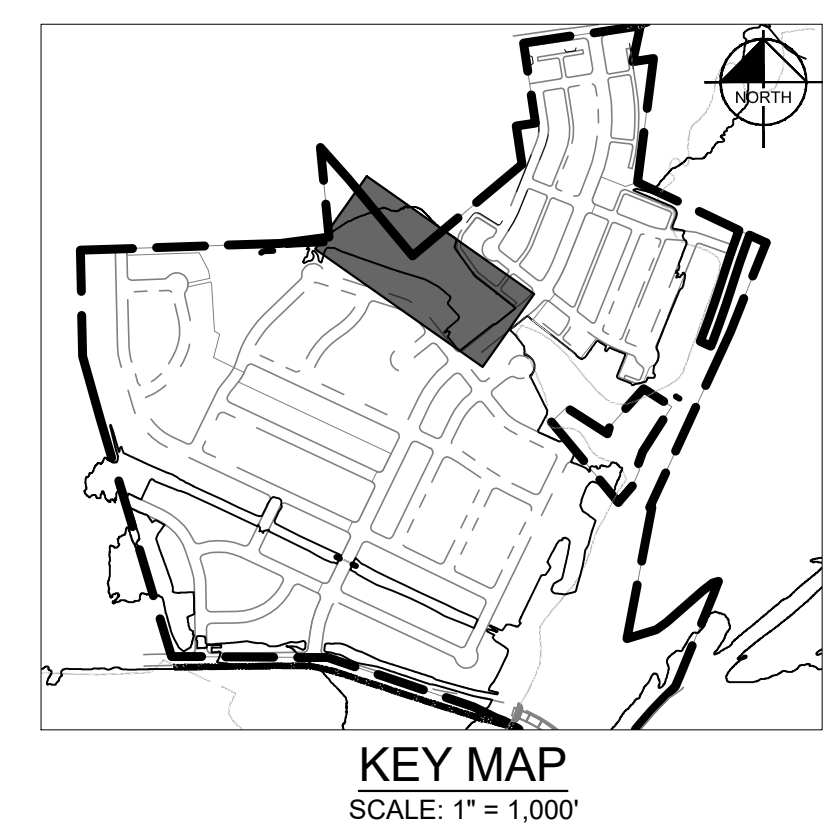
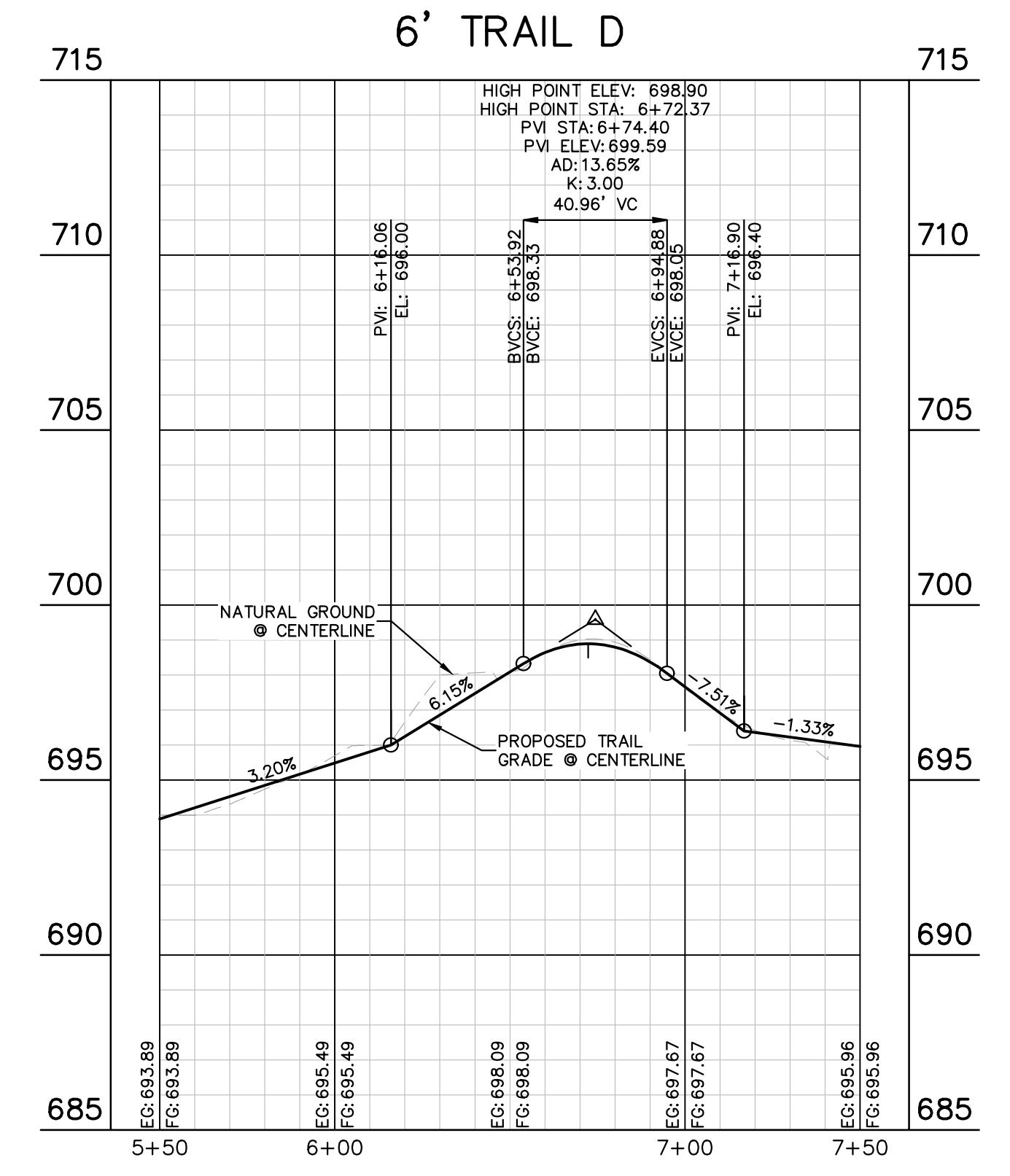
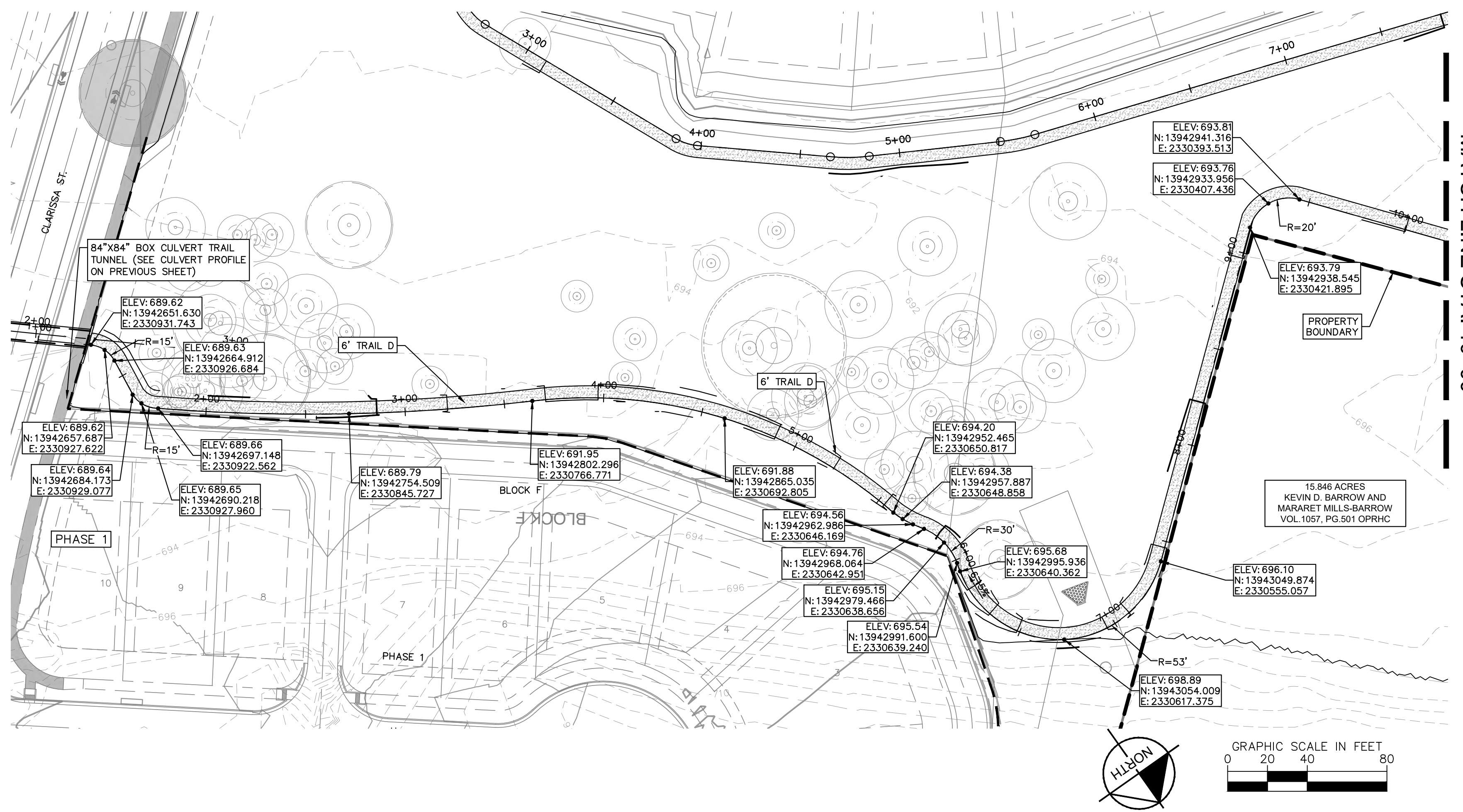
**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

6' TRAIL B & C - PLAN

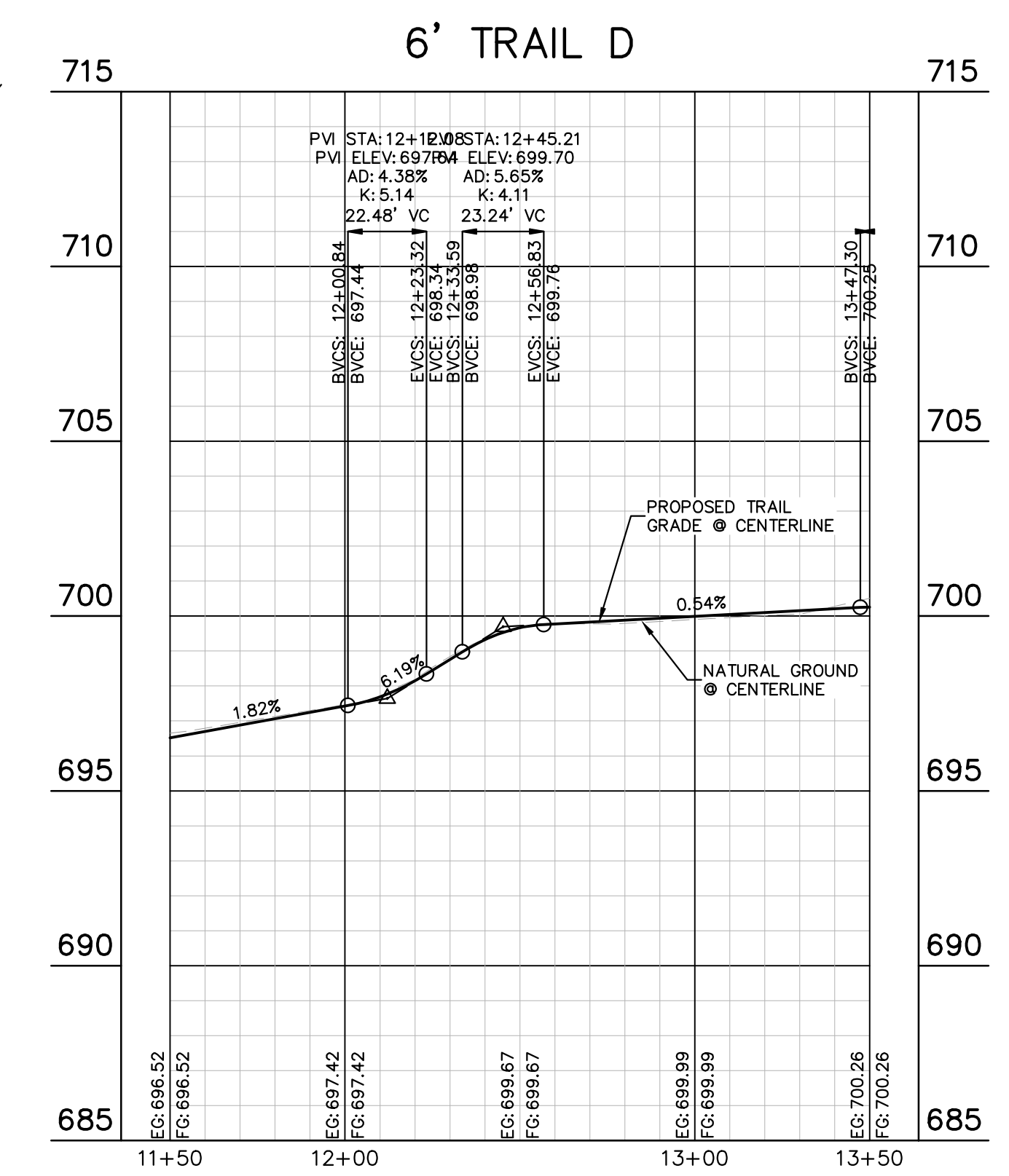
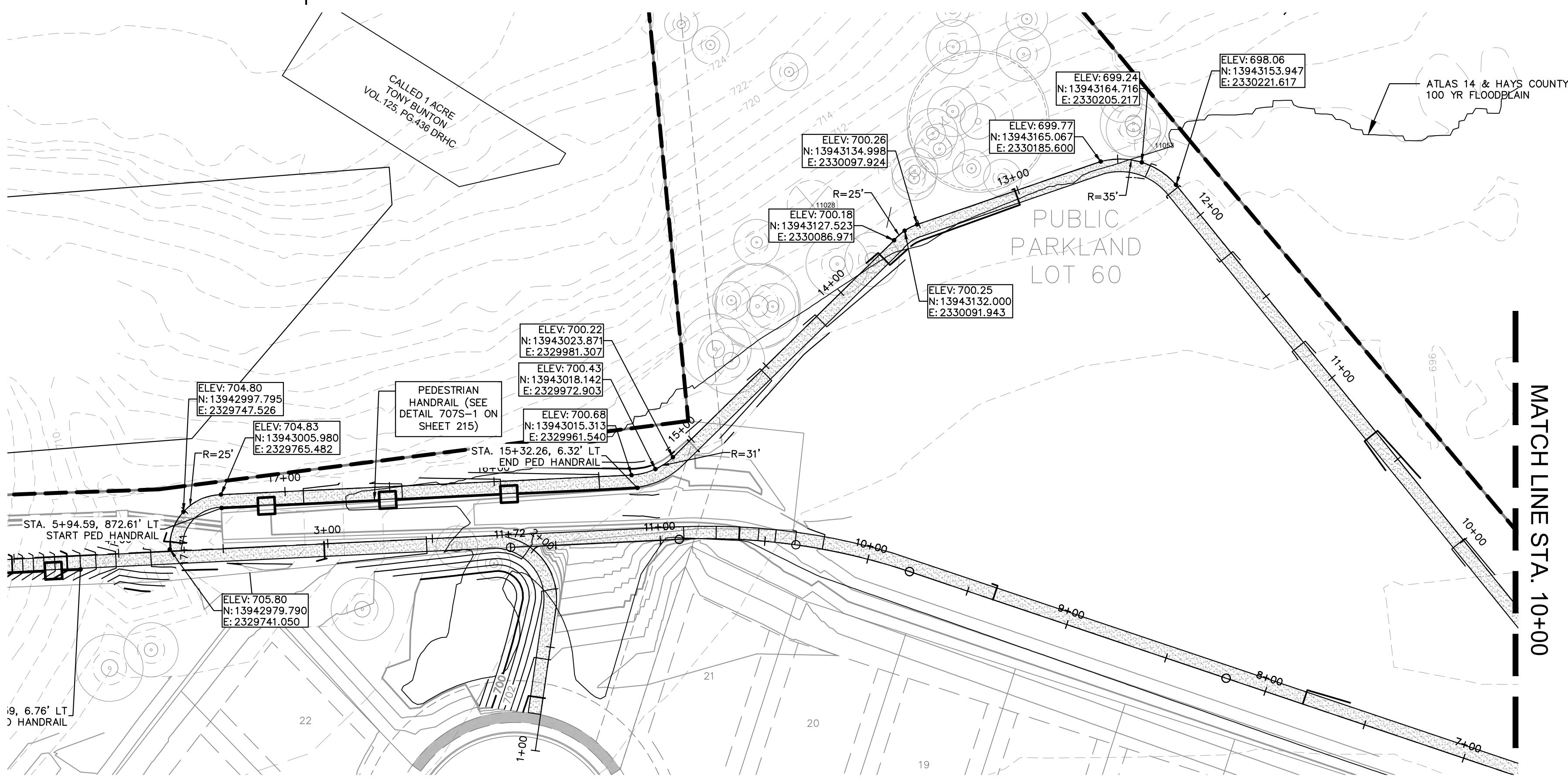
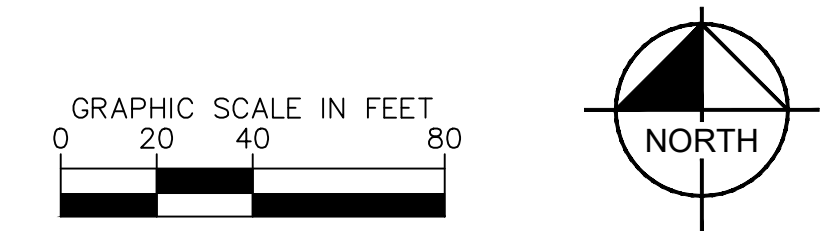
SHEET NUMBER  
**72**  
OF 226

REVISIONS	DATE	BY

Plotted by: Duffly, Daniel Date: July 17, 2023 09:48:15am File Path: K:\sou\_civil\06778315 heritage buds assemblage\cad\plansheets\C-Trail Plan.dwg  
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- NOTES:
1. STATION ALIGNMENT ON RIGHT SIDE OF TRAIL.
  2. CURVE RADII MEASURED FROM ALIGNMENT.
  3. PORTIONS OF TRAIL PROFILED AT SLOPES GREATER THAN OR EQUAL TO 5%.
- LEGEND
- PROPERTY LINE
  - PROPOSED SPOT ELEVATION
  - EXISTING SPOT ELEVATION
  - 6' CRUSHED GRANITE TRAIL
  - 8' CONCRETE MAIN TRAIL
  - PROPOSED 84"x84" TRAIL CULVERT CROSSING
  - PROPOSED CONTOUR
  - EXISTING CONTOUR



**811**  
Know what's below.  
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

BENCHMARKS

- BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV: 698.87 (NAVD 88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV: 712.04 (NAVD 88)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV: 732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

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TBPE Firm No. 928

07/17/2023

KHA PROJECT: 06778315  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB/DM  
DRAWN BY: WB/HM/MH/DM  
CHECKED BY: AEC

ALJANDRO E. GRANADOS RICO  
13008  
LICENSED PROFESSIONAL ENGINEER  
No. 13008  
Aljandró E. Granados Rico

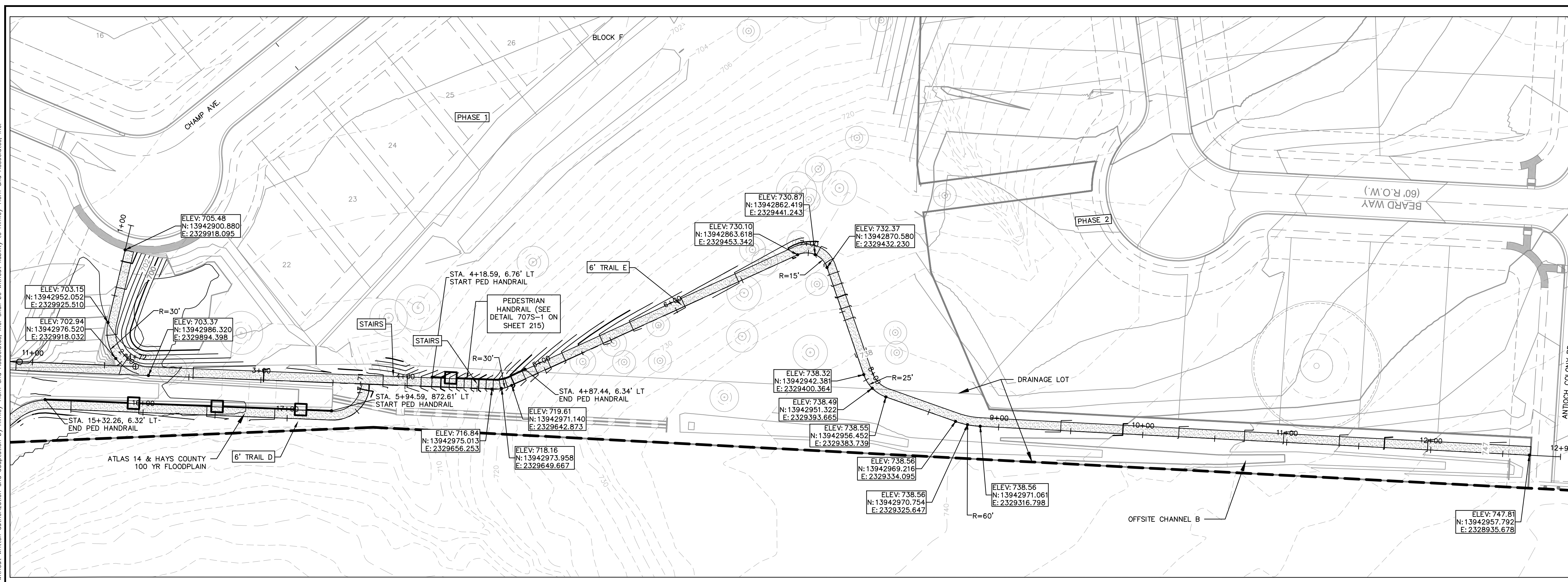
6' TRAIL D - PLAN

THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER  
**73**  
OF 226



Plotted by: Duff, Daniel Date: July 17, 2023 09:48:35am File Path: K:\you\_civil\067783115\_meritage\_buda\_assemble\gdp\plan\sheet\6-Trail\_Plan.dwg  
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**LEGEND**

- PROPERTY LINE
- 55.55 • PROPOSED SPOT ELEVATION
- EX 55.55 • EXISTING SPOT ELEVATION
- 6" CRUSHED GRANITE TRAIL
- 8" CONCRETE MAIN TRAIL
- PROPOSED 84"x84" TRAIL CULVERT CROSSING
- 555 PROPOSED CONTOUR
- 555 EXISTING CONTOUR

**KEY MAP**  
SCALE: 1" = 1,000'

**NOTES:**

1. STATION ALIGNMENT ON RIGHT SIDE OF TRAIL.
2. CURVE RADII MEASURED FROM ALIGNMENT.
3. PORTIONS OF TRAIL PROFILED AT SLOPES GREATER THAN OR EQUAL TO 5%.

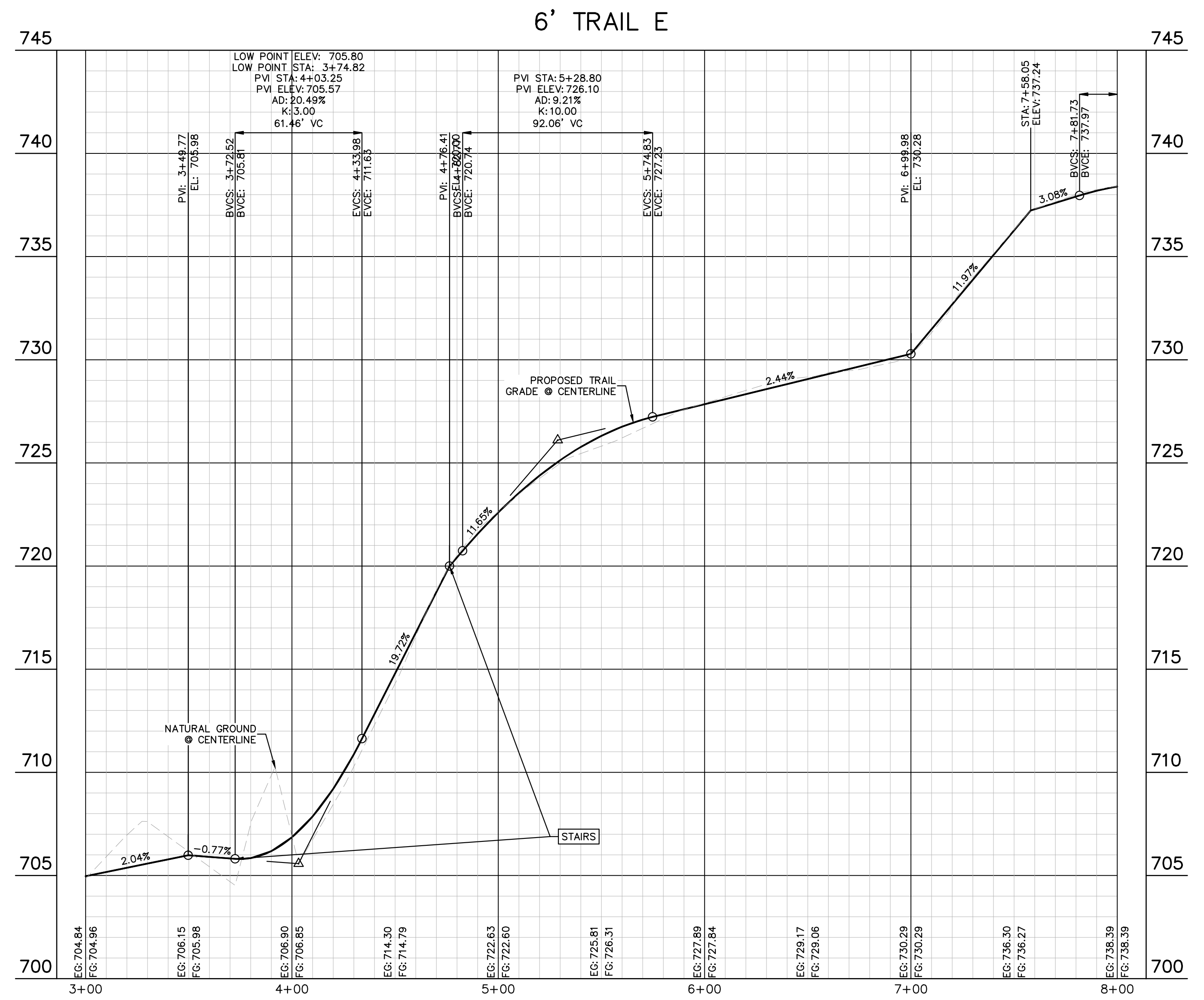
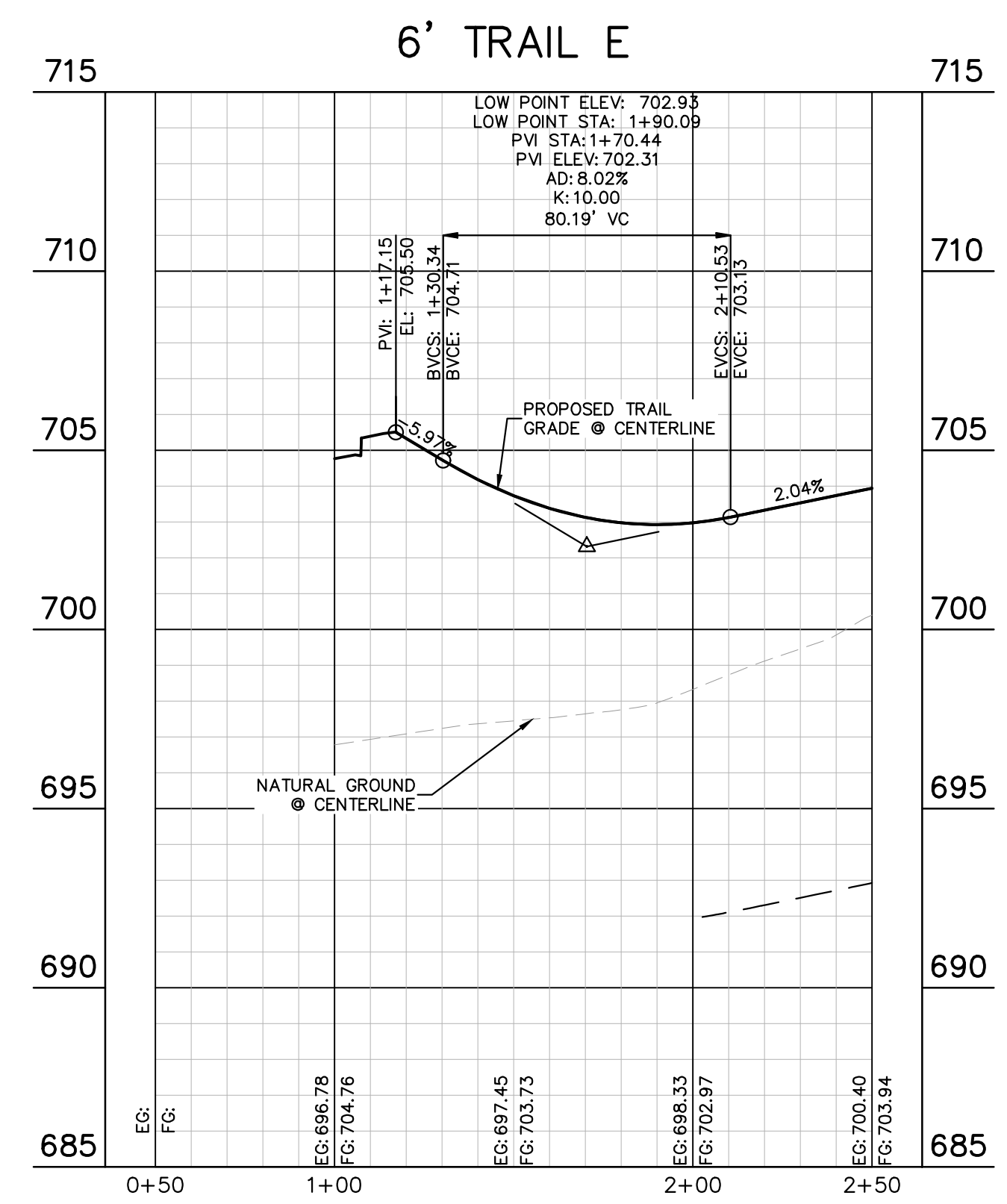
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 TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 133008  
 Alejandro E. Granados Rico

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC



**811**  
Know what's below. Call before you dig.

**BENCHMARKS**

- BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV: 705.87 (NAVD '88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV: 712.04 (NAVD '88)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV: 732.56 (NAVD '88)

**CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON: \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

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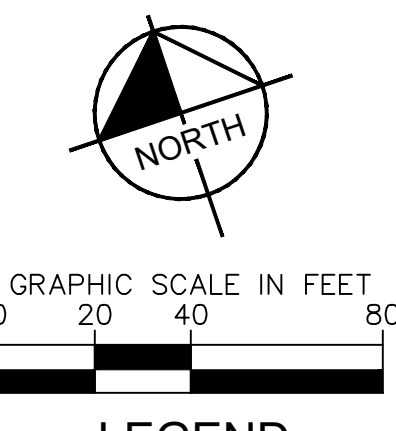
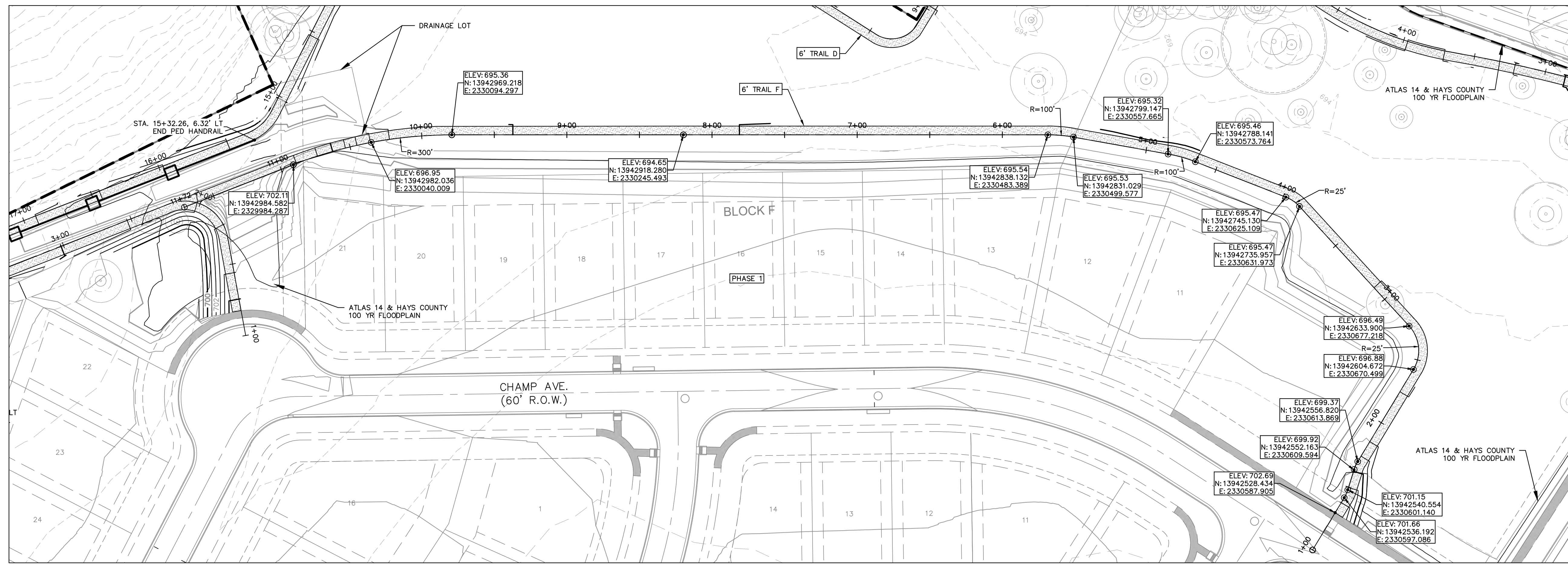
PERMIT NUMBER: 2021-737

**6' TRAIL E - PLAN**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**74**  
 OF 226

Plotted by: Duffy, Daniel Date: July 17, 2023 09:48:55am File Path: K:\pou\_civil\067783115\_meritage\_buda\_assemblage\Cadd\plansheets\6'-Trail\_Plan.dwg  
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**LEGEND**

---	PROPERTY LINE
55.55*	PROPOSED SPOT ELEVATION
EX 55.55*	EXISTING SPOT ELEVATION
[Pattern]	6" CRUSHED GRANITE TRAIL
[Pattern]	8" CONCRETE MAIN TRAIL
[Pattern]	PROPOSED 84"x84" TRAIL CULVERT CROSSING
---	PROPOSED CONTOUR
---	EXISTING CONTOUR



- NOTES:**
1. STATION ALIGNMENT ON RIGHT SIDE OF TRAIL.
  2. CURVE RADII MEASURED FROM ALIGNMENT.
  3. PORTIONS OF TRAIL PROFILED AT SLOPES GREATER THAN OR EQUAL TO 5%.

NO.	REVISIONS	DATE	BY

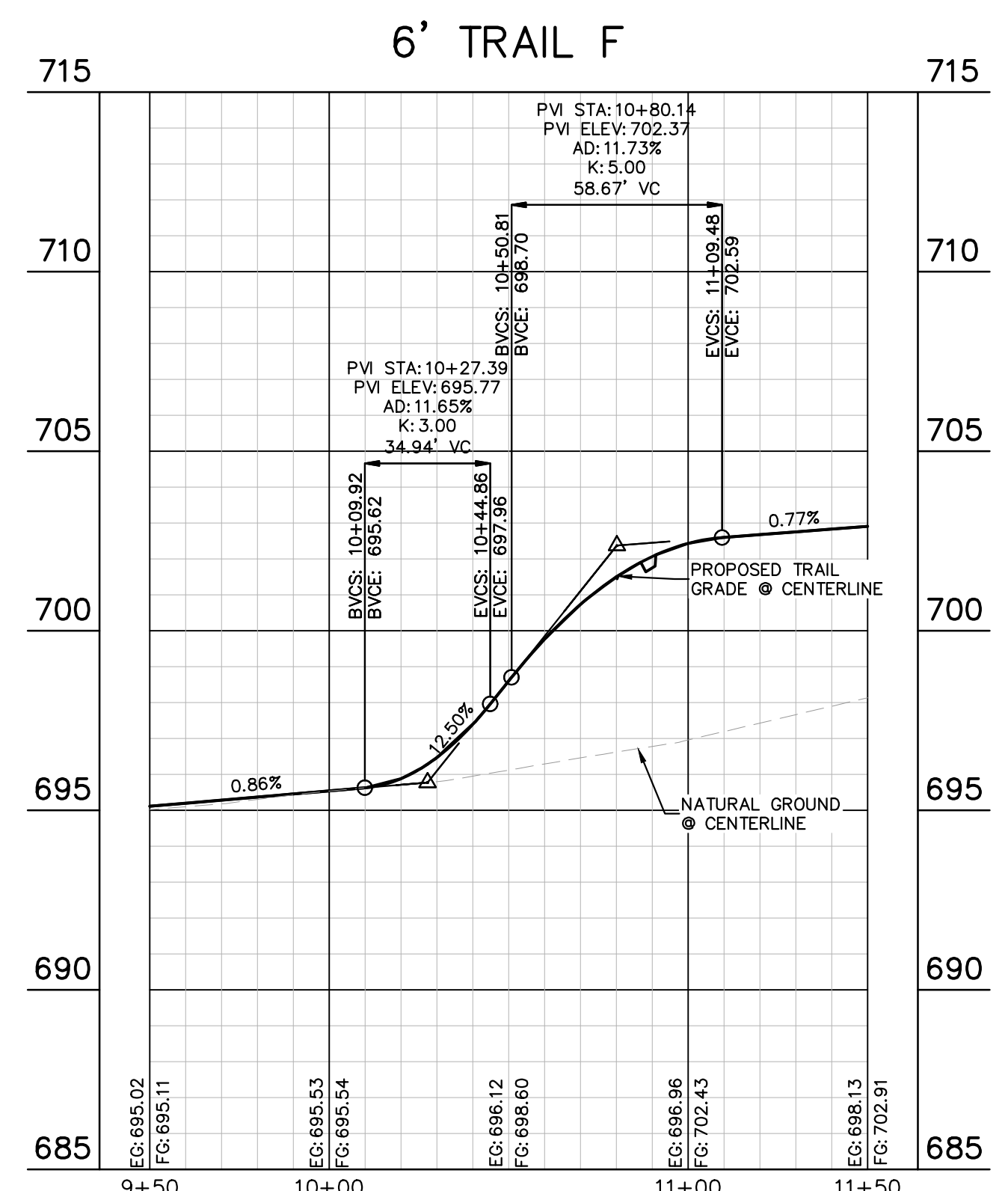
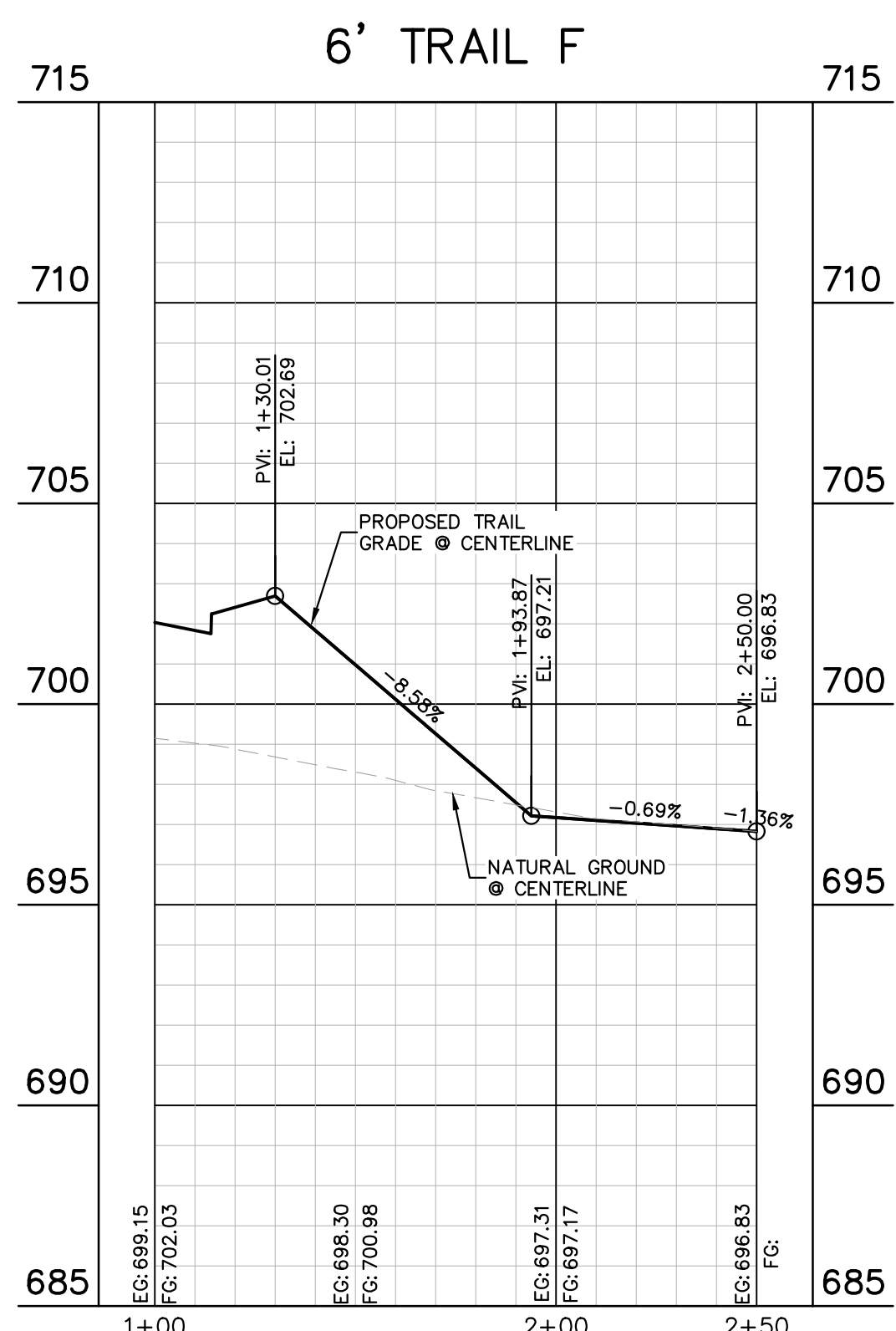
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 TBPE Firm

07/17/2023

Alejandro E. Granados Rico  
 Licensed Professional Engineer  
 State of Texas

**KHA PROJECT**  
 06/783115  
**DATE**  
 JULY 2023  
**SCALE**  
 AS SHOWN  
**DESIGNED BY**  
 WB, DM  
**DRAWN BY**  
 WB, HM, MH, DM  
**CHECKED BY**  
 AEC



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 Know what's below.  
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**BENCHMARKS**

BM #100	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897.724 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD	ELEV: 697.87 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES	ELEV: 712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE	ELEV: 702.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
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 City Engineer, City of Buda

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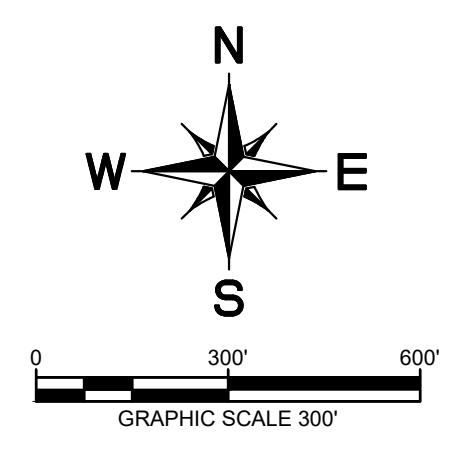
Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

**6' TRAIL F - PLAN**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS



LEGEND	
	HAYS COUNTY 100-YR FLOODPLAIN
	FEMA EFFECTIVE 100YR FLOODPLAIN
	EDWARDS AQUIFER ZONE BOUNDARY
	DRAINAGE AREA BOUNDARY
	MAJOR CONTOUR
	MINOR CONTOUR
	DRAINAGE FLOW DIRECTION
	DETENTION WATER QUALITY AREA

- NOTES:**
1. A DETENTION WAIVER REQUEST HAS BEEN SUBMITTED AND APPROVED FOR THIS DEVELOPMENT. PLEASE REFER TO THE MERITAGE COLE SPRINGS DETENTION WAIVER REQUEST DATED JANUARY, 2020 FOR ADDITIONAL INFORMATION. AS STATED IN THE CONCLUSION OF THE DETENTION WAIVER REQUEST: "THE PROPOSED DEVELOPMENT, IF DEVELOPED WITHOUT STORMWATER DETENTION, WILL INCREASE PEAK FLOW MINIMALLY IN ONION CREEK BY LESS THAN .02% IN ALL STORM EVENTS. IF DEVELOPED WITH DETENTION, RESULTING PEAK FLOWS WILL BE GREATER IN ONION CREEK THAN THE PROPOSED DEVELOPMENT WITHOUT DETENTION. FURTHERMORE, THE RISE IN WATER SURFACE ELEVATION IN ONION CREEK DUE TO THE PROPOSED DEVELOPMENT IS MINIMAL AND RESULTS IN THE SAME 0.01 FT CHANGE WITH OR WITHOUT DETENTION. AS SUCH, DEVELOPMENT OF THE SUBJECT TRACT WITHOUT DETENTION WILL NOT ADVERSELY AFFECT OFFSITE PROPERTIES."
  2. FINAL PLAT AND CONSTRUCTION PLAN APPROVAL IS CONTINGENT UPON APPROVAL OF WATER QUALITY BMP'S BY TCEQ.
  3. THIS SHEET HAS BEEN INCLUDED IN ORDER TO PROVIDE SCS FLOW CALCULATIONS FOR PRELIMINARY POND AND CHANNEL SIZING. REFER TO THE HEC-HMS MODEL PROVIDED WITH THIS STUDY FOR ADDITIONAL DETAIL.



DRAINAGE AREA NAME	DRAINAGE AREA SIZE (ACRES)	EXISTING IMPERVIOUS COVER (ACRES)	PHASE 1 IMPERVIOUS COVER (ACRES)	PHASE 2 IMPERVIOUS COVER (ACRES)	PHASE 3 IMPERVIOUS COVER (ACRES)	TOTAL IMPERVIOUS COVER
POND 2	77.63	0	25.81	14.97	0	40.78
POND 3	27.41	0	9.77	7.49	0	17.26
<b>TOTAL</b>	<b>105.04</b>	<b>0</b>	<b>35.58</b>	<b>22.46</b>	<b>0</b>	<b>58.04</b>
POND 2 (RZ AND CZ WITHIN TZ)	23.05	0	4.06	7.90	0	11.96
POND 3 (RZ AND CZ WITHIN TZ)	0	0	0	0	0	0
<b>TOTAL (RZ AND CZ WITHIN TZ)</b>	<b>23.05</b>	<b>0</b>	<b>4.06</b>	<b>7.90</b>	<b>0</b>	<b>11.96</b>

**THE COLONY OFF-SITE CONVEYANCE FLOWS**

CHANNEL	DRAINAGE AREA ID	ANALYSIS POINT	CONTRIBUTING DRAINAGE AREAS	CONTRIBUTING AREA (sq. mi.)	CONTRIBUTING AREA (AC)	PROPOSED PEAK FLOW			
						2 YEAR (cfs)	10 YEAR (cfs)	25 YEAR (cfs)	100 YEAR (cfs)
CHANNEL 1	OFF-1A	J-CH1A	OFF-1A, OFF-1B	0.388688	248.76	300.20	547.97	719.16	1008.94
CHANNEL 1	OFF-1B	J-CH1B	OFF-1A, OFF-1B	0.4018442	257.18	309.20	563.01	738.32	1035.28
CHANNEL 1	OFF-1B	J-CH1B	OFF-1B	0.0131562	8.42	21.17	34.40	43.25	57.21
CHANNEL 1	OUTFALL-CH1	J-CH1B	OFF-1A, OFF-1B	0.0131562	8.42	21.17	34.40	43.25	57.21
CHANNEL 2	OFF-2A	J-CH2A	OFF-2A	0.00357	2.28	6.04	9.80	12.30	16.39
CHANNEL 2	OFF-2B	J-CH2B	OFF-2A, OFF-2B	0.00357	2.28	6.04	9.80	12.30	16.39
CHANNEL 2	OFF-2B	J-CH2B	OFF-2A, OFF-2B	0.02392	15.31	36.06	58.57	73.59	98.24
CHANNEL 2	OFF-2C	J-CH2C	OFF-2A, OFF-2B, OFF-2C	0.02749	17.59	41.89	68.01	85.44	114.03
CHANNEL 2	OFF-2C	J-CH2C	OFF-2A, OFF-2B, OFF-2C	0.04958	31.73	61.07	107.65	138.47	183.09
CHANNEL 2	OFF-2D	J-CH2D	OFF-2A, OFF-2B, OFF-2C	0.07707	49.32	124.58	202.09	253.81	335.50
CHANNEL 2	OFF-2D	J-CH2D	OFF-2A, OFF-2B, OFF-2C, OFF-2D	0.0092	5.89	15.58	25.25	31.70	42.24
CHANNEL 2	OFF-2E	J-CH2E	OFF-2A, OFF-2B, OFF-2C, OFF-2D	0.08627	55.21	138.33	224.94	282.85	377.80
CHANNEL 2	OFF-2E	J-CH2E	OFF-2A, OFF-2B, OFF-2C, OFF-2D	0.00856	5.48	16.57	26.81	33.64	44.77
CHANNEL 3	OFF-3A	J-CH3A	OFF-3A	0.00317	2.03	6.39	10.33	12.98	17.30
CHANNEL 3	OFF-3B	J-CH3A	OFF-3A	0.00317	2.03	6.39	10.33	12.98	17.30
CHANNEL 3	OFF-3B	J-CH3A	OFF-3A	0.04195	26.85	67.09	109.06	137.11	183.09
CHANNEL 3	OFF-3B	J-CH3A	OFF-3A	0.13995	89.57	217.86	353.88	445.26	595.27
FLOODPLAIN	OFF-FPA	OUTFALL COLL CULVERT	OFF-2A, OFF-2B, OFF-2C, OFF-2D, OFF-2E, OFF-3A, OFF-3B	0.00488	3.12	7.07	13.48	17.81	24.82
FLOODPLAIN	OFF-FPA	OUTFALL COLL CULVERT	OFF-2A, OFF-2B, OFF-2C, OFF-2D, OFF-3A, OFF-3B, OFF-FPA	0.14483	92.69	222.06	362.06	455.54	608.87

**THE COLONY WQ POND FLOWS**

DRAINAGE AREA ID	ANALYSIS POINT	CONTRIBUTING AREA (sq. mi.)	CONTRIBUTING AREA (AC)	PROPOSED PEAK FLOW			
				2 YEAR (cfs)	10 YEAR (cfs)	25 YEAR (cfs)	100 YEAR (cfs)
DA-1	POND 1	0.02936	16.63	54.26	88.05	110.6	147.33
DA-2	POND 2	0.12139	77.63	223.48	380.71	452.32	601.25
DA-3	POND 3	0.04283	27.41	93.09	150.85	189.49	252.45

**THE COLONY OFF-SITE CONVEYANCE "Tc" Value Calculations**

Drainage	Sheet Flow				Shallow Flow				Channel Flow				Total	
	Area	Length	Slope	n	Length	Slope	PAVED?	Tt	Length	V	Tt	Tc	Tc	LAG
OFF-1A	100	0.005	0.24	21.84 min	5584	0.01	n	55.00	0	6.32	0.00	76.8 min	46.1 min	
OFF-1B	100	0.006	0.24	20.31 min	1061	0.02	n	7.07	989	6.32	2.61	30.0 min	18.0 min	
OFF-2A	100	0.006	0.24	20.31 min	886	0.02	n	5.91	0	0.00	0.00	26.2 min	16.7 min	
OFF-2B	100	0.014	0.24	14.47 min	2269	0.02	n	17.00	0	4.50	0.00	31.5 min	18.9 min	
OFF-2C	100	0.015	0.24	14.08 min	2345	0.03	n	14.48	0	5.00	0.00	28.6 min	17.1 min	
OFF-2D	100	0.010	0.24	16.55 min	941	0.02	n	7.94	0	2.45	0.00	24.5 min	14.7 min	
OFF-2E	100	0.015	0.24	14.08 min	1187	0.03	n	7.33	0	5.00	0.00	21.4 min	12.8 min	
OFF-3A	100	0.015	0.24	14.08 min	1269	0.02	n	10.36	0	5.00	0.00	24.4 min	14.7 min	
OFF-3B	100	0.015	0.24	14.08 min	1691	0.02	n	13.81	0	5.00	0.00	27.9 min	16.7 min	
OFF-FP1	100	0.010	0.24	16.55 min	0	0.00	N	0.00	150	5.00	0.50	17.1 min	10.2 min	
DA-1	100	0.020	0.2	10.84 min	0	0.02	n	0.00	2355	8.00	4.91	15.7 min	9.4 min	
DA-2	100	0.020	0.2	10.84 min	51	0.02	n	0.37	3085	8.00	6.43	17.6 min	10.6 min	
DA-3	100	0.020	0.2	10.84 min	37	0.02	n	0.31	2281	8.00	4.75	15.9 min	9.5 min	

**811**  
Know what's below. Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**  
BM #00 PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 877 77' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=981.87 (NAVD 88)  
BM #04 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)  
BM #06 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
FILE NUMBER: APPLICATION DATE:  
APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
EXPIRATION DATE: 2021-737 CASE NUMBER: 08/16/2021

A. KENNEDY  
City Engineer, City of Buda  
Rev. 1: Correction 1 ZONING N/A  
Rev. 2: Correction 2  
Rev. 3: Correction 3

Final plan must be general compliance, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley Horn**  
5301 SOUTH WEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78746-5937  
WWW.KIMLEY-HORN.COM  
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TBE Firm No. 928

07/17/2023  
ALEJANDRO E. GRANADOS RICO  
LICENSED PROFESSIONAL ENGINEER  
No. 41652

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB, HM, MH, DM  
CHECKED BY: AEC

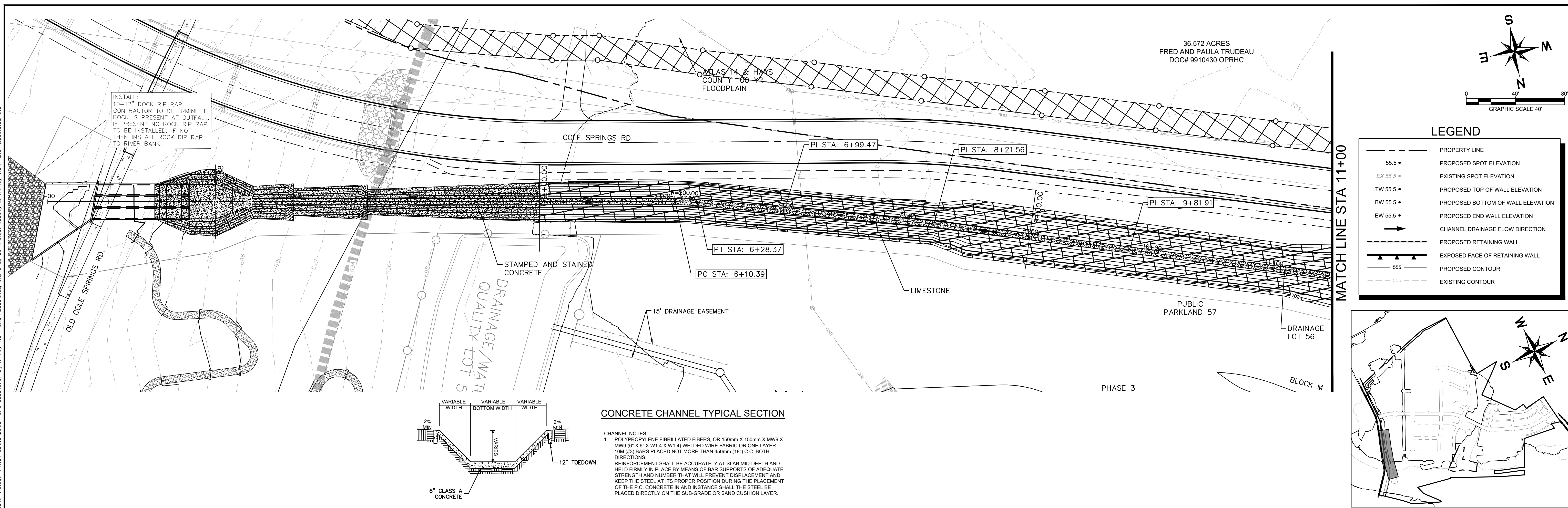
**OVERALL OFFSITE DRAINAGE PLAN**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER  
**76**  
OF 226

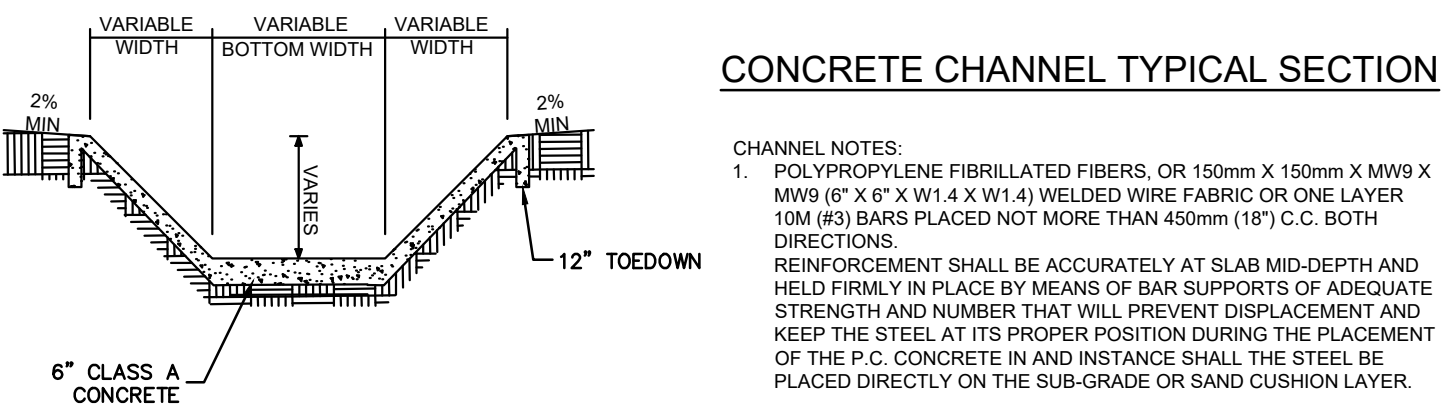
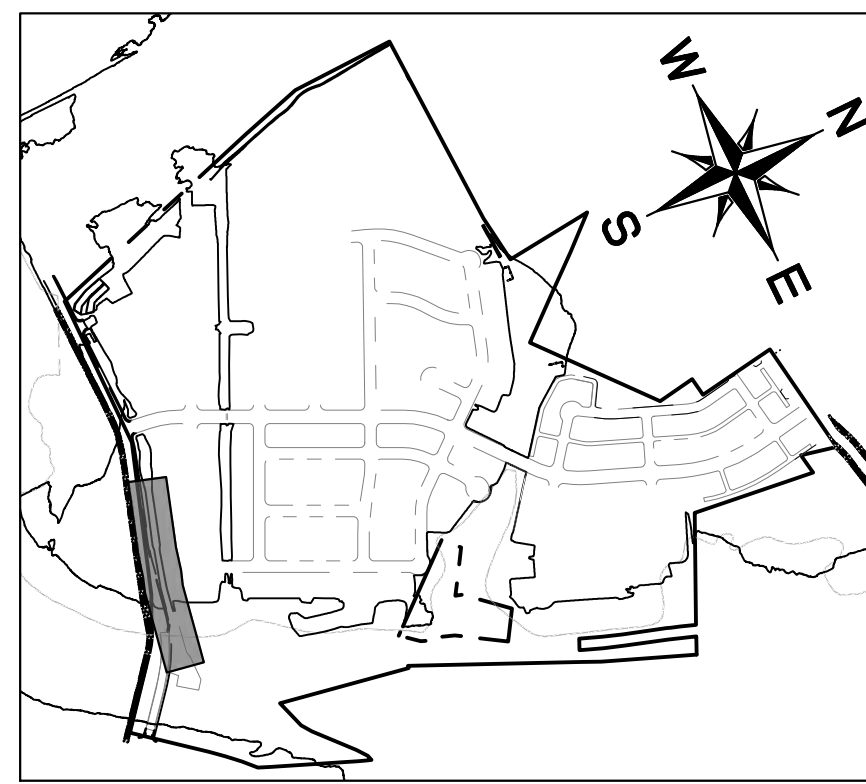
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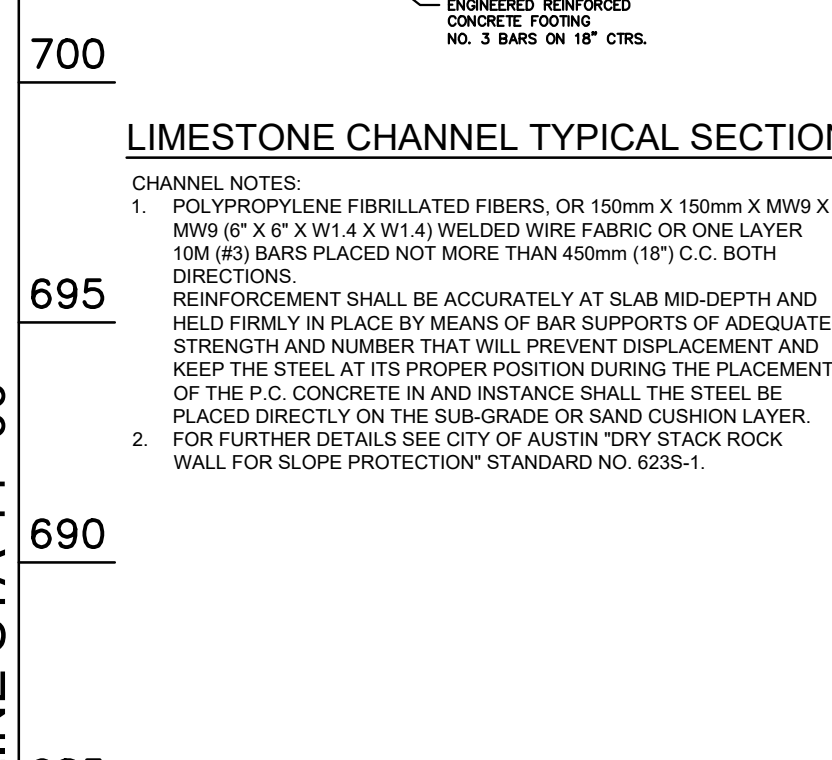
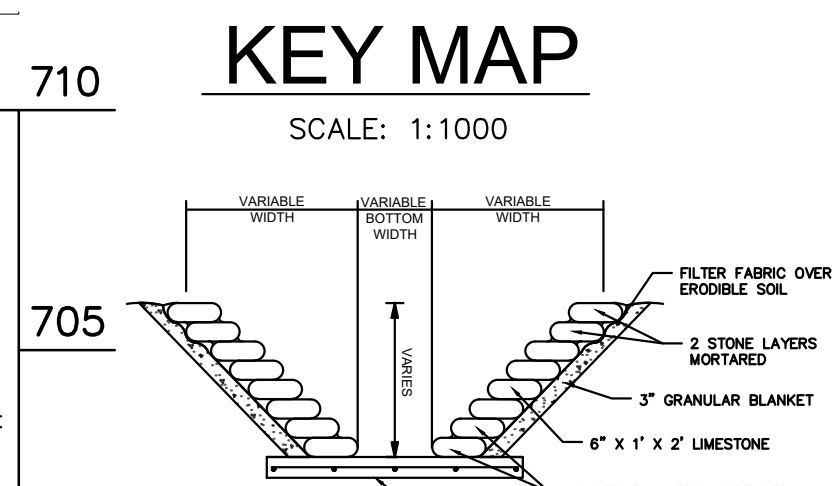
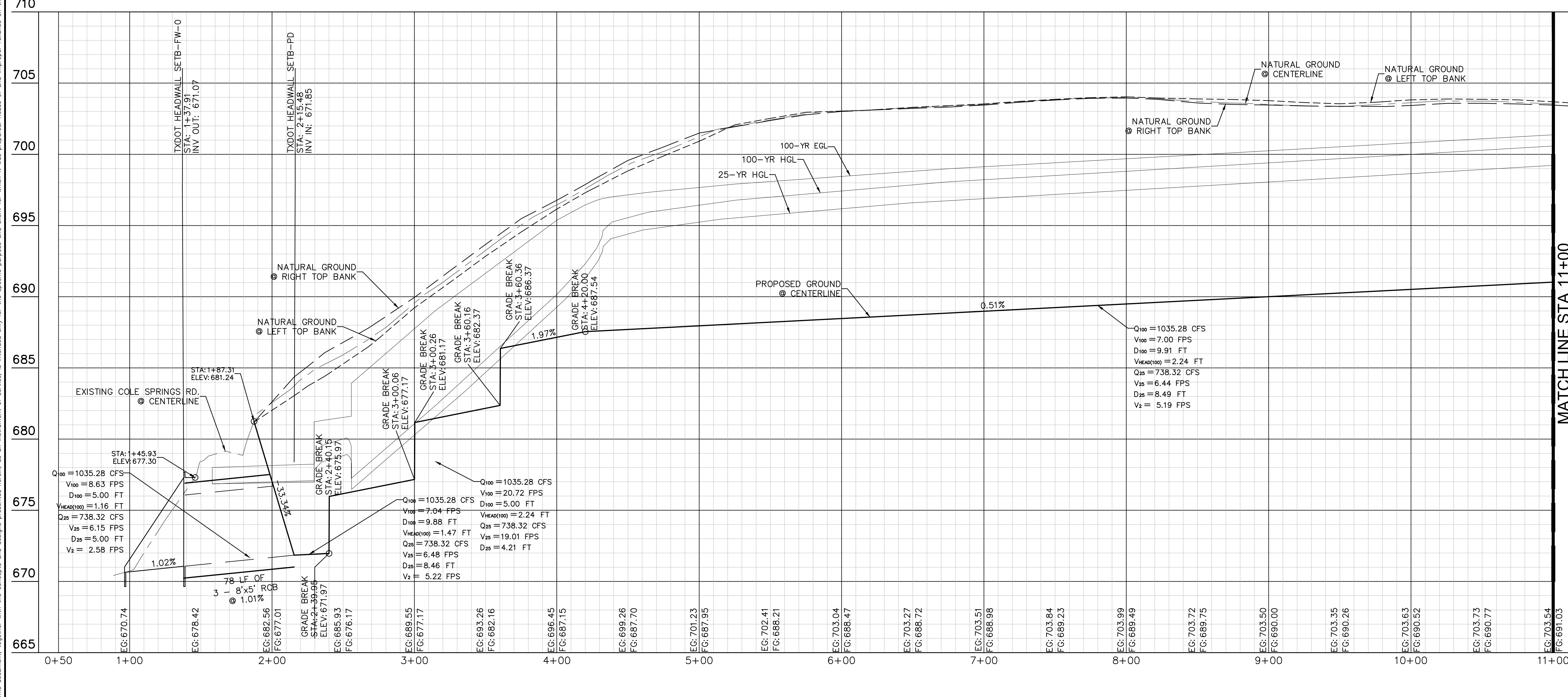


**LEGEND**

- 55.5 • PROPERTY LINE
- EX 55.5 • PROPOSED SPOT ELEVATION
- TW 55.5 • EXISTING SPOT ELEVATION
- BW 55.5 • PROPOSED TOP OF WALL ELEVATION
- EW 55.5 • PROPOSED BOTTOM OF WALL ELEVATION
- CHANNEL DRAINAGE FLOW DIRECTION
- PROPOSED RETAINING WALL
- ▲ EXPOSED FACE OF RETAINING WALL
- 555 PROPOSED CONTOUR
- 555 EXISTING CONTOUR



**OFFSITE DRAINAGE - A**



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Know what's below. Call before you dig.

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**CONSTRUCTION PLAN APPROVAL SHEET OF 226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

Rev. 1: \_\_\_\_\_ Correction 1 ZONING: N/A  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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 AUSTIN, TX 78745  
 PH: 512.464.6437  
 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

07/17/2023

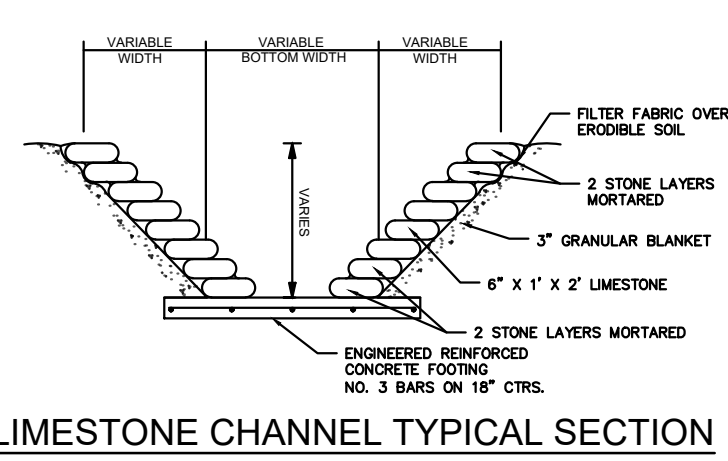
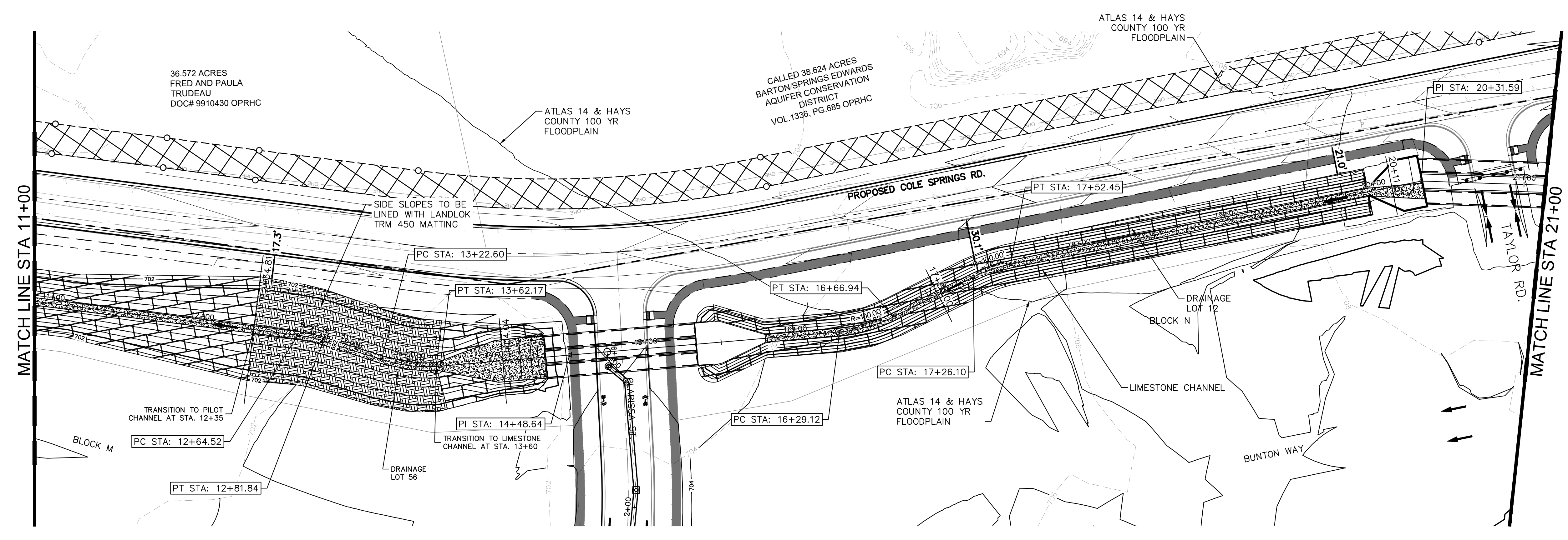
**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

OFFSITE DRAINAGE A  
 (1 OF 4)

SHEET NUMBER  
**77**  
 OF 226

NO.	REVISIONS	DATE	BY

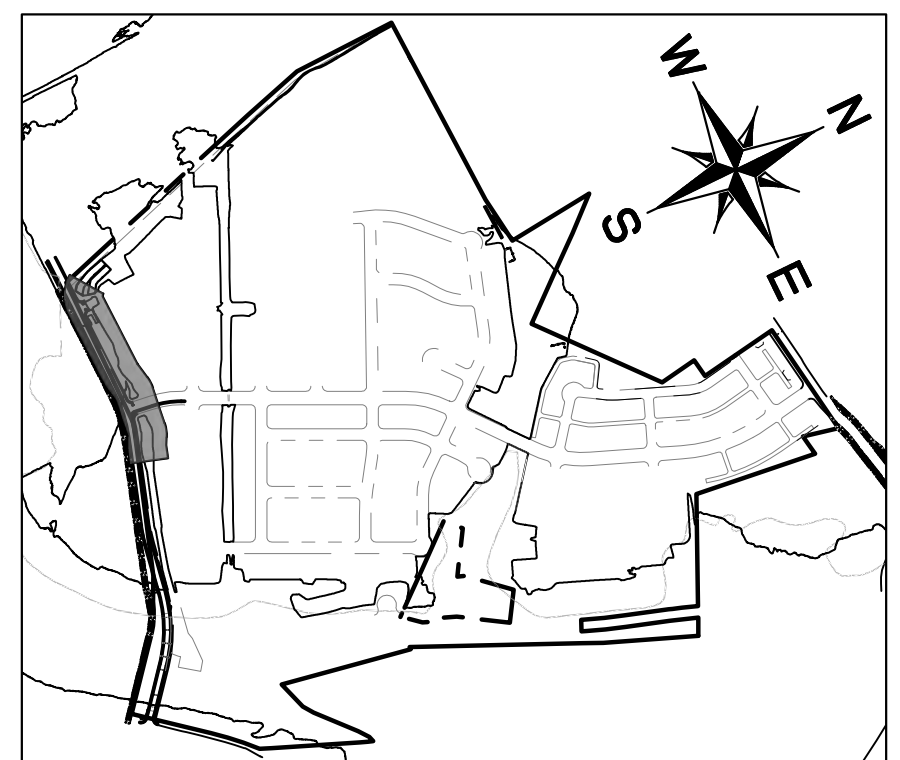
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**CHANNEL NOTES:**  
 1. POLYPROPYLENE FIBRILLATED FIBERS, OR 150mm X 150mm X MW9 X MW9 (6" X 6" X W1 X W1) WELDED WIRE FABRIC OR ONE LAYER 10M (#3) BARS PLACED NOT MORE THAN 450mm (18") C.C. BOTH DIRECTIONS  
 REINFORCEMENT SHALL BE ACCURATELY AT SLAB MID-DEPTH AND HELD FIRMLY IN PLACE BY MEANS OF BAR SUPPORTS OF ADEQUATE STRENGTH AND NUMBER THAT WILL PREVENT DISPLACEMENT AND KEEP THE STEEL AT ITS PROPER POSITION DURING THE PLACEMENT OF THE P.C. CONCRETE IN AND INSTANTANCE SHALL THE STEEL BE PLACED DIRECTLY ON THE SUB-GRADE OR SAND CUSHION LAYER.  
 FOR FURTHER DETAILS SEE CITY OF AUSTIN 'DRY STACK ROCK WALL FOR SLOPE PROTECTION' STANDARD NO. 6235-1.

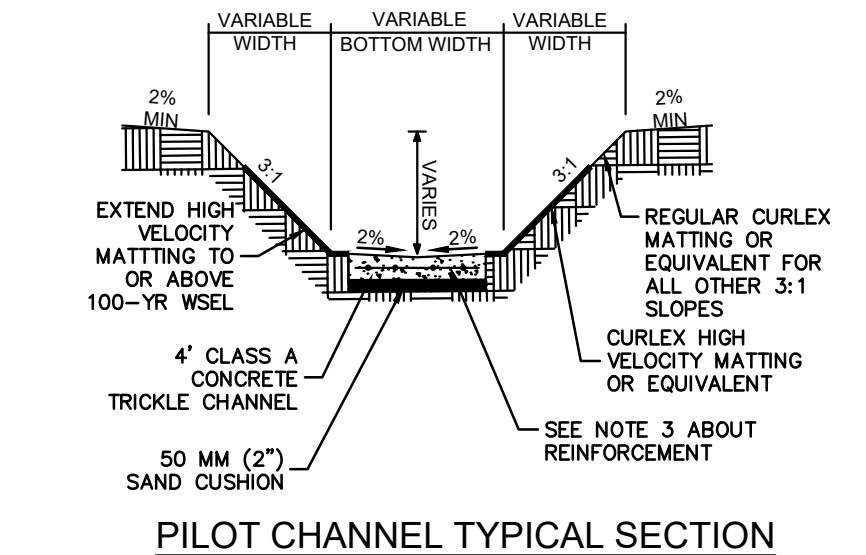
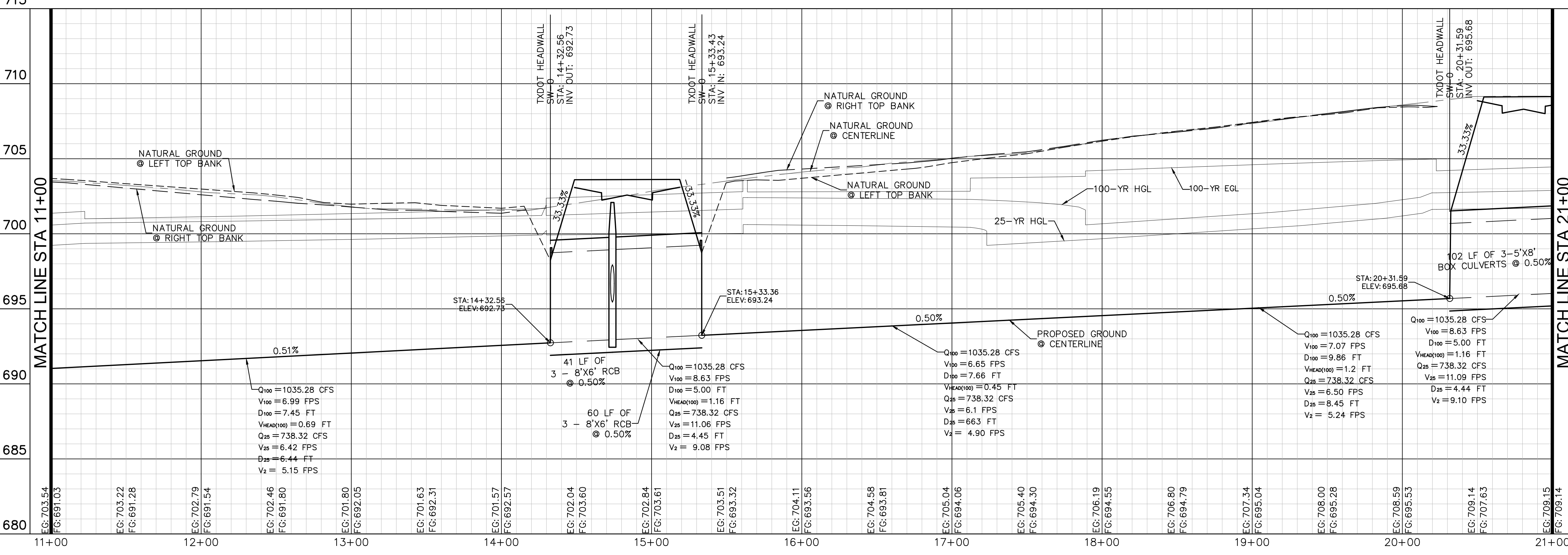
**LEGEND**

- PROPERTY LINE
- 55.5 • PROPOSED SPOT ELEVATION
- EX 55.5 • EXISTING SPOT ELEVATION
- TW 55.5 • PROPOSED TOP OF WALL ELEVATION
- BW 55.5 • PROPOSED BOTTOM OF WALL ELEVATION
- EW 55.5 • PROPOSED END WALL ELEVATION
- CHANNEL DRAINAGE FLOW DIRECTION
- ▬ PROPOSED RETAINING WALL
- ▬ EXPOSED FACE OF RETAINING WALL
- ▲ 555 PROPOSED CONTOUR
- 555 EXISTING CONTOUR



**KEY MAP**  
 SCALE: 1:1000

**OFFSITE DRAINAGE - A**



**PILOT CHANNEL TYPICAL SECTION**  
**CHANNEL NOTES:**  
 1. PILOT CHANNEL TO BE CONSTRUCTED WHEN CHANNEL SLOPE IS FLATTER THAN 1%, BUT SIDE SLOPES ARE 3:1 OR FLATTER.  
 2. POLYPROPYLENE FIBRILLATED FIBERS, OR 150mm X 150mm X MW9 X MW9 (6" X 6" X W1 X W1) WELDED WIRE FABRIC OR ONE LAYER 10M (#3) BARS PLACED NOT MORE THAN 450mm (18") C.C. BOTH DIRECTIONS  
 REINFORCEMENT SHALL BE ACCURATELY AT SLAB MID-DEPTH AND HELD FIRMLY IN PLACE BY MEANS OF BAR SUPPORTS OF ADEQUATE STRENGTH AND NUMBER THAT WILL PREVENT DISPLACEMENT AND KEEP THE STEEL AT ITS PROPER POSITION DURING THE PLACEMENT OF THE P.C. CONCRETE IN AND INSTANTANCE SHALL THE STEEL BE PLACED DIRECTLY ON THE SUBGRADE OR SAND CUSHION LAYER.

**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARKS**  
 BM #100 PK NAIL SET IN THE MIDDLE OF A CURLEUR INLET ON THE WEST SIDE OF FM 897 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV: 695.87 (NAVD 88)  
 BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION ON THREE OVERHEAD ELECTRIC LINES ELEV: 712.04 (NAVD 88)  
 BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV: 732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
 FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE. ZONING N/A  
 Rev. 1 Correction 1  
 Rev. 2 Correction 2  
 Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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 AUSTIN, TX 78745  
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07/17/2023

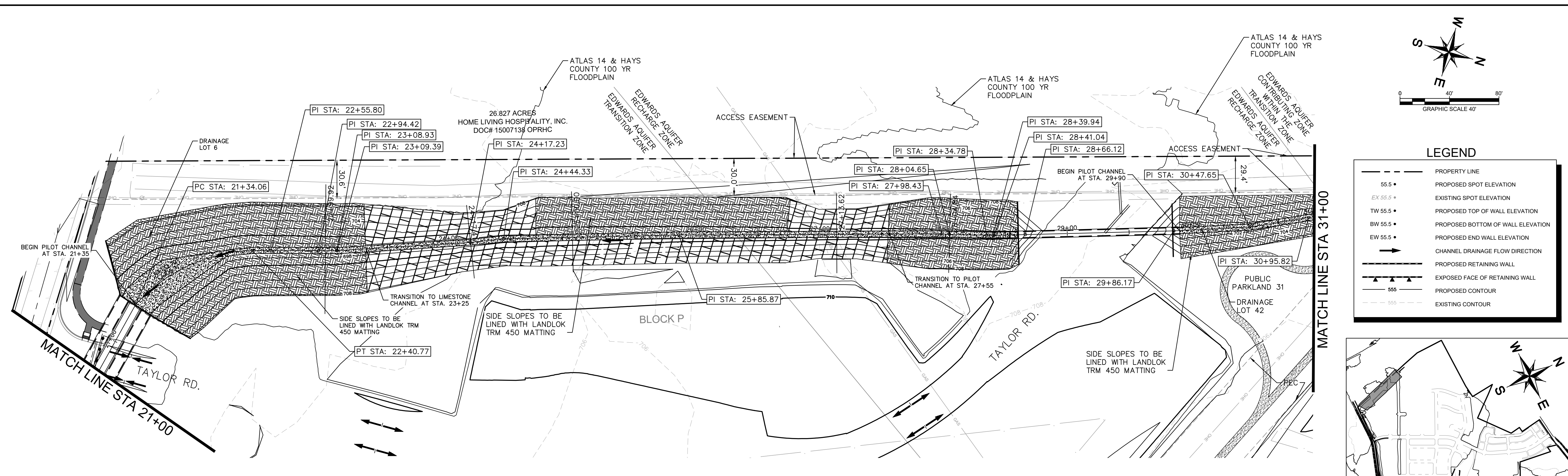
**THE COLONY - PHASE 1**  
**CITY OF BUDA**  
**HAYS COUNTY, TEXAS**

OFFSITE DRAINAGE A  
 (2 OF 4)

SHEET NUMBER  
**78**  
 OF 226

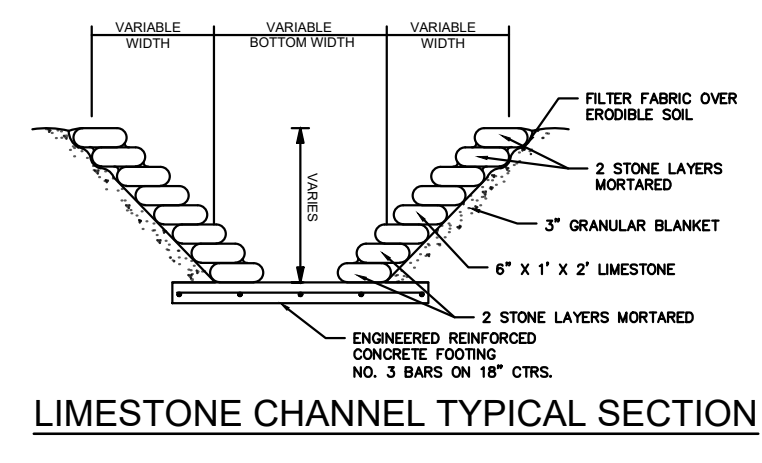
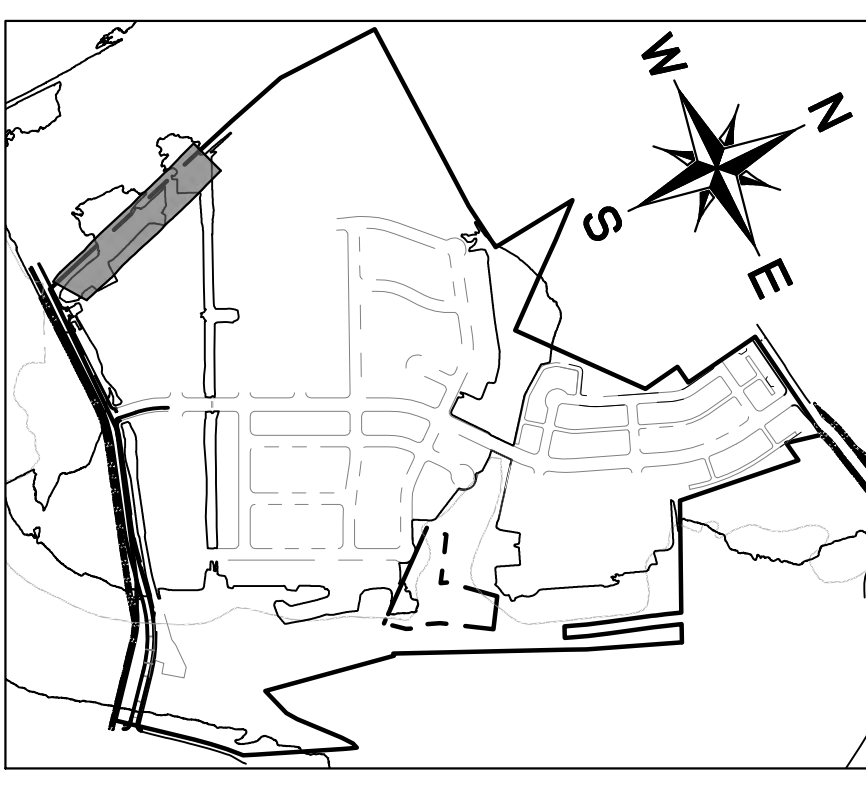
DATE BY REVISIONS

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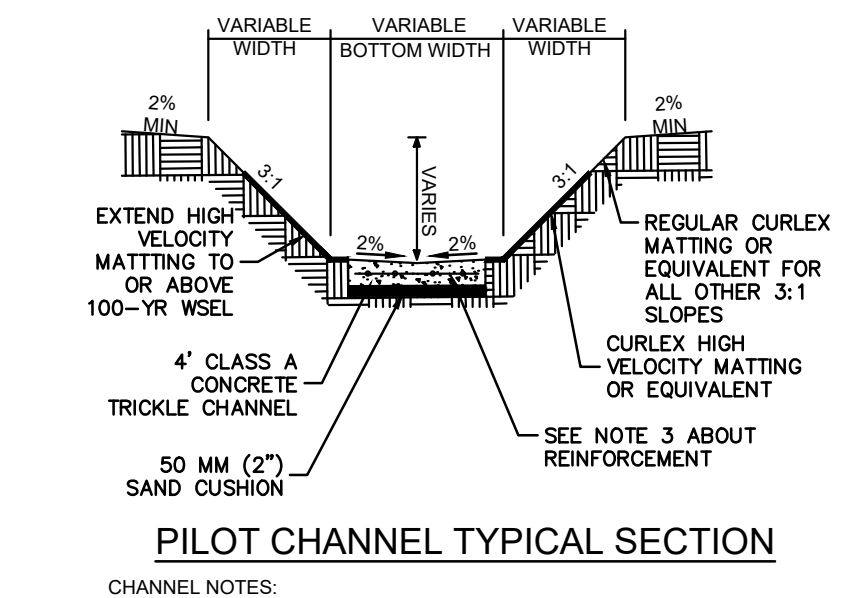
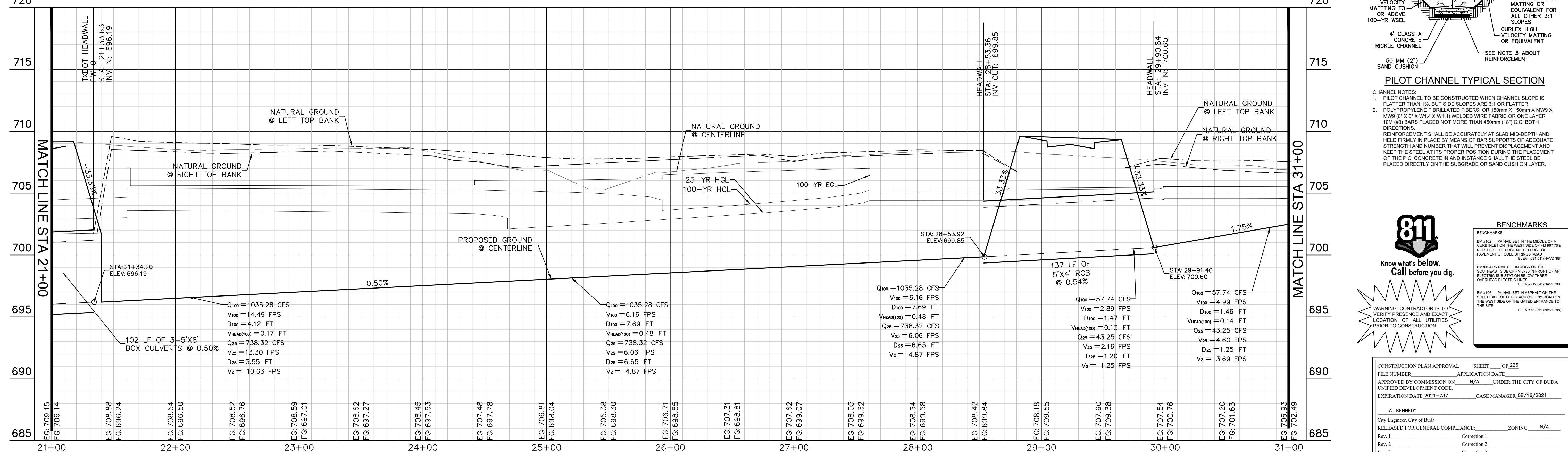
### LEGEND

- PROPERTY LINE
- PROPOSED SPOT ELEVATION
- EX 55.5 •• EXISTING SPOT ELEVATION
- TW 55.5 •• PROPOSED TOP OF WALL ELEVATION
- BW 55.5 •• PROPOSED BOTTOM OF WALL ELEVATION
- EW 55.5 •• PROPOSED END WALL ELEVATION
- CHANNEL DRAINAGE FLOW DIRECTION
- PROPOSED RETAINING WALL
- ▲▲▲ EXPOSED FACE OF RETAINING WALL
- - - 555 PROPOSED CONTOUR
- - - 555 EXISTING CONTOUR



**CHANNEL NOTES:**  
 1. POLYPROPYLENE FIBRILLATED FIBERS, OR 150mm X 150mm X MW9 X MW9 (6" X 6" X W1.4 X W1.4) WELDED WIRE FABRIC OR ONE LAYER 10M (#3) BARS PLACED NOT MORE THAN 450mm (18") C.C. BOTH DIRECTIONS.  
 REINFORCEMENT SHALL BE ACCURATELY AT SLAB MID-DEPTH AND HELD FIRMLY IN PLACE BY MEANS OF BAR SUPPORTS OF ADEQUATE STRENGTH AND NUMBER THAT WILL PREVENT DISPLACEMENT AND KEEP THE STEEL AT ITS PROPER POSITION DURING THE PLACEMENT OF THE P.C. CONCRETE IN AND INSTANCES SHALL THE STEEL BE PLACED DIRECTLY ON THE SUBGRADE OR SAND CUSHION LAYER.  
 2. FOR FURTHER DETAILS SEE CITY OF AUSTIN "DRY STACK ROCK WALL FOR SLOPE PROTECTION" STANDARD NO. 623S-1.

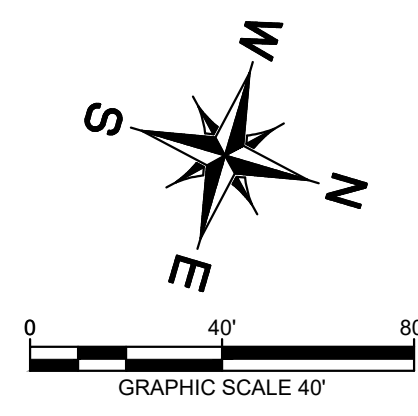
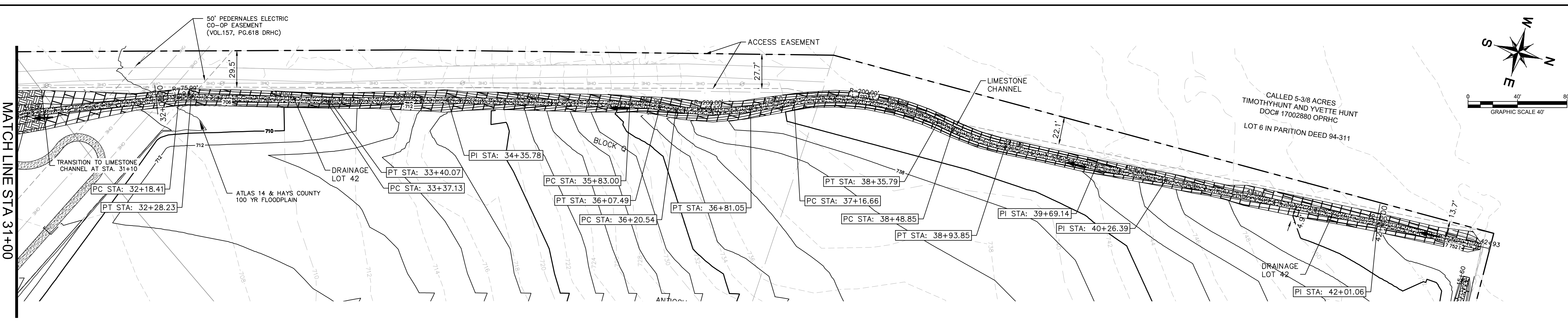
### OFFSITE DRAINAGE - A



CONSTRUCTION PLAN APPROVAL SHEET OF 226
FILE NUMBER APPLICATION DATE
APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021
A. KENNEDY
City Engineer, City of Buda
RELEASED FOR GENERAL COMPLIANCE, ZONING N/A
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.
PERMIT NUMBER: 2021-737

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<p>KHA PROJECT: 067783115          DATE: JULY 2023          SCALE: AS SHOWN          DESIGNED BY: WB,DM          DRAWN BY: WB,HM,MH,DM          CHECKED BY: AEC</p>	<p>THE COLONY - PHASE 1          CITY OF BUDA          HAYS COUNTY, TEXAS</p>
<p>OFFSITE DRAINAGE A          (3 OF 4)</p>	<p>SHEET NUMBER          79          OF 226</p>

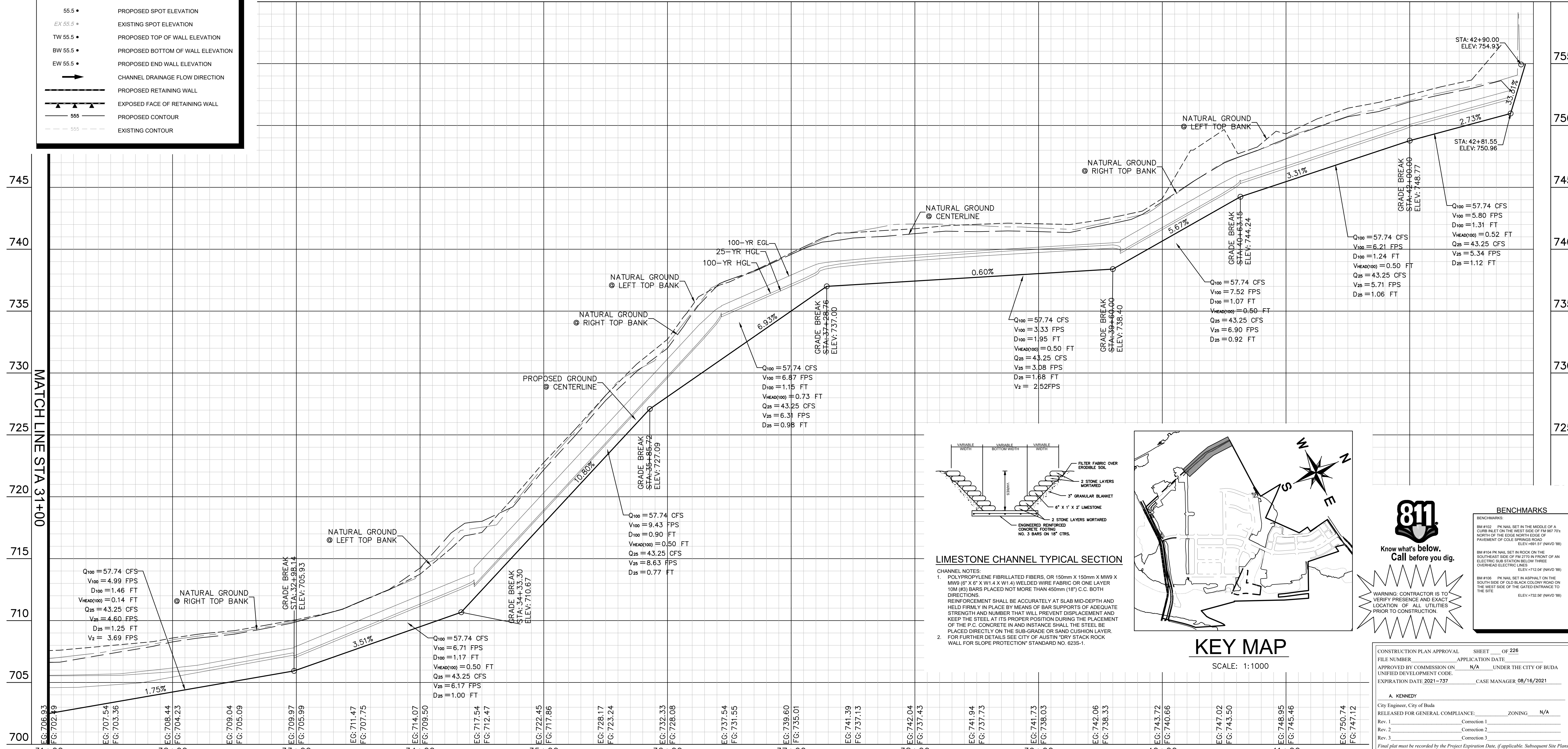
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**LEGEND**

---	PROPERTY LINE
55.5 •	PROPOSED SPOT ELEVATION
EX 55.5 •	EXISTING SPOT ELEVATION
TW 55.5 •	PROPOSED TOP OF WALL ELEVATION
BW 55.5 •	PROPOSED BOTTOM OF WALL ELEVATION
EW 55.5 •	PROPOSED END WALL ELEVATION
→	CHANNEL DRAINAGE FLOW DIRECTION
—▲—	PROPOSED RETAINING WALL
▲▲▲	EXPOSED FACE OF RETAINING WALL
---	PROPOSED CONTOUR
---	EXISTING CONTOUR

**OFFSITE DRAINAGE - A**



**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 PH: 512.454.5757  
 WWW.KIMLEY-HORN.COM  
 BY: KIMLEY-HORN AND ASSOCIATES, INC.  
 TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 133008  
 Alejandro E. Granados Rico

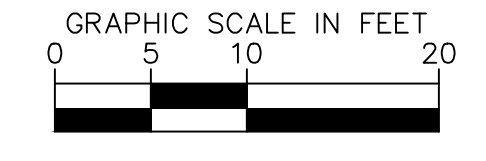
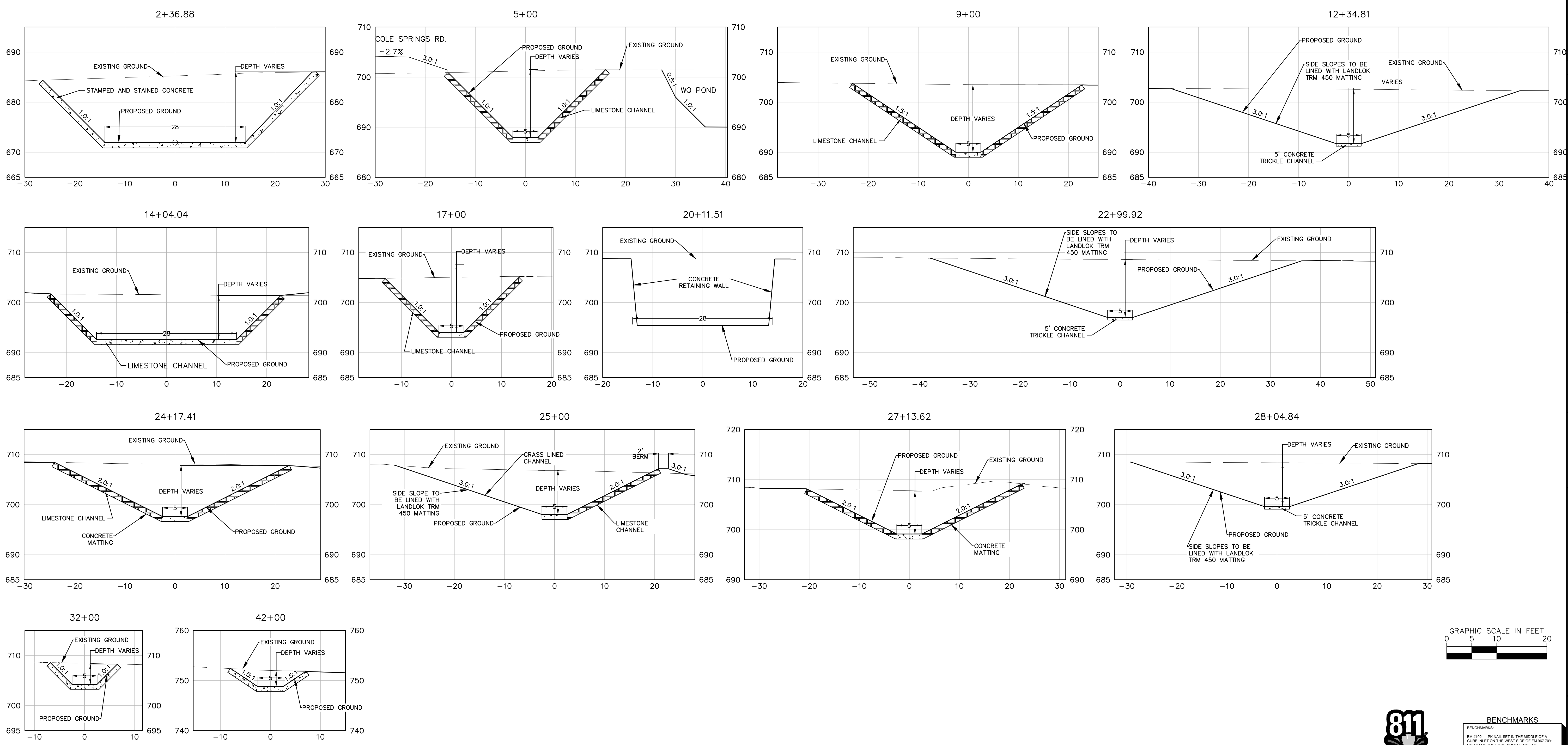
KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB, DM  
 DRAWN BY: WB, HM, MH, DM  
 CHECKED BY: AEC

**OFFSITE DRAINAGE A (4 OF 4)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER: **80**  
 OF 226

Plotted by: Duffy, Daniel Date: July 17, 2023 09:53:20am File Path: K:\you\_civil\067783115\_meritage\_buda\_assemblies\C-Drainage Channels Plan & Profiles.dwg  
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**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**

BM #103	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD	ELEV=705.87 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRICAL LINES	ELEV=712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF CLUBBAC COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE	ELEV=722.56 (NAVD 88)

**CHANNEL NOTES:**  
 1. WHEN CHANNEL SIDE SLOPE IS STEEPER THAN 3:1, CONSTRUCT CHANNEL FLOOR AND SIDE SLOPES WITH 6-INCH CONCRETE RIP RAP, MAINTAINING LISTED INVERT ELEVATIONS.

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON: N/A	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737	CASE MANAGER: 08/16/2021
A. KENNEDY	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE:	ZONING: N/A
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.	
PERMIT NUMBER: 2021-737	

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
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 AUSTIN, TX 78745  
 PH: 512.835.6437  
 WWW.KIMLEY-HORN.COM  
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 TBE Firm No. 928

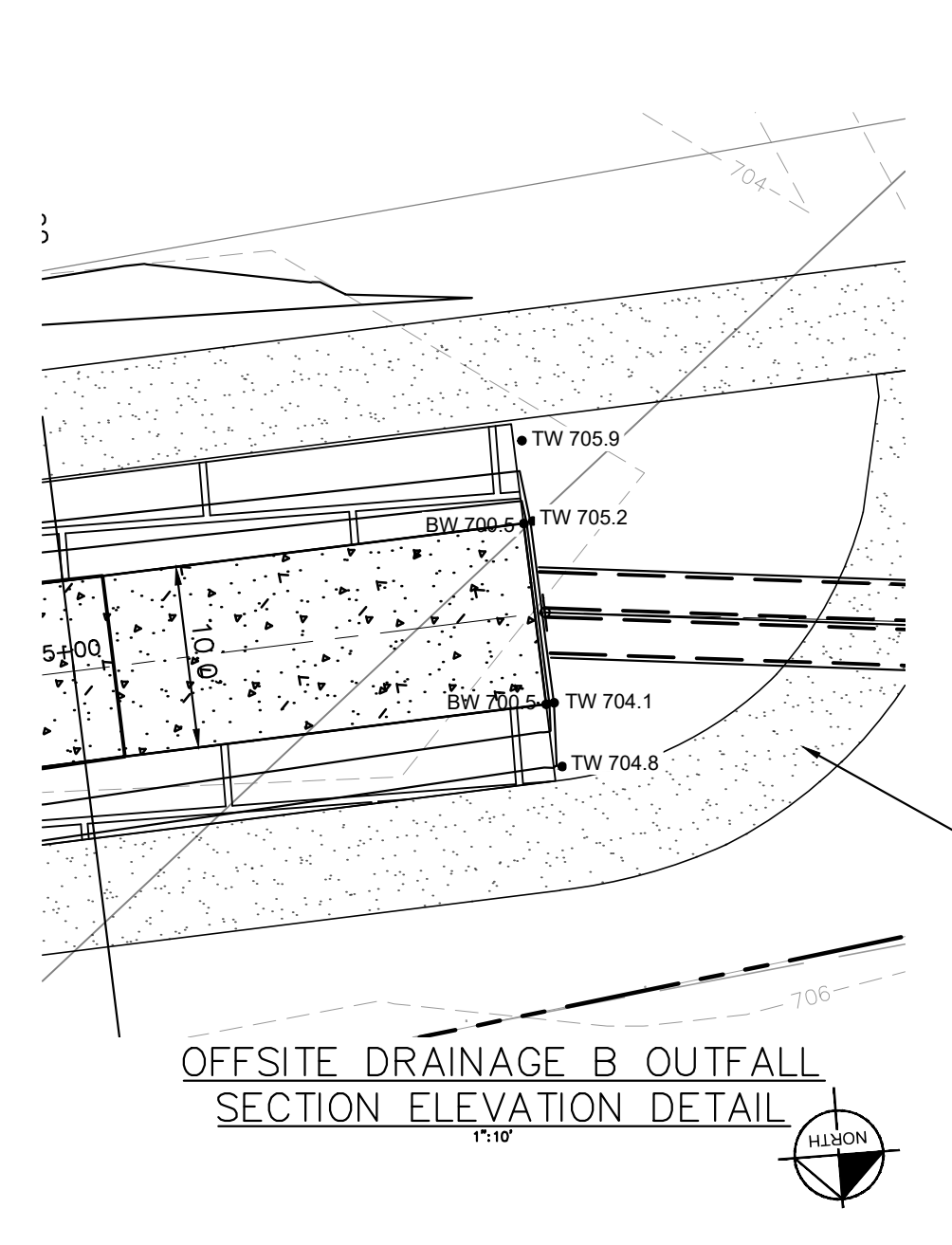
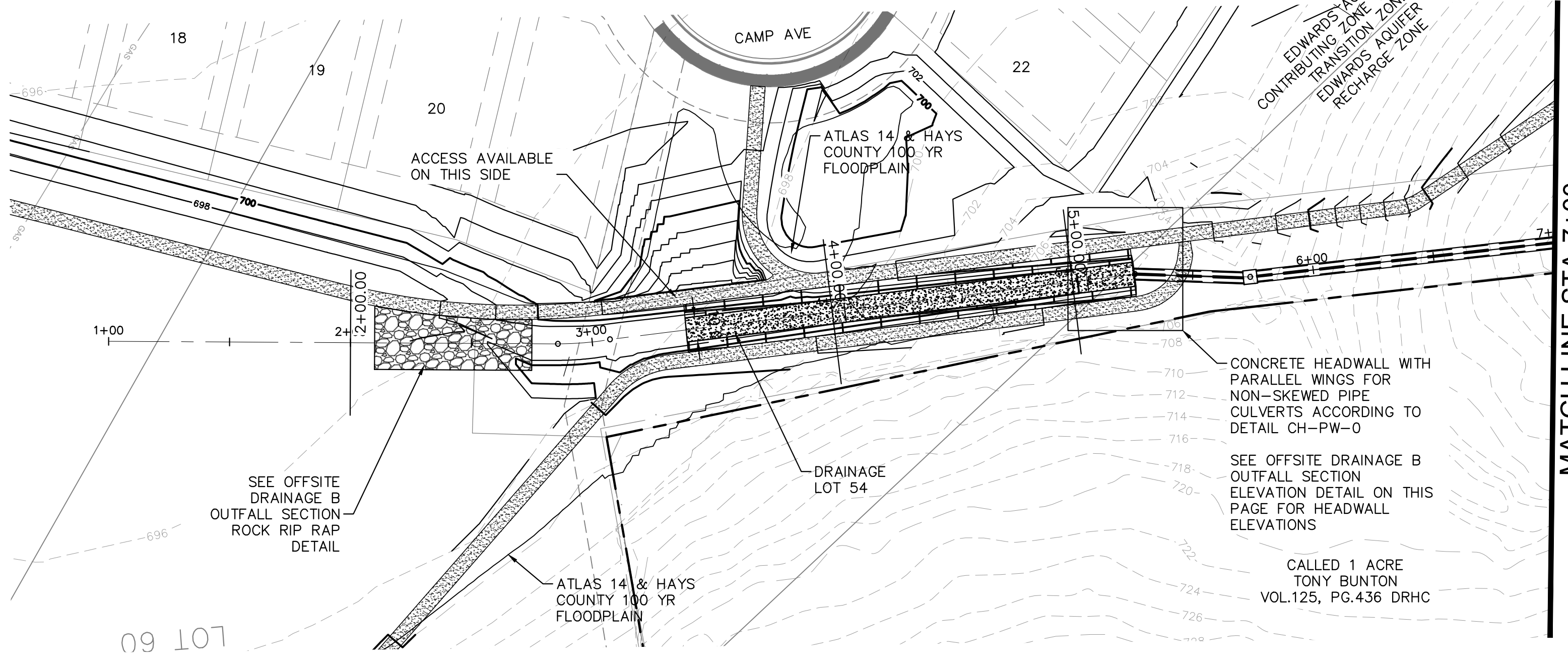
07/17/2023  
  
 Alejandro E. Granados-Rico  
 Licensed Professional Engineer  
 State of Texas  
 License No. 13305  
 KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,LDM  
 CHECKED BY: AEC

**OFFSITE DRAINAGE CHANNEL A - CROSS SECTIONS**

**THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS**

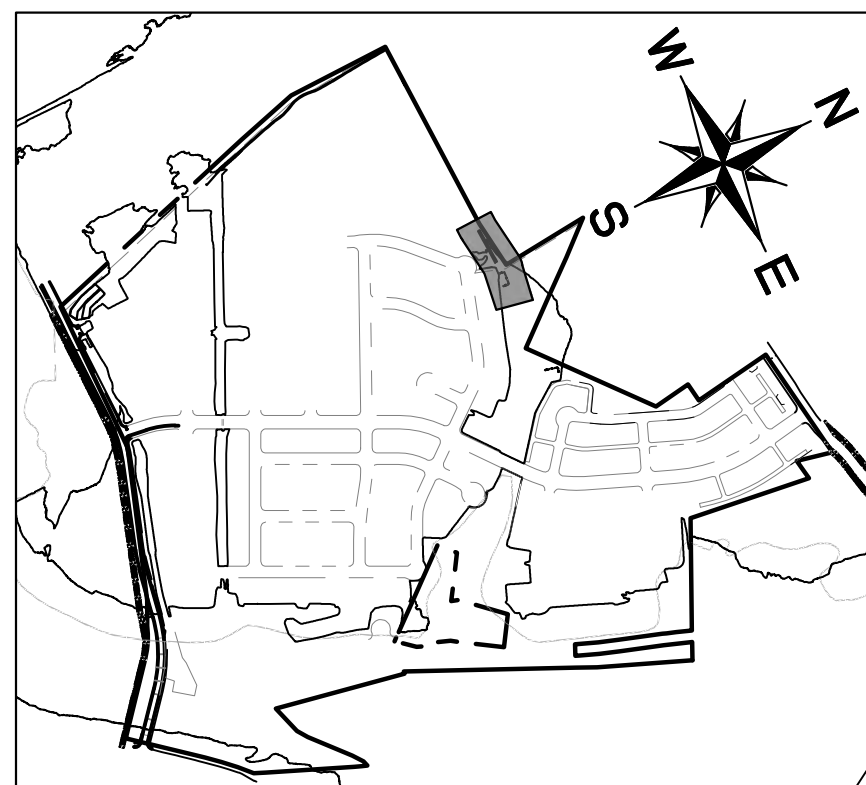


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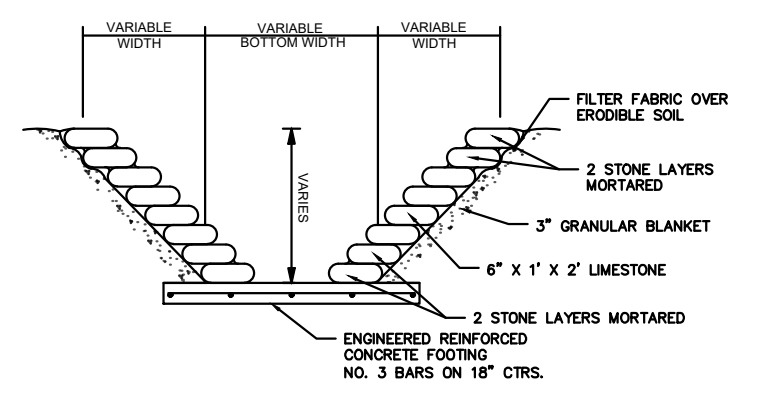
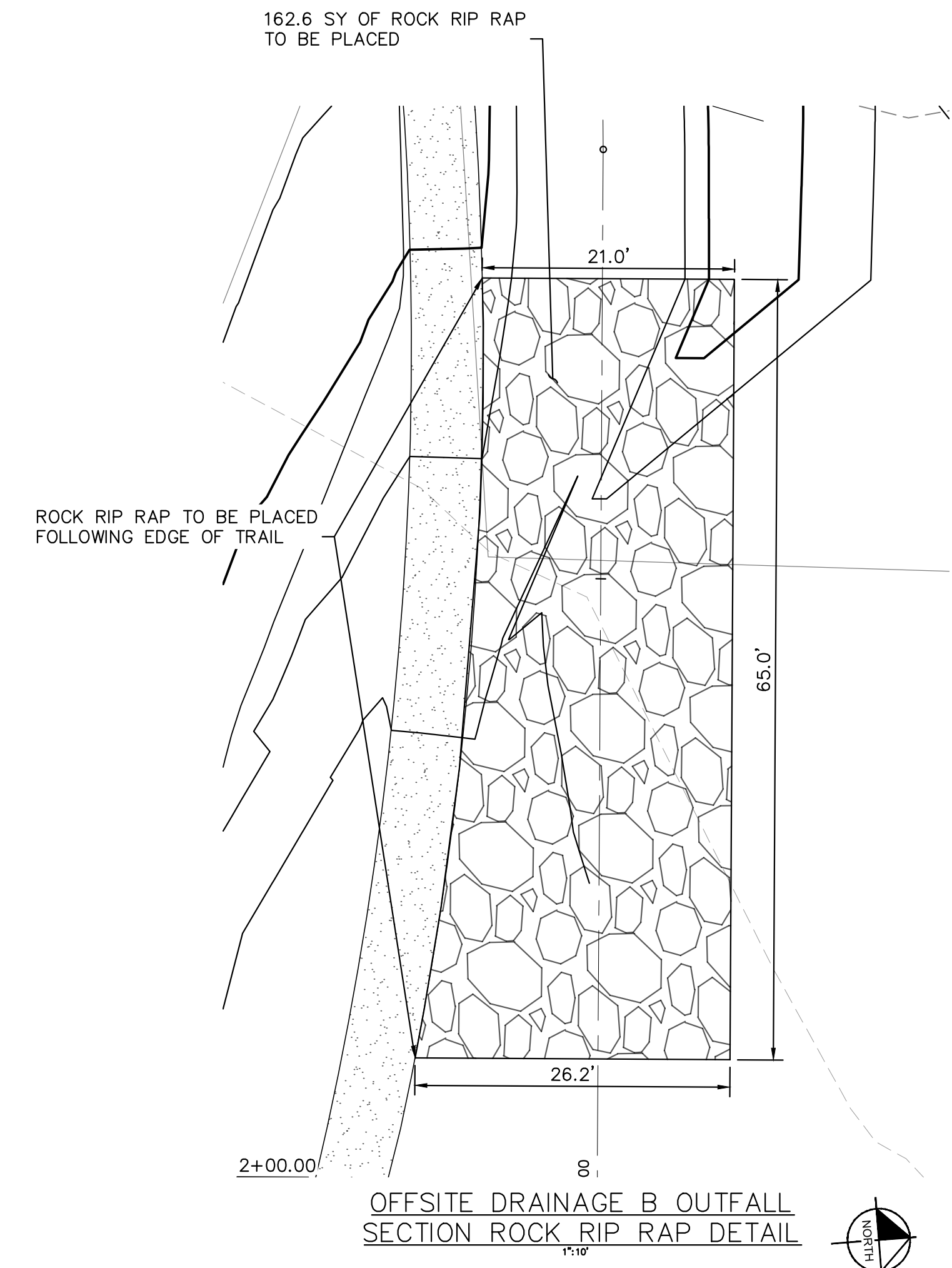
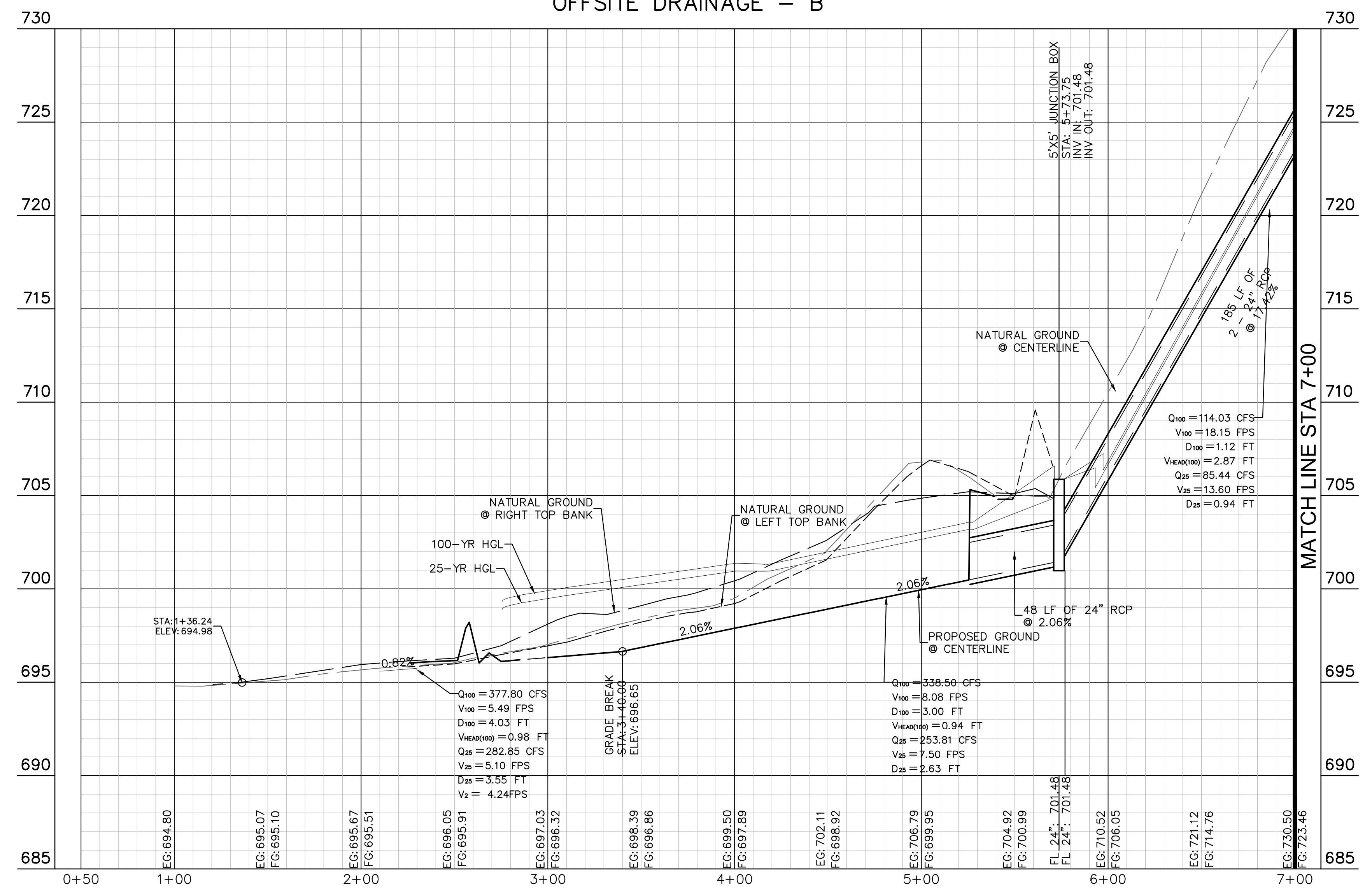


**LEGEND**

- PROPERTY LINE
- 55.5 • PROPOSED SPOT ELEVATION
- EX 55.5 • EXISTING SPOT ELEVATION
- TW 55.5 • PROPOSED TOP OF WALL ELEVATION
- BW 55.5 • PROPOSED BOTTOM OF WALL ELEVATION
- EW 55.5 • PROPOSED END WALL ELEVATION
- CHANNEL DRAINAGE FLOW DIRECTION
- PROPOSED RETAINING WALL
- ▲ EXPOSED FACE OF RETAINING WALL
- 555 PROPOSED CONTOUR
- 555 EXISTING CONTOUR



**OFFSITE DRAINAGE - B**



**CHANNEL NOTES:**

- POLYPROPYLENE FIBRILLATED FIBERS, OR 150mm X 150mm X MW9 X MW9 (6" X 6" X W1/4" X W1/4") WELDED WIRE FABRIC OR ONE LAYER 10M (8) BARS PLACED NOT MORE THAN 450mm (18") C.C. BOTH DIRECTIONS. REINFORCEMENT SHALL BE ACCURATELY AT SLAB MID-DEPTH AND HELD FIRMLY IN PLACE BY MEANS OF BAR SUPPORTS OF ADEQUATE STRENGTH AND NUMBER THAT WILL PREVENT DISPLACEMENT AND KEEP THE STEEL AT ITS PROPER POSITION DURING THE PLACEMENT OF THE P.C. CONCRETE IN AND INSTANTLY SHALL THE STEEL BE PLACED DIRECTLY ON THE SUB-GRADE OR SAND CUSHION LAYER. FOR FURTHER DETAILS SEE CITY OF AUSTIN 'ERRY STACK ROCK WALL FOR SLOPE PROTECTION' STANDARD NO. 623S-1.

**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARKS**

- BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 79' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV = 697.87 (NAVD 88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV = 712.04 (NAVD 88)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 722.56 (NAVD 88)

**CONSTRUCTION PLAN APPROVAL SHEET OF 226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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 AUSTIN, TX 78745  
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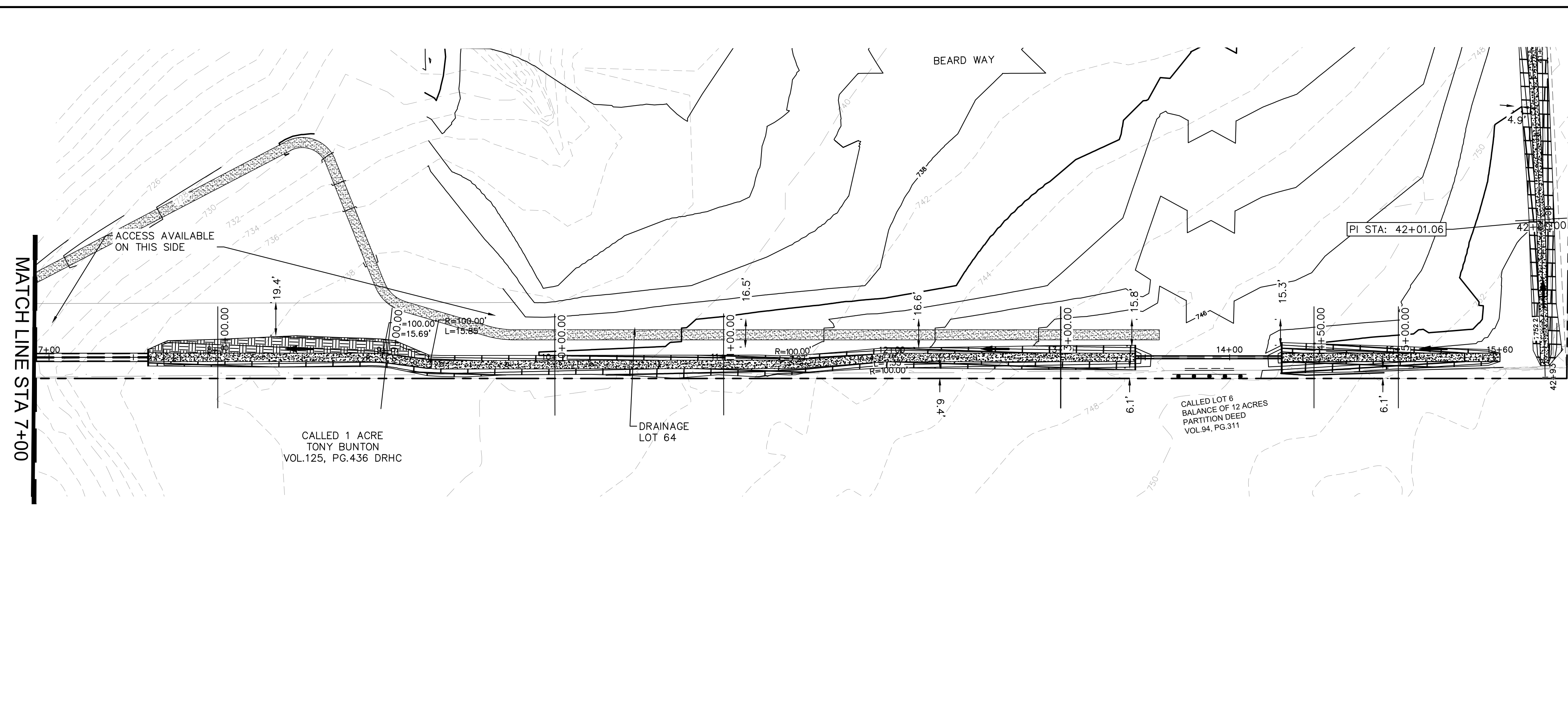
**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

**OFFSITE DRAINAGE B**  
 (1 OF 2)

SHEET NUMBER  
**82**  
 OF 226

NO.	REVISIONS	DATE	BY

Plotted by: Duffly, Daniel Date: July 17, 2023 09:54:12am File Path: K:\sou\_civil\067783115\meritage\_buda\_assemble\cadd\plan\sheet\c-d\drainage\Channels Plan & Profiles.dwg  
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**LEGEND**

- PROPERTY LINE
- 55.5 • PROPOSED SPOT ELEVATION
- EX 55.5 • EXISTING SPOT ELEVATION
- TW 55.5 • PROPOSED TOP OF WALL ELEVATION
- BW 55.5 • PROPOSED BOTTOM OF WALL ELEVATION
- EW 55.5 • PROPOSED END WALL ELEVATION
- CHANNEL DRAINAGE FLOW DIRECTION
- PROPOSED RETAINING WALL
- ▲ EXPOSED FACE OF RETAINING WALL
- 555 PROPOSED CONTOUR
- EXISTING CONTOUR

**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARKS**

- BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77.4 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV = 732.50 (NAVD 88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THIRRE ELEV = 732.04 (NAVD 88)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV = 732.50 (NAVD 88)

**CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**

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 AUSTIN, TX 78746  
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REVISIONS

No.	DATE	BY

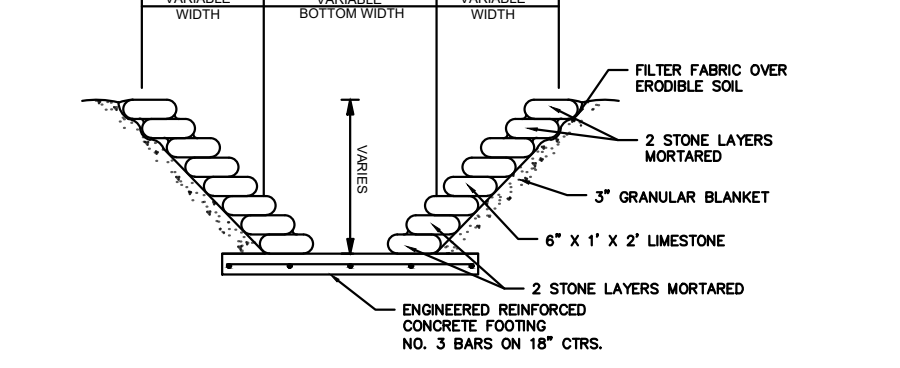
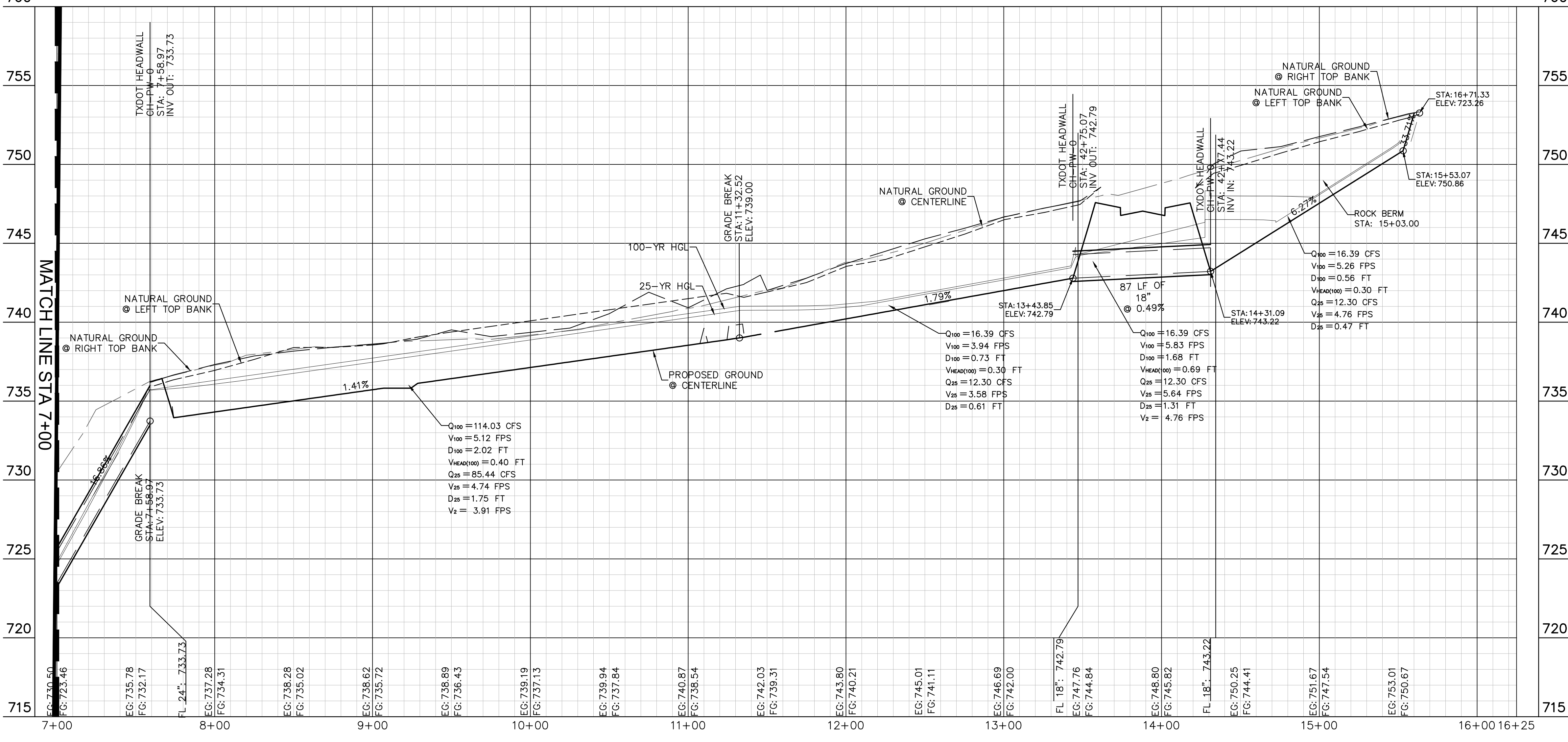
07/17/2023

**ALEJANDRO E. GRANADOS RICO**  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF TEXAS  
 No. 130004

*Aljank E. Granados*

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB, HM, MH, DM  
 CHECKED BY: AEC

**OFFSITE DRAINAGE - B**

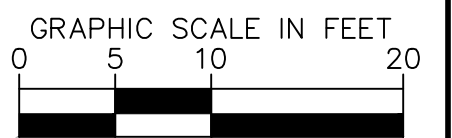
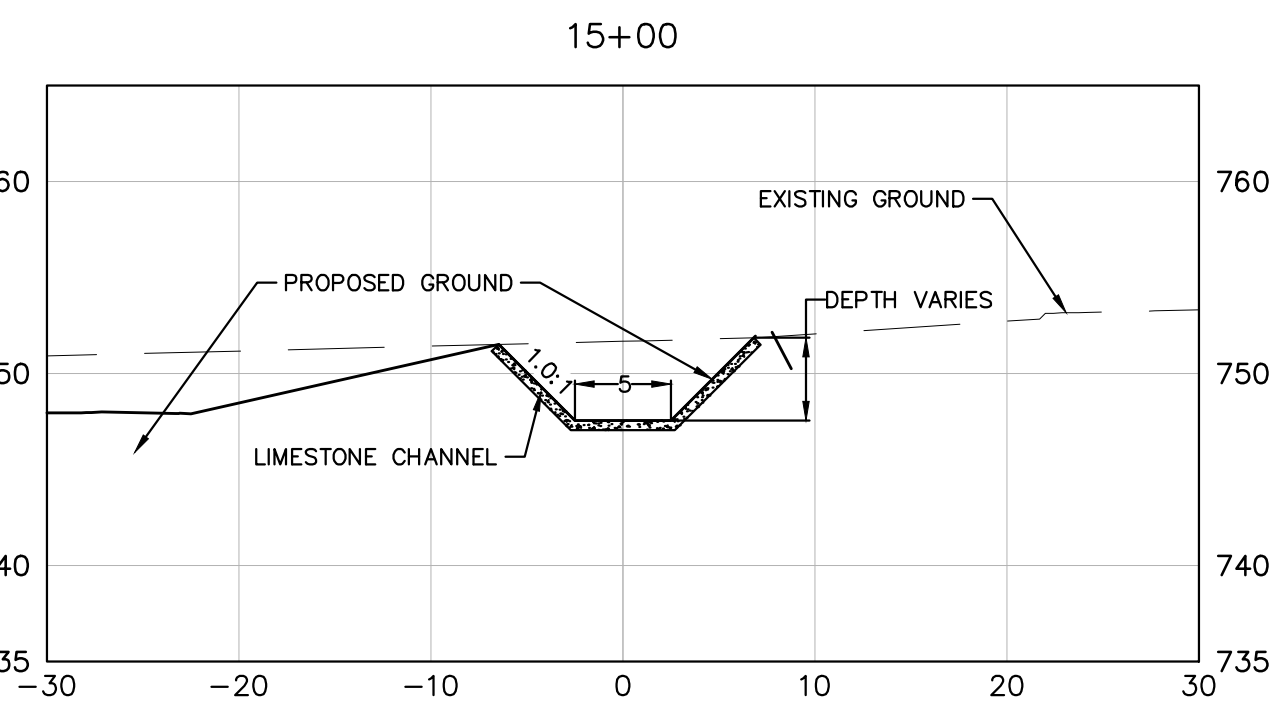
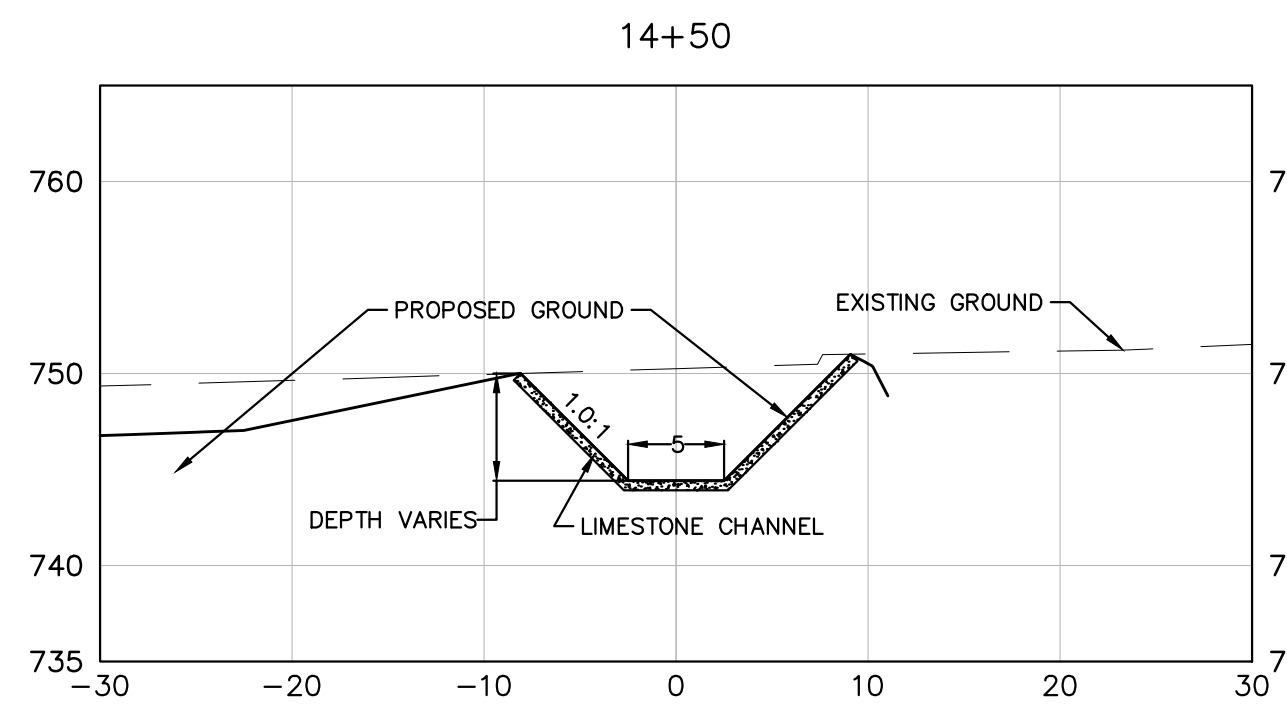
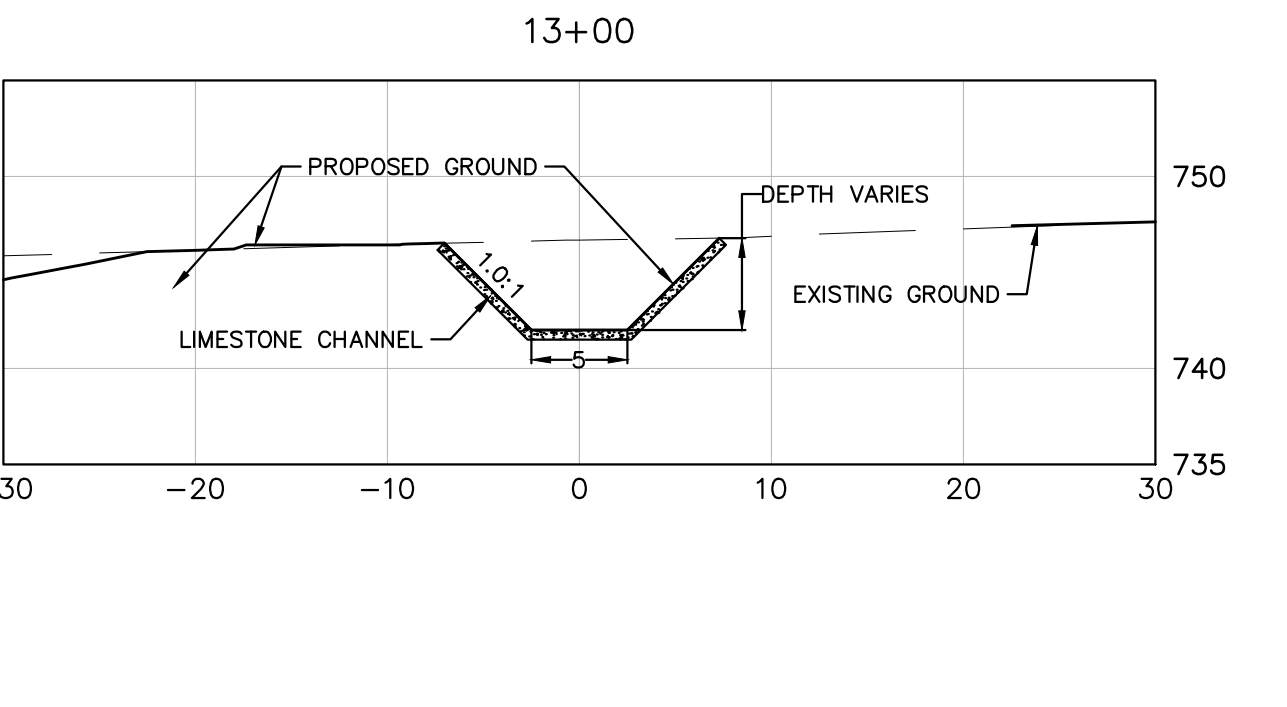
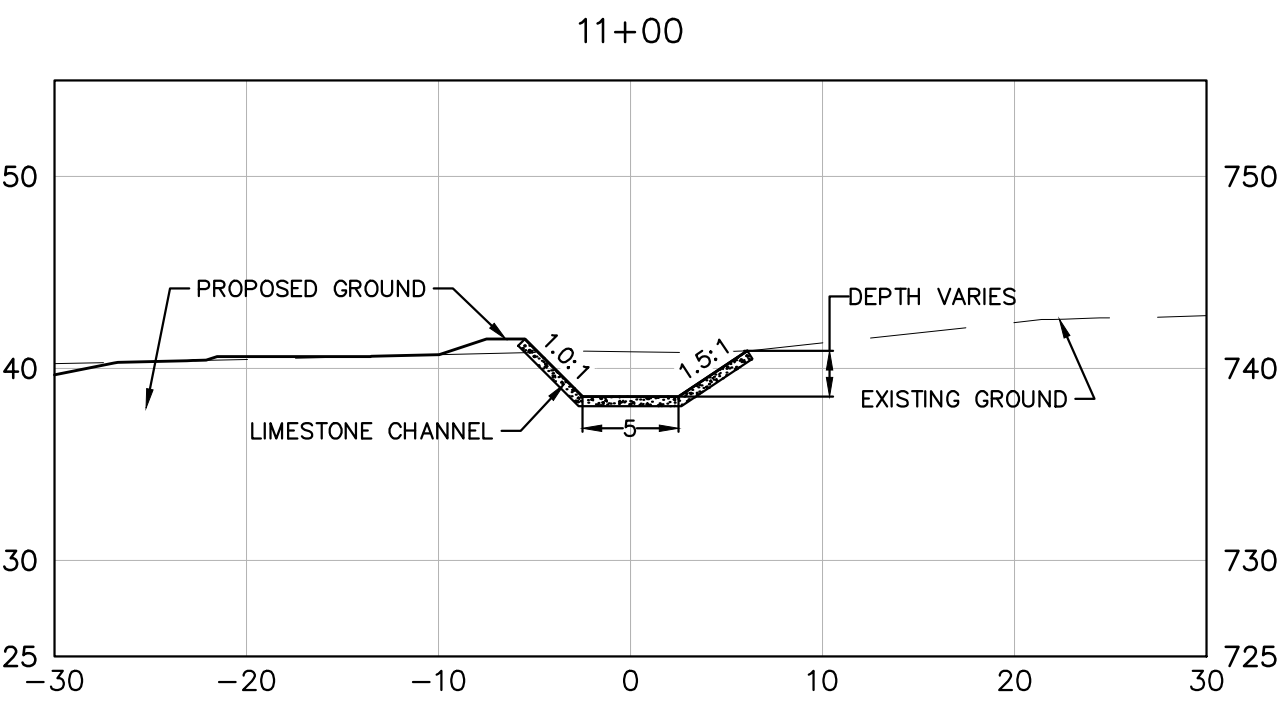
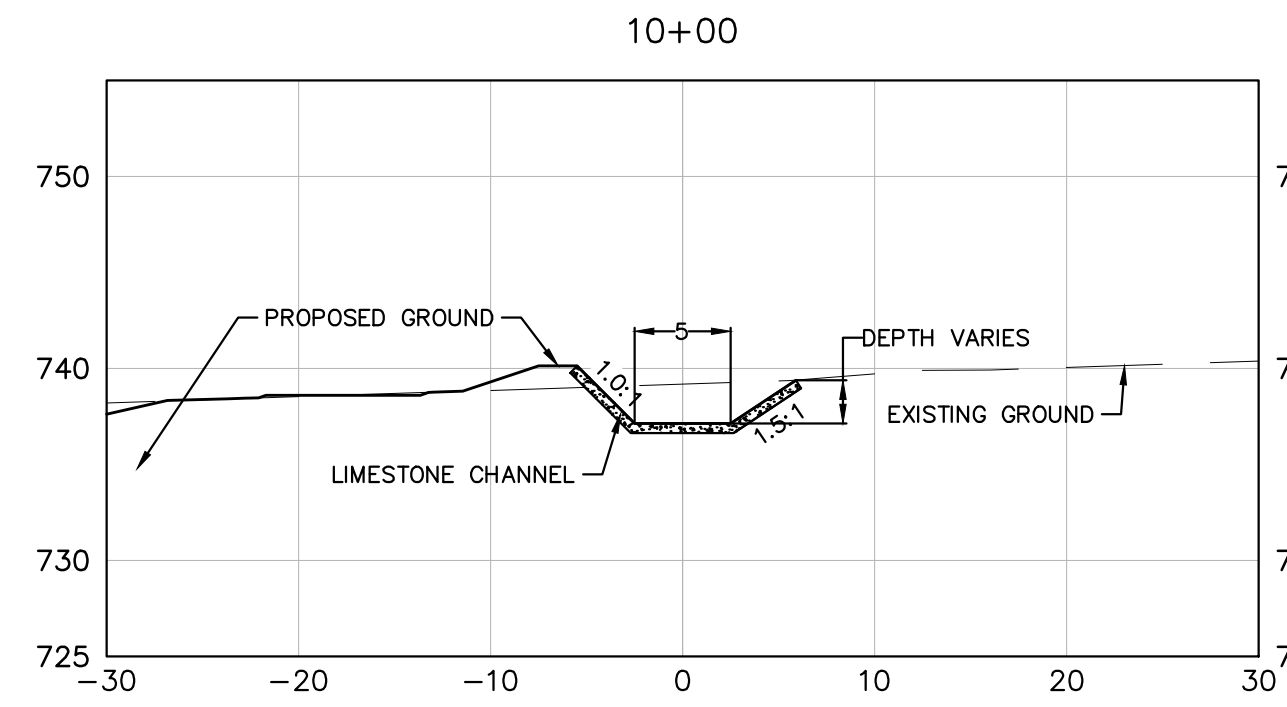
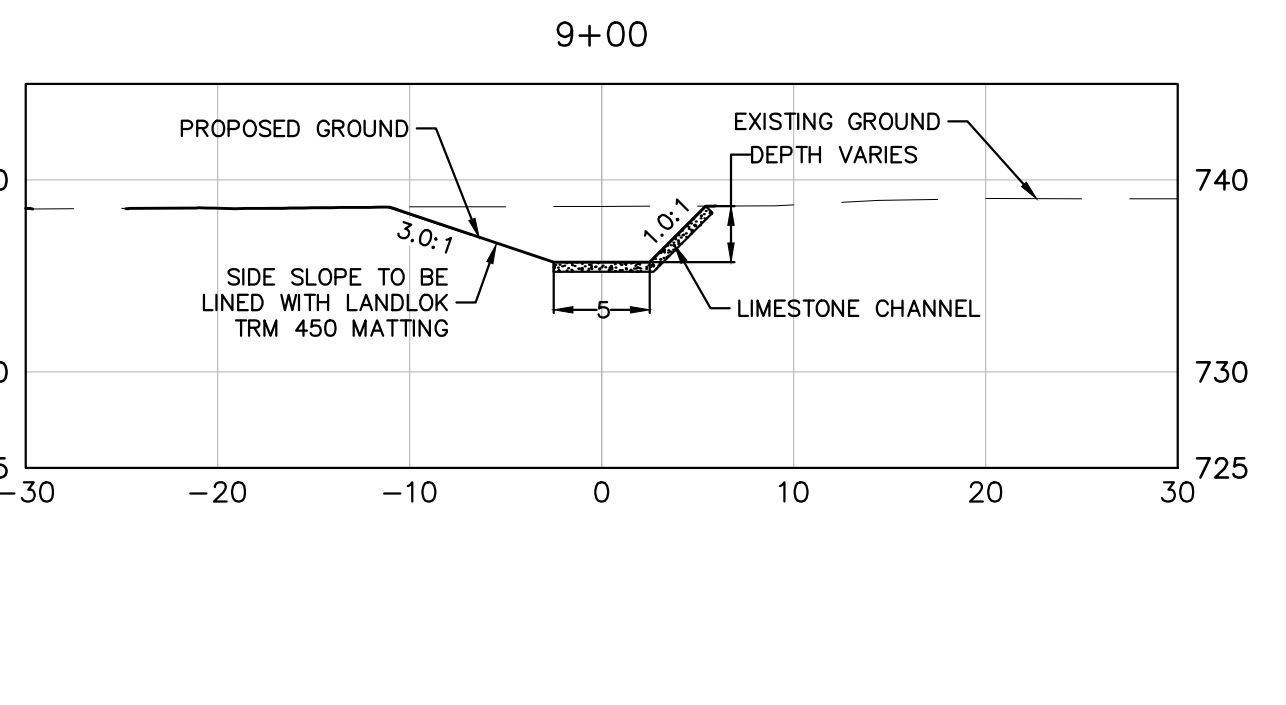
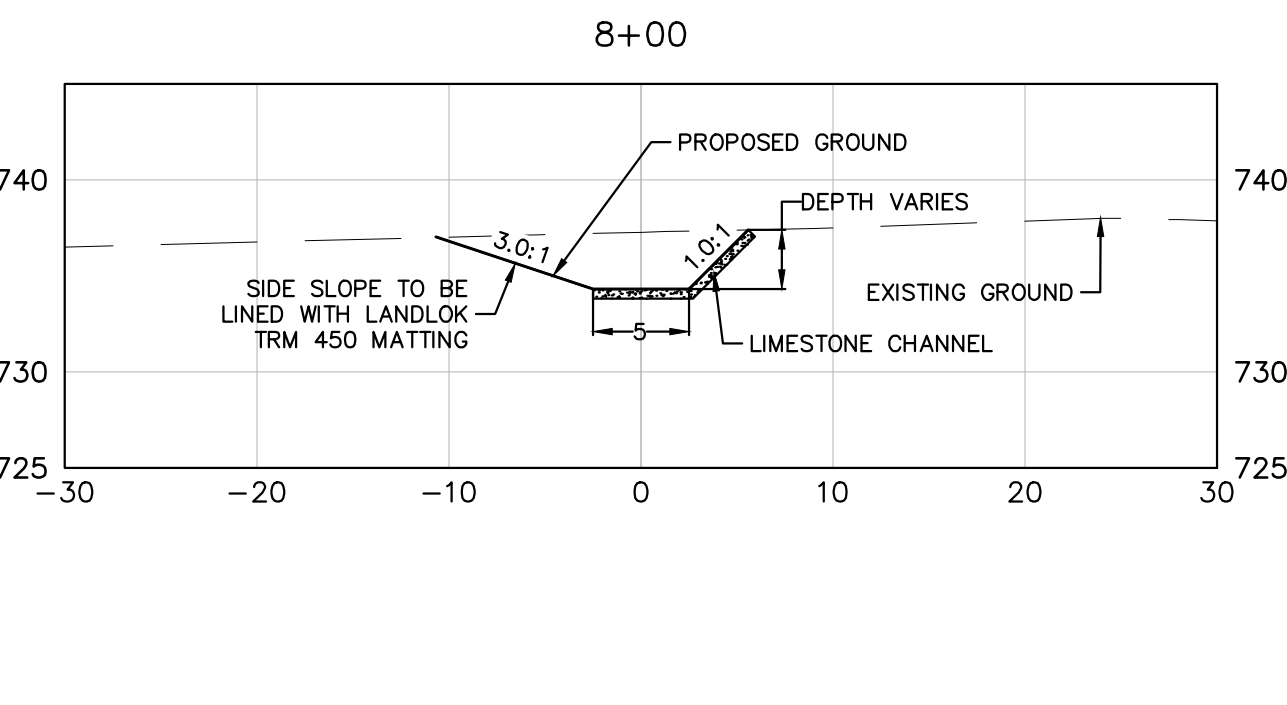
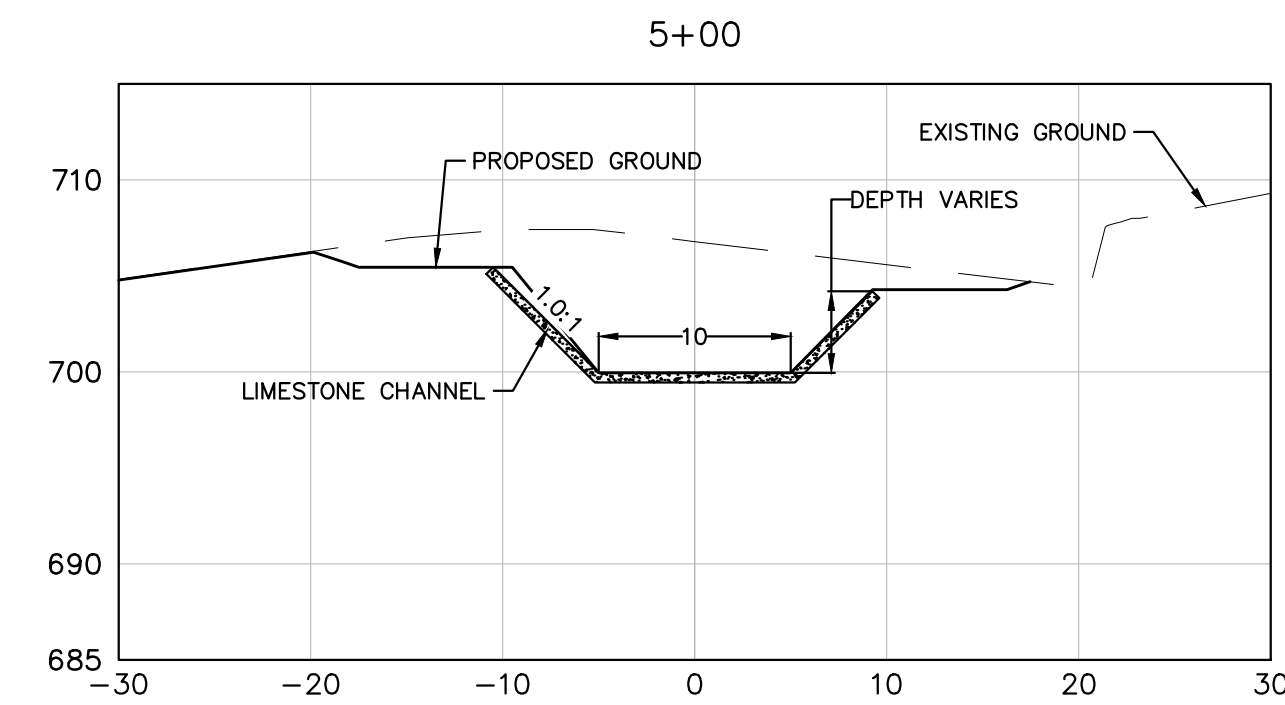
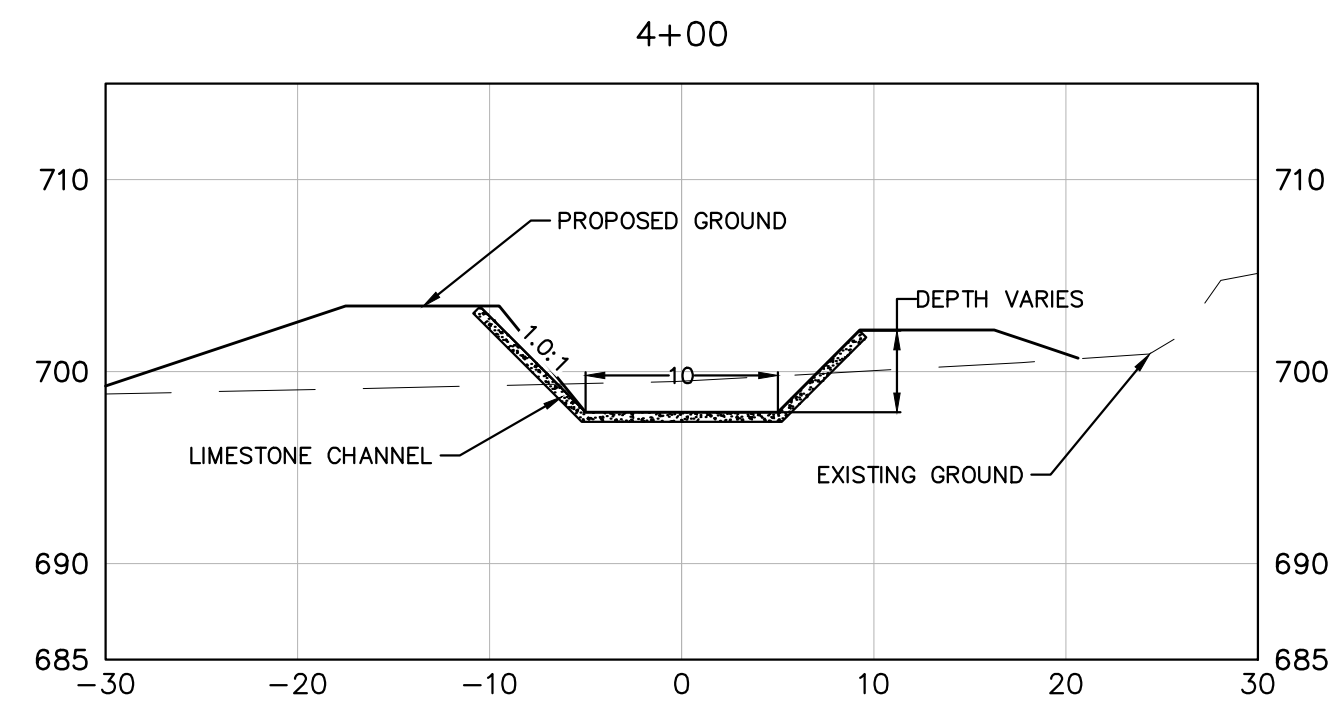


**OFFSITE DRAINAGE B (2 OF 2)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**83**  
 OF 226

Plotted by: Duffy, Daniel Date: July 17, 2023 09:54:22am File Path: K:\you\_civil\067783115\_meritage\_buda\_assemblage\cadd\plansheets\C-Drainage Channels Plan & Profiles.dwg  
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WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #102	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77+4 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD	ELEV = 69.87 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRICAL LINES	ELEV = 72.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF CLUBB AND COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE	ELEV = 72.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**CHANNEL NOTES:**

- WHEN CHANNEL SIDE SLOPE IS STEEPER THAN 3:1, CONSTRUCT CHANNEL FLOOR AND SIDE SLOPES WITH 6-INCH CONCRETE RIP RAP, MAINTAINING LISTED INVERT ELEVATIONS.

No.	REVISIONS	DATE	BY

**Kimley & Horn**

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AUSTIN, TX 78745  
PH: 512.464.5777  
WWW.KIMLEY-HORN.COM

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TBE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
REGISTERED PROFESSIONAL ENGINEER  
No. 130308

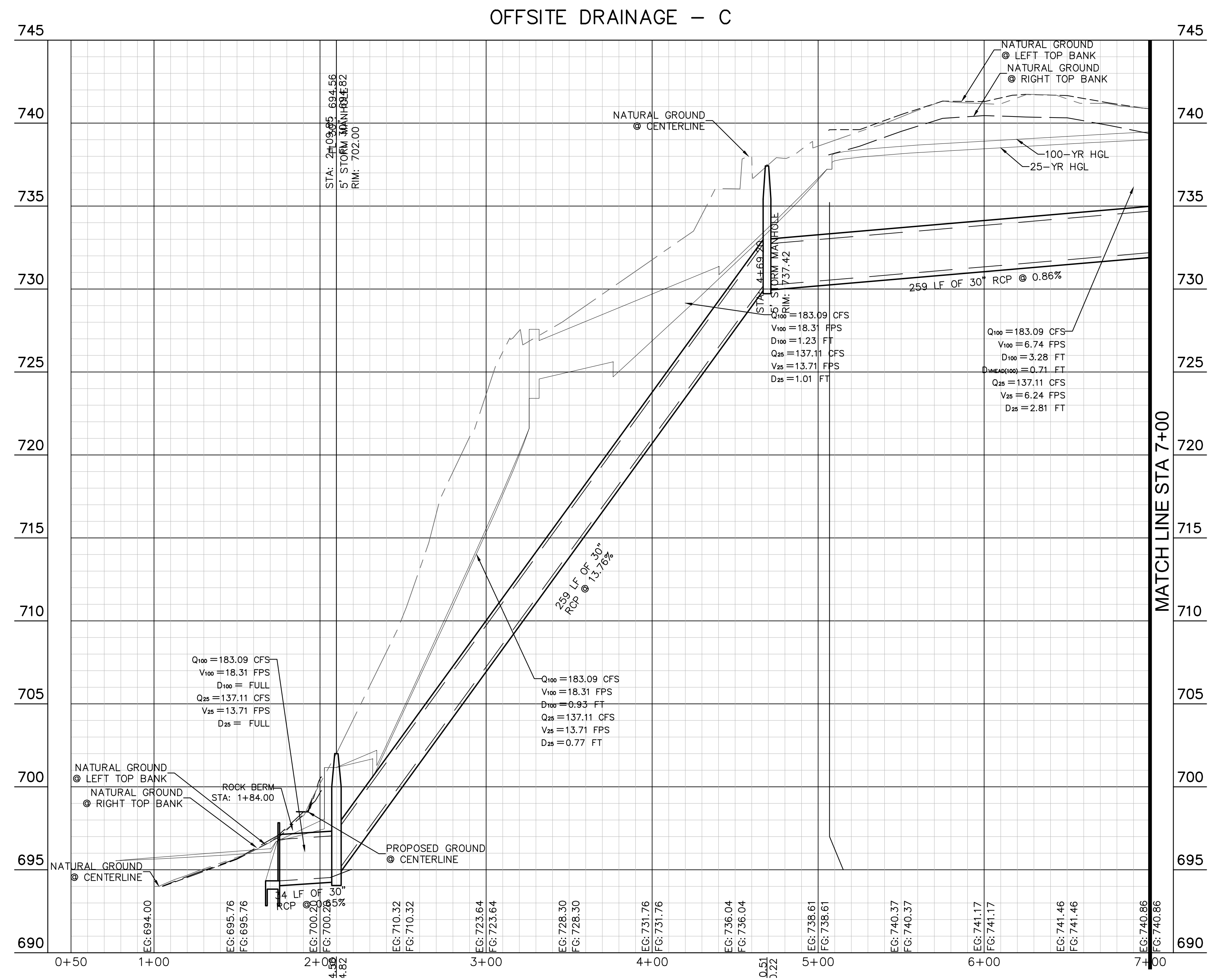
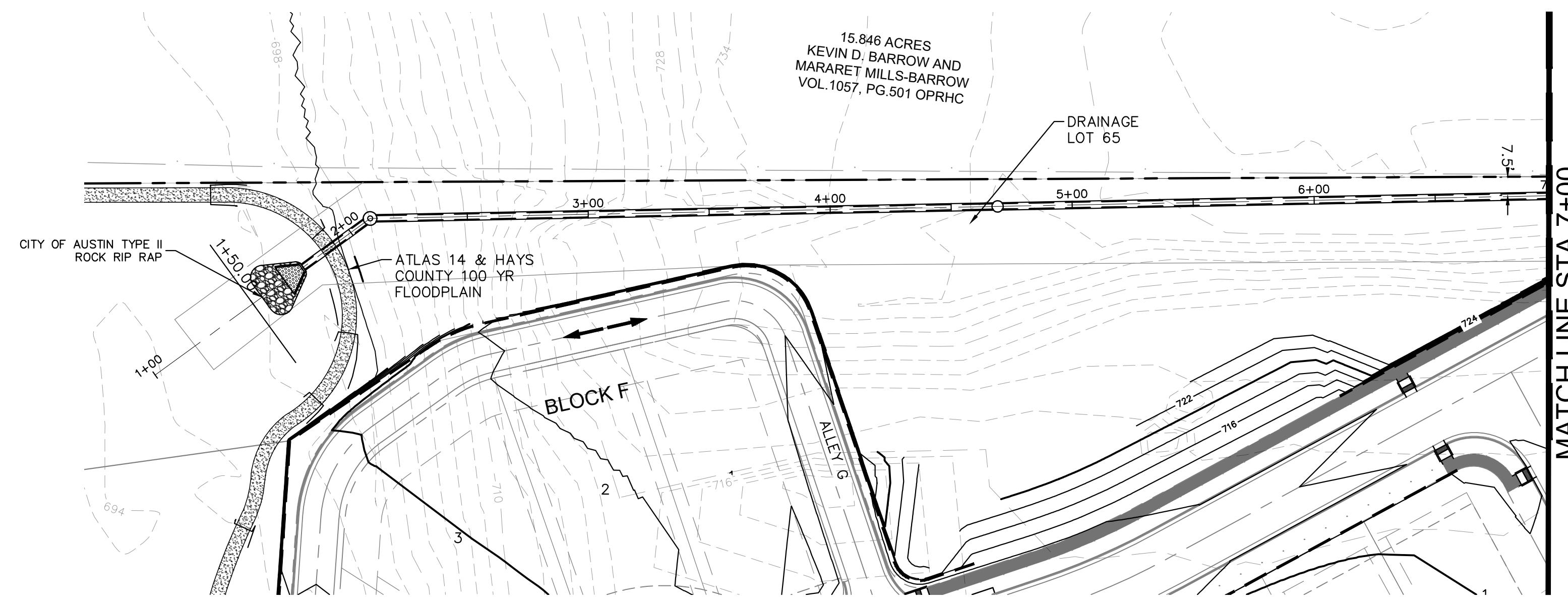
*Aljame E. Granados Rico*

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEG

**OFFSITE DRAINAGE  
CHANNEL B - 2 CROSS  
SECTIONS**

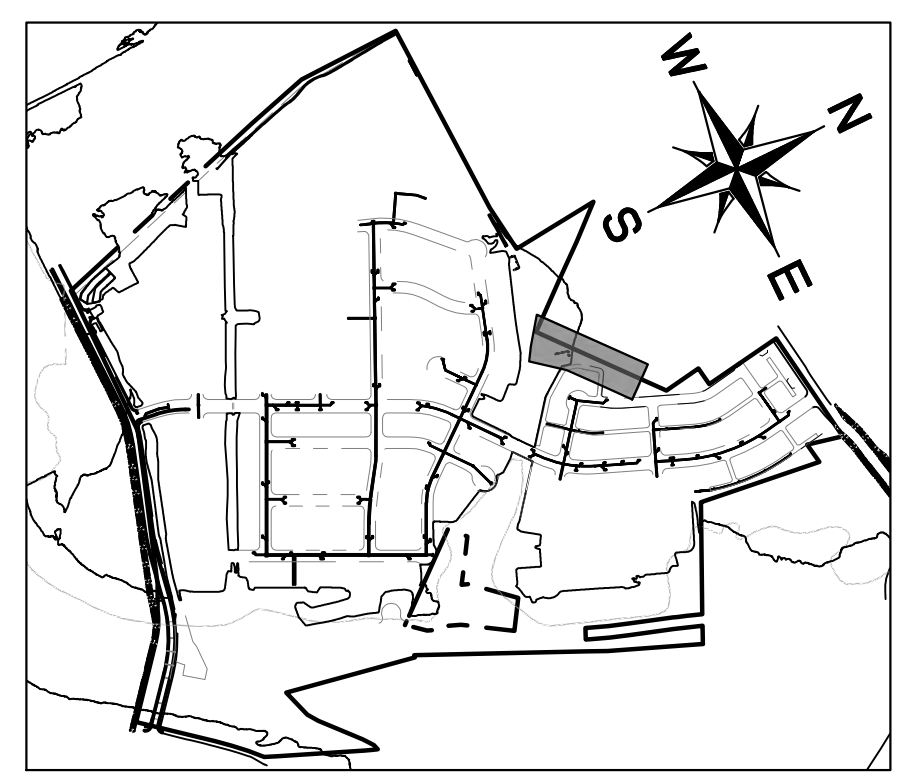
**THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS**

Plotted by: Duffly, Daniel Date: July 17, 2023 09:54:36am File Path: K:\you\_civil\067783115\_meritage\_buda\_assemblage\C-DRAINAGE CHANNELS PLAN & PROFILES.DWG  
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**LEGEND**

---	PROPERTY LINE
55.5 •	PROPOSED SPOT ELEVATION
EX 55.5 •	EXISTING SPOT ELEVATION
TW 55.5 •	PROPOSED TOP OF WALL ELEVATION
BW 55.5 •	PROPOSED BOTTOM OF WALL ELEVATION
EW 55.5 •	PROPOSED END WALL ELEVATION
→	CHANNEL DRAINAGE FLOW DIRECTION
—▲—▲—▲—	PROPOSED RETAINING WALL
▲▲▲	EXPOSED FACE OF RETAINING WALL
555	PROPOSED CONTOUR
- - -	EXISTING CONTOUR



**KEY MAP**  
SCALE: 1:1000

**811**  
Know what's below.  
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**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=725.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING \_\_\_\_\_ N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

No.	REVISIONS	DATE	BY

**Kimley-Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78746  
PH: 512.454.6437  
WWW.KIMLEY-HORN.COM

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TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
130054  
LICENSED PROFESSIONAL ENGINEER  
Alicia E. Lopez-Liu

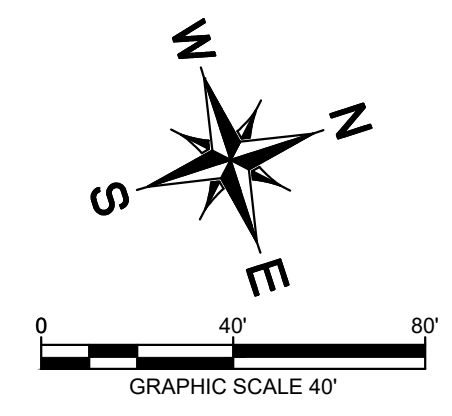
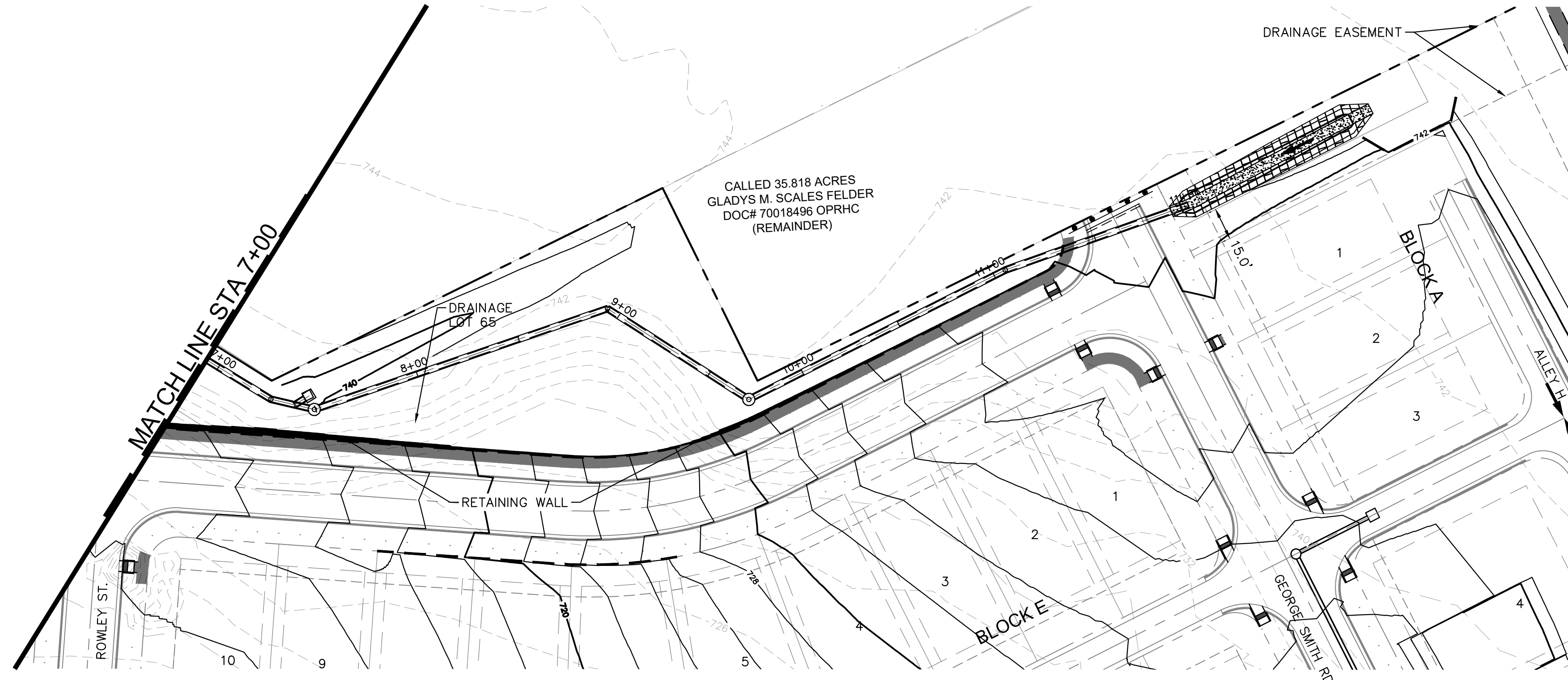
KHA PROJECT 067783115  
DATE JULY 2023  
SCALE AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEG

**OFFSITE DRAINAGE - C (1 OF 2)**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

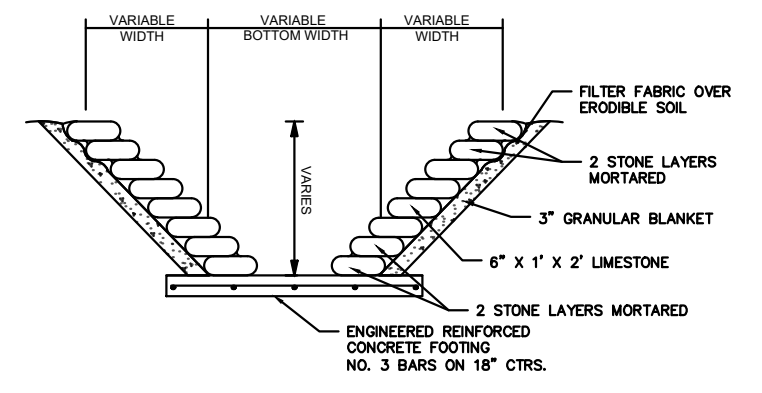
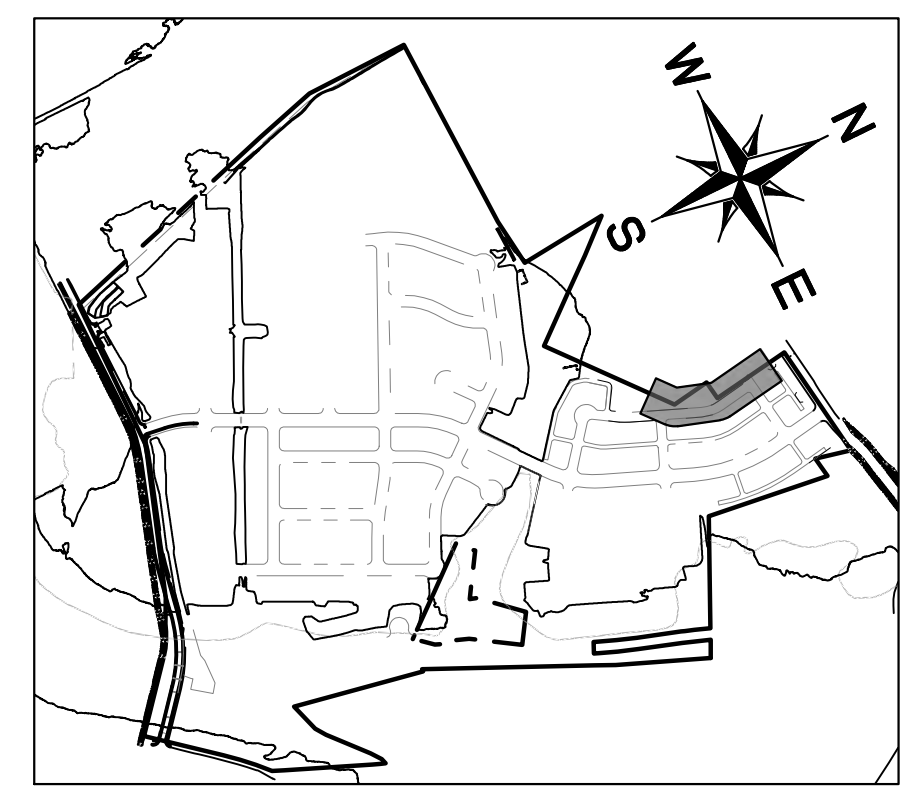
SHEET NUMBER **85**  
OF 226

Plotted by: Duffly, Daniel Date: July 17, 2023 09:54:51am File Path: K:\soul\_civil\067783115\meritage\_buda\_assemble\cad\plansheets\C-Drainage Channels Plan & Profiles.dwg  
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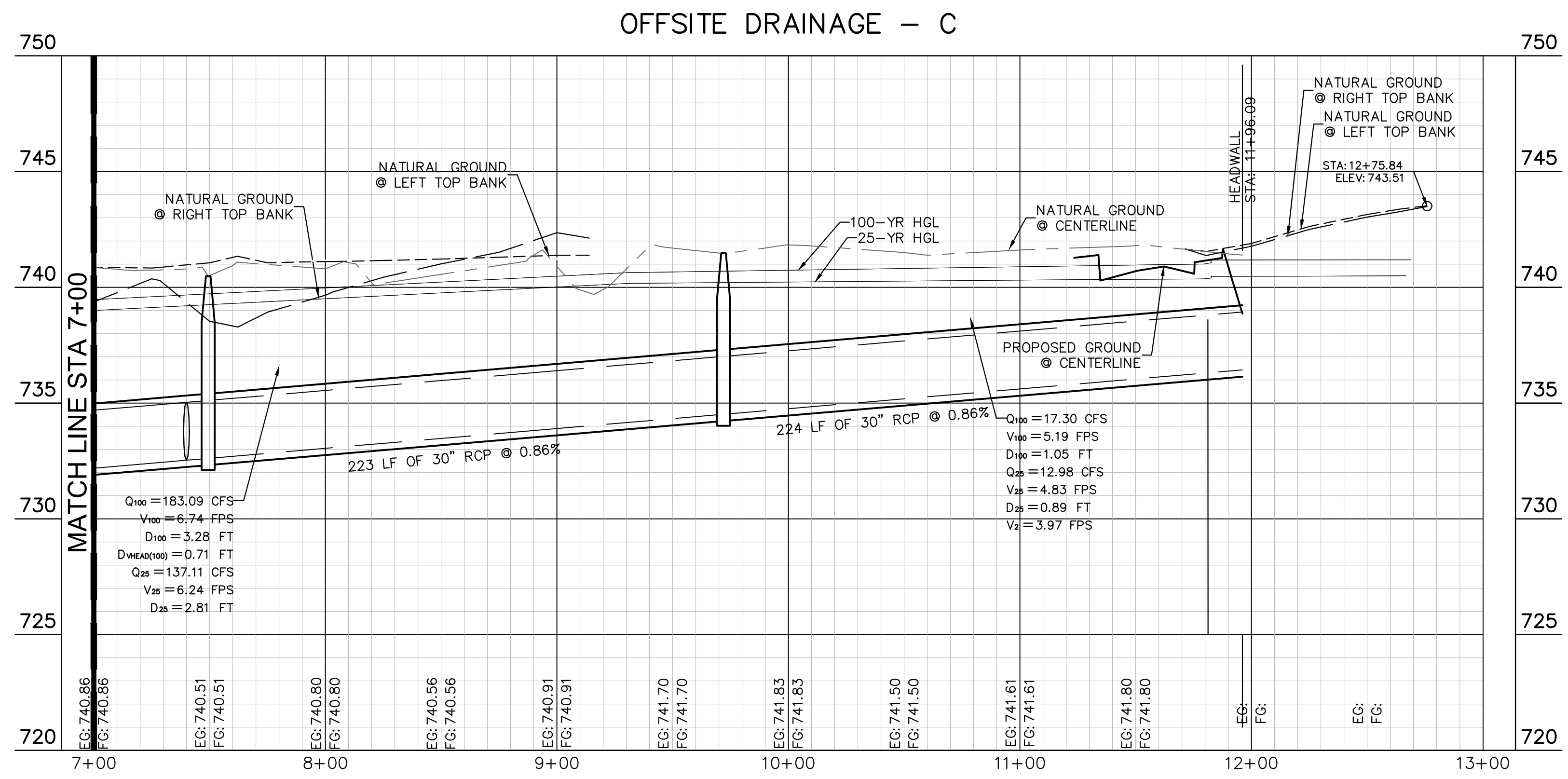
**LEGEND**

---	PROPERTY LINE
55.5 •	PROPOSED SPOT ELEVATION
EX 55.5 •	EXISTING SPOT ELEVATION
TW 55.5 •	PROPOSED TOP OF WALL ELEVATION
BW 55.5 •	PROPOSED BOTTOM OF WALL ELEVATION
EW 55.5 •	PROPOSED END WALL ELEVATION
→	CHANNEL DRAINAGE FLOW DIRECTION
---	PROPOSED RETAINING WALL
▲	EXPOSED FACE OF RETAINING WALL
---	PROPOSED CONTOUR
---	EXISTING CONTOUR



**CHANNEL NOTES:**

- POLYPROPYLENE FIBRILLATED FIBERS, OR 150mm X 150mm X MW9 X MW9 (6" X 6" X W14 X W14) WELDED WIRE FABRIC OR ONE LAYER 10M (#3) BARS PLACED NOT MORE THAN 450mm (18") C.C. BOTH DIRECTIONS. REINFORCEMENT SHALL BE ACCURATELY AT SLAB MID-DEPTH AND HELD FIRMLY IN PLACE BY MEANS OF BAR SUPPORTS OF ADEQUATE STRENGTH AND NUMBER THAT WILL PREVENT DISPLACEMENT AND KEEP THE STEEL AT ITS PROPER POSITION DURING THE PLACEMENT OF THE P.C. CONCRETE. IN NO INSTANCE SHALL THE STEEL BE PLACED DIRECTLY ON THE SUB-GRADE OR SAND CUSHION LAYER.
- FOR FURTHER DETAILS SEE CITY OF AUSTIN "DRY STACK ROCK WALL FOR SLOPE PROTECTION" STANDARD NO. G238-1.



**811**  
Know what's below. Call before you dig.

**BENCHMARKS**

BM #100 1/4" PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 7/4' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV = 712.50 (NAVD 88)

BM #104 1/4" PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRICAL LINES. ELEV = 712.04 (NAVD 88)

BM #106 1/4" PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 712.50 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2: \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3: \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 PH: 512.444.6437  
 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

07/17/2023

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

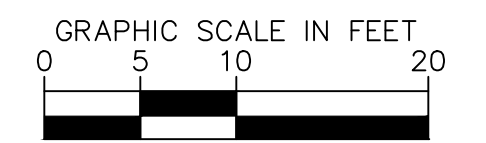
**OFFSITE DRAINAGE - C (2 OF 2)**

SHEET NUMBER **86**  
 OF 226

NO.	REVISIONS	DATE	BY

Plotted By: Duffy, Denial Date: July 17, 2023 09:55:00am File Path: \\sora.civil\067783115\_meritage\_budo\_assemblies\Cad\plan sheets\C-Cross\Drawings\Channels Plan & Profiles.dwg  
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WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION

#### BENCHMARKS

**BENCHMARKS:**  
BM #102 P/N NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 807 702 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF COLE SPRINGS ROAD ELEV: 681.51 (NAVD 88)  
BM #104 P/N NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV: 671.02 (NAVD 88)  
BM #106 P/N NAIL SET IN ASPHALT ON THE SOUTH SIDE OF BUDA COLOR ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV: 732.58 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET      OF 226  
FILE NUMBER      APPLICATION DATE       
APPROVED BY COMMISSION ON      UNDER THE CITY OF BUDA  
UNIFIED DEVELOPMENT CODE       
EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE:      ZONING N/A

Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3

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PERMIT NUMBER: 2021-737

OFFSITE DRAINAGE  
CHANNEL - C CROSS  
SECTIONS

THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER  
**87**  
OF 226

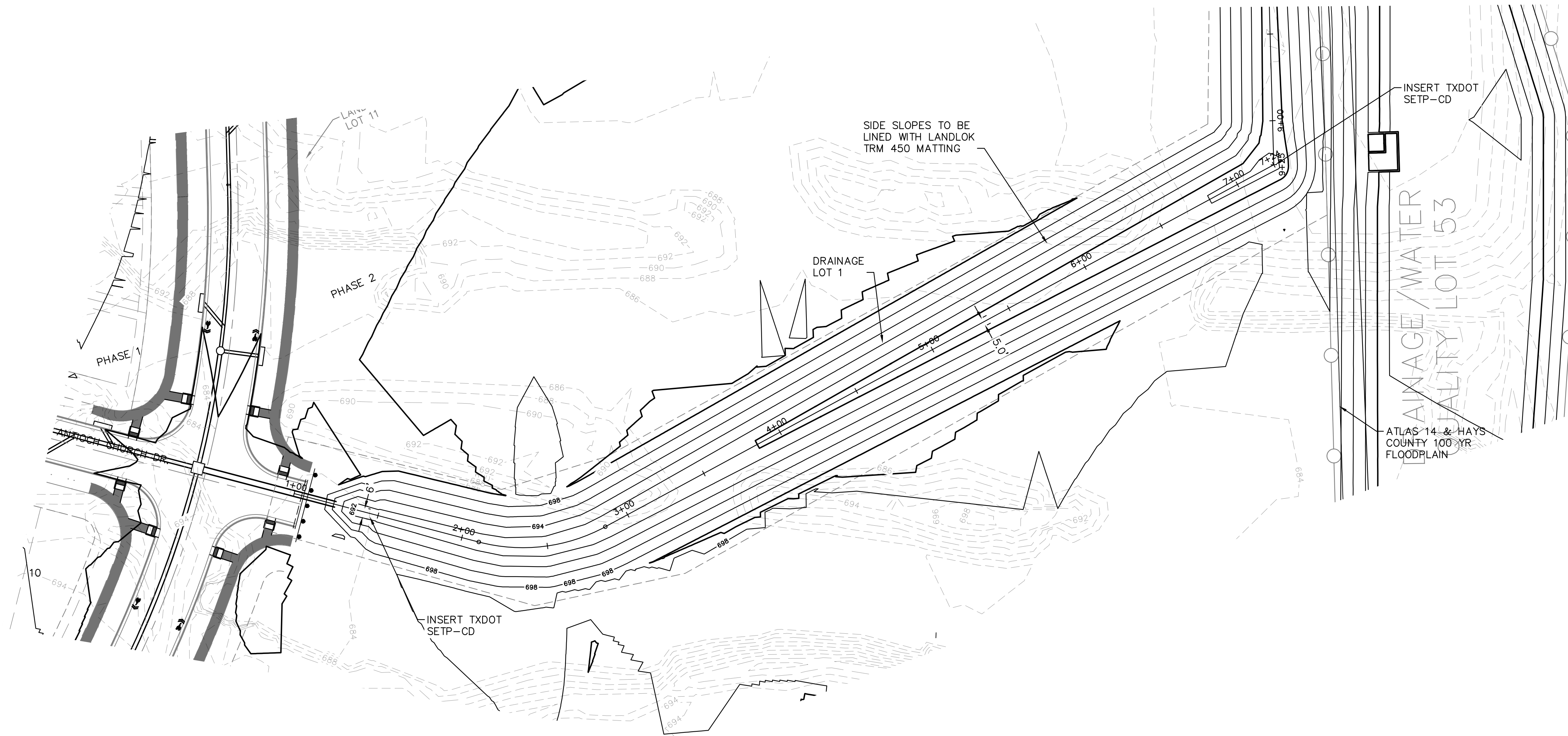
KHA PROJECT  
067783115  
DATE  
JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,MM,HL,DM  
CHECKED BY: AEG



**Kimley»Horn**  
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AUSTIN, TX 78735  
PHONE: 512-646-2237  
WWW.KIMLEY-HORN.COM  
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TBP# Firm No. 928

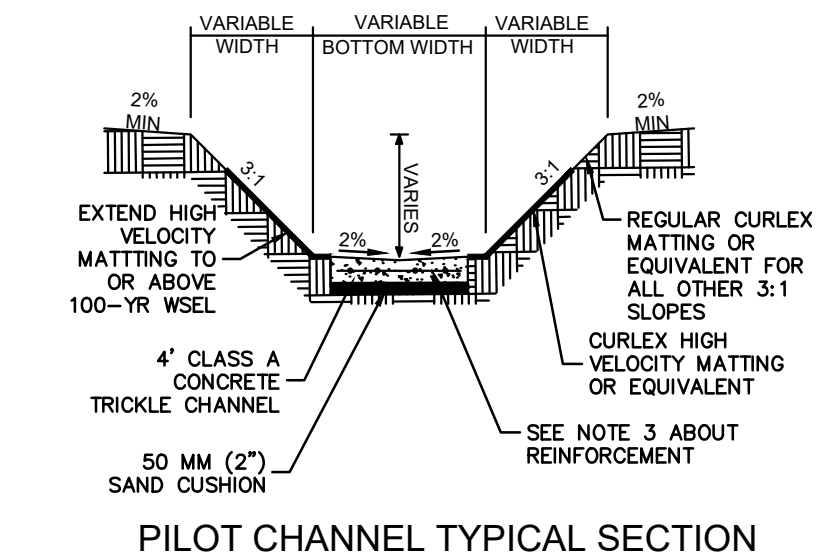
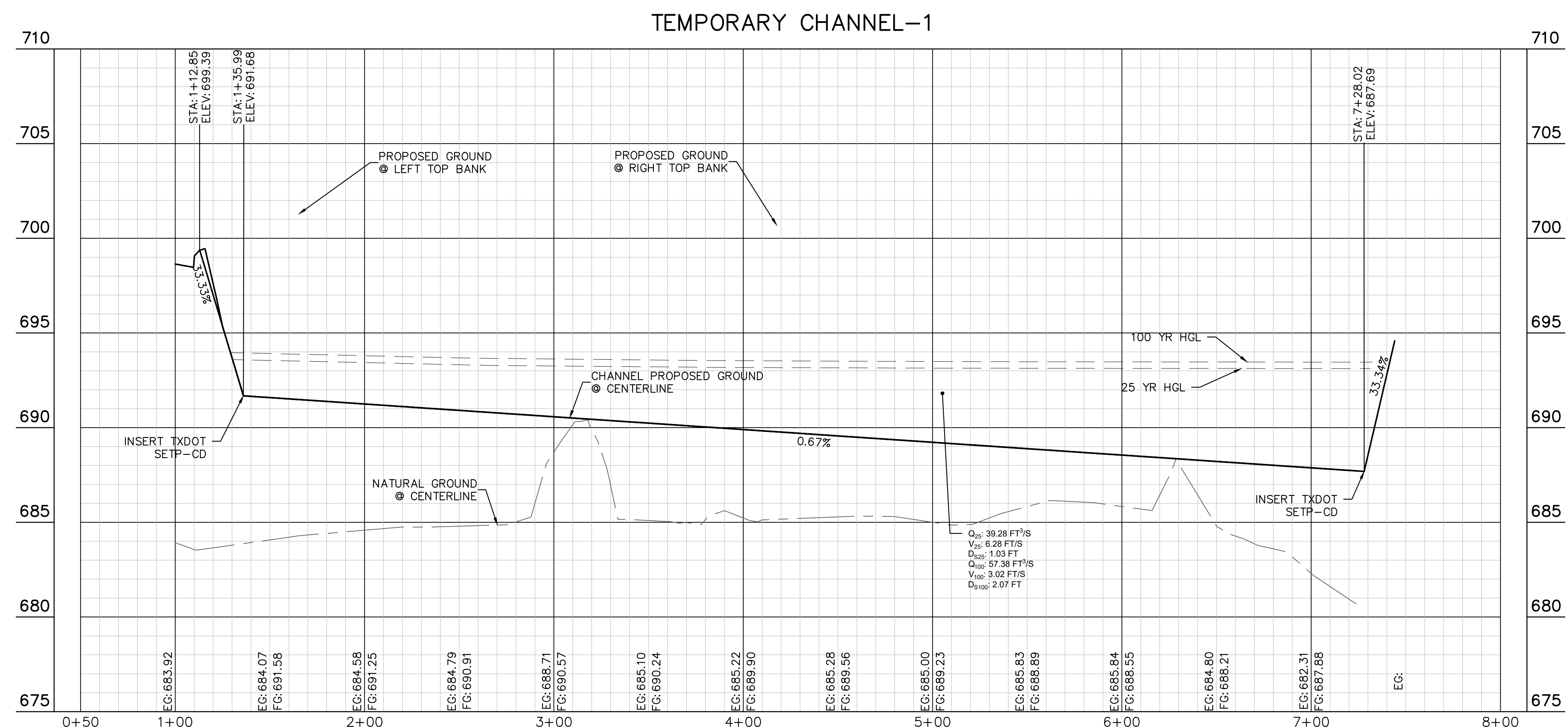
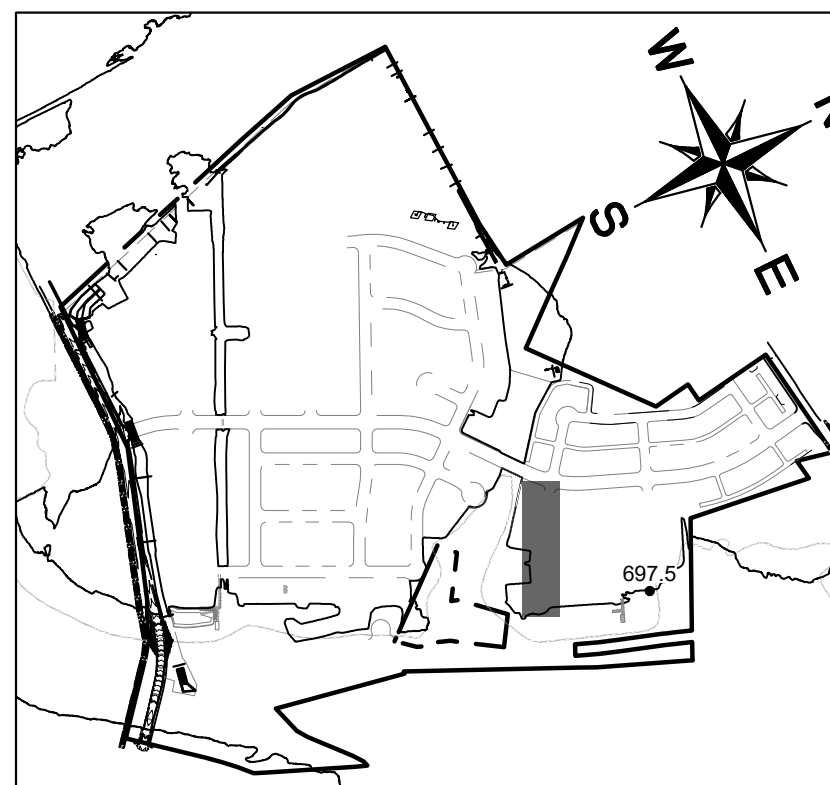
No.	REVISIONS	DATE	BY

Plotted by: Duffy, Daniel Date: July 17, 2023 09:55:18am File Path: K:\soul\_civil\067783115\_meritage\_buda\_assemblage\cad\plansheets\C-Drainage Channels Plan & Profiles.dwg  
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**LEGEND**

---	PROPERTY LINE
55.5 •	PROPOSED SPOT ELEVATION
EX 55.5 •	EXISTING SPOT ELEVATION
TW 55.5 •	PROPOSED TOP OF WALL ELEVATION
BW 55.5 •	PROPOSED BOTTOM OF WALL ELEVATION
EW 55.5 •	PROPOSED END WALL ELEVATION
→	CHANNEL DRAINAGE FLOW DIRECTION
—▲—▲—▲—	PROPOSED RETAINING WALL
▲	EXPOSED FACE OF RETAINING WALL
—555—	PROPOSED CONTOUR
- - - 555 - - -	EXISTING CONTOUR



**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=72.87 (NAVD '88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD '88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD '88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**

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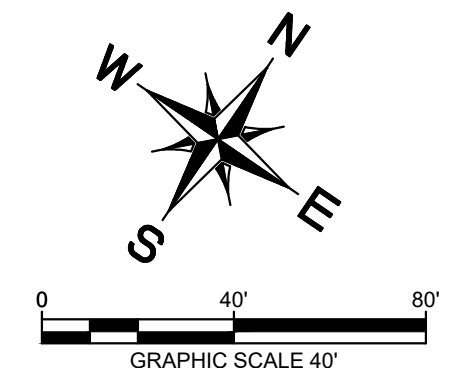
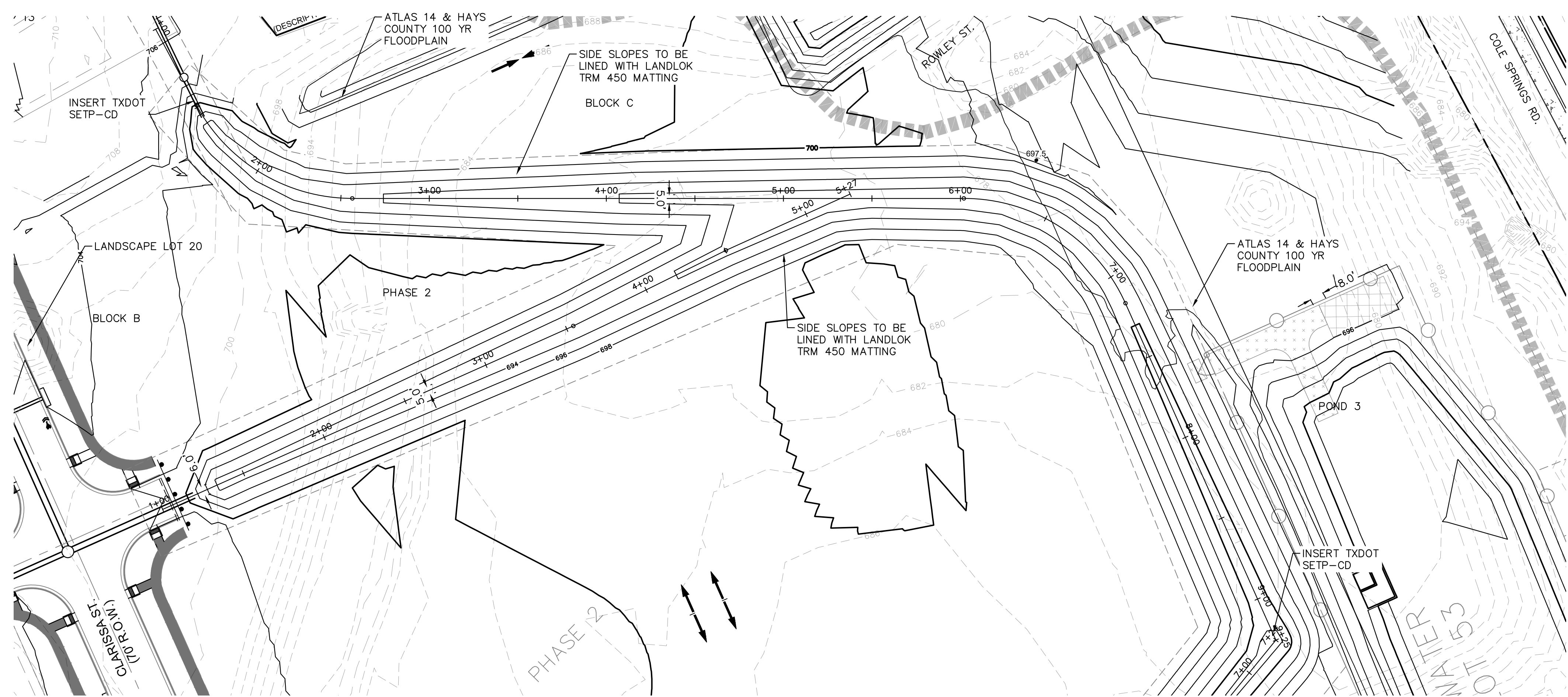
**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

**TEMPORARY DRAINAGE CHANNEL - 1**

SHEET NUMBER **88**  
 OF 226

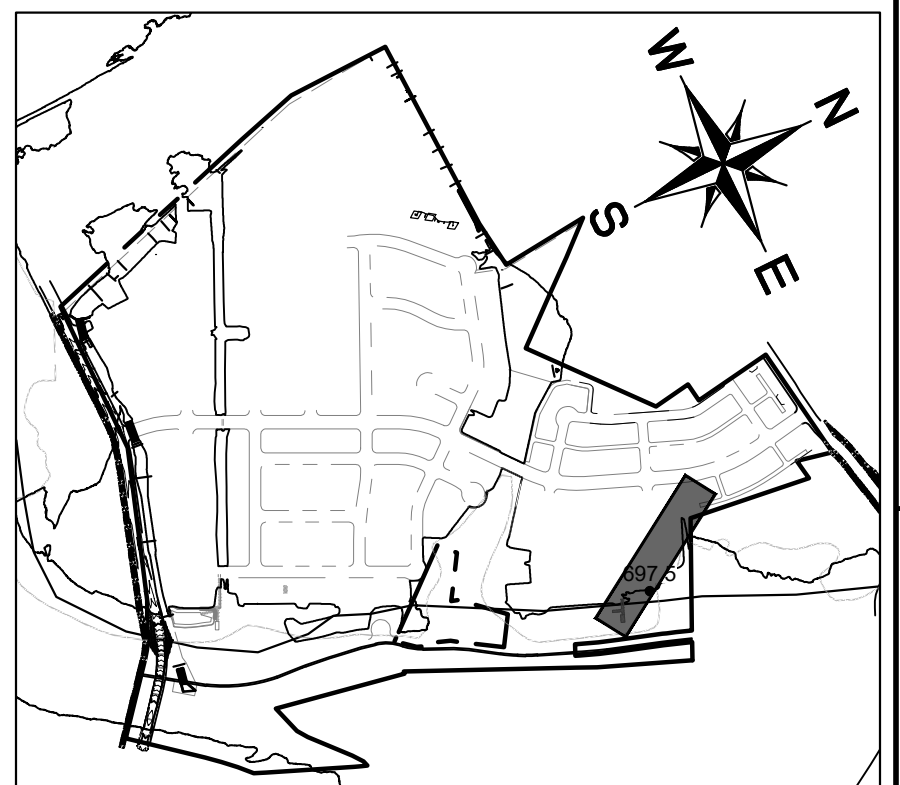
DATE \_\_\_\_\_ BY \_\_\_\_\_  
 REVISIONS \_\_\_\_\_

Plotted by: Duffly, Daniel Date: July 17, 2023 09:56:35am File Path: K:\you\_civil\067783115\_meritage\_buda\_assemblies\067783115\_Drainage\_Channels\_Plan & Profiles.dwg  
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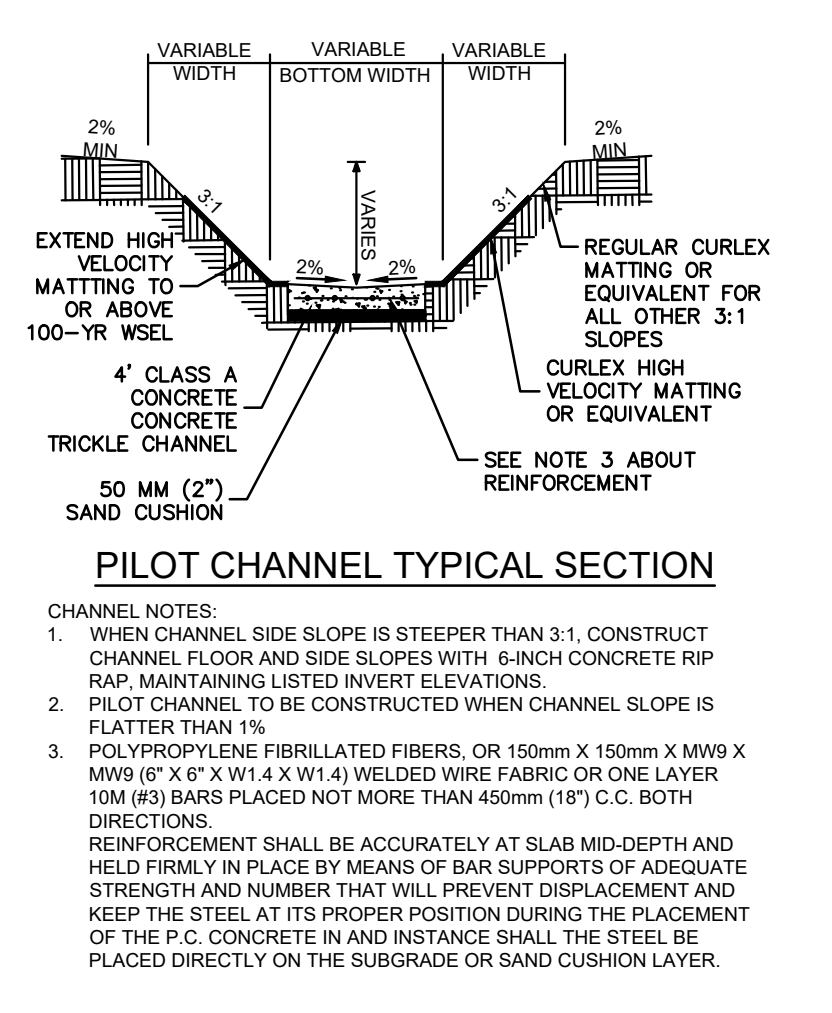
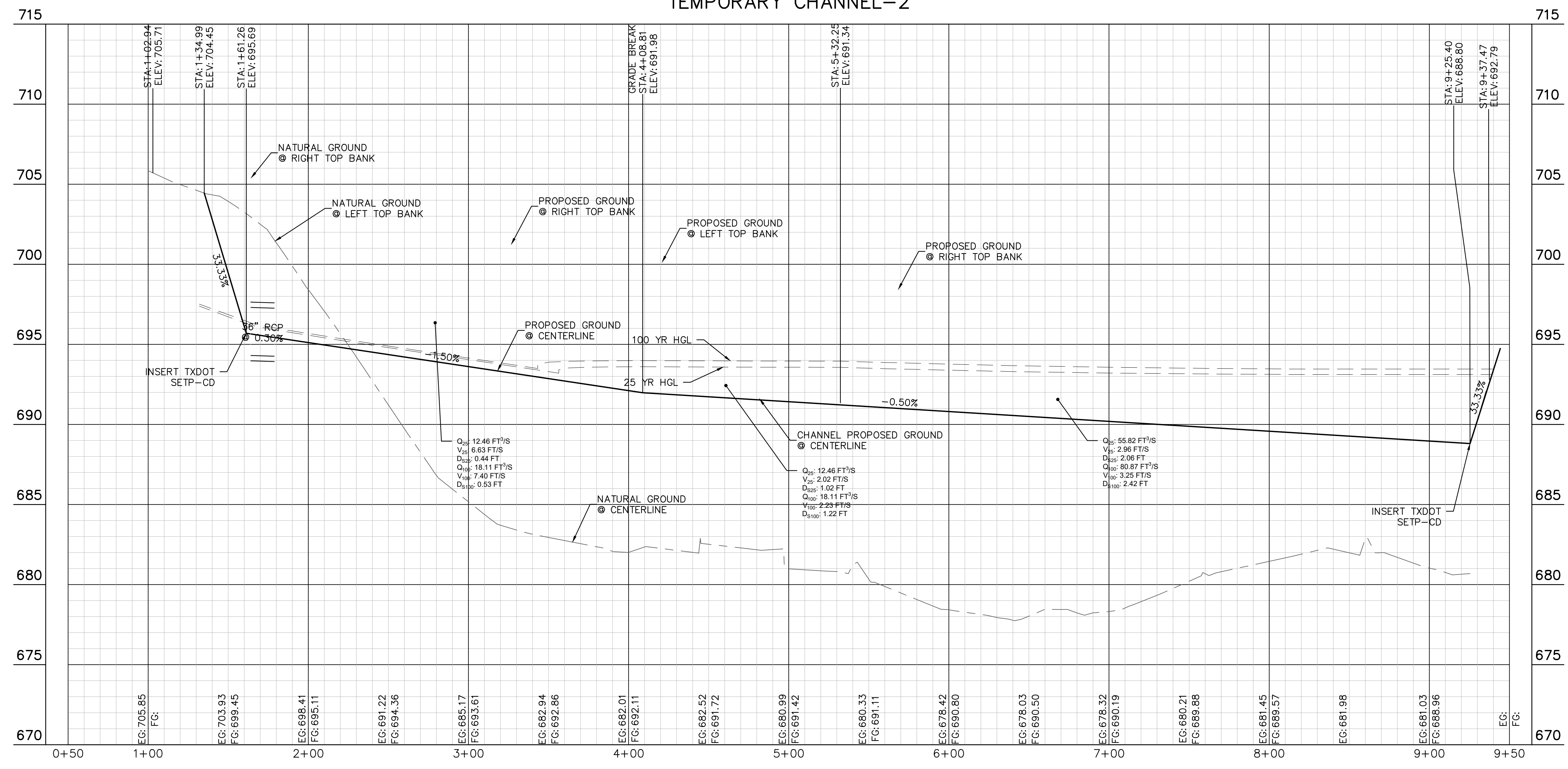


**LEGEND**

---	PROPERTY LINE
55.5	PROPOSED SPOT ELEVATION
EX 55.5	EXISTING SPOT ELEVATION
TW 55.5	PROPOSED TOP OF WALL ELEVATION
BW 55.5	PROPOSED BOTTOM OF WALL ELEVATION
EW 55.5	PROPOSED END WALL ELEVATION
→	CHANNEL DRAINAGE FLOW DIRECTION
—	PROPOSED RETAINING WALL
▲	EXPOSED FACE OF RETAINING WALL
555	PROPOSED CONTOUR
555	EXISTING CONTOUR



TEMPORARY CHANNEL-2



**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARKS**

- BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77'2" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD (NAVD 88) ELEV=712.04
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW ON THREE OVERHEAD ELECTRIC LINES (NAVD 88) ELEV=712.04
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE (NAVD 88) ELEV=712.56

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

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**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

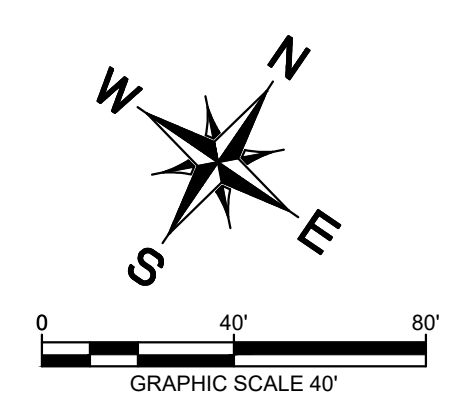
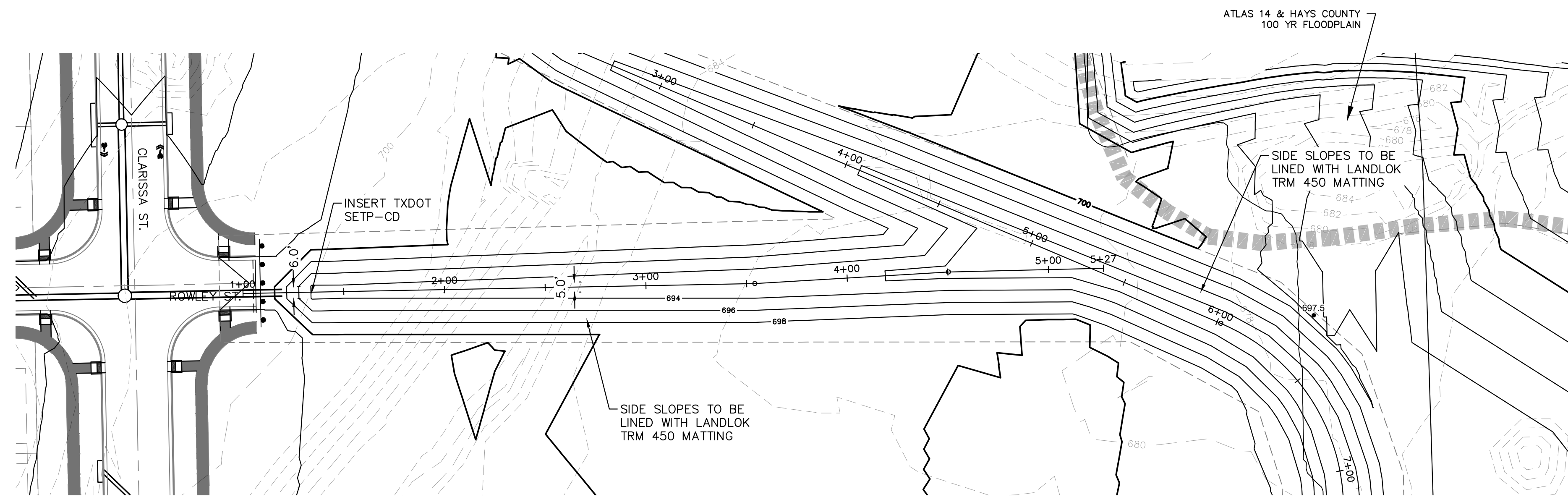
**TEMPORARY DRAINAGE CHANNEL - 2**

SHEET NUMBER: 89  
 OF 226

DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_

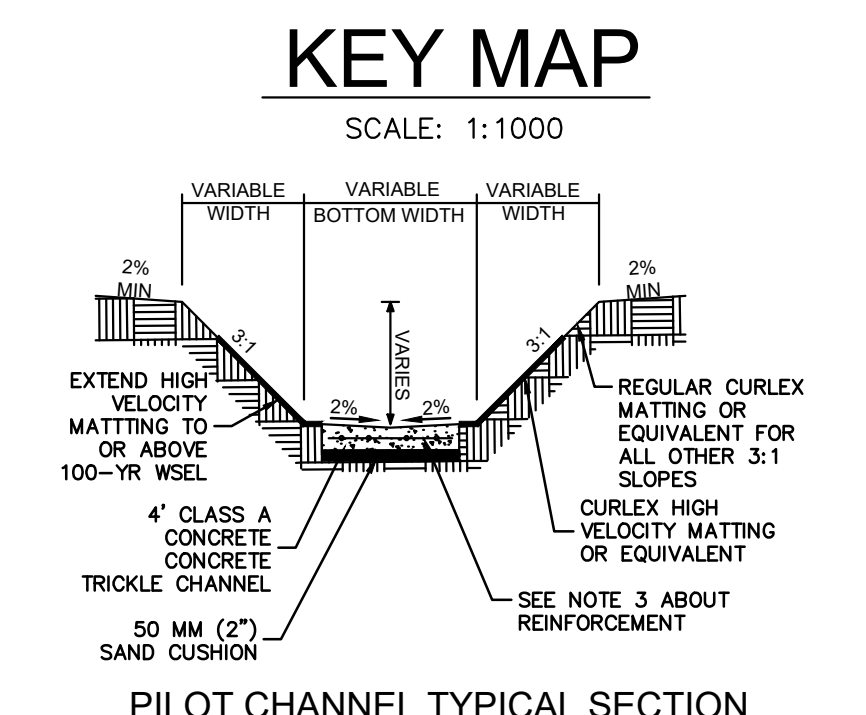
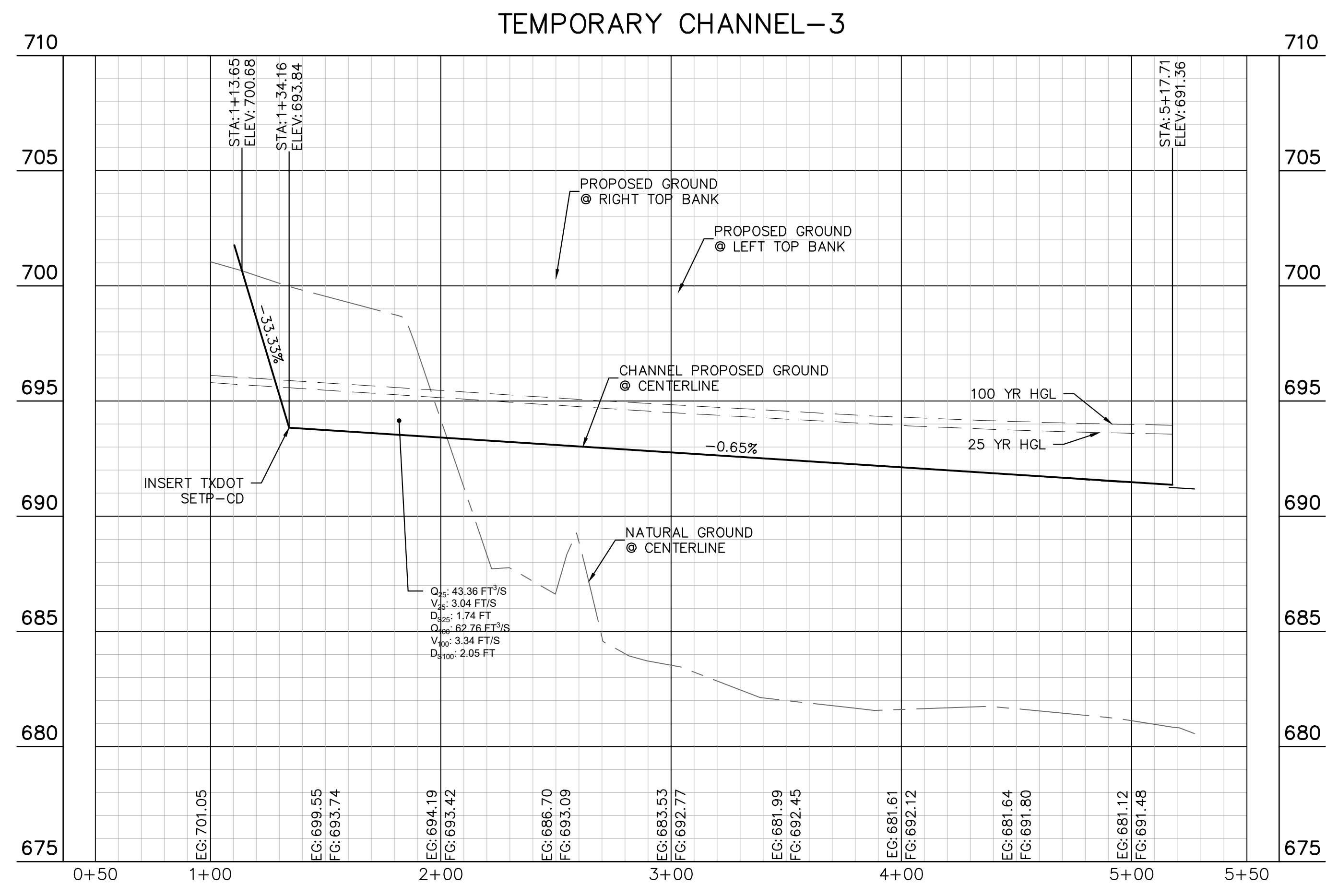
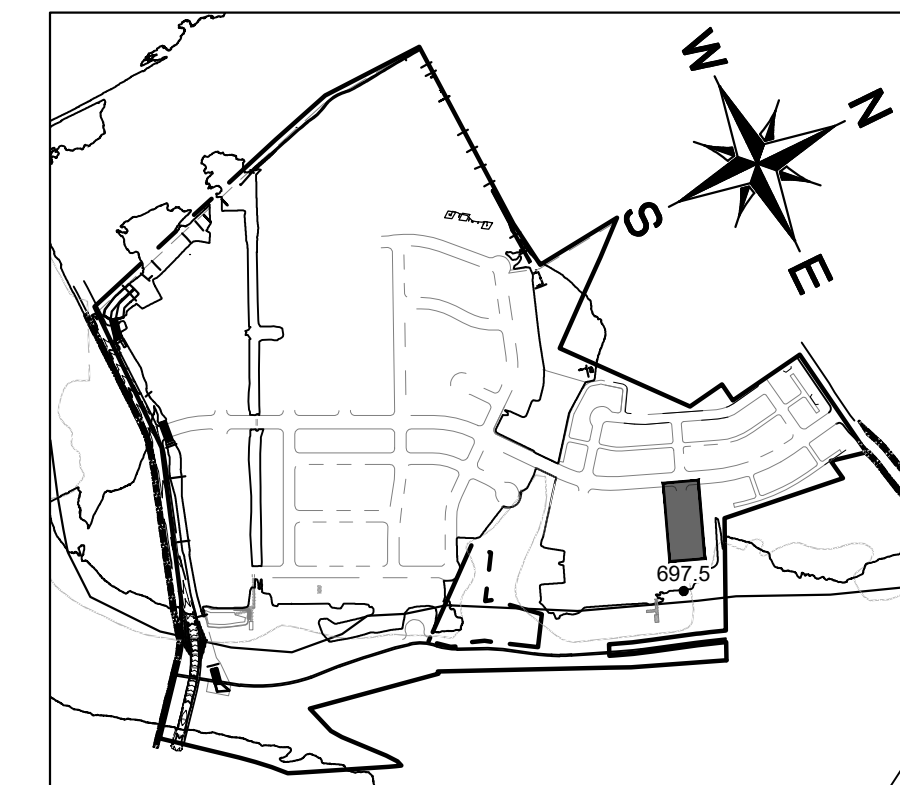


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**LEGEND**

---	PROPERTY LINE
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EX 55.5 •	EXISTING SPOT ELEVATION
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→	CHANNEL DRAINAGE FLOW DIRECTION
—	PROPOSED RETAINING WALL
▲	EXPOSED FACE OF RETAINING WALL
—555	PROPOSED CONTOUR
-555	EXISTING CONTOUR



**PILOT CHANNEL TYPICAL SECTION**

CHANNEL NOTES:

- WHEN CHANNEL SIDE SLOPE IS STEEPER THAN 3:1, CONSTRUCT CHANNEL FLOOR AND SIDE SLOPES WITH 6-INCH CONCRETE RIP RAP, MAINTAINING LISTED INVERT ELEVATIONS.
- PILOT CHANNEL TO BE CONSTRUCTED WHEN CHANNEL SLOPE IS FLATTER THAN 1%.
- POLYPROPYLENE FIBRILLATED FIBERS, OR 150mm X 150mm X MW9 X MW9 (6" X 6" X W1.4 X W1.4) WELDED WIRE FABRIC OR ONE LAYER 10M (#5) BARS PLACED NOT MORE THAN 450mm (18") C.C. BOTH DIRECTIONS.

REINFORCEMENT SHALL BE ACCURATELY AT SLAB MID-DEPTH AND HELD FIRMLY IN PLACE BY MEANS OF BAR SUPPORTS OF ADEQUATE STRENGTH AND NUMBER THAT WILL PREVENT DISPLACEMENT AND KEEP THE STEEL AT ITS PROPER POSITION DURING THE PLACEMENT OF THE P.C. CONCRETE IN AND INSTANTLY SHALL THE STEEL BE PLACED DIRECTLY ON THE SUBGRADE OR SAND CUSHION LAYER.

**811**  
Know what's below. Call before you dig.

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897.794 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=72.04 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=72.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE WEST SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=72.56 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**

City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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PERMIT NUMBER: 2021-737

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**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

**TEMPORARY DRAINAGE CHANNEL - 3**

SHEET NUMBER **90**  
OF 226

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEG

REVISIONS

No.	DATE	BY

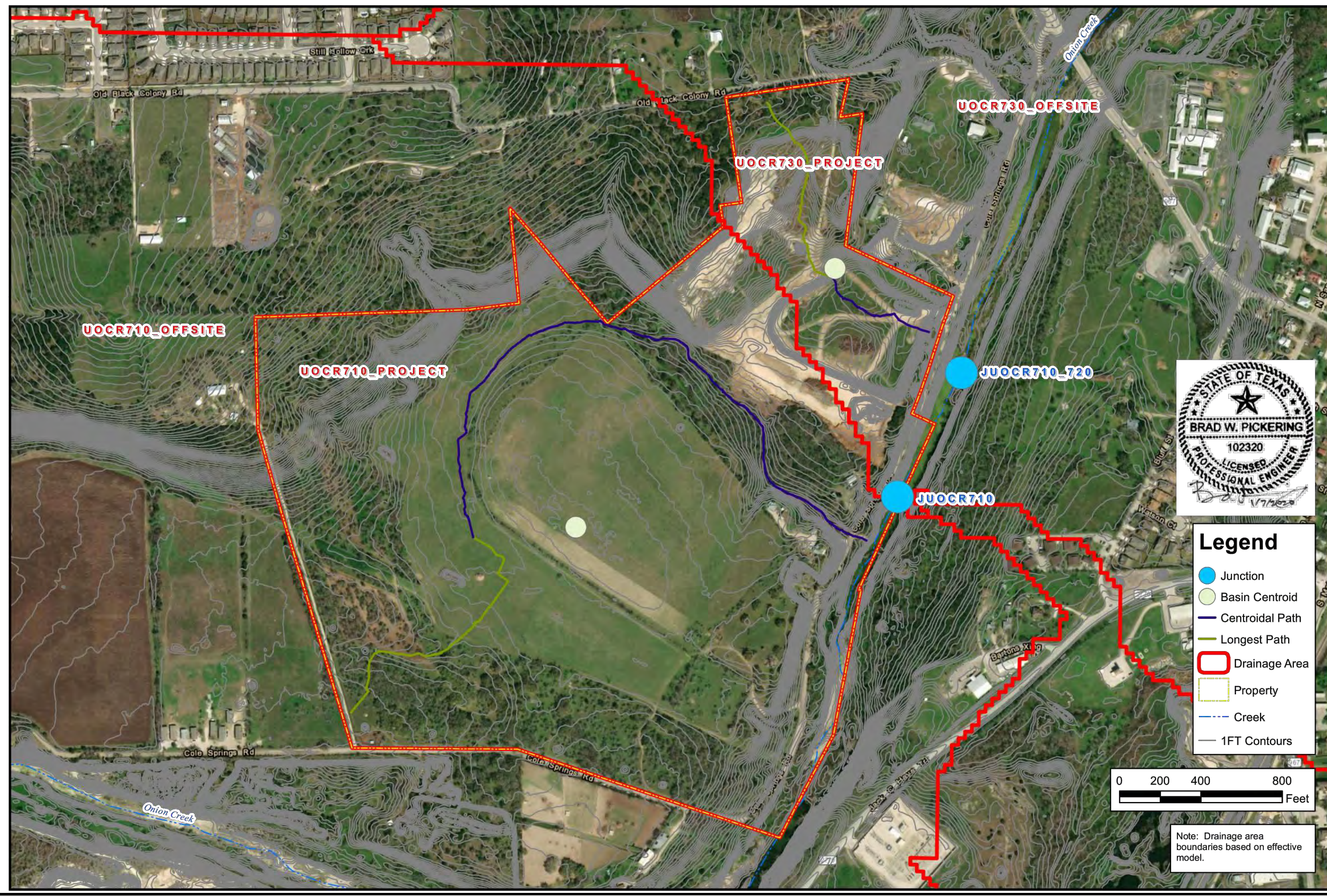
Plotted by: Garner, Mikael Date: July 17, 2023 08:15:53am File Path: K:\saw\_civ\067783115\_meritage\_buda\_assemble\Cad\plansheets\C-Existing Drainage Area Map.dwg  
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HMS BASIN PARAMETERS														
Subbasin	Area (ac)	LOSSES				TRANSFORM				SMYDER UNIT HYDROGRAPH				
		SCS CURVE NUMBER	Initial Abstractions (in)			Standard Lag (hr) = $t_p$	Peak Discharge (cfs)			Peak Lag (hr) = $t_p$				
Basin	Subbasin	Area (ac)	2YR	10YR	25YR	100YR	CN	Impervious %	$C_r$	L (hr)	$L_{eq}$ (hr)	$t_p$ (hr)	$C_o$	
UnionBasin	UOCR70	3,414	2185	2.0	1.9	1.5	0.5	82	20.0	0.65	3.36	2.27	1.20	0.75
REVEK	UOCR70_PROJECT	0.028	146	2.0	1.9	1.5	0.5	82	0.0	0.61	0.95	0.86	0.53	0.75
REVEK	UOCR70_OFFSITE	2,300	1472	2.0	1.9	1.5	0.5	82	16.5	0.61	3.57	1.90	1.07	0.75
PROP	UOCR70_PROJECT	0.235	150	2.0	1.9	1.5	0.5	82	44.0	0.51	0.98	0.61	0.44	0.75
PROP	UOCR70_OFFSITE	2,300	1472	2.0	1.9	1.5	0.5	82	16.5	0.61	3.57	1.90	1.07	0.75
UnionBasin	UOCR70	3,414	2185	2.0	1.9	1.5	0.5	82	20.0	0.65	3.36	2.27	1.20	0.75
REVEK	UOCR70_PROJECT	0.028	24	2.0	1.9	1.5	0.5	82	0.0	0.65	0.32	0.12	0.24	0.75
REVEK	UOCR70_OFFSITE	3,376	2161	2.0	1.9	1.5	0.5	82	20.2	0.65	3.36	2.27	1.20	0.75
PROP	UOCR70_PROJECT	0.031	20	2.0	1.9	1.5	0.5	82	44.0	0.55	0.92	0.11	0.20	0.75
PROP	UOCR70_OFFSITE	3,376	2161	2.0	1.9	1.5	0.5	82	20.2	0.65	3.36	2.27	1.20	0.75

**LAG TIME CALCULATIONS**

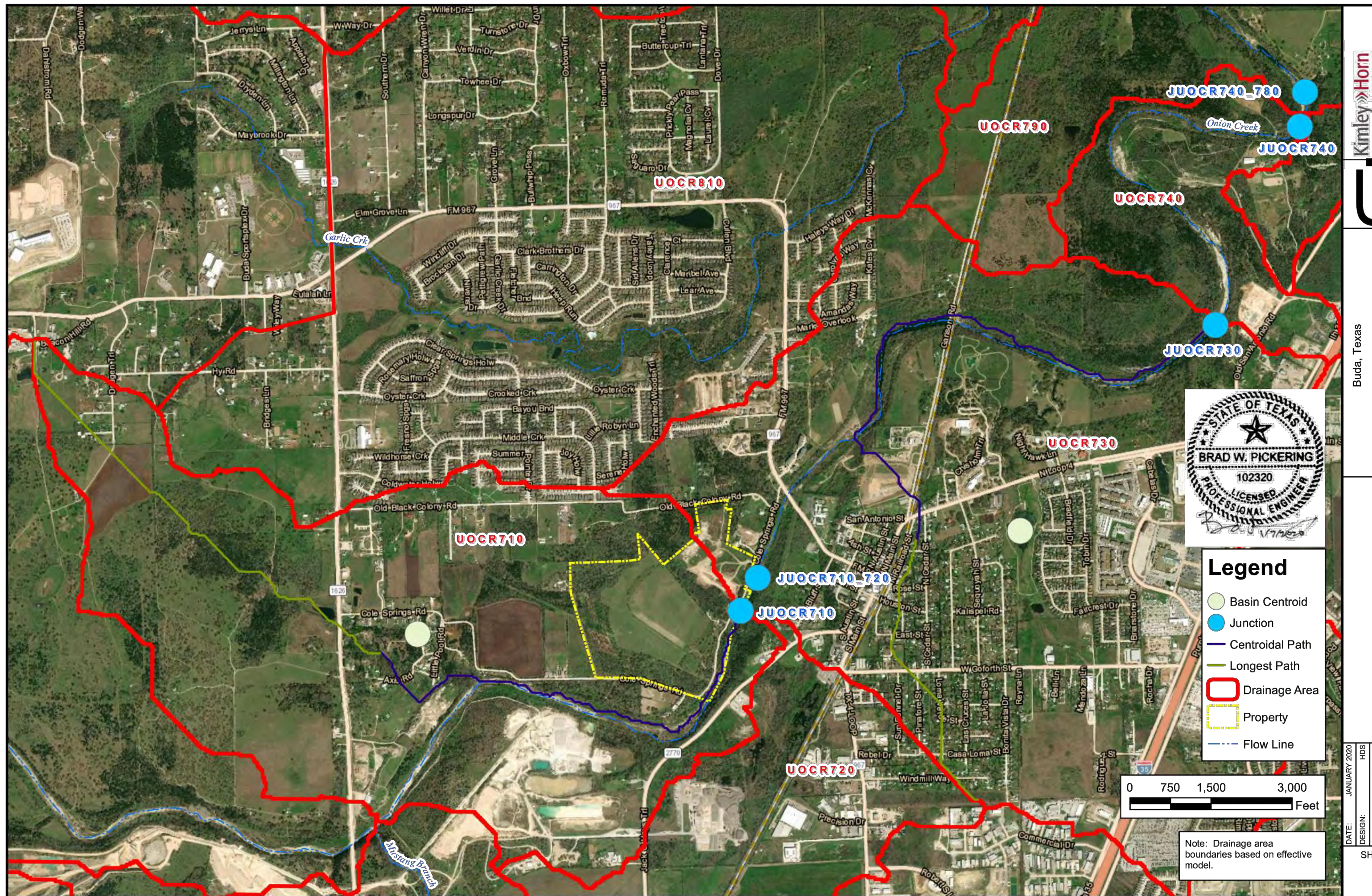
Lag Time (Union Creek Effective Hydraulic Model)																	
s/c Station	Dist (ft)	2 YR Velocity				10 YR Velocity				25 YR Velocity				100 YR Velocity			
		RAS Vel (fps)	Avg Vel (fps)	Time (sec)	Time (min)	RAS Vel (fps)	Avg Vel (fps)	Time (sec)	Time (min)	RAS Vel (fps)	Avg Vel (fps)	Time (sec)	Time (min)	RAS Vel (fps)	Avg Vel (fps)	Time (sec)	Time (min)
318897	2.90	—	—	—	5.07	—	—	—	6.23	—	—	—	8.11	—	—	—	—
317934	963	3.05	3.0	324	6.29	5.7	170	7.44	6.8	141	9.37	8.7	110	—	—	—	—
Total Lag (sec)		324				170				141				110			
Total Lag (min)		5.4				2.8				2.3				1.8			

**LOCAL DRAINAGE AREA MAP**



Buda, Texas  
**Kimley-Horn**  
MERITAGE TIMING STUDY  
LOCAL EXISTING DRAINAGE AREA MAP  
DATE: JANUARY 2020  
REVISION: 01  
DRAWN: WBS  
CHECKED: WBS  
SCALE: AS SHOWN  
SHEET 1

**REGIONAL DRAINAGE AREA MAP**



Buda, Texas  
**Kimley-Horn**  
MERITAGE TIMING STUDY  
REGIONAL DRAINAGE AREA MAP  
DATE: JANUARY 2020  
REVISION: 01  
DRAWN: WBS  
CHECKED: WBS  
SCALE: AS SHOWN  
SHEET 3

**PEAK FLOW RESULTS**

Junction	2YR			10YR		
	REVEK Peak (cfs)	PROP Peak (cfs)	DET/PROP Peak (cfs)	REVEK Peak (cfs)	PROP Peak (cfs)	DET/PROP Peak (cfs)
UOCR70_PROJECT	13	134	134	122	233	233
710 DETENTION	—	12	—	—	222	222
JUOCR70	254	254	254	7	2208	2208
JUOCR70_720	3	27	27	24	83	83
JUOCR70	2531	2531	2539	0	22462	22464
JUOCR70_720	2525	2525	2533	0	22479	22481
JUOCR70_620	2525	2525	2533	0	22563	22566
JUOCR70_520	2516	2516	2524	0	22638	22637
JUOCR70_420	2540	2541	2549	1	22908	22900
JUOCR70_320	2540	2540	2548	0	22861	22862
JUOCR70_220	2537	2537	2545	0	23004	23005
UNION CREEK	3116	3116	3124	0	26065	26067

NOTES:  
1) FLOW INFORMATION PER APPROVED MERITAGE COLE SPRINGS DETENTION WAIVER REQUEST DATED JANUARY, 2020.

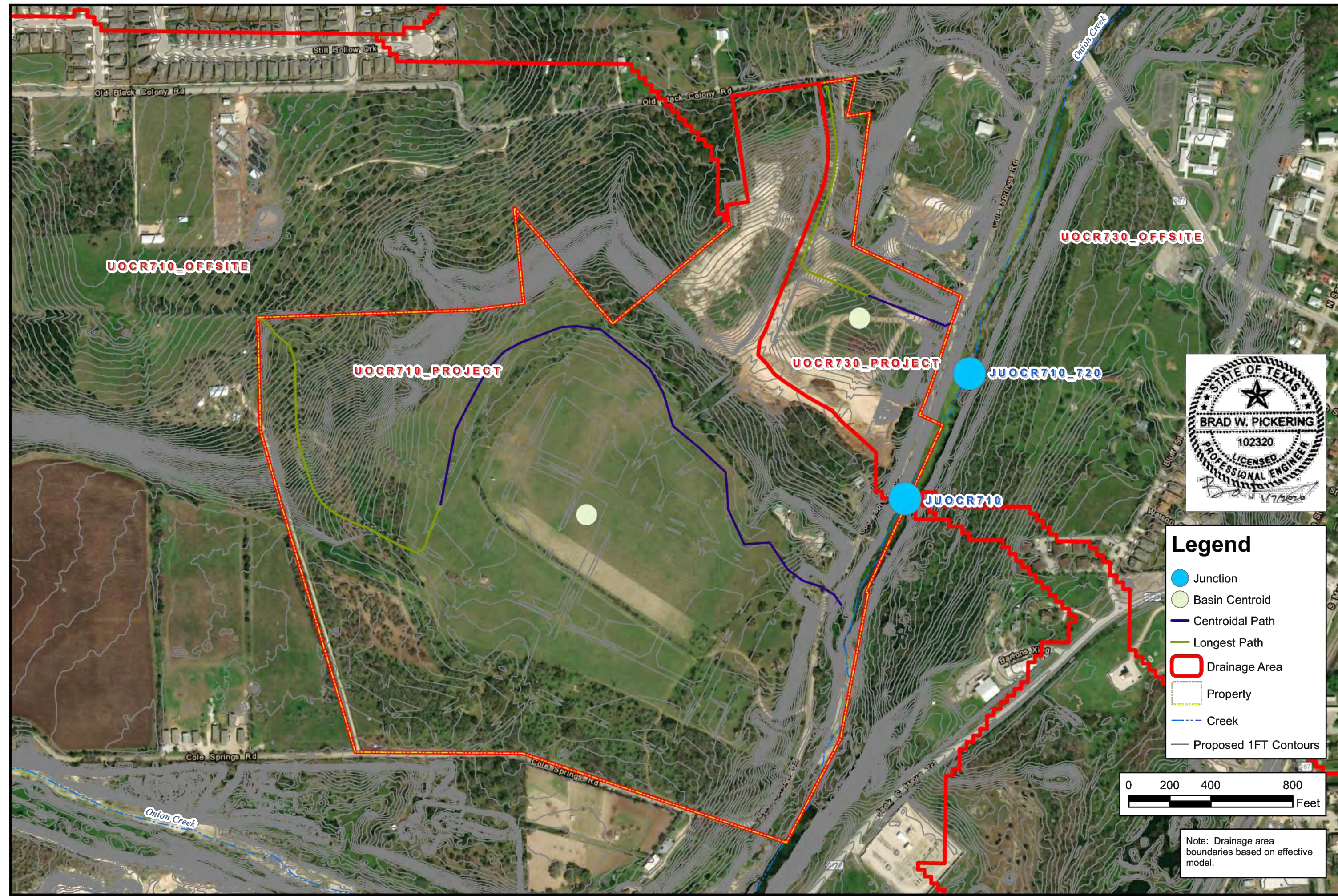


**BENCHMARKS**  
BM #00 - 1/4" NAIL SET IN THE MIDDLE OF A CURB IN SET ON THE WEST SIDE OF FM 2710 NORTH OF THE EDGE NORTH RIVER OF FLOW OVERHEAD ELECTRIC LINES (ELEV=712.04 (NAVD 88))  
BM #04 - 1/4" NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES (ELEV=712.04 (NAVD 88))  
BM #06 - 1/4" NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE (ELEV=712.56 (NAVD 88))

CONSTRUCTION PLAN APPROVAL SHEET OF 226  
FILE NUMBER: 2021-737 APPLICATION DATE: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
EXPIRATION DATE: 2021-737 CASE NUMBER: 08/16/2021  
A. KENNEDY  
City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE, ZONING: N/A  
Rev. 1: Correction 1  
Rev. 2: Correction 2  
Rev. 3: Correction 3  
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.  
PERMIT NUMBER: 2021-737  
IPC

EXISTING DRAINAGE AREA MAP  
THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS  
SHEET NUMBER 91 OF 226

Kimley-Horn  
5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78745  
WWW.KIMLEY-HORN.COM  
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TBE Firm No. 928  
KHA PROJECT 067783115  
DATE JULY 2023  
SCALE AS SHOWN  
DESIGNED BY: WBS/DW  
DRAWN BY: WBS/HM/MH/DW  
CHECKED BY: AEC  
REVISIONS: No. DATE BY



Buda, Texas  
**Kimley & Horn**  
1400 Woodland Forest Dr., Suite 225  
3115 Spring Hill Drive  
P.O. Box 228863  
Dallas, Texas 75228  
Phone: (972) 463-1300  
www.kimley-horn.com  
Professional Seal Registration No. 1230

**BRAD W. PICKERING**  
102320  
LICENSED PROFESSIONAL ENGINEER

**LOCAL PROPOSED DRAINAGE AREA MAP**  
DATE: JANUARY 2020  
DESIGN: HRS  
CHECKED: BMM  
DRAWN: HRS  
BY: HRS

2 SHEET

**HMS BASIN PARAMETERS**

Subbasin	Area (ac)	Initial Abstractions (in)	CN	Impervious %	C <sub>r</sub>	L (mi)	L <sub>ca</sub> (mi)	t <sub>p</sub> (hr)	C <sub>o</sub>
Onionbasin	1572.2	2.0	2.0	1.5	15.5	0.0	0.0	0.0	0.0
REVEJ	0.228	1472	2.0	1.9	1.5	0.5	0.5	0.81	0.0
PROP	0.228	150	2.0	1.9	1.5	0.5	0.5	0.51	0.0
PROP	0.228	1472	2.0	1.9	1.5	0.5	0.5	0.61	0.0
Onionbasin	3,414	2185	2.0	1.9	1.5	0.5	0.5	20.0	0.65
REVEJ	0.038	24	2.0	1.9	1.5	0.5	0.5	0.0	0.65
PROP	3,376	2181	2.0	1.9	1.5	0.5	0.5	20.2	0.65
PROP	0.031	20	2.0	1.9	1.5	0.5	0.5	44.0	0.55
PROP	3,376	2181	2.0	1.9	1.5	0.5	0.5	20.2	0.65

\*Note: C<sub>r</sub> and C<sub>o</sub> values for subbasins UOCR710 and UOCR730 are from effective model

**LAG TIME CALCULATIONS**

Lag Time (Onion Creek Effective Hydraulic Model)

Station	Dist (ft)	2 YR Velocity			10 YR Velocity			25 YR Velocity			100 YR Velocity		
		RAS Vel (ft/s)	Ag. Vel (ft/s)	Time (sec)	RAS Vel (ft/s)	Ag. Vel (ft/s)	Time (sec)	RAS Vel (ft/s)	Ag. Vel (ft/s)	Time (sec)	RAS Vel (ft/s)	Ag. Vel (ft/s)	Time (sec)
168897	2.90	---	---	5.07	---	---	6.23	---	---	8.11	---	---	
167934	963	3.05	3.0	324	6.29	5.7	170	7.44	6.8	141	9.37	8.7	
Total Lag (sec)				324			170			141		110	
Total Lag (min)				5.4			2.8			2.4		1.8	

**PEAK FLOW RESULTS**

Junction	2 YR			10 YR			25 YR			100 YR		
	REVEJ Peak (cfs)	PROP Peak (cfs)	DETPROP Peak (cfs)	REVEJ Peak (cfs)	PROP Peak (cfs)	DETPROP Peak (cfs)	REVEJ Peak (cfs)	PROP Peak (cfs)	DETPROP Peak (cfs)	REVEJ Peak (cfs)	PROP Peak (cfs)	DETPROP Peak (cfs)
UOCR730_PROJECT	13	134	134	122	122	122	223	379	379	145	145	145
710 DETENTION	---	12	---	---	---	---	223	223	223	---	---	---
JUOCR710	2542	2542	2549	0	7	7	22250	22242	22242	2	2	2
JUOCR730_730	2549	2549	2550	0	7	7	22260	22247	22247	2	2	2
UOCR730_PROJECT	5	27	27	24	24	24	60	60	60	31	31	31
730 DETENTION	---	5	---	---	---	---	60	60	60	---	---	---
JUOCR740	2531	2531	2539	0	8	8	22462	22444	22442	2	2	2
JUOCR740_730	2535	2535	2533	0	8	8	22479	22481	22482	2	2	2
JUOCR740_780	2535	2535	2533	0	8	8	22503	22595	22596	2	2	2
JUOCR790	2518	2518	2524	0	8	8	22635	22637	22637	2	2	2
JUOCR790_820	2540	2541	2549	1	9	9	22958	22980	22980	2	2	2
JUOCR790_830	2540	2540	2548	0	8	8	22981	22982	22983	1	1	2
JUOCR840	2537	2537	2545	0	8	8	23004	23005	23006	1	1	2
UNION CREEK	3116	3116	3124	0	8	8	28065	28066	28067	1	1	2

**LAG TIME CALCULATIONS**

Station	2 YR Velocity			10 YR Velocity			25 YR Velocity			100 YR Velocity		
	RAS Vel (ft/s)	Ag. Vel (ft/s)	Time (sec)	RAS Vel (ft/s)	Ag. Vel (ft/s)	Time (sec)	RAS Vel (ft/s)	Ag. Vel (ft/s)	Time (sec)	RAS Vel (ft/s)	Ag. Vel (ft/s)	Time (sec)
167494	2.97	---	5.07	---	---	6.23	---	---	8.11	---	---	---
166980	2.70	2.8	181	6.12	6.3	82	7.28	7.5	69	7.6	8.8	59
165507	4.73	2.93	2.6	168	5.44	5.8	62	6.64	7.0	68	7.48	7.5
165042	4.65	2.11	2.5	185	5	5.2	89	6.3	6.5	72	7.38	7.4
165718	3.24	2.98	2.5	127	5.83	5.4	60	7.22	6.8	48	8.47	7.9
165544	1.74	3.49	3.2	54	7.22	6.5	27	9.24	8.2	21	11.04	9.8
165334	2.20	2.33	2.9	78	4.89	6.11	39	6.35	7.8	28	7.95	9.5
165038	2.86	2.91	2.6	109	4.44	4.7	61	5.54	5.9	48	6.31	7.1
164471	5.67	3.06	3.0	190	6.5	5.5	104	6.86	6.2	91	7.69	7.0
163904	8.67	3.68	3.4	257	6.96	6.3	138	7.22	7.0	123	7.96	7.8
162767	8.97	3.20	3.4	249	6.36	6.2	138	7.71	7.8	115	8.31	8.1
162189	5.78	2.97	3.1	187	6.81	6.6	88	8.07	7.9	73	8.86	8.6
161507	6.62	3.01	3.0	221	6.44	6.6	100	8.01	8.0	82	10.02	9.4
160730	7.67	2.89	3.0	287	7.57	7.1	112	9.46	8.7	90	11.54	10.8
160585	1.35	3.97	3.4	39	7.43	7.6	16	8.49	9.0	15	9.91	10.7
160510	7.5	1.80	2.9	28	5.09	6.3	12	6.57	7.5	10	8.28	9.1
160503	7	1.98	1.9	4	5.37	5.2	1	6.97	6.8	1	8.81	8.5
160465	8	2.21	2.1	4	5.43	5.5	1	7.31	7.1	1	9.38	9.1
160389	10.6	2.65	2.4	43	6.18	5.9	18	7.82	7.6	14	9.97	9.7
160204	1.85	2.40	2.5	73	5.09	5.6	33	6.5	7.2	26	8.34	9.2
159660	5.44	2.87	2.6	106	4.65	4.9	112	5.87	6.2	89	7.51	7.9
158858	8.92	2.47	2.7	300	5.69	5.2	155	7.04	6.5	124	8.51	8.0
157942	918	3.34	2.9	315	6.28	6.0	153	7.53	7.3	128	8.73	8.6
157072	870	2.59	3.0	283	5.35	5.8	150	6.64	7.1	123	7.84	8.3
156278	794	2.93	3.2	245	7.05	6.7	129	8.51	7.8	105	8.85	8.5
155567	711	4.64	4.3	187	8.03	7.5	94	9.75	9.1	79	11.68	10.8
155173	394	4.24	4.4	89	7.94	8.0	49	9.54	9.6	41	11.33	11.5
155061	112	2.89	3.6	31	5.95	6.6	16	7.19	8.4	13	8.53	9.0
155011	80	3.35	3.2	16	6.38	6.2	8	7.49	7.3	7	8.71	8.6
Total Lag (sec)				4124			2065			1701		1454
Total Lag (min)				68.7			34.4			28.3		24.2

**811**  
Know what's below.  
Call before you dig.

**BENCHMARKS**

BM #108 - PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 9677.20 NORTH OF THE EDGE NORTH OF THE PAVEMENT OF COLE SPRINGS ROAD. ELEV = 981.0 (NAVD '88)

BM #104 - PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 9771 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV = 712.24 (NAVD '88)

BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF 010 BLACK COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 732.56 (NAVD '88)

NOTES:  
1) FLOW INFORMATION PER APPROVED MERITAGE COLE SPRINGS DETENTION WAIVER REQUEST DATED JANUARY, 2020.

**CONSTRUCTION PLAN APPROVAL SHEET 228**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNITED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

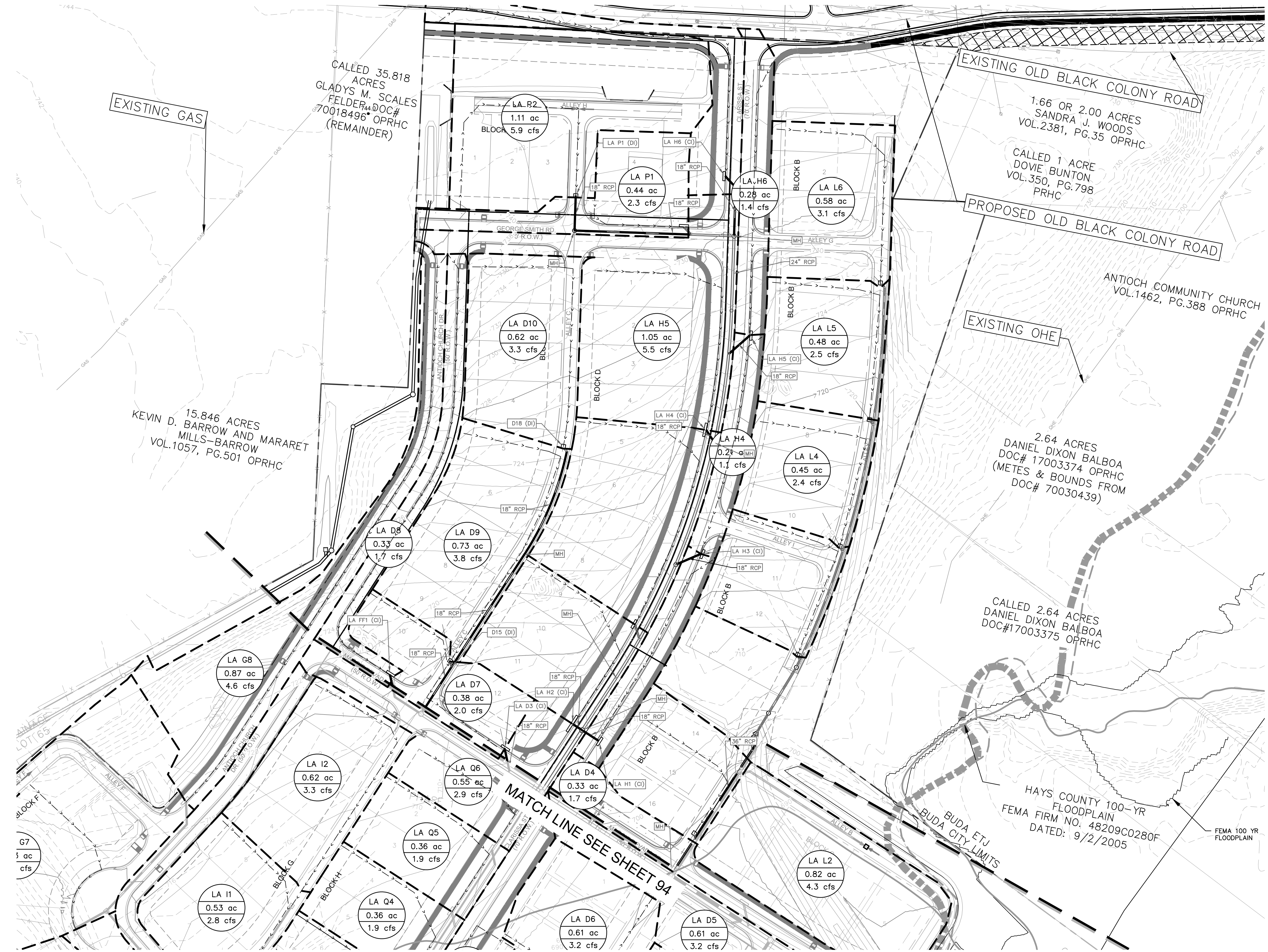
Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

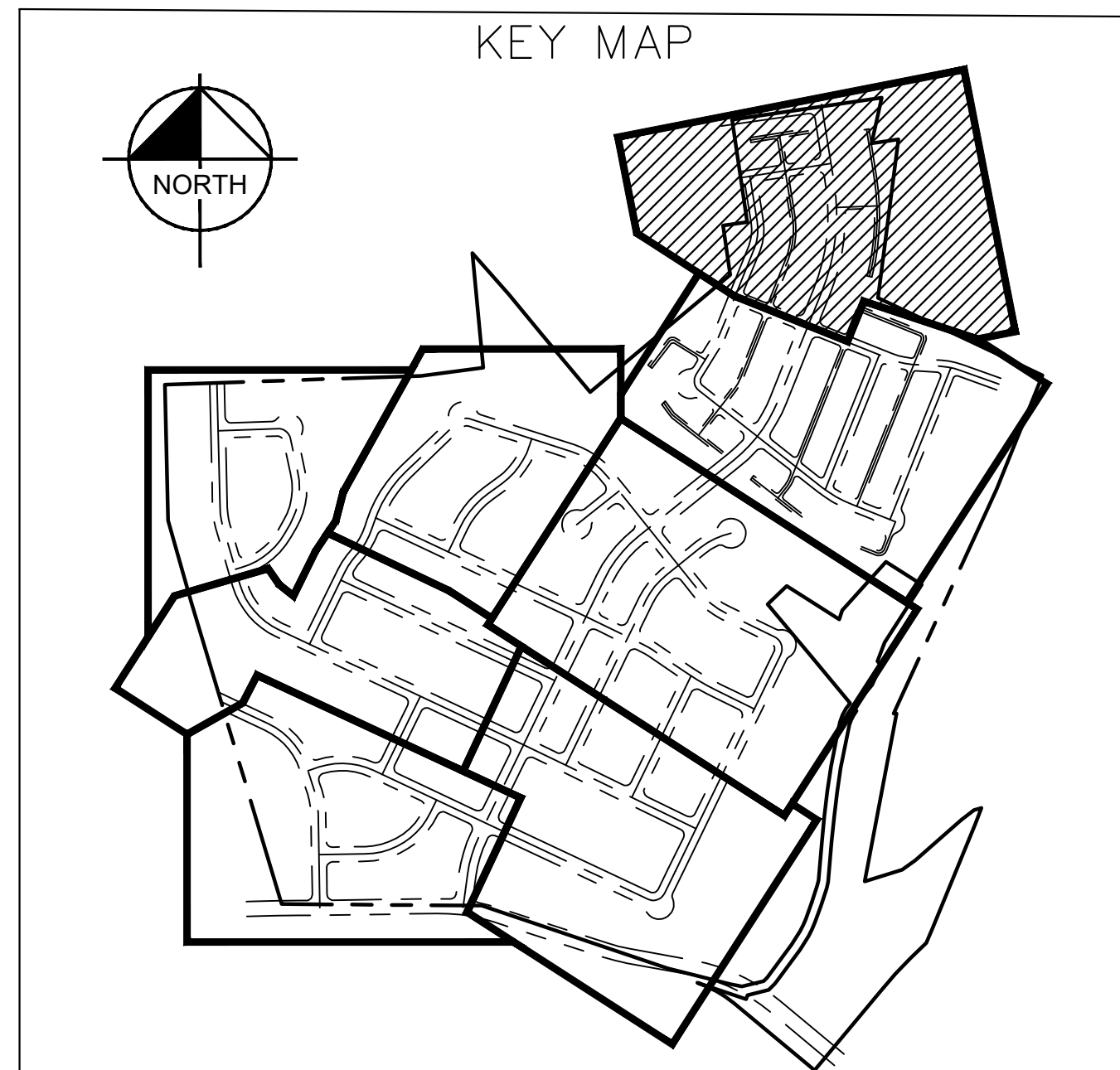
PERMIT NUMBER: 2021-737

Plotted by: Garner, Mikael Date: July 17, 2023 08:19:56am File Path: K:\you\_civil\067783115 heritage buda assemblage\Cad\PreliminaryPlanSheets\21\_Preliminary Inlet Drainage Area Plan - PHASE 1 PLANSET.dwg  
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**LEGEND**

- PROPERTY LINE
- PHASE BOUNDARY LINE
- FEMA 100-YR FLOODPLAIN
- FEMA EFFECTIVE 100YR FLOODPLAIN
- EDWARDS AQUIFER ZONE BOUNDARY
- PROPOSED WASTEWATER LINE
- PROPOSED WATER LINE
- PROPOSED WASTEWATER MANHOLE
- WASTEWATER FLOW DIRECTION
- PROPOSED FIRE HYDRANT
- PROPOSED TAPPING SLEEVE & VALVE
- EXISTING WATER LINE
- EXISTING WASTEWATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WASTEWATER MANHOLE
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN HEADWALL
- PROPOSED STORM FLOW DIRECTION
- 555 PROPOSED CONTOUR
- 555 EXISTING CONTOUR



- NOTES:**
1. FIRE HYDRANTS SHALL BE PLACED NO MORE THAN 600' APART PER THE CITY OF AUSTIN UTILITIES CRITERIA MANUAL.
  2. ALL WASTEWATER LINES SHALL BE PVC SDR-26 OR AS NOTED OTHERWISE ON THE FINAL CIVIL ENGINEERING PLANS. ALL WATERLINES TO BE C-900 OR D.I. AS NOTED ON THE FINAL CIVIL ENGINEERING PLANS.
  3. WATERLINES SHALL BE ROUTED AROUND STORM INLETS WITH 45° BENDS.
  4. MANHOLES TO BE SPACED NO MORE THAN 500' APART FOR LINES SMALLER THAN 24"

**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB IN SET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=718.01 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF OLD BLACK COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET **226** OF **226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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 AUSTIN, TX 78745-5537  
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 TBE Firm No. 928

07/17/2023

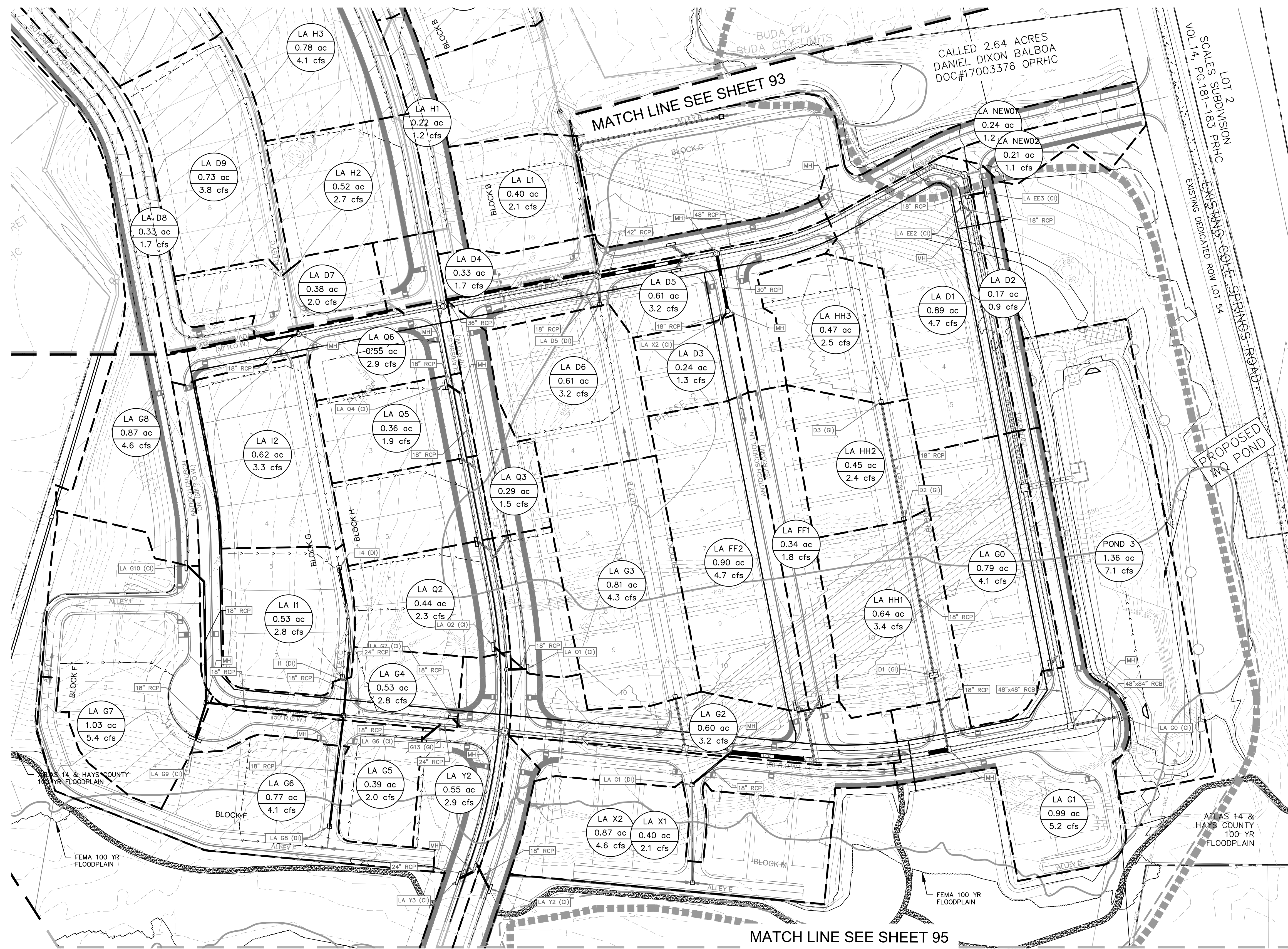
**PROPOSED INLET DRAINAGE MAP (SHEET 1 OF 8)**

**THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS**

SHEET NUMBER **93**  
 OF 226

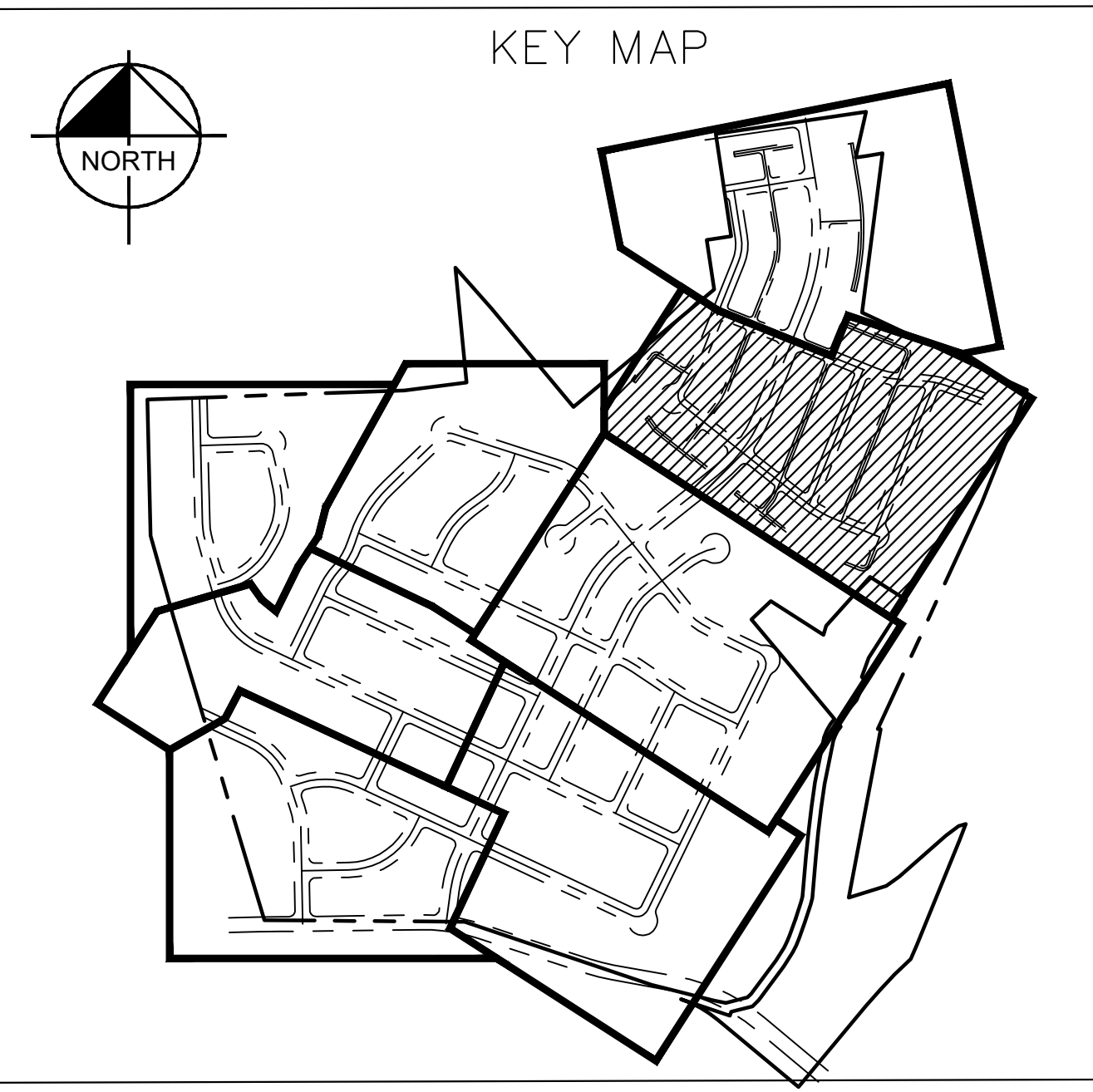
NO.	REVISIONS	DATE	BY

Plotted by: Garner, Mikael Date: July 17, 2023 08:20:14am File Path: K:\\_civ\067783115\_meritage\_buda\_assemblage\Cad\PreliminaryPlanSheets\21\_Preliminary Inlet Drainage Area Plan - PHASE 1 PLANSET.dwg  
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**LEGEND**

- PROPERTY LINE
- PHASE BOUNDARY LINE
- FEMA 100-YR FLOODPLAIN
- FEMA EFFECTIVE 100YR FLOODPLAIN
- EDWARDS AQUIFER ZONE BOUNDARY
- PROPOSED WASTEWATER LINE
- PROPOSED WATER LINE
- PROPOSED WASTEWATER MANHOLE
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- PROPOSED TAPPING SLEEVE & VALVE
- EXISTING WATER LINE
- EXISTING WASTEWATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WASTEWATER MANHOLE
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN HEADWALL
- PROPOSED STORM FLOW DIRECTION
- PROPOSED CONTOUR
- EXISTING CONTOUR



- NOTES:**
- FIRE HYDRANTS SHALL BE PLACED NO MORE THAN 600' APART PER THE CITY OF AUSTIN UTILITIES CRITERIA MANUAL.
  - ALL WASTEWATER LINES SHALL BE PVC SDR-26 OR AS NOTED OTHERWISE ON THE FINAL CIVIL ENGINEERING PLANS. ALL WATER LINES TO BE C-900 OR D.I. AS NOTED ON THE FINAL CIVIL ENGINEERING PLANS.
  - WATER LINES SHALL BE ROUTED AROUND STORM INLETS WITH 45° BENDS.
  - MANHOLES TO BE SPACED NO MORE THAN 500' APART FOR LINES SMALLER THAN 24"

**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77' NORTHERLY OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=782.57 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET <u>226</u> OF <u>226</u>
FILE NUMBER APPLICATION DATE
APPROVED BY COMMISSION ON: <u>N/A</u> UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737 CASE MANAGER: <u>08/16/2021</u>
<b>A. KENNEDY</b>
City Engineer, City of Buda
RELEASED FOR GENERAL COMPLIANCE: <u>ZONING</u> <u>N/A</u>
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.
PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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 AUSTIN, TX 78745-5537  
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 TBPE Firm No. 928

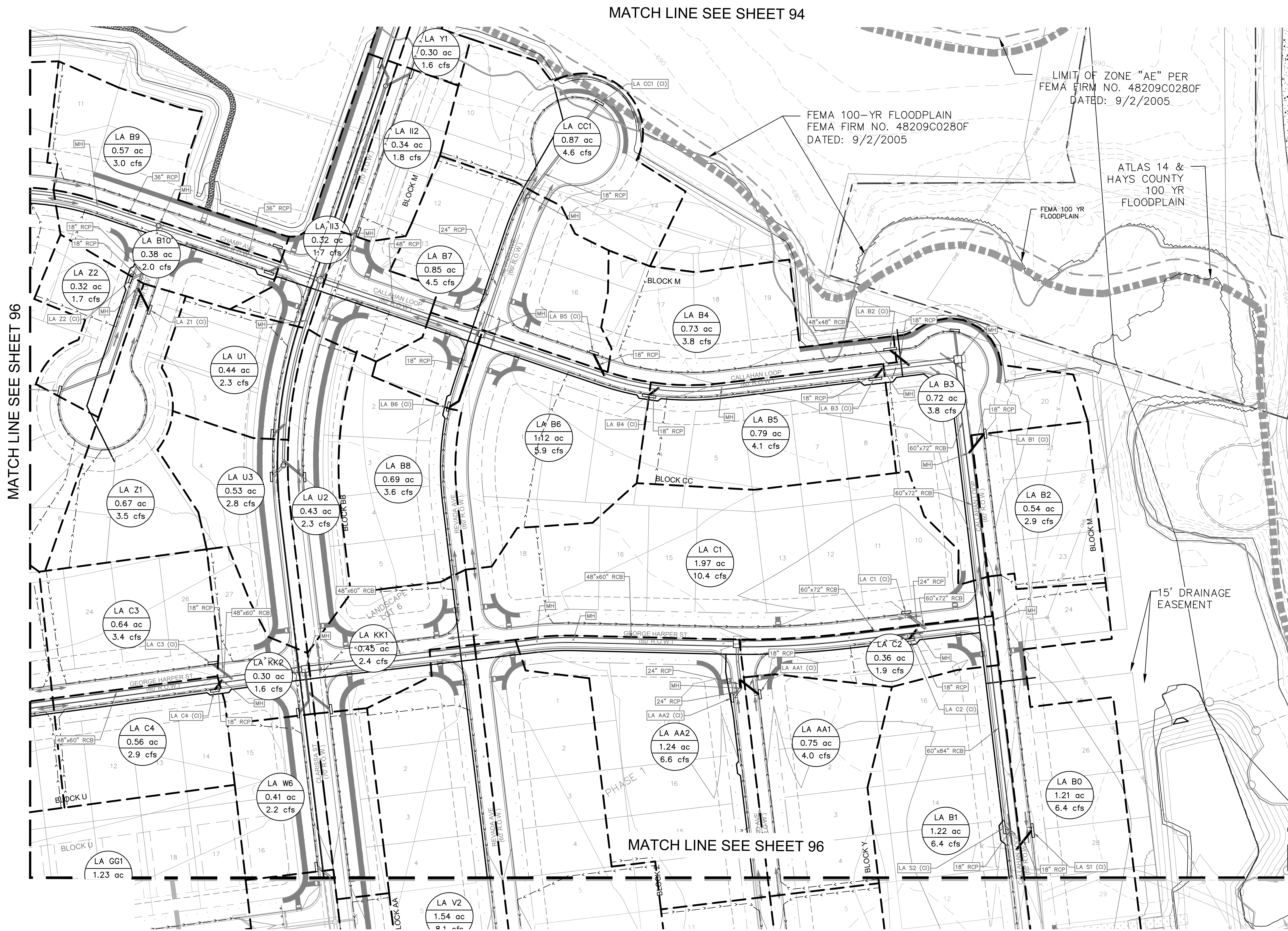
**PROPOSED INLET DRAINAGE MAP (SHEET 2 OF 8)**

**THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS**

**SHEET NUMBER 94**  
 OF 226

NO.	REVISIONS	DATE	BY

Plotted by: Garner, Mikael Date: July 17, 2023 08:20:31am File Path: K:\you\_civil\067783115\_meritage\_buda\_assemble\Cad\Preliminary\PlanSheets\21\_Preliminary Inlet Drainage Area Plan - PHASE 1 PLANSET.dwg  
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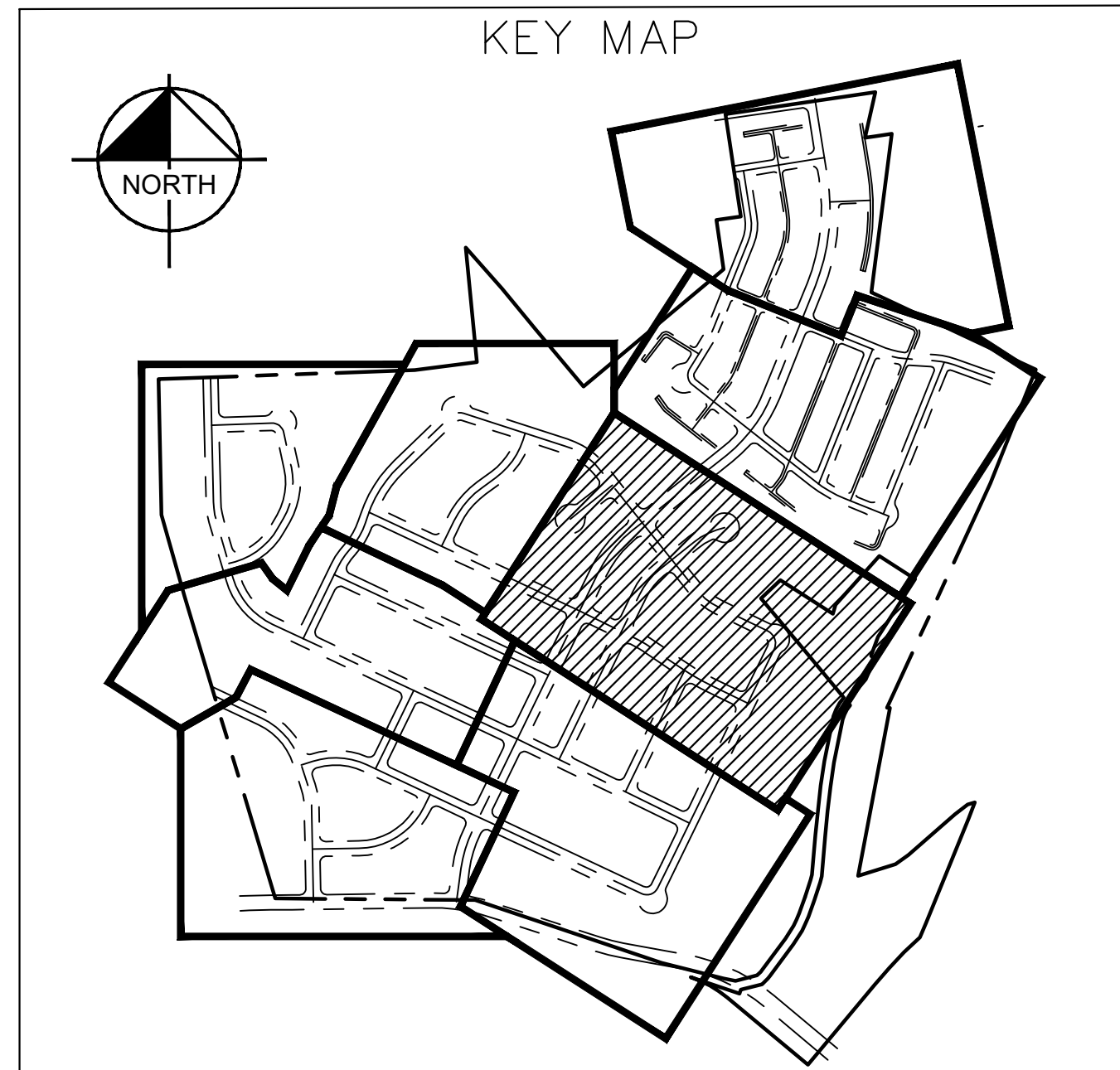


MATCH LINE SEE SHEET 96

MATCH LINE SEE SHEET 94

MATCH LINE SEE SHEET 96

LEGEND	
---	PROPERTY LINE
---	PHASE BOUNDARY LINE
- - - -	FEMA 100-YR FLOODPLAIN
- . . - -	FEMA EFFECTIVE 100YR FLOODPLAIN
- . . . .	EDWARDS AQUIFER ZONE BOUNDARY
--- W ---	PROPOSED WASTEWATER LINE
--- W ---	PROPOSED WATER LINE
⊙	PROPOSED WASTEWATER MANHOLE
⊙	WASTEWATER FLOW DIRECTION
⊙	PROPOSED FIRE HYDRANT
⊙	PROPOSED TAPPING SLEEVE & VALVE
W	EXISTING WATER LINE
W	EXISTING WASTEWATER LINE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING WASTEWATER MANHOLE
---	PROPOSED STORM DRAIN LINE
---	PROPOSED STORM DRAIN INLET
---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED STORM DRAIN HEADWALL
---	PROPOSED STORM FLOW DIRECTION
---	PROPOSED CONTOUR
---	EXISTING CONTOUR



- NOTES:**
- FIRE HYDRANTS SHALL BE PLACED NO MORE THAN 600' APART PER THE CITY OF AUSTIN UTILITIES CRITERIA MANUAL.
  - ALL WASTEWATER LINES SHALL BE PVC SDR-26 OR AS NOTED OTHERWISE ON THE FINAL CIVIL ENGINEERING PLANS. ALL WATERLINES TO BE C-900 OR D.I. AS NOTED ON THE FINAL CIVIL ENGINEERING PLANS.
  - WATERLINES SHALL BE ROUTED AROUND STORM INLETS WITH 45° BENDS.
  - MANHOLES TO BE SPACED NO MORE THAN 500' APART FOR LINES SMALLER THAN 24"

Know what's below.  
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #00 - PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 IN NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=715.04 (NAVD 88)

BM #04 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN OVERHEAD ELECTRIC LINE. ELEV=712.04 (NAVD 88)

BM #06 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF GEORGE HARPER ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=712.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET <b>226</b> OF <b>226</b>
FILE NUMBER _____ APPLICATION DATE _____
APPROVED BY COMMISSION ON _____ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021
<b>A. KENNEDY</b>
City Engineer, City of Buda
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING _____ N/A
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____
<small>Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.</small>
PERMIT NUMBER: 2021-737

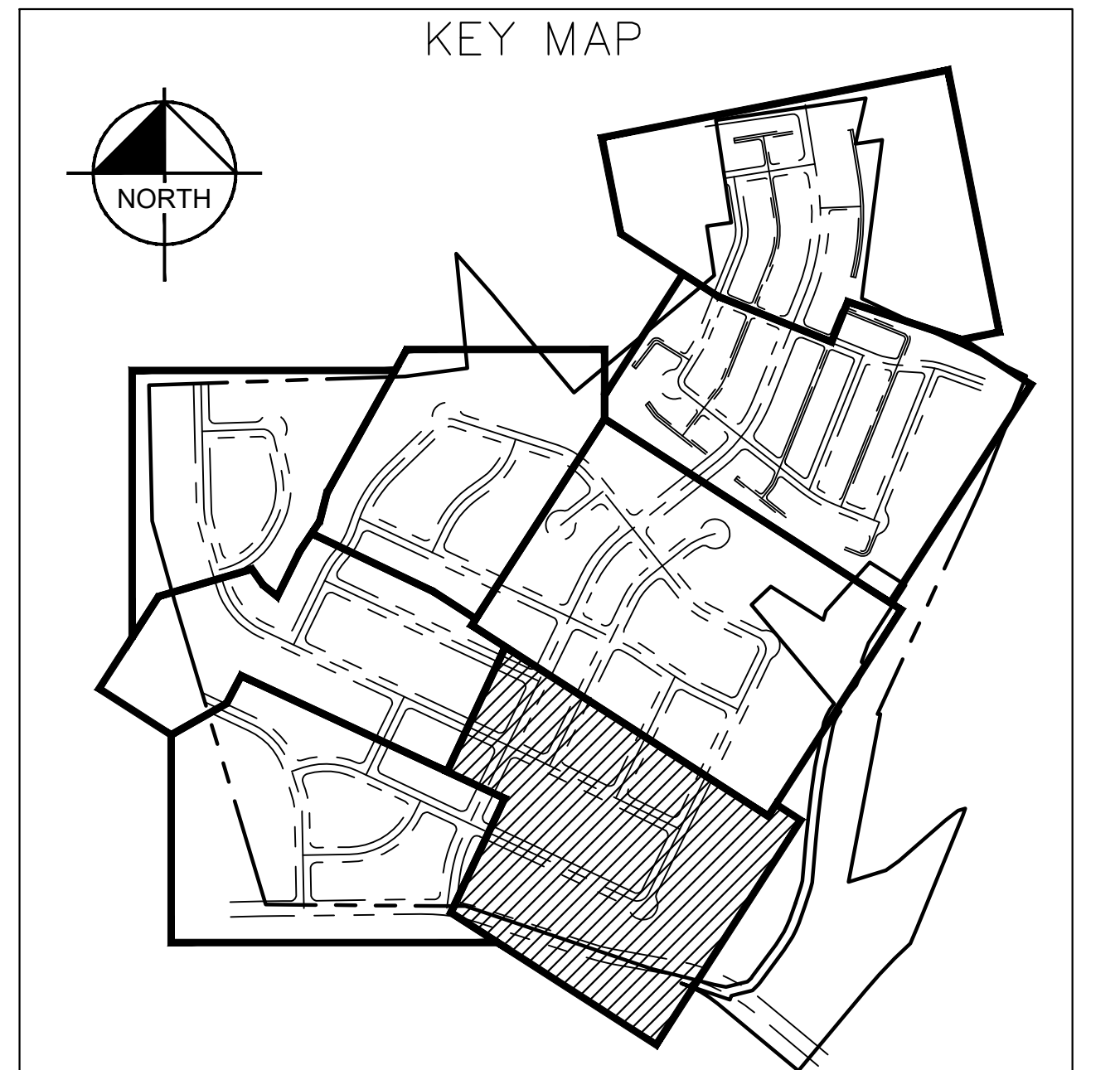
<p>5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100 AUSTIN, TX 78745-5377 WWW.KIMLEY-HORN.COM © 2016 KIMLEY-HORN AND ASSOCIATES, INC. TBE Firm No. 928</p>	<p>07/17/2023</p> <p>Alejandro E. Granados-Rico</p>																					
<p>KHA PROJECT: 067783115</p> <p>DATE: JULY 2023</p> <p>SCALE: AS SHOWN</p> <p>DESIGNED BY: WB, DM</p> <p>DRAWN BY: WB, HM, MH, DM</p> <p>CHECKED BY: AEG</p>	<p><b>PROPOSED INLET DRAINAGE MAP (SHEET 3 OF 8)</b></p>																					
<p><b>THE COLONY - PHASE 1</b> CITY OF BUDA HAYS COUNTY, TEXAS</p>	<p>SHEET NUMBER <b>95</b> OF 226</p>																					
<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	DATE	BY																			<p>DATE</p>
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Plotted by: Garner, Mikael Date: July 17, 2023 08:20:57am File Path: K:\sow\_civil\067783115 merritage budda assemblage\Cad\Preliminary\PlanSheets\21\_Preliminary Inlet Drainage Area Plan - PHASE 1 PLANSET.dwg  
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**LEGEND**

- PROPERTY LINE
- PHASE BOUNDARY LINE
- FEMA 100-YR FLOODPLAIN
- FEMA EFFECTIVE 100YR FLOODPLAIN
- EDWARDS AQUIFER ZONE BOUNDARY
- PROPOSED WASTEWATER LINE
- PROPOSED WATER LINE
- PROPOSED WASTEWATER MANHOLE
- WASTEWATER FLOW DIRECTION
- PROPOSED FIRE HYDRANT
- PROPOSED TAPPING SLEEVE & VALVE
- EXISTING WATER LINE
- EXISTING WASTEWATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WASTEWATER MANHOLE
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN HEADWALL
- PROPOSED STORM FLOW DIRECTION
- PROPOSED CONTOUR
- EXISTING CONTOUR



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**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB IN SET ON THE WEST SIDE OF FM 897 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV: 718.57 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV: 712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV: 712.56 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET <u>226</u> OF <u>226</u>
FILE NUMBER _____ APPLICATION DATE _____
APPROVED BY COMMISSION ON _____ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021
<b>A. KENNEDY</b>
City Engineer, City of Buda
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: N/A
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____
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PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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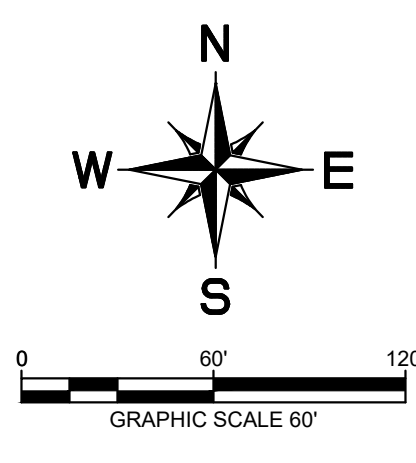
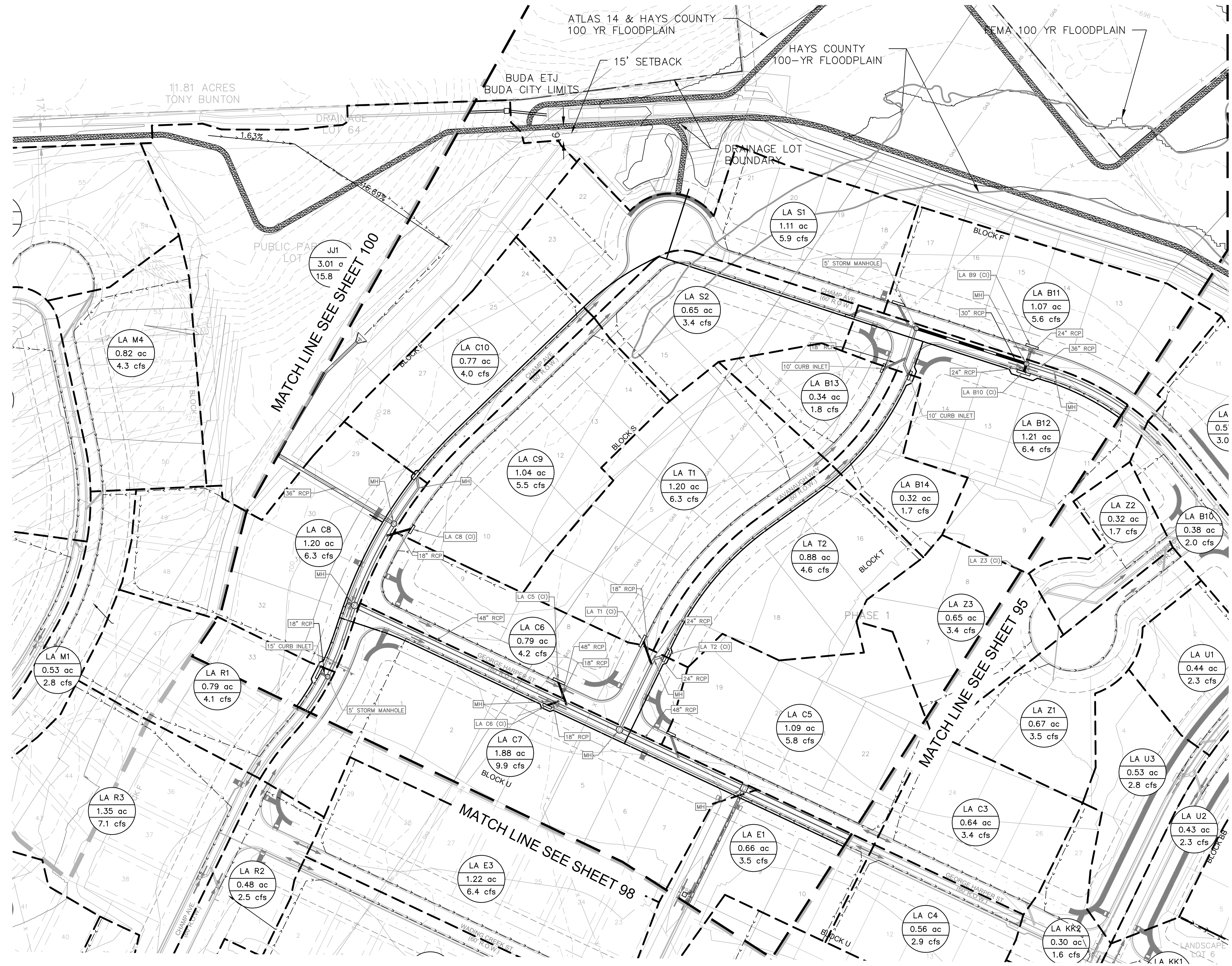
07/17/2023

**PROPOSED INLET DRAINAGE MAP (SHEET 4 OF 8)**

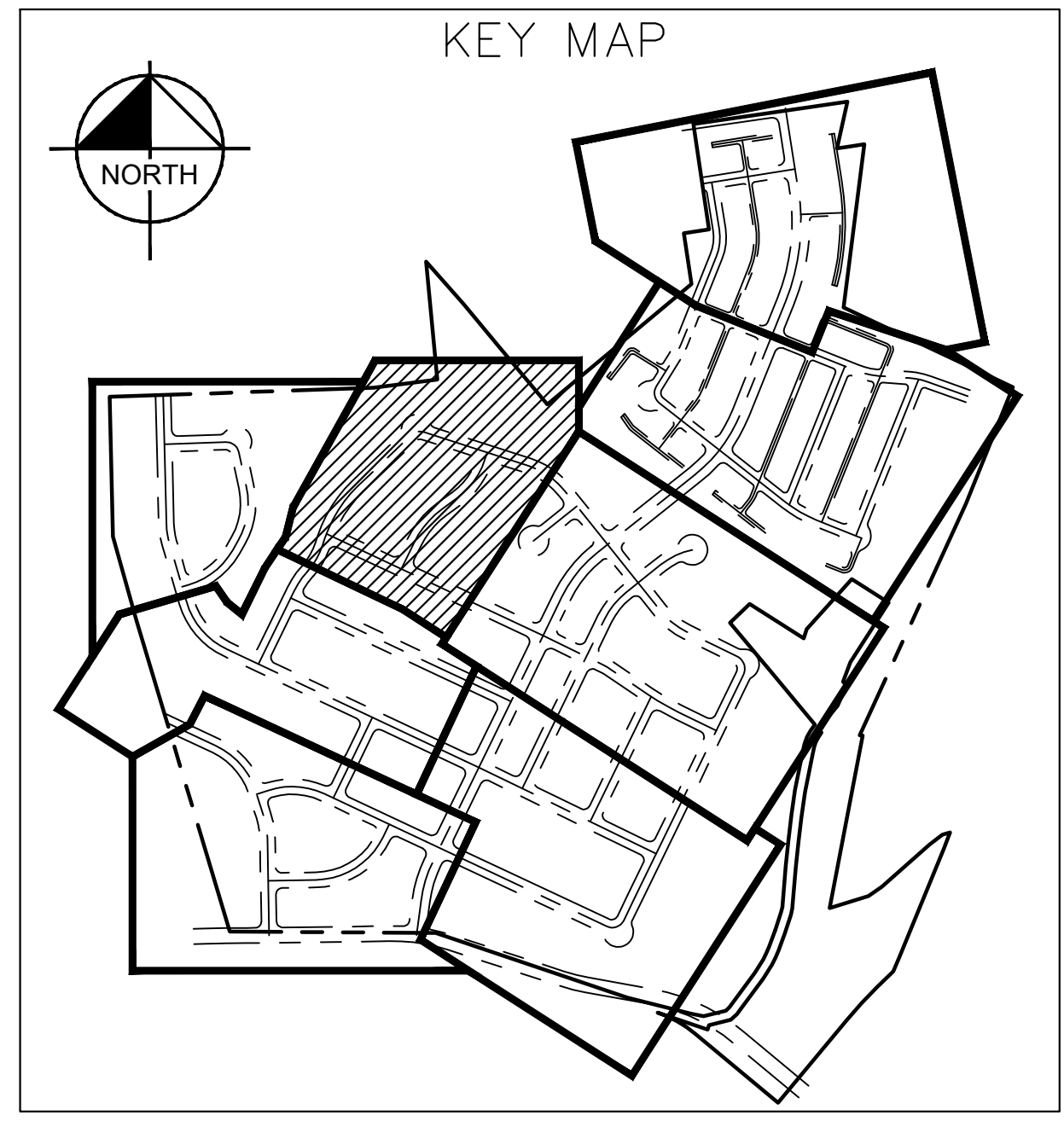
**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER **96**  
 OF 226

Plotted by: Garner, Mikael Date: July 17, 2023 08:21:19am File Path: K:\you\_civil\067783115\_meritage\_buda\_assemblies\Cad\Preliminary\PlanSheets\21\_Preliminary Inlet Drainage Area Plan - PHASE 1 PLANSET.dwg  
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LEGEND	
	PROPERTY LINE
	PHASE BOUNDARY LINE
	FEMA 100-YR FLOODPLAIN
	FEMA EFFECTIVE 100YR FLOODPLAIN
	EDWARDS AQUIFER ZONE BOUNDARY
	PROPOSED WASTEWATER LINE
	PROPOSED WATER LINE
	PROPOSED WASTEWATER MANHOLE
	WASTEWATER FLOW DIRECTION
	PROPOSED FIRE HYDRANT
	PROPOSED TAPPING SLEEVE & VALVE
	EXISTING WATER LINE
	EXISTING WASTEWATER LINE
	EXISTING FIRE HYDRANT
	EXISTING WASTEWATER MANHOLE
	PROPOSED STORM DRAIN LINE
	PROPOSED STORM DRAIN INLET
	PROPOSED STORM DRAIN MANHOLE
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	PROPOSED STORM FLOW DIRECTION
	PROPOSED CONTOUR
	EXISTING CONTOUR



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BENCHMARKS	
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BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET	OF 226
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE	2021-737 CASE MANAGER 08/16/2021
A. KENNEDY	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE, ZONING N/A	
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
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PERMIT NUMBER: 2021-737	

NO.	REVISIONS	DATE	BY

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 TBPE Firm No. 928

07/17/2023  
  
 Alejandro E. Granados-Rico  
 KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB, HM, MH, DM  
 CHECKED BY: AEG

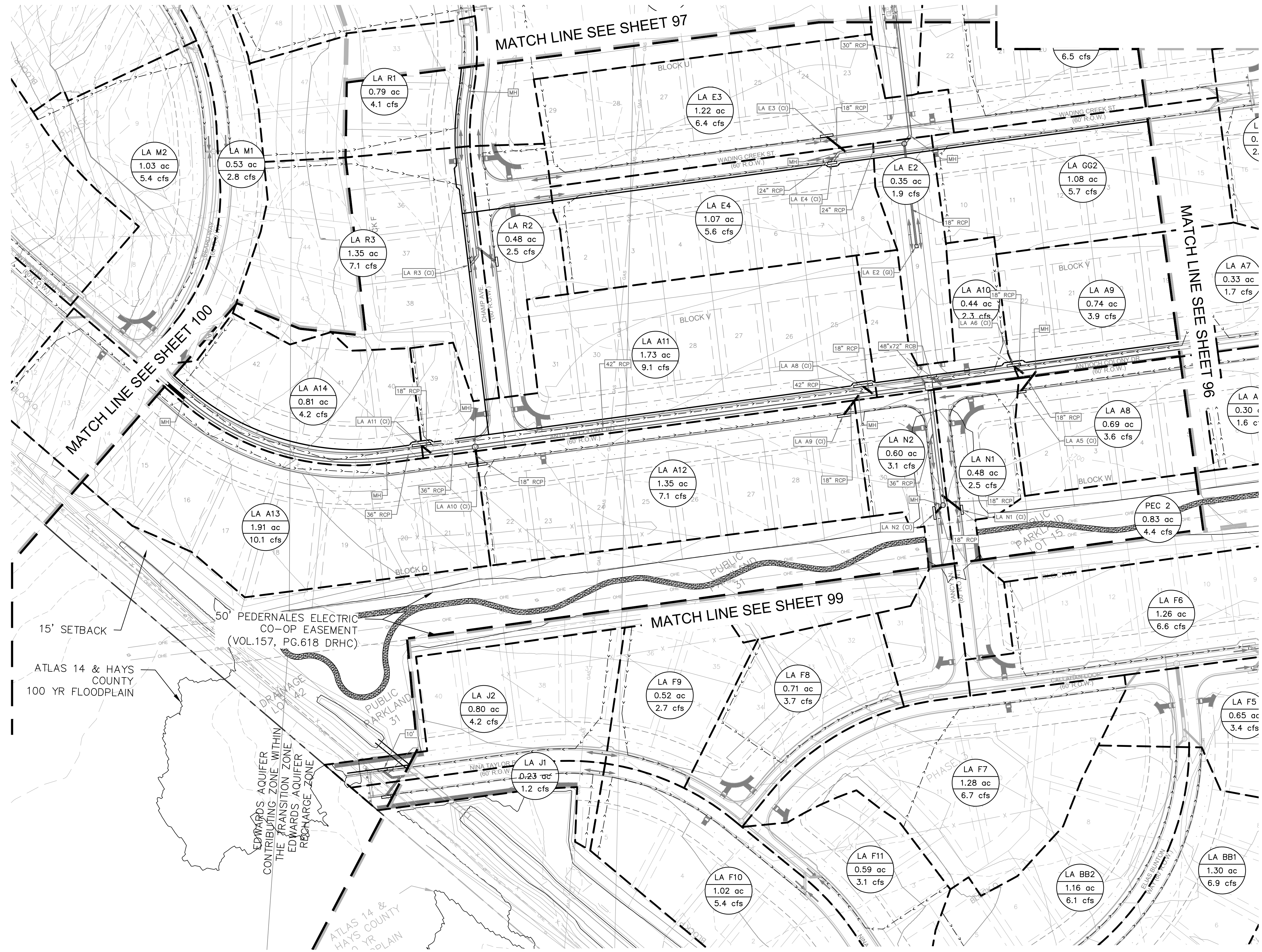
**PROPOSED INLET DRAINAGE MAP (SHEET 5 OF 8)**

**THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS**

SHEET NUMBER **97**  
OF 226

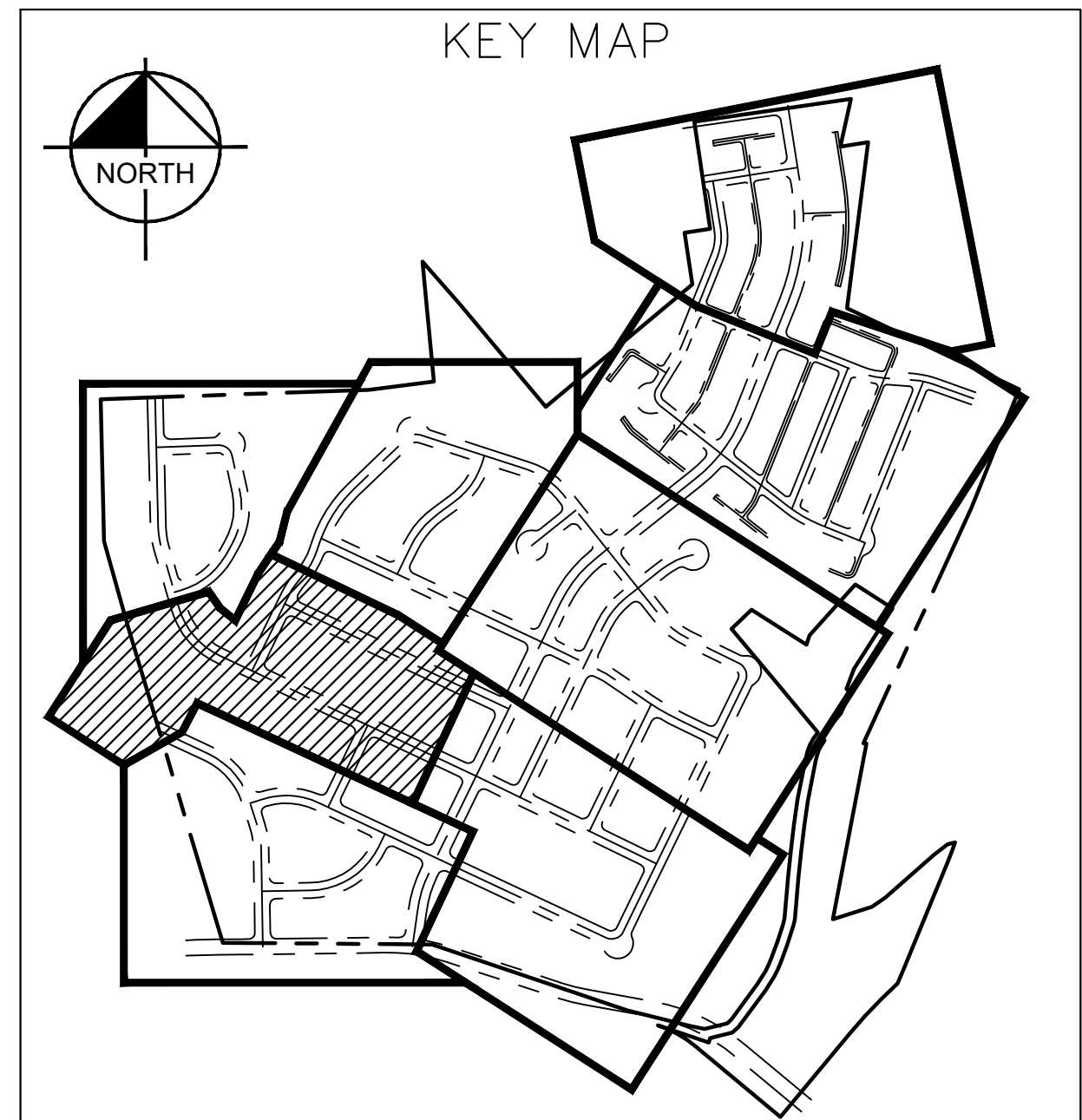


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**LEGEND**

- PROPERTY LINE
- PHASE BOUNDARY LINE
- FEMA 100-YR FLOODPLAIN
- FEMA EFFECTIVE 100YR FLOODPLAIN
- EDWARDS AQUIFER ZONE BOUNDARY
- PROPOSED WASTEWATER LINE
- PROPOSED WATER LINE
- PROPOSED WASTEWATER MANHOLE
- WASTEWATER FLOW DIRECTION
- PROPOSED FIRE HYDRANT
- PROPOSED TAPPING SLEEVE & VALVE
- EXISTING WATER LINE
- EXISTING WASTEWATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WASTEWATER MANHOLE
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
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- PROPOSED STORM FLOW DIRECTION
- PROPOSED CONTOUR
- EXISTING CONTOUR



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**811**  
 Know what's below.  
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**BENCHMARKS**

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BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST CORNER OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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PERMIT NUMBER: 2021-737

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07/17/2023

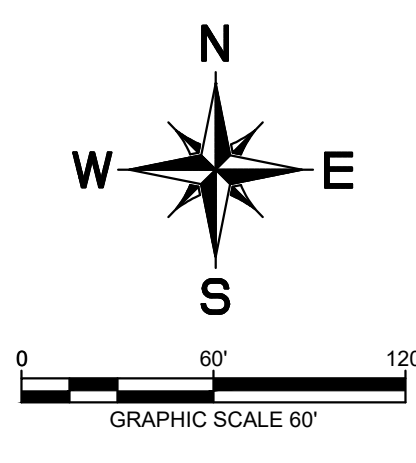
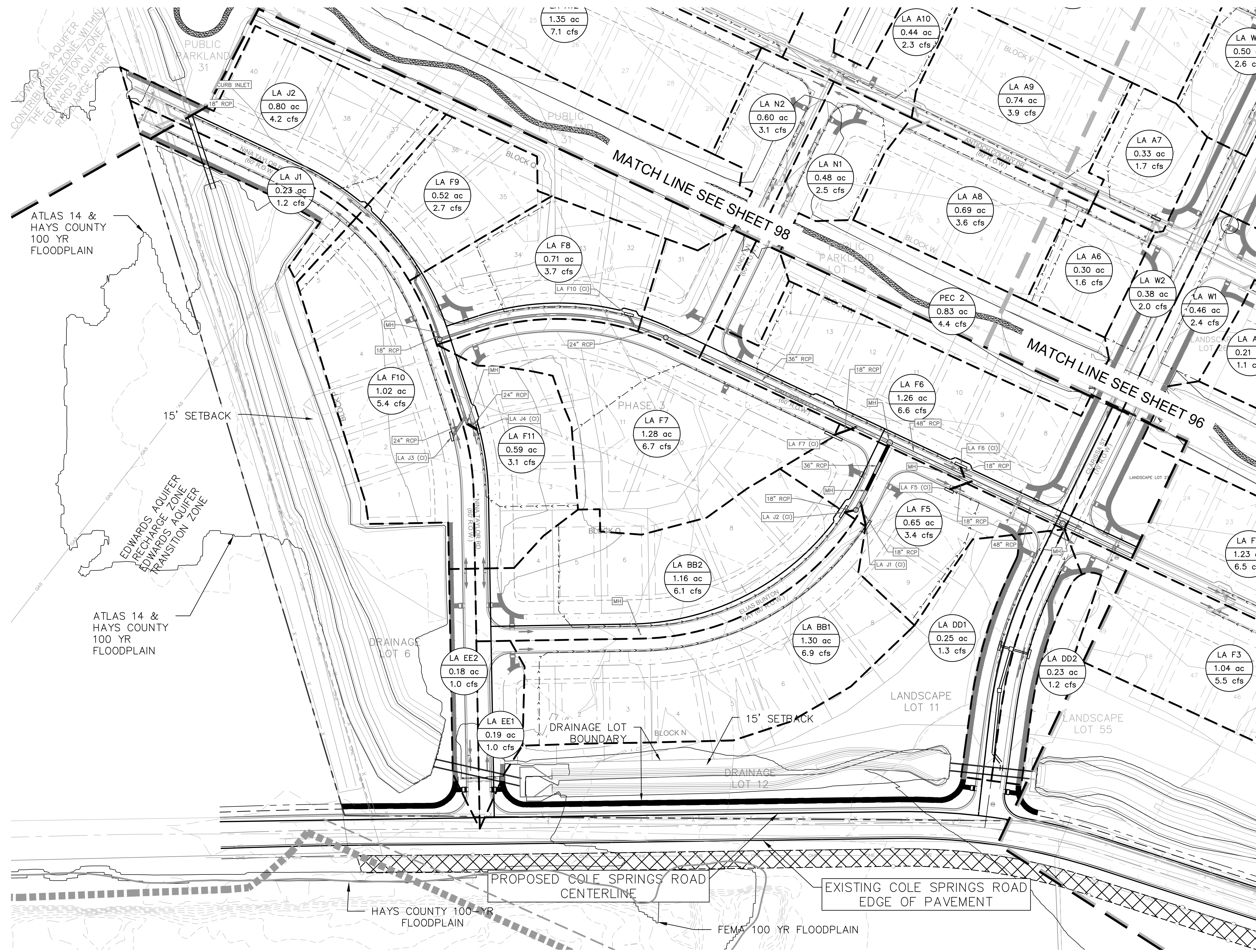
**PROPOSED INLET DRAINAGE MAP (SHEET 6 OF 8)**

**THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS**

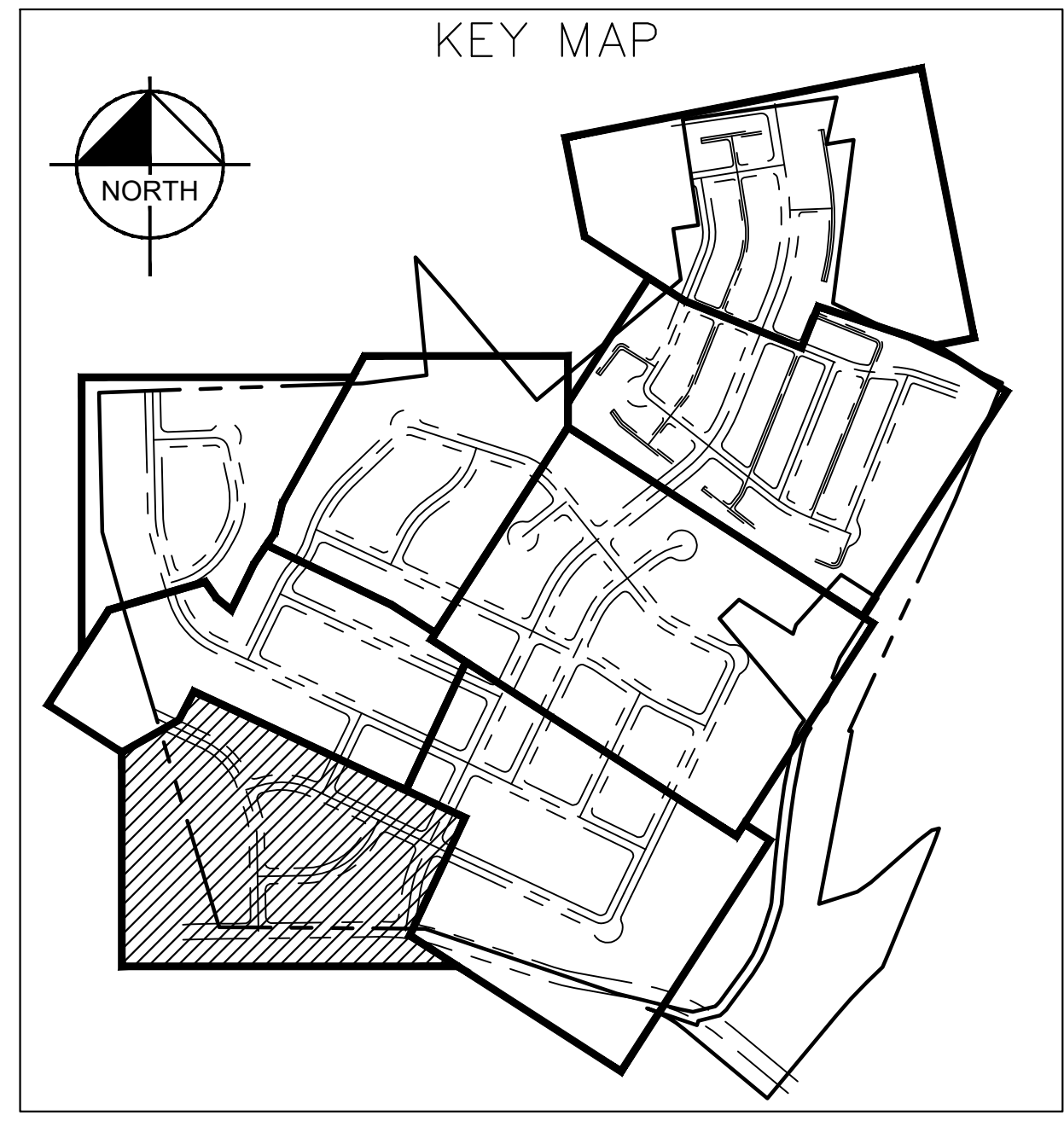
SHEET NUMBER **98**  
 OF 226

NO.	REVISIONS	DATE	BY

Plotted by: Garner, Mikael Date: July 17, 2023 08:22:19am File Path: K:\you\_civil\06783115 meritage buda assemblage\Cad\Preliminary\PlanSheets\21\_Preliminary Inlet Drainage Area Plan - PHASE 1 PLANSET.dwg  
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LEGEND	
	PROPERTY LINE
	PHASE BOUNDARY LINE
	FEMA 100-YR FLOODPLAIN
	FEMA EFFECTIVE 100YR FLOODPLAIN
	EDWARDS AQUIFER ZONE BOUNDARY
	PROPOSED WASTEWATER LINE
	PROPOSED WATER LINE
	PROPOSED WASTEWATER MANHOLE
	WASTEWATER FLOW DIRECTION
	PROPOSED FIRE HYDRANT
	PROPOSED TAPPING SLEEVE & VALVE
	EXISTING WATER LINE
	EXISTING WASTEWATER LINE
	EXISTING FIRE HYDRANT
	EXISTING WASTEWATER MANHOLE
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	PROPOSED STORM FLOW DIRECTION
	PROPOSED CONTOUR
	EXISTING CONTOUR



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CONSTRUCTION PLAN APPROVAL SHEET	OF 226
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE	2021-737 CASE MANAGER 08/16/2021
A. KENNEDY	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE, ZONING N/A	
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PERMIT NUMBER: 2021-737	

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
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 TBPE Firm No. 928

07/17/2023  
  
 Alejandro E. Granados-Rico  
 Licensed Professional Engineer  
 State of Texas

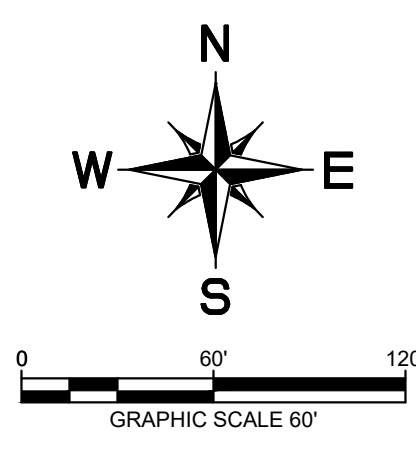
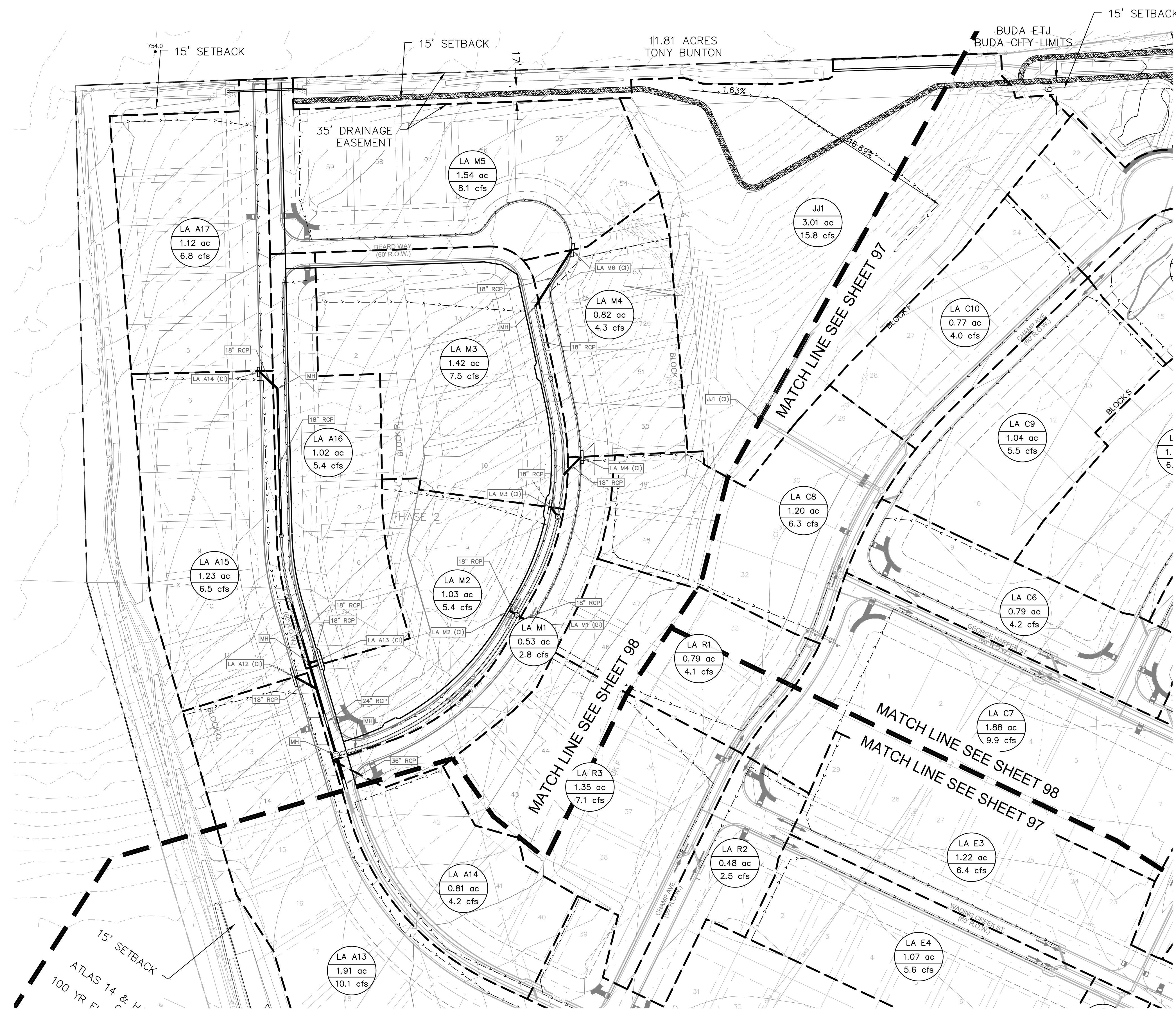
KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

PROPOSED INLET DRAINAGE MAP (SHEET 7 OF 8)

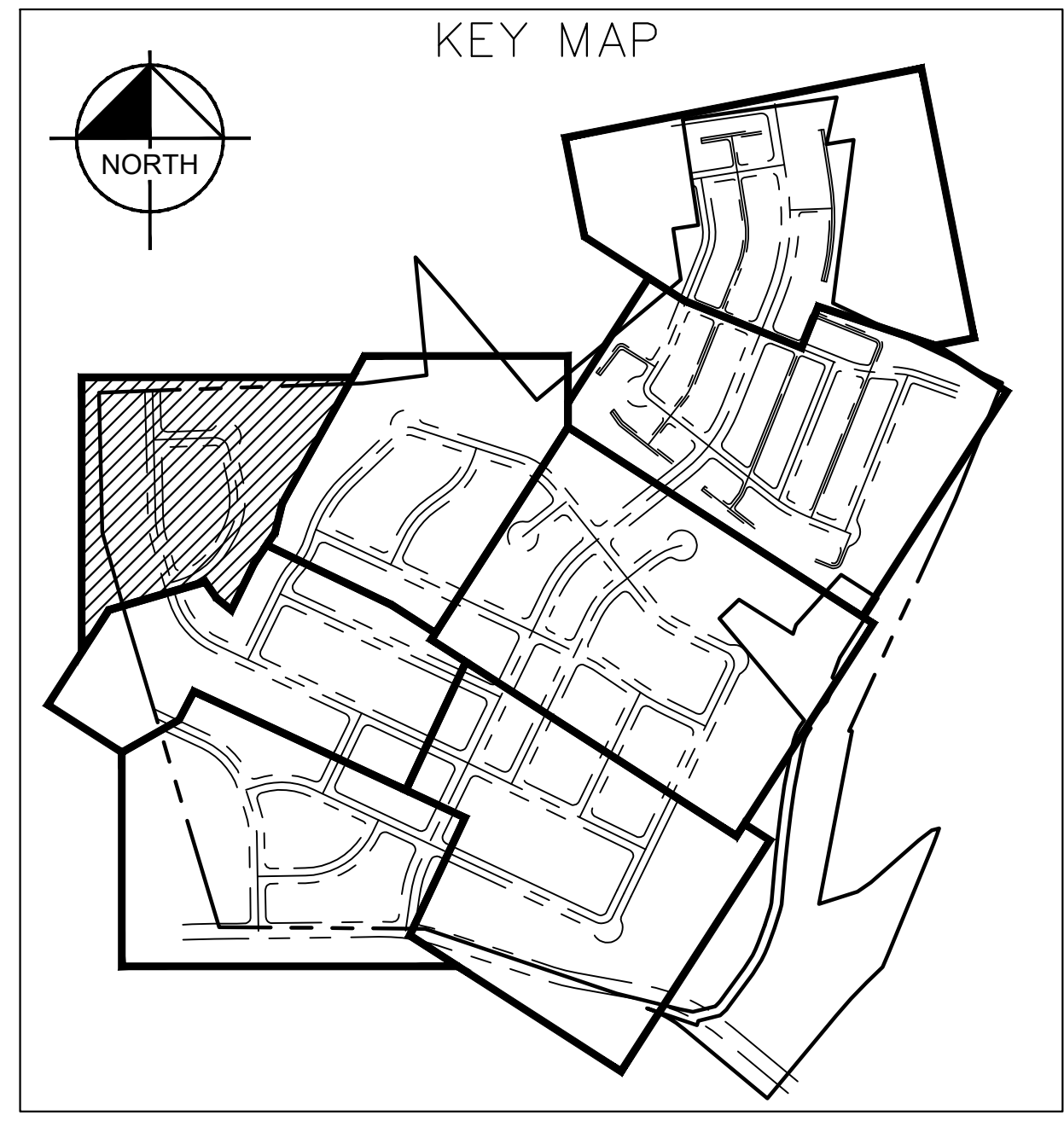
THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER 99 OF 226

Plotted by: Gomer, Mikael Date: July 17, 2023 08:22:38am File Path: K:\sow\_civil\067783115 meritage buda\_assemblage\Cad\PreliminaryPlanSheets\21\_Preliminary Inlet Drainage Area Plan - PHASE 1 PLANSET.dwg  
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	WASTEWATER FLOW DIRECTION
	PROPOSED FIRE HYDRANT
	PROPOSED TAPPING SLEEVE & VALVE
	EXISTING WATER LINE
	EXISTING WASTEWATER LINE
	EXISTING FIRE HYDRANT
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- MANHOLES TO BE SPACED NO MORE THAN 250' APART FOR PIPES WITH DIAMETERS LESS THAN 30" AND 300' APART FOR PIPES WITH DIAMETERS OF 30" AND ABOVE.

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BENCHMARKS	
BM #100	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 867 77.5' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=718.17 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST CORNER OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET	of 226
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE	2021-737 CASE MANAGER 08/16/2021
A. KENNEDY	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE:	ZONING N/A
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.	
PERMIT NUMBER: 2021-737	

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745-5537  
 WWW.KIMLEY-HORN.COM  
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 TBE Firm No. 928

07/17/2023  
  
 Alejandro E. Granados-Rico  
 KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

PROPOSED INLET DRAINAGE MAP (SHEET 8 OF 8)

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
 100  
 OF 226



Plotted by: Garner, Mikael Date: July 17, 2023 08:25:35am File Path: K:\S901\_civ\067783115 meritage\_buda\_assembly\Cad\plan\tableau.dwg File Inhibit: K:\S901\_civ\067783115 meritage\_buda\_assembly\Cad\plan\tableau.dwg  
This document, together with the concepts and designs presented herein, is an instrument of service and is intended only for the specific purpose and client for which it was prepared. Release of this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

The Colony INLET FLOW CALCULATION TABLE (100-Yr Flows)																																									
2% Straight Crown			% Slope			% Pass			% Total			% Storm			% Street			% Over			% Curb			% Man			% Other			% Inlet			% Length			% Area			% Sump		
Sheet	Station	Inlet	Drainage	Type	Area	Flow	Velocity	Time	Loss	Flow	Velocity	Time	Loss	Flow	Velocity	Time	Loss	Flow	Velocity	Time	Loss	Flow	Velocity	Time	Loss	Flow	Velocity	Time	Loss	Flow	Velocity	Time	Loss	Flow	Velocity	Time	Loss				
LA 00	LA 00	Grate	Local	55	5.98	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00			

2% Straight Crown														SUMP INLETS													
Inlet No.	Drainage No.	Inlet Type	Street Type	Q	Q Pass	Q Total	Slope	a	yo	yo	Ponded	Min. Clear	Width Allow	1/2 Street Cpty(cfs)	E <sub>s</sub>	S <sub>s</sub>	Qa/La	La	Length	L/La	a/yo	Crown Pass (Cts)	Q/Qa	Q Intercept (cfs)	Q Pass (cfs)	Ensnung DA No.	
LA A3	LA A3	Sump	Local 55	10.61	0.000	10.612	0.50%	5.000	0.500	6.002	OVER CNTR	N/A	14.000	-	0.28	0.12	1.03	10.350	10	0.97	0.83	0.01	1.00	10.61	0.01	X	

PROPOSED INLET CALCULATIONS (2 OF 4)																																		
LA 01	LA 01	Grate	Local	55	5.98	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**811**  
Know what's below. Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

- BM 408 - IKM NAL SET AT THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 10715 NORTH OF THE STATE HIGHWAY 30 ROAD. ELEV: 475.04 (NAVD '83)
- BM 409 - IKM NAL SET IN FRONT OF AN ELECTRIC SUBSTATION. ELEV: 471.04 (NAVD '83)
- BM 410 - IKM NAL SET IN FRONT OF AN OVERHEAD ELECTRIC LINE. ELEV: 472.04 (NAVD '83)
- BM 411 - IKM NAL SET AS ASPHALT ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 472.26 (NAVD '83)

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WBDM  
DRAWN BY: WM, MH, DM  
CHECKED BY: AEC

THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER 102 OF 226

CONSTRUCTION PLAN APPROVAL SHEET OF 226  
FILE NUMBER: APPLICATION DATE:  
APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED BY-LEGISLATION CODE  
EXPIRATION DATE: 2021-737 CASE NUMBER: 08/16/2021

A. KENNEDY  
City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE: ZONING: N/A  
Rev. 1: Correction 1  
Rev. 2: Correction 2  
Rev. 3: Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

KIMLEY-HORN & ASSOCIATES, INC.  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78735  
 WWW.KIMLEY-HORN.COM  
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 TBE Firm No. 928

KIMLEY-HORN & ASSOCIATES, INC.  
 LICENSED PROFESSIONAL ENGINEER  
 ALVARO E. GRANADOS RICO  
 No. 67334

REVISIONS  
 DATE  
 BY

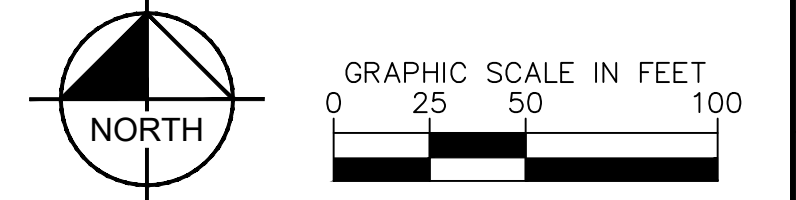


Drainage Area ID	Area (Ac.)	ImperVIOUS %	ImperVIOUS Area (Ac.)	Pervious Area (Ac.)	Runoff Coefficient, C				Intensity, in./hr.				Q, 2 yr.				
					C, 2 yr.	C, 10 yr.	C, 25 yr.	C, 100 yr.	I, 2 yr.	I, 10 yr.	I, 25 yr.	I, 100 yr.	Q, 2 yr.	Q, 10 yr.	Q, 25 yr.	Q, 100 yr.	
LA0	0.68	60%	0.41	0.27	0.60	0.66	0.70	0.77	9.6	5.08	7.29	8.77	11.20	2.07	3.26	4.18	5.86
LA1	1.12	60%	0.67	0.45	0.60	0.66	0.70	0.77	13.1	4.51	6.47	7.78	9.92	3.02	4.77	6.10	8.56
LA2	0.40	60%	0.24	0.16	0.60	0.66	0.70	0.77	11.4	4.77	6.84	8.23	10.50	1.14	1.80	2.30	3.23
LA3	1.23	60%	0.74	0.49	0.60	0.66	0.70	0.77	9.5	5.09	7.29	8.78	11.20	3.14	5.09	7.05	10.65
LA4	0.22	60%	0.13	0.09	0.60	0.66	0.70	0.77	8.3	5.33	7.54	9.19	11.74	0.70	1.11	1.42	1.99
LA5	0.21	60%	0.13	0.08	0.60	0.66	0.70	0.77	10.1	4.98	7.13	8.59	10.96	0.62	0.99	1.28	1.77
LA6	0.30	60%	0.18	0.12	0.60	0.66	0.70	0.77	9.0	5.19	7.44	8.95	11.43	0.93	1.47	1.88	2.64
LA7	0.33	60%	0.20	0.13	0.60	0.66	0.70	0.77	8.4	5.31	7.61	9.17	11.71	1.05	1.65	2.12	2.97
LA8	0.69	60%	0.41	0.28	0.60	0.66	0.70	0.77	9.5	5.30	7.31	8.80	11.23	2.10	3.32	4.25	5.97
LA9	0.74	60%	0.44	0.30	0.60	0.66	0.70	0.77	11.9	4.68	6.72	8.08	10.31	2.07	3.27	4.19	5.87
LA10	0.44	60%	0.26	0.18	0.60	0.66	0.70	0.77	11.7	4.72	6.77	8.15	10.39	1.24	1.96	2.51	3.52
LA11	1.24	60%	0.74	0.49	0.60	0.66	0.70	0.77	10.2	4.97	7.13	8.59	10.94	3.14	5.11	7.05	10.65
LA12	1.35	60%	0.81	0.54	0.60	0.66	0.70	0.77	13.4	4.46	6.40	7.71	9.82	3.60	5.69	7.28	10.21
LA13	1.91	60%	1.15	0.76	0.60	0.66	0.70	0.77	8.9	5.22	7.48	9.01	11.50	5.96	9.40	12.04	16.91
LA14	0.81	60%	0.49	0.32	0.60	0.66	0.70	0.77	5.0	6.15	8.81	10.62	13.63	2.98	4.70	6.02	8.50
LA15	1.23	60%	0.74	0.49	0.60	0.66	0.70	0.77	7.8	5.44	7.80	9.39	12.00	4.18	6.31	8.08	11.36
LA16	1.02	60%	0.61	0.41	0.60	0.66	0.70	0.77	7.8	5.44	7.80	9.39	12.00	3.32	5.23	6.70	9.42
LA17	1.12	60%	0.67	0.45	0.60	0.66	0.70	0.77	8.4	5.32	7.62	9.18	11.72	3.56	5.62	7.19	10.11
LA18	0.75	60%	0.45	0.30	0.60	0.66	0.70	0.77	10.6	4.90	7.02	8.46	10.79	2.20	3.47	4.44	6.23
LA19	1.24	60%	0.74	0.50	0.60	0.66	0.70	0.77	12.3	4.61	6.65	7.96	10.15	3.42	5.40	6.91	9.69
LA20	1.21	60%	0.73	0.48	0.60	0.66	0.70	0.77	11.5	4.75	6.81	8.20	10.46	3.44	5.42	6.95	9.74
LA21	1.22	60%	0.73	0.49	0.60	0.66	0.70	0.77	9.1	5.17	7.40	8.91	11.38	3.77	5.94	7.61	10.69
LA22	0.54	60%	0.32	0.22	0.60	0.66	0.70	0.77	10.7	4.89	7.01	8.43	10.76	1.58	2.49	3.19	4.47
LA23	0.65	60%	0.43	0.29	0.60	0.66	0.70	0.77	10.0	4.99	7.16	8.62	10.99	2.15	3.39	4.34	6.09
LA24	0.73	60%	0.44	0.29	0.60	0.66	0.70	0.77	9.8	5.04	7.22	8.69	11.09	2.20	3.47	4.44	6.23
LA25	0.79	60%	0.47	0.32	0.60	0.66	0.70	0.77	10.6	4.90	7.03	8.46	10.79	2.32	3.65	4.68	6.56
LA26	1.12	60%	0.67	0.45	0.60	0.66	0.70	0.77	12.2	4.64	6.65	8.01	10.21	3.11	4.90	6.28	8.81
LA27	0.87	60%	0.51	0.34	0.60	0.66	0.70	0.77	11.1	4.81	6.90	8.30	10.59	2.45	3.82	4.94	6.84
LA28	0.69	60%	0.41	0.28	0.60	0.66	0.70	0.77	12.4	4.60	6.60	7.95	10.13	1.90	3.00	3.84	5.38
LA29	0.57	60%	0.34	0.23	0.60	0.66	0.70	0.77	10.7	4.87	6.99	8.41	10.73	1.66	2.62	3.36	4.71
LA30	0.37	60%	0.22	0.15	0.60	0.66	0.70	0.77	6.2	5.83	8.36	10.07	12.90	1.29	2.04	2.61	3.67
LA31	1.07	60%	0.64	0.43	0.60	0.66	0.70	0.77	10.2	4.96	7.11	8.58	10.92	2.17	3.39	4.41	6.23
LA32	1.21	60%	0.73	0.48	0.60	0.66	0.70	0.77	13.0	4.51	6.47	7.79	9.93	3.26	5.15	6.60	9.25
LA33	0.34	60%	0.20	0.14	0.60	0.66	0.70	0.77	9.8	5.04	7.22	8.69	11.09	1.02	1.62	2.07	2.90
LA34	1.32	60%	0.79	0.51	0.60	0.66	0.70	0.77	10.4	4.92	7.06	8.50	10.84	0.94	1.49	1.90	2.67
LA35	1.30	60%	0.78	0.52	0.60	0.66	0.70	0.77	11.3	4.77	6.85	8.24	10.51	3.13	5.07	6.59	9.46
LA36	1.16	60%	0.70	0.46	0.60	0.66	0.70	0.77	11.1	4.81	6.90	8.31	10.60	3.34	5.27	6.75	9.46
LA37	1.97	60%	1.18	0.79	0.60	0.66	0.70	0.77	11.1	4.81	6.90	8.31	10.60	5.67	8.95	11.46	16.07
LA38	0.36	60%	0.22	0.14	0.60	0.66	0.70	0.77	5.0	6.15	8.81	10.62	13.63	1.32	2.09	2.68	3.78
LA39	0.64	60%	0.38	0.26	0.60	0.66	0.70	0.77	8.7	5.25	7.53	9.07	11.57	2.01	3.19	4.05	5.70
LA40	0.55	60%	0.33	0.22	0.60	0.66	0.70	0.77	10.2	4.96	7.12	8.57	10.93	1.63	2.58	3.30	4.63
LA41	1.09	60%	0.65	0.44	0.37	0.62	0.66	0.70	9.3	5.14	7.37	8.87	11.33	2.07	3.37	4.45	6.54
LA42	0.79	60%	0.47	0.32	0.60	0.66	0.70	0.77	11.4	4.77	6.84	8.23	10.50	2.25	3.55	4.55	6.38
LA43	1.98	60%	1.13	0.75	0.60	0.66	0.70	0.77	16.1	4.31	5.90	7.11	9.16	6.32	9.30	12.11	18.11
LA44	1.20	60%	0.72	0.48	0.60	0.66	0.70	0.77	9.2	5.15	7.39	8.89	11.35	3.70	5.83	7.47	10.49
LA45	1.04	60%	0.62	0.42	0.60	0.66	0.70	0.77	11.1	4.80	6.89	8.29	10.57	2.99	4.71	6.04	8.47
LA46	0.37	60%	0.22	0.15	0.60	0.66	0.70	0.77	10.8	4.85	6.96	8.38	10.69	2.24	3.53	4.52	6.34
LA47	0.87	60%	0.52	0.35	0.60	0.66	0.70	0.77	11.2	4.83	6.93	8.35	10.69	2.49	3.82	4.97	6.82
LA48	0.89	60%	0.53	0.36	0.60	0.66	0.70	0.77	6.7	5.70	8.18	9.85	12.60	3.04	4.79	6.14	8.64
LA49	0.17	60%	0.10	0.07	0.60	0.66	0.70	0.77	7.2	5.57	7.98	9.61	12.29	0.57	0.89	1.14	1.61
LA50	0.24	60%	0.14	0.10	0.60	0.66	0.70	0.77	7.7	5.45	7.82	9.41	12.03	0.78	1.23	1.58	2.22
LA51	0.33	60%	0.20	0.13	0.60	0.66	0.70	0.77	8.0	5.39	7.72	9.30	11.88	0.86	1.40	2.15	3.00
LA52	0.61	60%	0.37	0.24	0.60	0.66	0.70	0.77	8.0	5.39	7.72	9.30	11.88	1.97	3.10	3.97	5.58
LA53	0.63	60%	0.37	0.24	0.60	0.66	0.70	0.77	10.0	5.00	7.17	8.63	11.01	1.82	2.88	3.68	5.17
LA54	0.38	60%	0.23	0.15	0.60	0.66	0.70	0.77	7.3	5.56	7.97	9.60	12.28	1.26	1.99	2.55	3.59
LA55	0.33	60%	0.20	0.13	0.60	0.66	0.70	0.77	6.15	6.55	9.63	11.63	15.21	1.69	2.63	3.42	4.80
LA56	0.73	60%	0.44	0.29	0.60	0.66	0.70	0.77	7.6	5.49	7.87	9.48	12.12	2.40	3.78	4.84	6.81
LA57	0.62	60%	0.37	0.25	0.60	0.66	0.70	0.77	7.1	5.61	8.04	9.68	12.38	2.08	3.28	4.20	5.91
LA58	0.25	60%	0.15	0.10	0.60	0.66	0.70	0.77	5.0	6.15	8.81	10.62	13.63	0.82	1.45	1.86	2.62
LA59	0.23	60%	0.14	0.09	0.60	0.66	0.70	0.77	5.0	6.15	8.81	10.62	13.63	0.85	1.30	1.71	2.41
LA60	0.40	60%	0.26	0.16	0.60	0.66	0.70	0.77	11.0	4.83	6.92	8.33	10.62	1.90	3.01	3.85	5.40
LA61	0.35	60%	0.21	0.14	0.60	0.66	0.70	0.77	5.0	6.15	8.81	10.62	13.63	1.29	2.03	2.60	3.67
LA62	1.27	60%	0.73	0.49	0.60	0.66	0.70	0.77	13.6	4.61	6.65	7.96	10.15	4.22	6.47	8.54	12.01
LA63	1.07	60%	0.64	0.43	0.60	0.66	0.70	0.77	11.1	4.81	6.90	8.31	10.60	3.08	4.86	6.22	8.73
LA64	0.19	60%	0.11	0.08	0.60	0.66	0.70	0.77	9.9	5.03	7.21	8.67	11.07	0.57	0.90	1.15	1.62
LA65	0.18	60%	0.11	0.07	0.60	0.66	0.70	0.77	9.9	5.03	7.21	8.67	11.07	0.54	0.85	1.09	1.53
LA66	0.89	60%	0.53	0.36	0.60	0.66	0.70	0.77	10.3	4.95	7.09	8.54	10.89	2.84	4.48	5.74	8.05
LA67	1.04	60%	0.62	0.42	0.60	0.66	0.70	0.77	10.6	4.90	7.02	8.46	10.79	3.06	4.81	6.16	8.64
LA68	1.23	60%	0.74	0.49	0.60	0.66	0.70	0.77	10.6	4.90	7.02	8.46	10.79	3.60	5.68	7.28	10.21
LA69	0.36	60%	0.22	0.15	0.60	0.66	0.70	0.77	11.5	4.74	6.79	8.18	10.43	1.41	2.29	2.97	4.15
LA70	1.26	60%	0.76	0.50	0.60	0.66	0.70	0.77	10.9	4.84	6.94	8.35	10.65	3.44	5.75	7.56	10.33
LA71	1.28	60%	0.77	0.51	0.60	0.66	0.70	0.77	8.1	5.37	7.69	9.26	11.83	4.11	6.48	8.30	11.66
LA72	1.28	60%	0.77	0.51	0.60	0.66	0.70	0.77	12.4	4.60	6.60	7.94	10.12	3.52			

Plotted By: Garner, Mikael Date: July 17, 2023 08:31:41am File Path: K:\saw\_civil\067783115\_meritloga\_buda\_assemblies\Cad\plansheets\C-Overall Storm Ph 1.dwg  
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MATCH LINE SHEET 106

MATCH LINE SHEET 107



UTILITY LEGEND

	PROPERTY LINE
	PHASE LINE
	PROPOSED STORM STRUCTURE
	PROPOSED STORM SEWER LINE
	PROPOSED WASTE WATER MANHOLE
	PROPOSED WASTE WATER FORCE MAIN
	PROPOSED FIRE HYDRANT
	PROPOSED WATER LINE

**Kimley-Horn**  
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 AUSTIN, TX 78745  
 PH: 512.476.1700  
 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

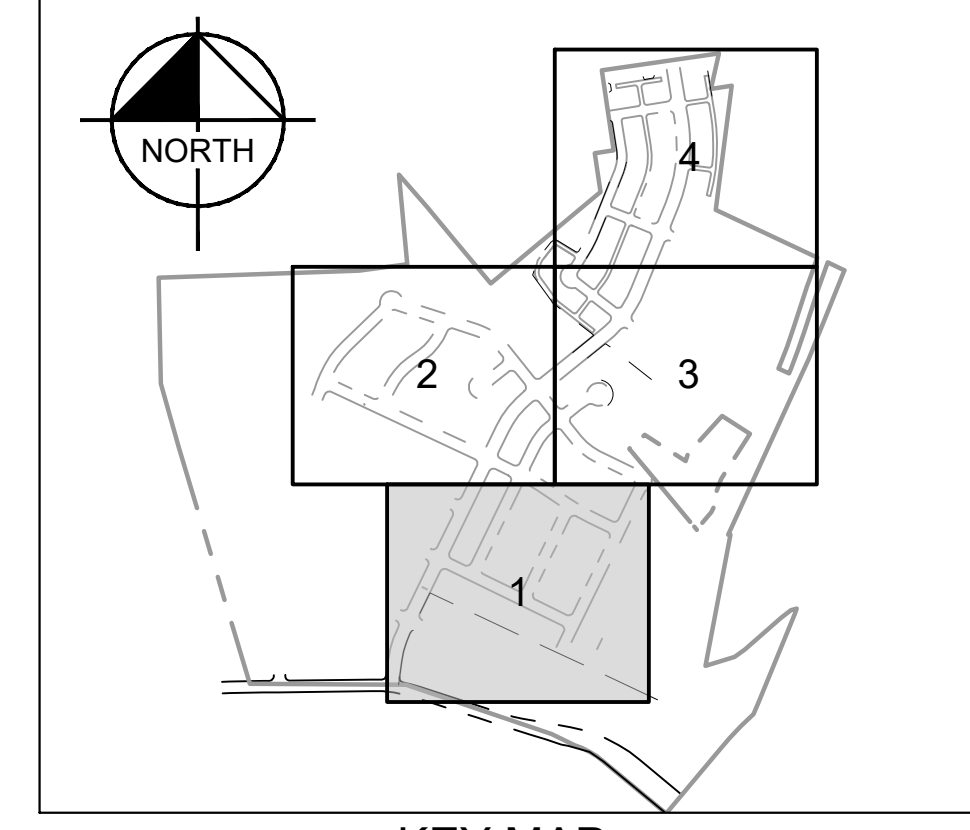
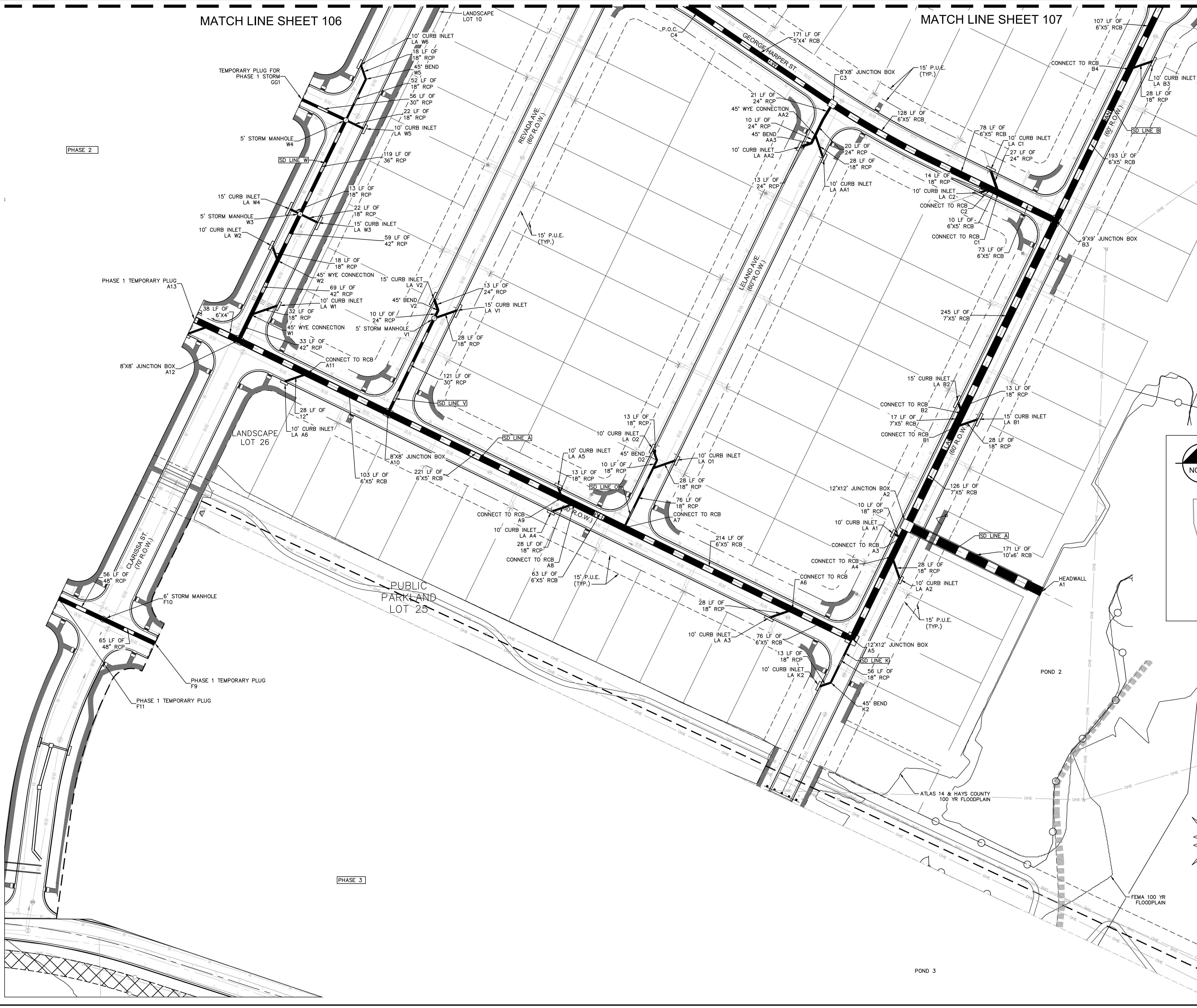
07/17/2023  
  
 Alejandro E. Granados-Rico  
 Licensed Professional Engineer  
 State of Texas

KHA PROJECT	067783115
DATE	JULY 2023
SCALE	AS SHOWN
DESIGNED BY	WB, DM
DRAWN BY	WB, HM, MH, DM
CHECKED BY	AEG

OVERALL STORM PLAN (1 OF 4)

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**105**  
 OF 226



**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**

BM #100	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 8770 N OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD	ELEV=718.57 (NAVD '88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION 185.0' THREE OVERHEAD ELECTRIC LINES	ELEV=712.04 (NAVD '88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF GLEBEAD COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE	ELEV=732.06 (NAVD '88)

CONSTRUCTION PLAN APPROVAL	SHEET	OF	226
FILE NUMBER	APPLICATION DATE		
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE		
EXPIRATION DATE	2021-737	CASE MANAGER	08/16/2021
<b>A. KENNEDY</b>			
City Engineer, City of Buda			
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING N/A			
Rev. 1	Correction 1		
Rev. 2	Correction 2		
Rev. 3	Correction 3		
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.			
PERMIT NUMBER: 2021-737			

POND 3

FEMA 100 YR FLOODPLAIN

ATLAS 14 & HAYS COUNTY  
 100 YR FLOODPLAIN

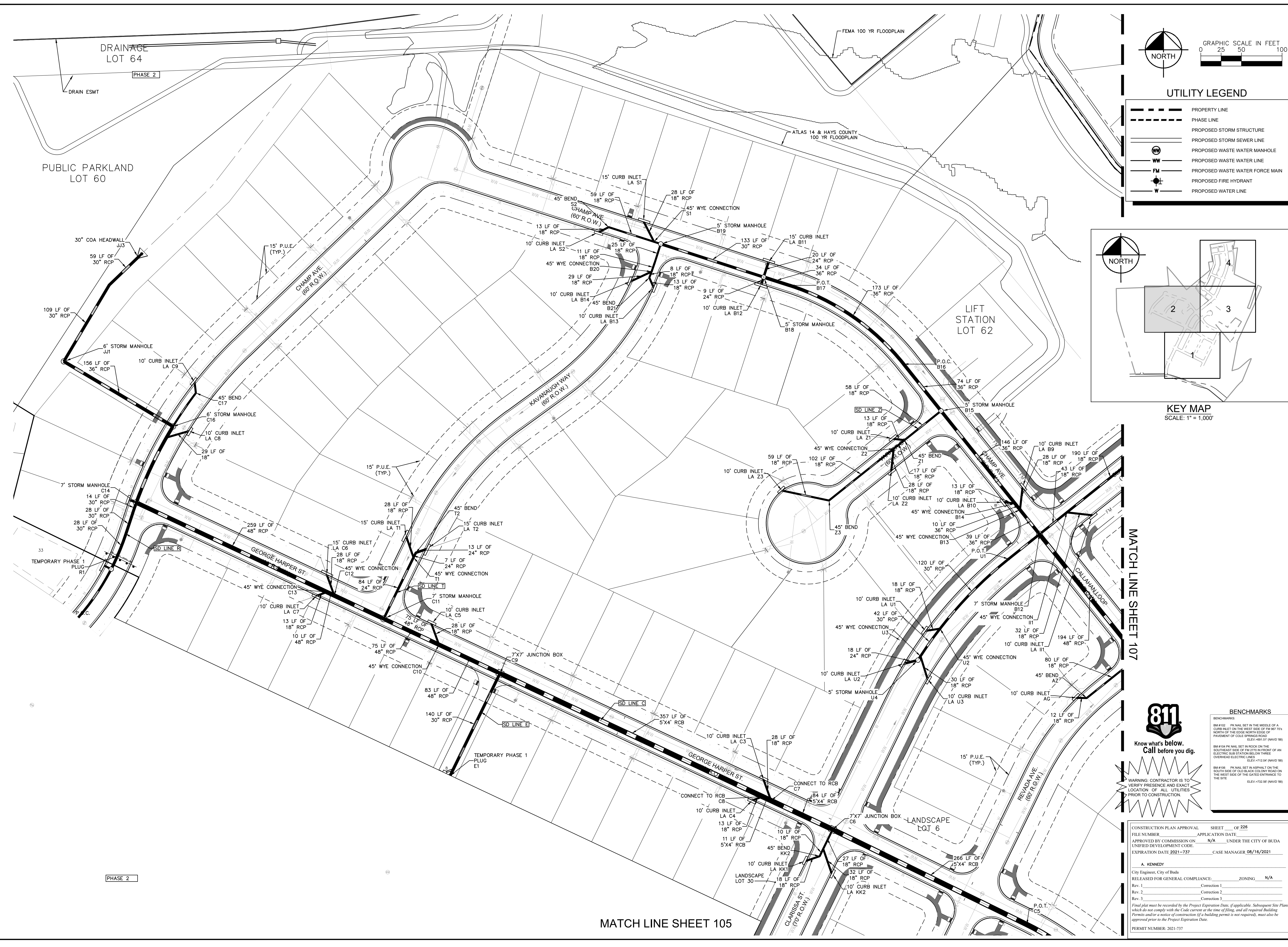
POND 2

PHASE 3

PHASE 2



Plotted by: Gomer, Mikael Date: July 17, 2023 08:32:37am File Path: K:\soul\_civil\067783115\_meritage\_buda\_assemble\Cad\plansheets\C-Overall Storm Ph 1.dwg  
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**UTILITY LEGEND**

- PROPERTY LINE
- PHASE LINE
- PROPOSED STORM STRUCTURE
- PROPOSED STORM SEWER LINE
- PROPOSED WASTE WATER LINE
- PROPOSED WASTE WATER FORCE MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LINE

**KEY MAP**  
SCALE: 1" = 1,000'

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 877 IN FRONT OF THE NORTH SIDE OF COLE SPRINGS ROAD ELEV = 112.50 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV = 112.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTHWEST SIDE OF GLEBEAD COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV = 732.00 (NAVD 88)

**811**  
Know what's below. Call before you dig.

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET    OF   228  

FILE NUMBER    APPLICATION DATE   

APPROVED BY COMMISSION ON   N/A   UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-237 CASE MANAGER 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE:    ZONING   N/A  

Rev. 1    Correction 1

Rev. 2    Correction 2

Rev. 3    Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78745  
PH: 512.424.8757  
WWW.KIMLEY-HORN.COM

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TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS, RICO  
130094  
LICENSED PROFESSIONAL ENGINEER  
Miguel E. Lopez

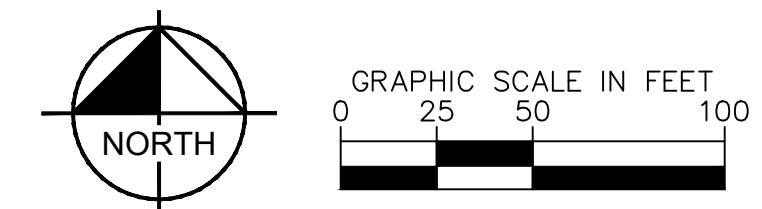
KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,MM,MH,DM  
CHECKED BY: AEG

**OVERALL STORM PLAN (2 OF 4)**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

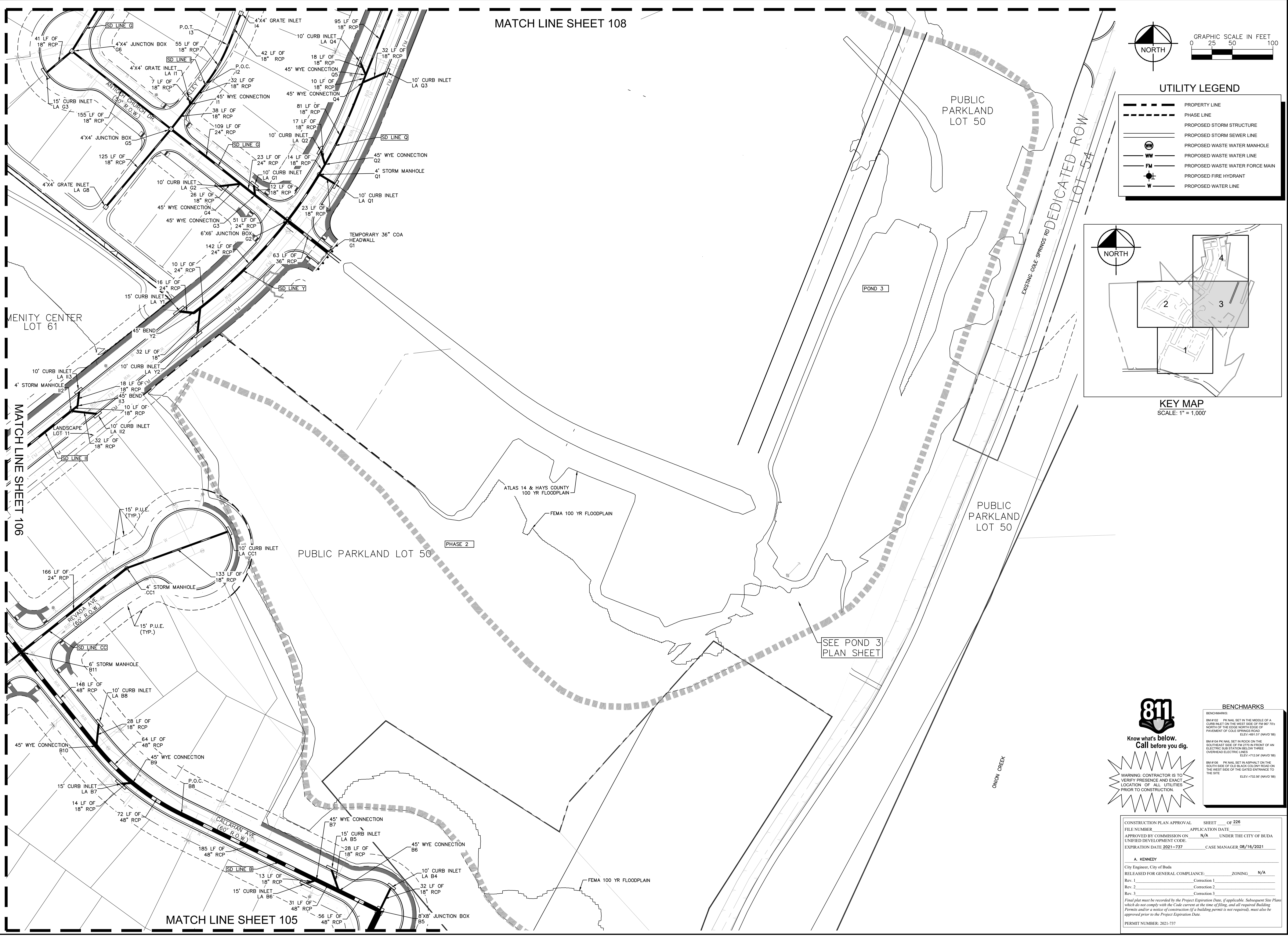
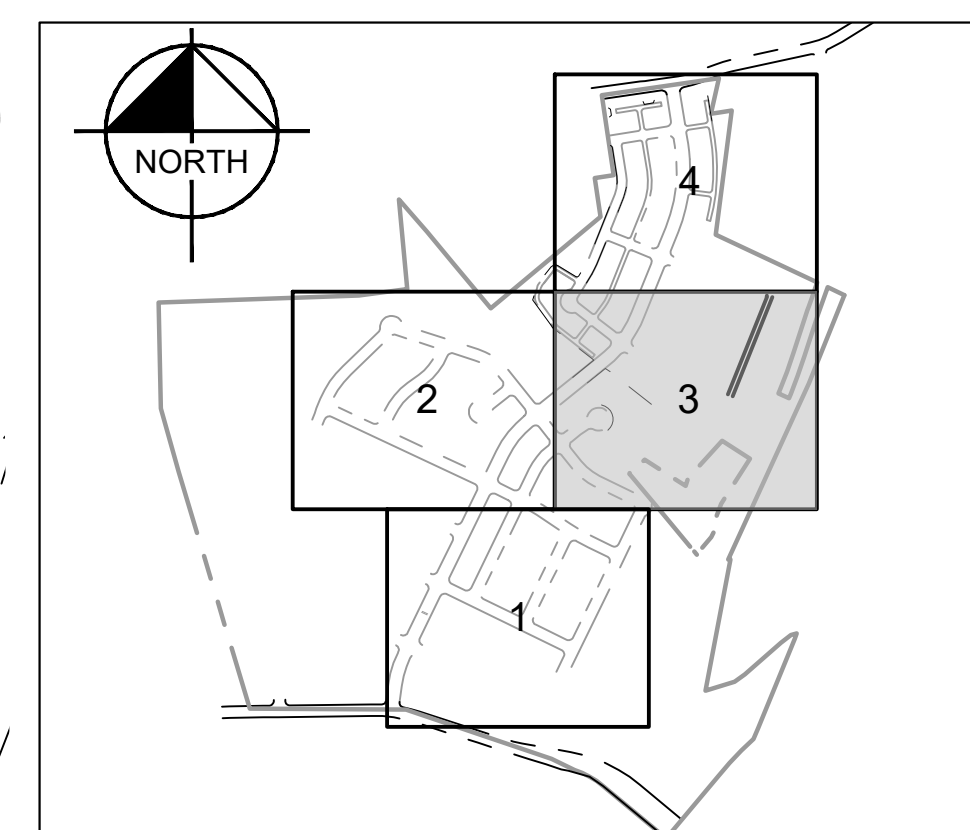
SHEET NUMBER **106**  
OF 226

MATCH LINE SHEET 108



**UTILITY LEGEND**

	PROPERTY LINE
	PHASE LINE
	PROPOSED STORM STRUCTURE
	PROPOSED STORM SEWER LINE
	PROPOSED WASTE WATER MANHOLE
	PROPOSED WASTE WATER FORCE MAIN
	PROPOSED FIRE HYDRANT
	PROPOSED WATER LINE



**811**  
Know what's below.  
Call before you dig.

**BENCHMARKS**

BM #100 - PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 807 174' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV = 712.06 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV = 712.04 (NAVD 88)

BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF GLEBEAD COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 732.06 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 0228 OF 228

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

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AUSTIN, TX 78745  
PH: 512.474.8757  
WWW.KIMLEY-HORN.COM

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TBE Firm No. 928

07/17/2023

**Alejandro E. Granados-Rico**  
Professional Engineer  
No. 130084

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEG

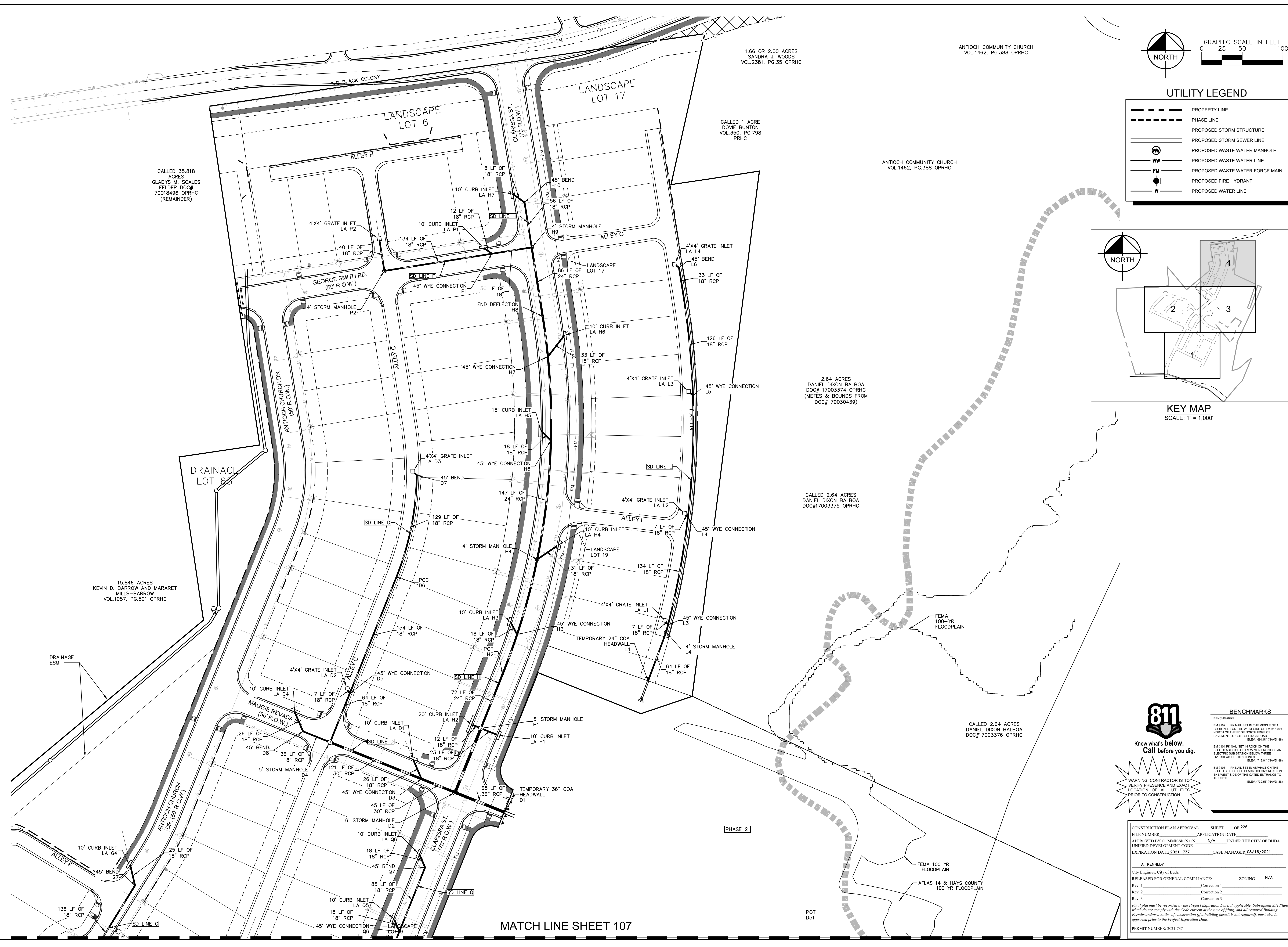
**OVERALL STORM PLAN (3 OF 4)**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER  
**107**  
OF 226

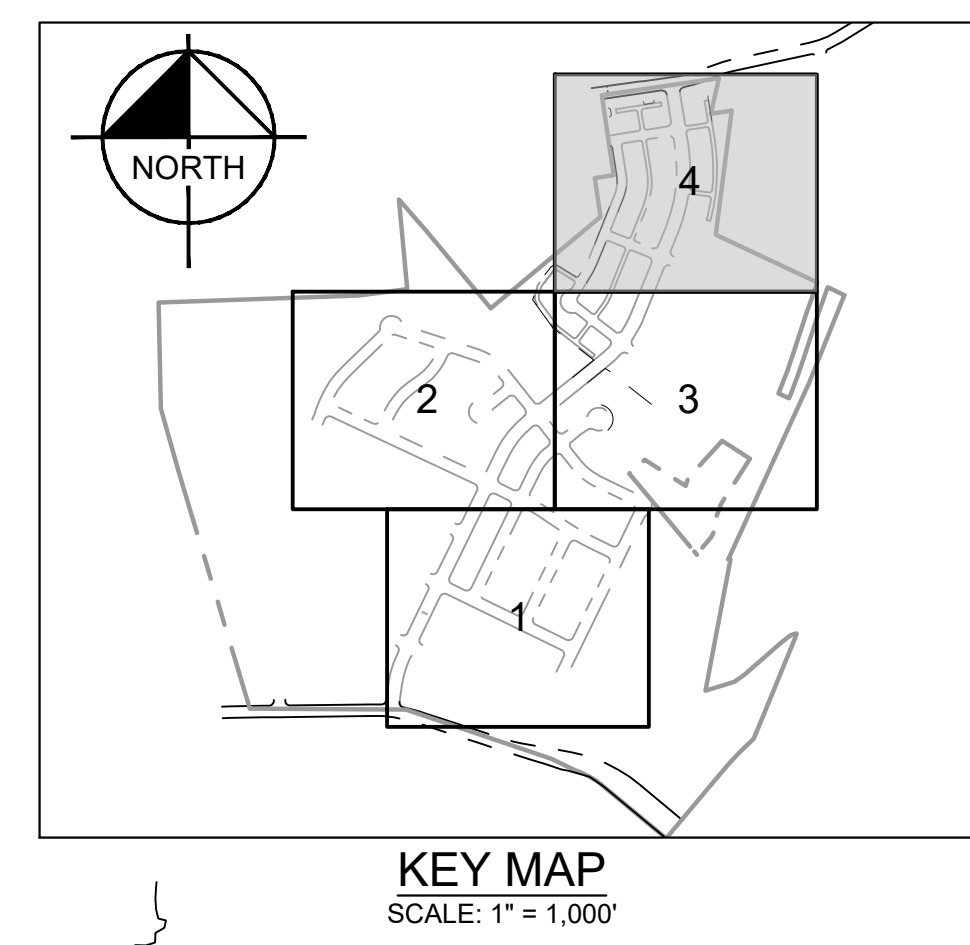
Plotted By: Garner, Mikael Date: July 17, 2023 08:33:21am File Path: K:\sow\_civ\067783115 meritage\_buda\_assemblies\Cad\plansheets\C-Overall Storm Ph 1.dwg  
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Plotted by: Gomer, Mikael Date: July 17, 2023 08:34:23am File Path: K:\soul\_civil\067783115 meritage\_buda\_assemblage\Cad\plansheets\C-Overall Storm Ph 1.dwg  
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**UTILITY LEGEND**

- PROPERTY LINE
- PHASE LINE
- PROPOSED STORM STRUCTURE
- PROPOSED STORM SEWER LINE
- PROPOSED WASTE WATER MANHOLE
- PROPOSED WASTE WATER LINE
- PROPOSED WASTE WATER FORCE MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LINE



**811**  
Know what's below.  
Call before you dig.

**BENCHMARKS**

- BM #100 - 1/4" NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 867 70'4" NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=732.50 (NAVD '88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST CORNER OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=732.04 (NAVD '88)
- BM #106 - 1/4" NAIL SET IN ASPHALT ON THE SOUTH SIDE OF GLEBEAD COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=732.06 (NAVD '88)

CONSTRUCTION PLAN APPROVAL SHEET 228 OF 228

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-237 CASE MANAGER 08/16/2021

**A. KENNEDY**

City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING \_\_\_\_\_ N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley & Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 PH: 512.426.7757  
 WWW.KIMLEY-HORN.COM

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 TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 130094  
 LICENSED PROFESSIONAL ENGINEER  
 MECHANICAL ENGINEERING

*Aljank E. Rico-Liu*

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

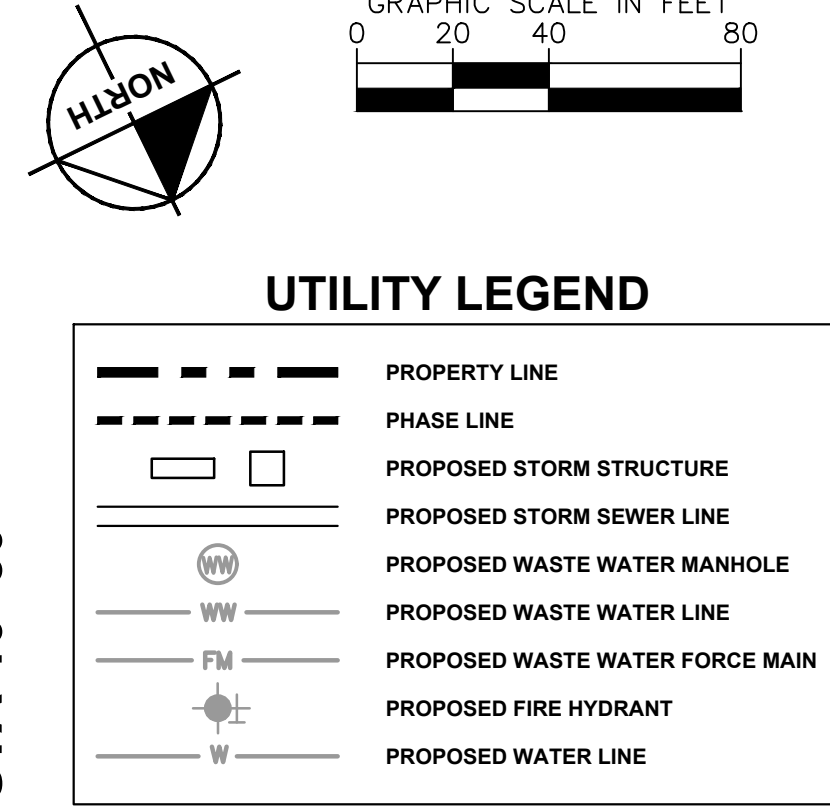
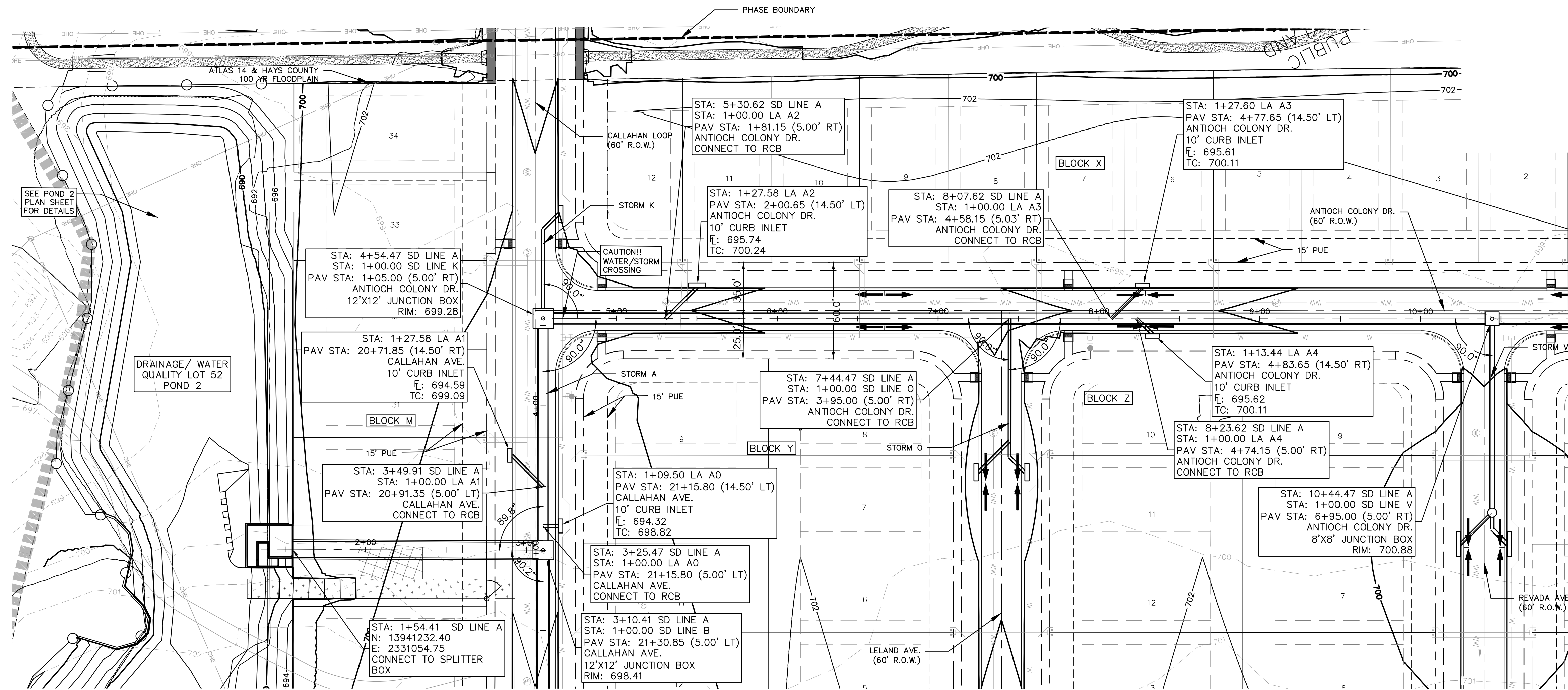
**OVERALL STORM PLAN (4 OF 4)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**108**  
 OF 226

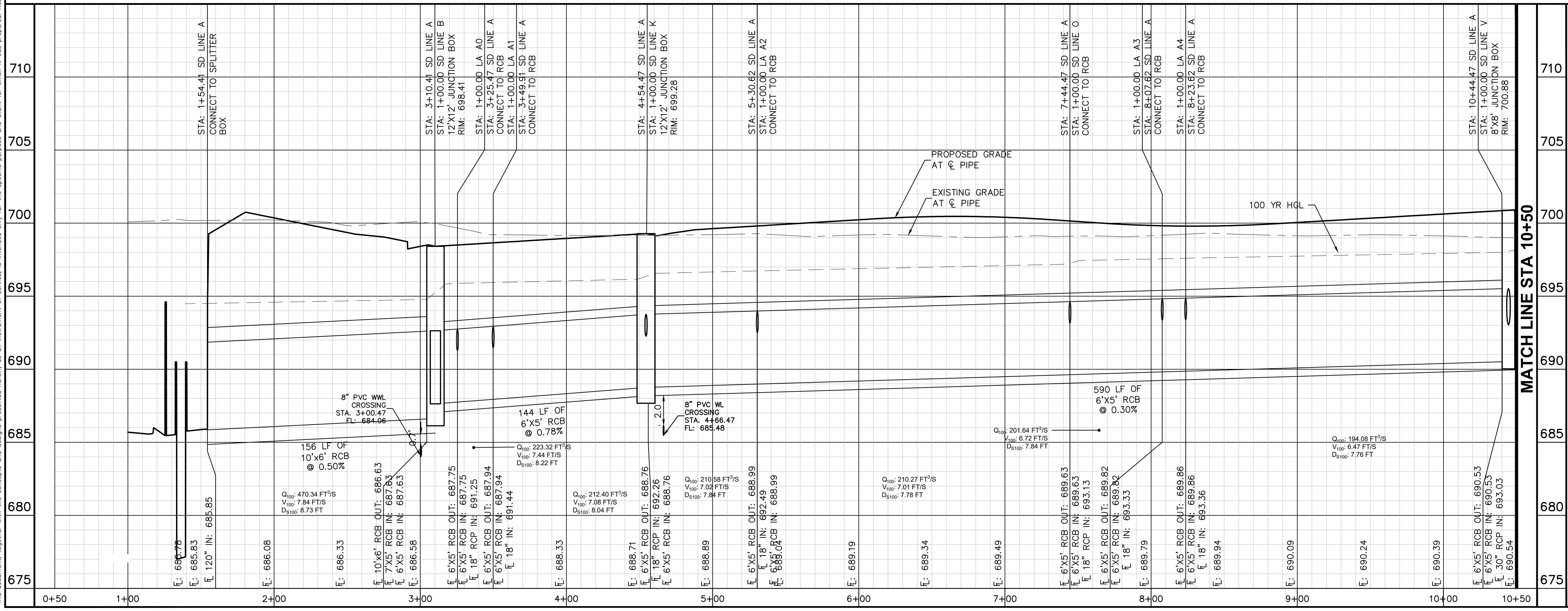
MATCH LINE SHEET 107

Plotted By: Garner, Michael Date: July 17, 2023 08:40:46am File Path: K:\sow\_civil\067783115\_meritage\_buda\_assemble\Cad\plansheets\C-Storm P&P (SD A&B).dwg  
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NOTES:  
1. ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.  
2. FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.

SD LINE A



**811**  
Know what's below.  
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**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

**BENCHMARKS**

- BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV = 697.87 (NAVD 88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THIRSE OVERHEAD ELECTRIC LINES. ELEV = 712.04 (NAVD 88)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 228  
FILE NUMBER 2020-202 APPLICATION DATE 03/16/2020  
APPROVED BY COMMISSION N/A UNDER THE CITY OF BUDA  
UNIFIED DEVELOPMENT CODE  
EXPIRATION DATE CASE MANAGER A. KENNEDY

City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE: ZONING N/A  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.  
PERMIT NUMBER: 2021-737

STORM DRAIN PLAN & PROFILE - SD LINE A (1 OF 2)

THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER  
**109**  
OF 226

**Kimley-Horn**  
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AUSTIN, TX 78745  
WWW.KIMLEY-HORN.COM  
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TBE Firm

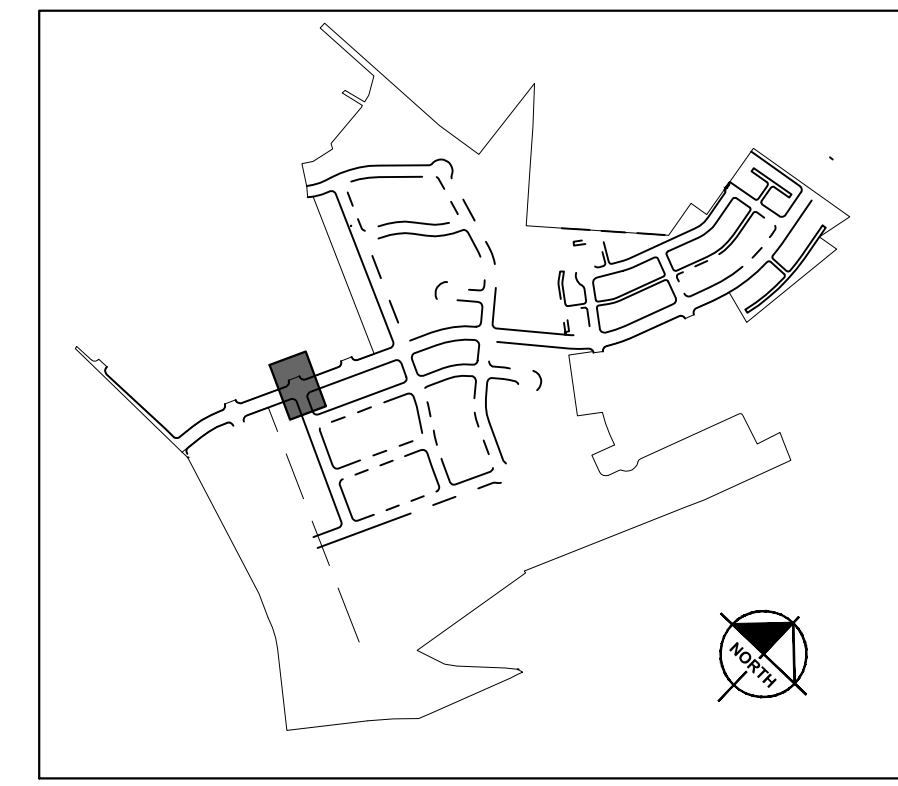
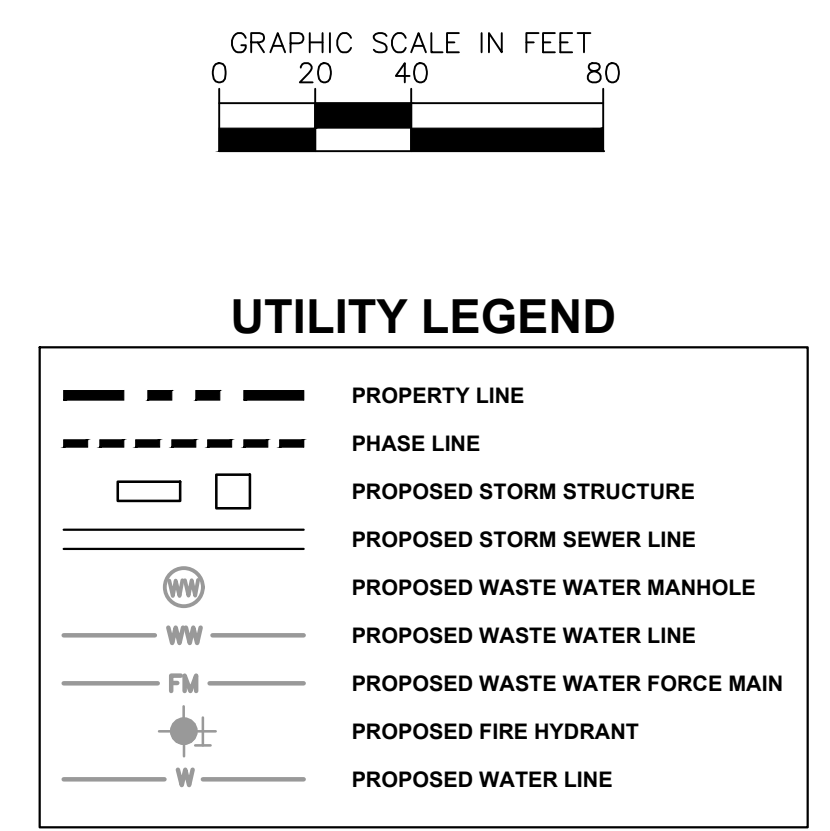
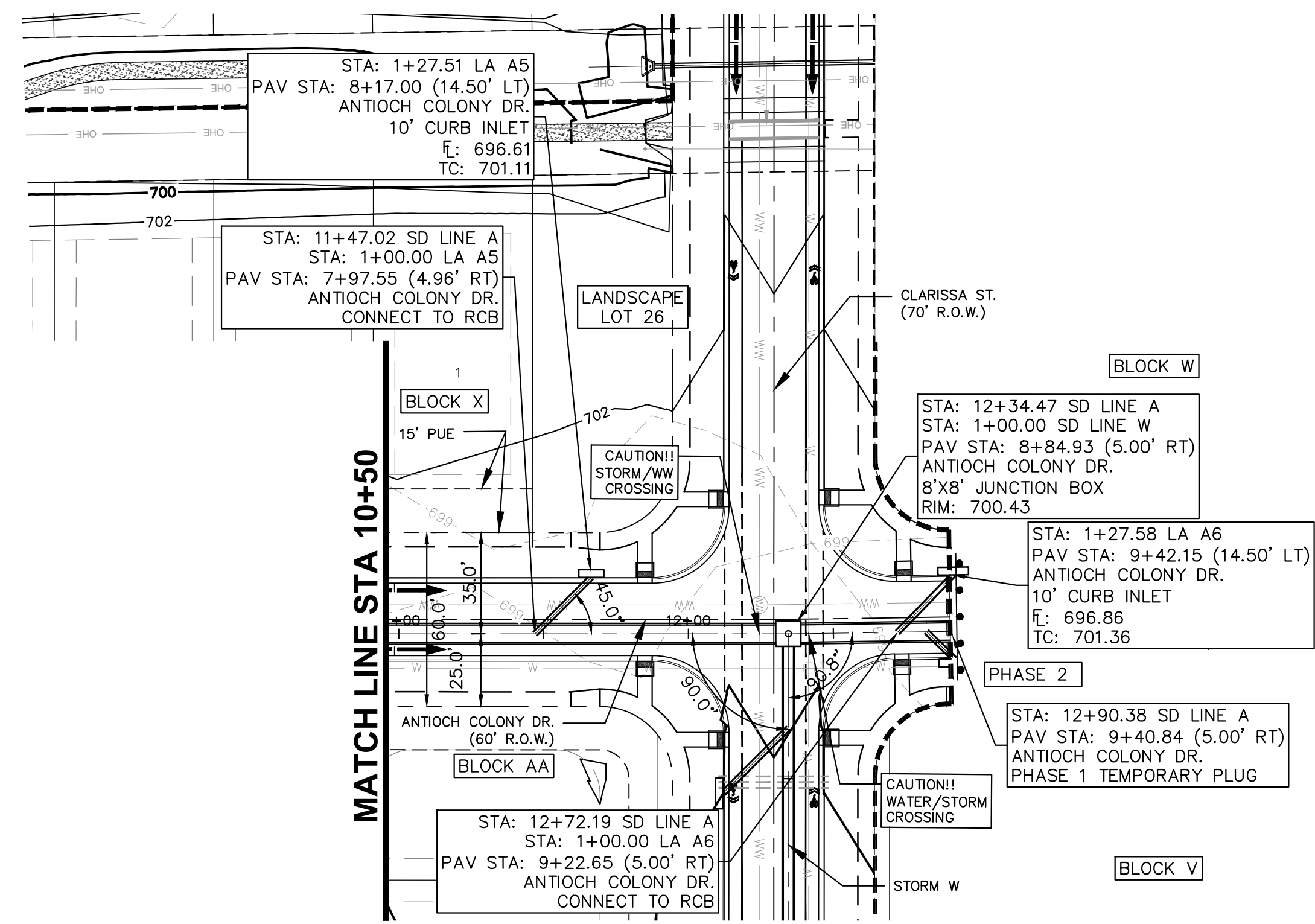
07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
131005  
LICENSED PROFESSIONAL ENGINEER  
No. 131005  
Aljank E. Rios-Liu

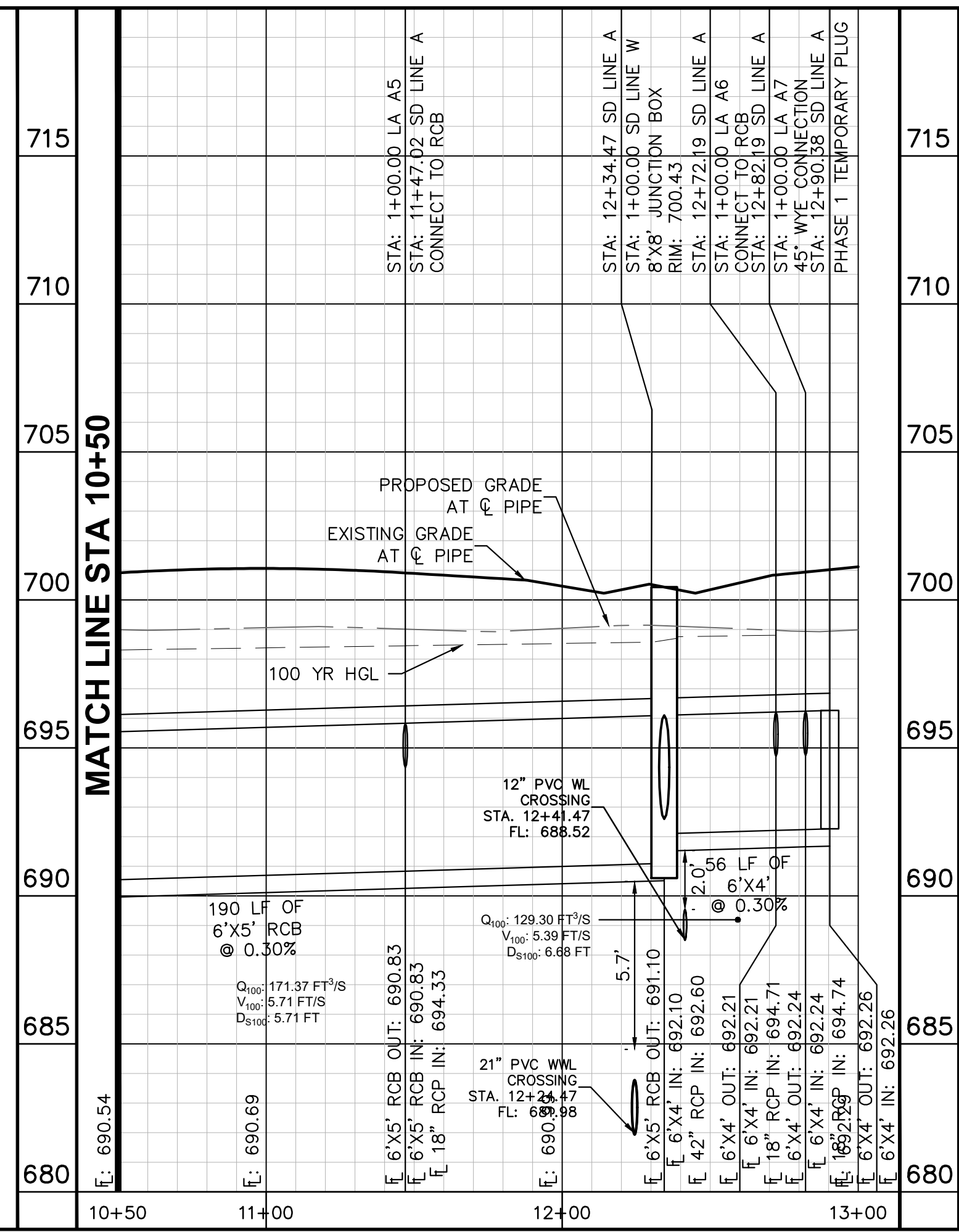
KHA PROJECT 067783115  
DATE JULY 2023  
SCALE AS SHOWN  
DESIGNED BY: WB-DM  
DRAWN BY: WB-HM, MH-LDM  
CHECKED BY: AEC

NO.	REVISIONS	DATE	BY

Plotted By: Garner, Mikael Date: July 17, 2023 08:41:27am File Path: K:\you\_civil\067783115 heritage buda assemblage\Cad\plansheets\C-Storm P&P (SD A&B).dwg  
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**SD LINE A**



**811**  
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**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 867 77' NORTHERN OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=698.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF CLARISSA COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

**CONSTRUCTION PLAN APPROVAL** SHEET \_\_\_ OF 228  
 FILE NUMBER: 3020-302 APPLICATION DATE: 03/16/2020  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: CASE MANAGER: A. KENNEDY

City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: ZONING: N/A  
 Rev. 1 Correction 1  
 Rev. 2 Correction 2  
 Rev. 3 Correction 3

*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.*

PERMIT NUMBER: 2021-737

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 AUSTIN, TX 78745  
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 TBPE Firm No. 928

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

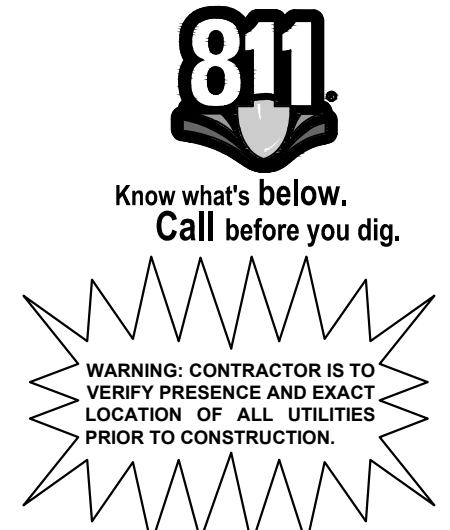
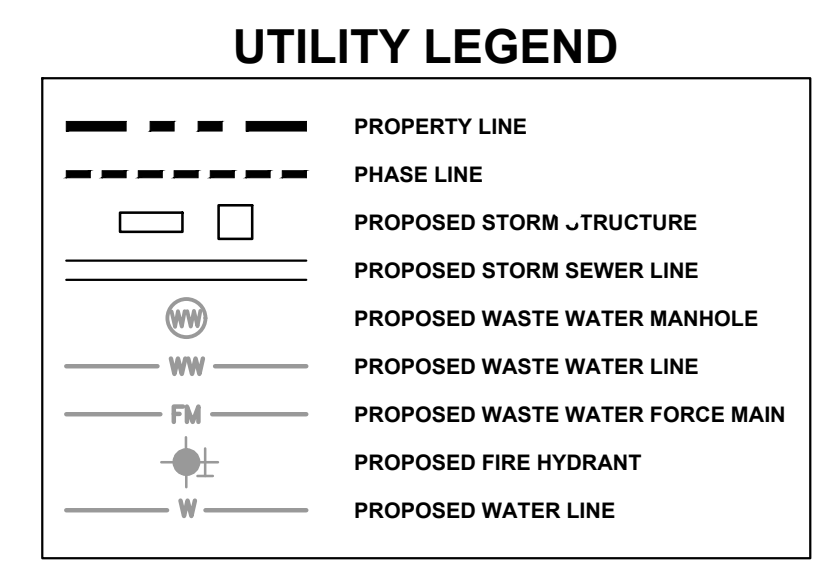
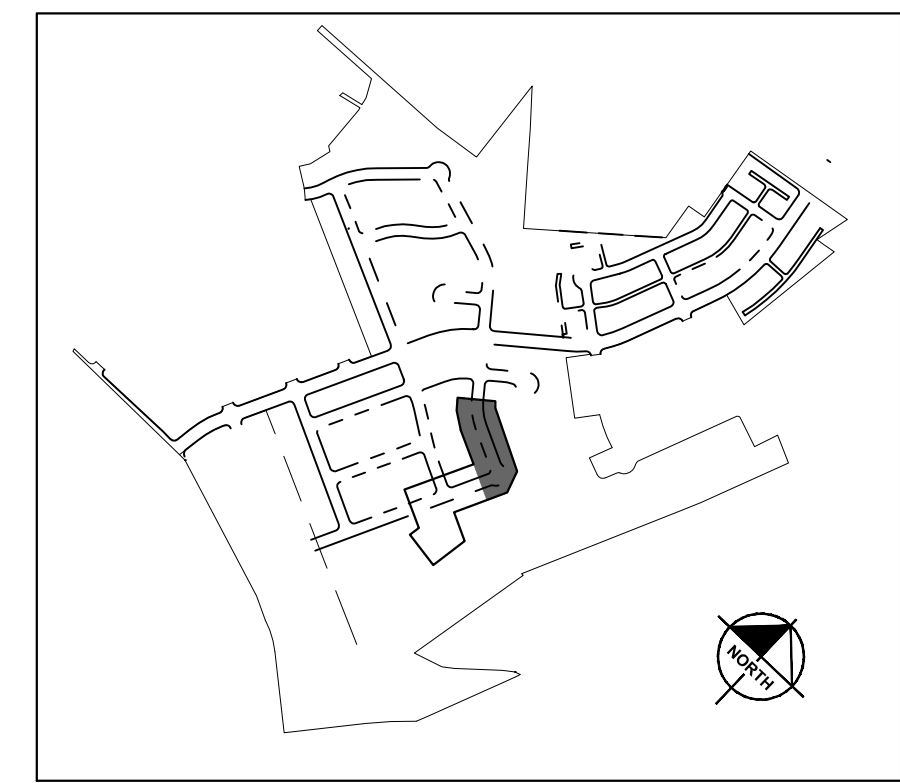
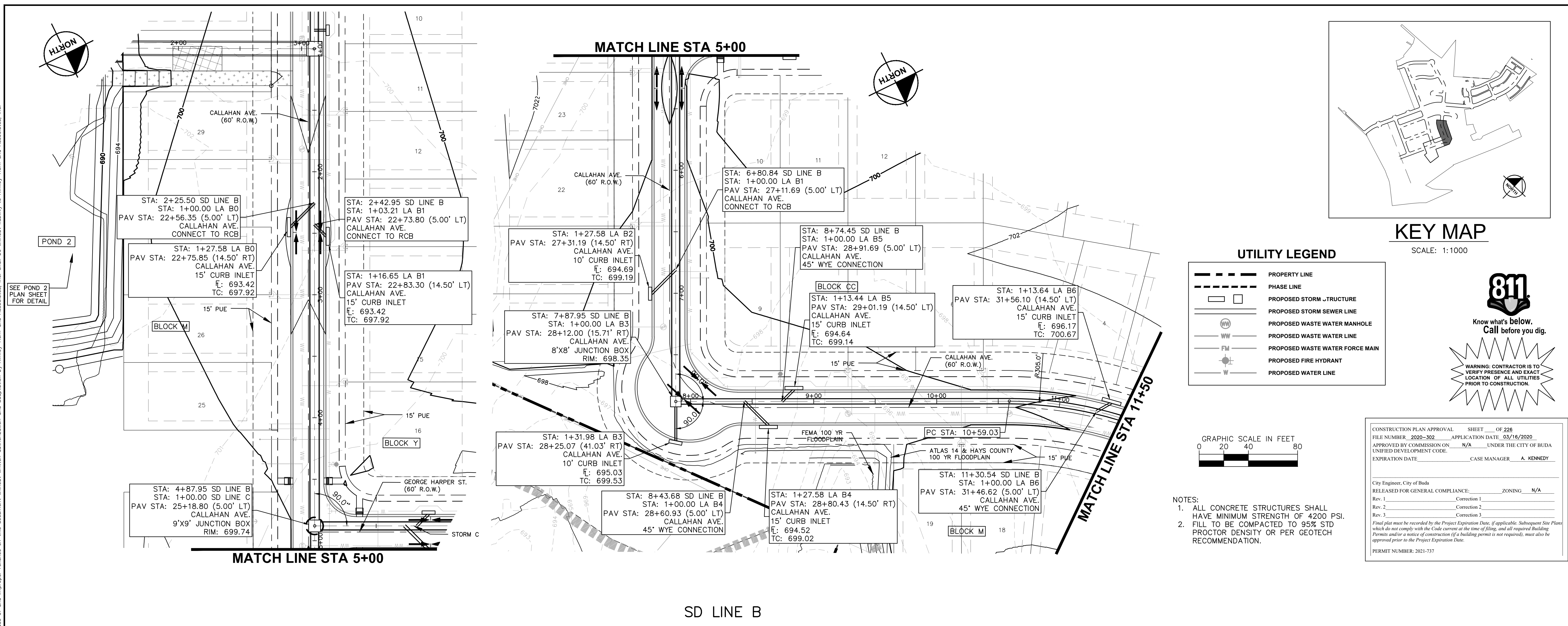
**STORM DRAIN PLAN & PROFILE - SD LINE A (2 OF 2)**

**SHEET NUMBER**  
 110  
 OF 226

**REVISIONS**

No.	DATE	BY

Plotted By: Garner, Mikael Date: July 17, 2023 08:42:14am File Path: K:\you\_civil\067783115 heritage buda assemblage\Cad\plansheets\C-Storm P&P (SD A&B).dwg  
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CONSTRUCTION PLAN APPROVAL SHEET OF 226  
 FILE NUMBER: 2020-302 APPLICATION DATE: 03/16/2020  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA  
 UNIFIED DEVELOPMENT CODE:  
 EXPIRATION DATE: CASE MANAGER: A. KENNEDY

City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: ZONING: N/A  
 Rev. 1: Correction 1  
 Rev. 2: Correction 2  
 Rev. 3: Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.  
 PERMIT NUMBER: 2021-737

- NOTES:  
 1. ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.  
 2. FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78746  
 PH: 512.444.5537  
 WWW.KIMLEY-HORN.COM  
 © 2016 KIMLEY-HORN AND ASSOCIATES, INC.  
 TBE Firm No. 928

07/17/2023

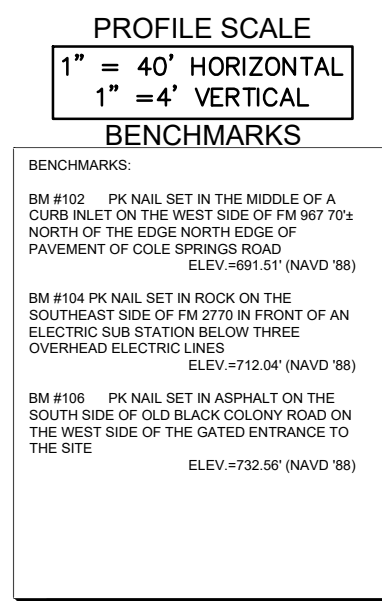
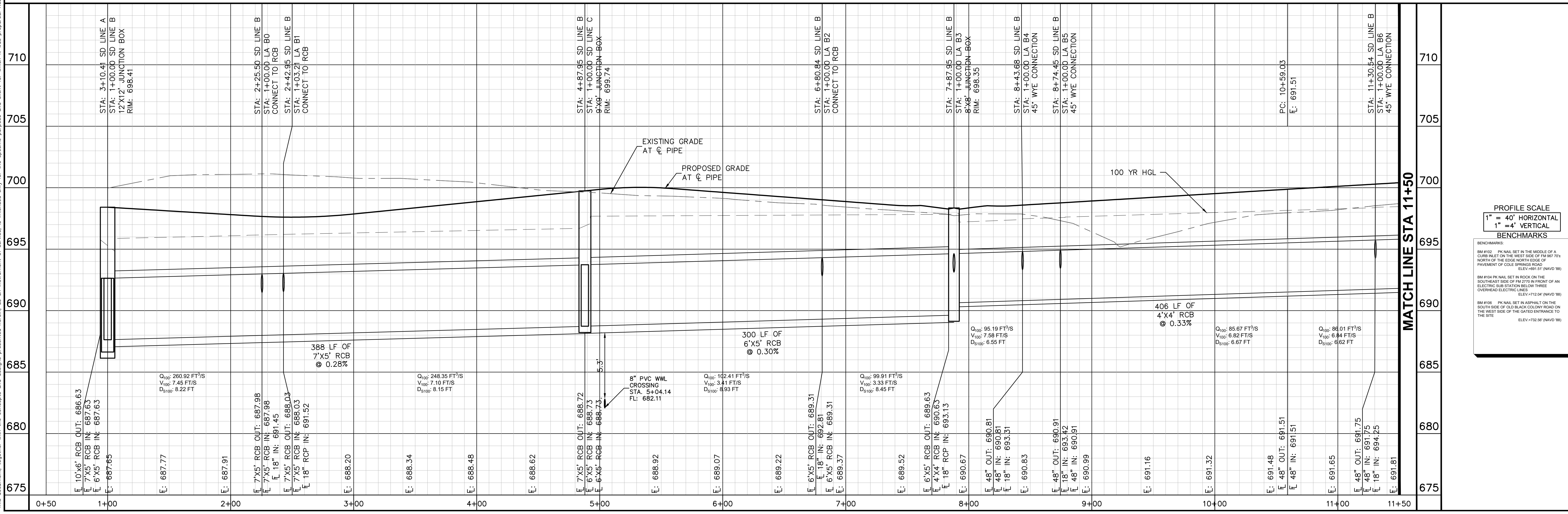
Alejandro E. Granados-Rico  
 Licensed Professional Engineer  
 State of Texas

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,LD  
 CHECKED BY: AEC

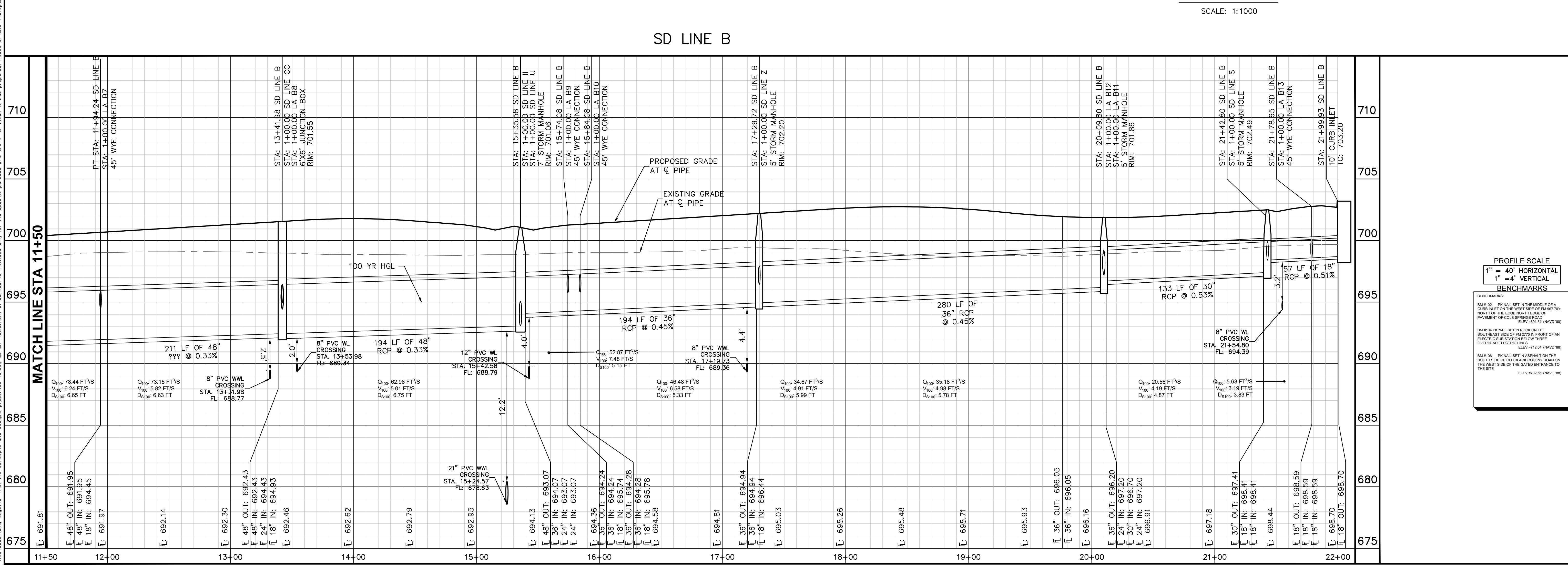
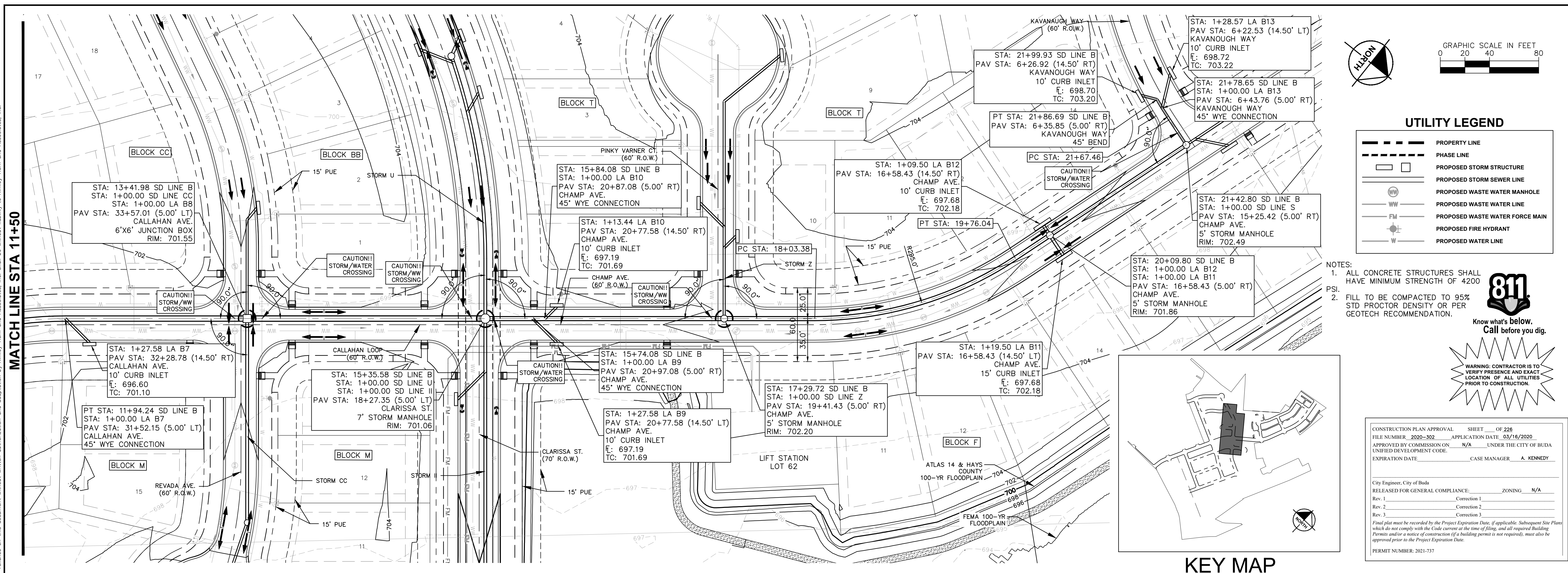
THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

STORM DRAIN PLAN &  
 PROFILE - SD LINE B  
 (1 OF 2)

SHEET NUMBER  
**111**  
 OF 226



Plotted By: Garner, Michael Date: July 17, 2023 08:42:46am File Path: K:\suo\_civil\067783115 merritge budda assembly\Cad\plansheets\C-Storm P&P (SD, A&E).dwg  
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**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

**STORM DRAIN PLAN & PROFILE - SD LINE B (2 OF 2)**

SHEET NUMBER **112**  
OF 226

**Kimley-Horn**  
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AUSTIN, TX 78745  
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TBE Firm No. 928

**811**  
Know what's below. Call before you dig.  
WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

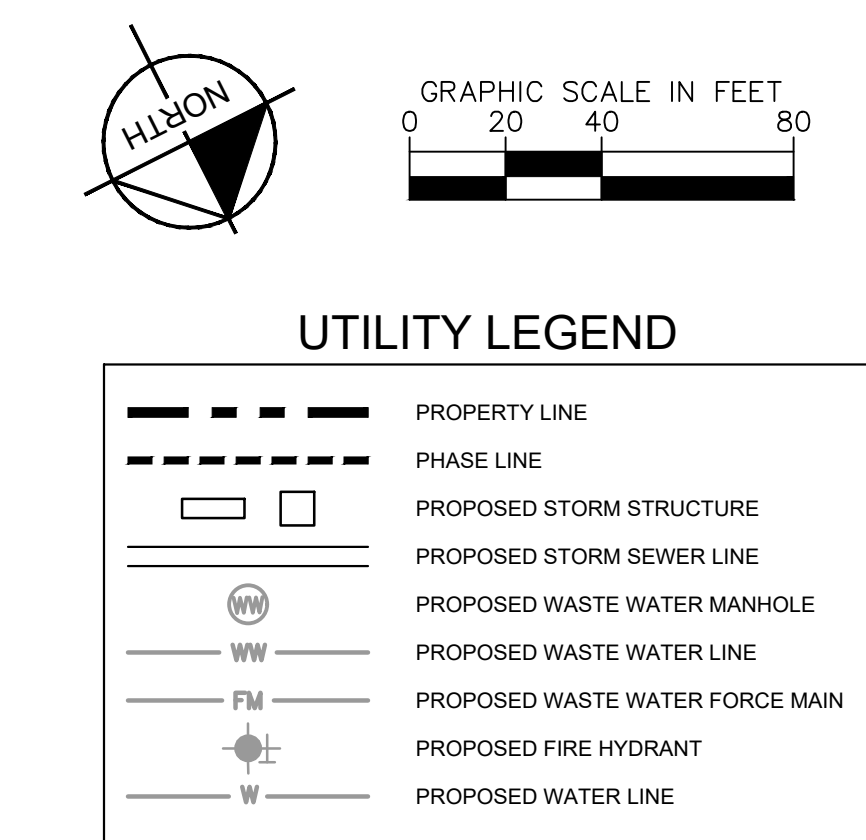
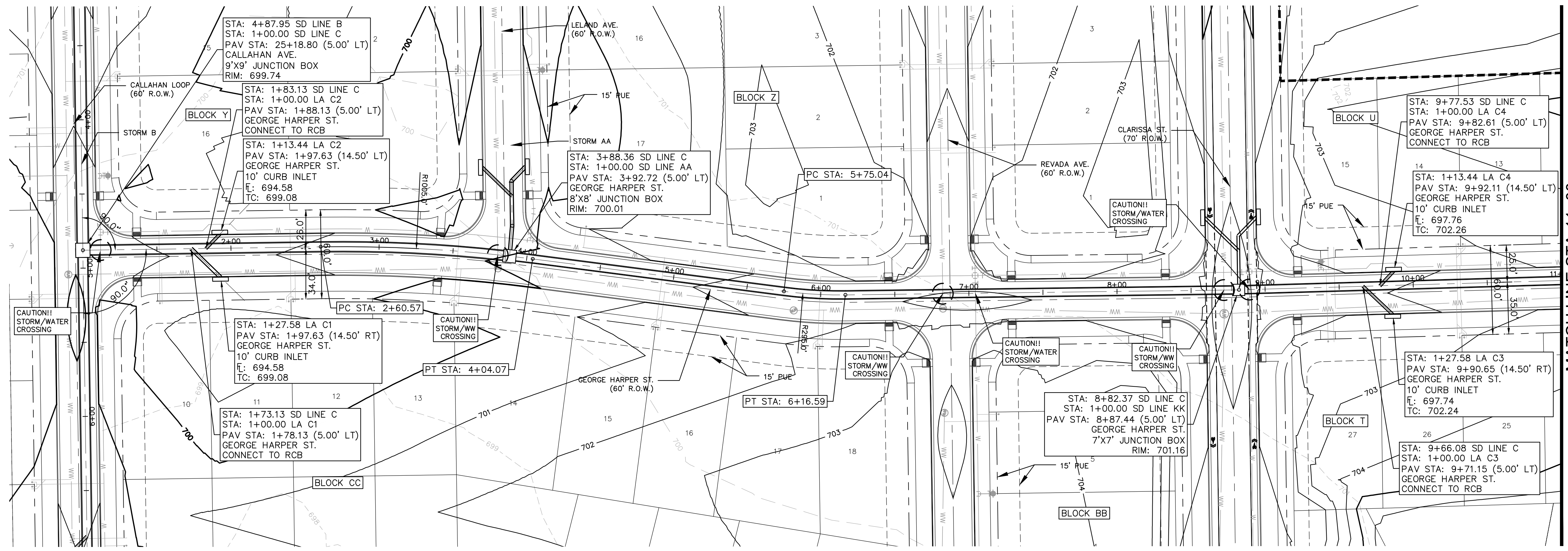
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FILE NUMBER: 2020-302 APPLICATION DATE: 03/16/2020  
APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
EXPIRATION DATE: CASE MANAGER: A. KENNEDY

City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE: ZONING: N/A  
Rev. 1: Correction 1  
Rev. 2: Correction 2  
Rev. 3: Correction 3  
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.  
PERMIT NUMBER: 2021-737

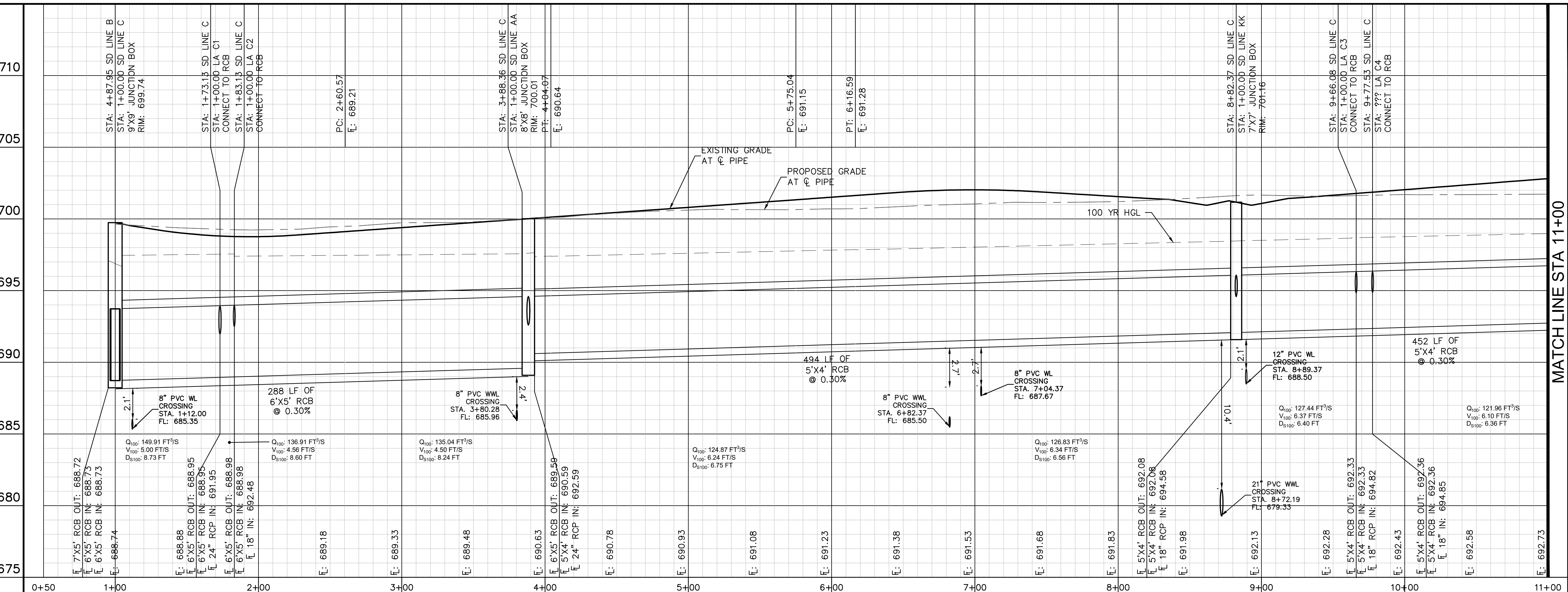
**REVISIONS**

No.	DATE	BY

KHA PROJECT 067783115  
DATE JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEC



**SD LINE C**



**Kimley-Horn**  
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07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13308  
 Aljano E. Rios-Liu

**811**  
 Know what's below. Call before you dig.  
 WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

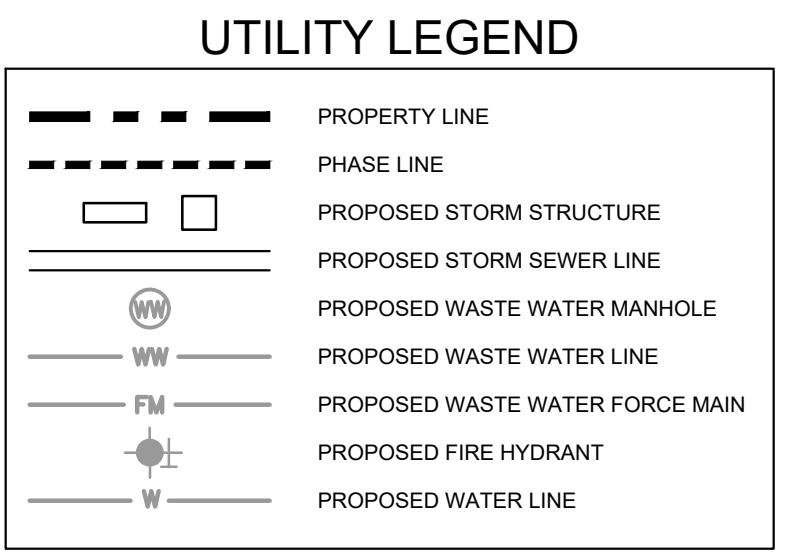
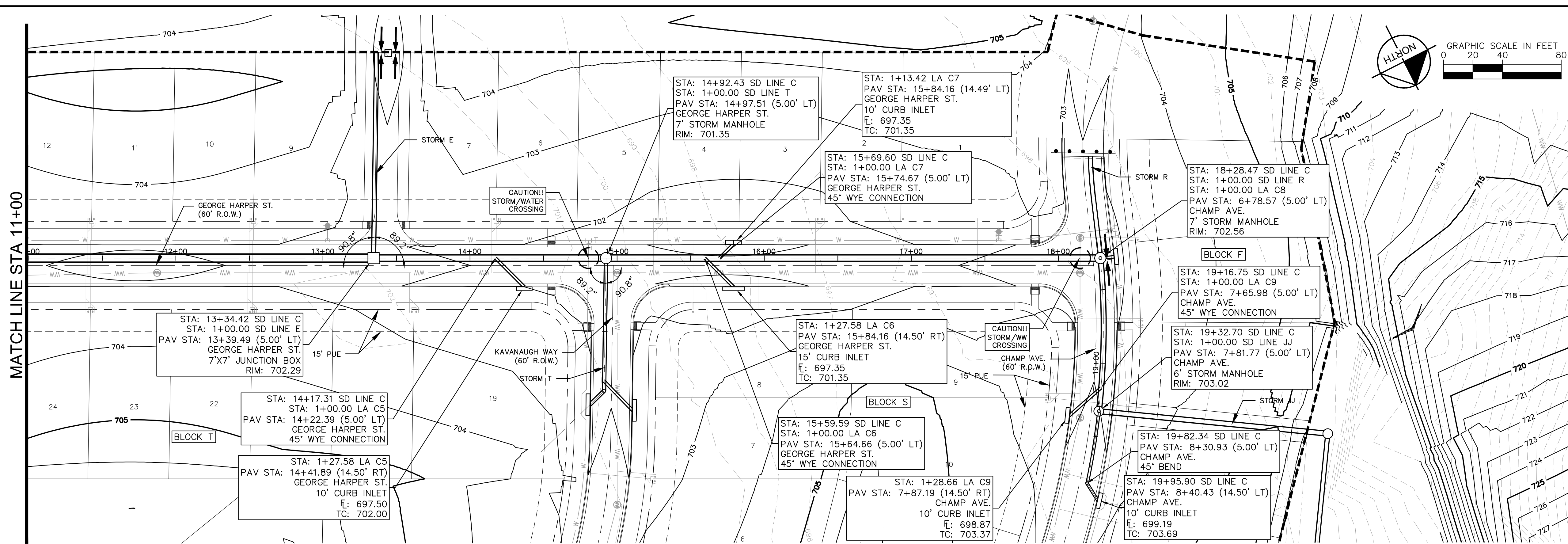
THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

STORM DRAIN PLAN & PROFILE - SD LINE C (1 OF 2)

SHEET NUMBER  
 113  
 OF 226

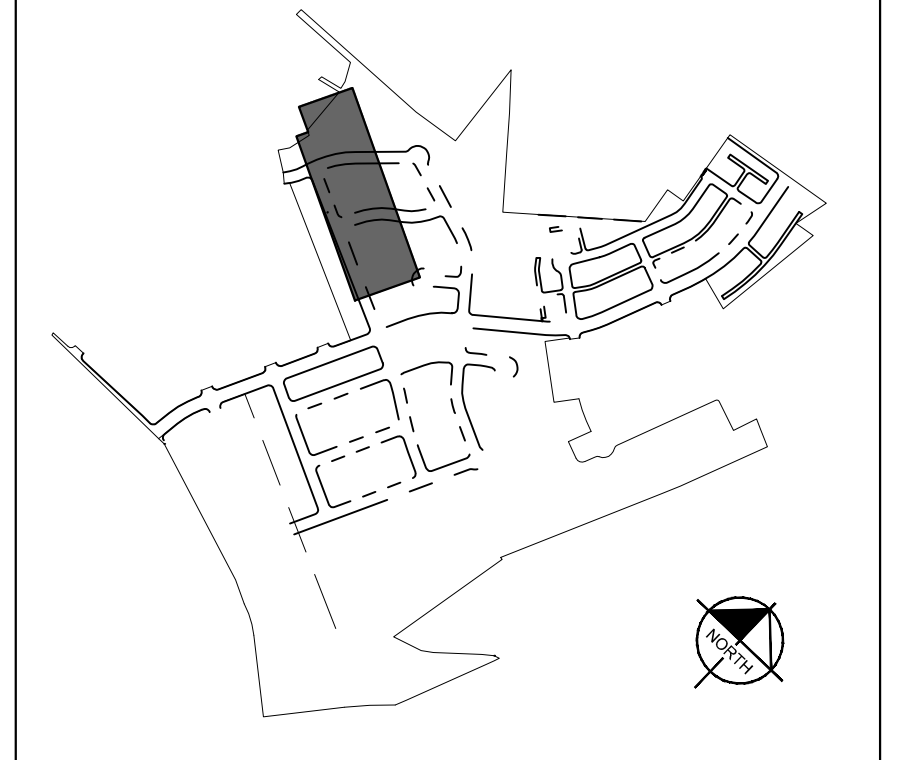


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**NOTES:**

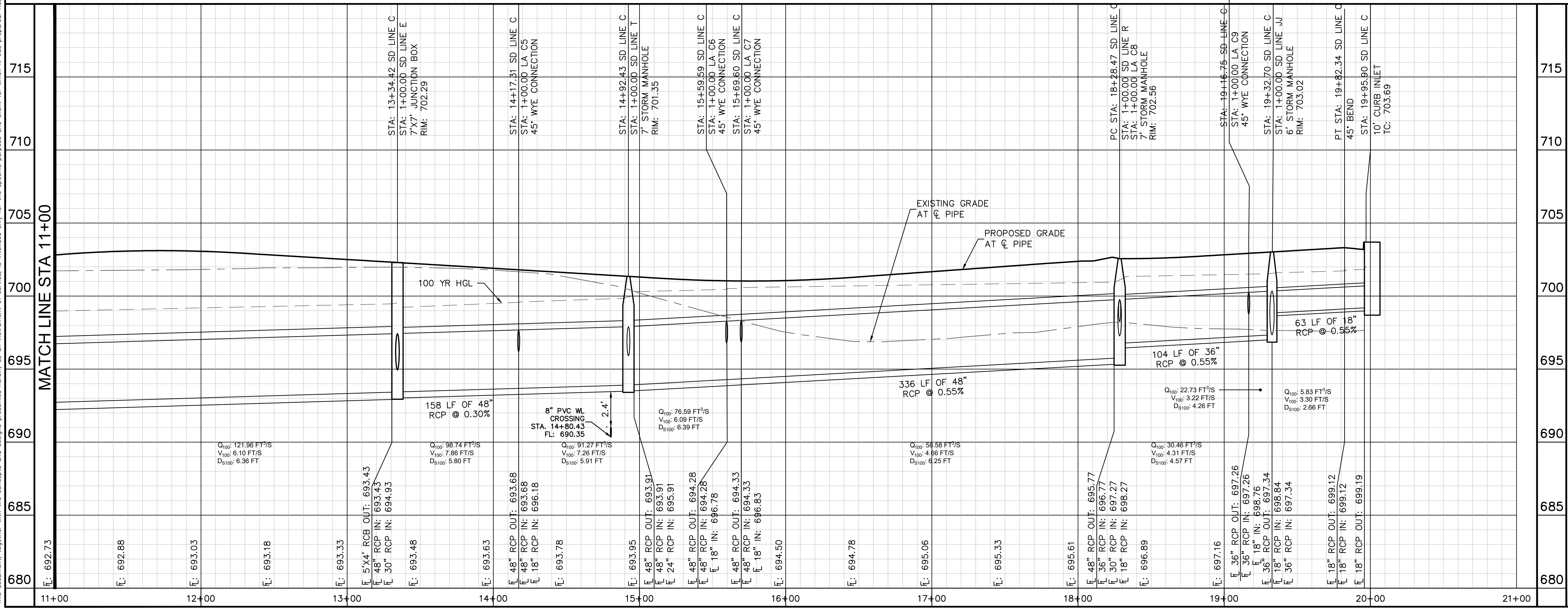
- ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.
- FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.



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 TBE Firm

07/17/2023  
  
 Alejandro E. Granados-Rico  
 Licensed Professional Engineer  
 State of Texas  
 License No. 13058  
 KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,ML,DM  
 CHECKED BY: AEC

**SD LINE C**



WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897.774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV: 697.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV: 712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
 FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A  
 Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

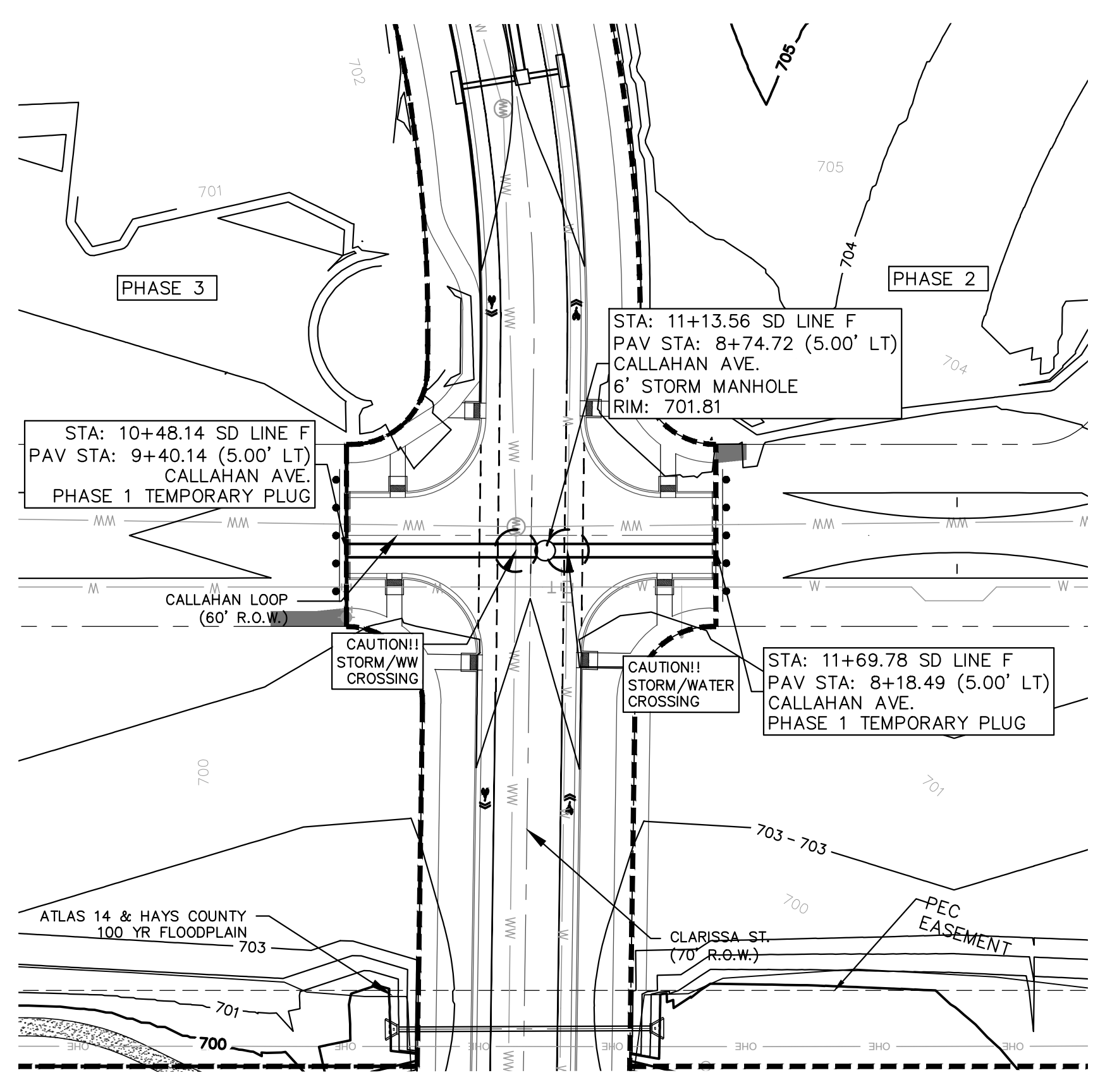
**STORM DRAIN PLAN & PROFILE - SD LINE C (2 OF 2)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

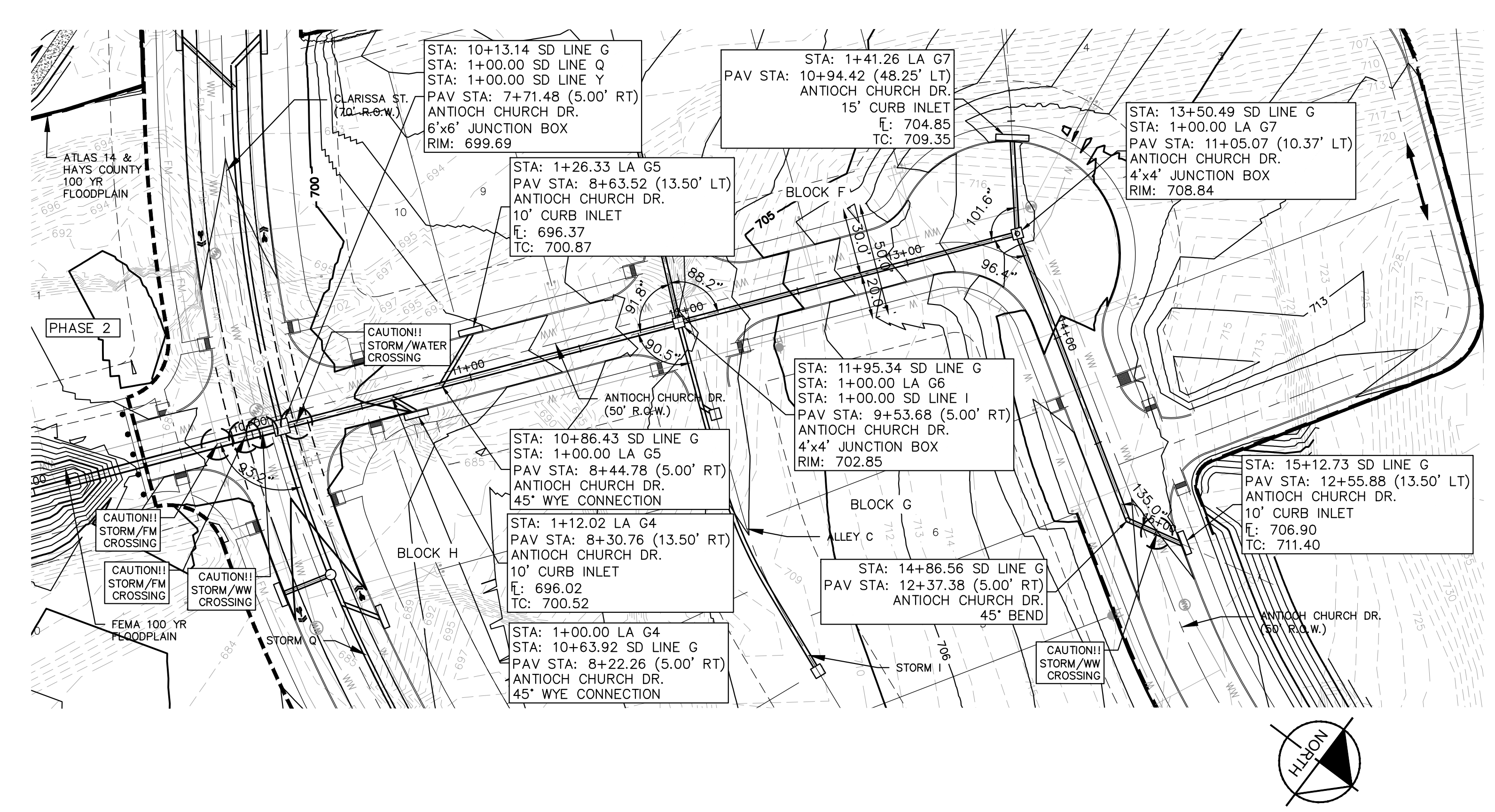
SHEET NUMBER  
**114**  
 OF 226



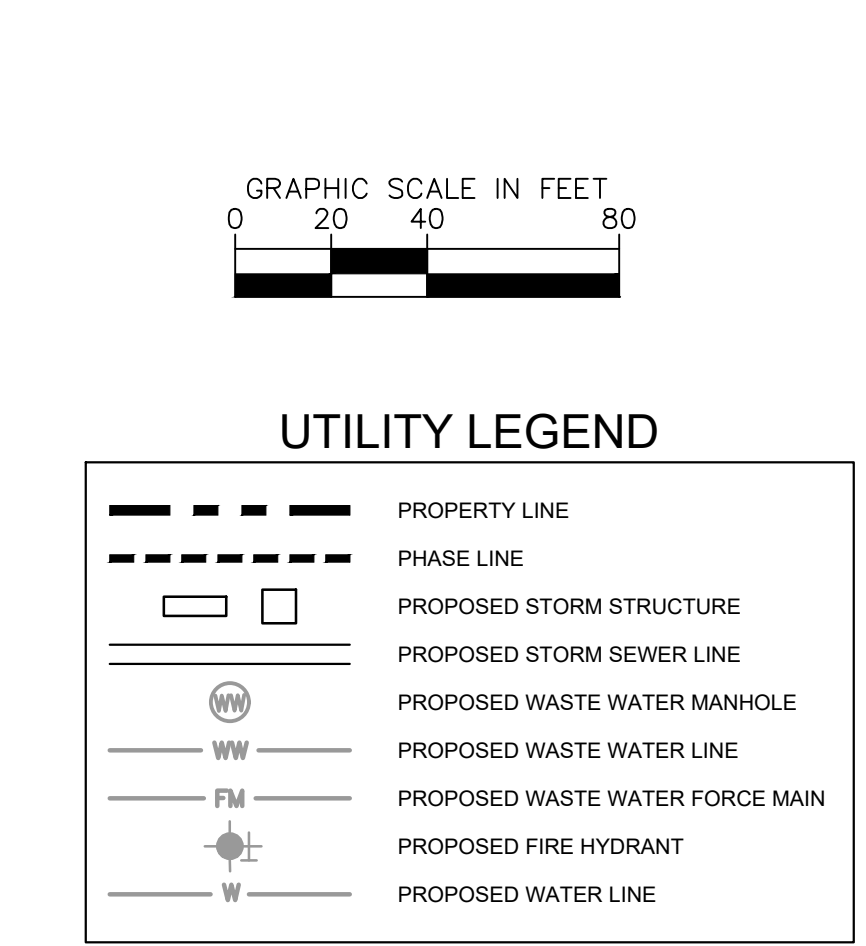
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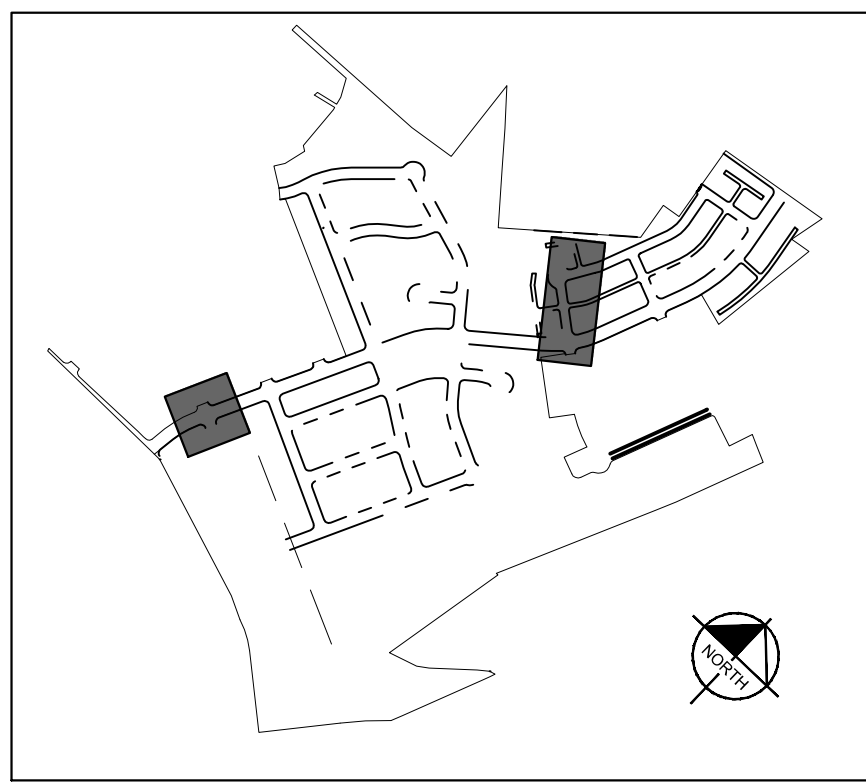
SD LINE F



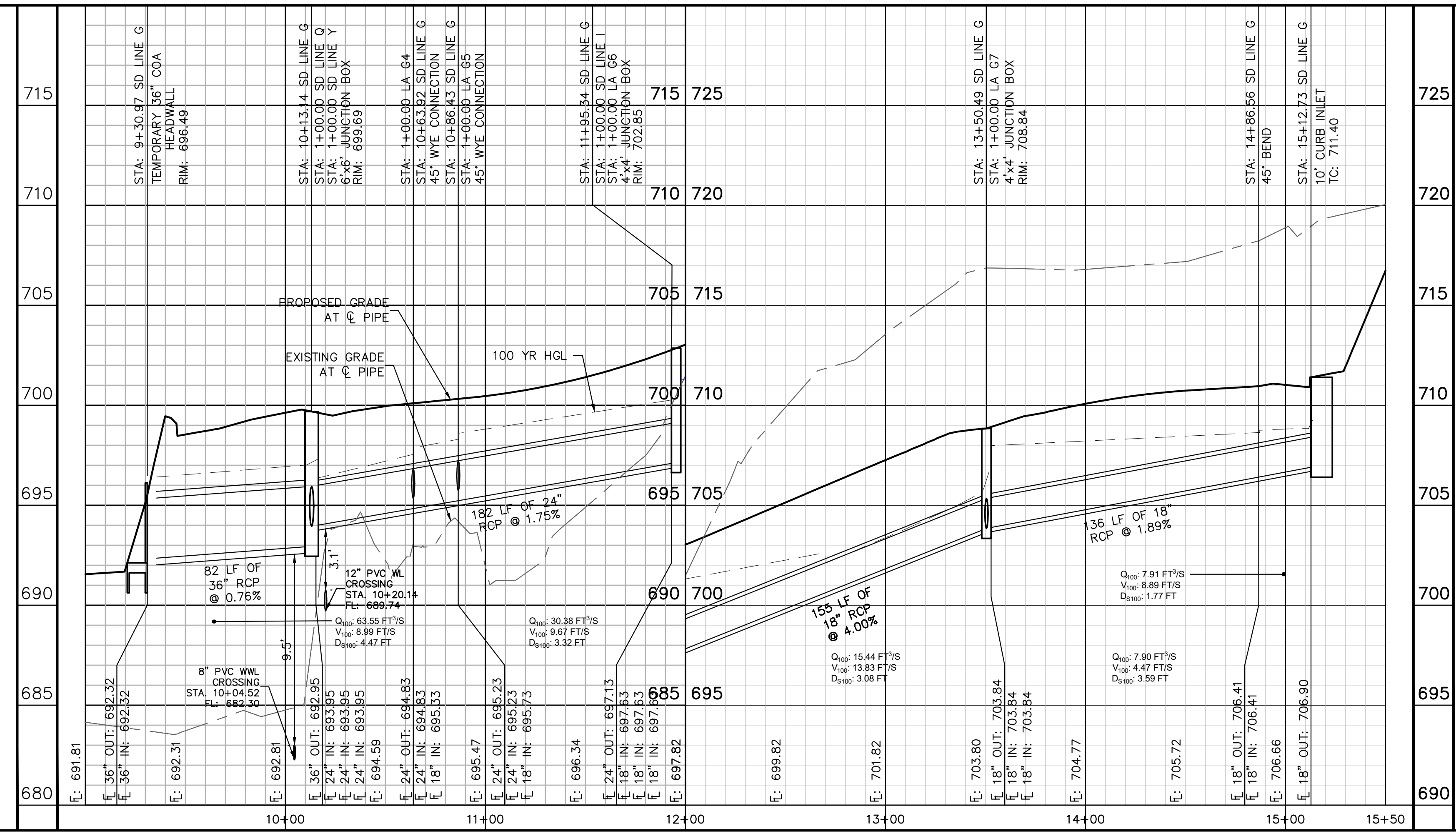
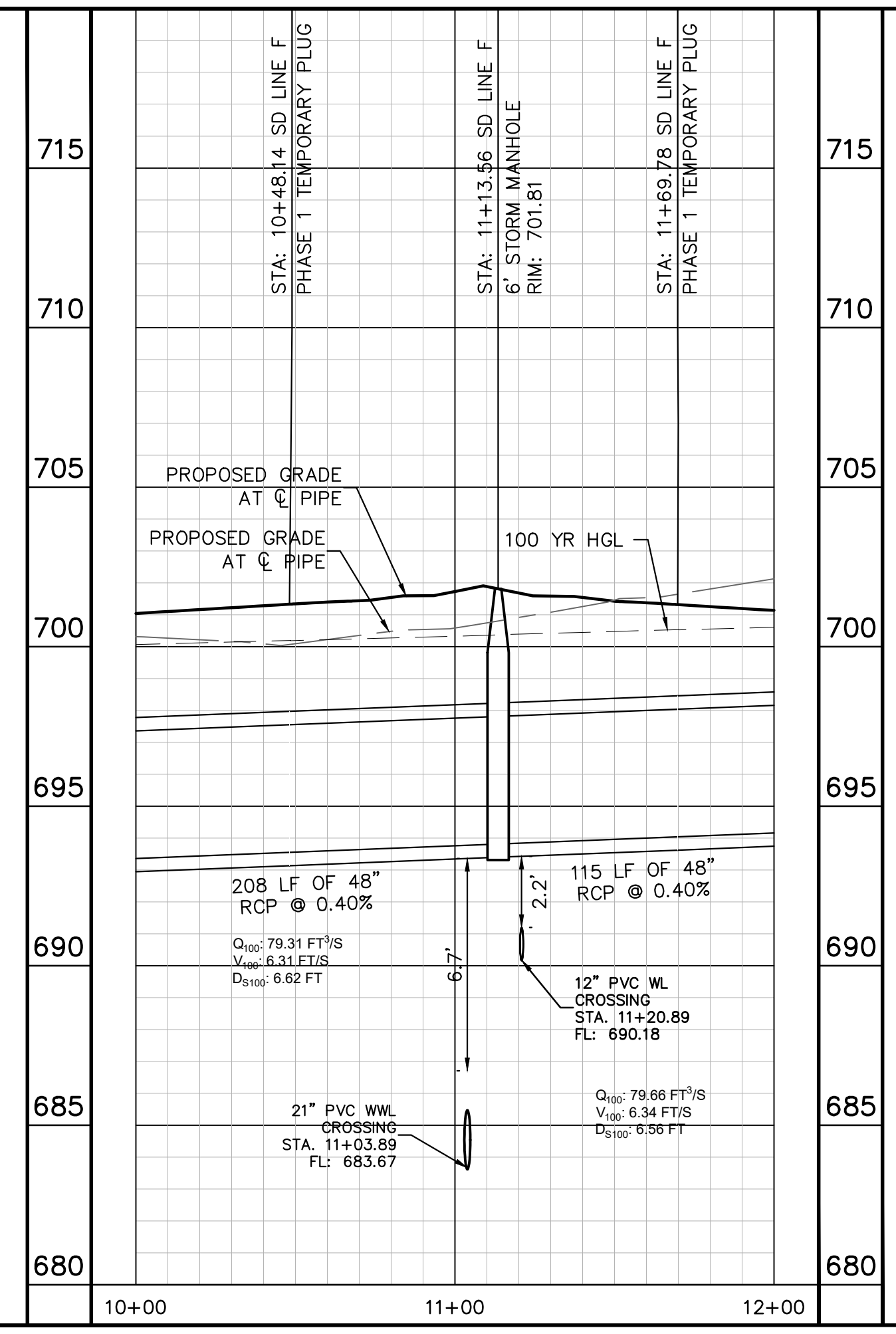
SD LINE G



NOTES:  
 1. ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.  
 2. FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.



KEY MAP  
SCALE: 1:1000



**811**  
 Know what's below.  
 Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

PROFILE SCALE  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

BENCHMARKS  
 BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=705.87 (NAVD 88)  
 BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)  
 BM #108 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLEBROOK COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226  
 FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: ZONING N/A

Rev. 1 Correction 1  
 Rev. 2 Correction 2  
 Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

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07/17/2023  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13088  
 Alejandra E. Granados Rico

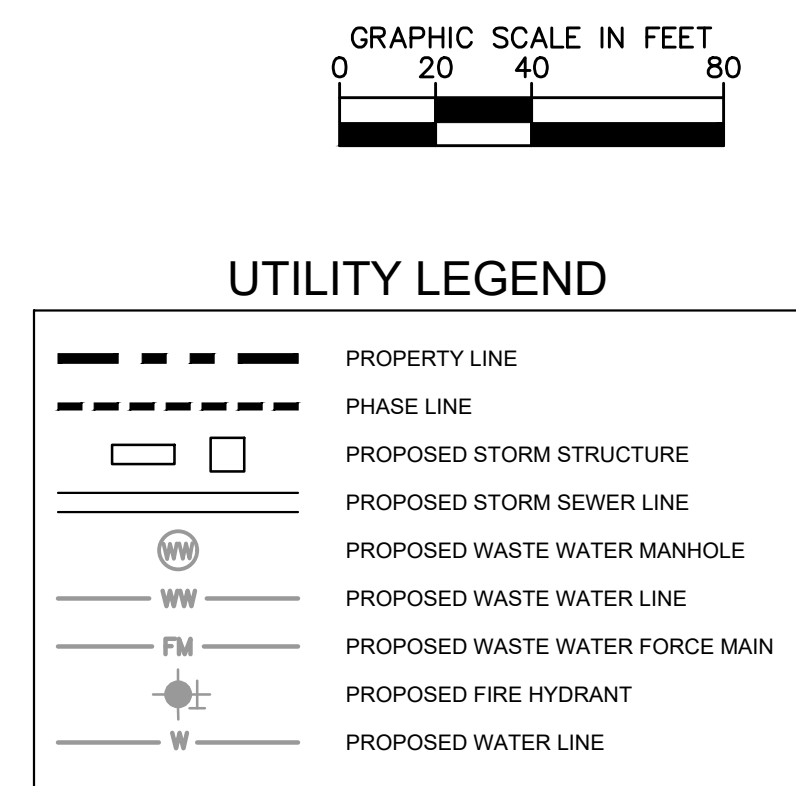
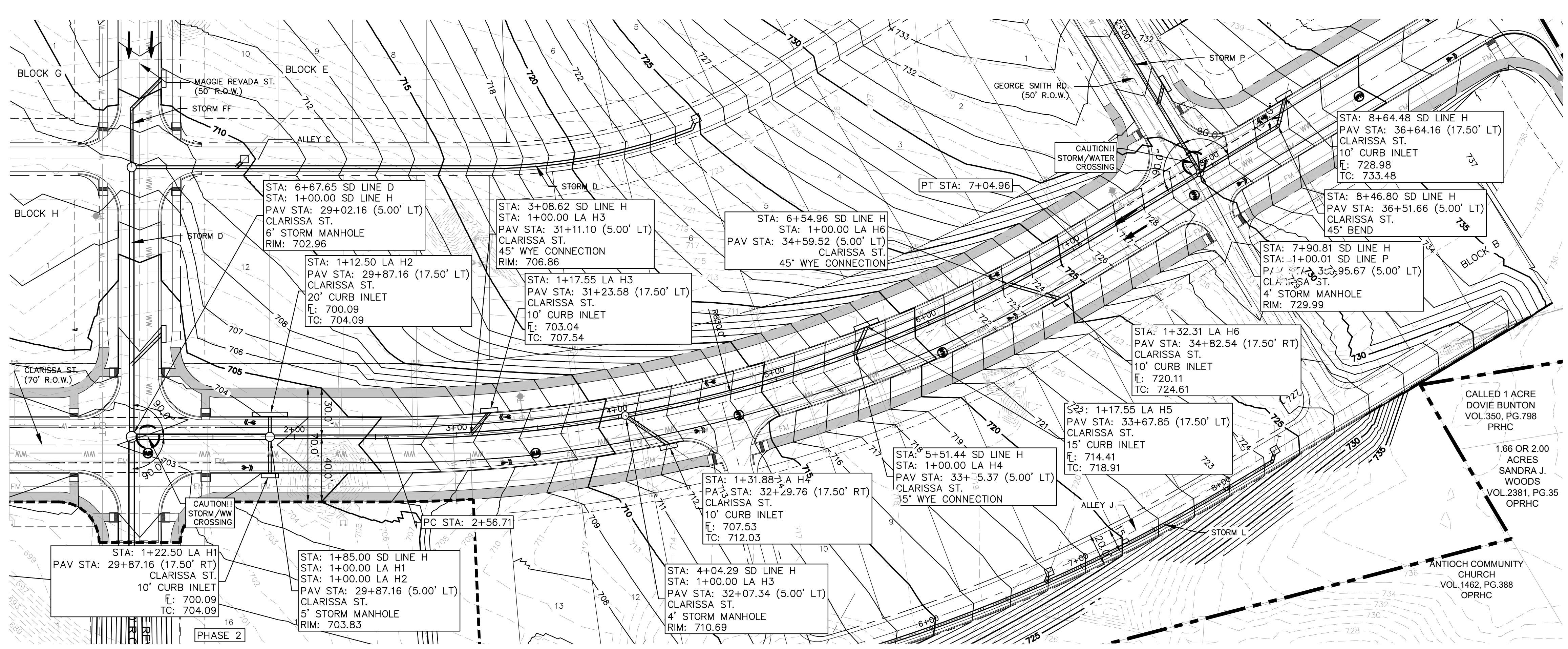
KHA PROJECT: 087783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

STORM DRAIN PLAN & PROFILE - SD LINE F & G

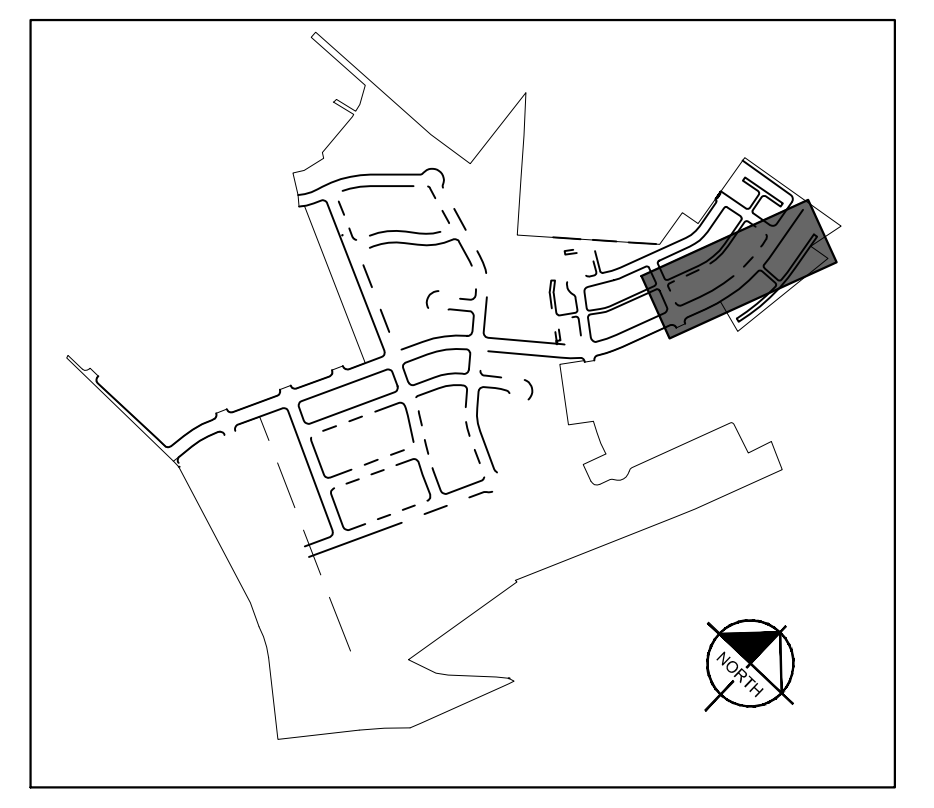
THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
 116  
 OF 226

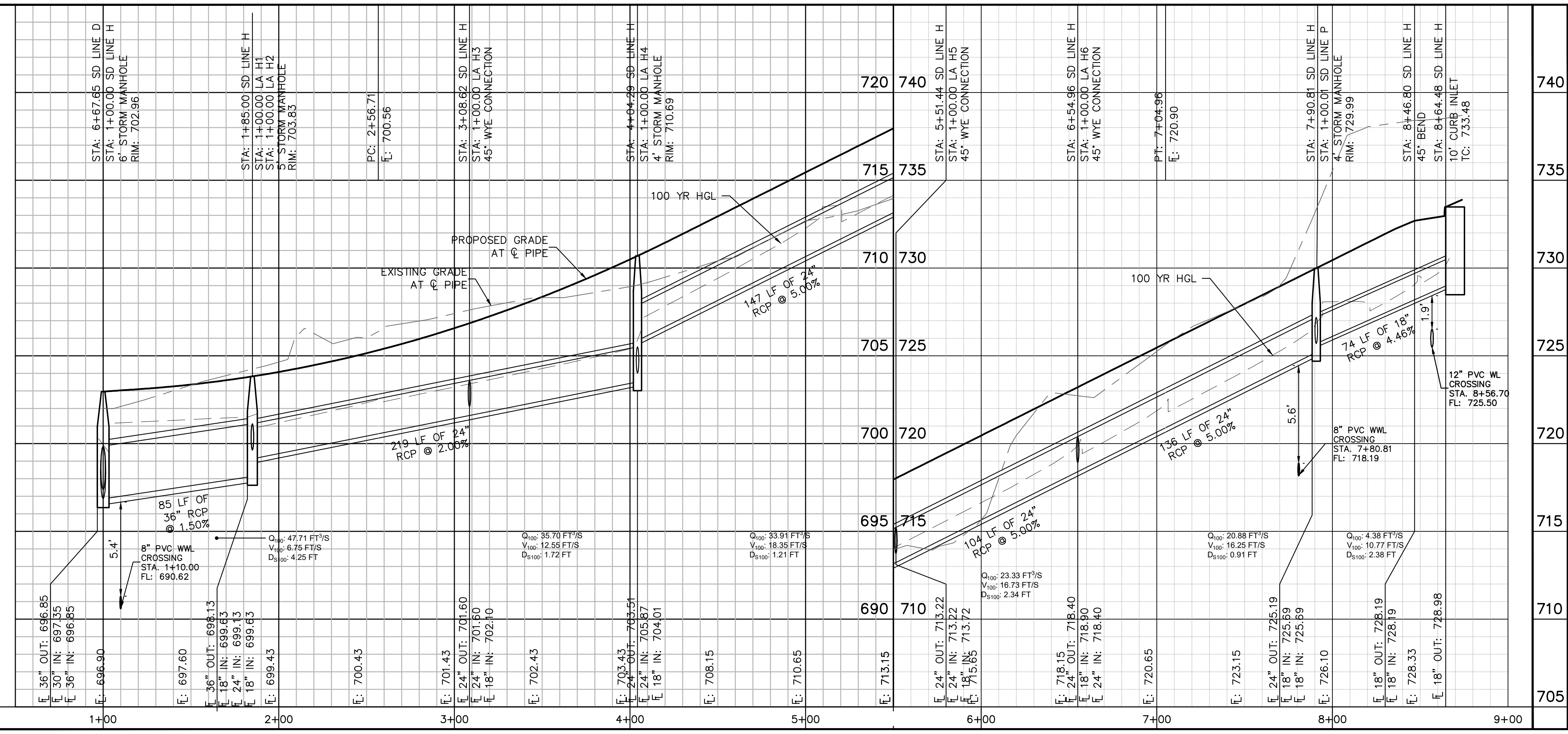
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- NOTES:**
- ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.
  - FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.



**SD LINE H**



**811**  
 Know what's below.  
 Call before you dig.

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**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 RT 1/4 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=712.50 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 W FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLEBROCK COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.50 (NAVD 88)

**CONSTRUCTION PLAN APPROVAL SHEET OF 226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON: \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

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07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13308  
 Alejandro E. Granados Rico

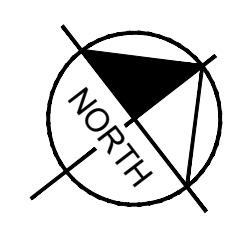
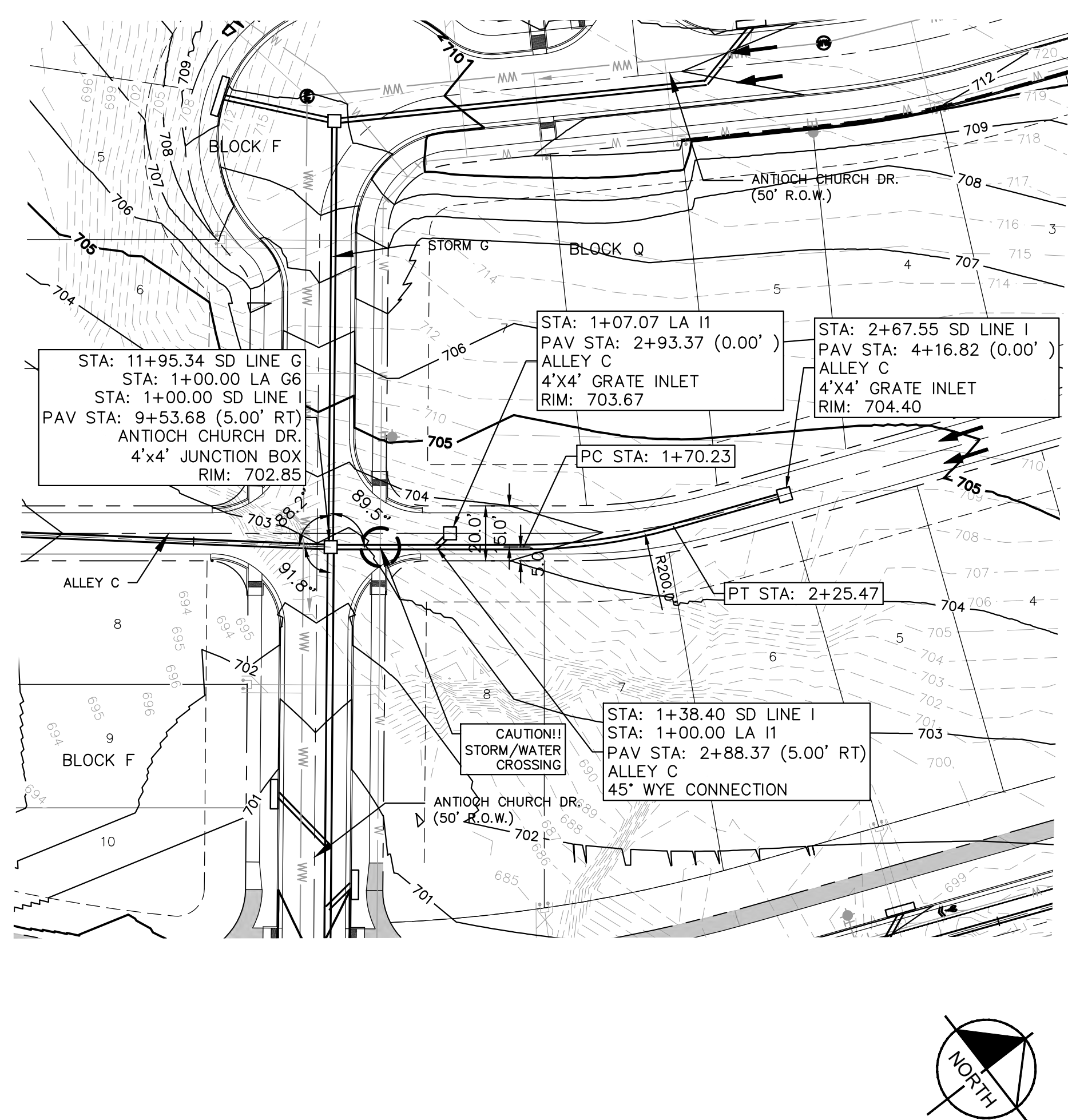
KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

**STORM DRAIN PLAN & PROFILE - SD LINE H**

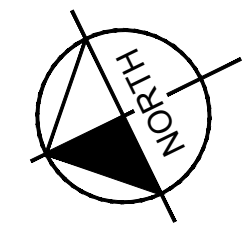
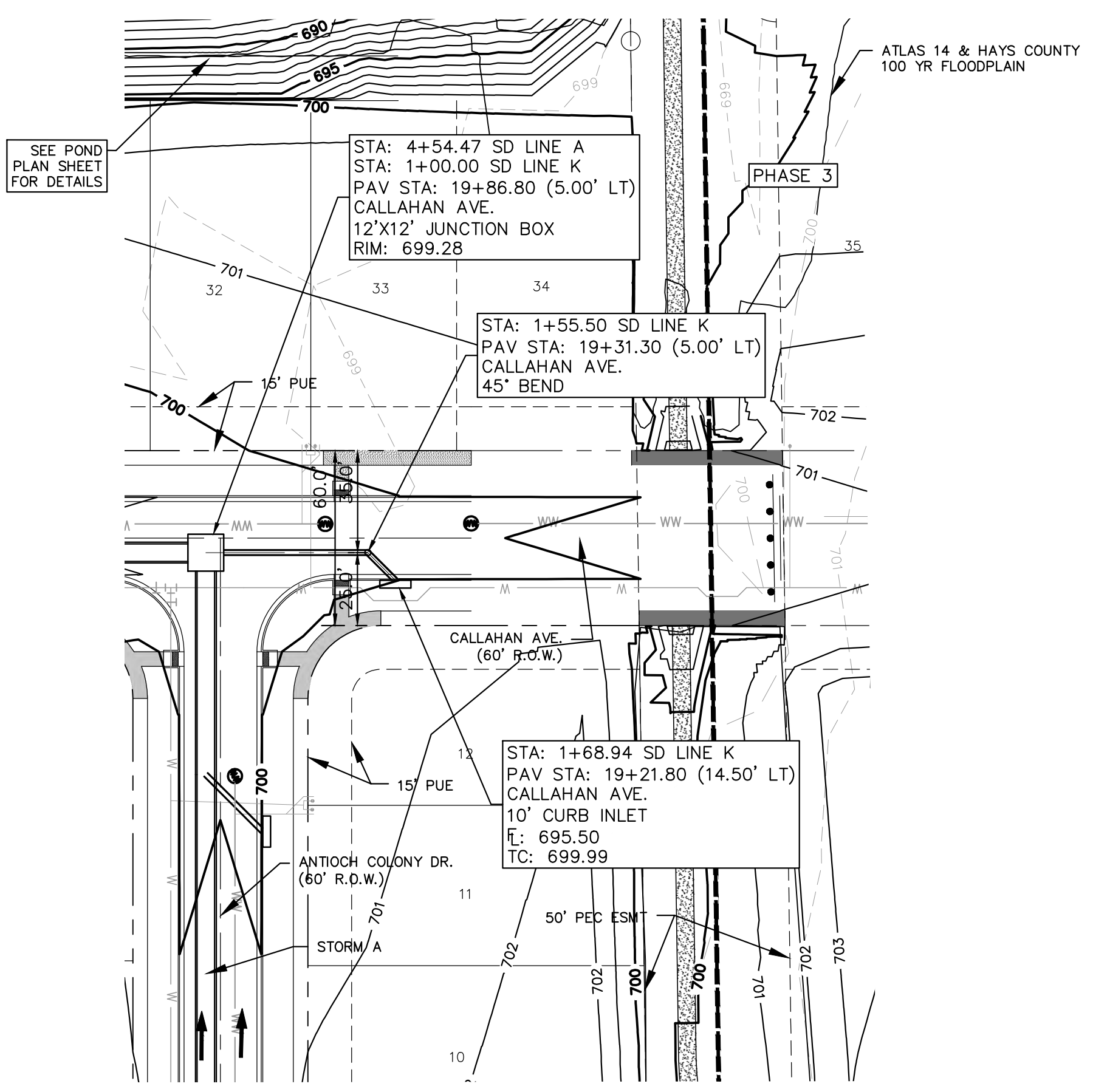
**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**117**  
 OF 226

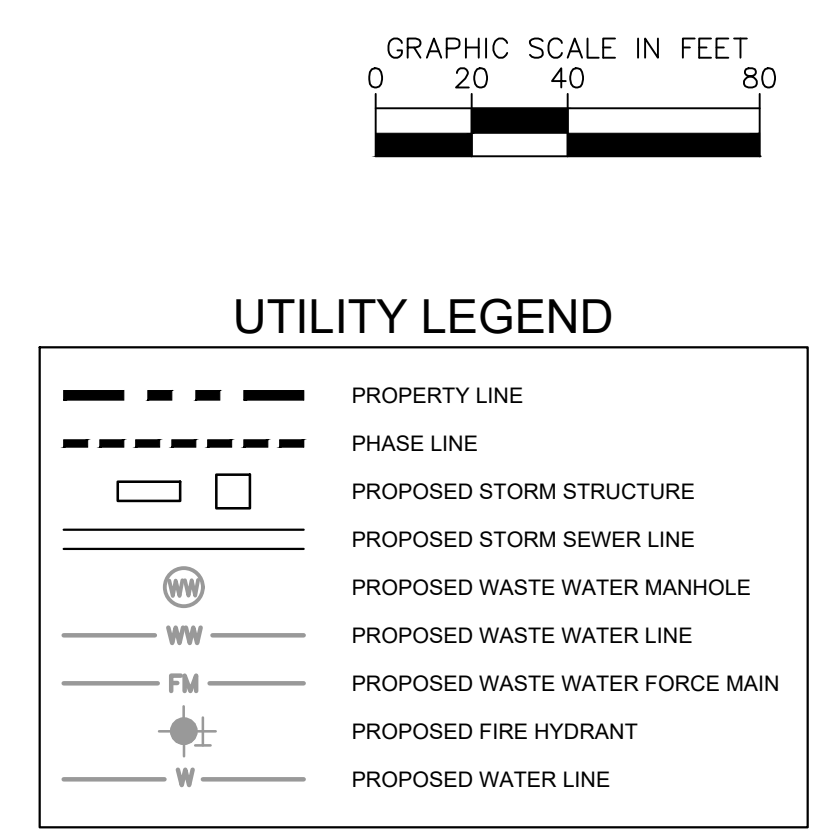
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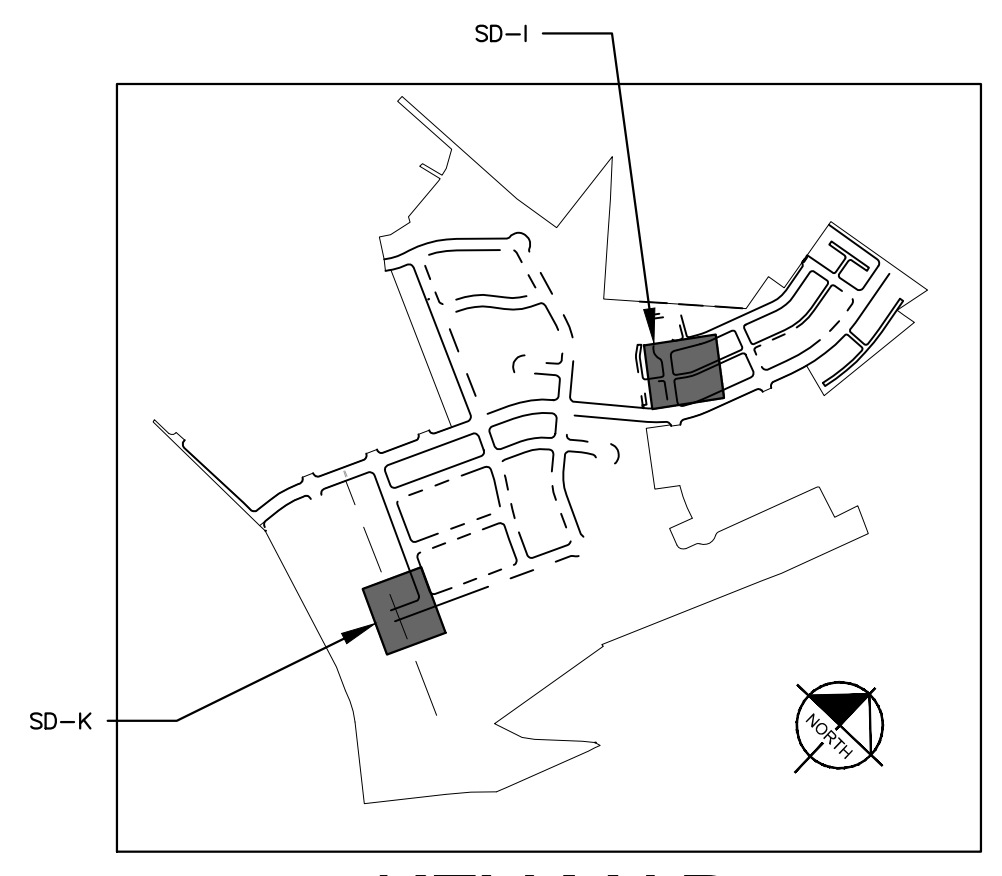
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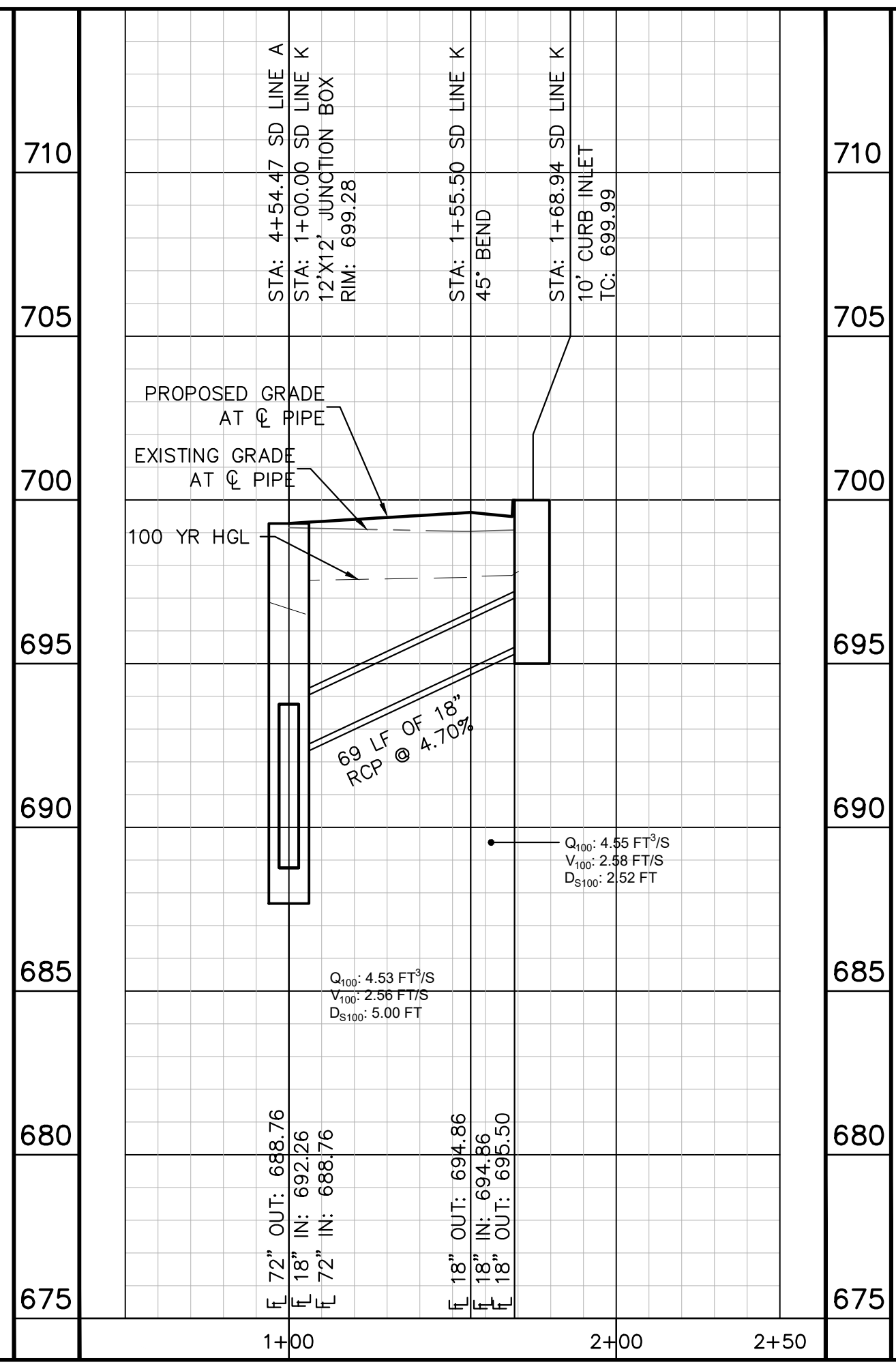
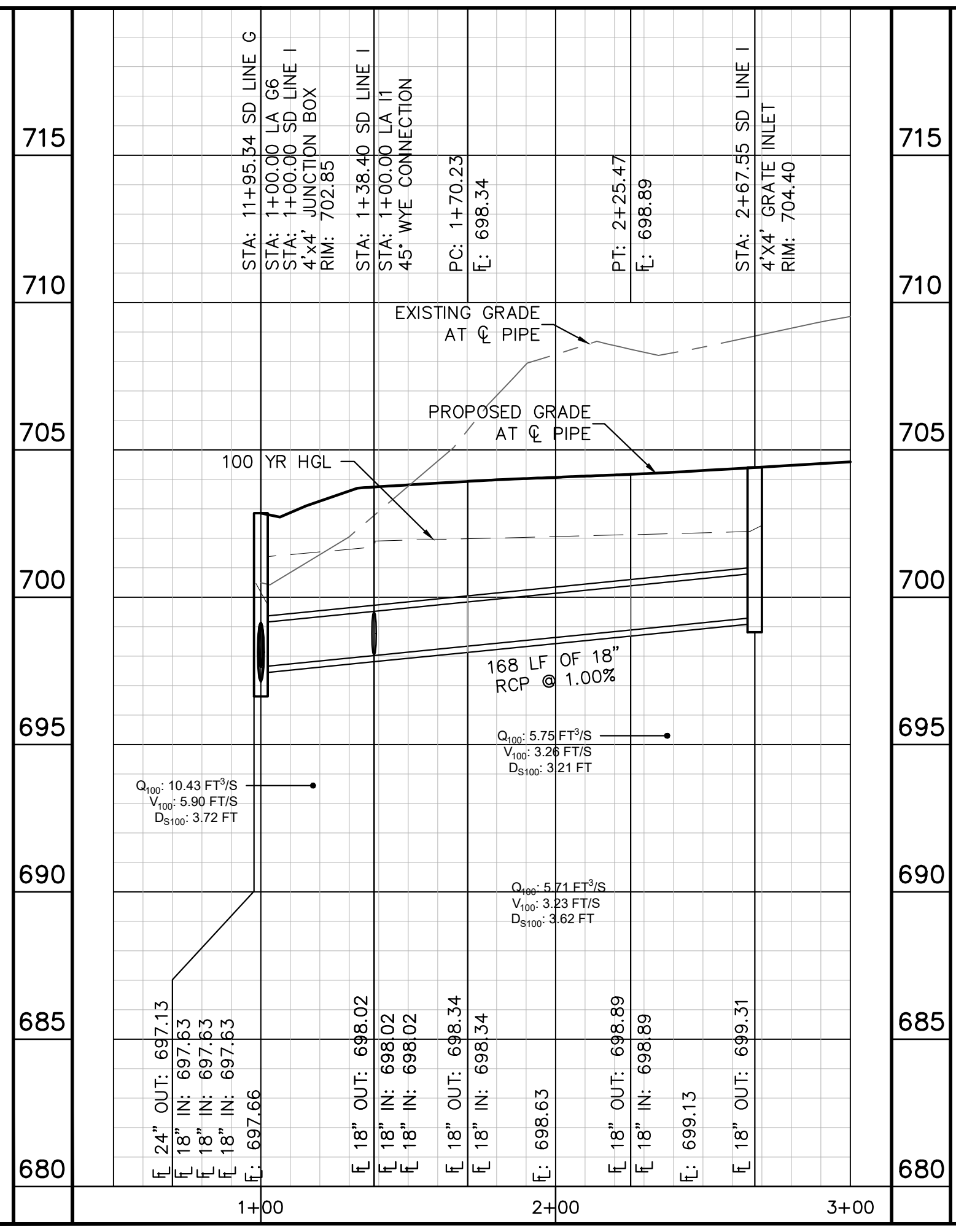
SD LINE K



- NOTES:
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  - FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.



KEY MAP  
SCALE: 1:1000



**811**  
Know what's below. Call before you dig.

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**PROFILE SCALE**  
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**BENCHMARKS**

BM #100 - 1/4" NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77.4 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=712.57 (NAVD 88)

BM #104 - 1/4" NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)

BM #106 - 1/4" NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLIBAC COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

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TBE Firm

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB, HM, MH, DM  
CHECKED BY: AEC

STORM DRAIN PLAN & PROFILE - SD LINE I & K

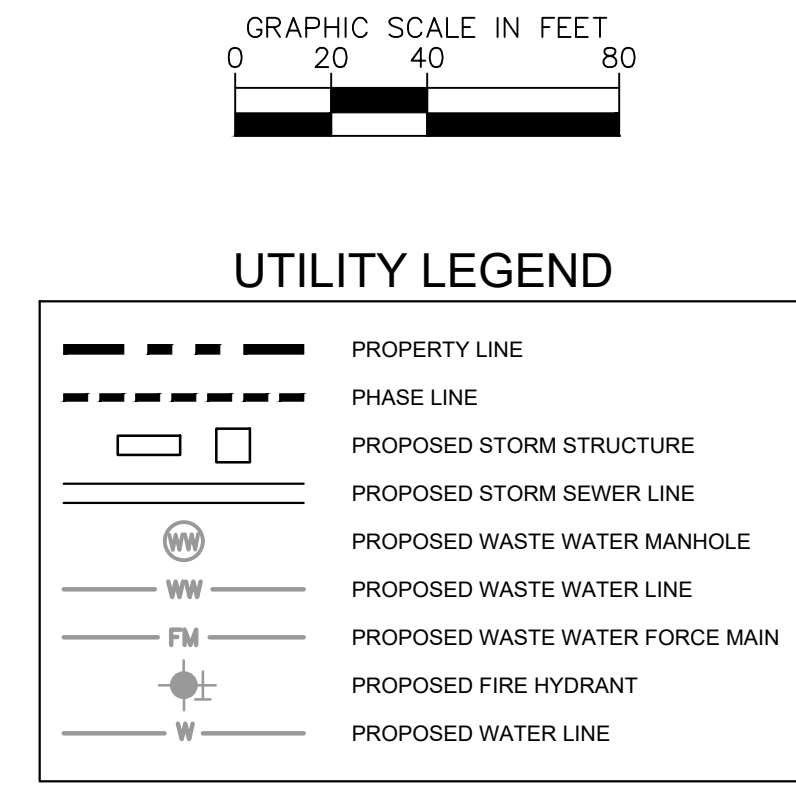
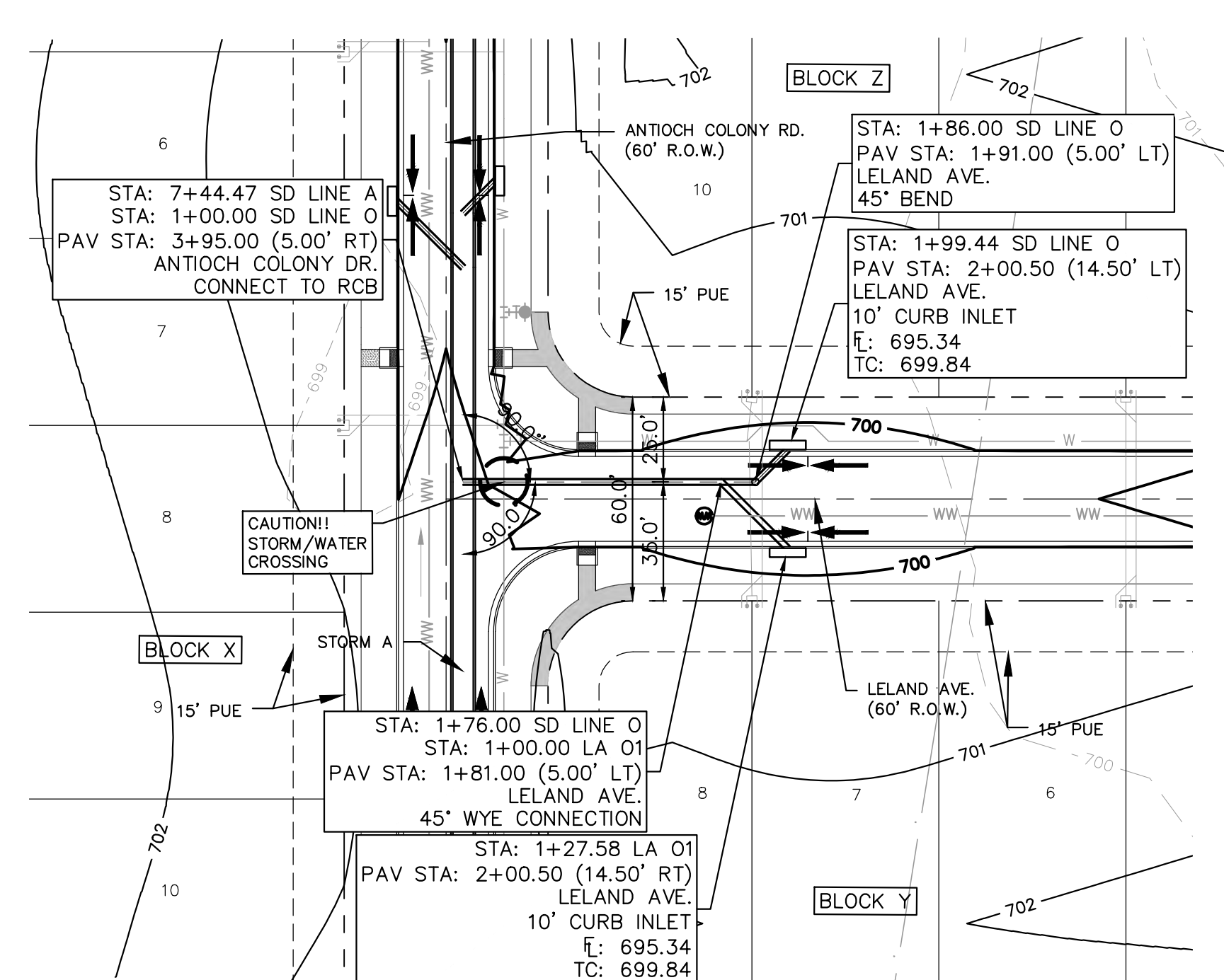
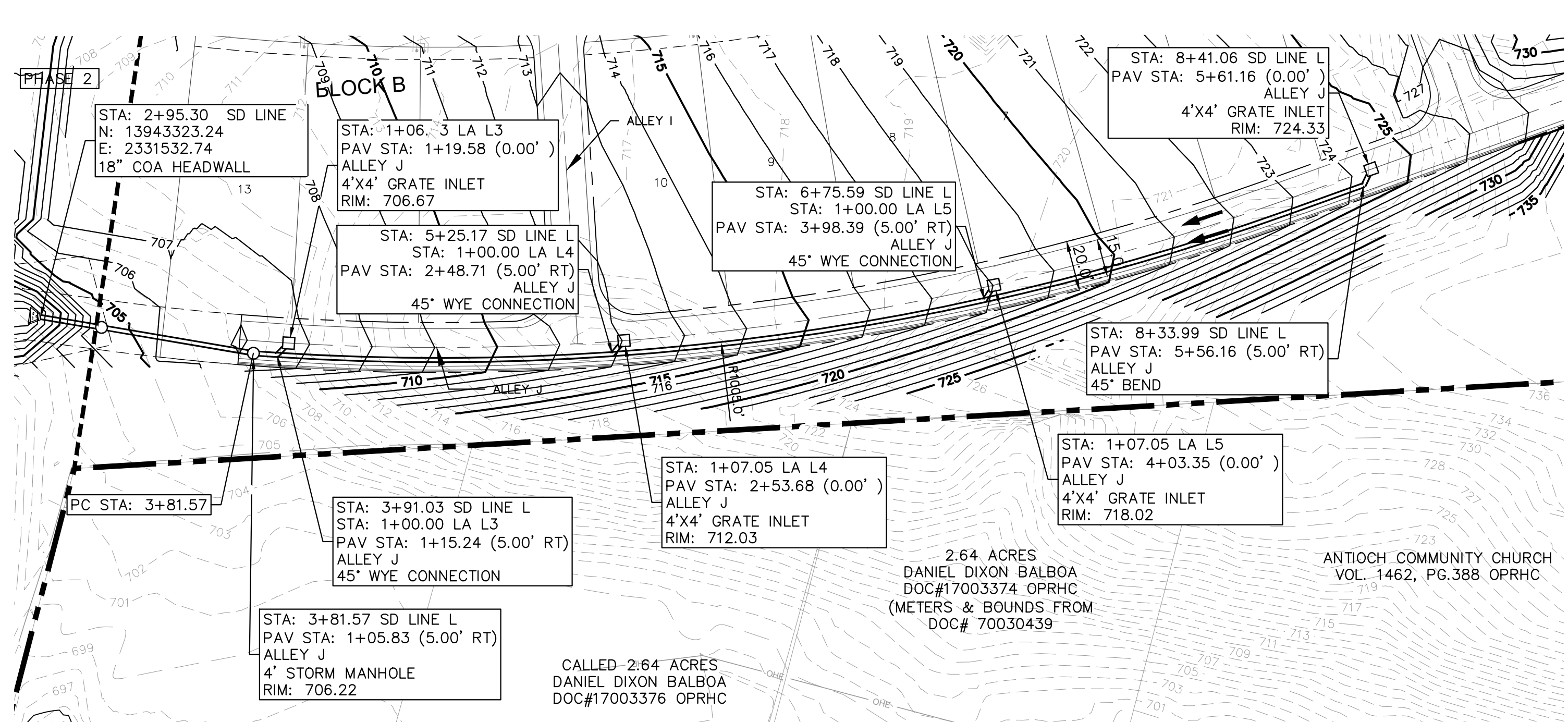
THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER  
118  
OF 226

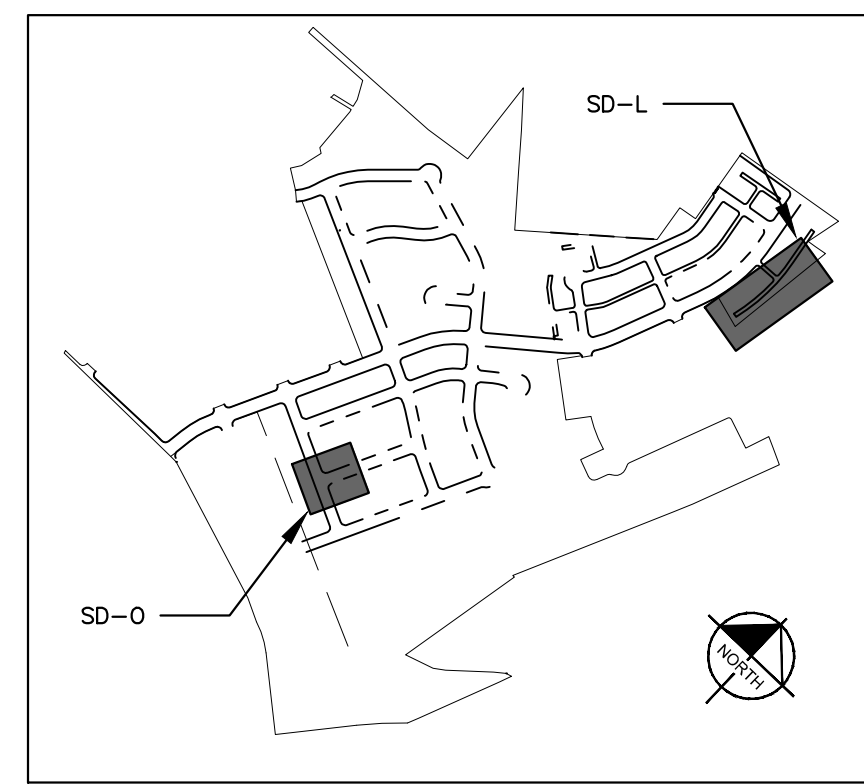
NO.	REVISIONS	DATE	BY

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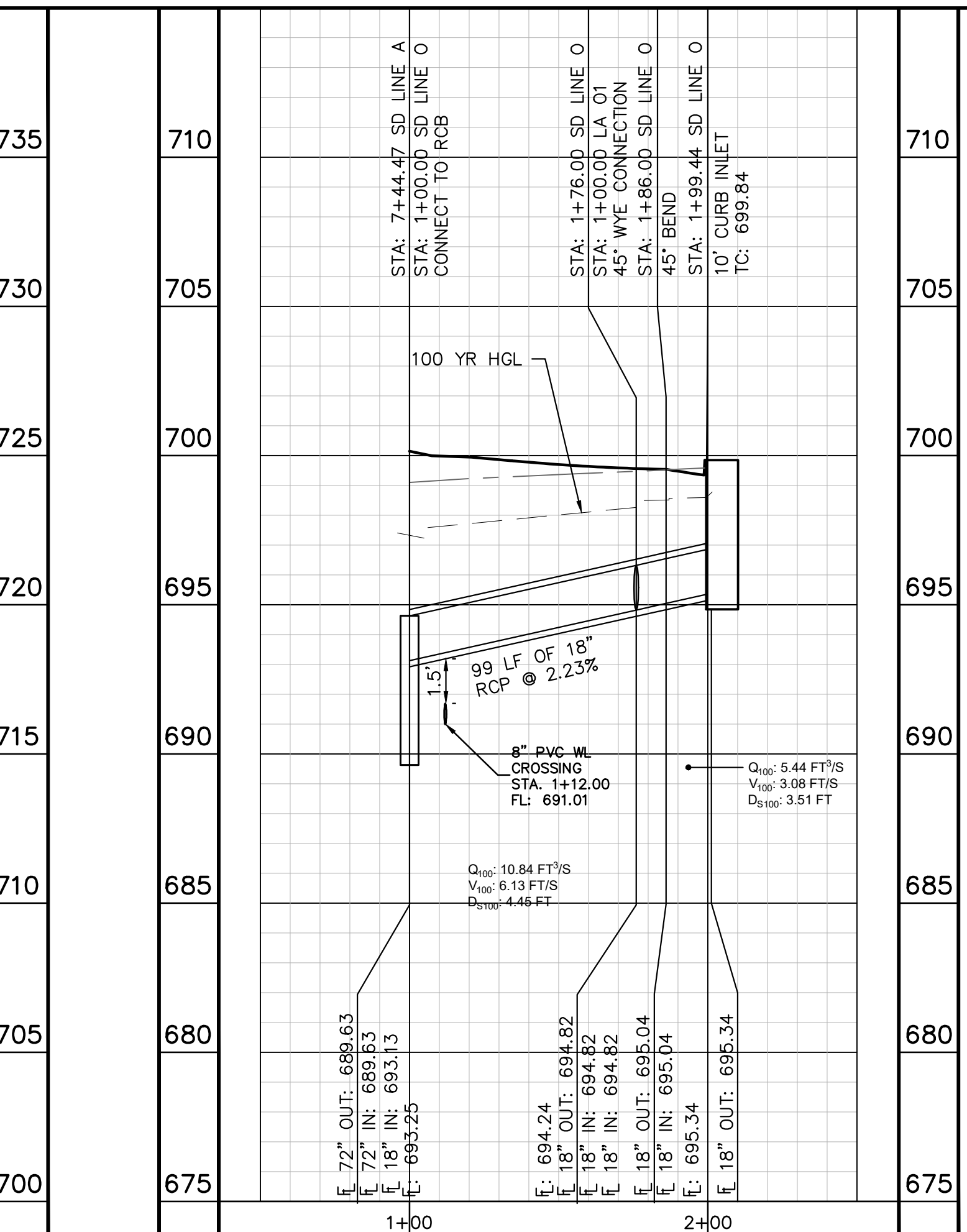
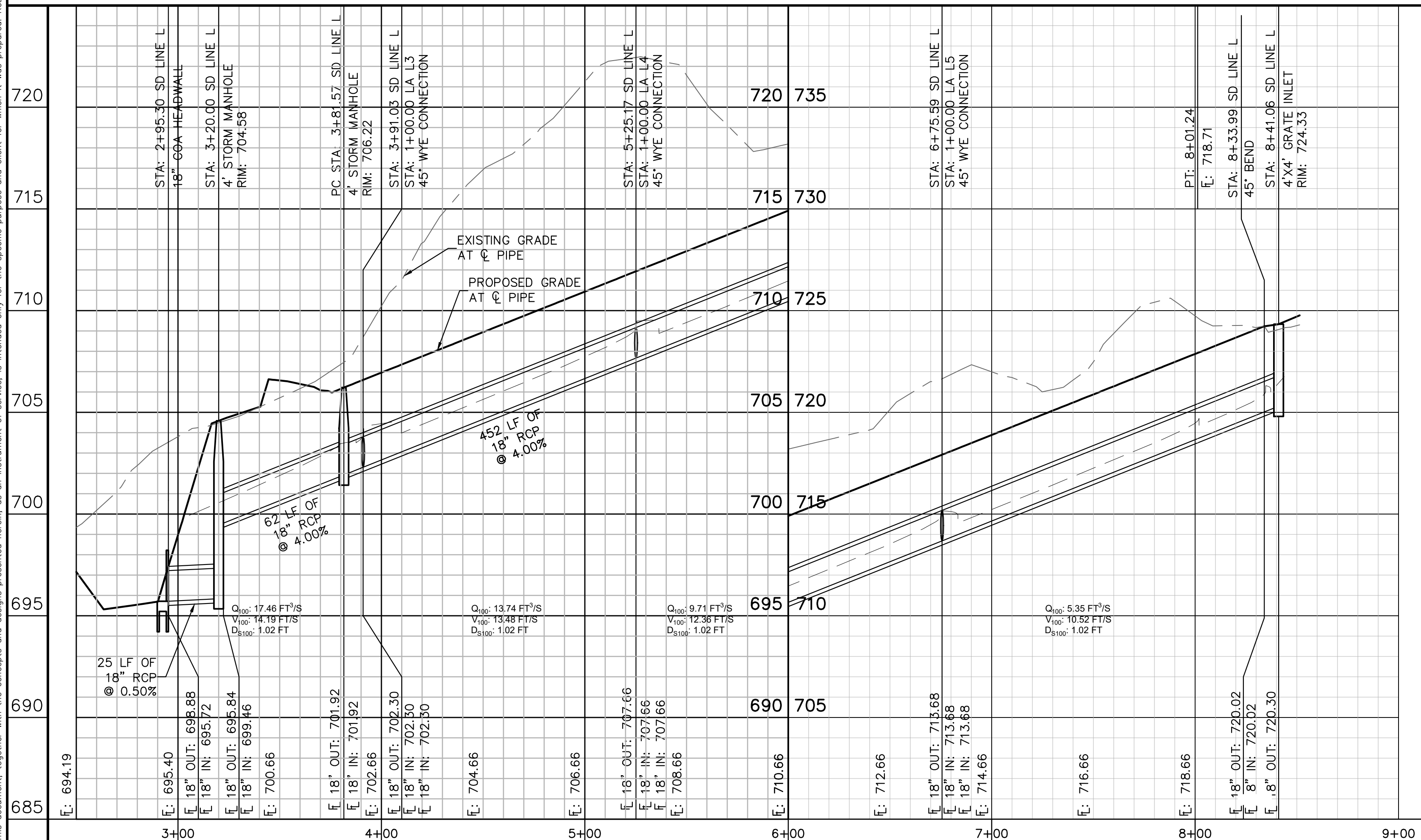


- NOTES:
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  - FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.



SD LINE L

SD LINE O



**811**  
Know what's below.  
Call before you dig.

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PROFILE SCALE  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

BENCHMARKS

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=695.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be received by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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AUSTIN, TX 78746-5537  
WWW.KIMLEY-HORN.COM  
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TBPE Firm No. 928

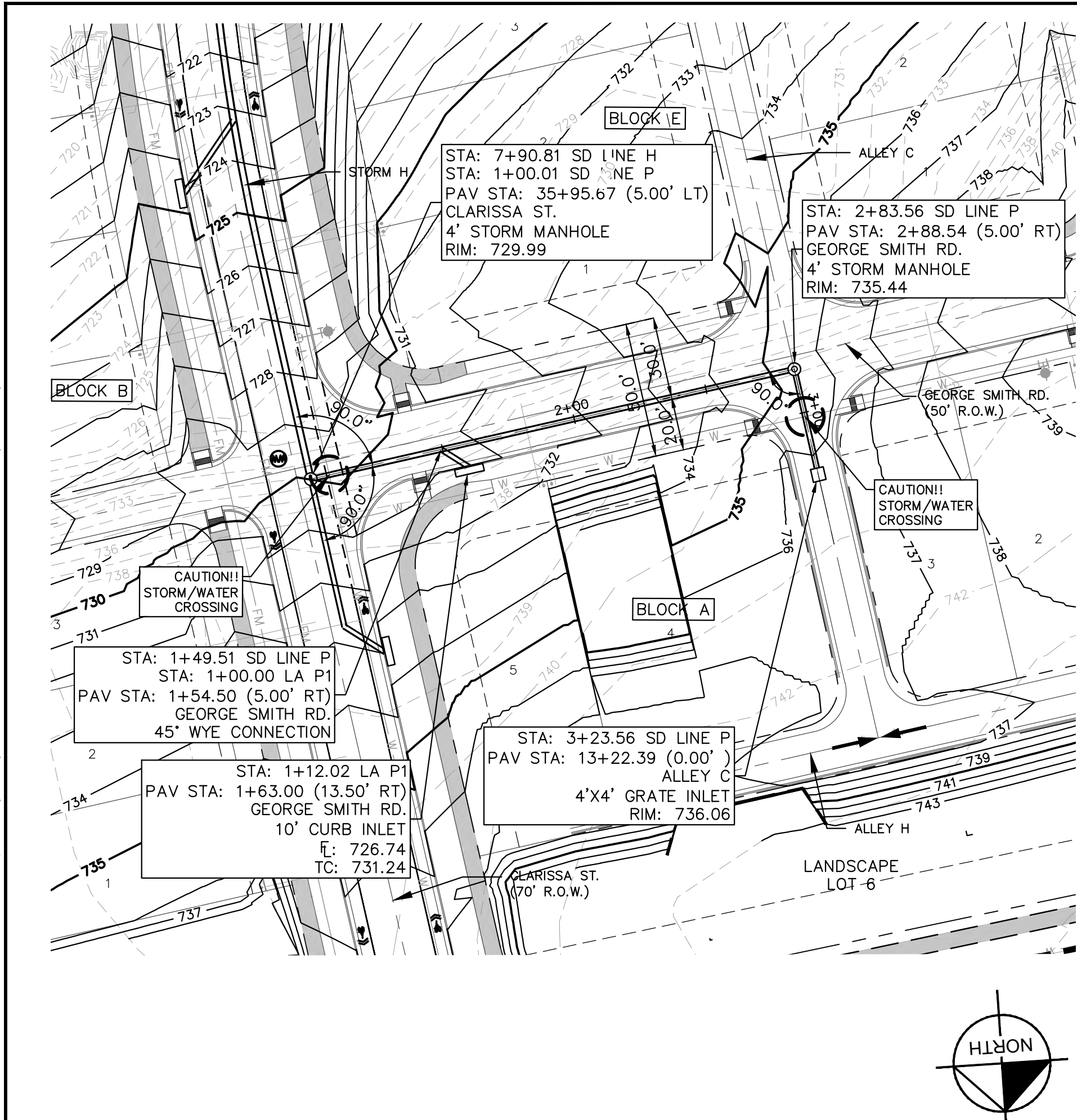
KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEC

THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

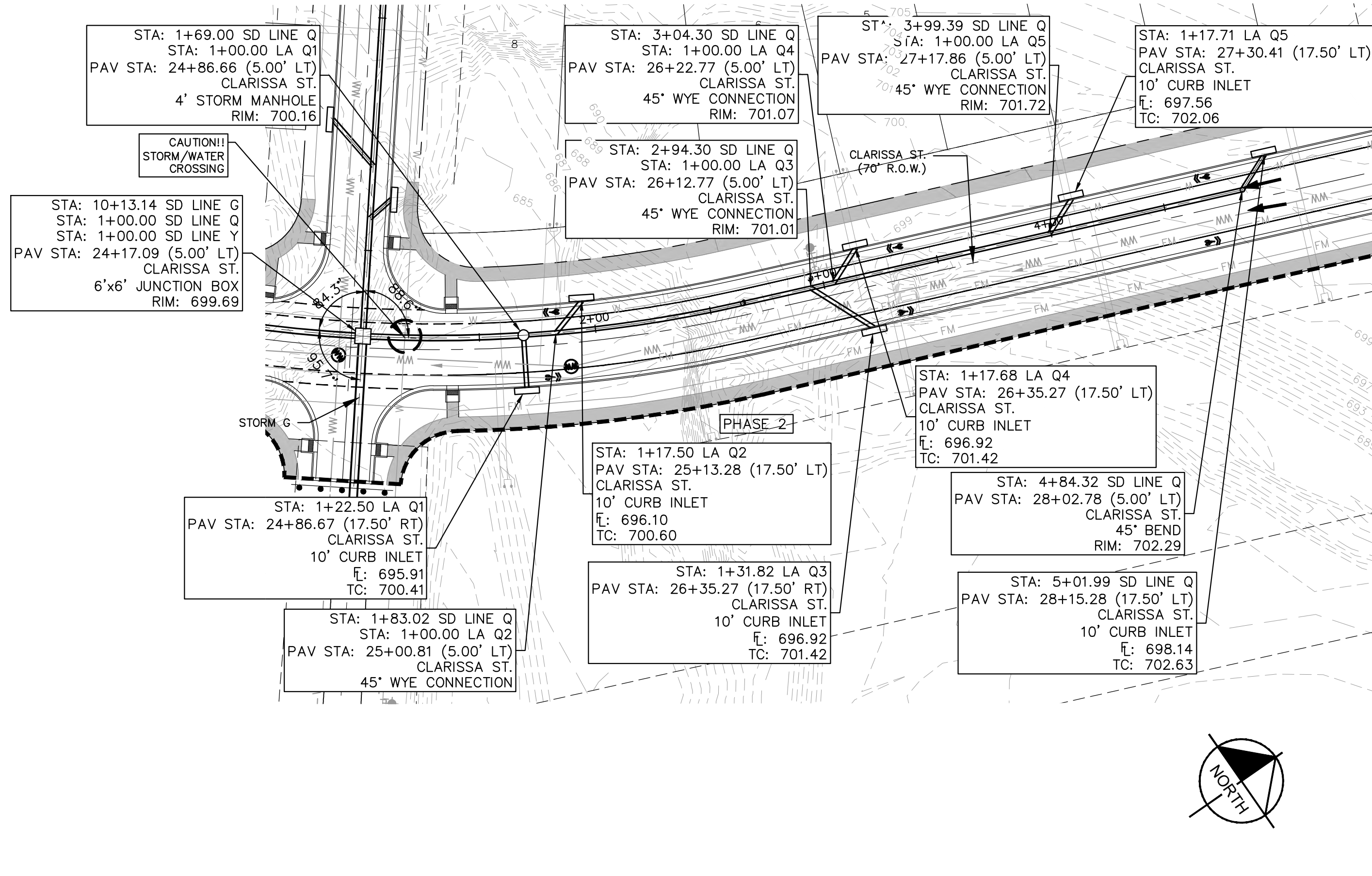
STORM DRAIN  
PLAN & PROFILE -  
SD LINE L & O

SHEET NUMBER  
**119**  
OF 226

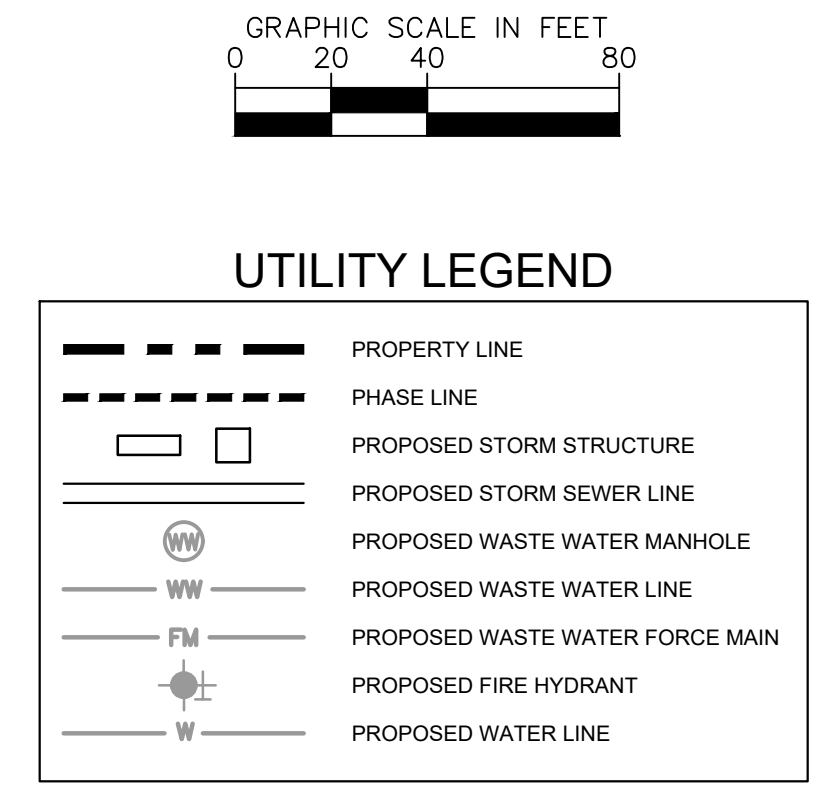
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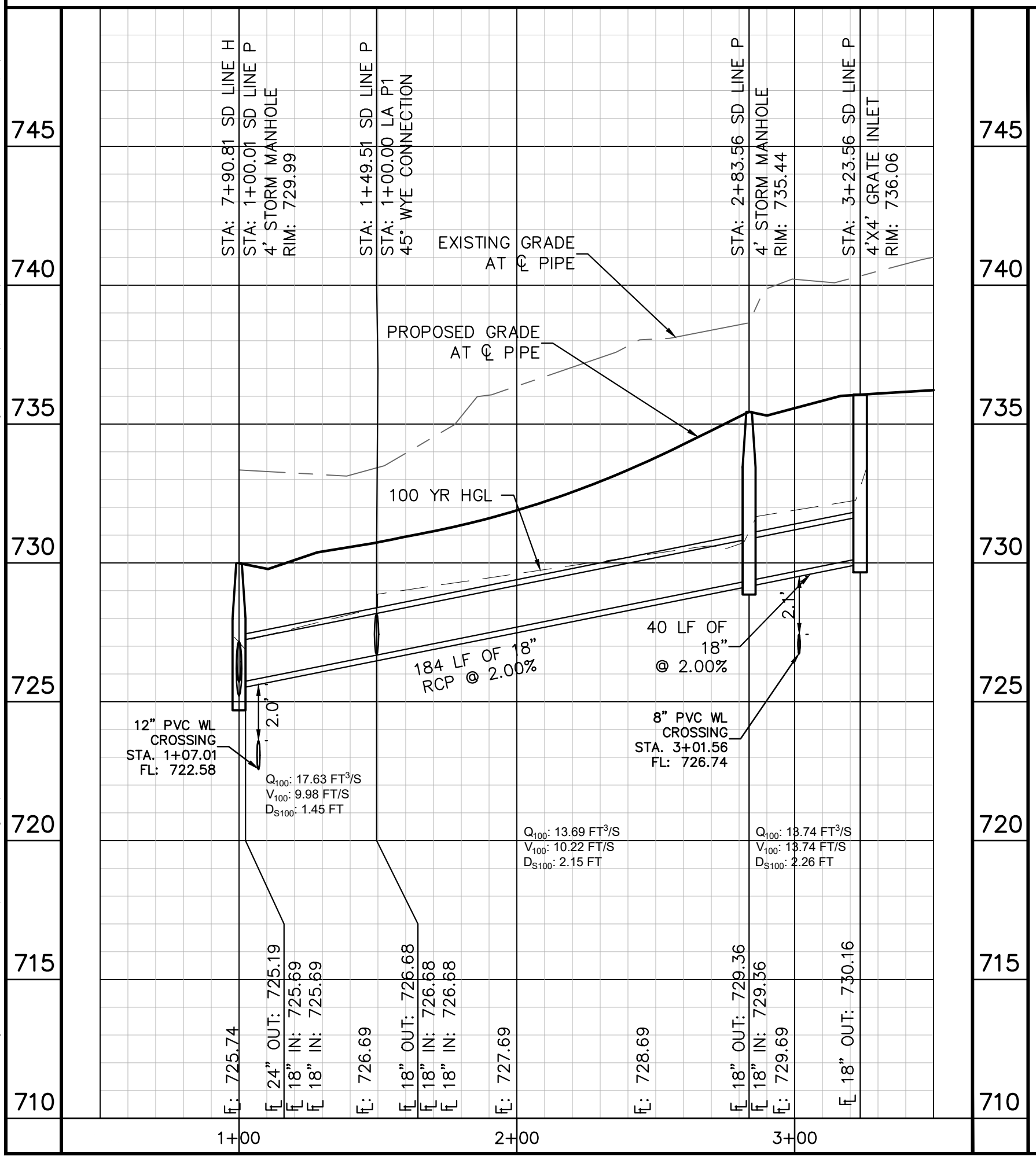
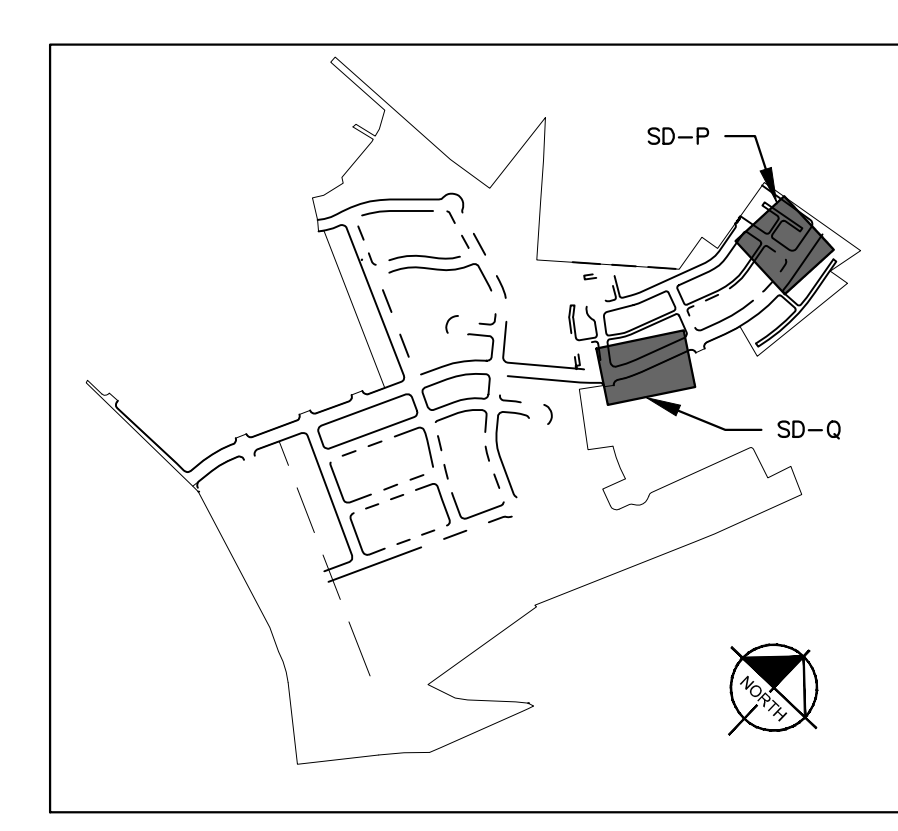
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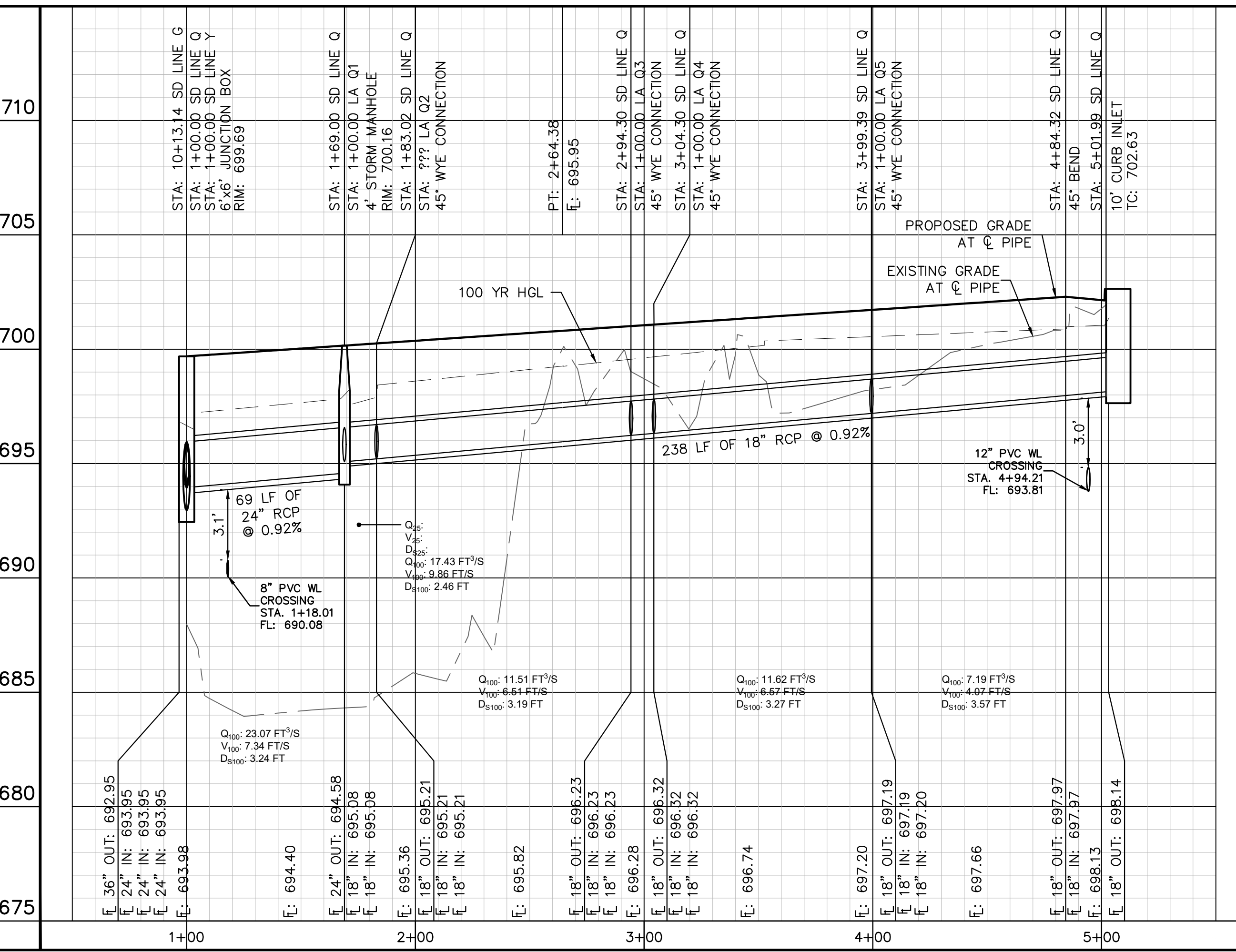
SD LINE Q



NOTES:  
 1. ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.  
 2. FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.



745	745
740	740
735	735
730	730
725	725
720	720
715	715
710	710



710	710
705	705
700	700
695	695
690	690
685	685
680	680
675	675

**811**  
 Know what's below.  
 Call before you dig.

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

**CONSTRUCTION PLAN APPROVAL SHEET 226**  
 FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON: \_\_\_\_\_ UNDER THE CITY OF BUDA  
 UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

Released for General Compliance: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

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 TBE Firm No. 928

07/17/2023  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13058  
 Alejandra E. Granados Rico

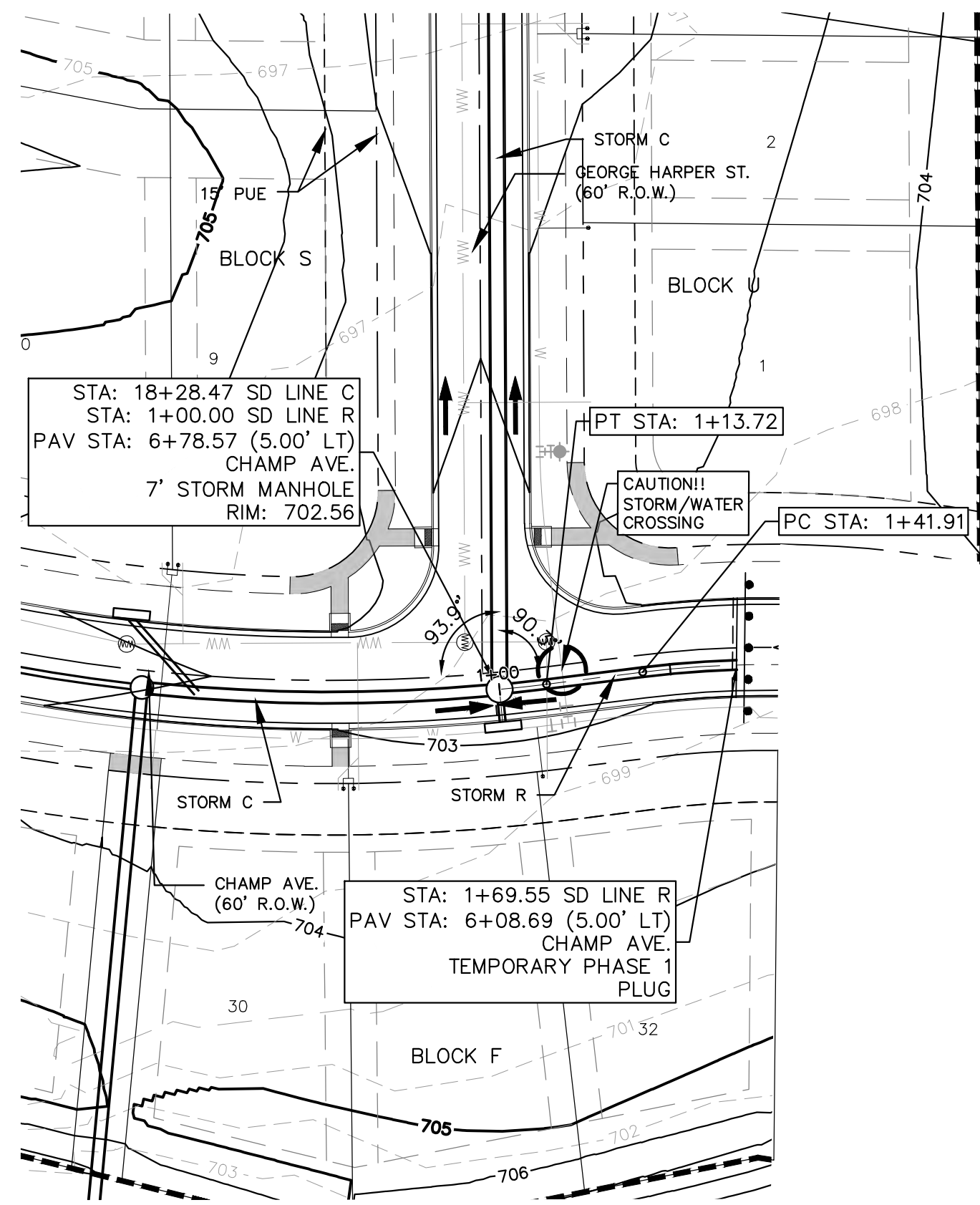
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 DATE: JULY 2023  
 SCALE: AS SHOWN  
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 CHECKED BY: AEC

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

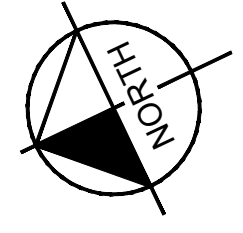
STORM DRAIN  
 PLAN & PROFILE -  
 SD LINE P & Q

SHEET NUMBER  
 120  
 OF 226

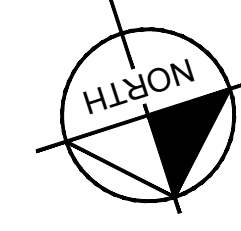
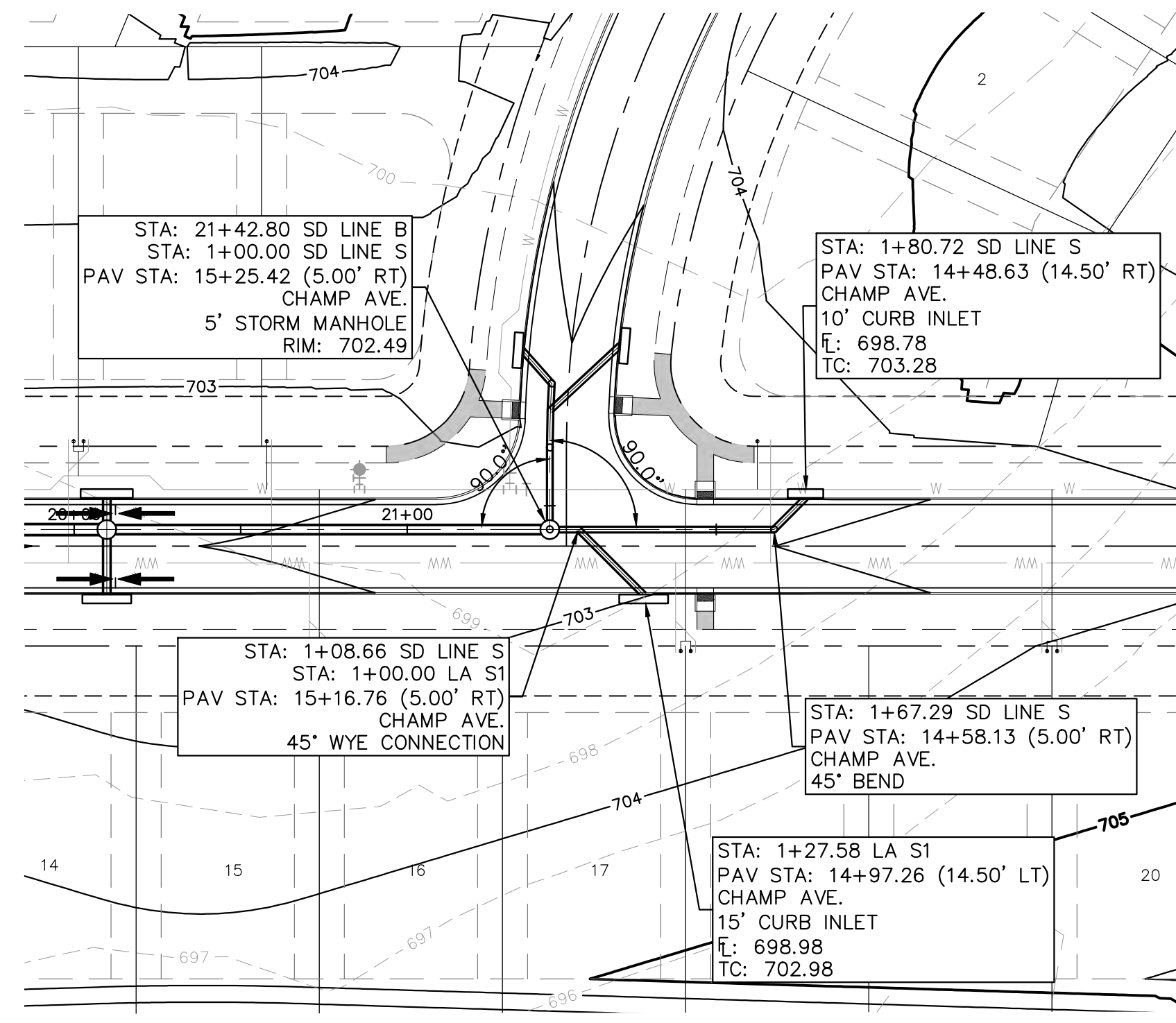
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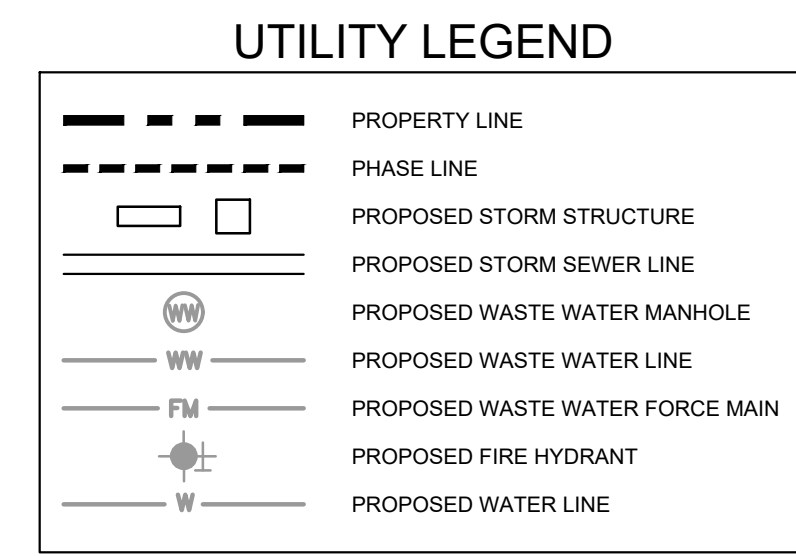
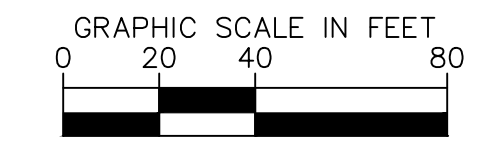
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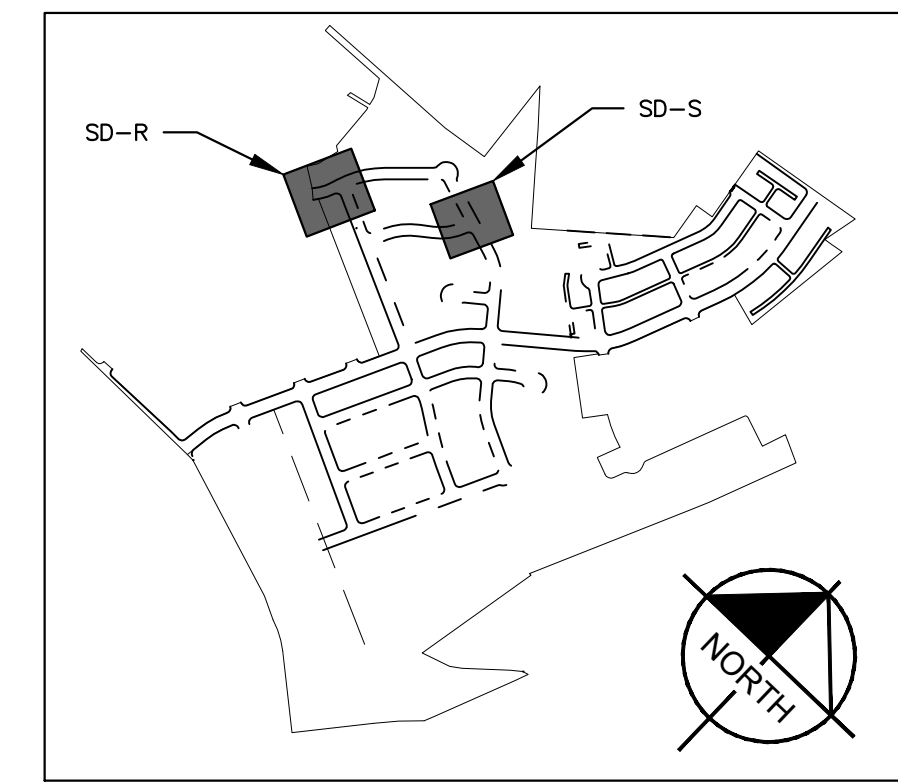
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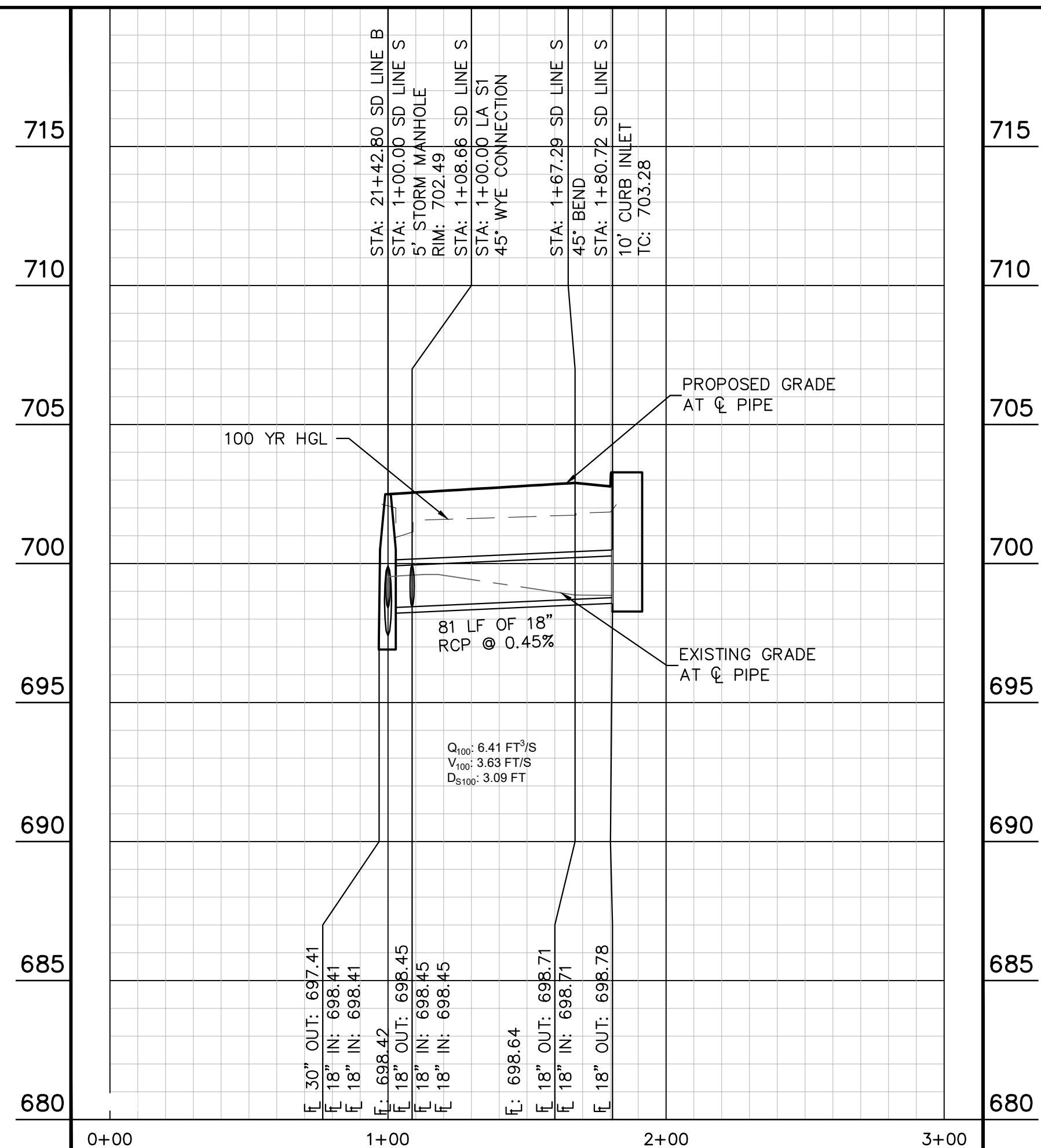
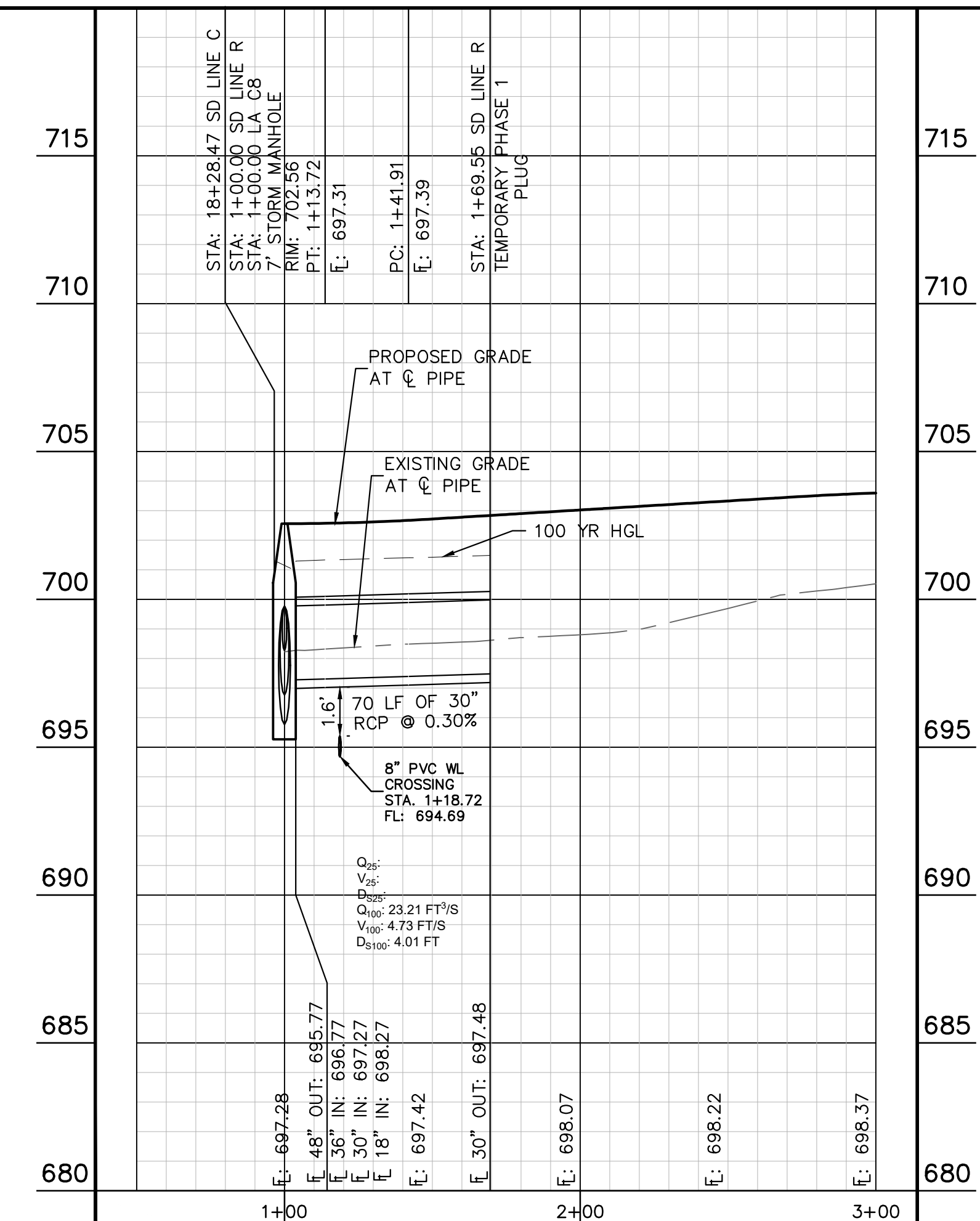
SD LINE S



- NOTES:
- ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.
  - FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.



KEY MAP  
SCALE: 1:1000



**811**  
Know what's below. Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

PROFILE SCALE  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

BENCHMARKS

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=702.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW ON THIRSE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

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07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
13308  
LICENSED PROFESSIONAL ENGINEER  
No. 13308  
Aljank E. Rizo-Lin

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEG

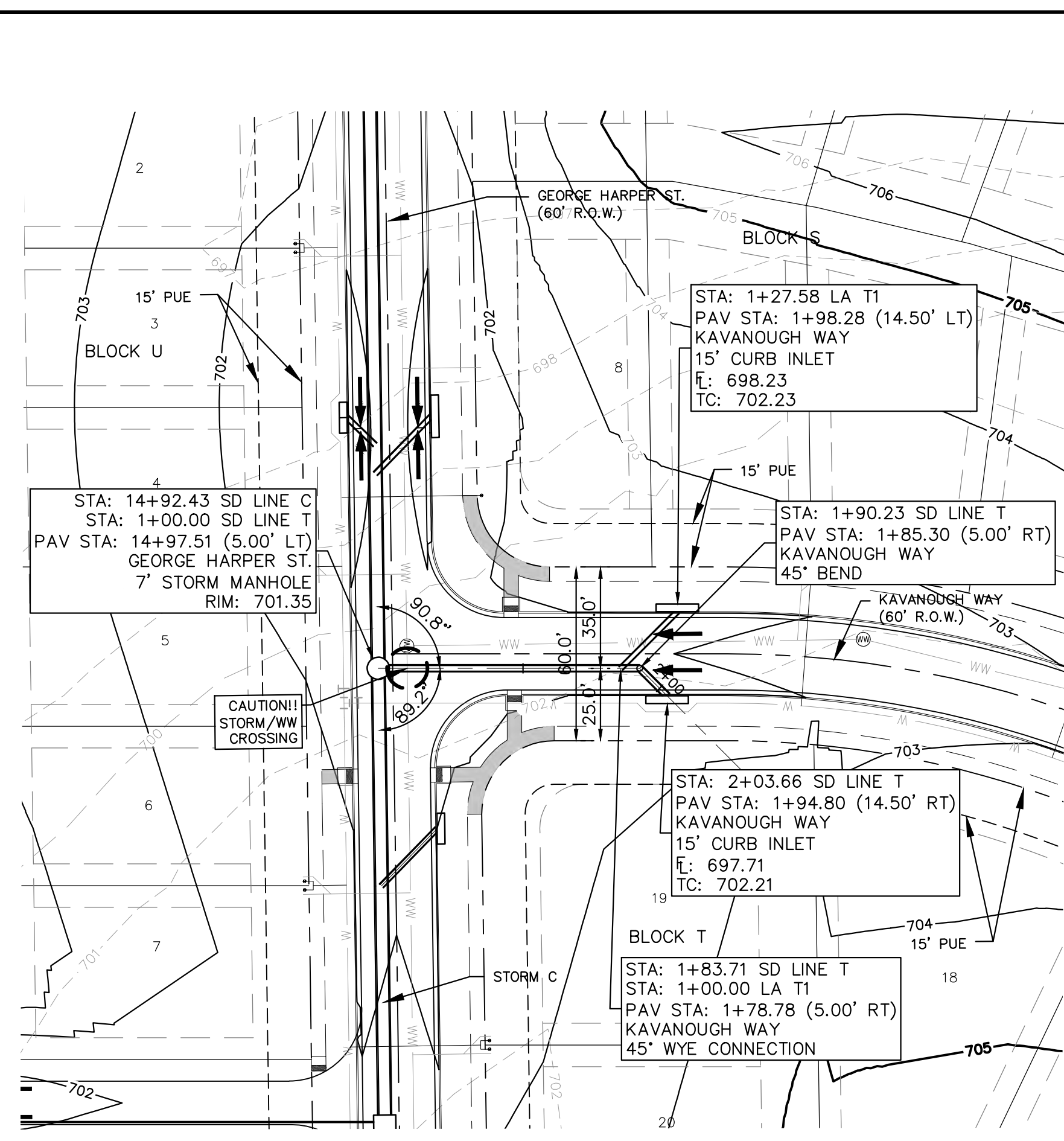
STORM DRAIN PLAN  
& PROFILE - SD LINE  
R & S

THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

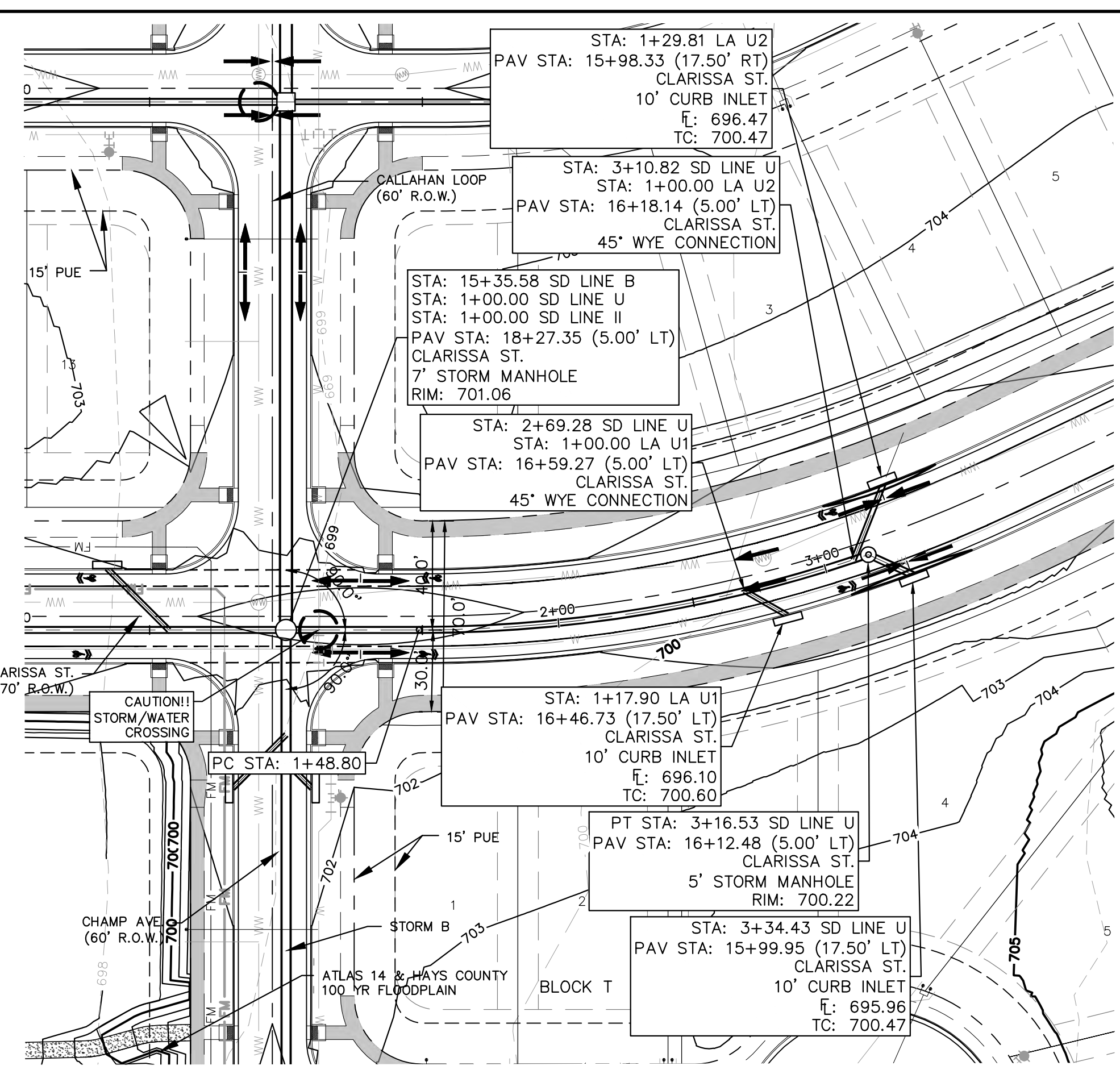
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OF 226



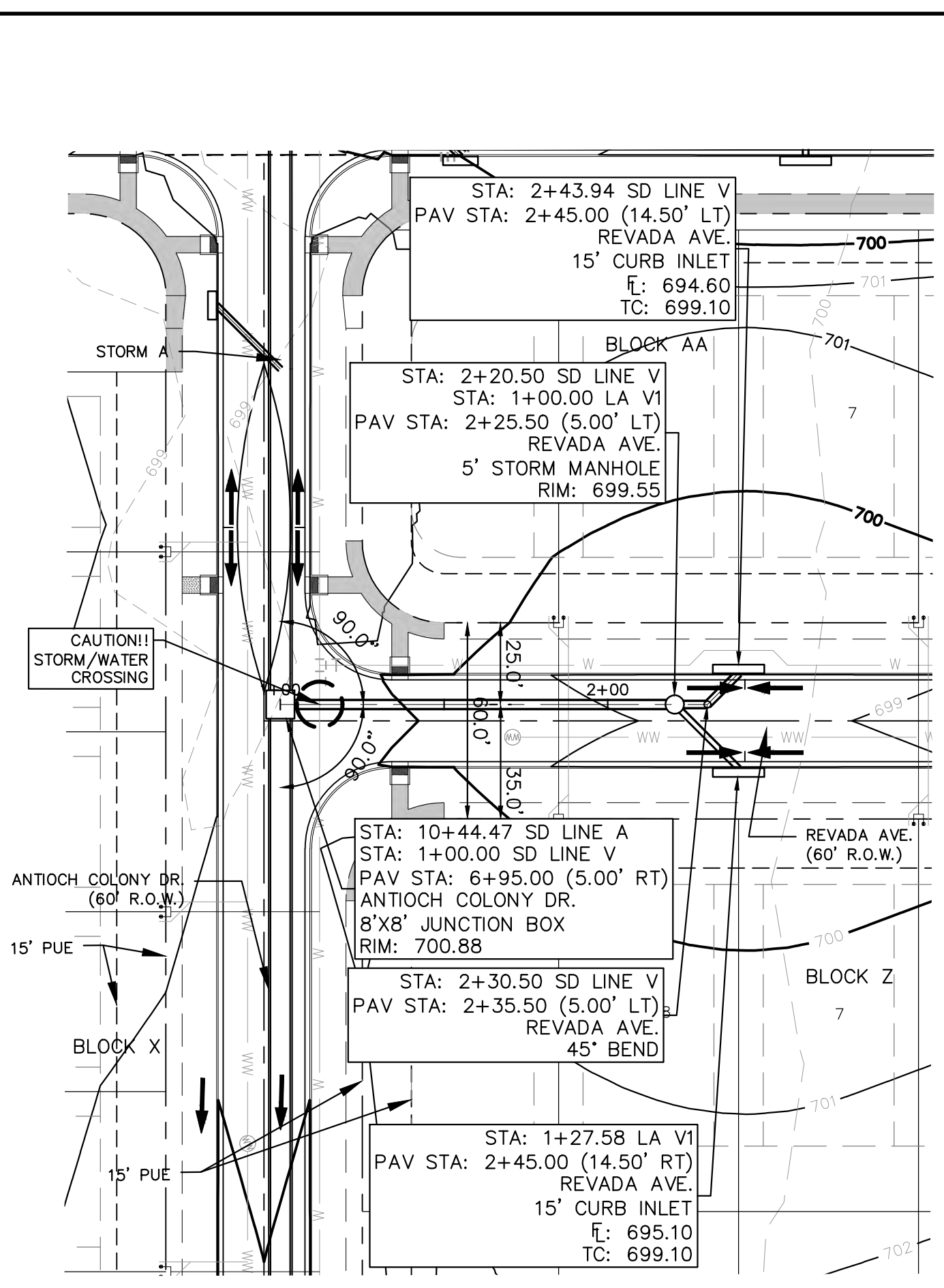
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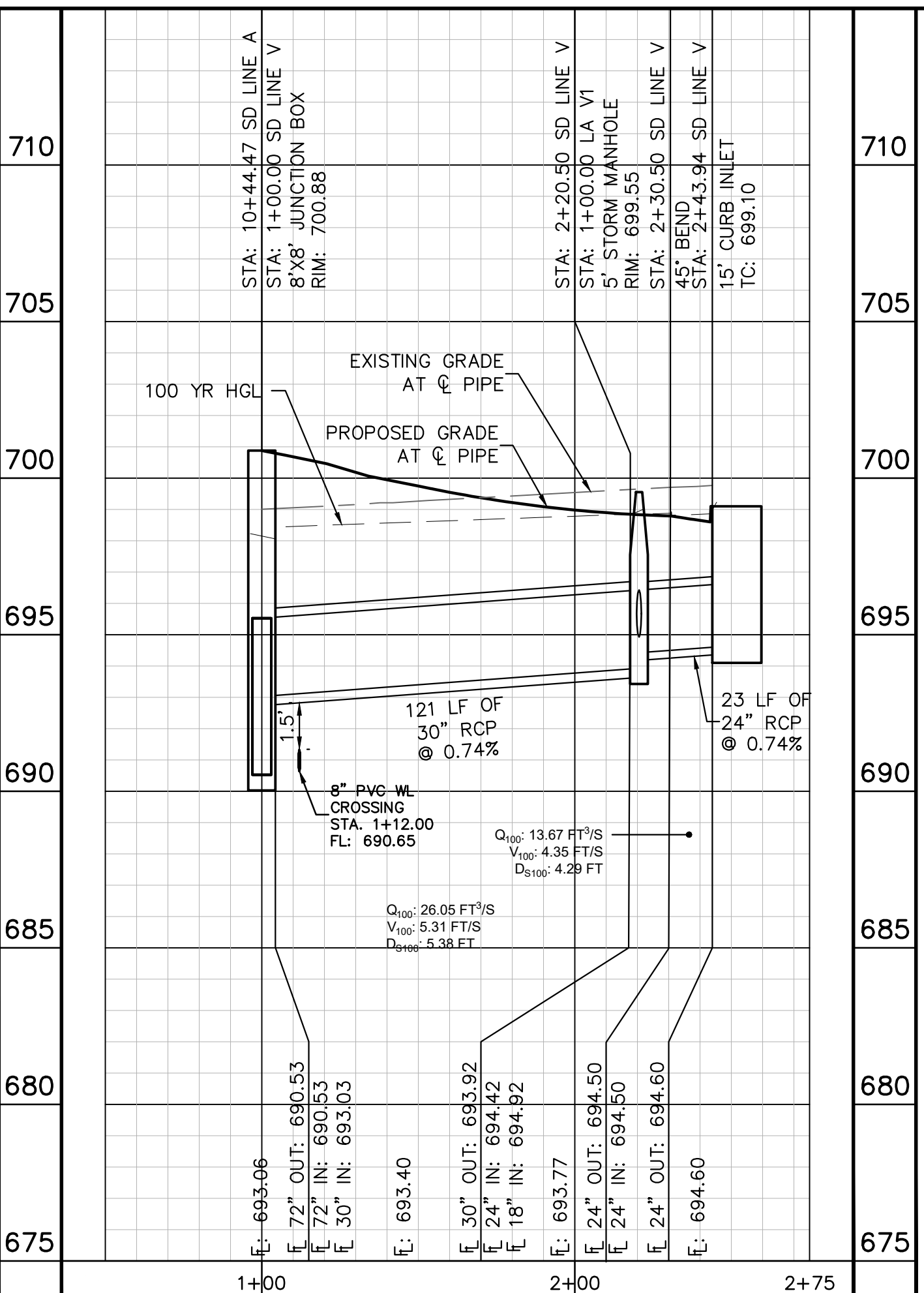
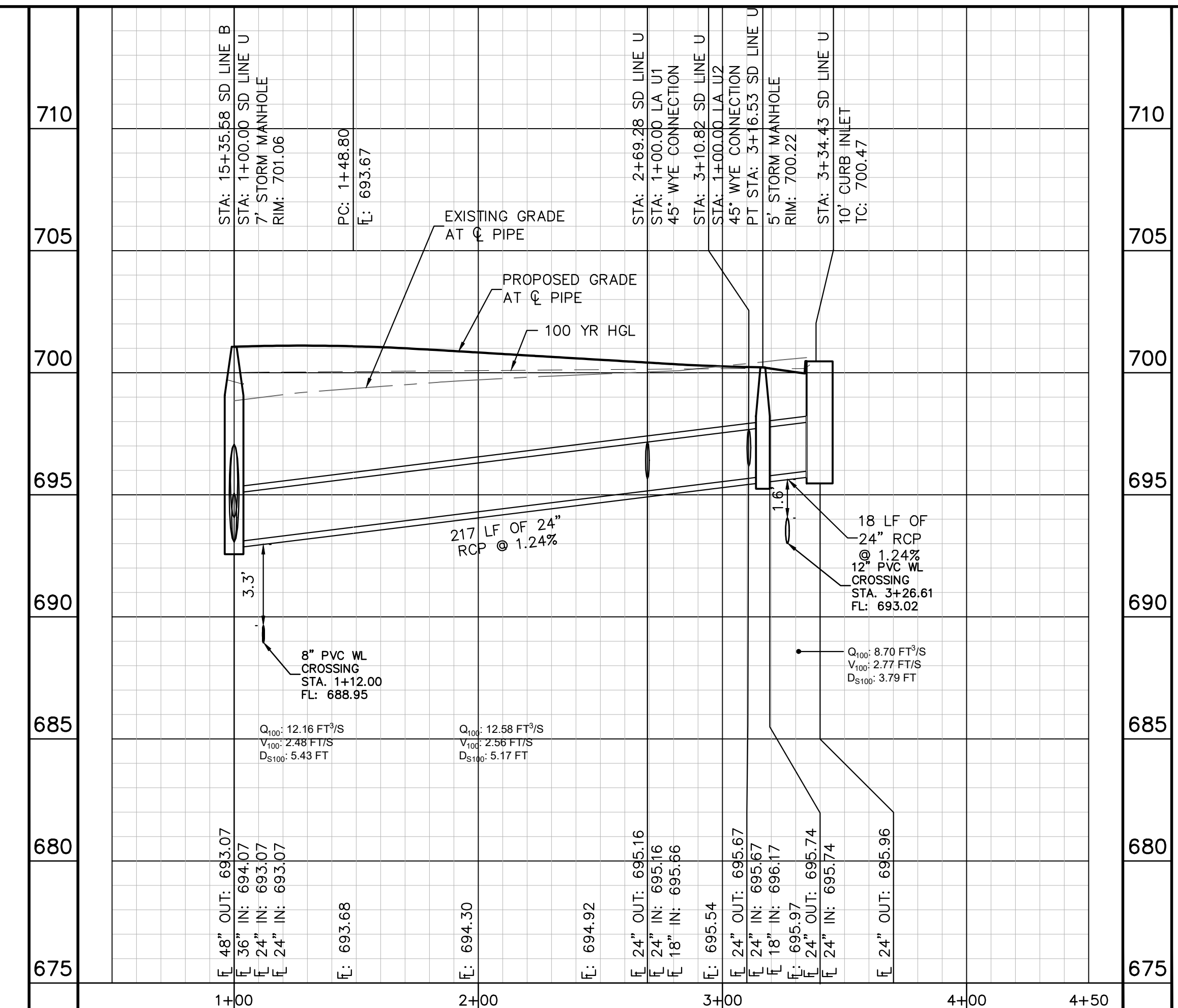
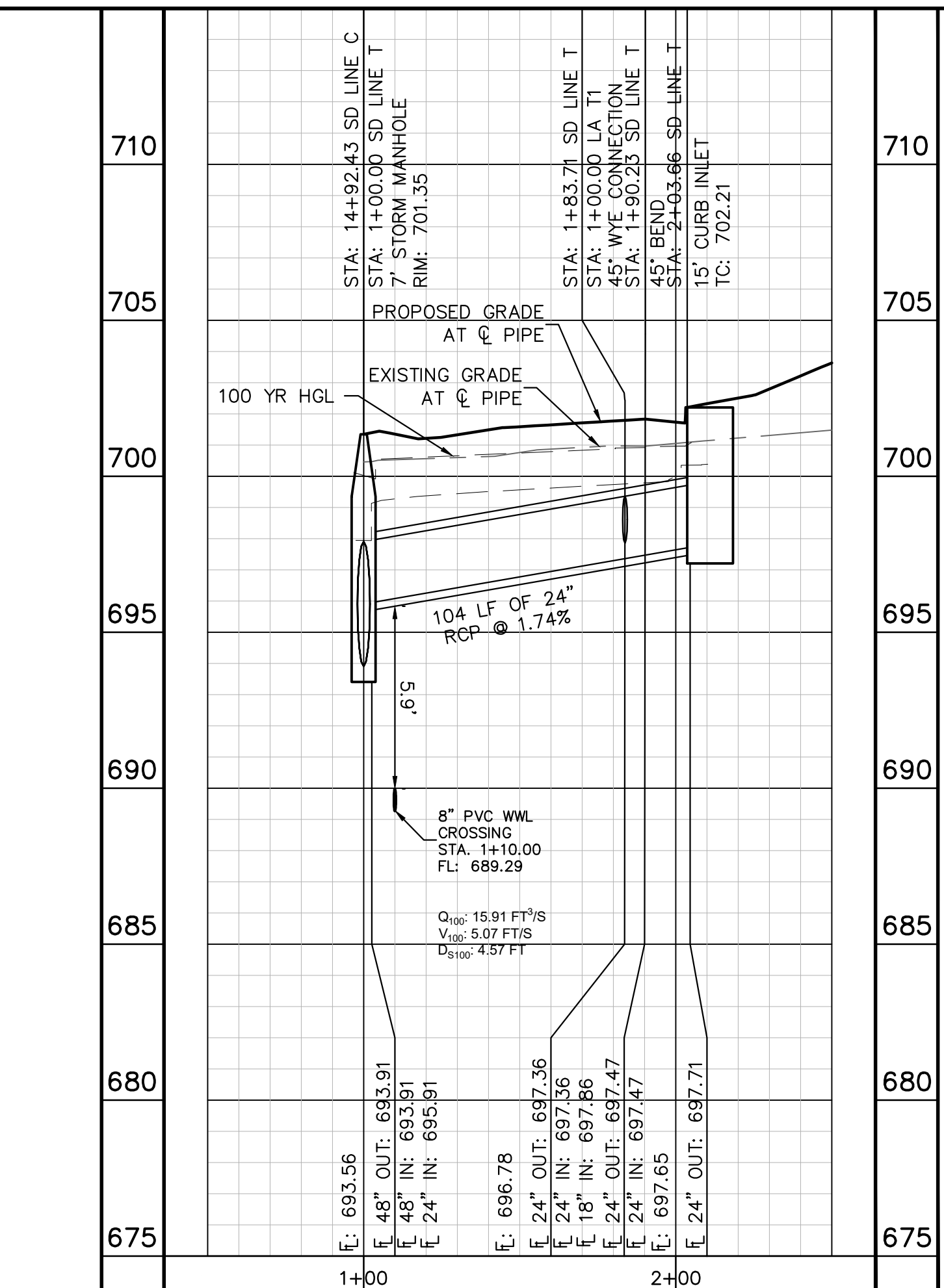
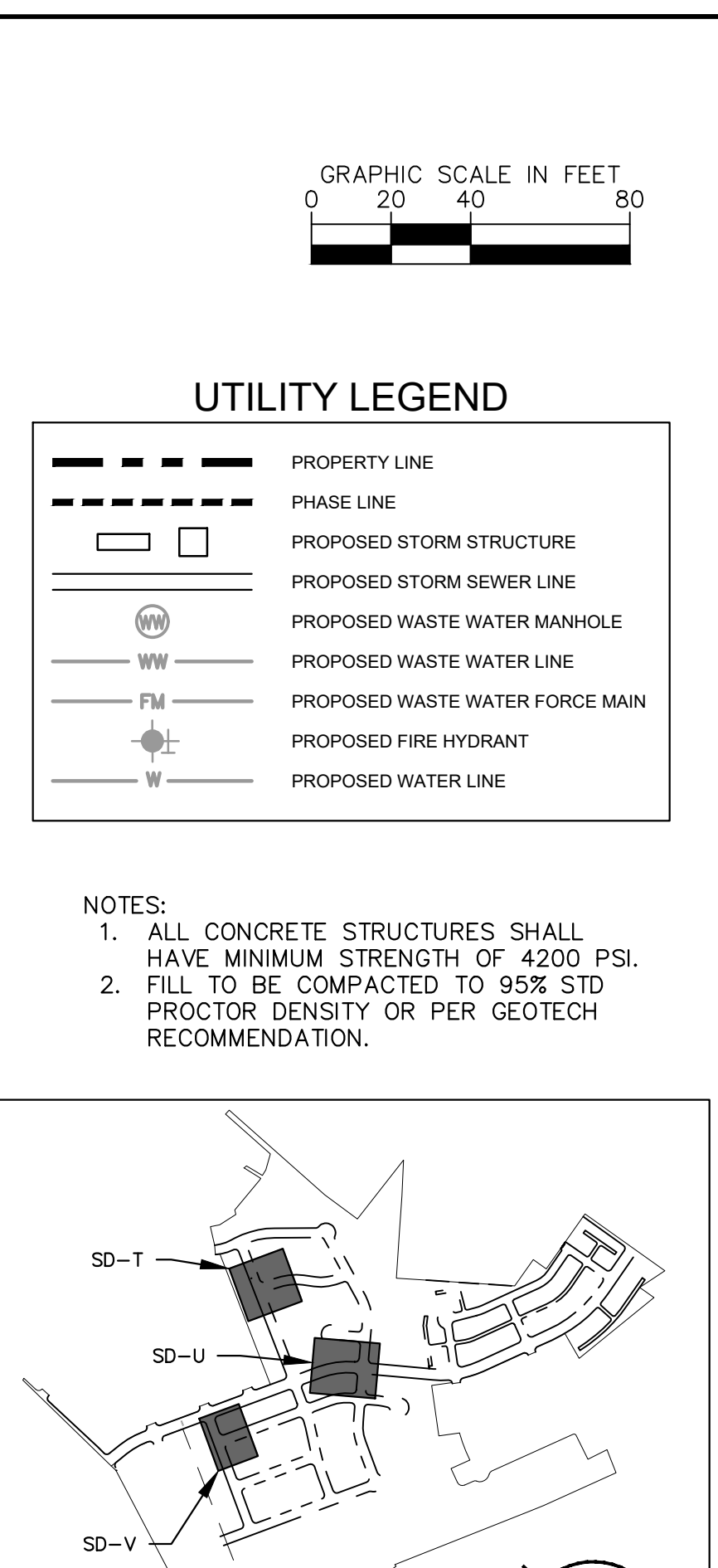
SD LINE T



SD LINE U



SD LINE V



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CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER APPLICATION DATE

APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE. ZONING N/A

Rev. 1 Correction 1

Rev. 2 Correction 2

Rev. 3 Correction 3

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THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

STORM DRAIN PLAN  
& PROFILE - SD LINE  
T, U & V

SHEET NUMBER  
122  
OF 226

Kimley-Horn & Associates, Inc.  
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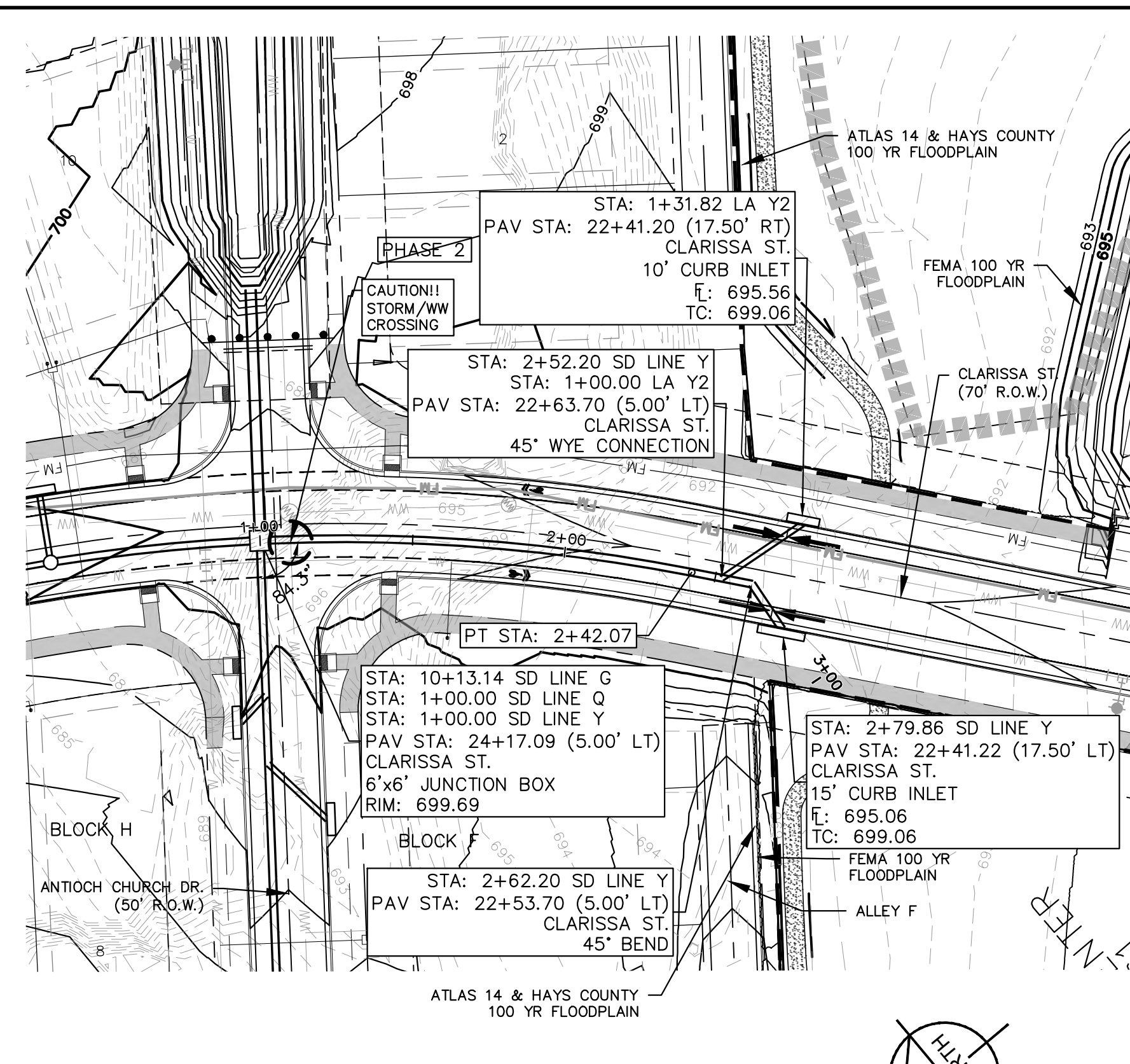
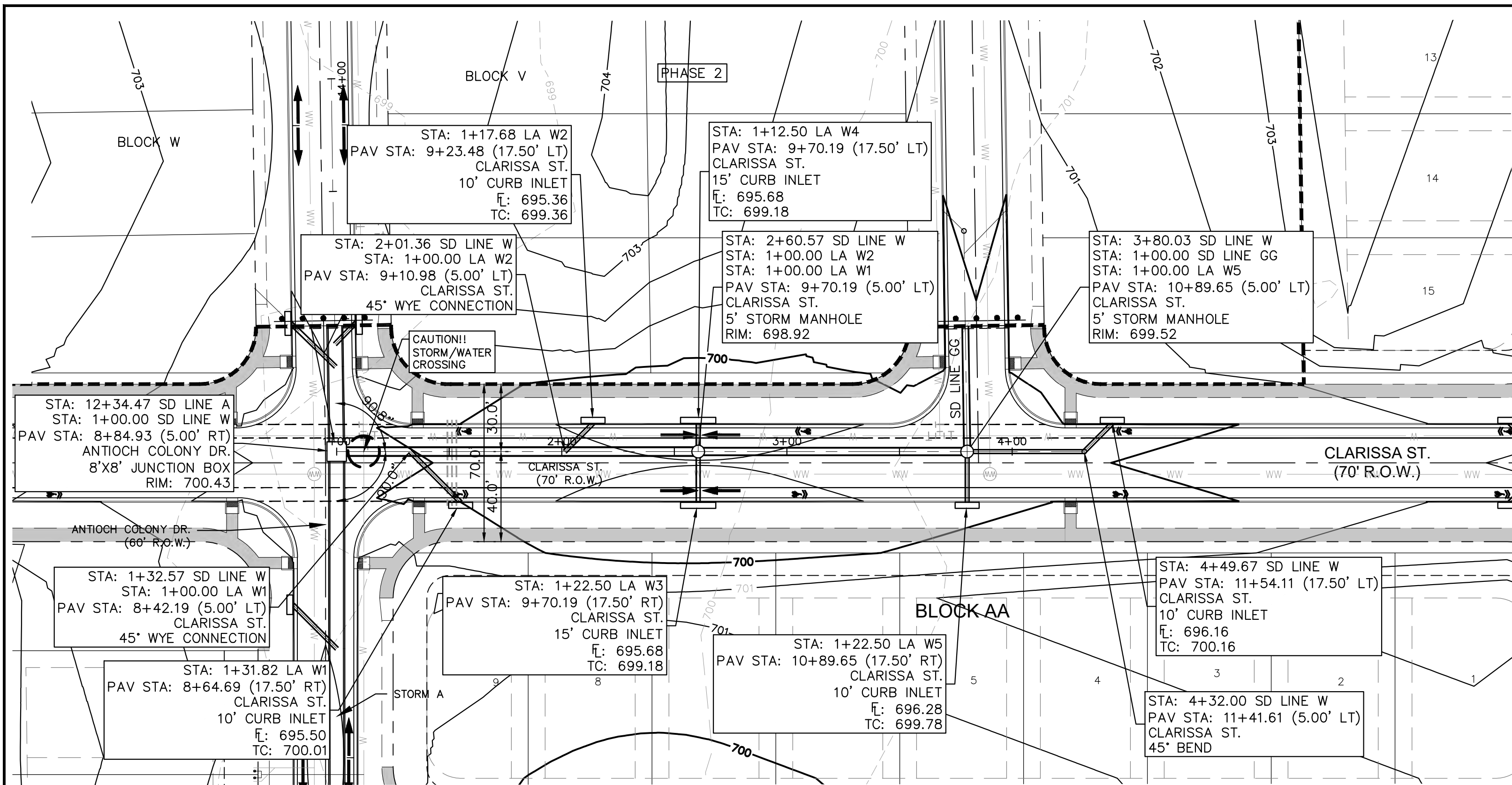
7/17/2023

STATE OF TEXAS  
ALEJANDRO E. GRANADOS RICO  
LICENSED PROFESSIONAL ENGINEER  
No. 124583  
Aljank E. Rico Lic.

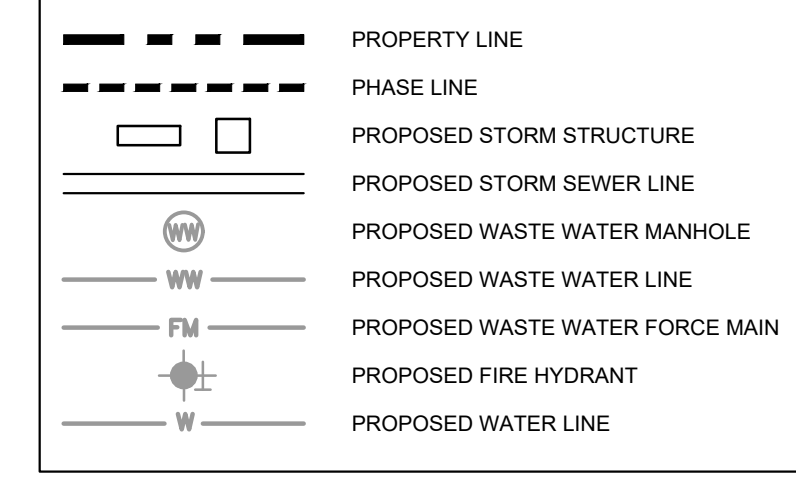
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DATE JULY 2023  
SCALE AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEC

REVISIONS  
No. DATE BY

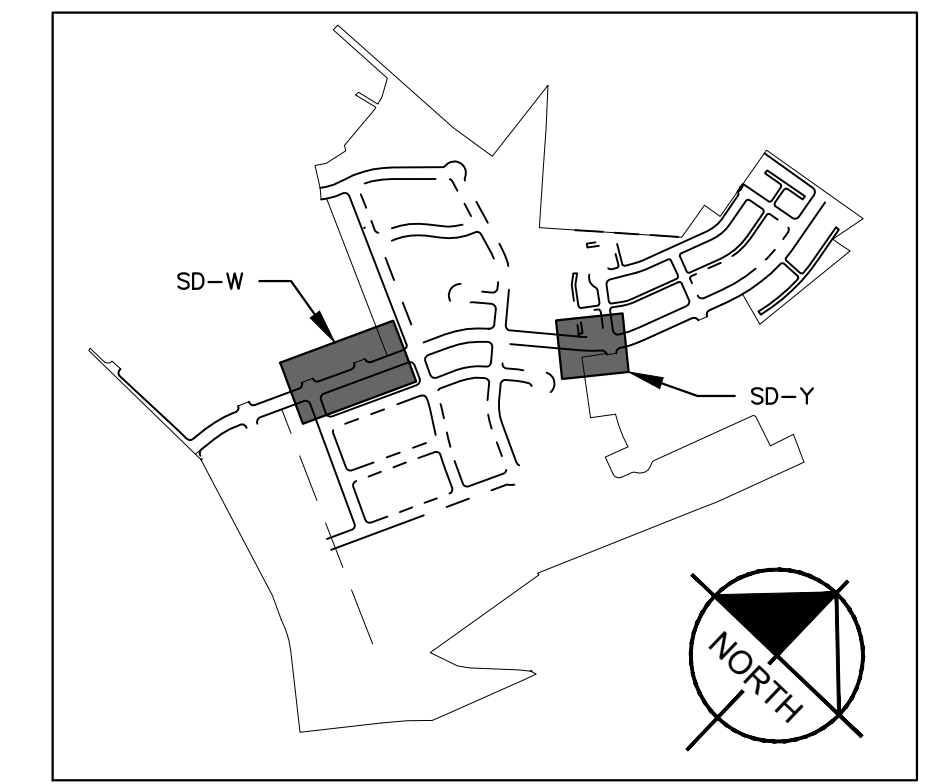
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**UTILITY LEGEND**



- NOTES:**
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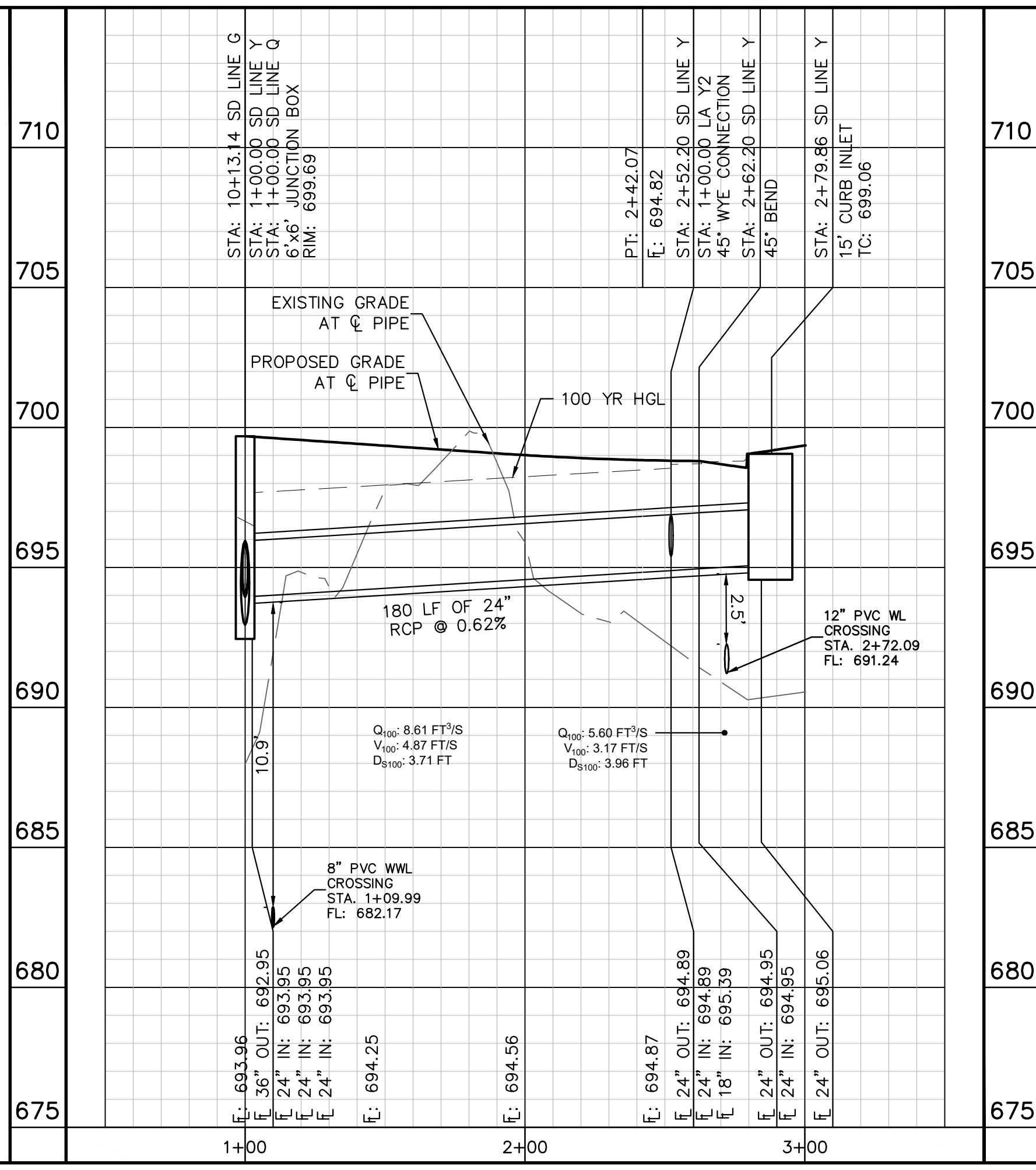
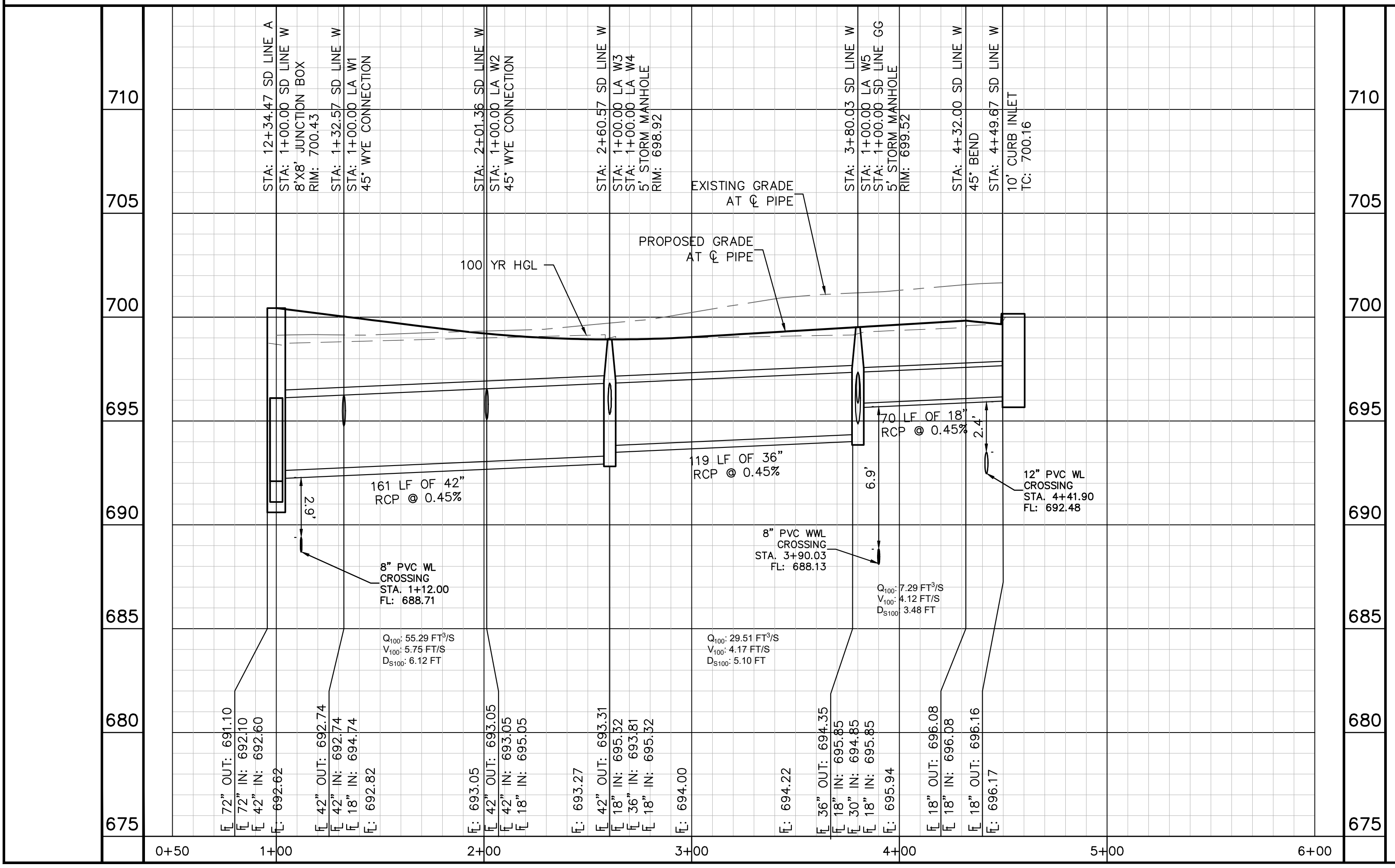
**Kimley & Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78735  
 PHONE: 512-646-2237  
 FAX: 512-646-2237  
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 TBPE Firm No. 928

07/17/2023

Professional Engineer Seal for Alejandro E. Granados Rico, License No. 130084.

Project: KHA PROJECT 067783115  
 Date: JULY 2023  
 Scale: AS SHOWN  
 Designed By: WEJ/DM  
 Drawn By: WB/HM/MH/DM  
 Checked By: AEG



**811**

Know what's below. Call before you dig.

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**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #102: P/NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 2710 NORTH OF THE EDGE NORTH EDGE OF PAVEMENT OF COLLEGE SPRINGS ROAD. ELEV: 691.51 (NAVD 88)

BM #104: P/NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRICAL LINES. ELEV: 712.04 (NAVD 88)

BM #106: P/NAIL SET IN ASPHALT ON THE SOUTH SIDE OF BUDA COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 732.57 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

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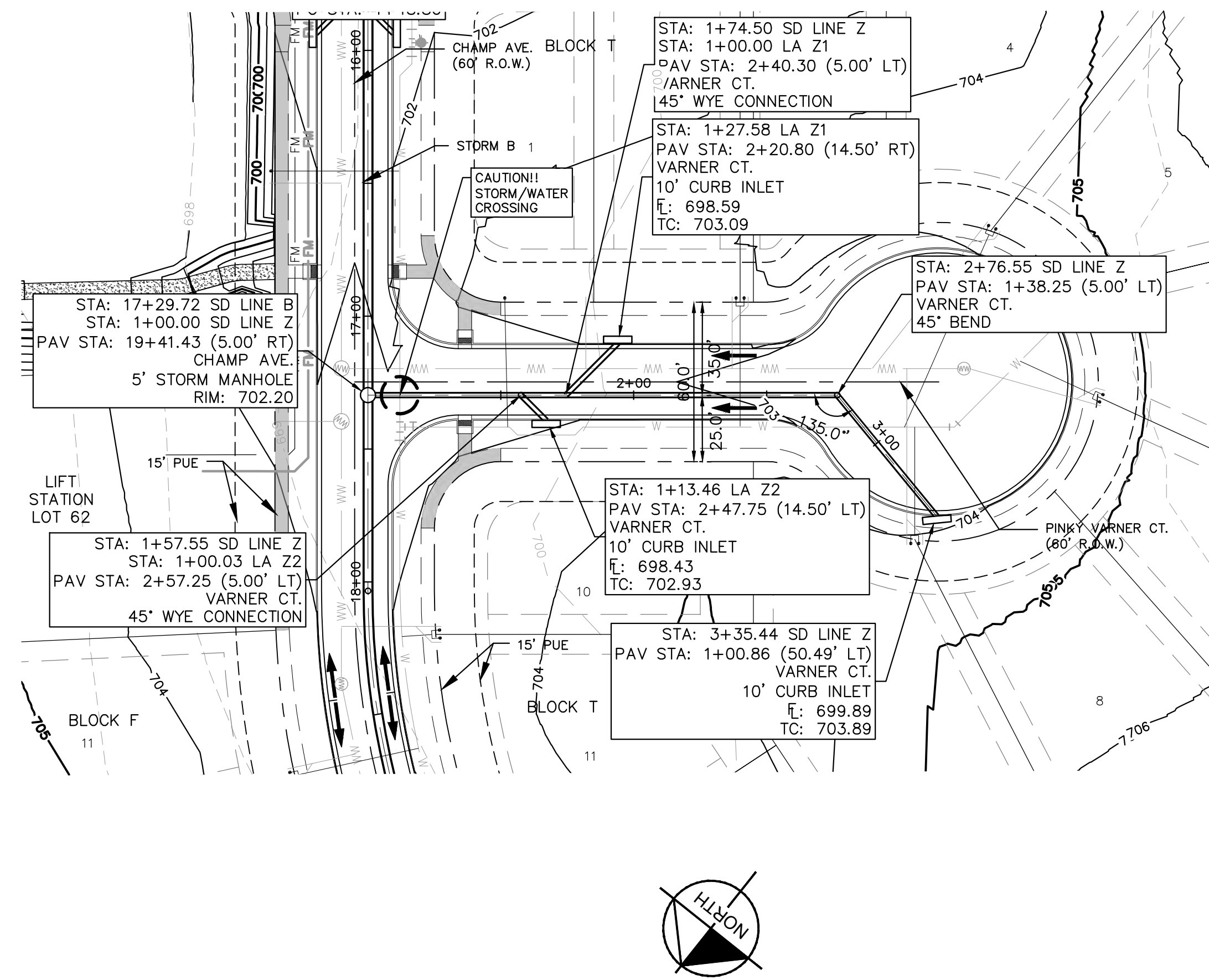
PERMIT NUMBER: 2021-737

**STORM DRAIN PLAN & PROFILE - SD LINE W & Y**

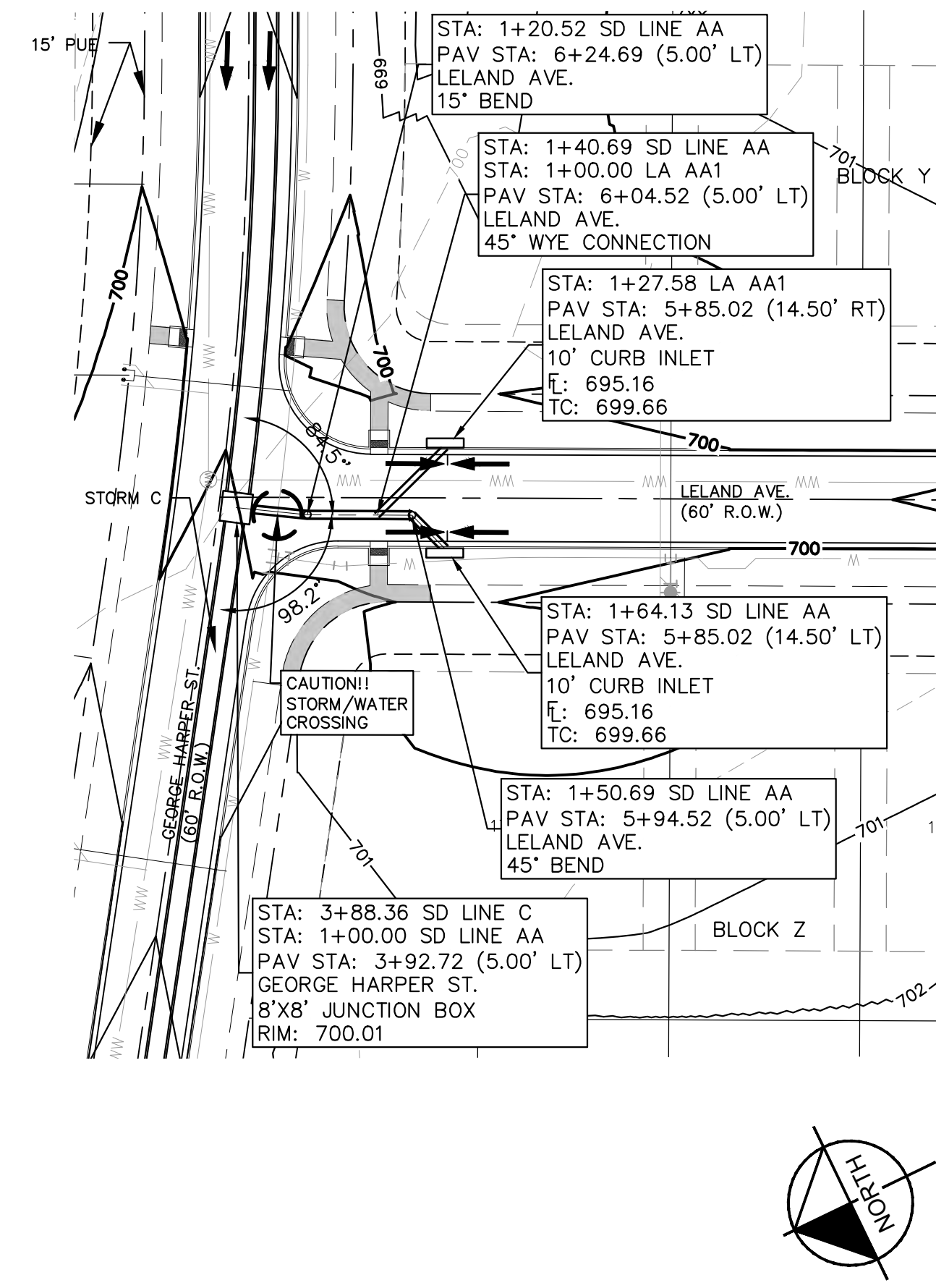
**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**123**  
 OF 226

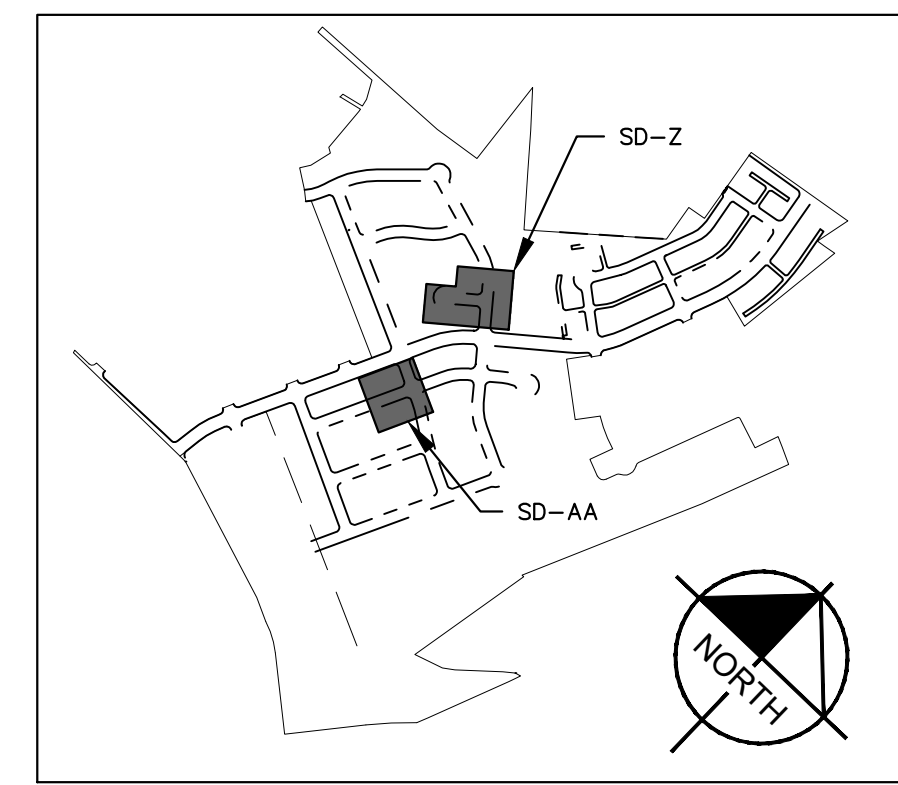
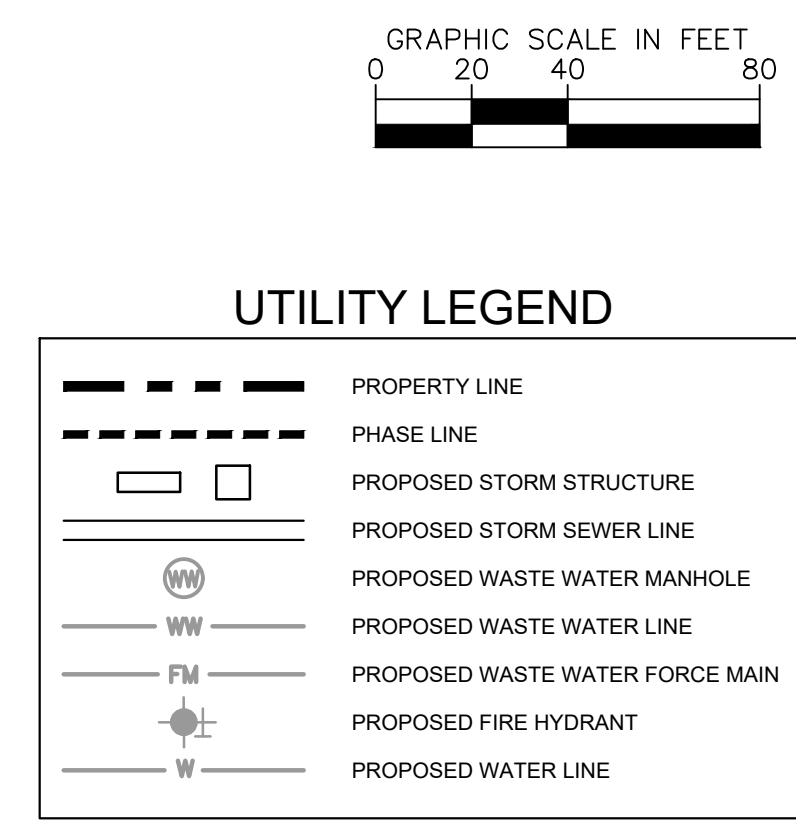
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SD LINE Z

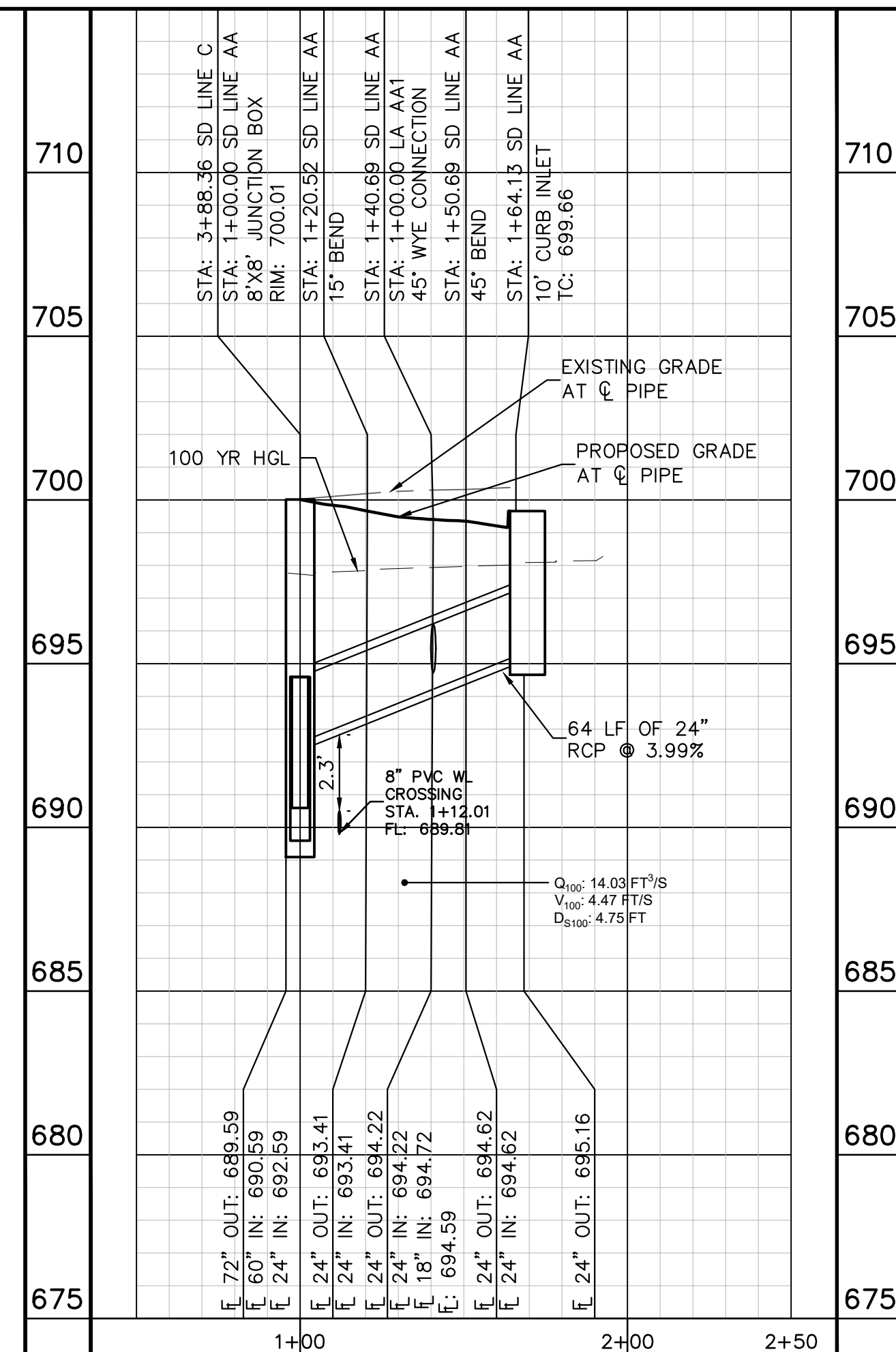
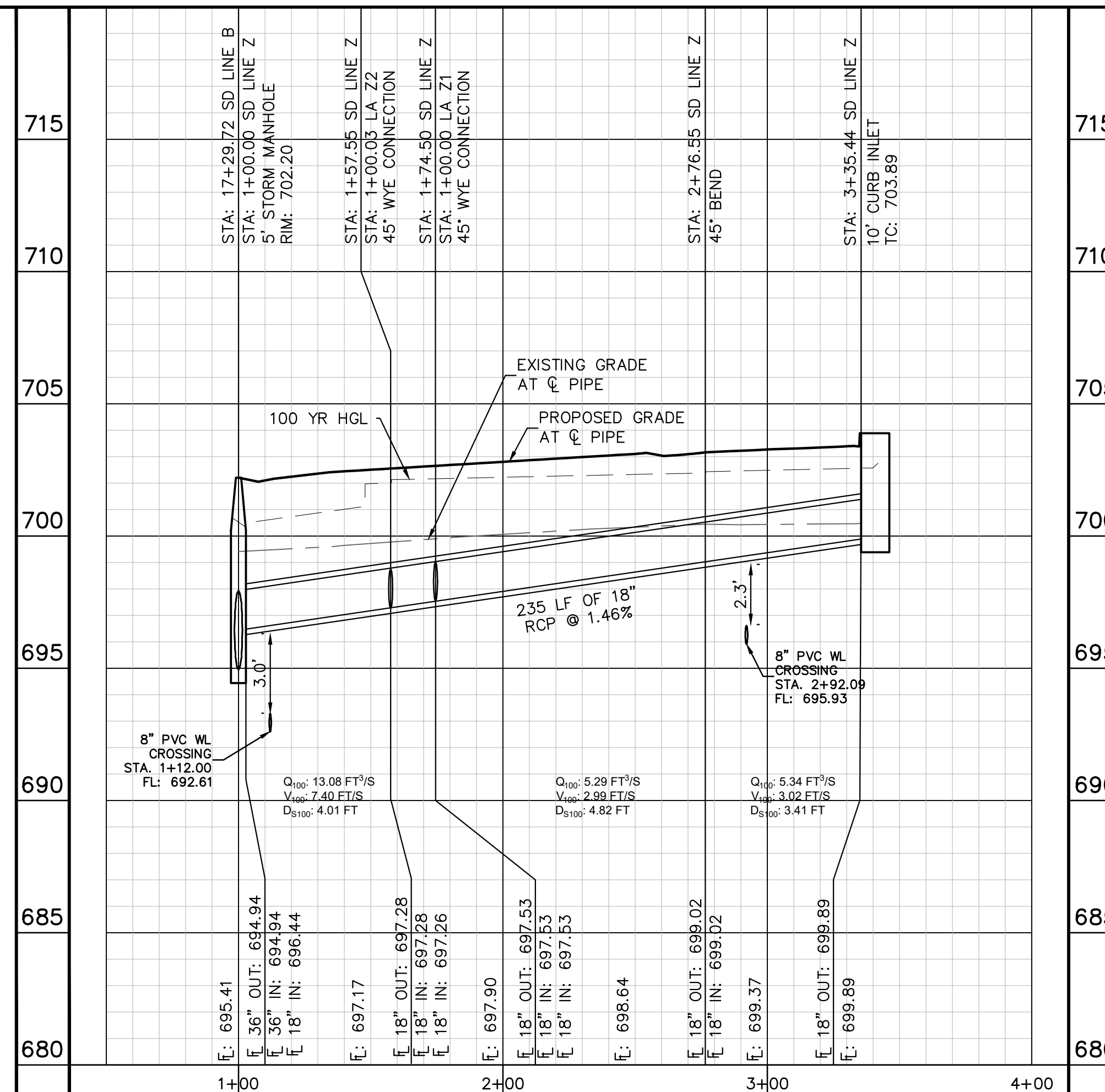


SD LINE AA



KEY MAP

SCALE: 1:1000



**811**  
 Know what's below.  
 Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #100 - 1/2" IRON NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV: 695.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV: 712.04 (NAVD 88)

BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLEBROOK COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
 FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

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PERMIT NUMBER: 2021-737

STORM DRAIN PLAN  
 & PROFILE - SD LINE  
 Z & AA

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
 124  
 OF 226

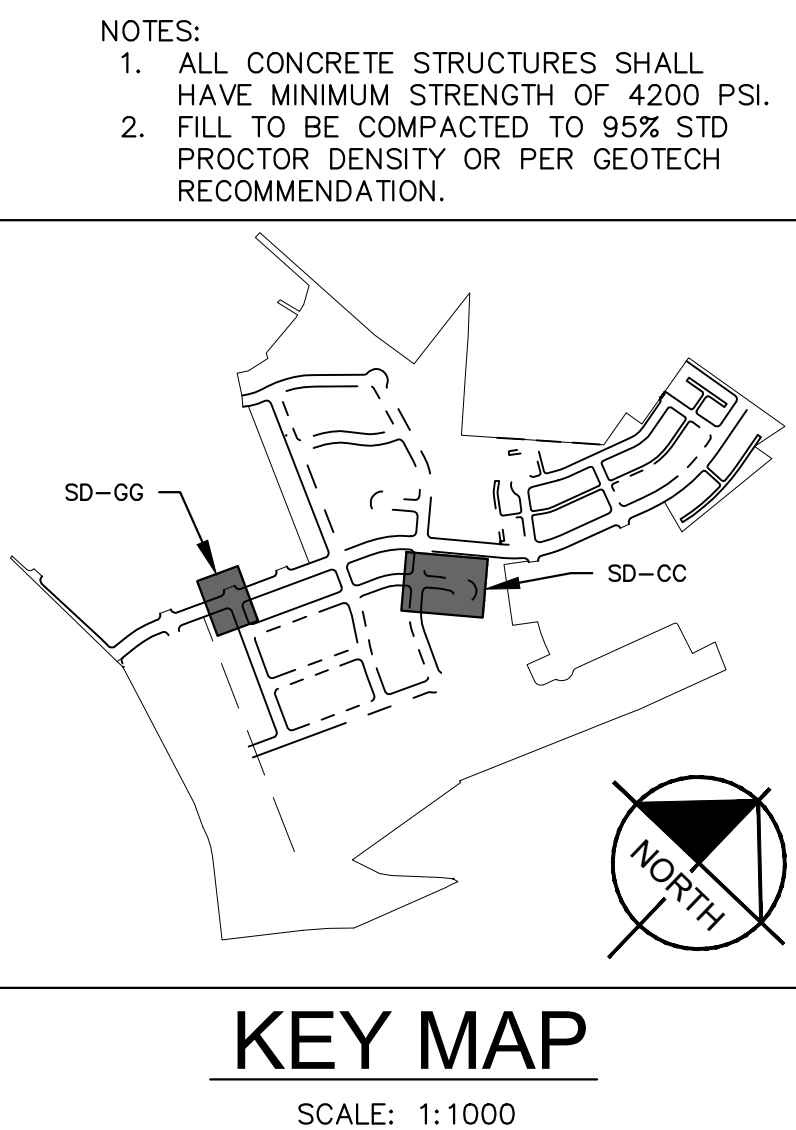
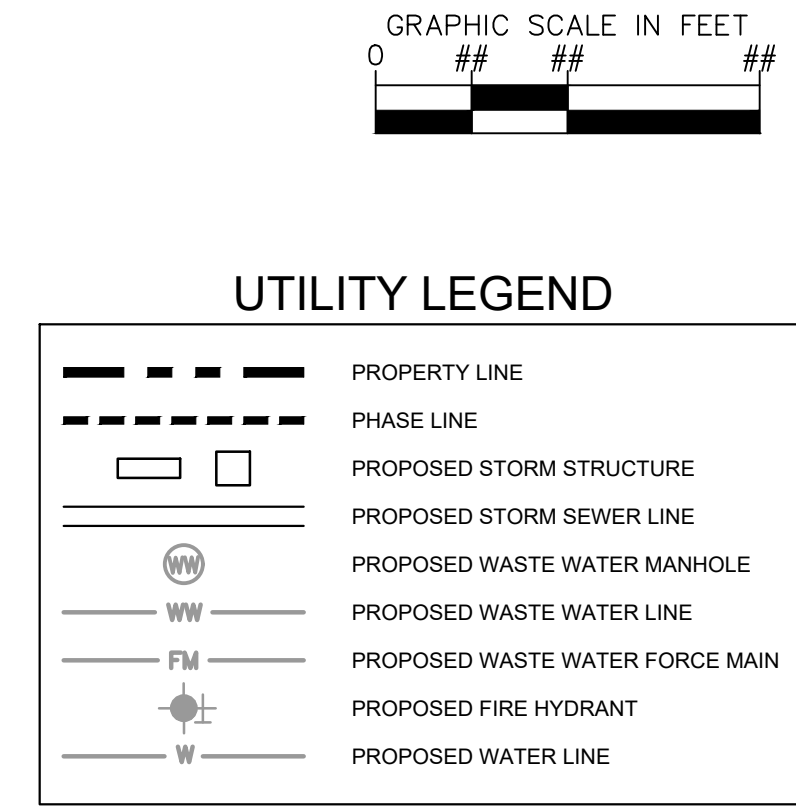
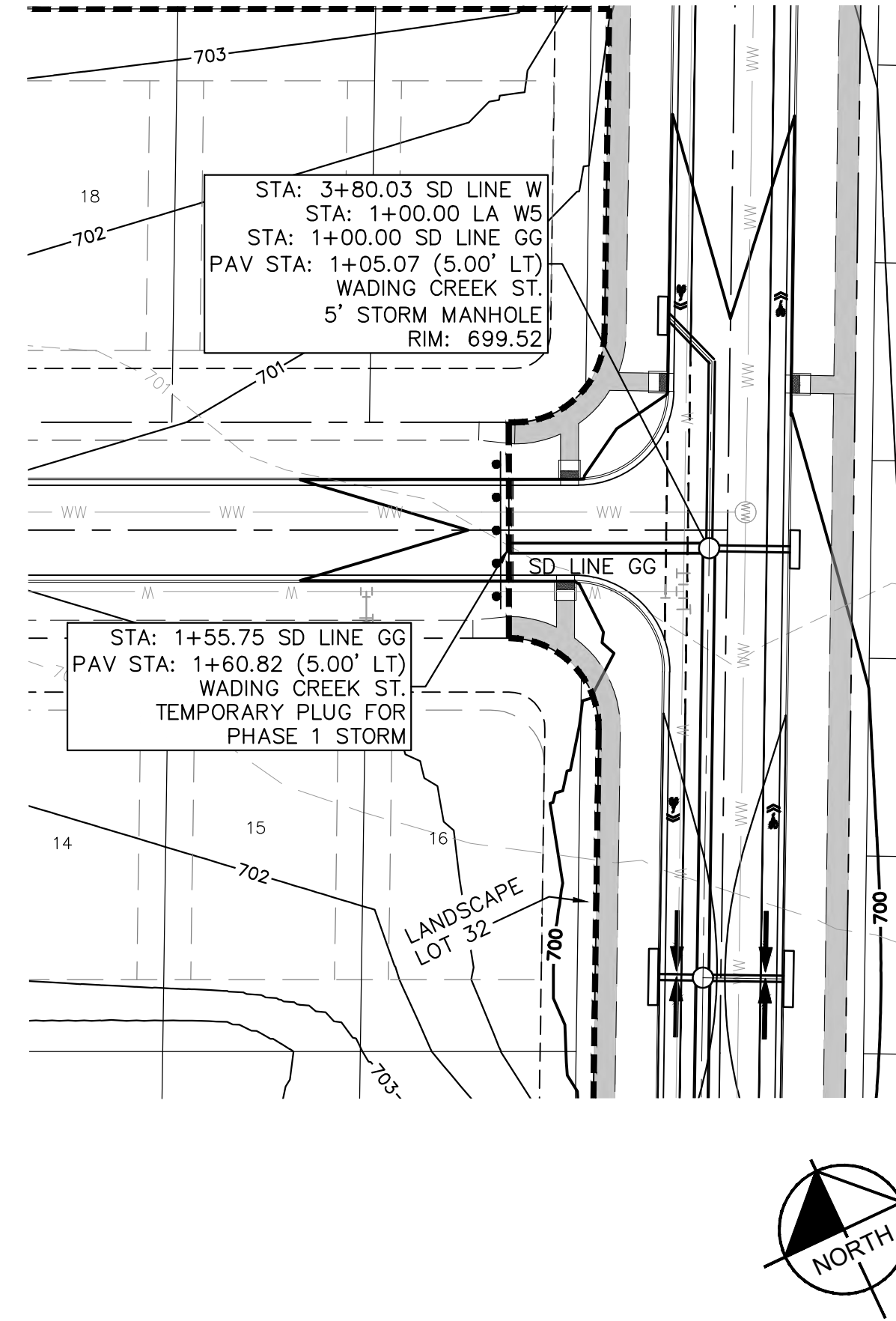
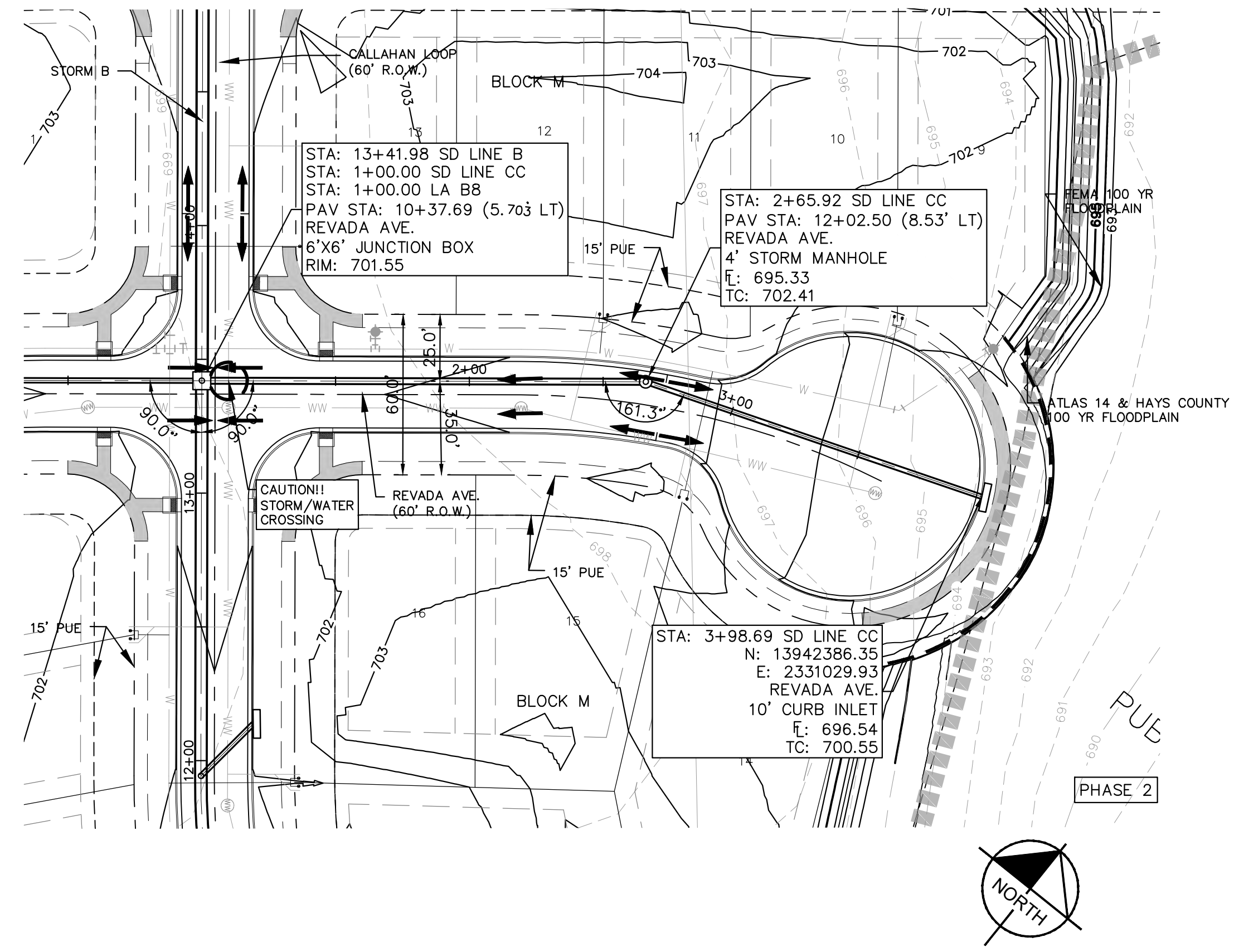
NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
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 TBE Firm

07/17/2023  
  
 Alejandro E. Granados-Rico  
 Licensed Professional Engineer  
 State of Texas  
 License No. 13088

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

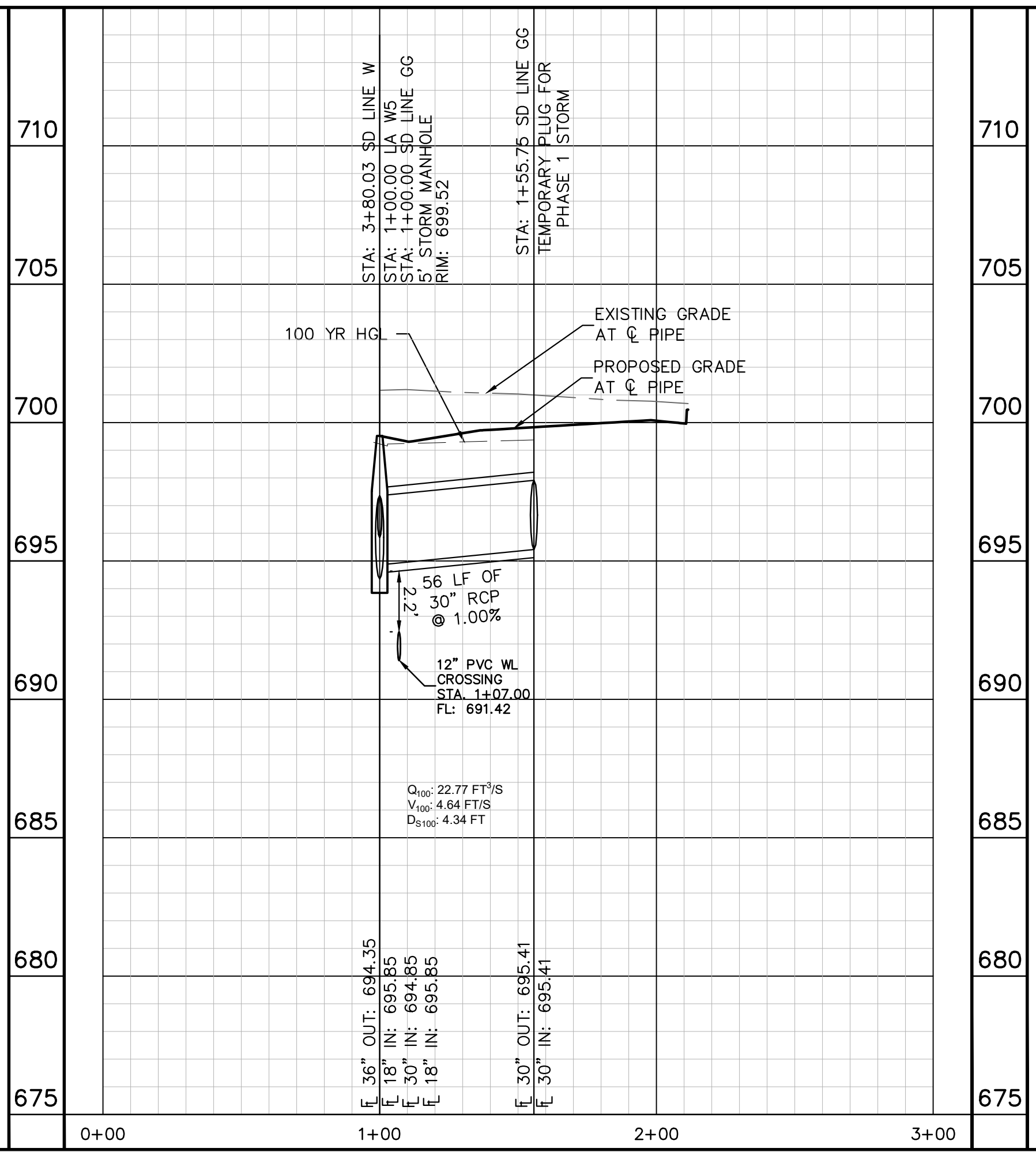
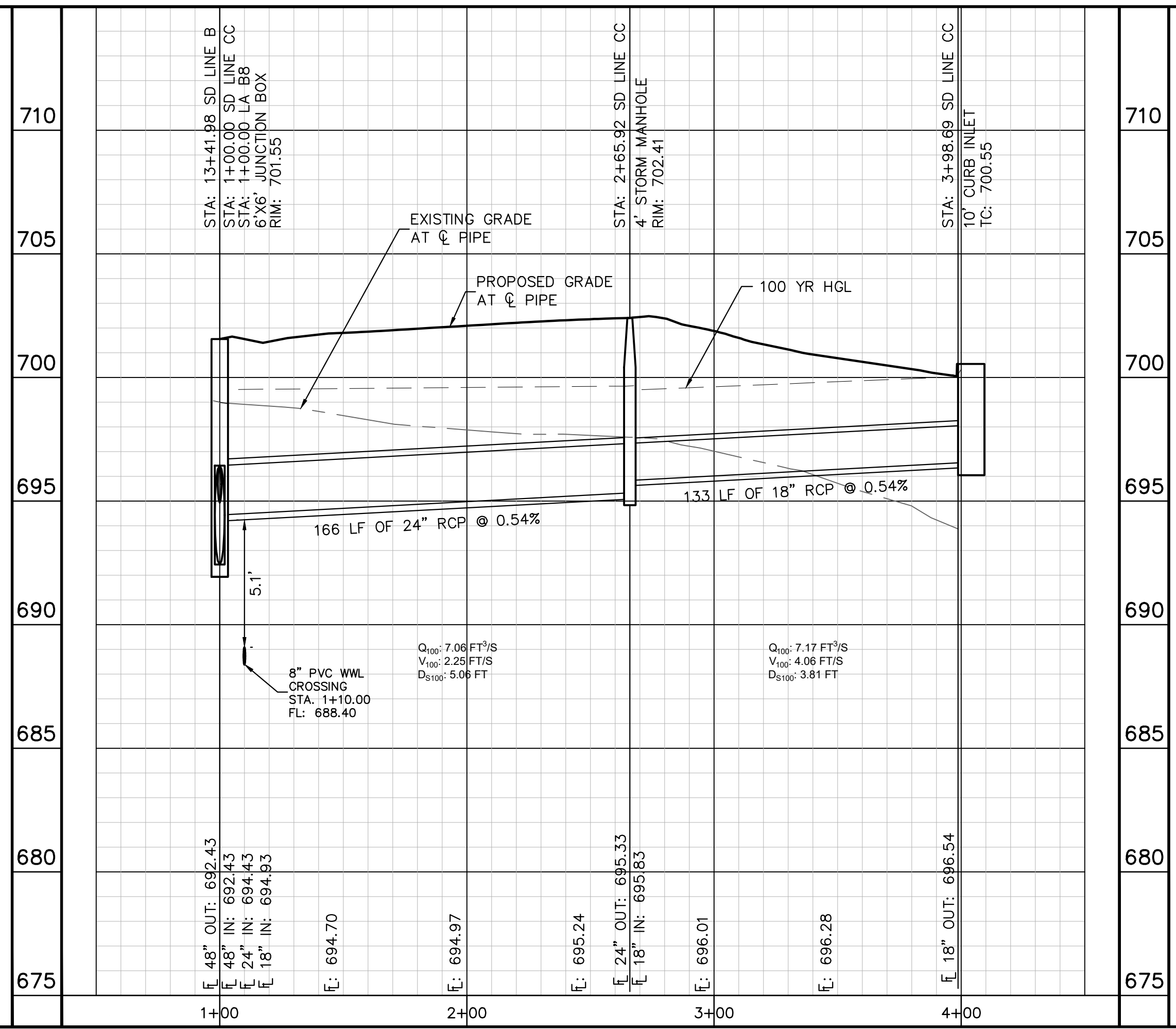
Plotted by: Garner, Mikael Date: July 17, 2023 09:04:20am File Path: K:\soul\_civil\067783115\_meritage\_buda\_assembly\Cad\plansheets\Storm P&P (SD\_R,S,T,U,V,W,Y,Z,AA,BB,CC) .dwg  
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- NOTES:**
- ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.
  - FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.

**SD LINE CC**

**SD LINE GG**



**811**  
 Know what's below.  
 Call before you dig.

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=718.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET    OF   226  

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING \_\_\_\_\_ N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**STORM DRAIN PLAN & PROFILE - SD LINE CC & GG**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**125**  
 OF 226

**Kimley-Horn**

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 TBPE Firm No. 928

07/17/2023

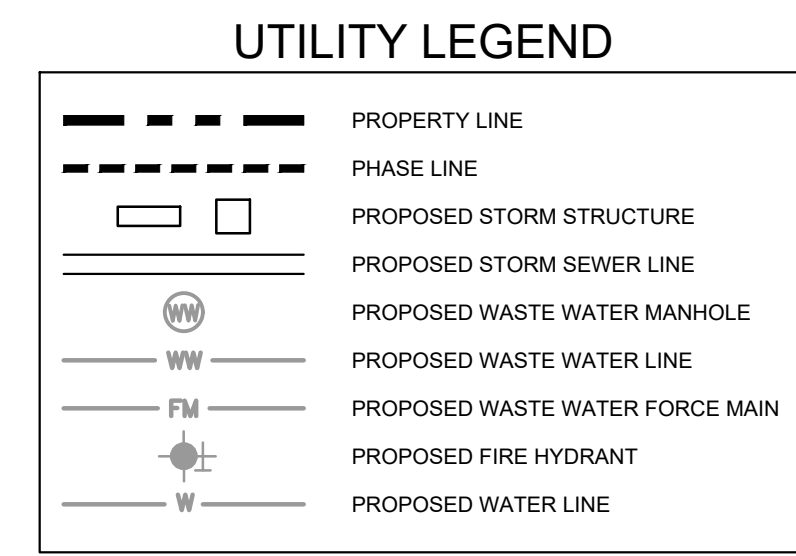
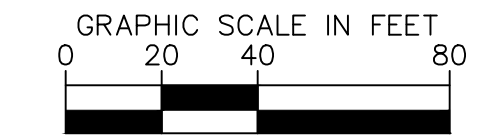
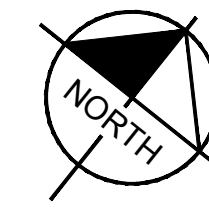
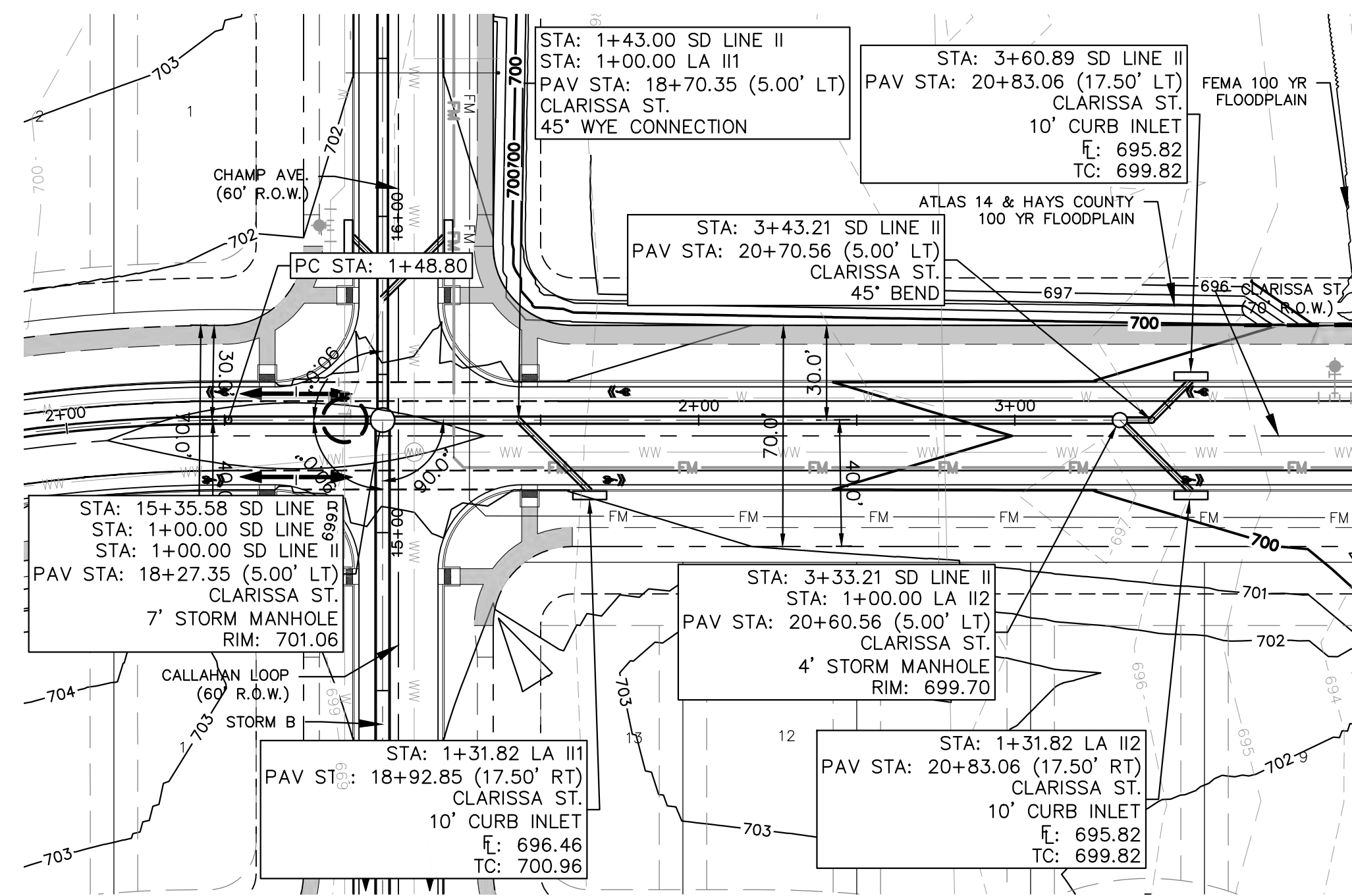
**ALEJANDRO E. GRANADOS RICO**  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13308

**Aljank E. Rizo-Lin**

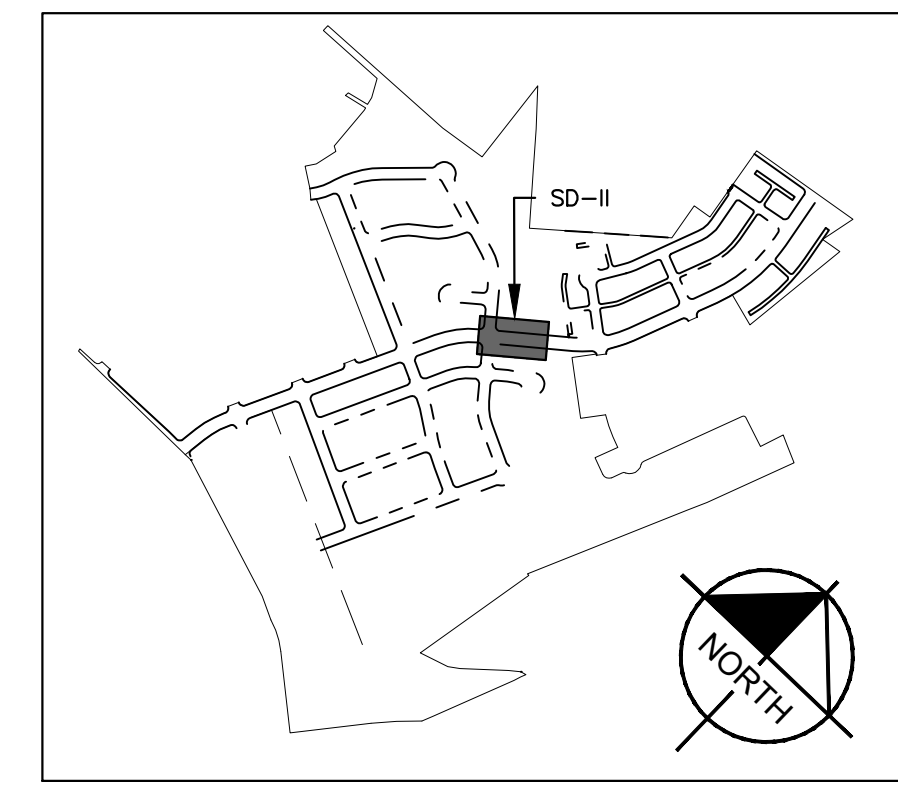
KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

NO.	REVISIONS	DATE	BY

Plotted by: Garner, Mikael Date: July 17, 2023 09:04:44am File Path: K:\soul\_civil\067783115\_meritage\_buda\_assemble\Cad\plansheets\C-Storm P&P (SD\_R5,TU,V,W,Y,Z,AA,BB,CC).dwg  
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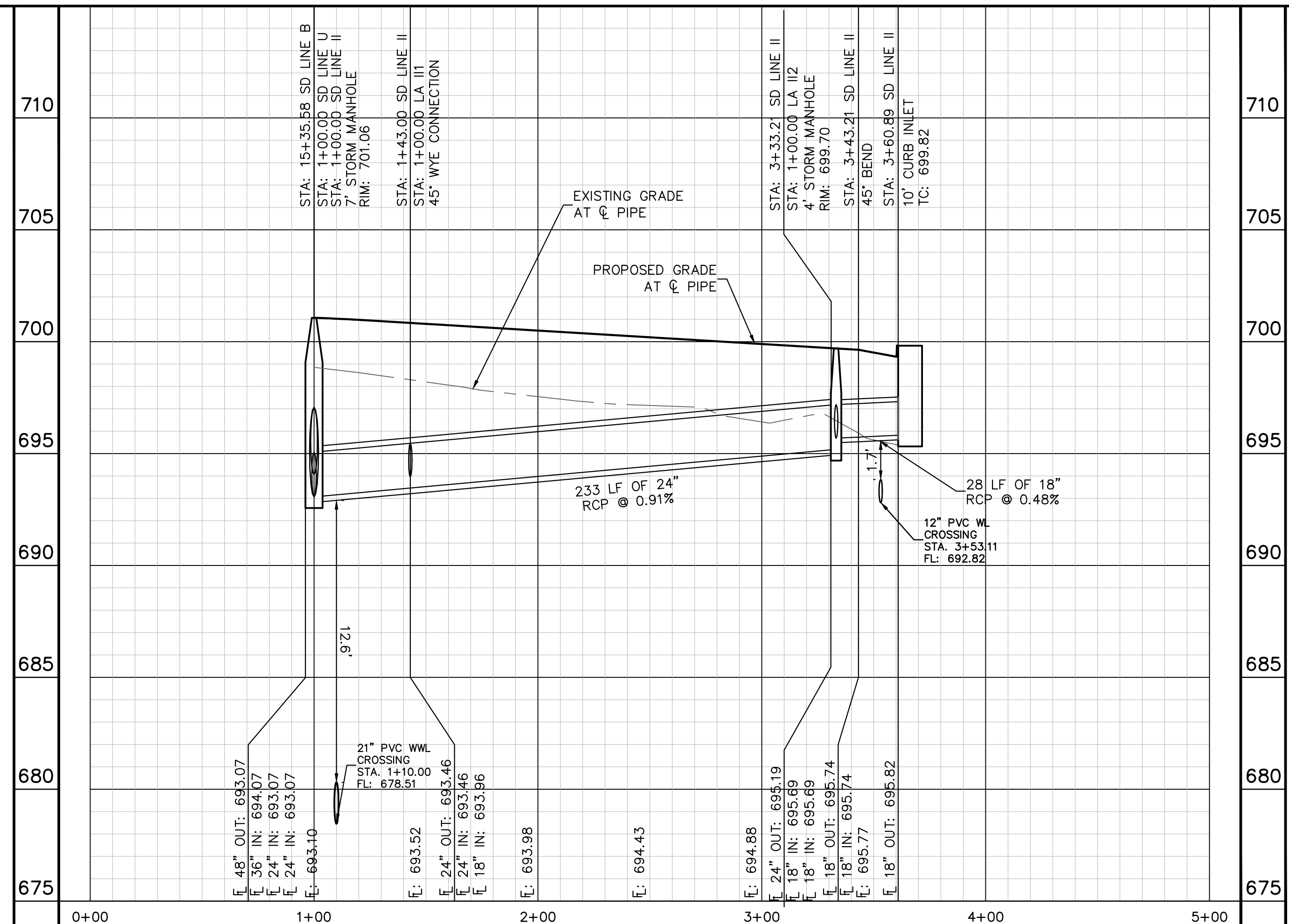
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TBE Firm No. 928

07/17/2023

Alejandro E. Granados-Rico  
Professional Engineer  
No. 13098

KHA PROJECT	06/783115
DATE	JULY 2023
SCALE	AS SHOWN
DESIGNED BY	WB, DM
DRAWN BY	WB, HM, MH, DM
CHECKED BY	AEG

## SD LINE II



**811**  
Know what's below.  
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

**BENCHMARKS**

BENCHMARKS:  
BM #100 - PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=719.87 (NAVD 88)  
BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)  
BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLEBROOK COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
 APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER THE CITY OF BUDA  
 UNIFIED DEVELOPMENT CODE \_\_\_\_\_  
 EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING \_\_\_\_\_ N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
 Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
 Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

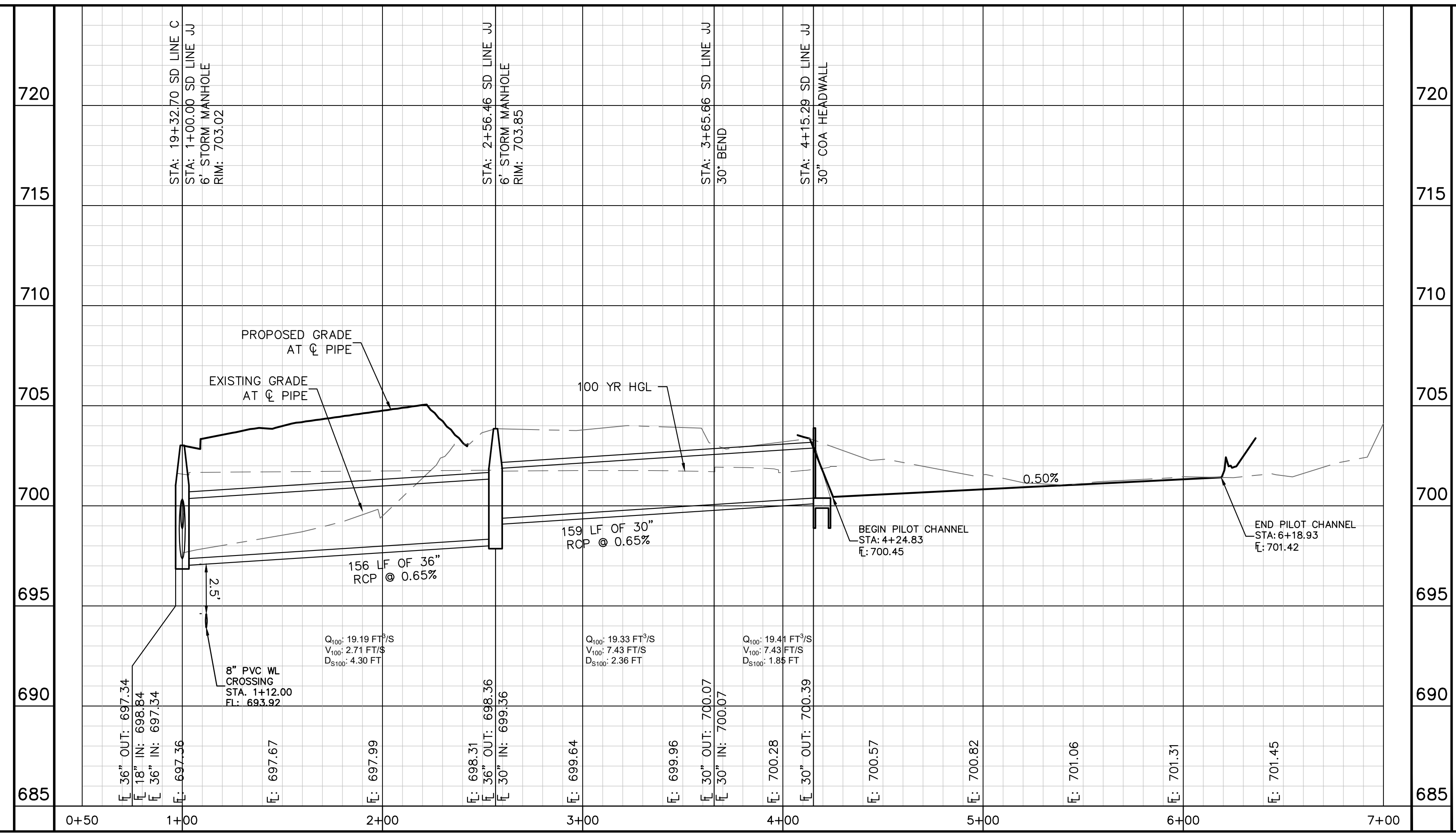
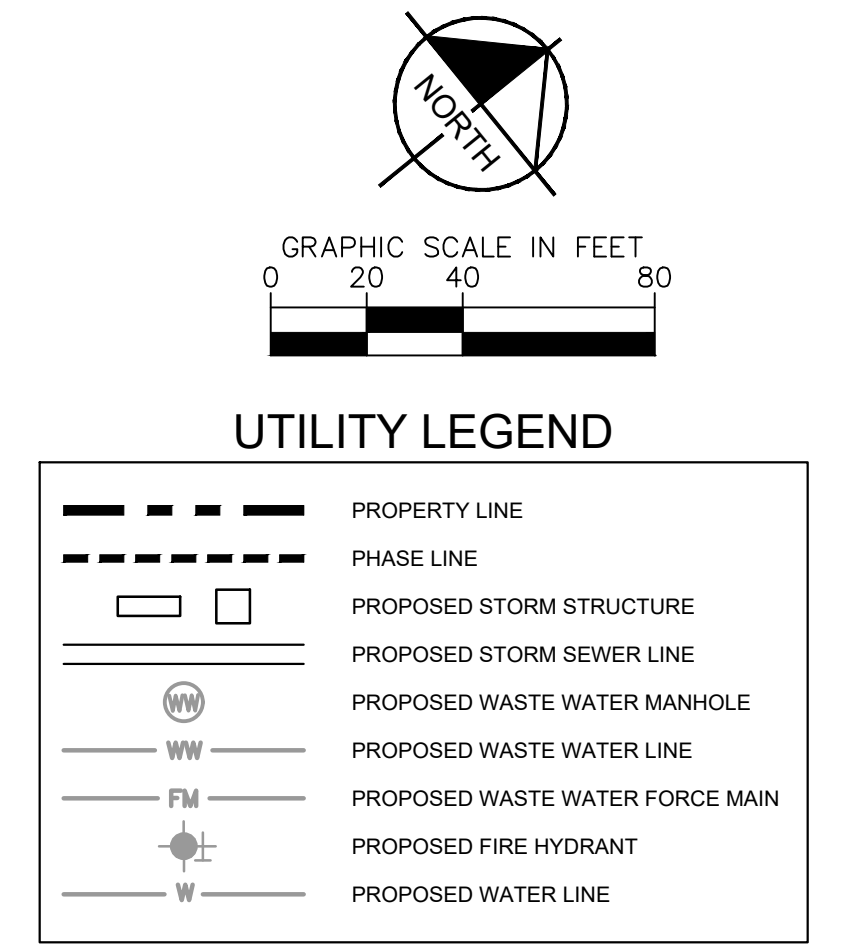
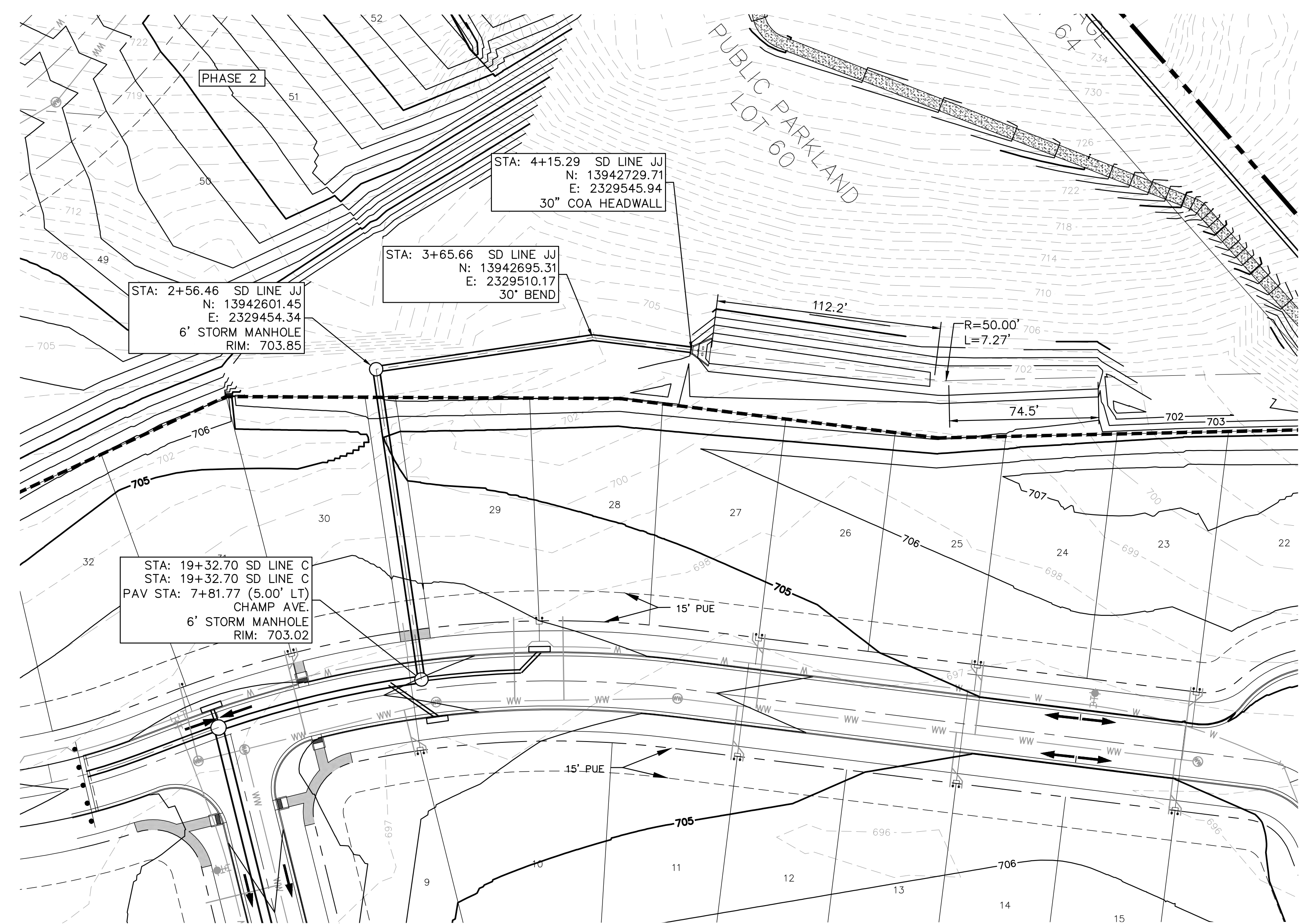
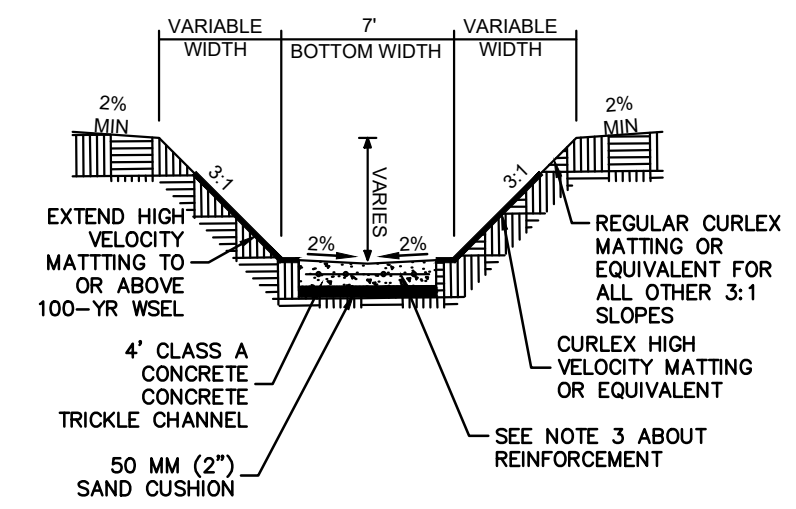
PERMIT NUMBER: 2021-737

**STORM DRAIN PLAN &  
PROFILE - SD LINE II**

**THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS**

SHEET NUMBER  
**126**  
OF 226

Plotted by: Garner, Mikael Date: July 17, 2023 09:06:49am File Path: K:\sow\_civil\067783115 merritage buda assembly\Cad\plansheets\127 STORM LATERAL PLAN & PROFILE - 08 & 09.dwg  
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**811**

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Call before you dig.

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**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

**BENCHMARKS**

BENCHMARKS:

- BM #100 - 1/2" IRON PIN NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=702.87 (NAVD 88)
- BM #104 - 1/2" IRON PIN NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW ON THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)
- BM #106 - 1/2" IRON PIN NAIL SET IN ASPHALT ON THE SOUTHWEST SIDE OF COLEBROOK COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=702.56 (NAVD 88)

**CONSTRUCTION PLAN APPROVAL SHEET 08 OF 226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

**Kimley-Horn**

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TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
13308  
LICENSED PROFESSIONAL ENGINEER  
No. 13308  
Aljank E. Rico-Liu

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEG

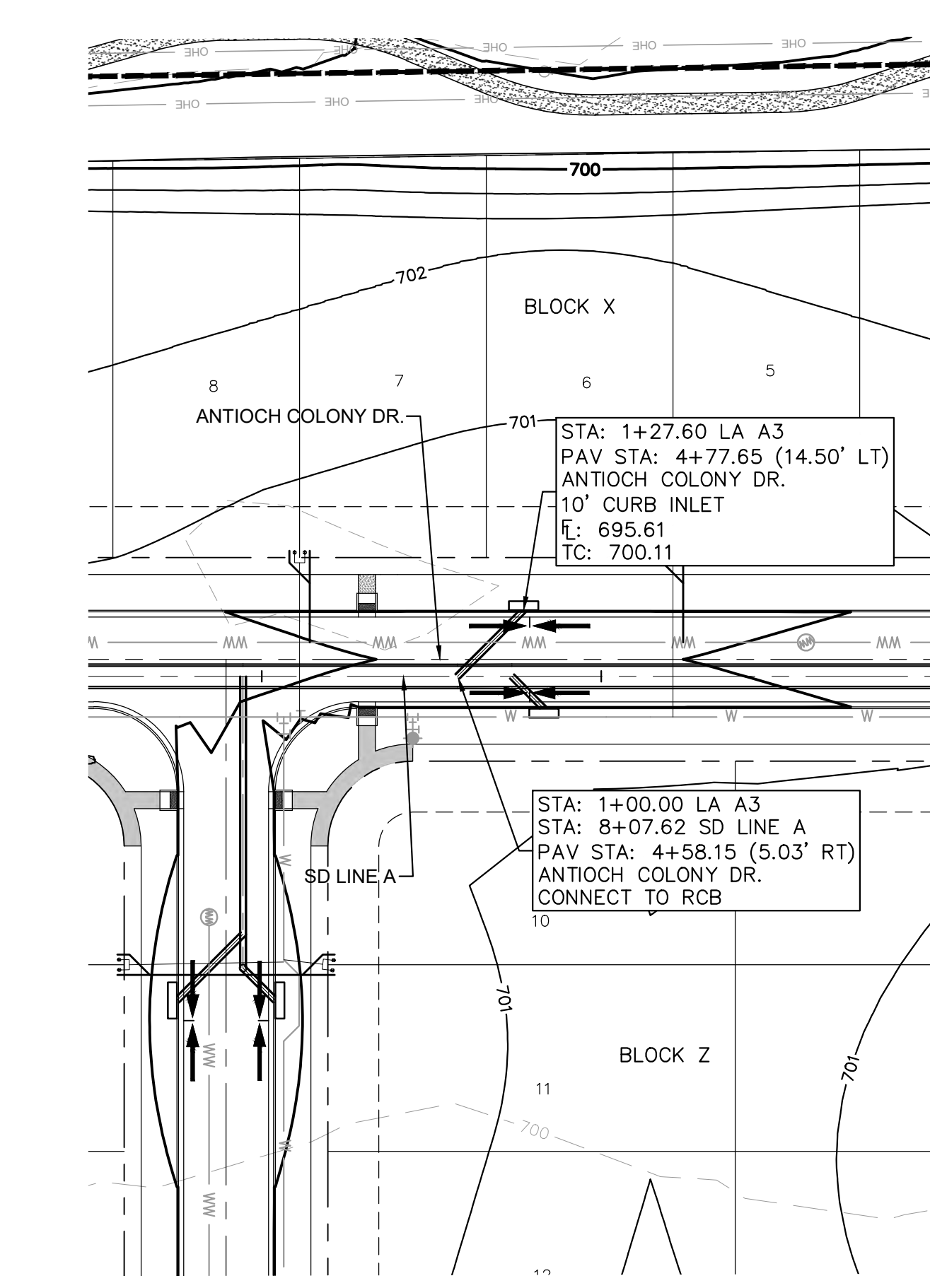
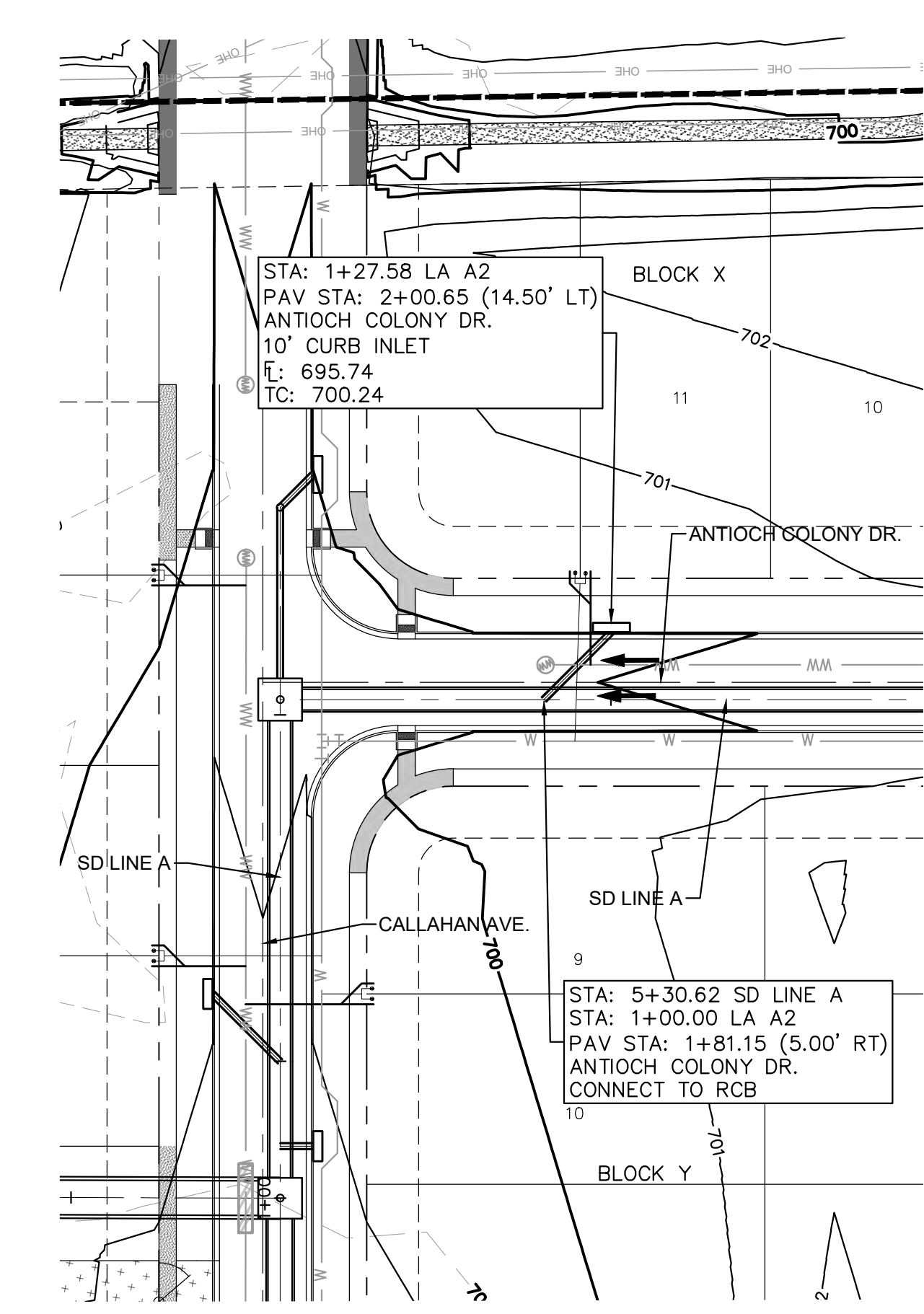
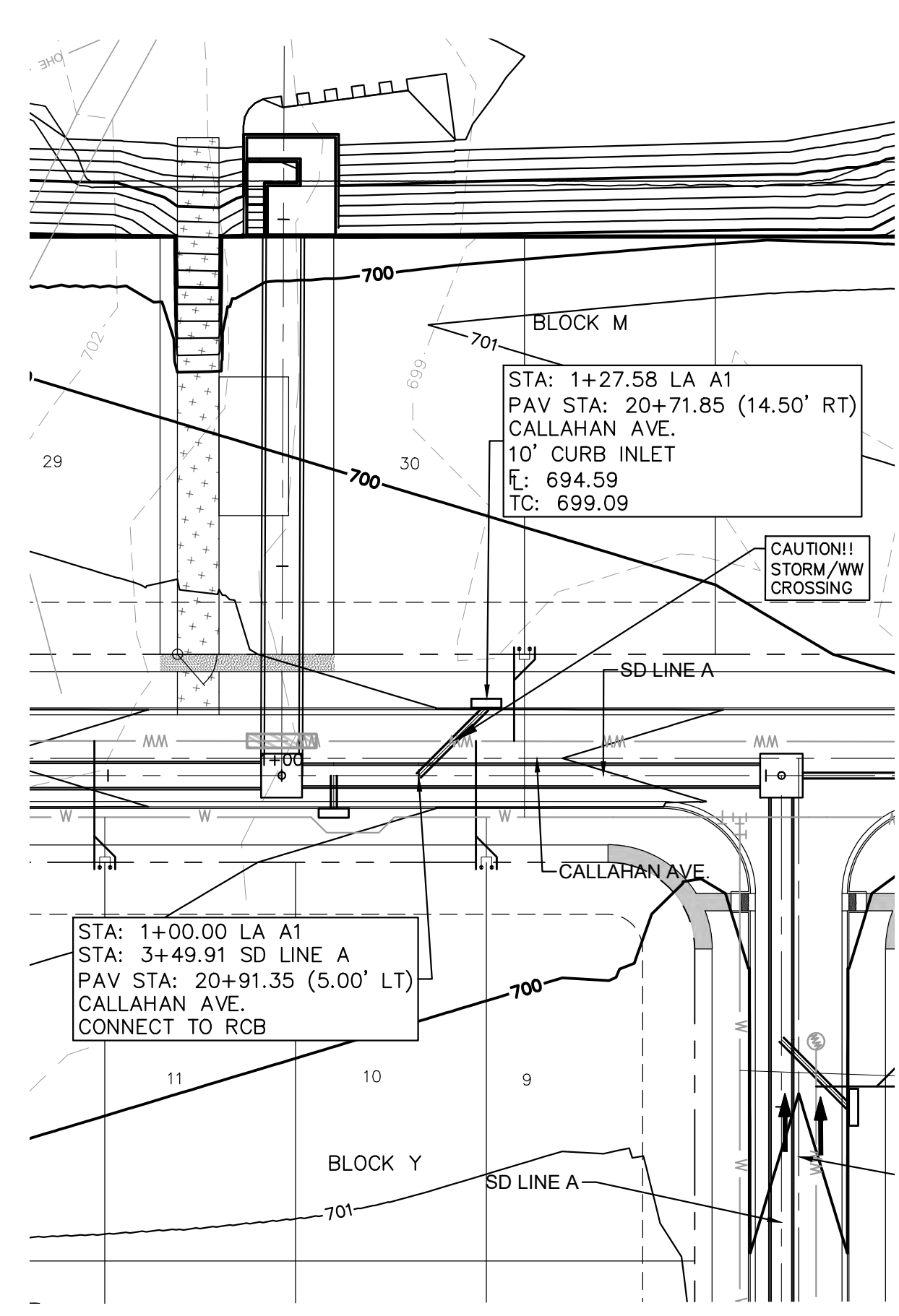
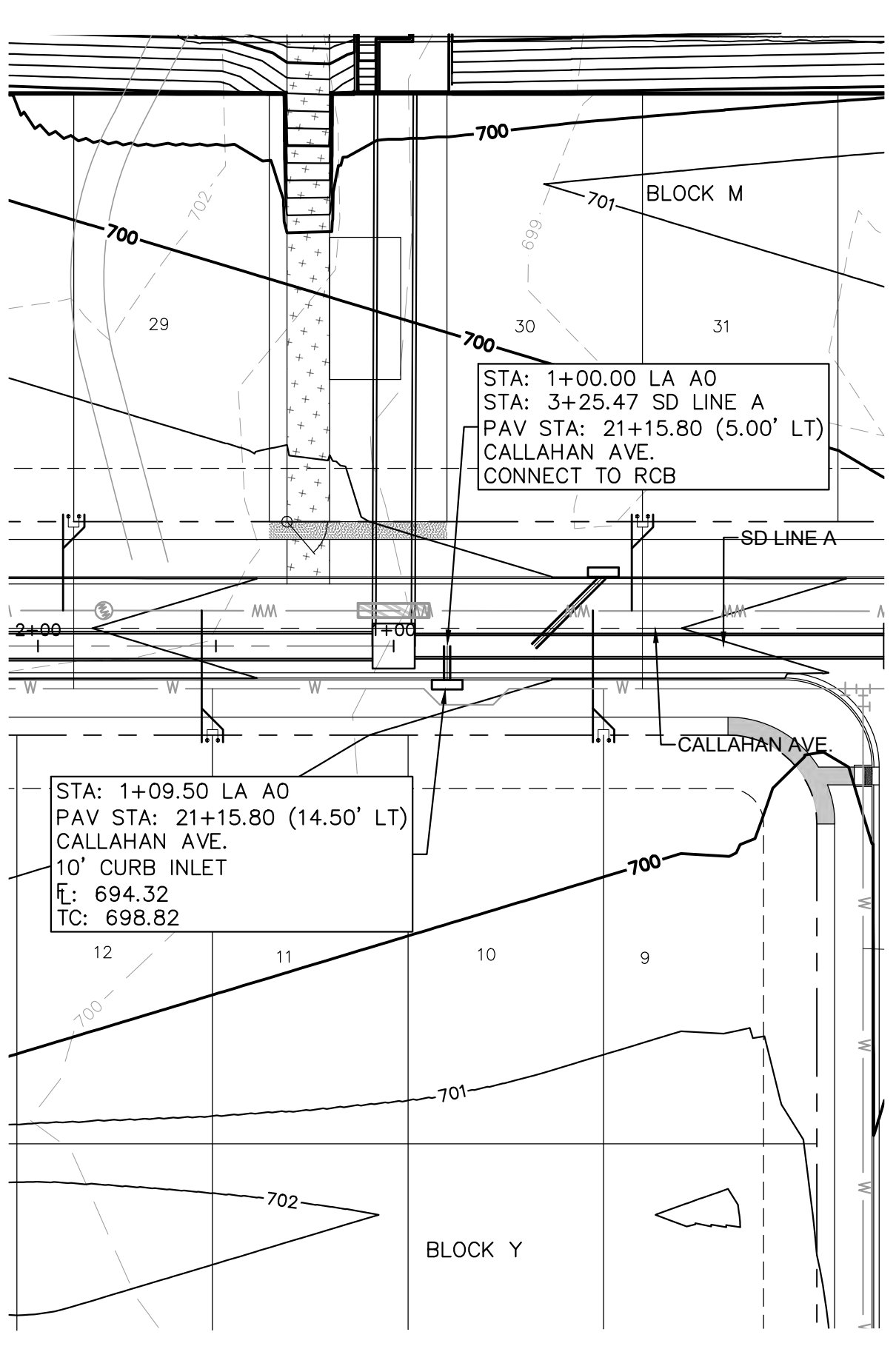
**STORM DRAIN PLAN & PROFILE - SD LINE JJ**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER  
**127**  
OF 226

NO.	REVISIONS	DATE	BY

Plotted by: Kirby Date: July 17, 2023 09:57:50am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\cad\PlanSheets\C-Storm Laterals A.dwg  
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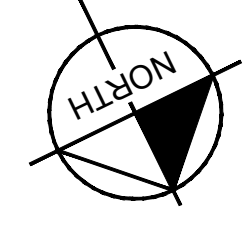
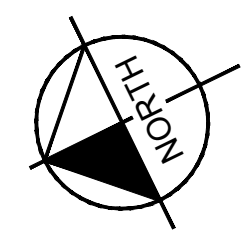
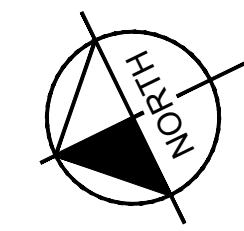
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**UTILITY LEGEND**

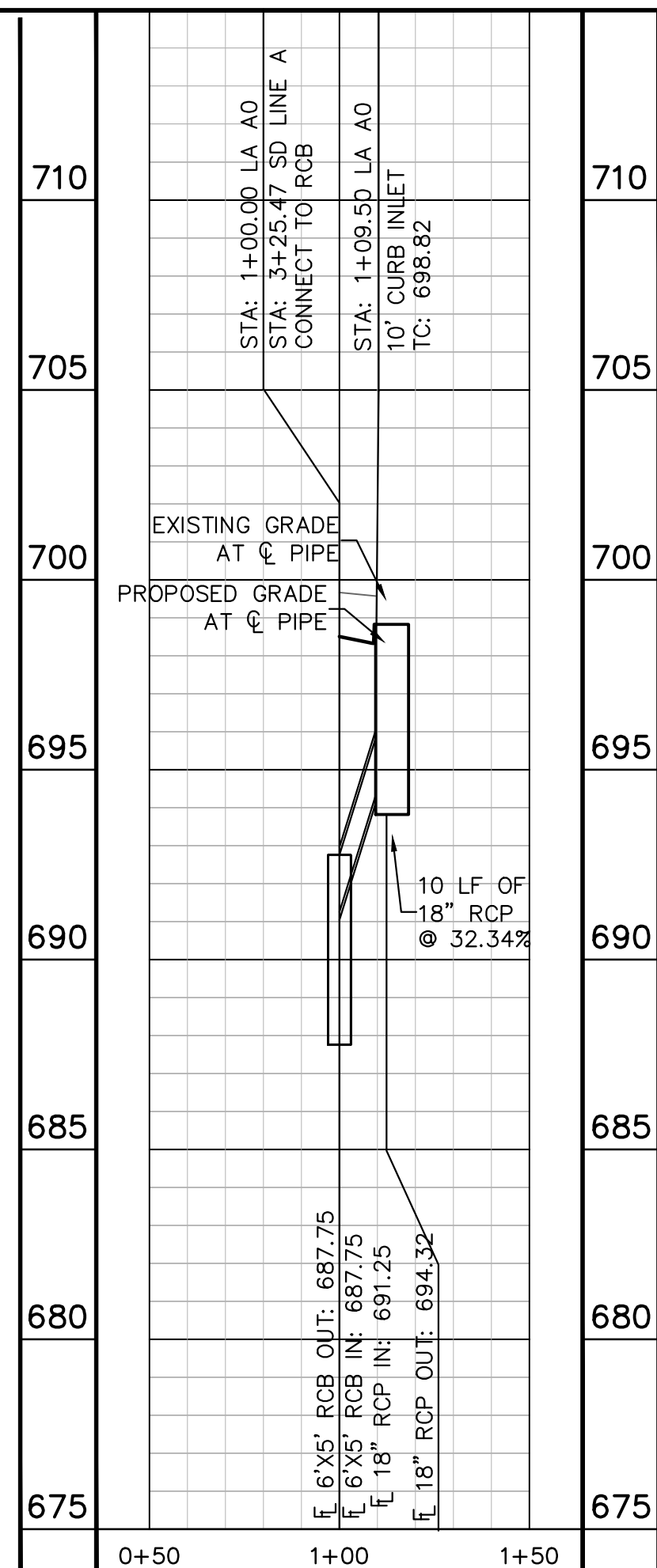
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- - - PHASE LINE
- [ ] PROPOSED STORM STRUCTURE
- [ ] PROPOSED STORM SEWER LINE
- ⊕ PROPOSED WASTE WATER MANHOLE
- PROPOSED WASTE WATER LINE
- FM PROPOSED WASTE WATER FORCE MAIN
- ⊕ PROPOSED FIRE HYDRANT
- W PROPOSED WATER LINE

**NOTES:**

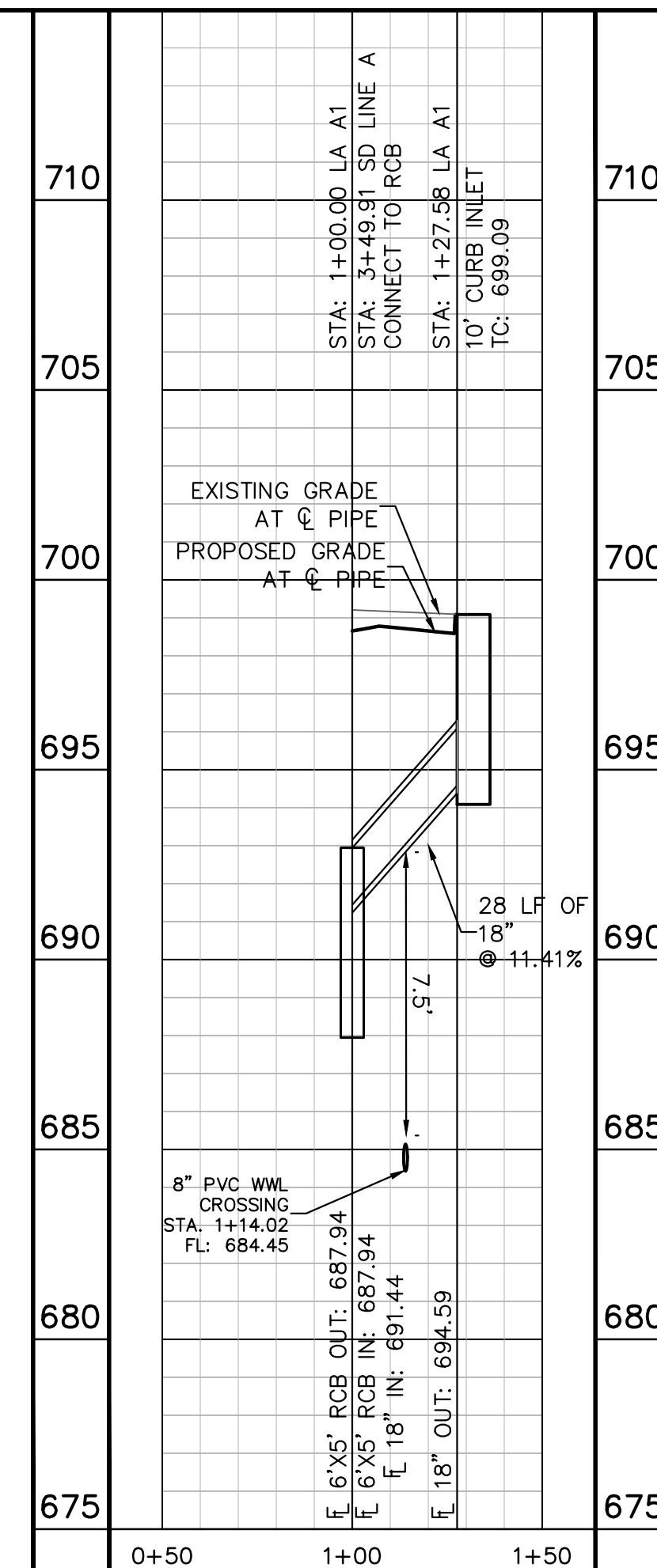
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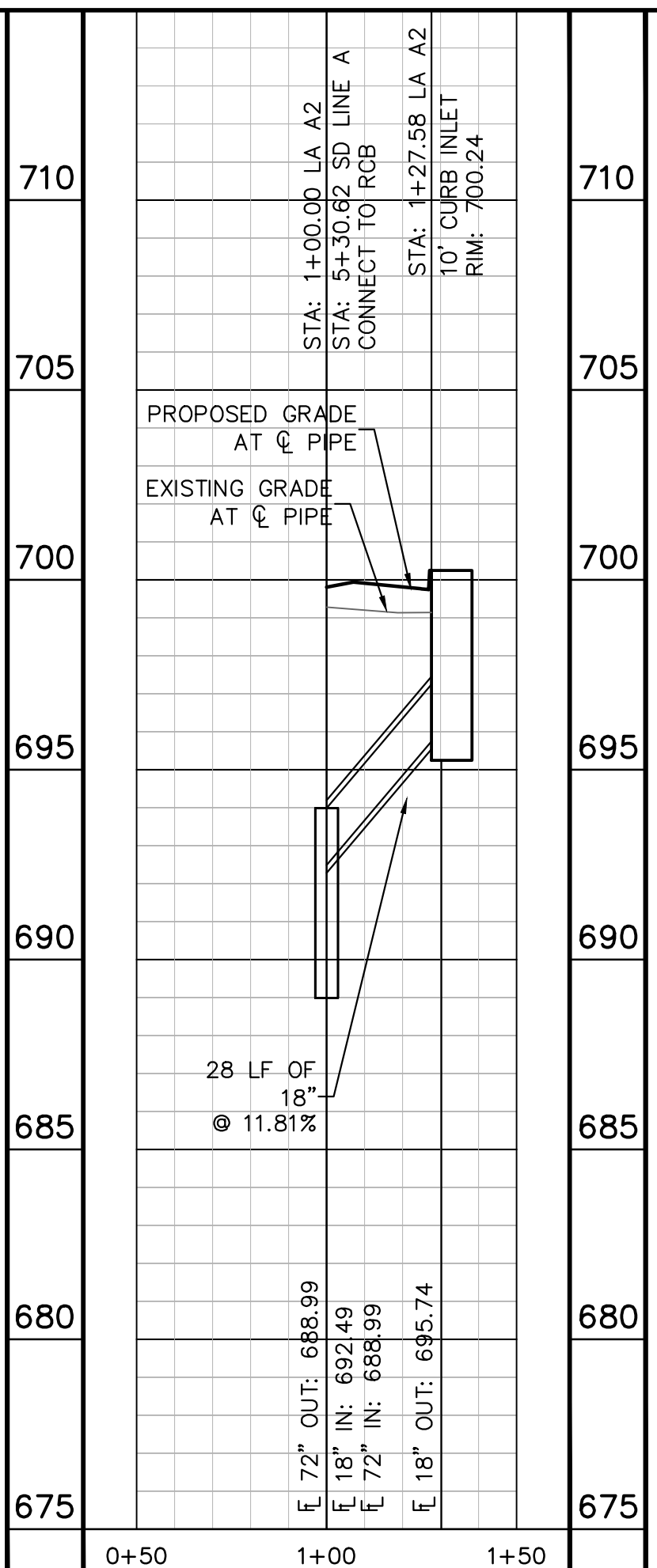
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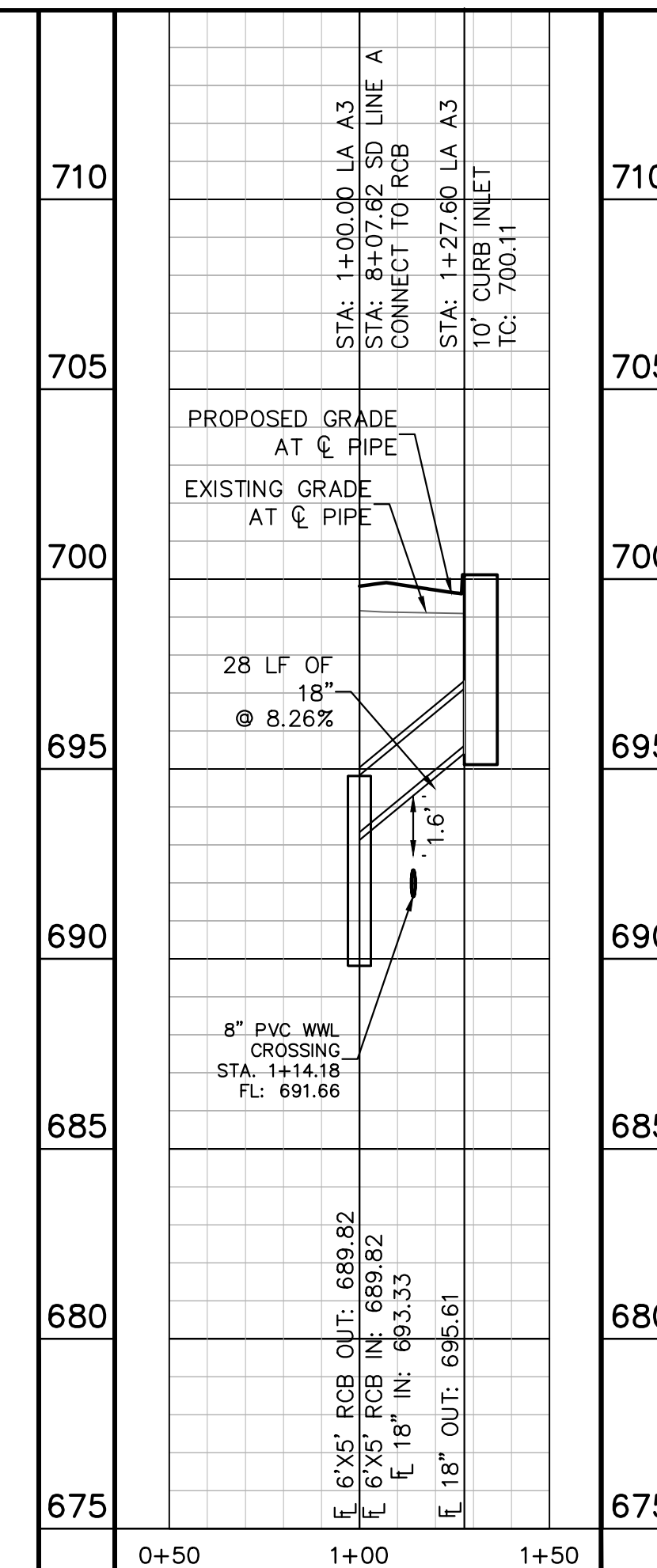
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715 LA A2 715



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**811**  
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**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=718.07 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRICAL LINES ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.50 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
FILE NUMBER APPLICATION DATE  
APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A  
Rev. 1 \_\_\_\_\_ Correction 1  
Rev. 2 \_\_\_\_\_ Correction 2  
Rev. 3 \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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TBE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
LICENSED PROFESSIONAL ENGINEER  
No. 135088

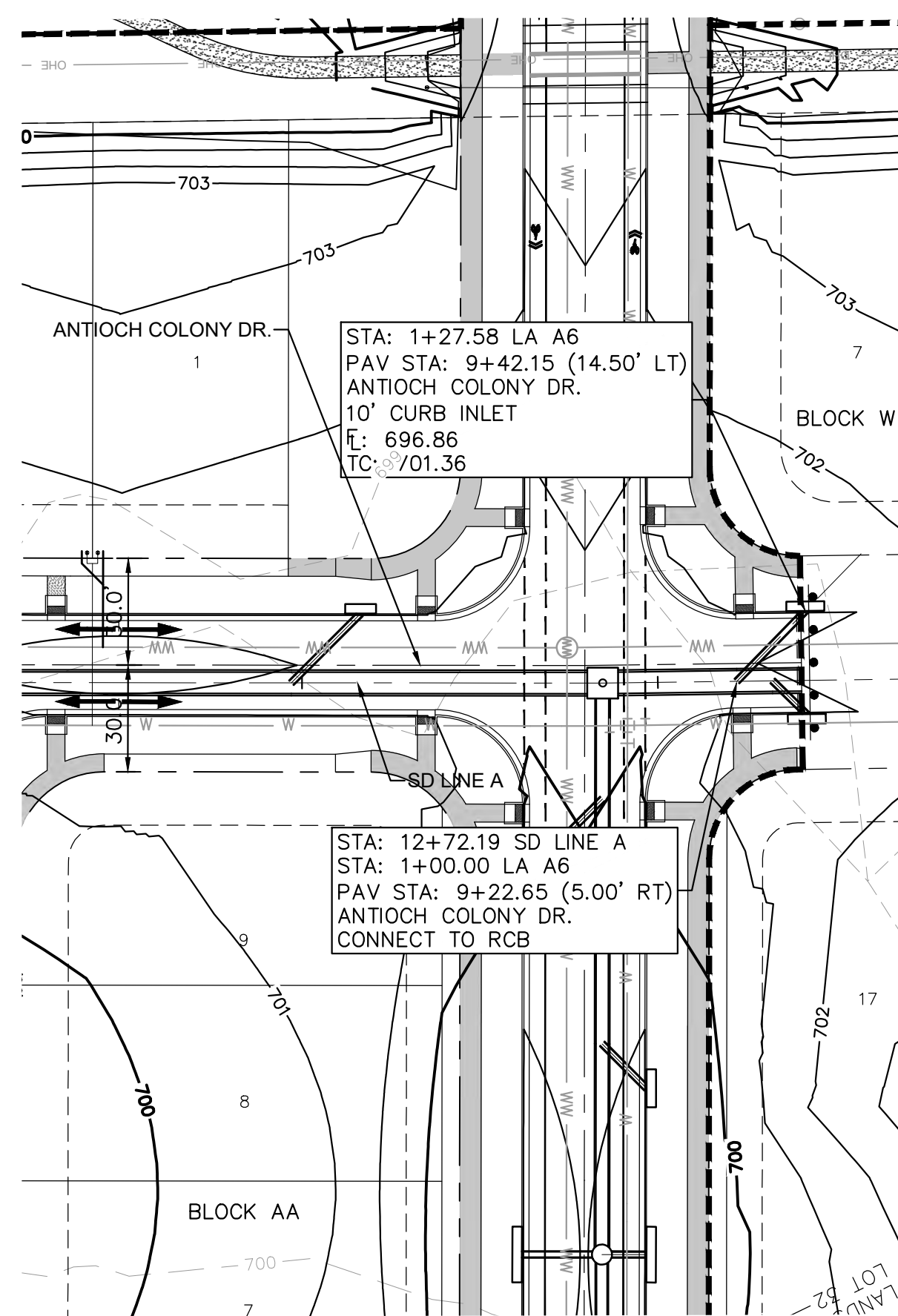
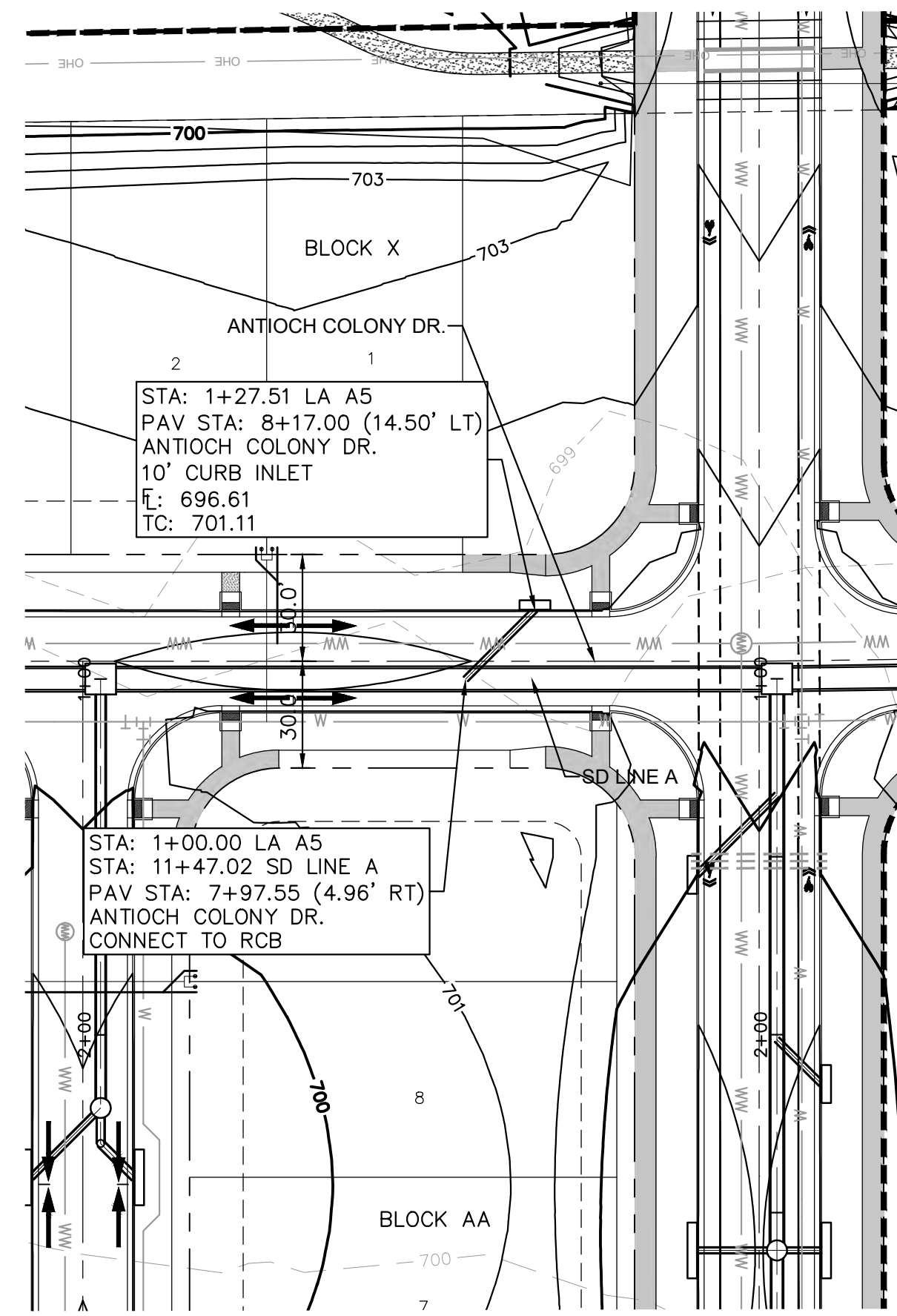
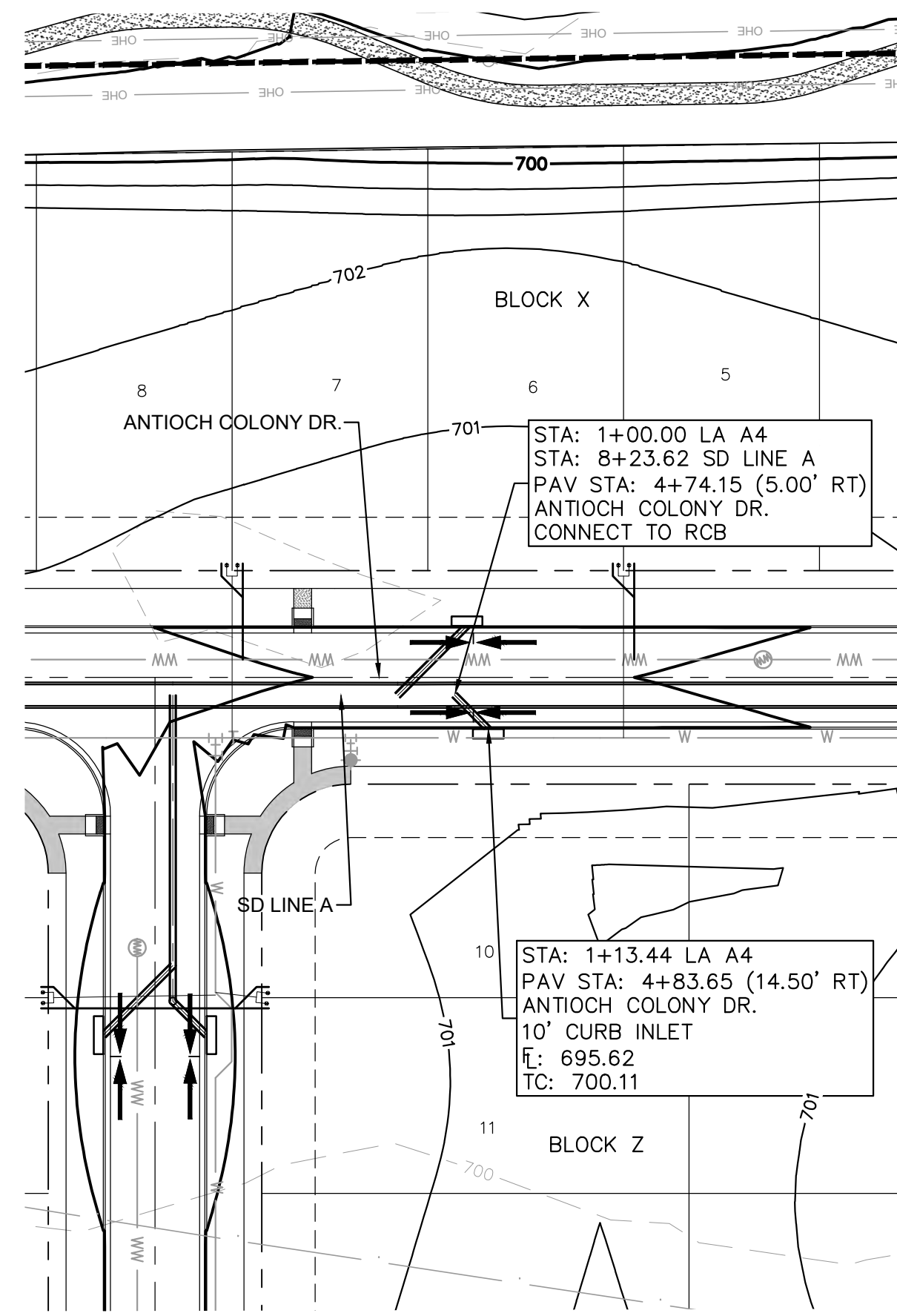
KHA PROJECT 067783115  
DATE JULY 2023  
SCALE AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEG

STORM LATERAL PLAN & PROFILE - A0 A1 A2 & A3

THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER 128 OF 226

Plotted by: Kirby, Kirby Date: July 17, 2023 09:58:54am File Path: K:\SAU\_Civil\067783115\_Meritage Buda Assemblage\cad\PlanSheets\C-Storm Laterals A.dwg  
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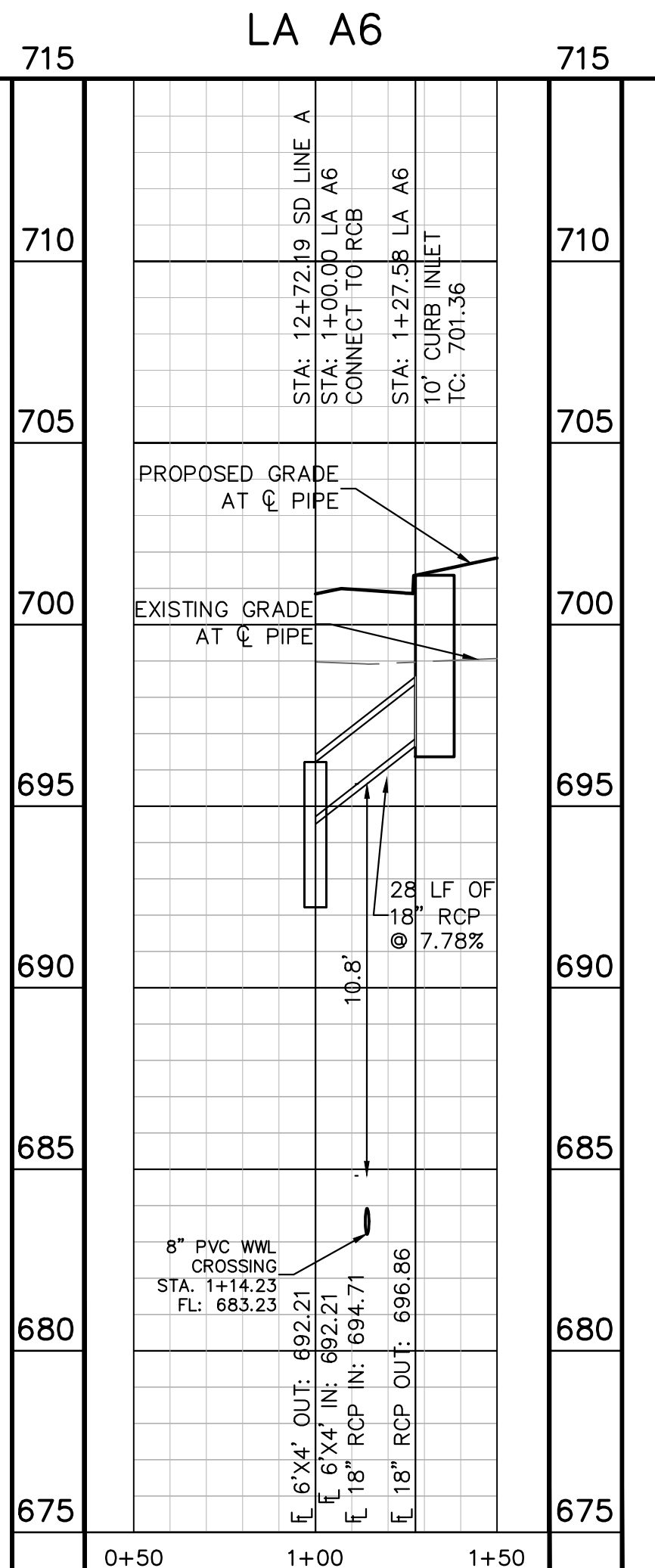
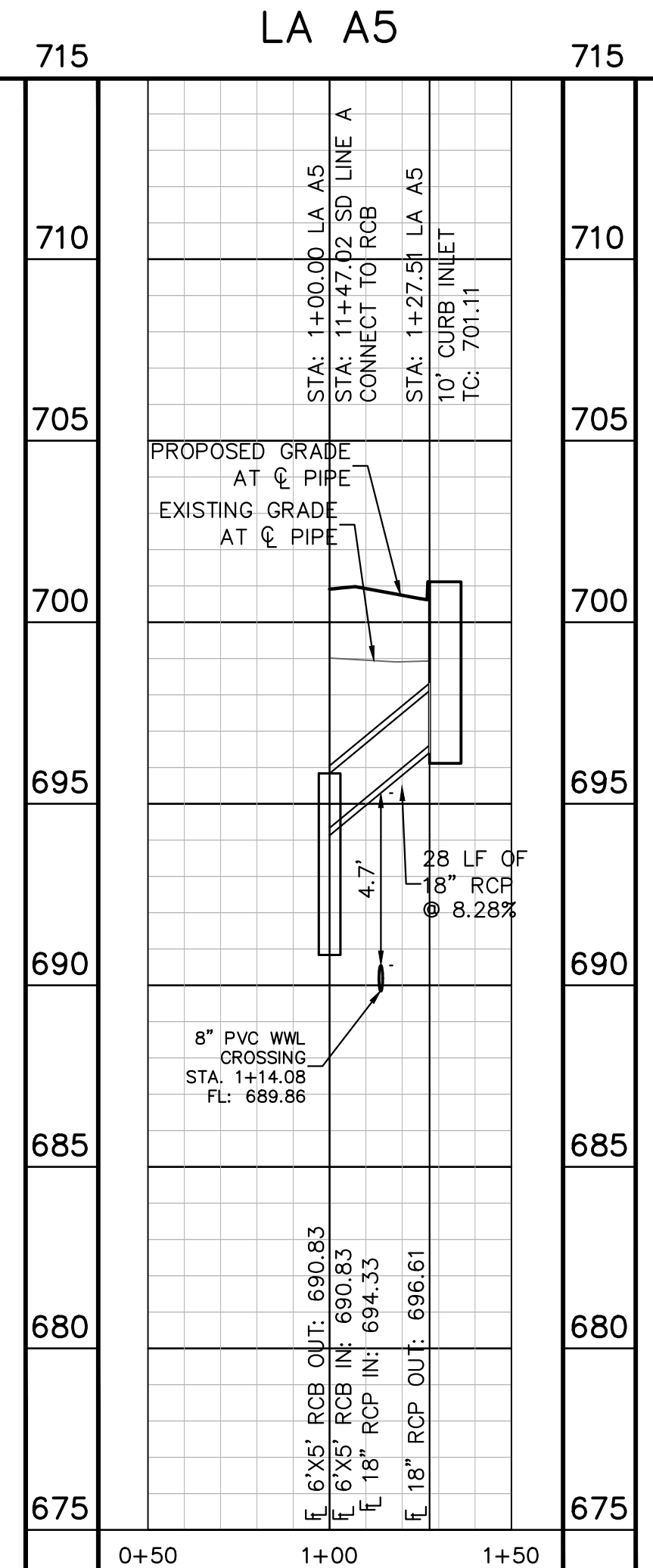
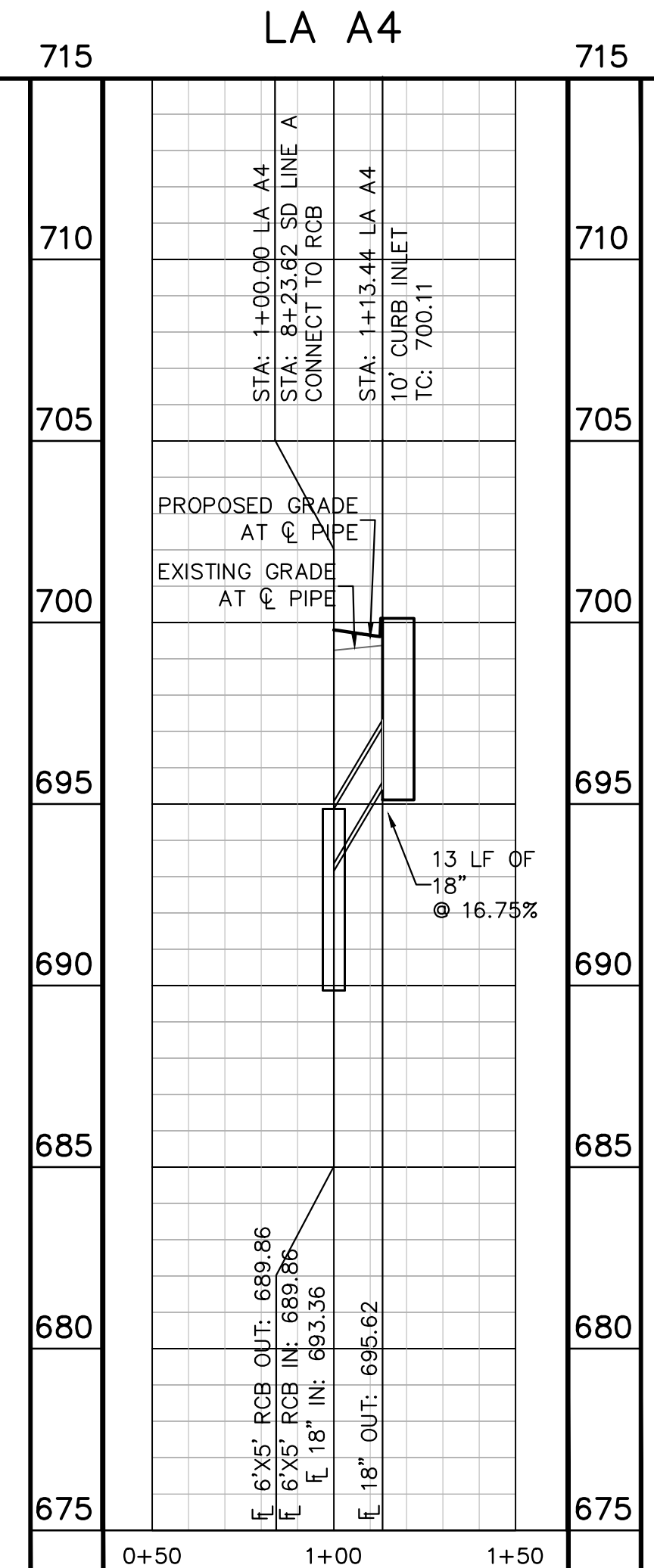
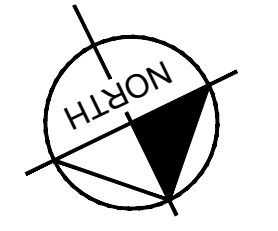
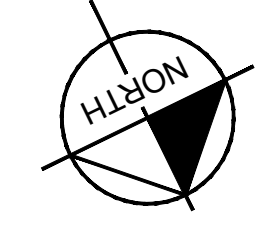


GRAPHIC SCALE IN FEET  
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**UTILITY LEGEND**

- PROPERTY LINE
- PHASE LINE
- PROPOSED STORM STRUCTURE
- PROPOSED STORM SEWER LINE
- PROPOSED WASTE WATER MANHOLE
- PROPOSED WASTE WATER LINE
- PROPOSED WASTE WATER FORCE MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LINE

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 1" = 4' VERTICAL

**BENCHMARKS**

BM #100 - 1/2" NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=701.87 (NAVD '88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD '88)

BM #106 - 1/2" NAIL SET IN ASPHALT ON THE SOUTHWEST SIDE OF COLONIA COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=702.56 (NAVD '88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: ZONING N/A

Rev. 1 Correction 1  
 Rev. 2 Correction 2  
 Rev. 3 Correction 3

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PERMIT NUMBER: 2021-737

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 TBPE Firm No. 928

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
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 CHECKED BY: AEC

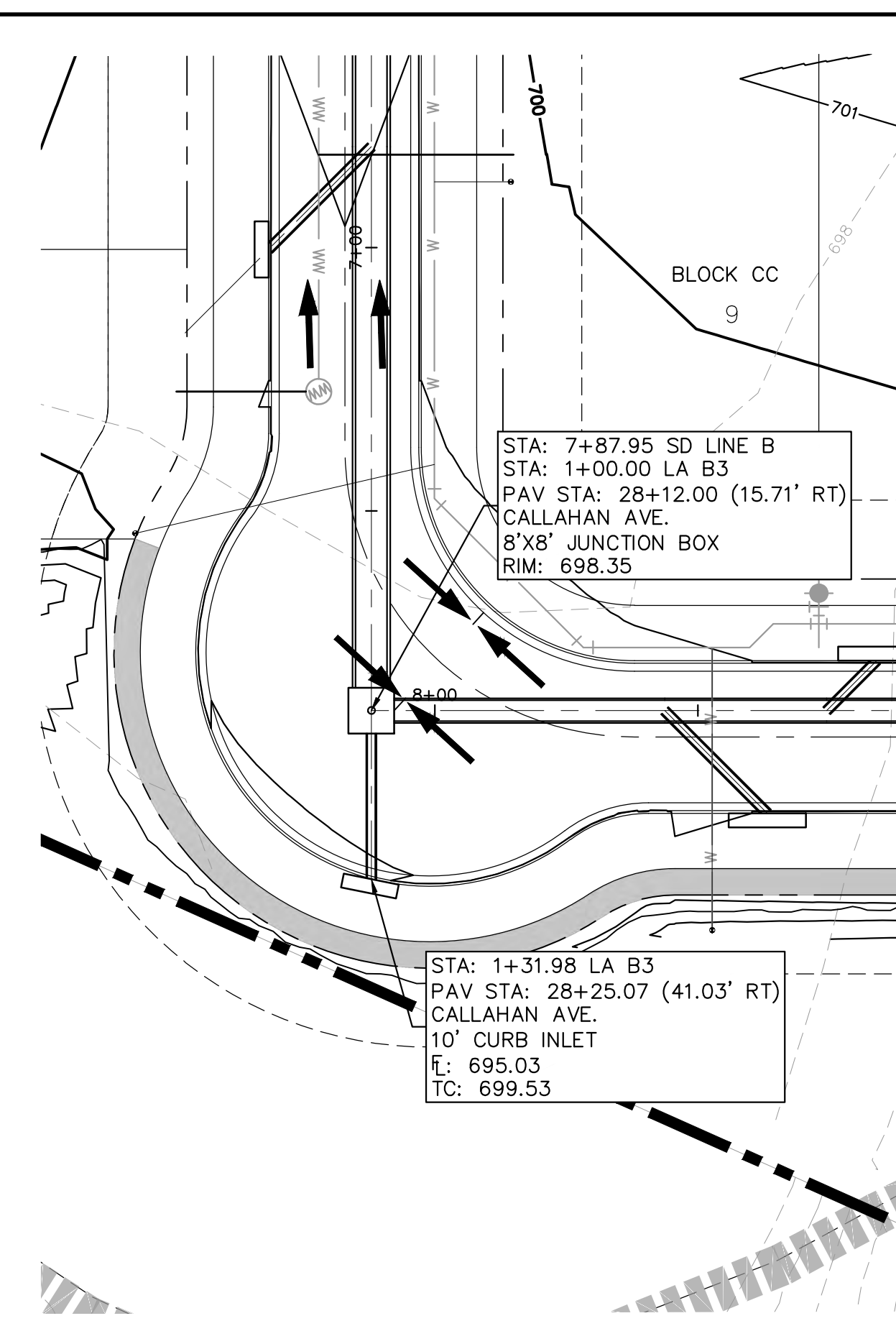
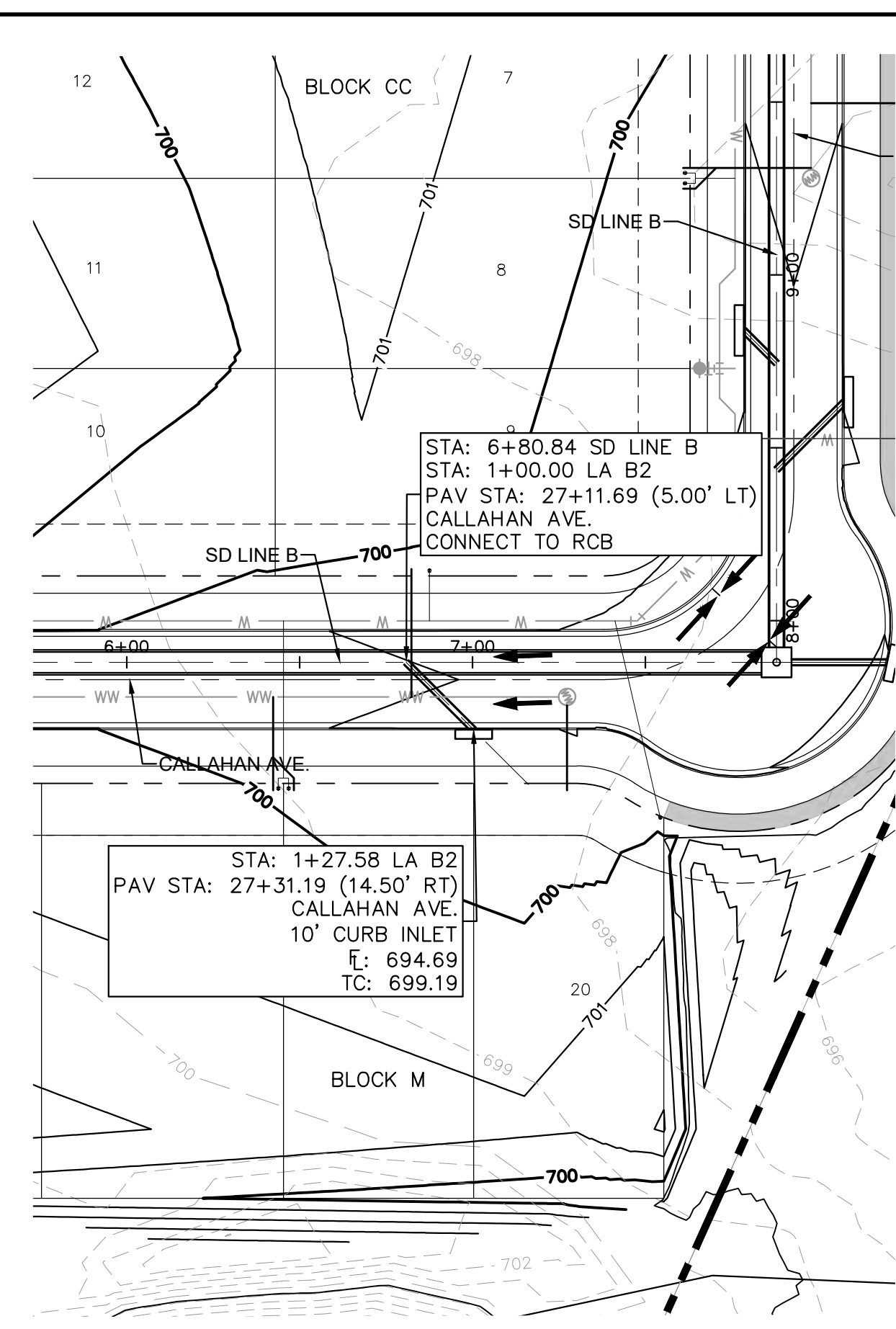
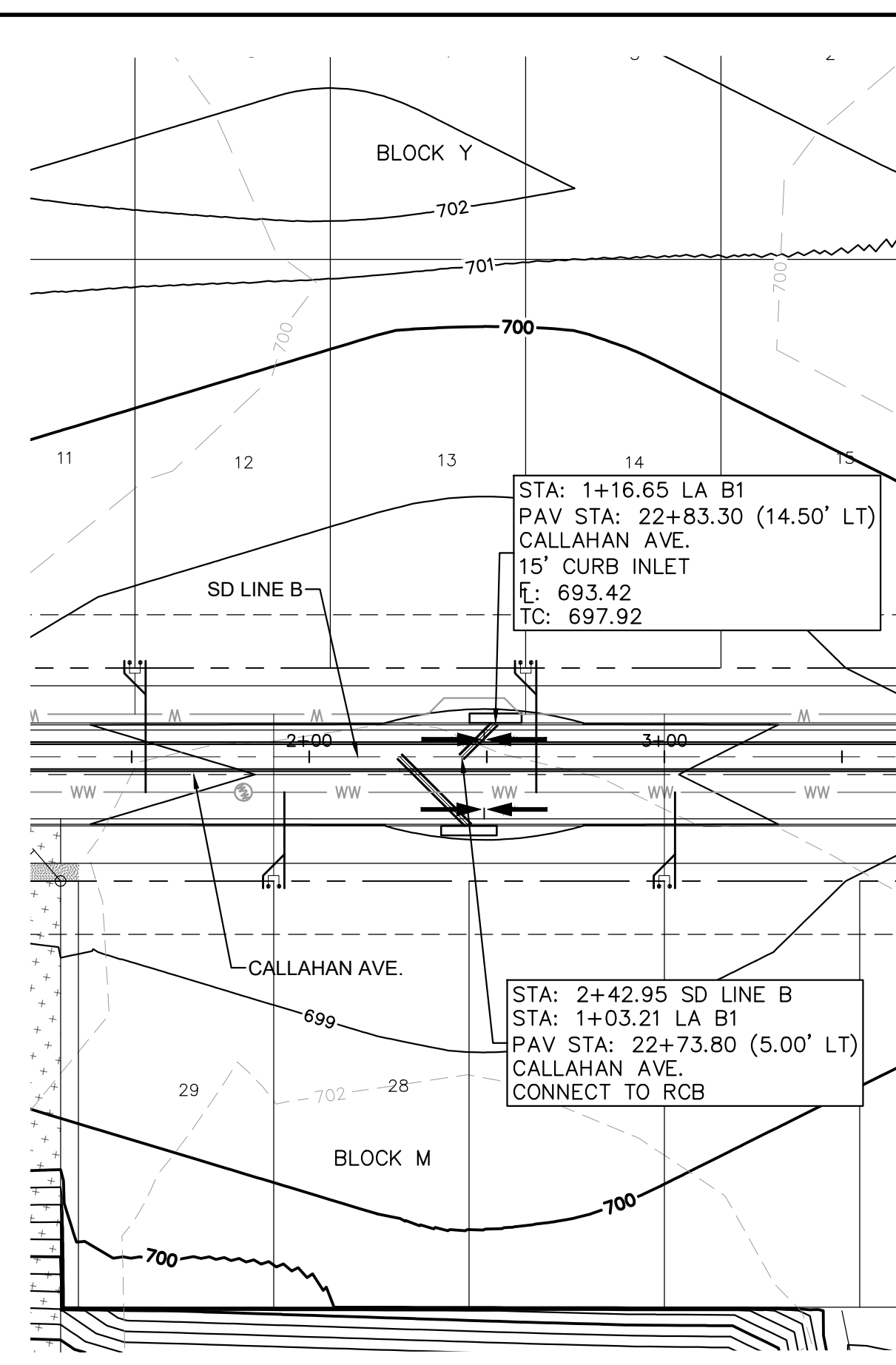
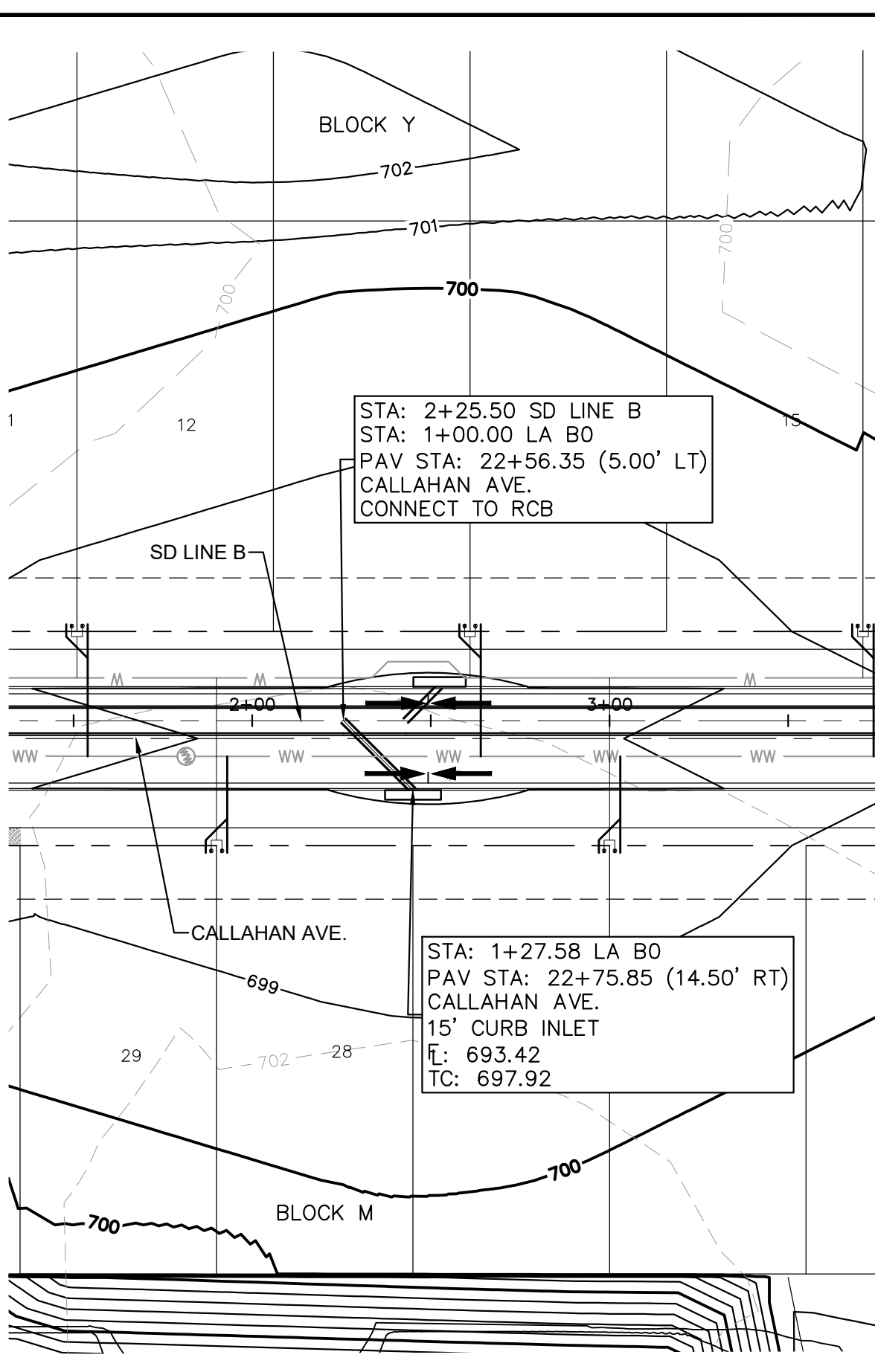
**STORM LATERAL PLAN & PROFILE - A4 A5 & A6**

**THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS**

SHEET NUMBER **129** OF 226



Plotted by: Kirby Date: July 17, 2023 10:15:33am File Path: K:\SAU\_Civil\067783115 Meritage Budo Assemblage\Cad\PlanSheets\Storm Laterals Bldg  
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**GRAPHIC SCALE IN FEET**  
 0 20 40 80

**UTILITY LEGEND**

- PROPERTY LINE
- - - PHASE LINE
- ▭ PROPOSED STORM STRUCTURE
- PROPOSED STORM SEWER LINE
- ⊙ PROPOSED WASTE WATER MANHOLE
- PROPOSED WASTE WATER LINE
- FM — PROPOSED WASTE WATER FORCE MAIN
- ⊕ PROPOSED FIRE HYDRANT
- PROPOSED WATER LINE

- NOTES:**
- ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.
  - FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.

NO.	REVISIONS	DATE	BY

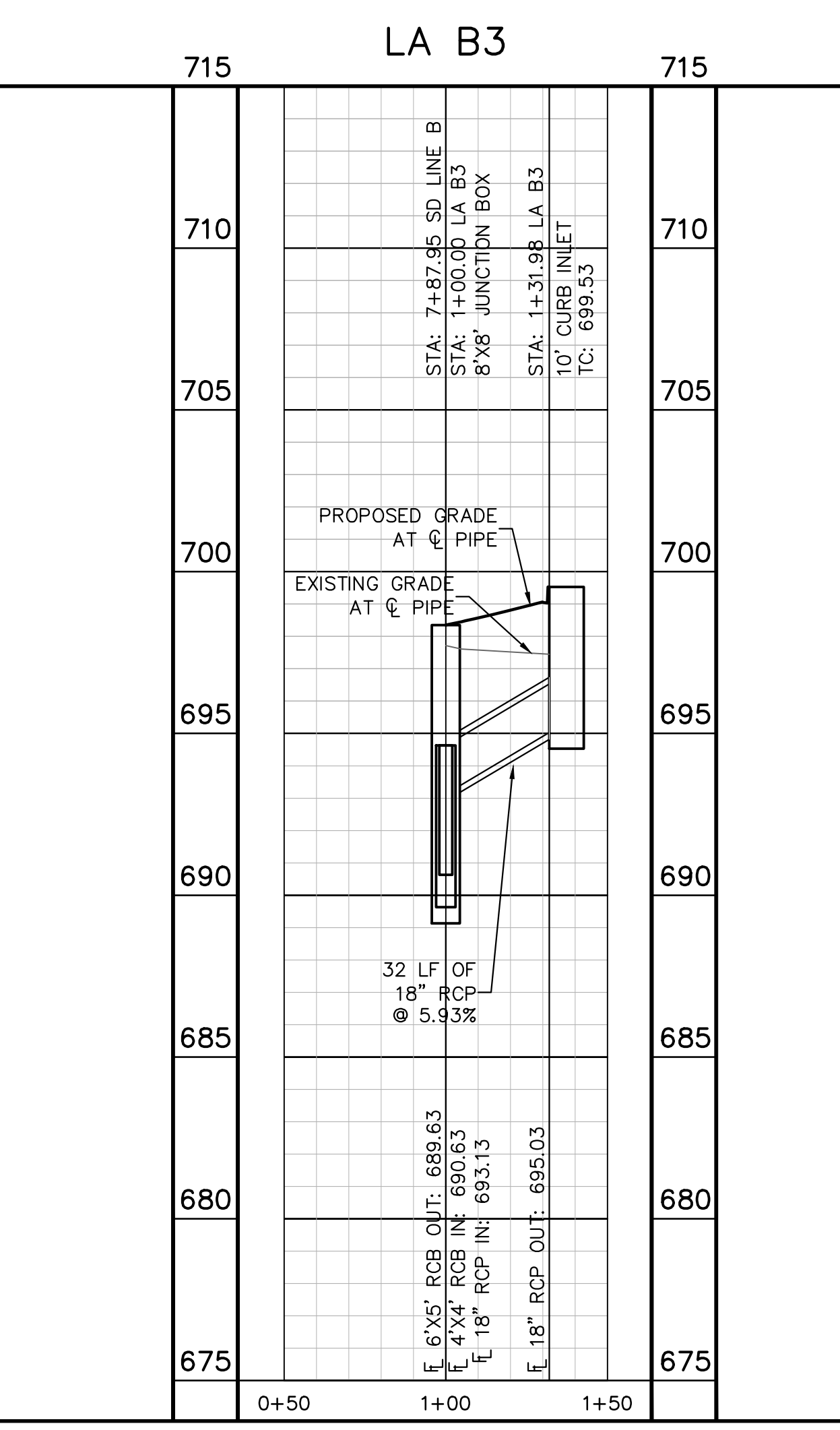
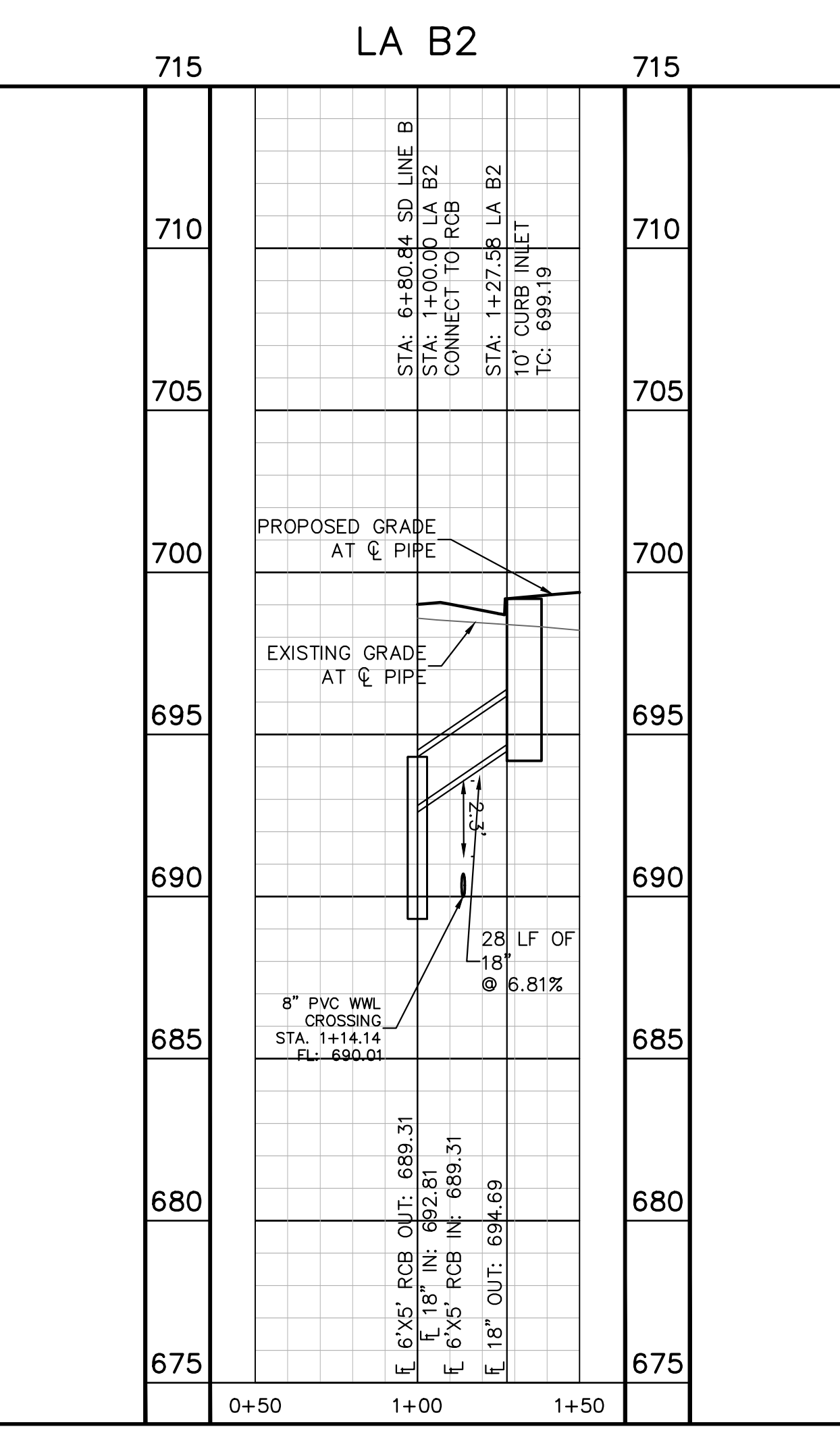
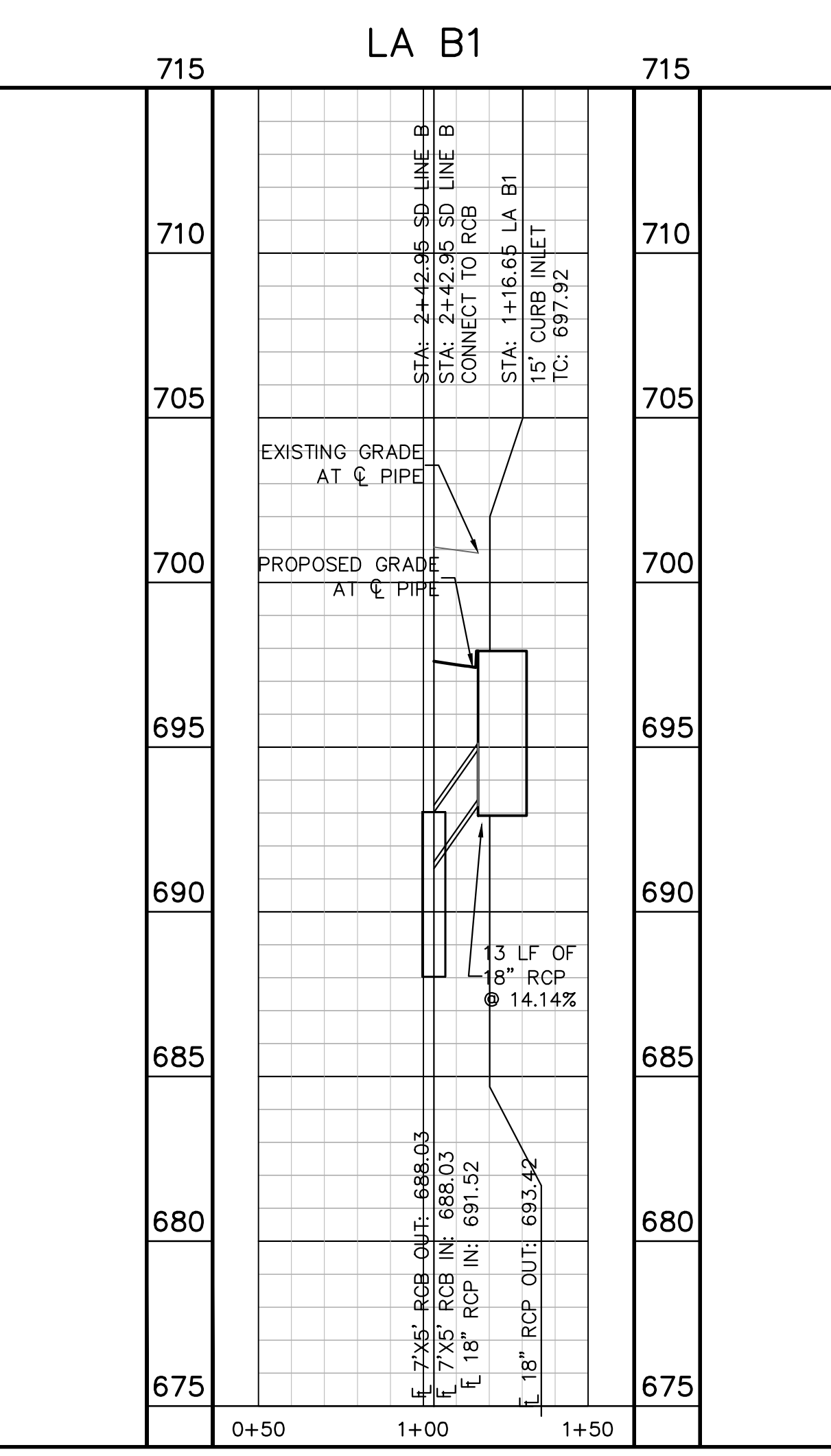
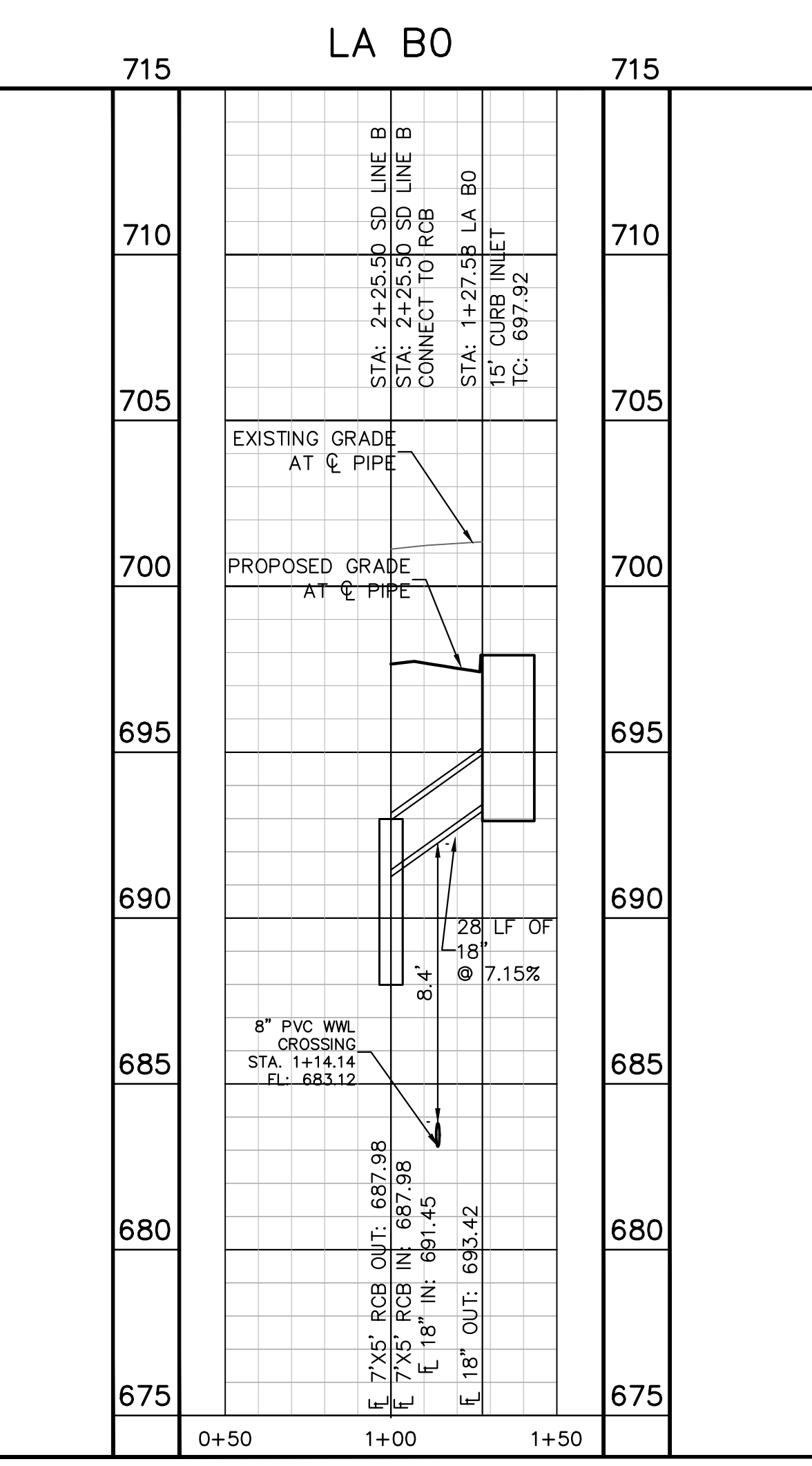
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 AUSTIN, TX 78745  
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 TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13088

*Aljank E. Granados Rico*

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC



**811**  
 Know what's below.  
 Call before you dig.

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897.794 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=702.87 (NAVD '88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD '88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD '88)

**CONSTRUCTION PLAN APPROVAL SHEET** OF 226

FILE NUMBER: APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE. EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

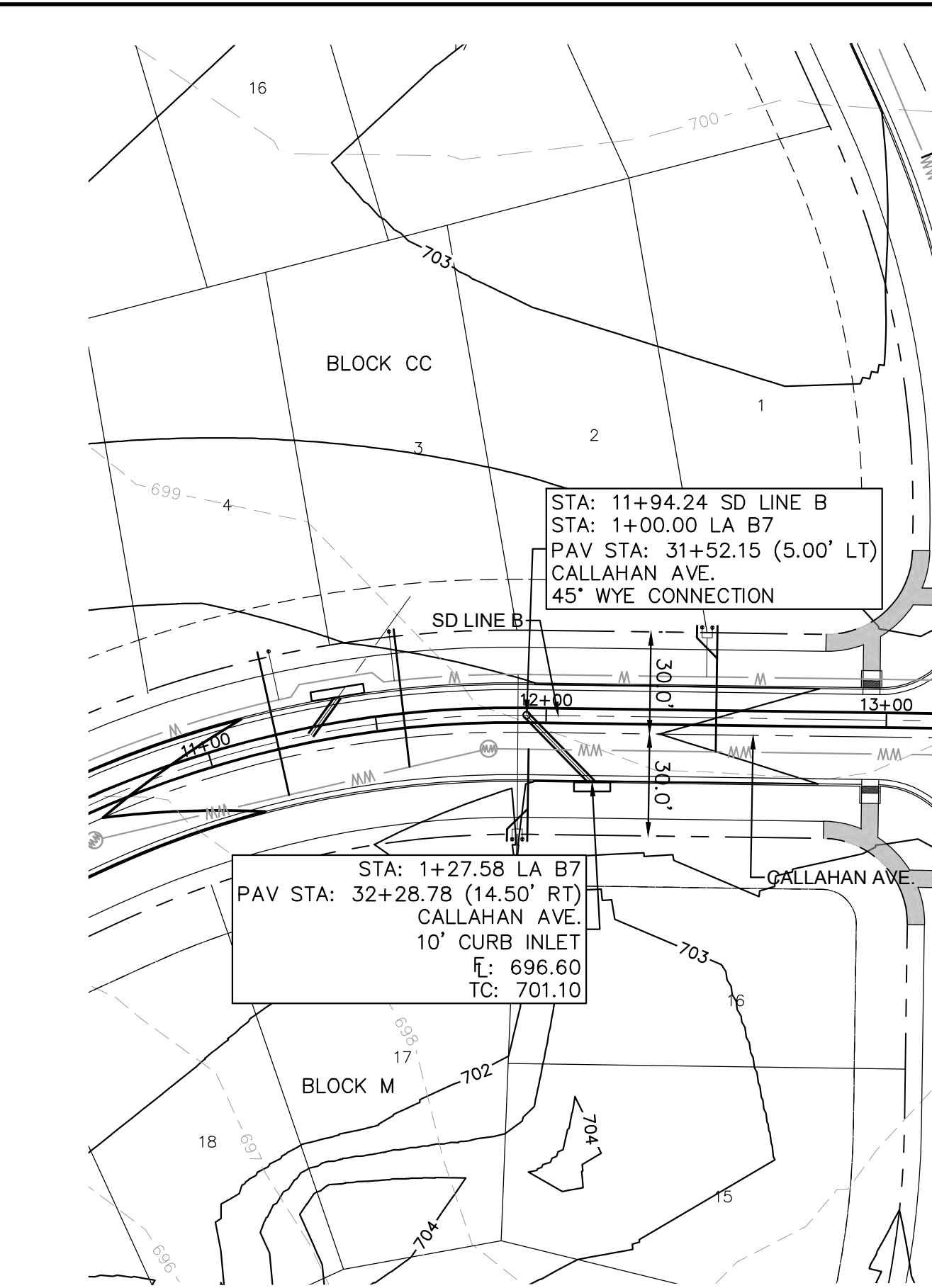
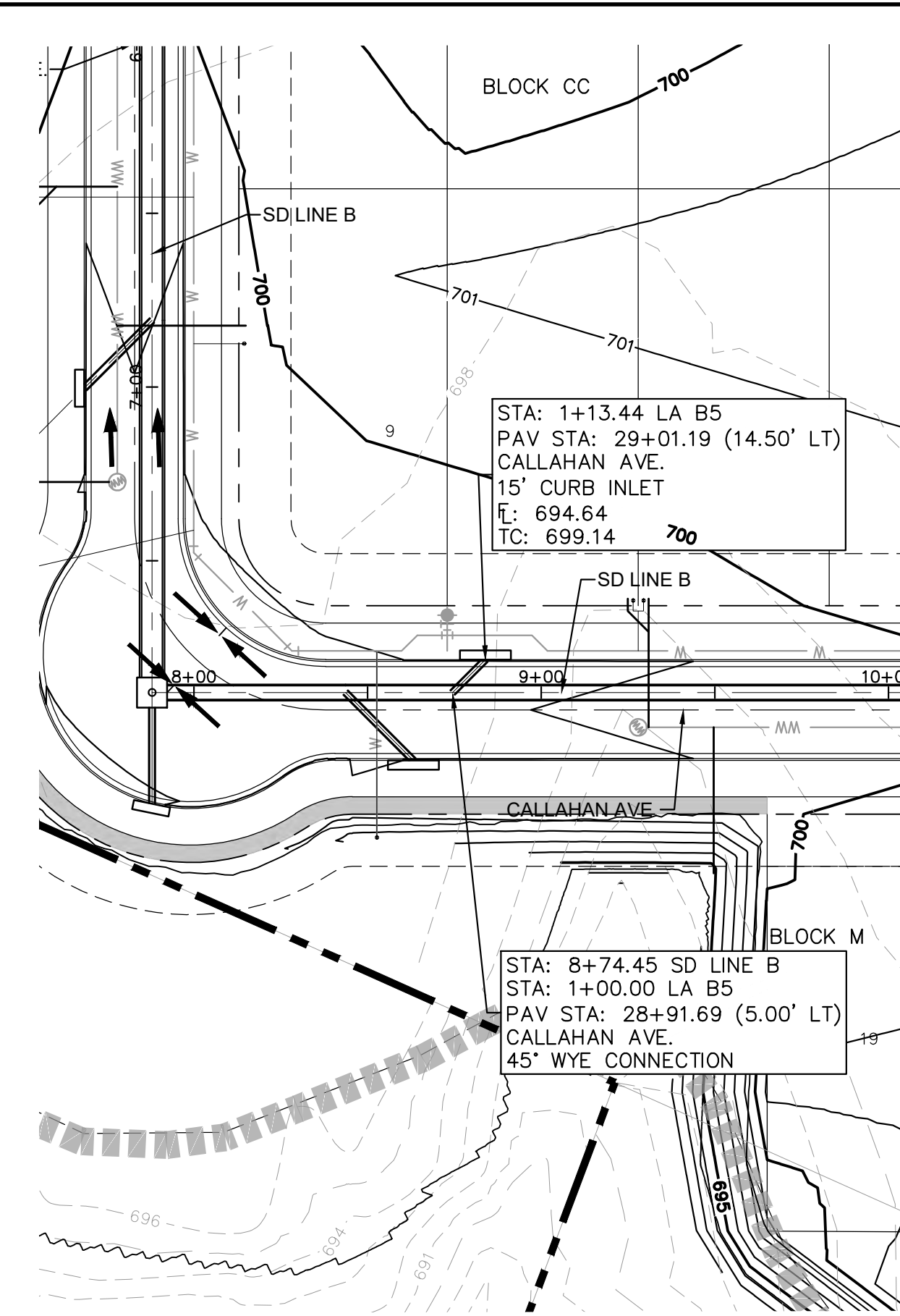
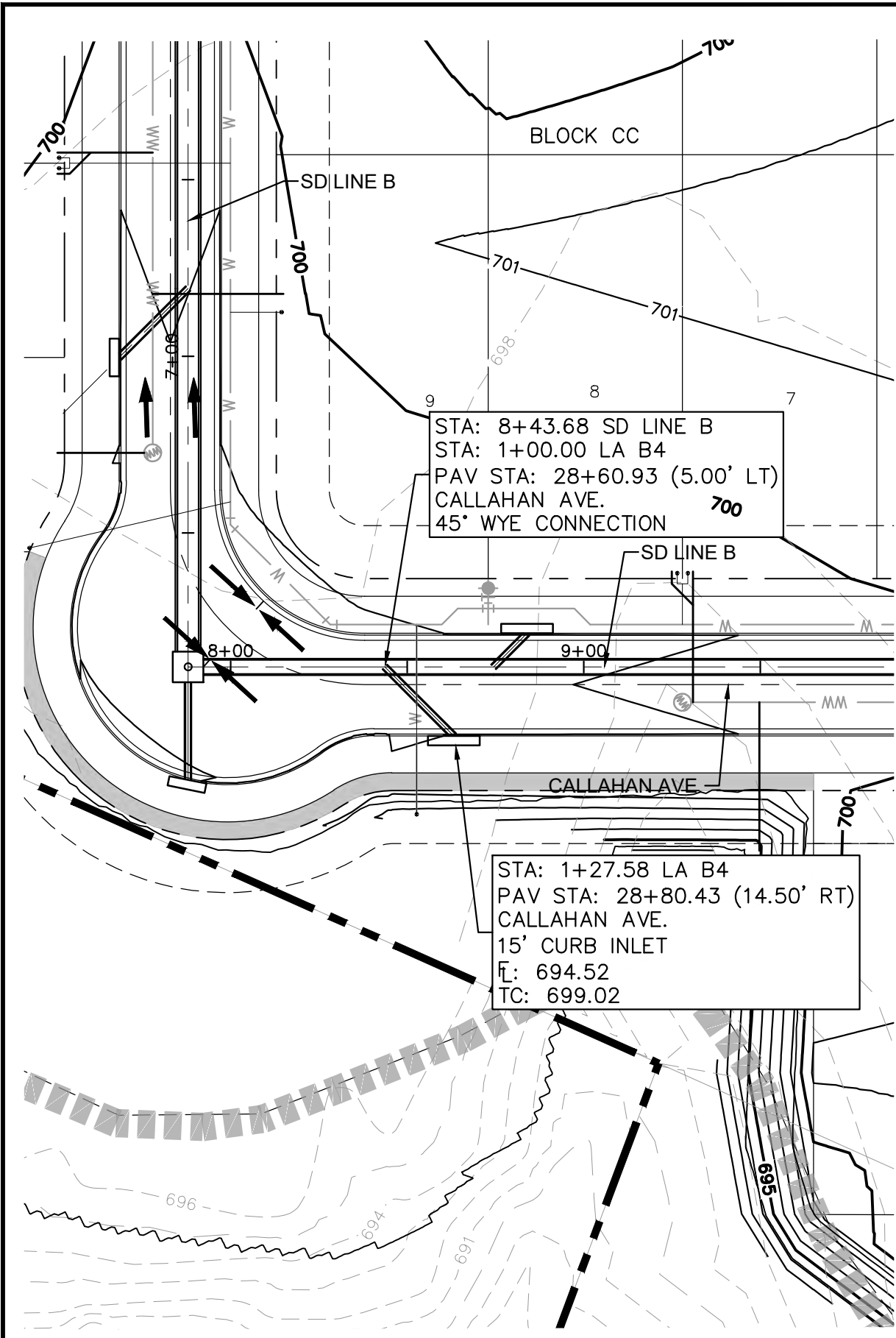
*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.*

PERMIT NUMBER: 2021-737

**STORM LATERAL PLAN & PROFILE - B0 B1 B2 & B3**

**THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS**

Plotted by: Kirby Date: July 17, 2023 10:17:33am File Path: K:\SAU\_Civil\067783115 Meritage Budo Assemblage\Cad\PlanSheets\C-Storm Laterals B.dwg  
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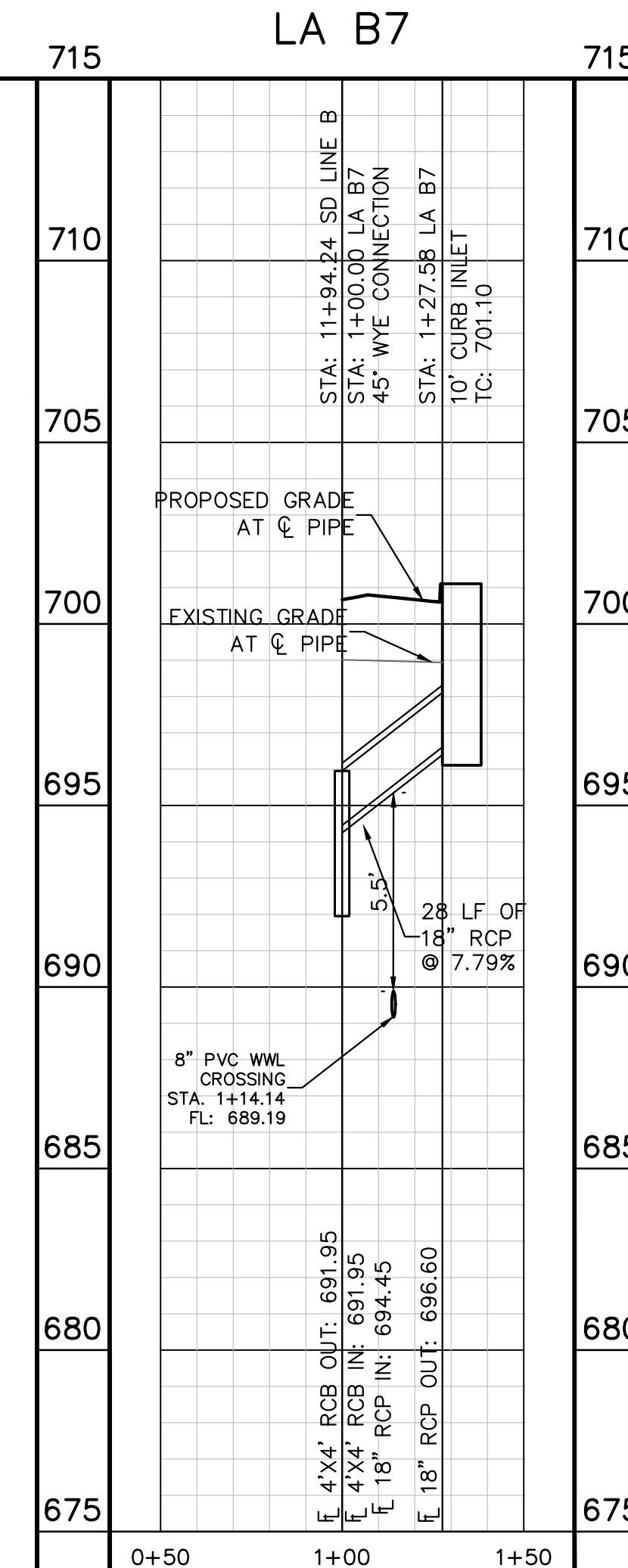
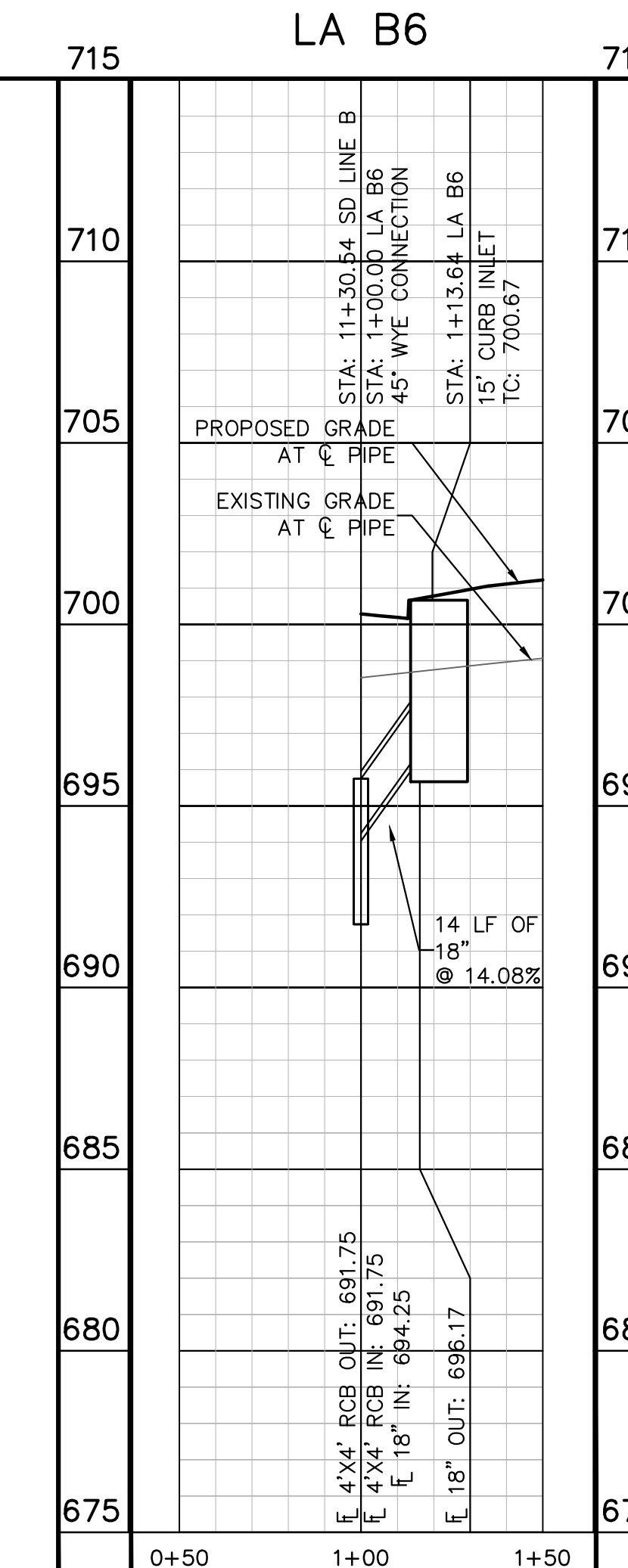
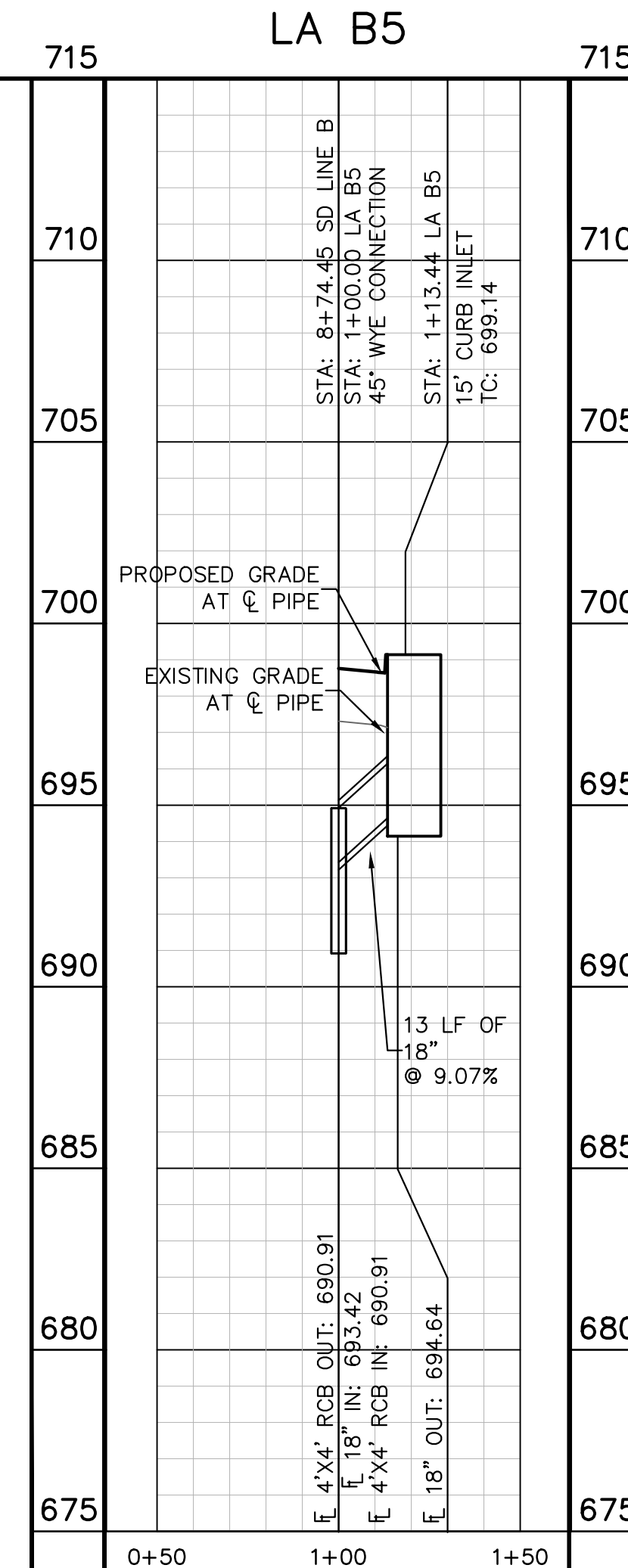
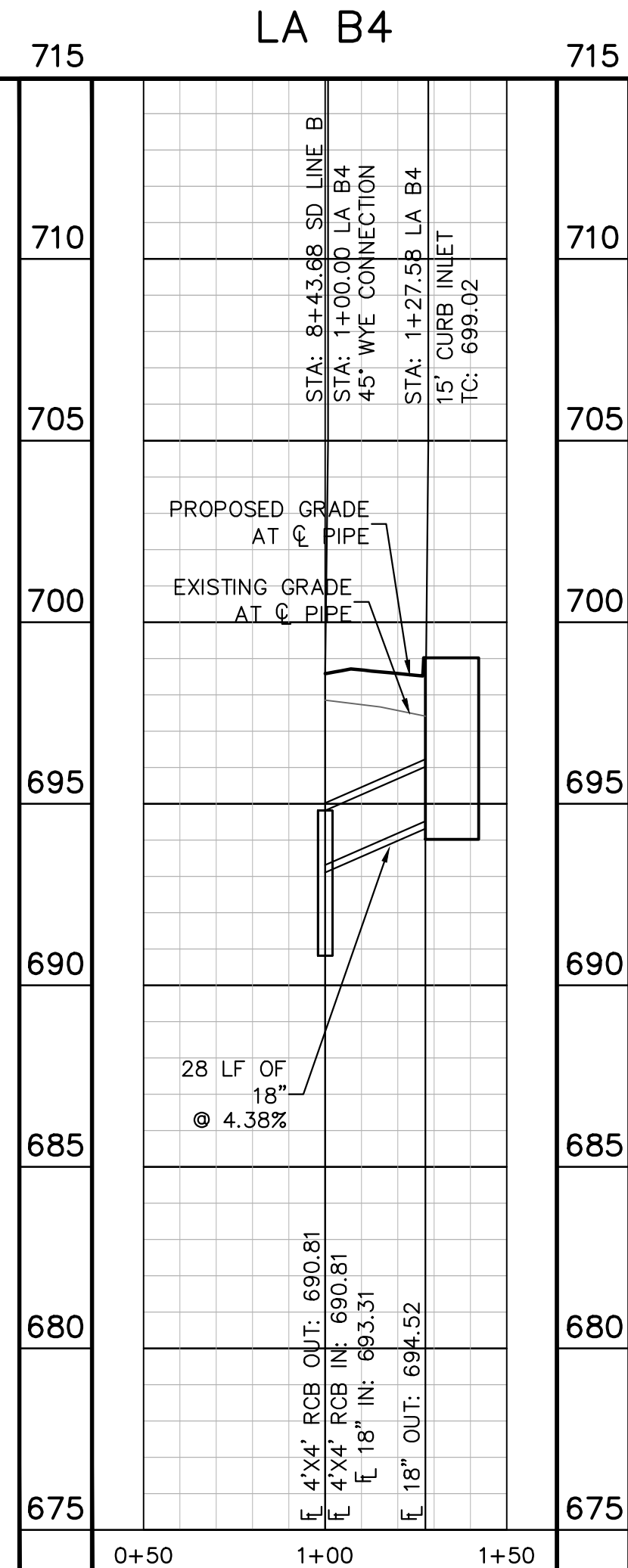
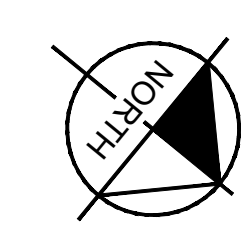
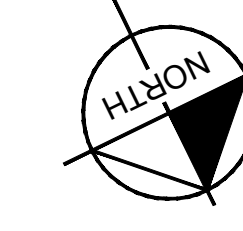
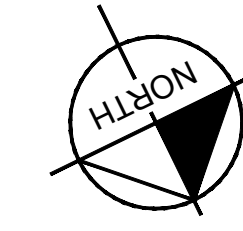
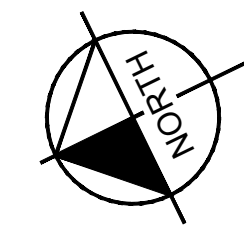


GRAPHIC SCALE IN FEET  
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**UTILITY LEGEND**

- PROPERTY LINE
- PHASE LINE
- PROPOSED STORM STRUCTURE
- PROPOSED STORM SEWER LINE
- PROPOSED WASTE WATER MANHOLE
- PROPOSED WASTE WATER LINE
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- NOTES:
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PROFILE SCALE  
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 1" = 4' VERTICAL

BENCHMARKS

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=702.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION BELOW THIRSE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
 FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A  
 Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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 TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 133008  
 Alejandro E. Granados-Rico

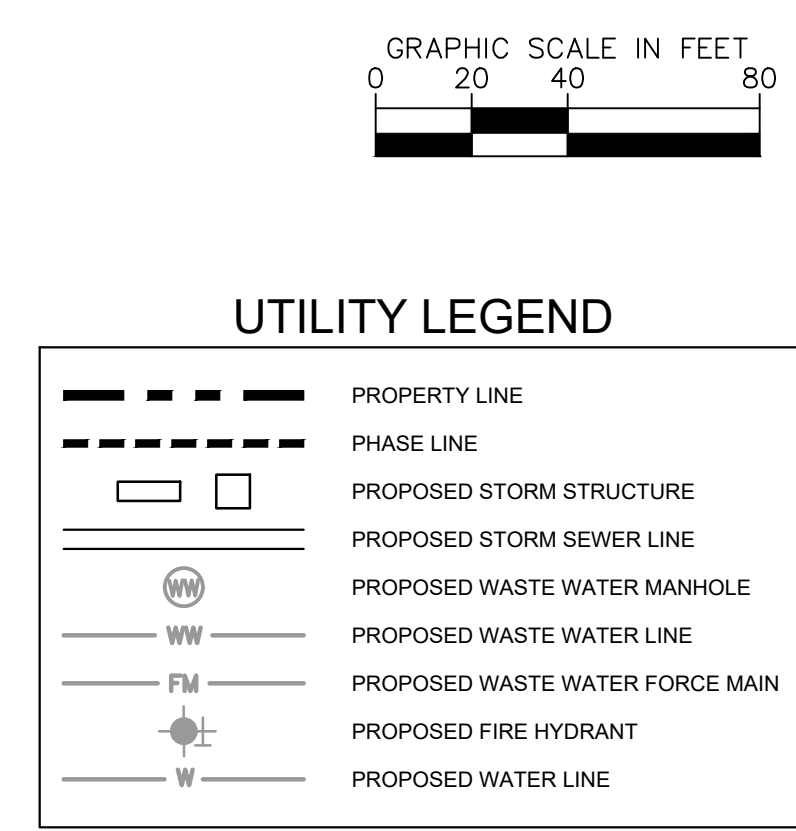
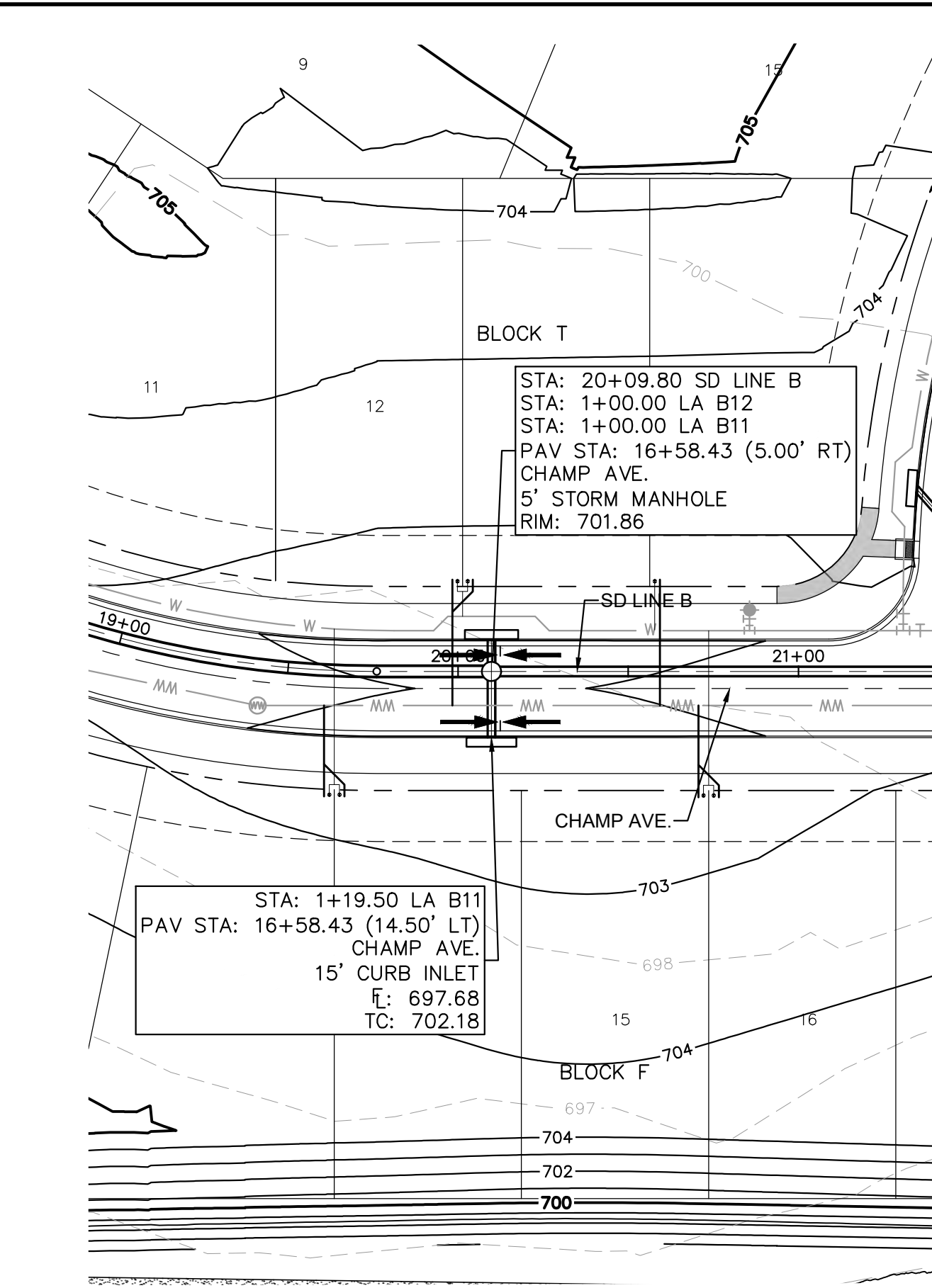
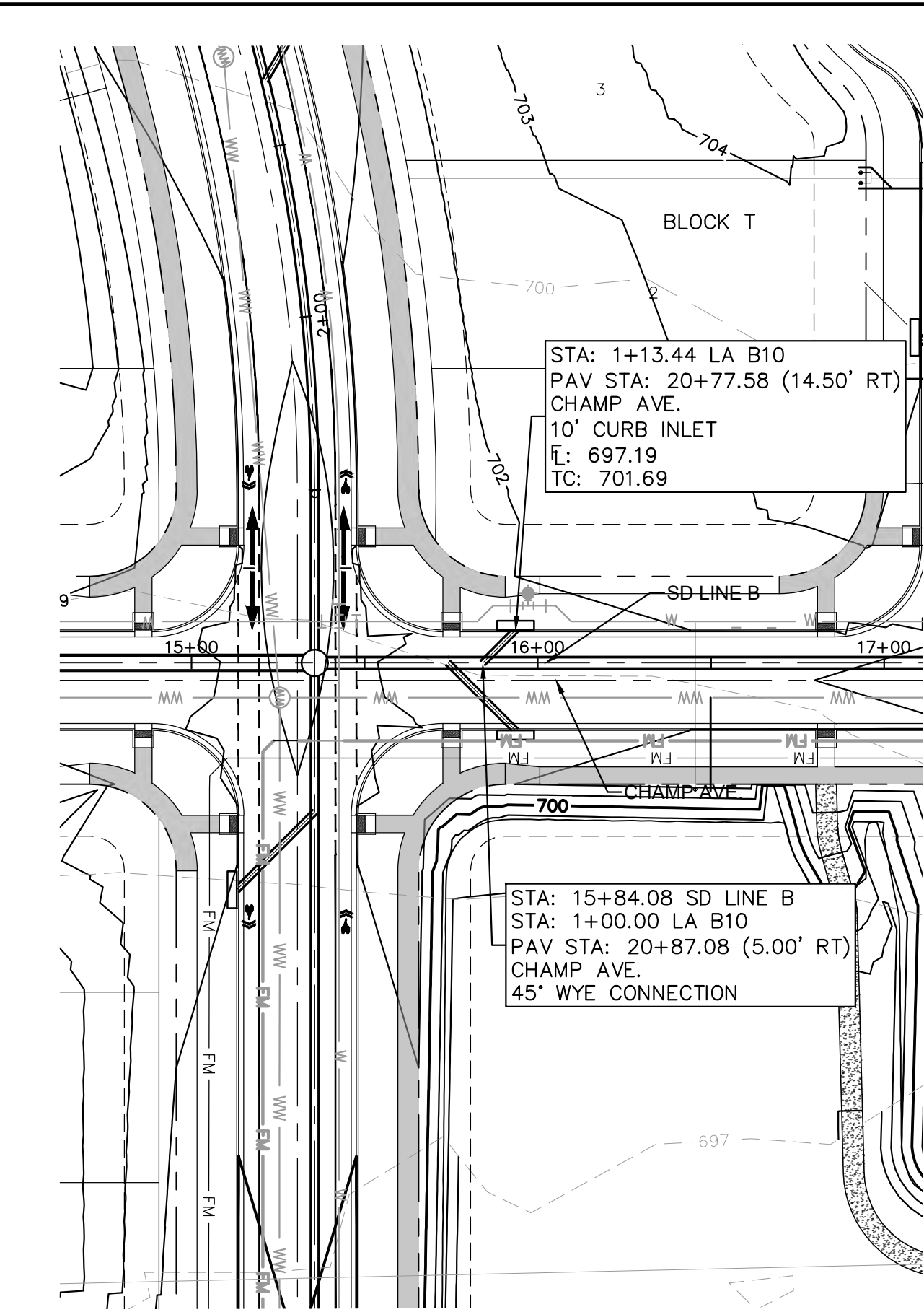
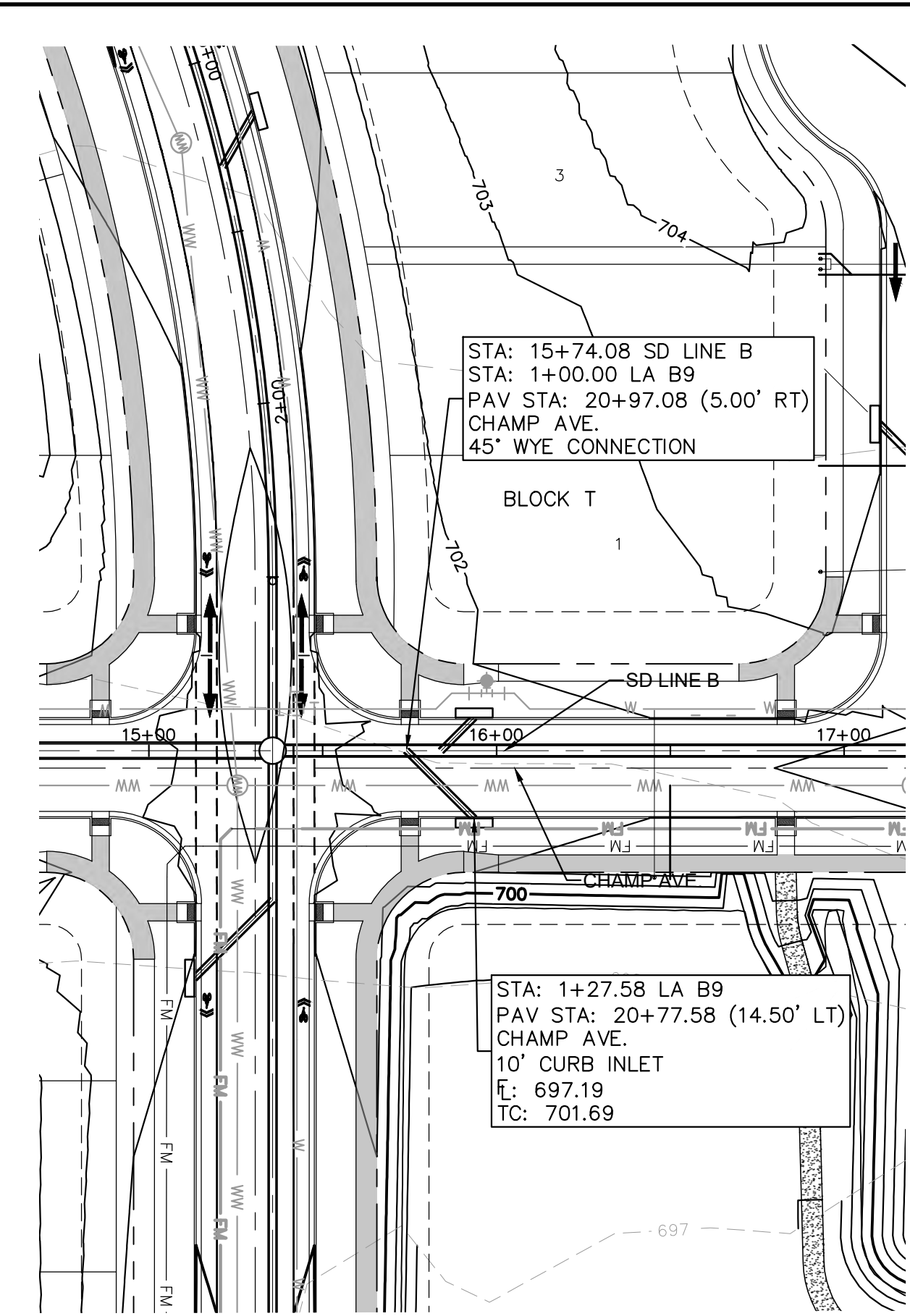
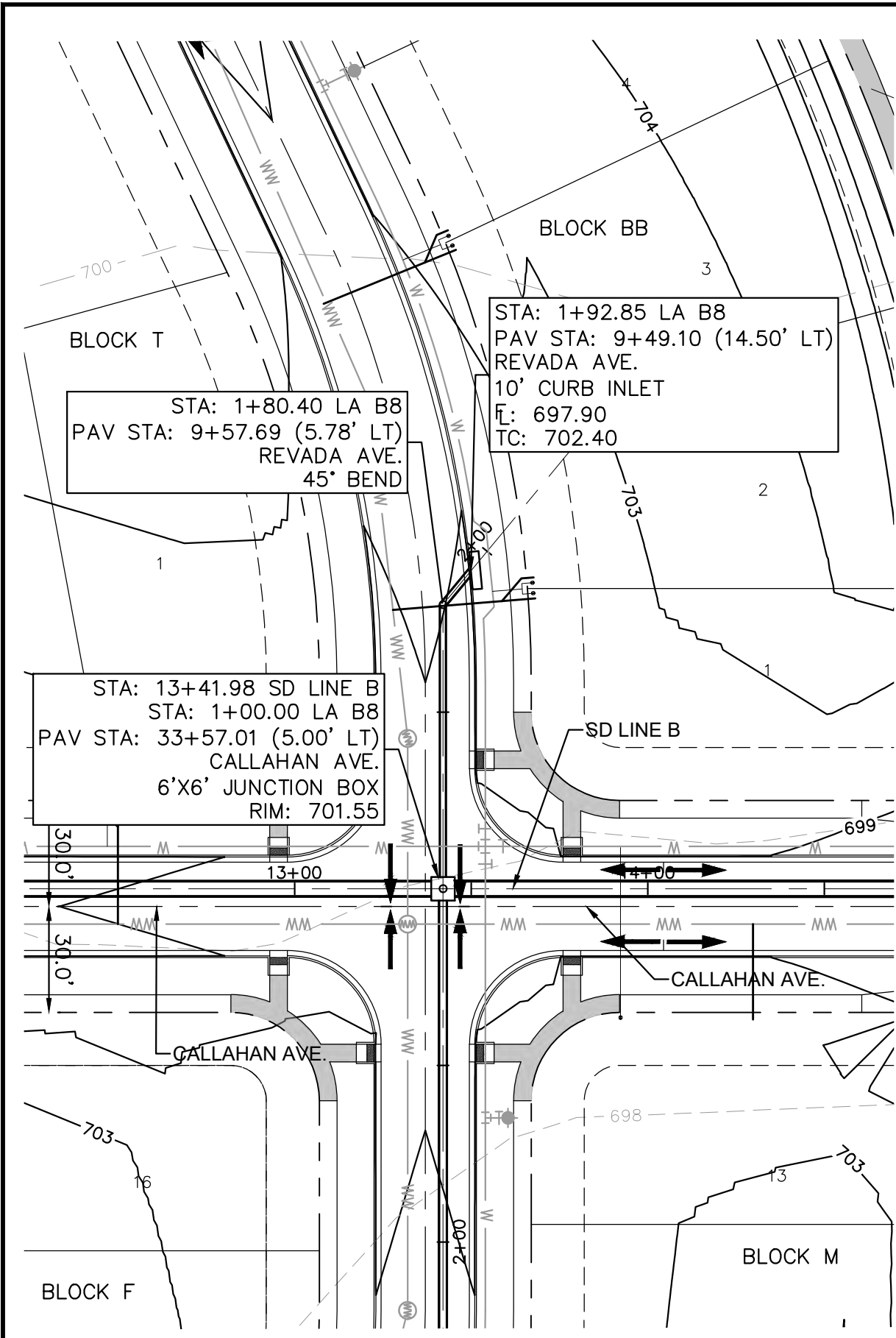
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 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

STORM LATERAL PLAN & PROFILE - B4 B5 B6 & B7

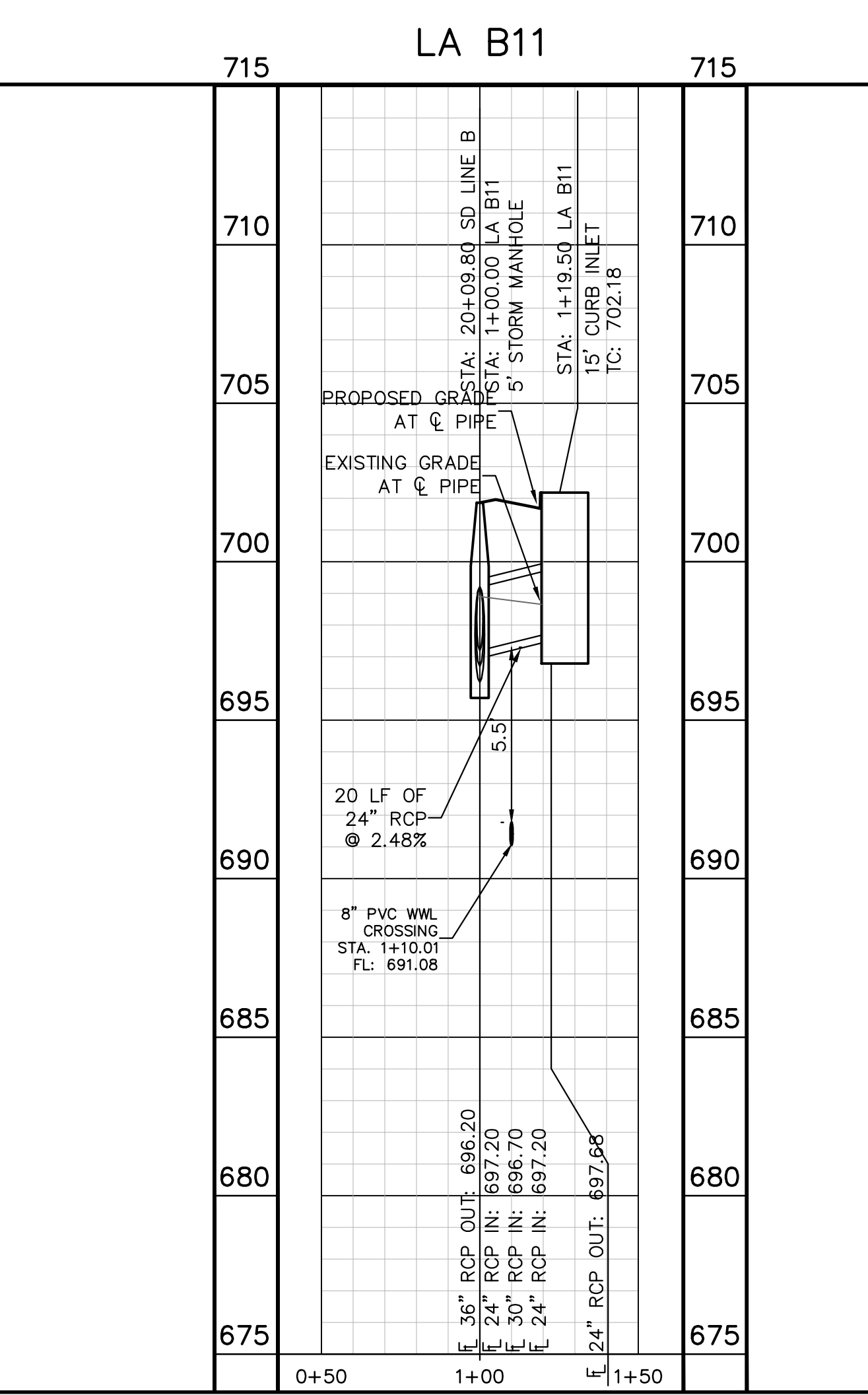
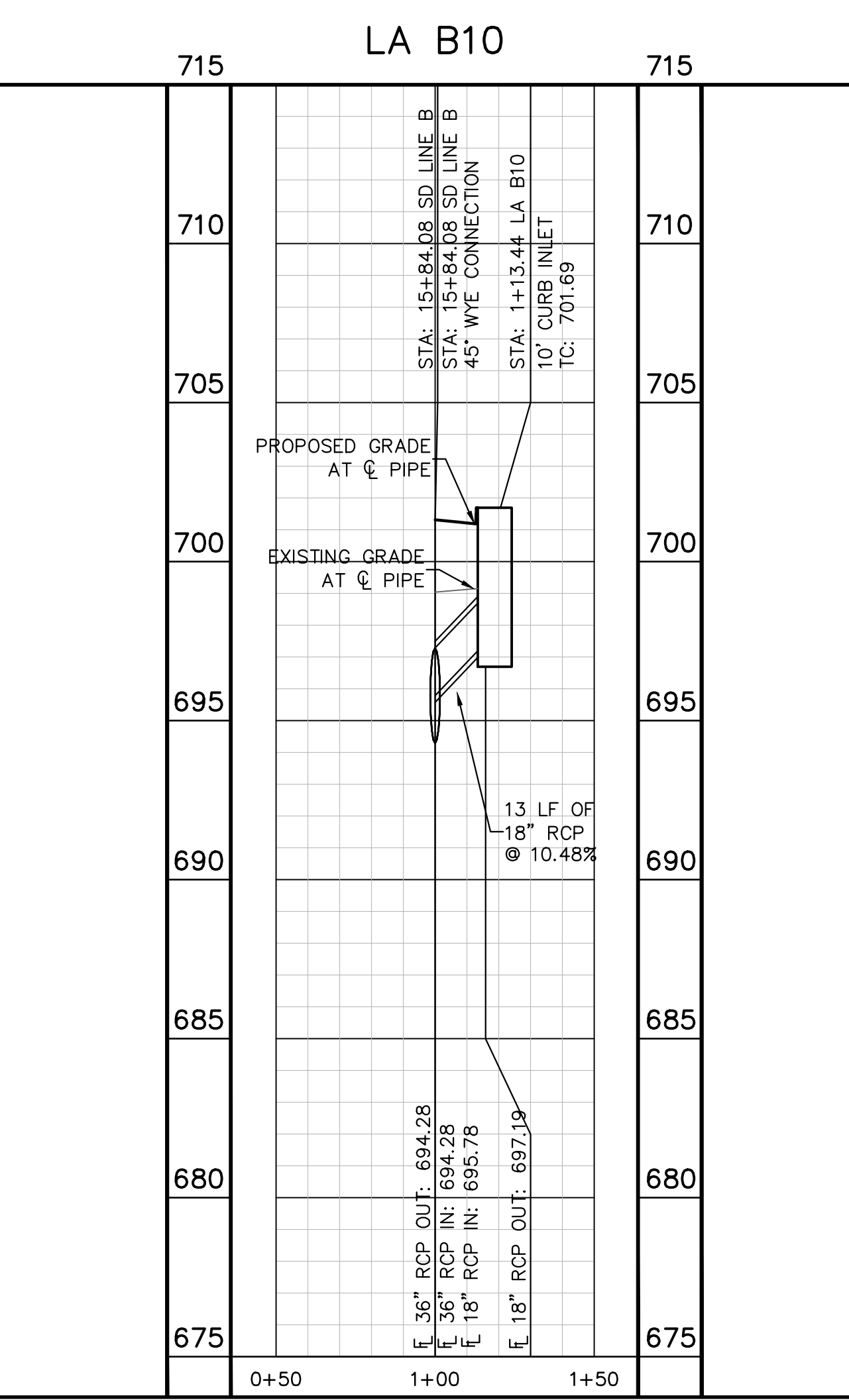
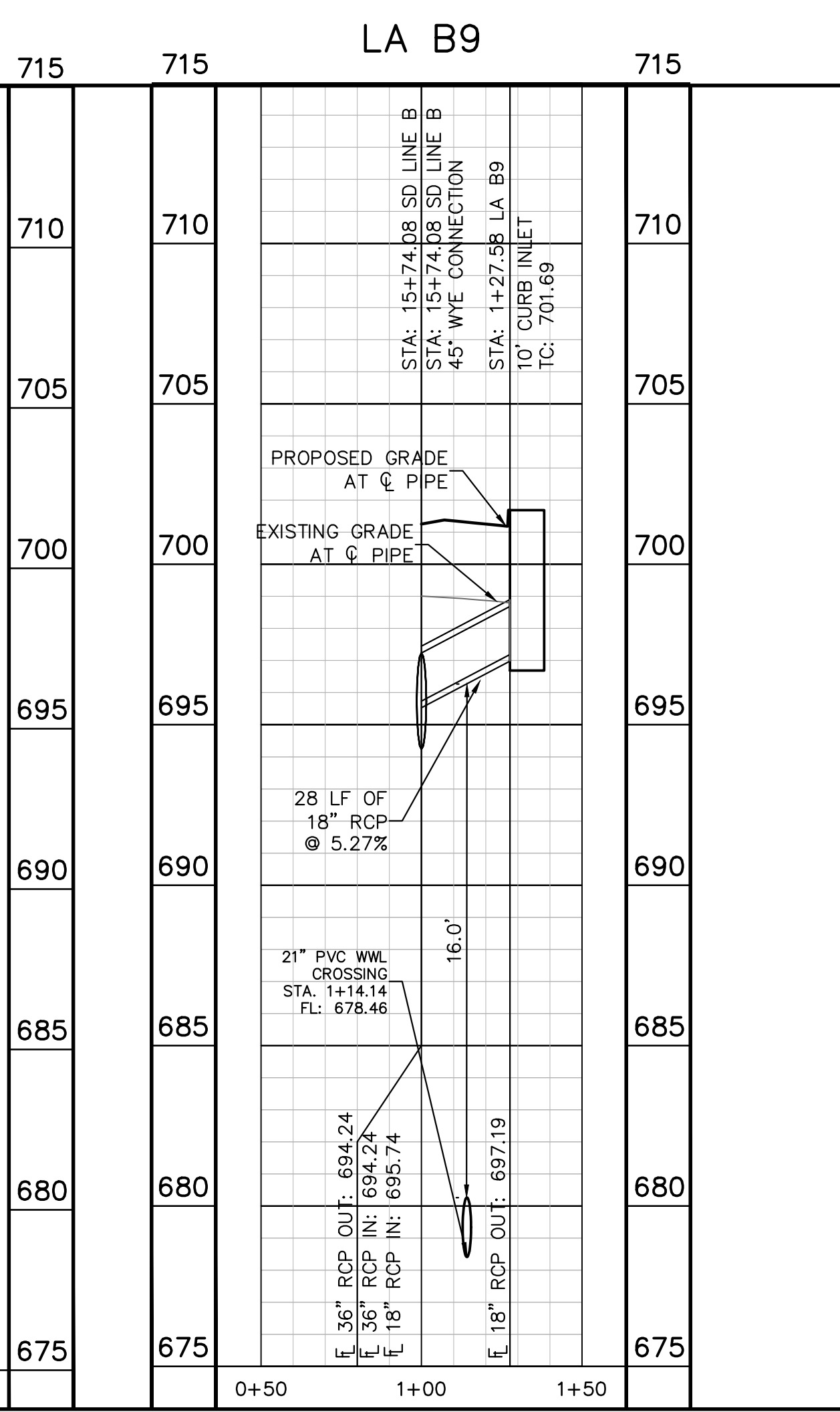
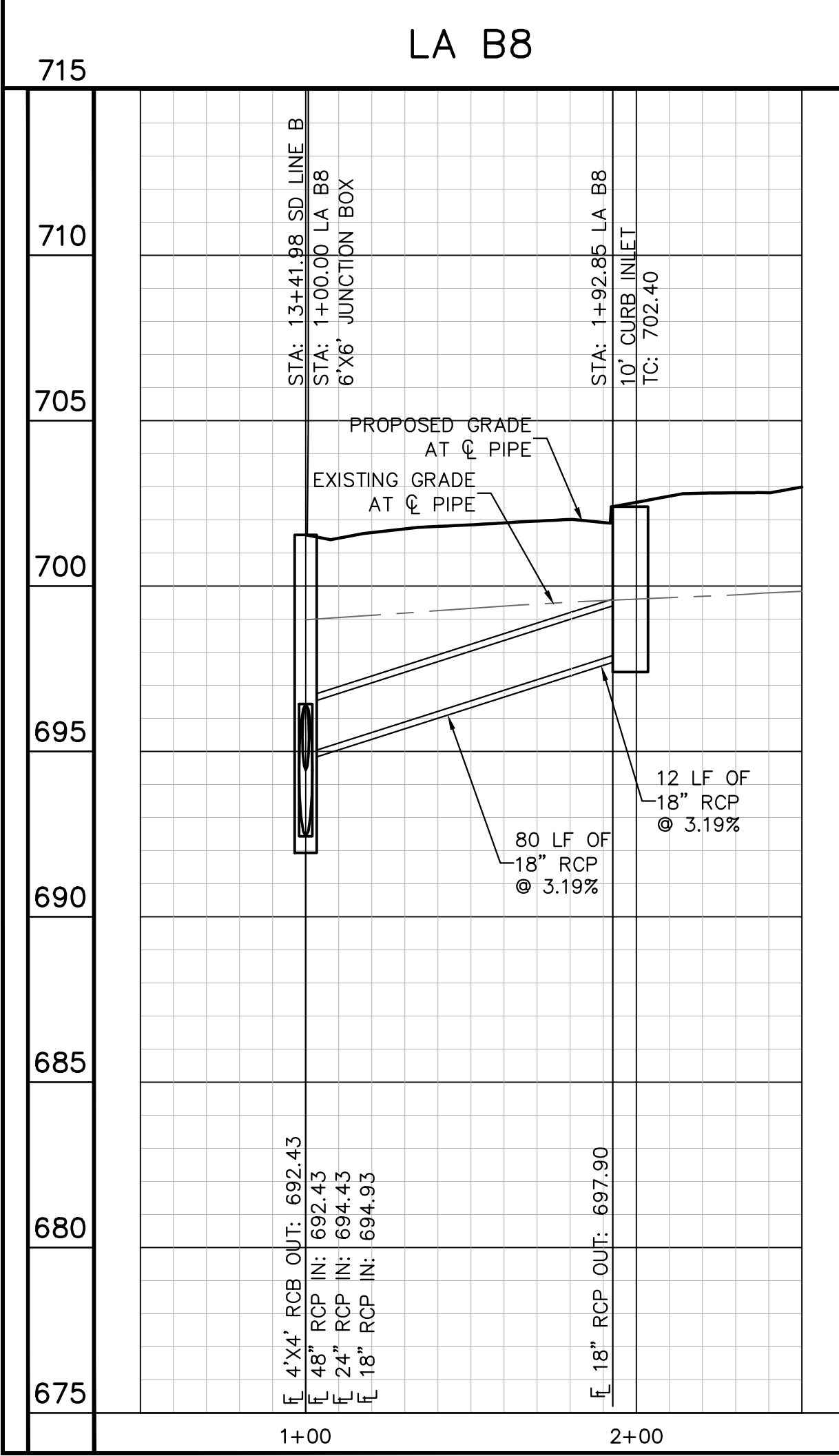
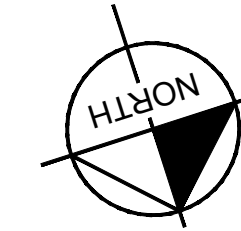
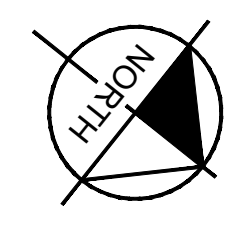
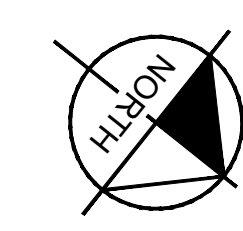
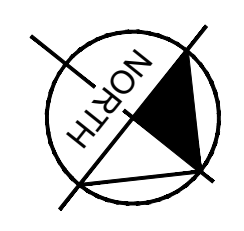
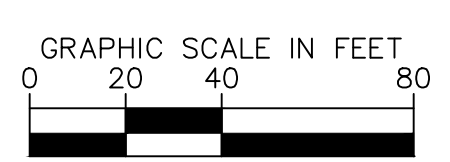
THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER 131 OF 226

Plotted by: Kirby, Kirby Date: July 17, 2023 10:19:31am File Path: K:\SAU\_Civil\067783115 Heritage Buda Assemblage\Cad\PlanSheets\C-Storm Laterals B.dwg  
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NOTES:  
 1. ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.  
 2. FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.



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PROFILE SCALE  
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 1" = 4' VERTICAL

BENCHMARKS  
 BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77.4 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=697.87 (NAVD 88)  
 BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THIRSE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)  
 BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
 FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A  
 Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

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07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 130808  
 ALJANK E. RUIZ-LIN

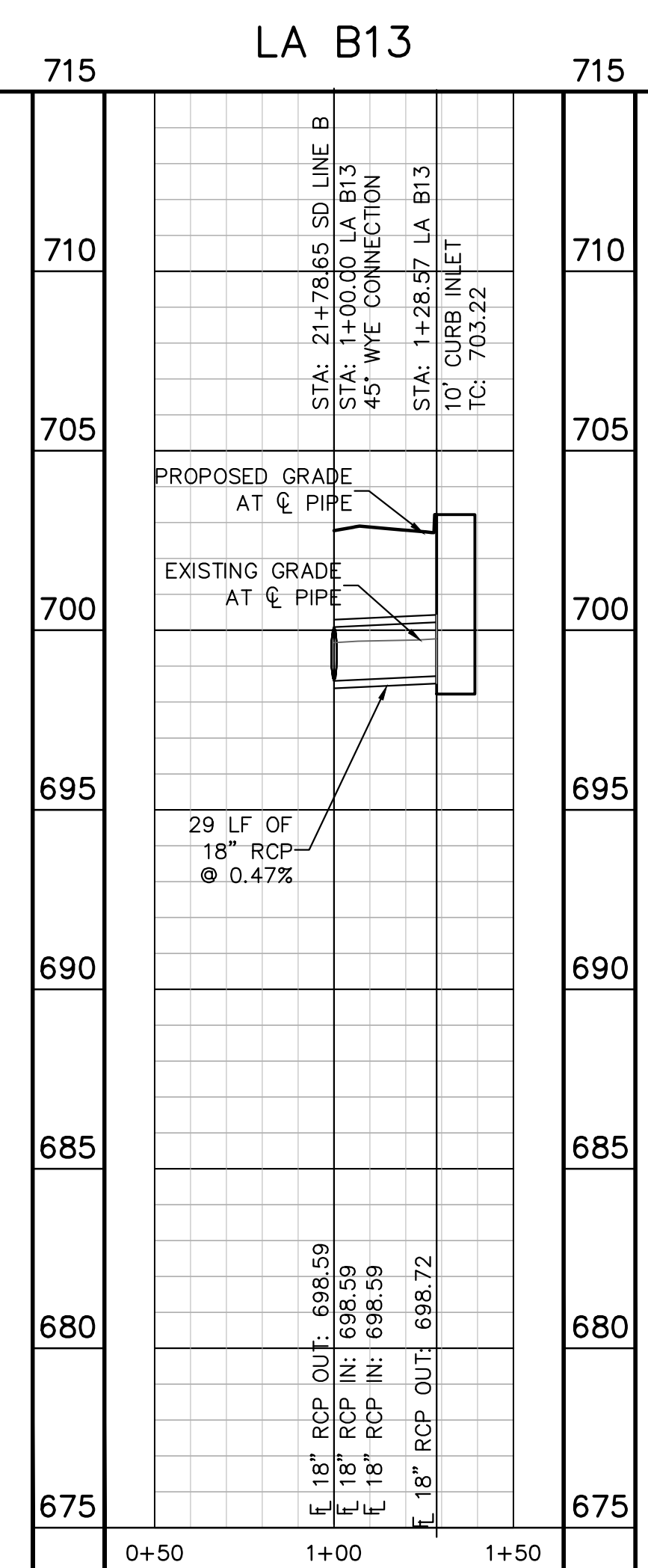
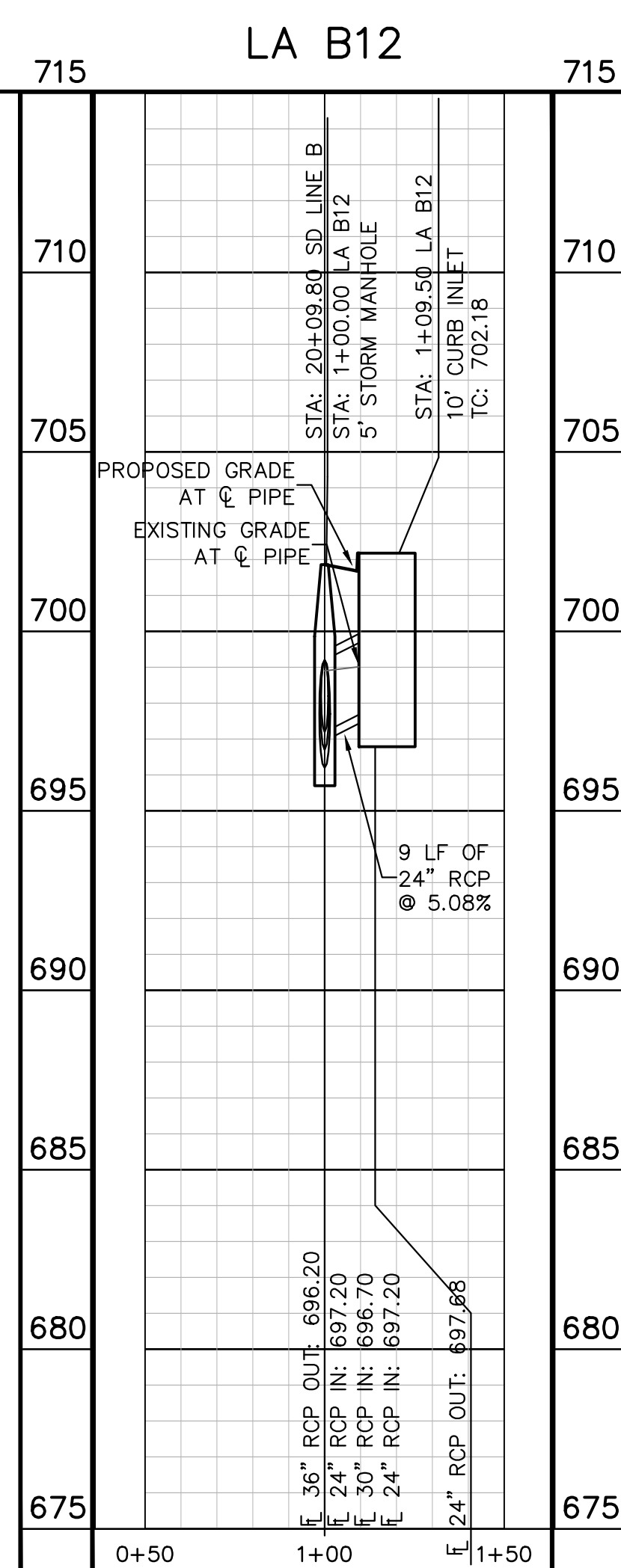
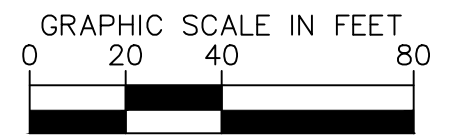
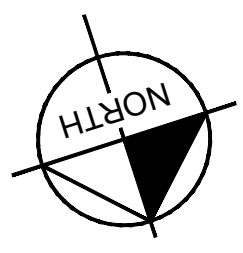
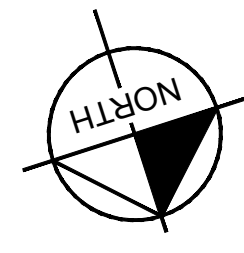
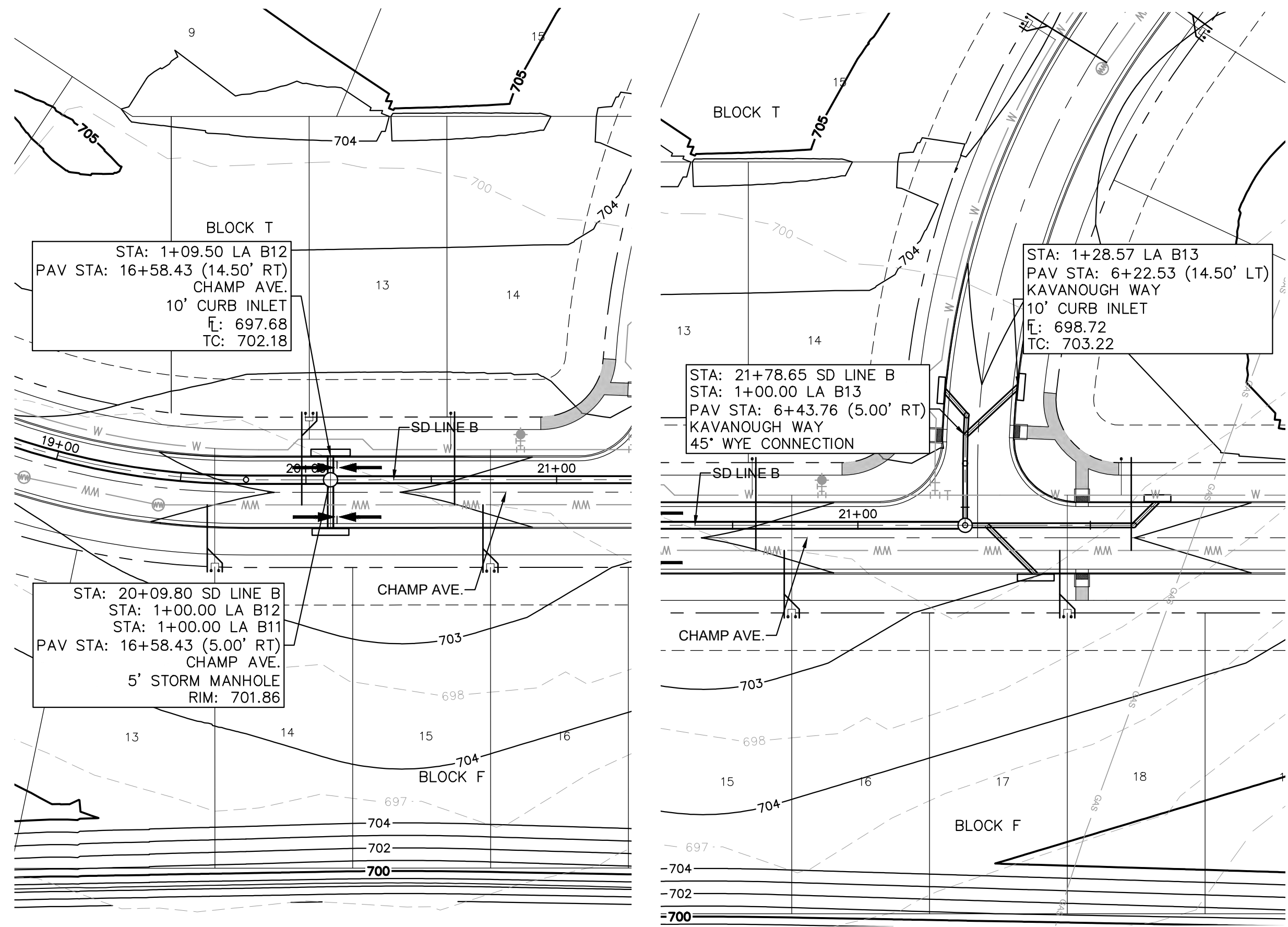
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 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

STORM LATERAL  
 PLAN & PROFILE -  
 B8 B9 B10 & B11

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**132**  
 OF 226

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**BENCHMARKS**

- BM #102 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897.774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=702.07 (NAVD '83)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD '83)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLEBROOK COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD '83)

**CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A  
Rev. 1: \_\_\_\_\_ Correction 1  
Rev. 2: \_\_\_\_\_ Correction 2  
Rev. 3: \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

No.	REVISIONS	DATE	BY

**Kimley-Horn**  
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AUSTIN, TX 78745  
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TBE Firm No. 928

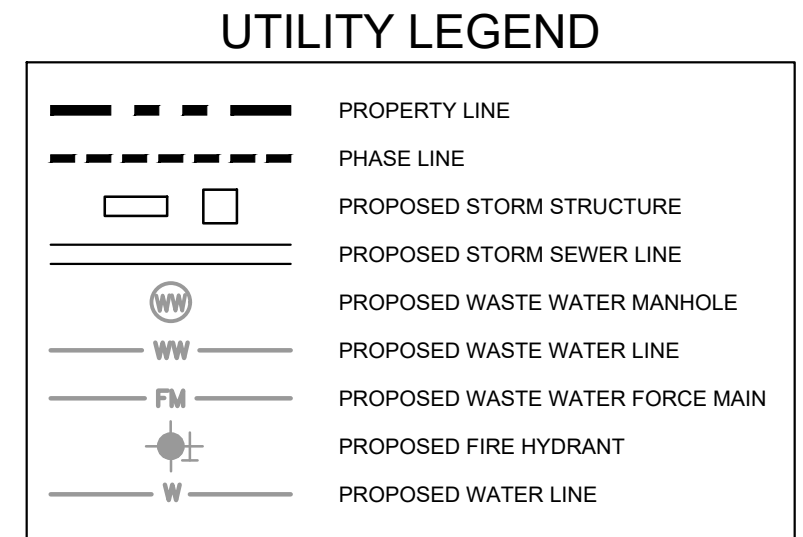
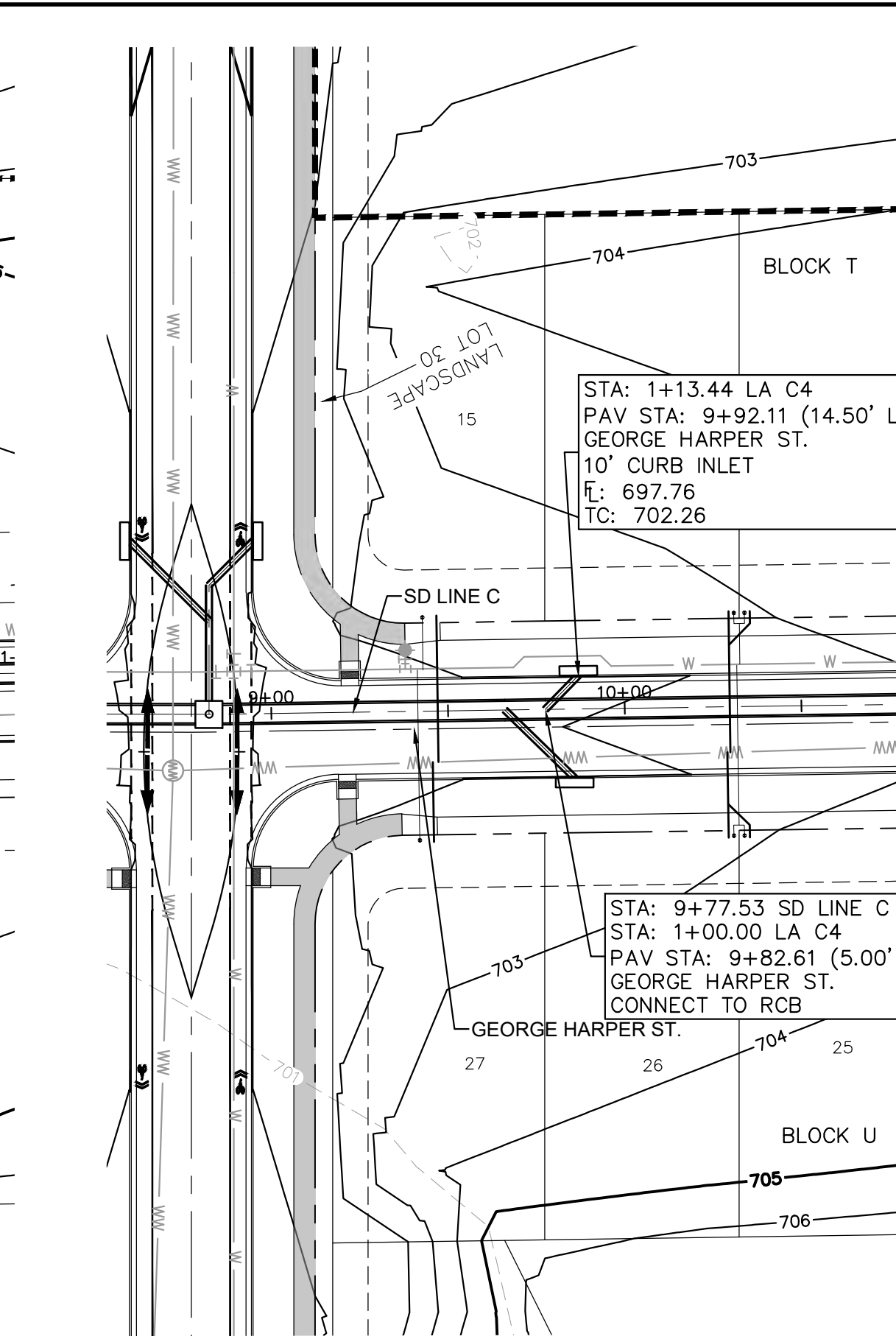
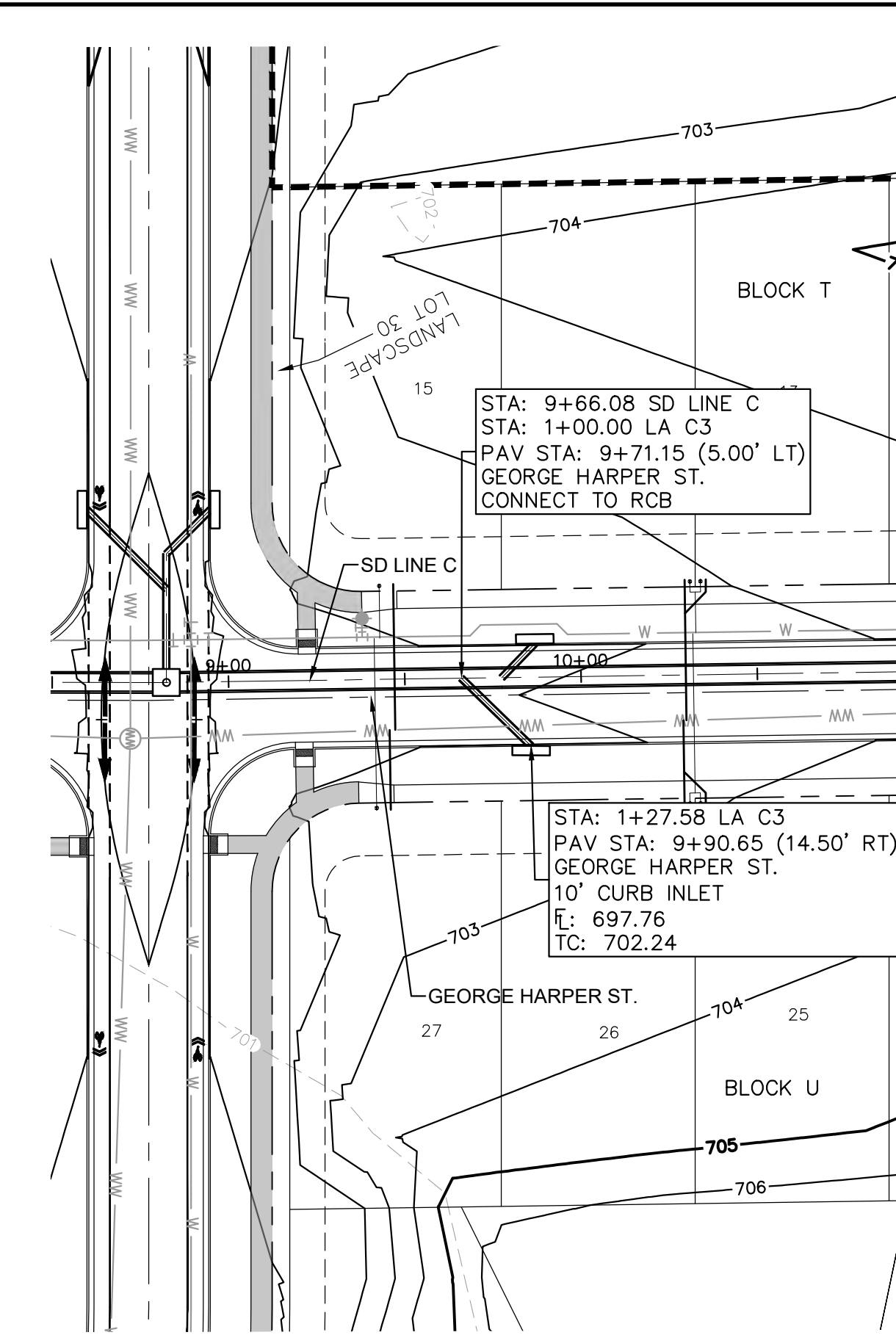
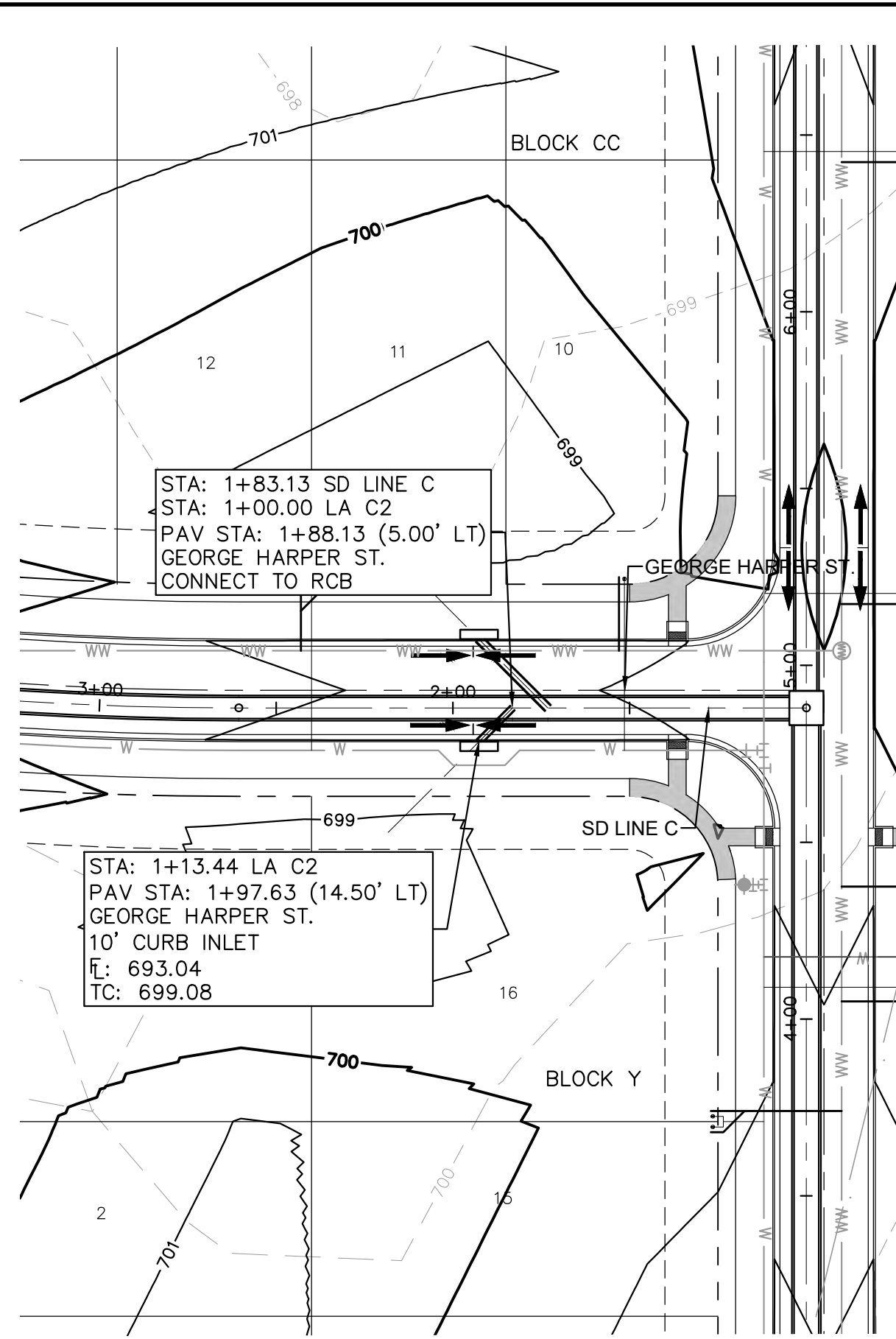
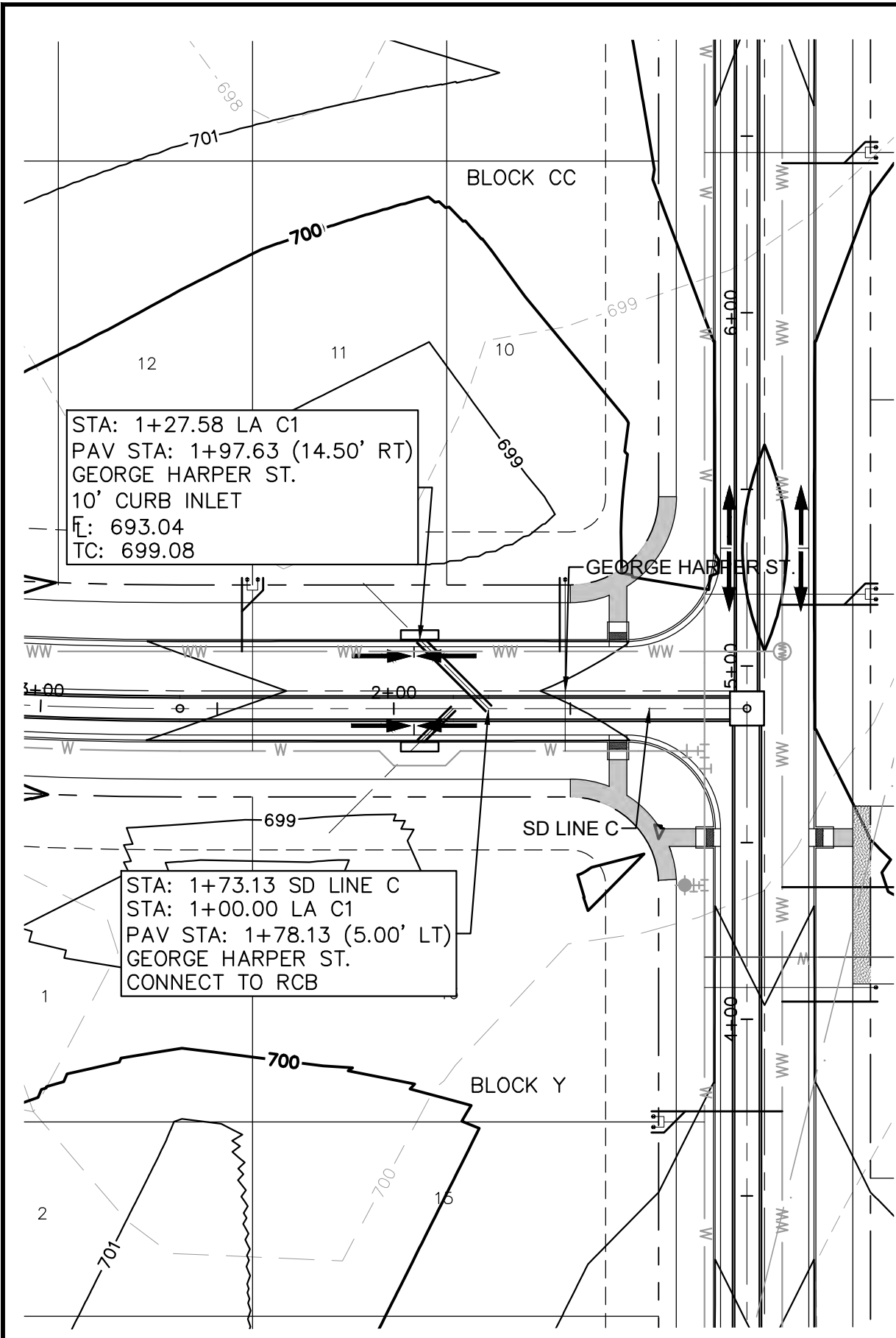
07/17/2023  
  
Alejandro E. Granados-Rico  
Professional Engineer  
KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEG

# STORM LATERAL PLAN & PROFILE - B12 & B13

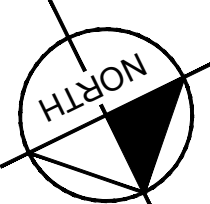
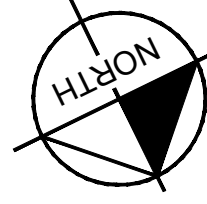
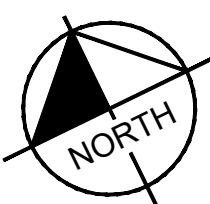
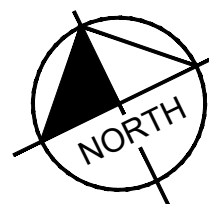
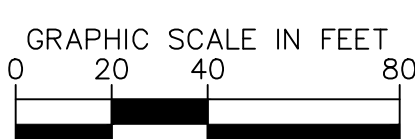
**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER  
**133**  
OF 226

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- NOTES:
- ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.
  - FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.

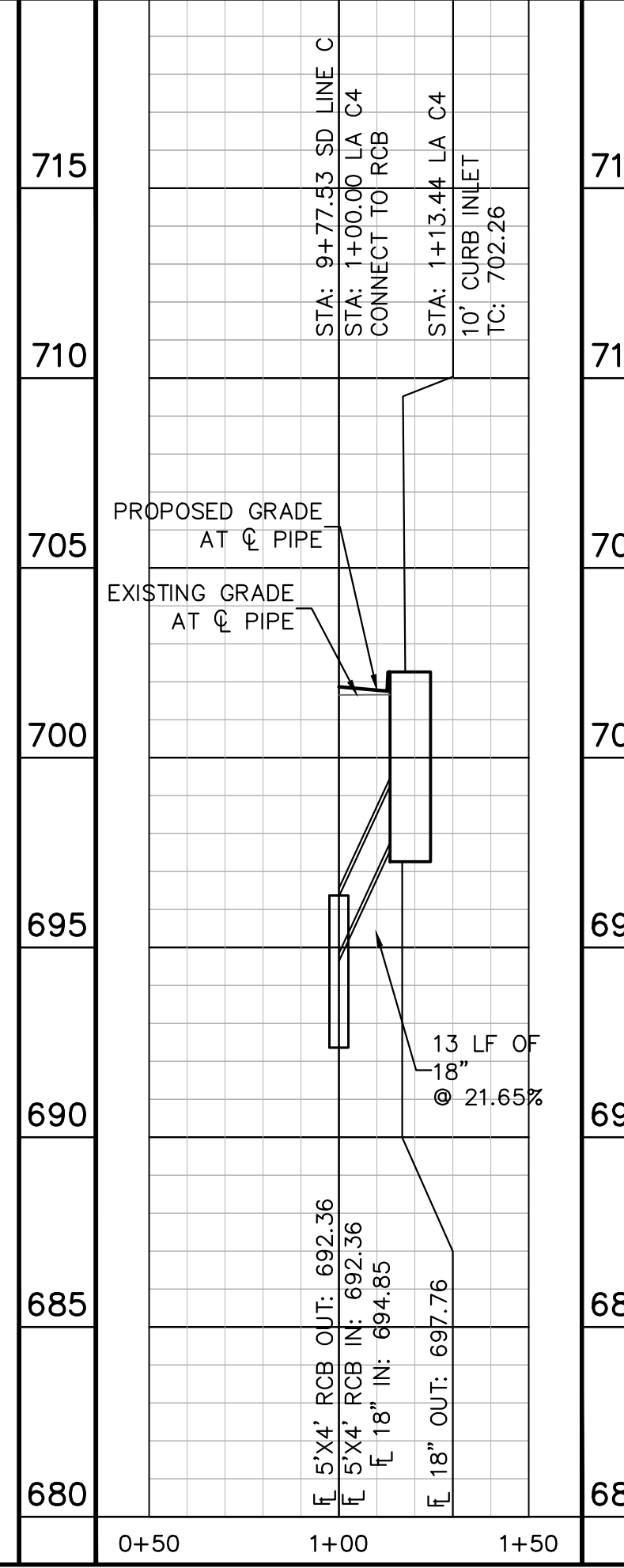
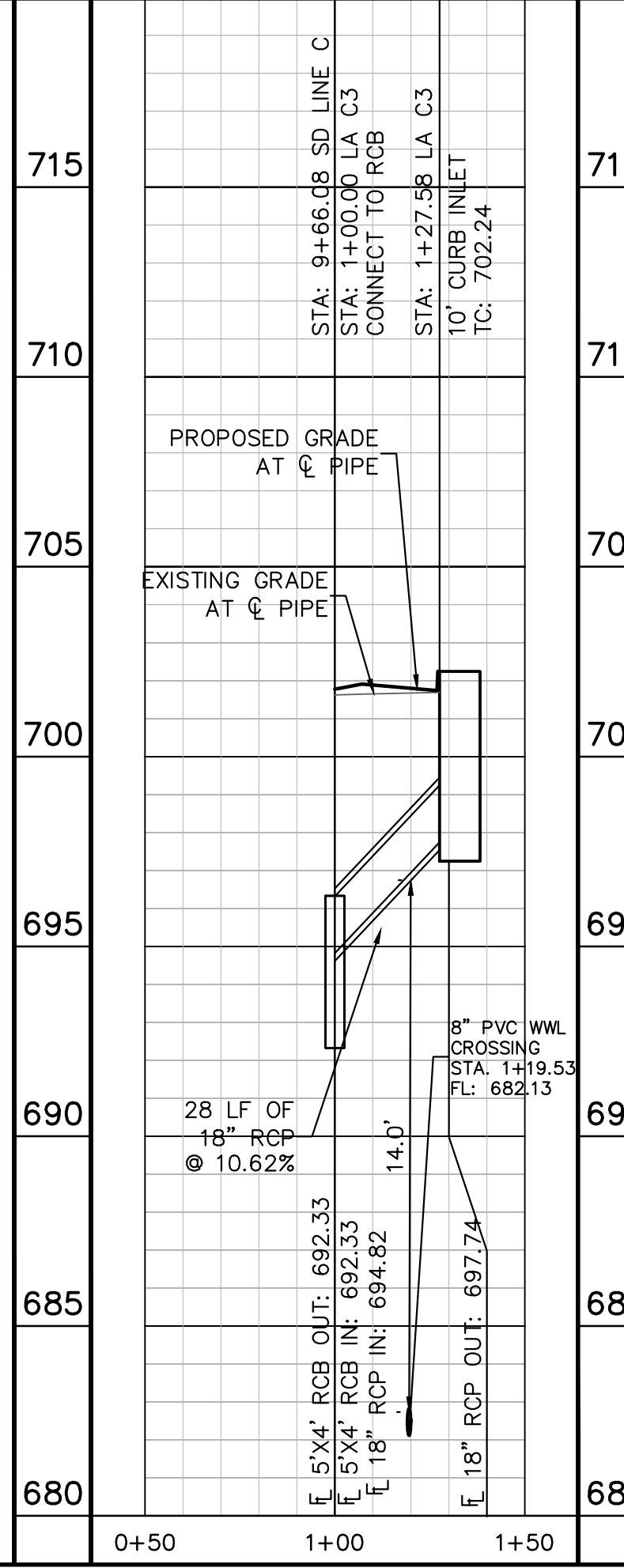
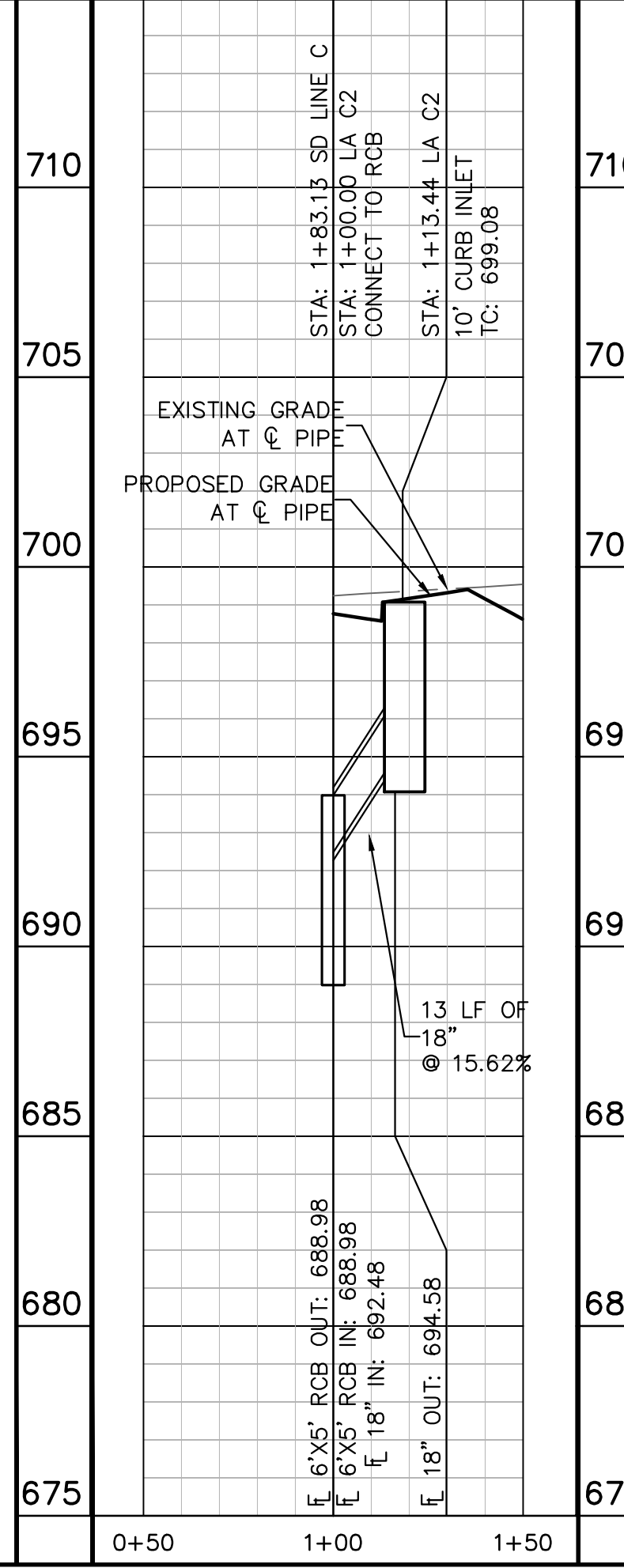
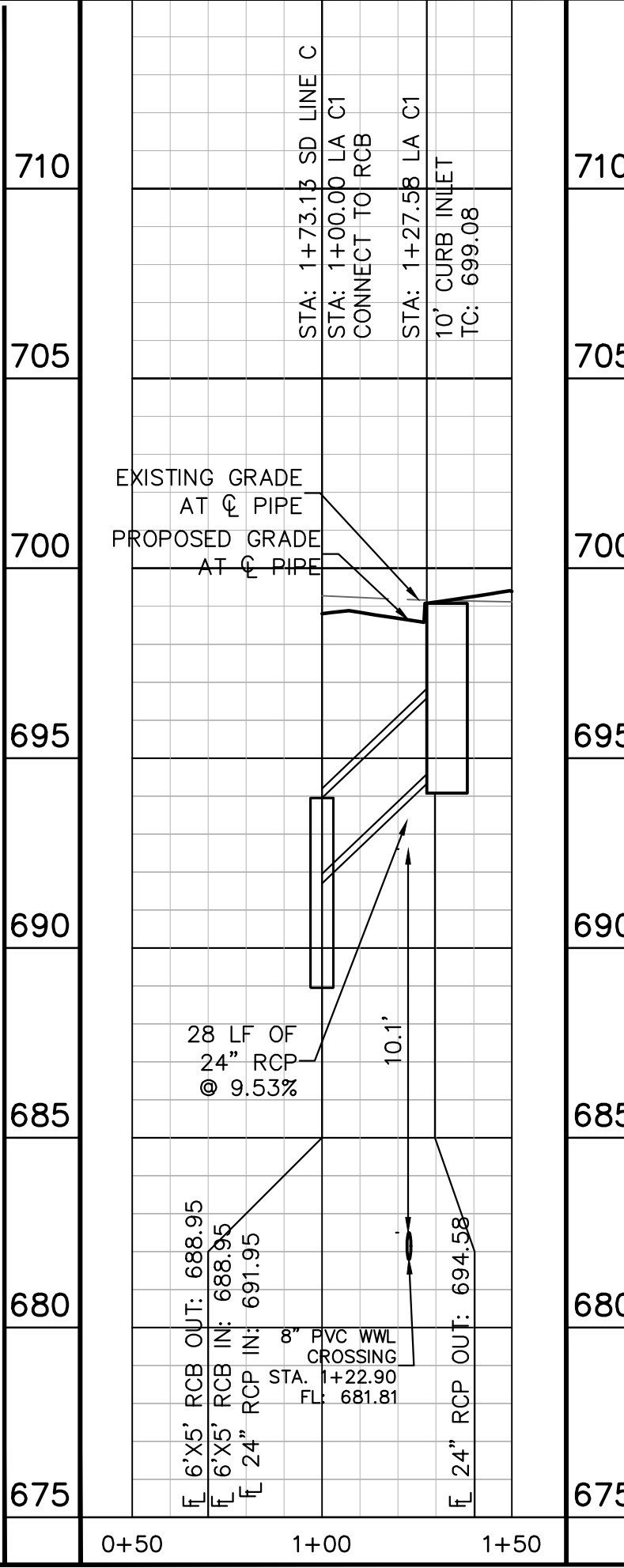


715 LA C1 715

715 LA C2 715

720 LA C3 720

720 LA C4 720



**811**  
 Know what's below.  
 Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

PROFILE SCALE  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

BENCHMARKS

- BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=697.07 (NAVD 88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745-6437  
 PH: 512.444.4577  
 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

07/17/2023

**ALJAMRO E. GRANADOS RICO**  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13508  
 Alejandro E. Granados Rico

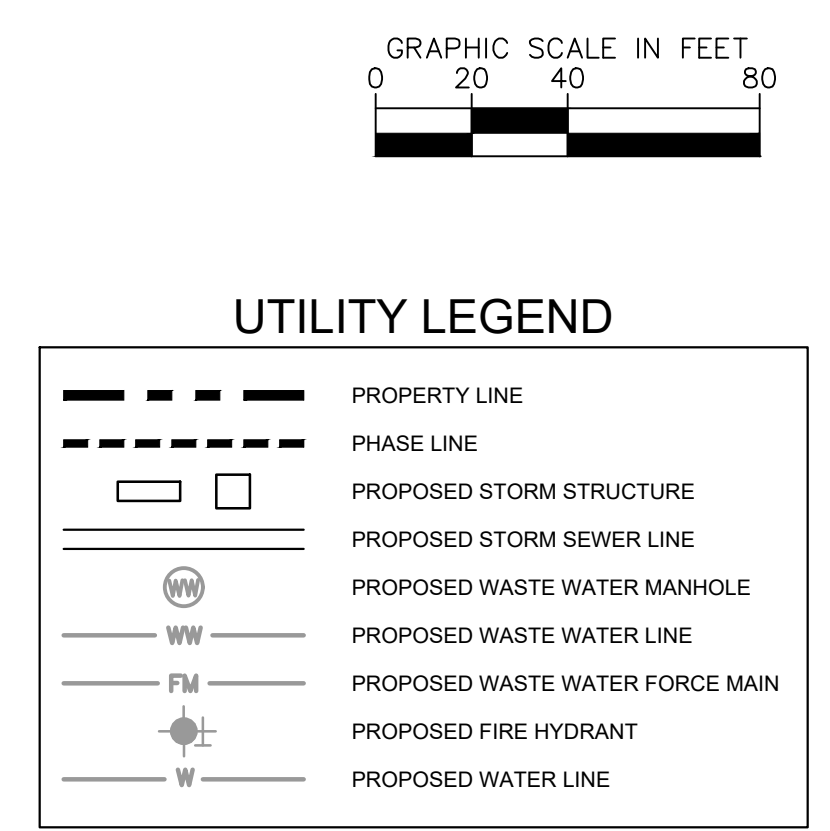
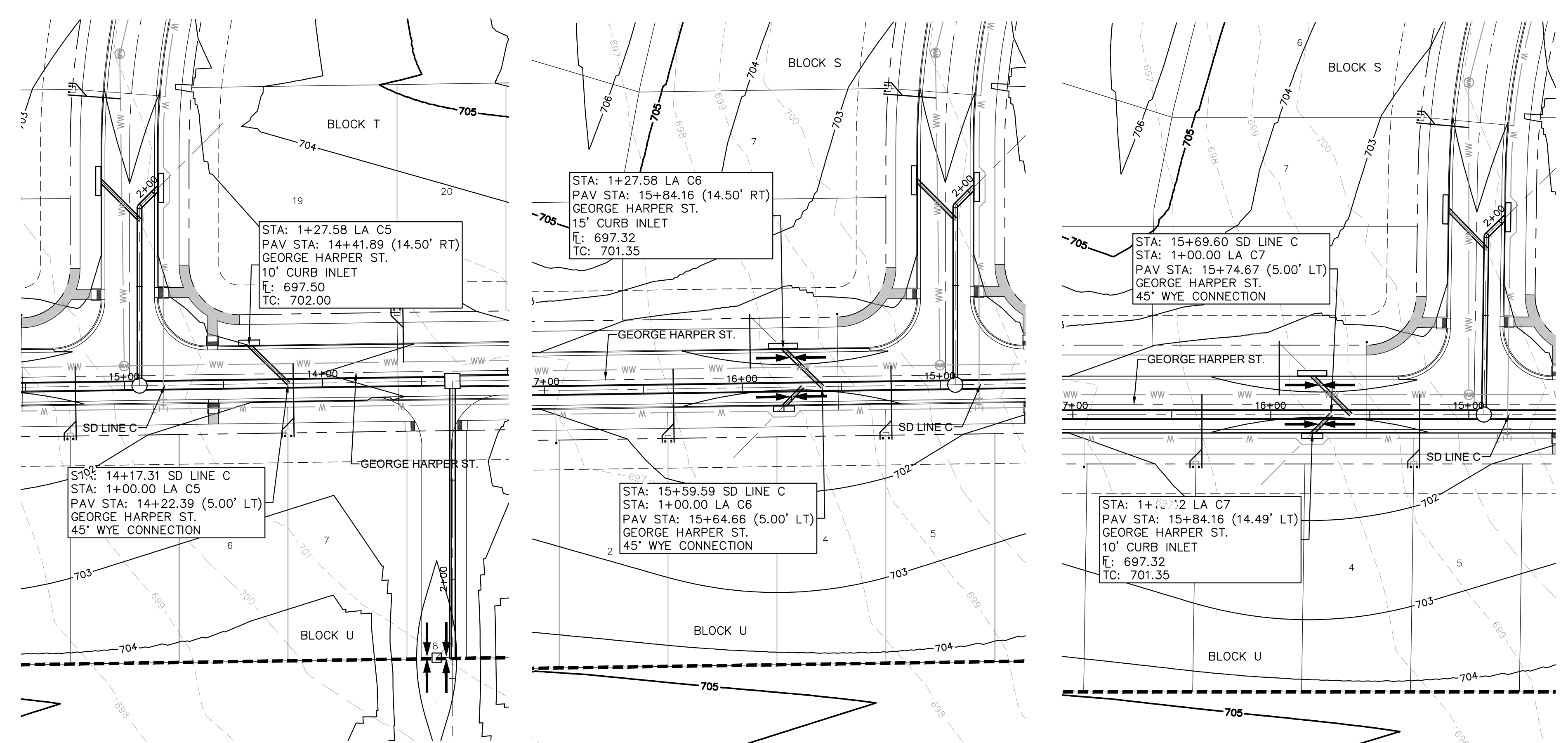
KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

STORM LATERAL PLAN & PROFILE - C1 C2 C3 & C4

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

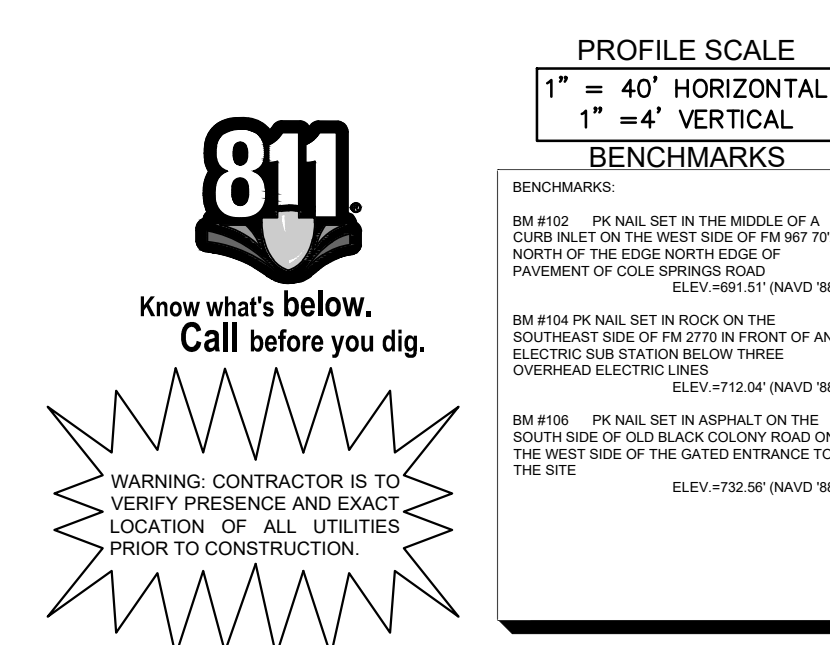
SHEET NUMBER  
**134**  
 OF 226

Plotted by: Betty Kirby Date: July 17, 2023 10:35:33am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\C-Storm Laterals\_C.dwg  
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- NOTES:  
 1. ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.  
 2. FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.

LA C5		LA C6		LA C7	
720	720	715	715	715	715
715	715	710	710	710	710
710	710	705	705	705	705
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685	685	680	680	680	680
680	680	675	675	675	675
0+50	1+00	0+50	1+00	0+50	1+00



CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
 FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A  
 Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

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 PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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07/17/2023  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 133084  
 Alejandro E. Granados Rico

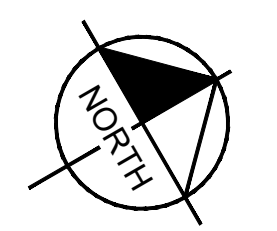
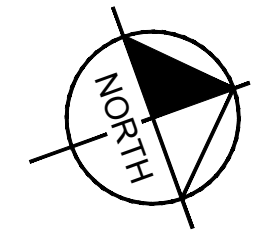
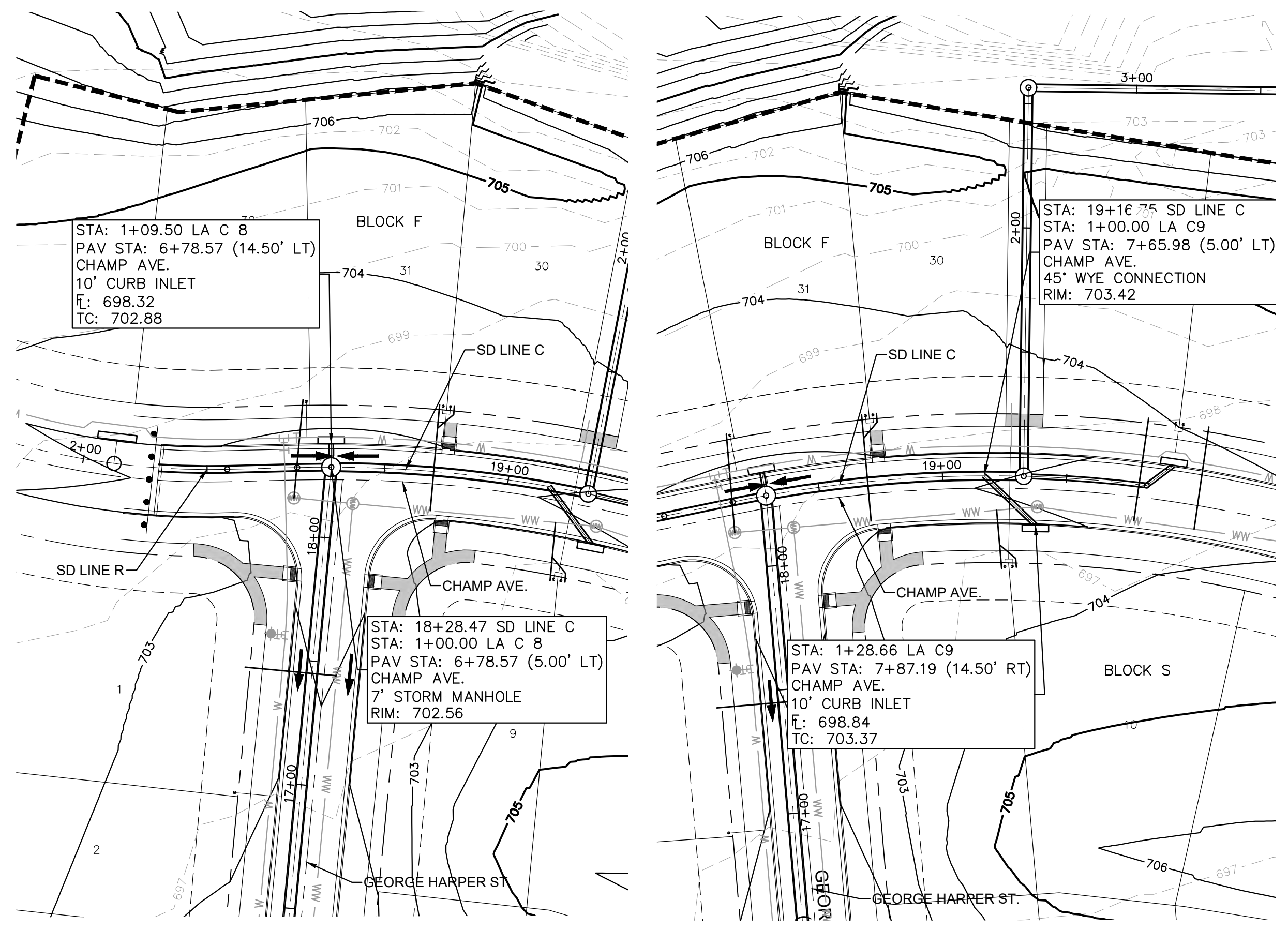
KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

STORM LATERAL PLAN & PROFILE - C5 C6 & C7

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER 135 OF 226

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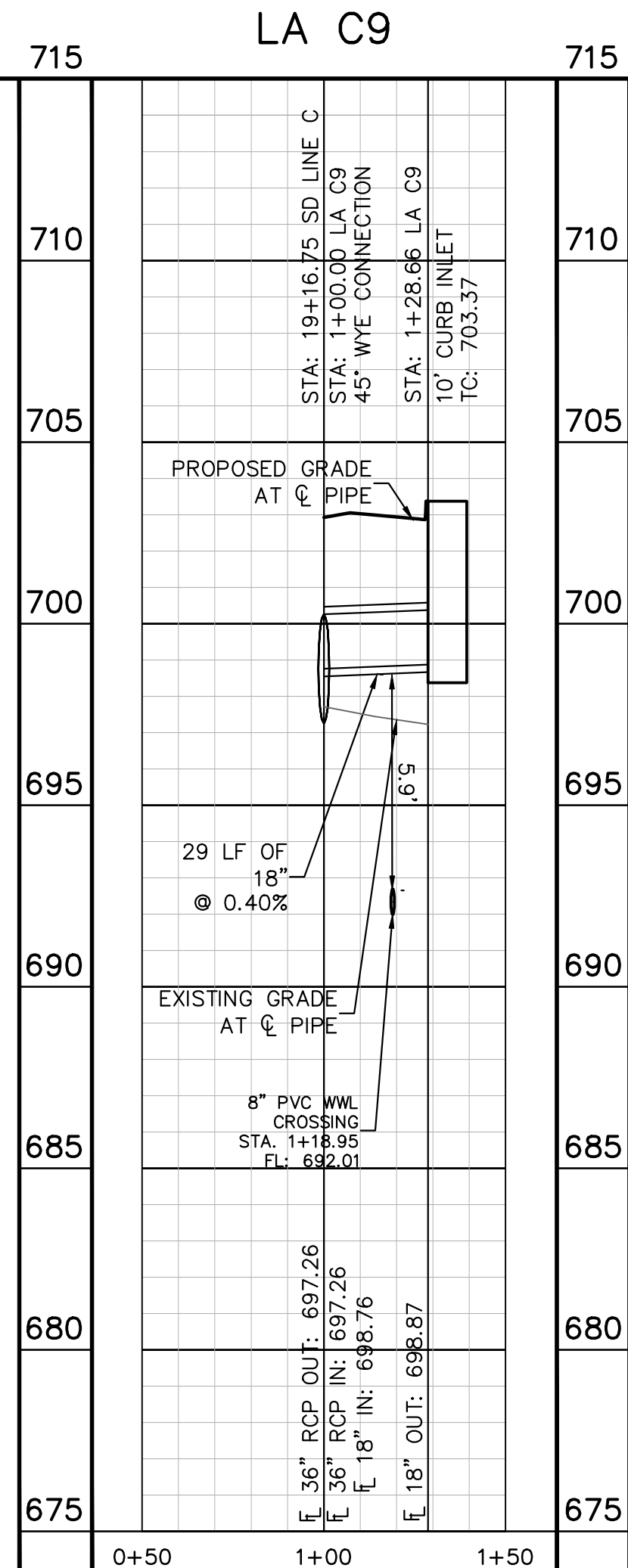
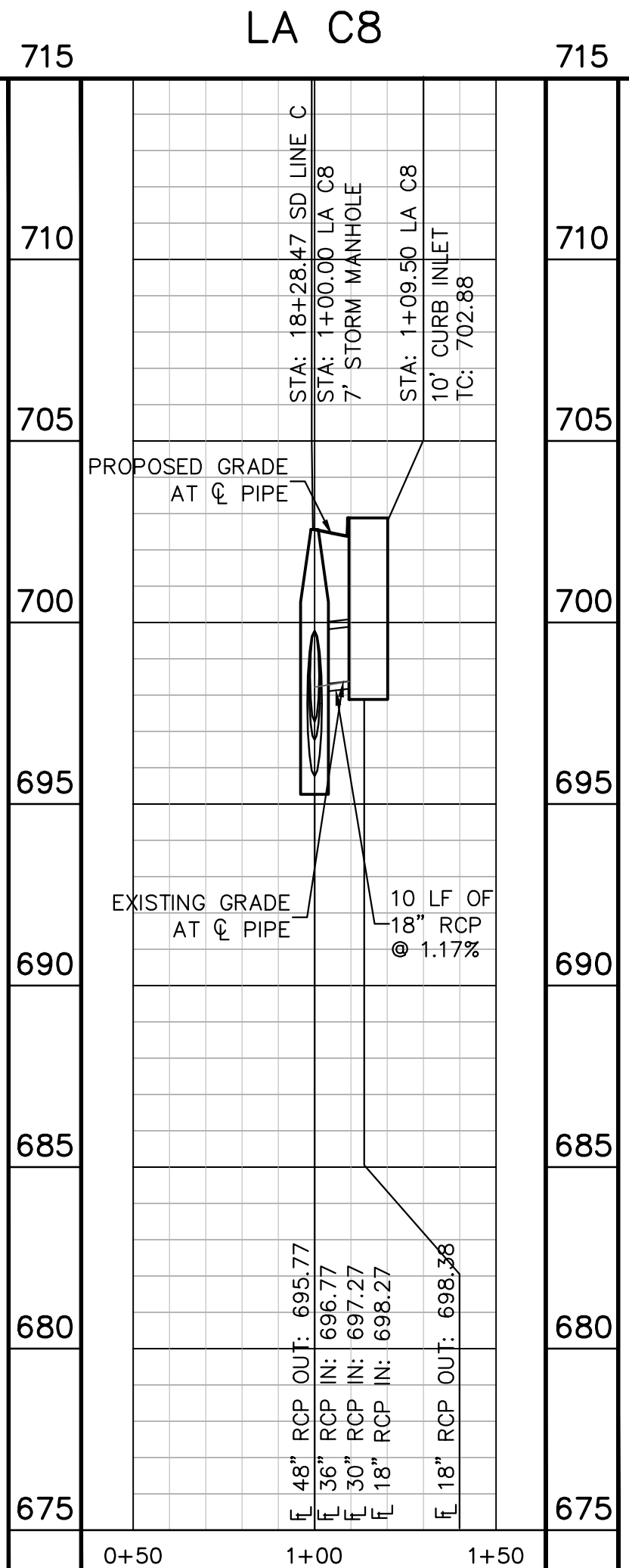


GRAPHIC SCALE IN FEET  
 0 20 40 80

**UTILITY LEGEND**

- PROPERTY LINE
- PHASE LINE
- PROPOSED STORM STRUCTURE
- PROPOSED STORM SEWER LINE
- PROPOSED WASTE WATER MANHOLE
- PROPOSED WASTE WATER LINE
- PROPOSED WASTE WATER FORCE MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LINE

- NOTES:**
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  - FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.



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WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BENCHMARKS

- BM #102 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897.774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=718.87 (NAVD 88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THIRSE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

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07/17/2023

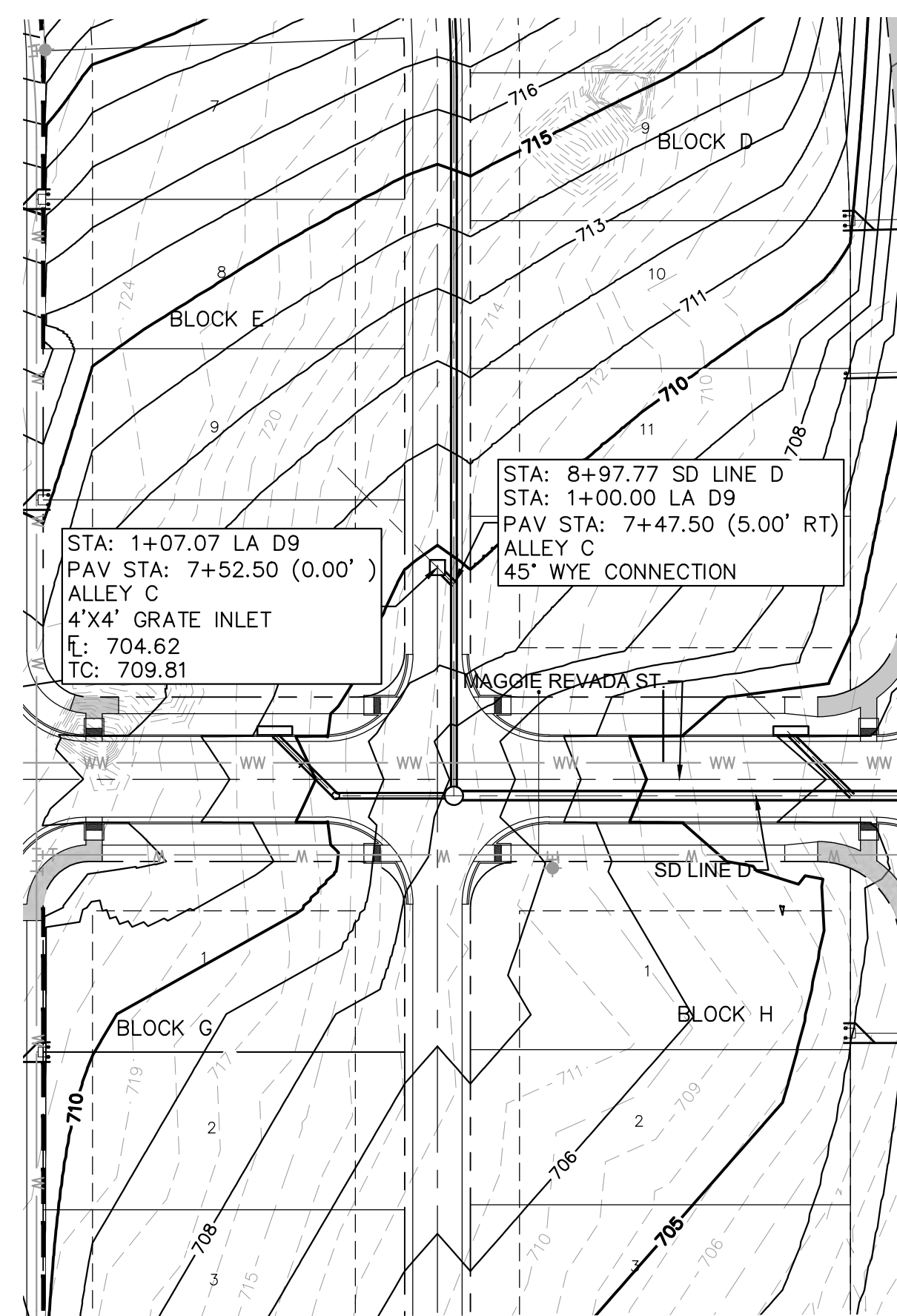
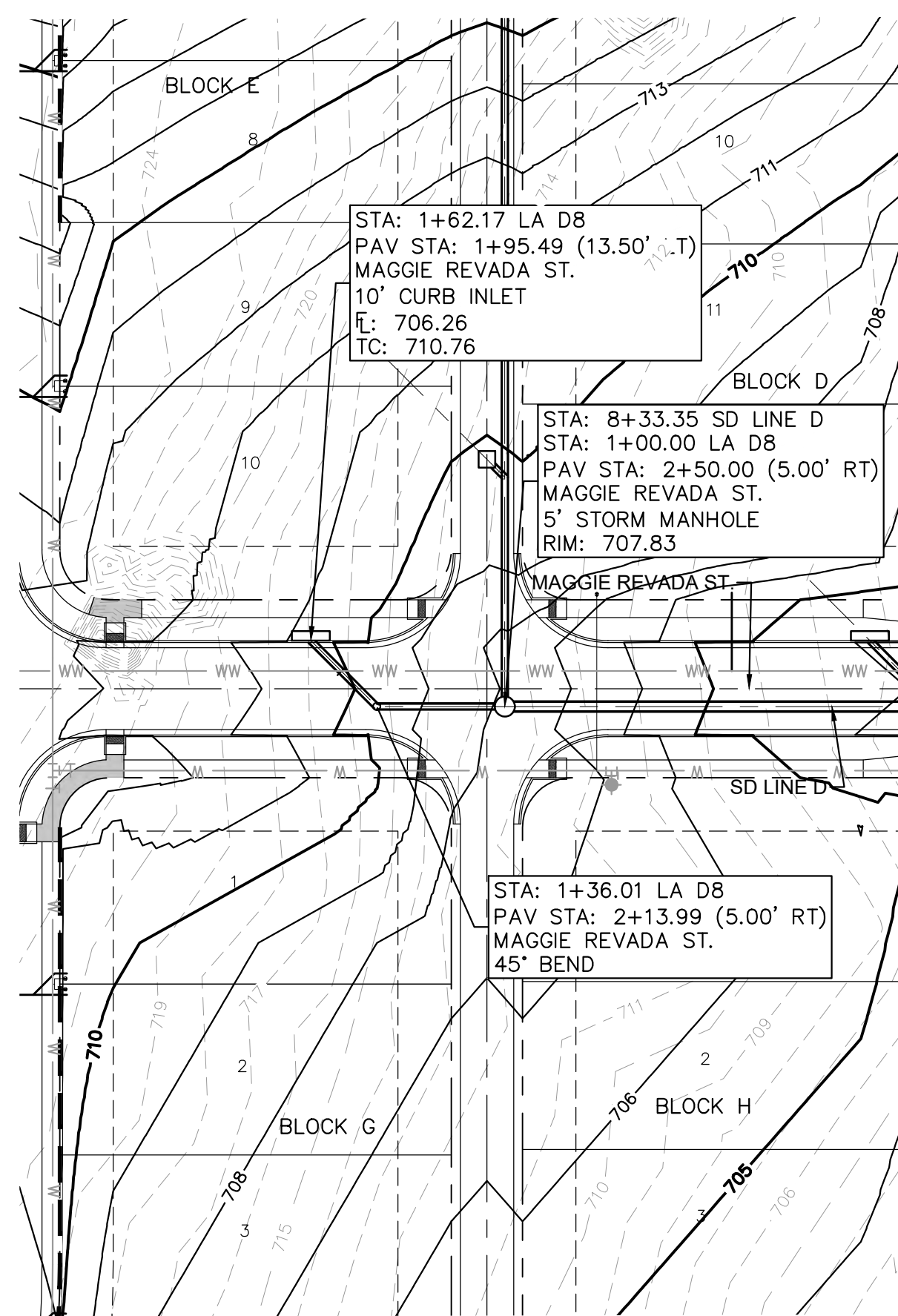
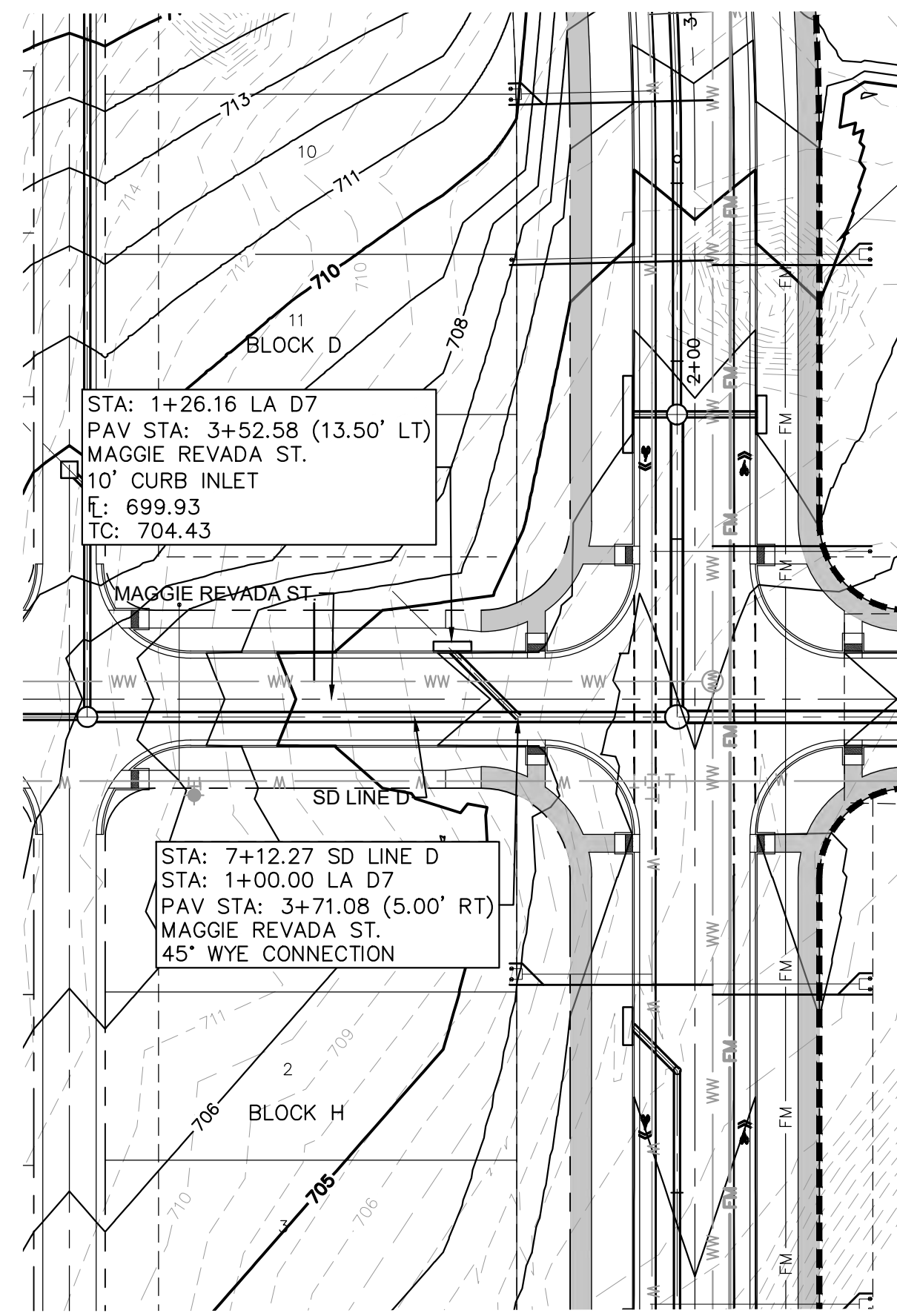
**Alejandro E. Granados-Rico**  
 Licensed Professional Engineer  
 State of Texas

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

**STORM LATERAL  
 PLAN & PROFILE -  
 C8 & C9**

**THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS**

Plotted by: Kirby Date: July 17, 2023 10:49:35am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\C-Storm Laterals D.dwg  
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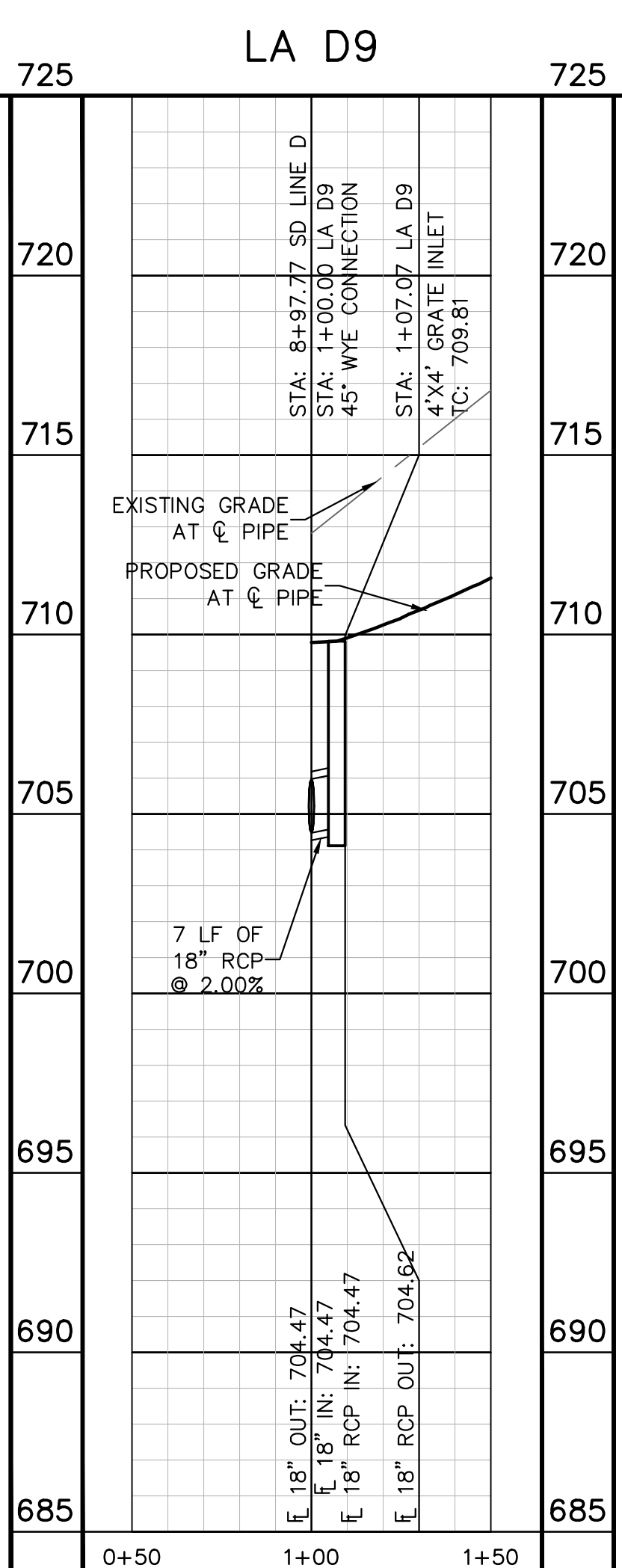
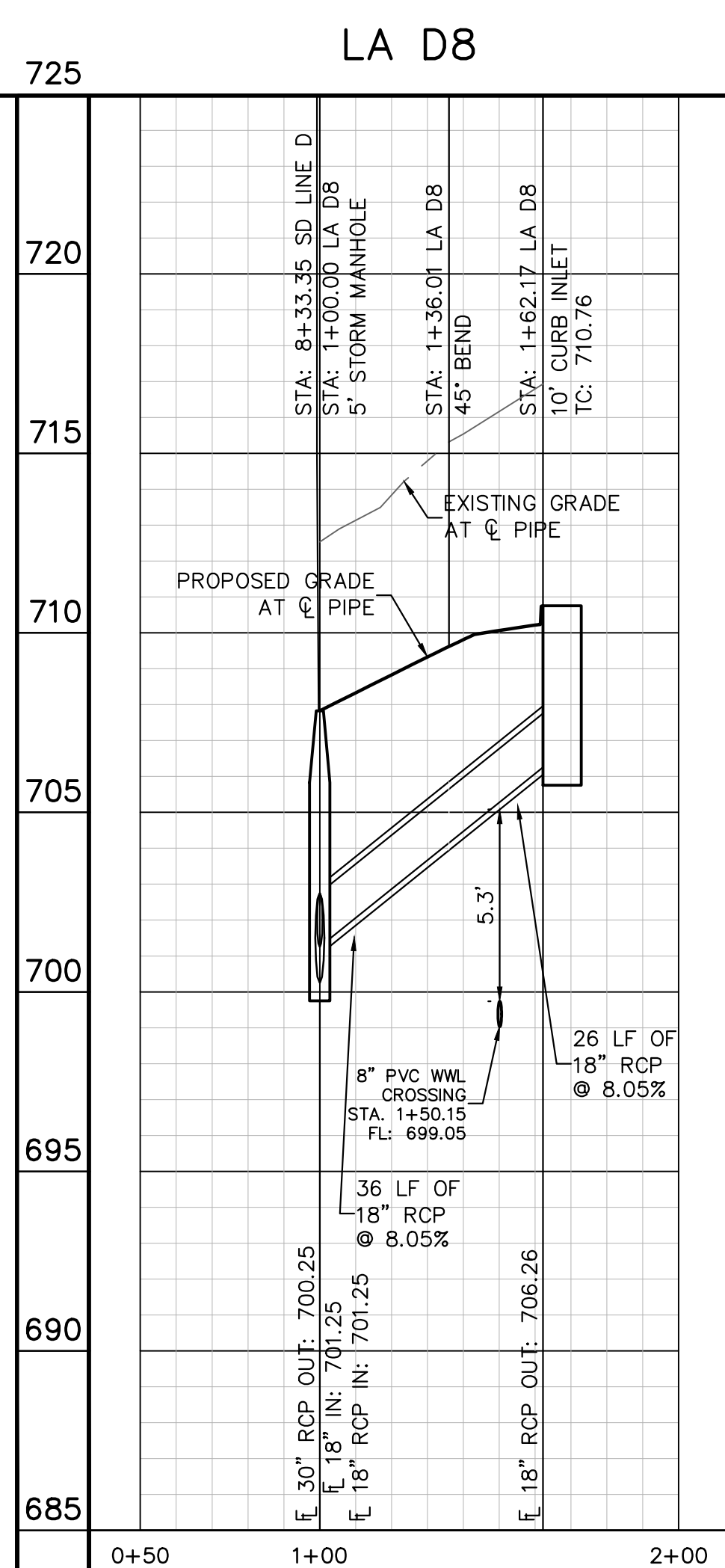
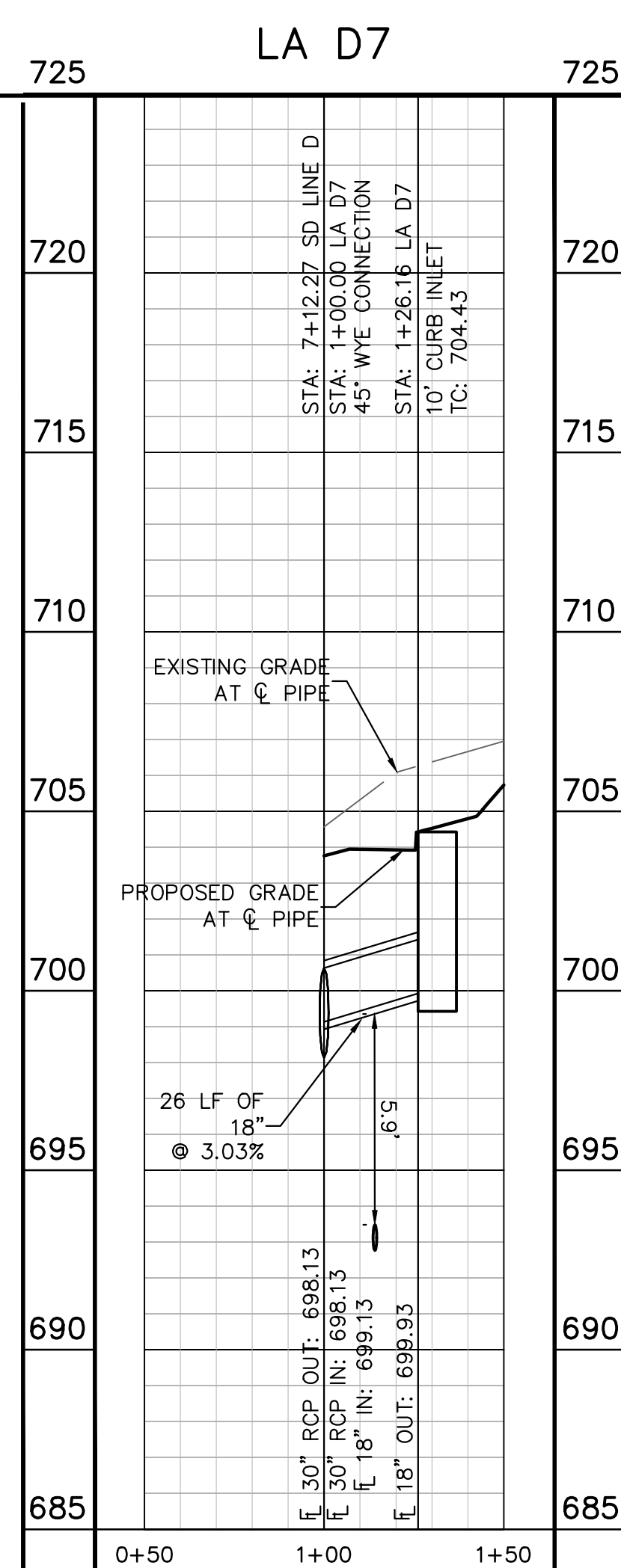
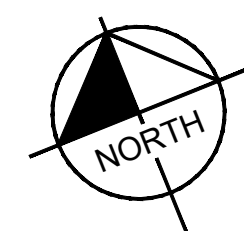
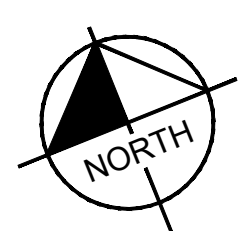
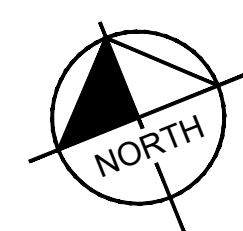


GRAPHIC SCALE IN FEET  
 0 20 40 80

**UTILITY LEGEND**

- PROPERTY LINE
- - - PHASE LINE
- ▭ PROPOSED STORM STRUCTURE
- PROPOSED STORM SEWER LINE
- ⊙ PROPOSED WASTE WATER MANHOLE
- PROPOSED WASTE WATER LINE
- FM PROPOSED WASTE WATER FORCE MAIN
- ⊕ PROPOSED FIRE HYDRANT
- PROPOSED WATER LINE

- NOTES:**
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**811**  
 Know what's below.  
 Call before you dig.

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**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=712.04 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: ZONING N/A

Rev. 1 Correction 1  
 Rev. 2 Correction 2  
 Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

STORM LATERAL  
 PLAN & PROFILE -  
 D7 D8 & D9

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

**Kimley-Horn**  
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 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

07/17/2023

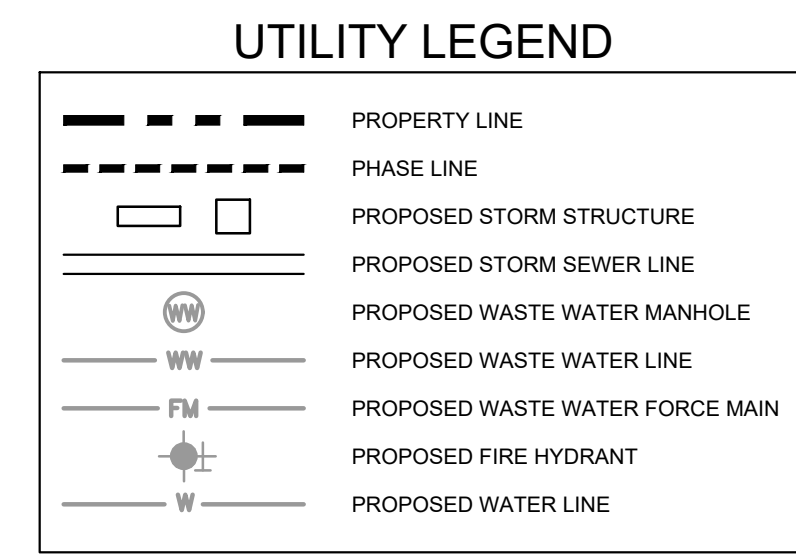
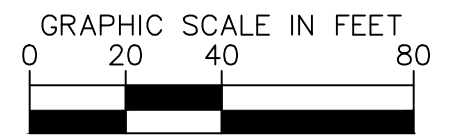
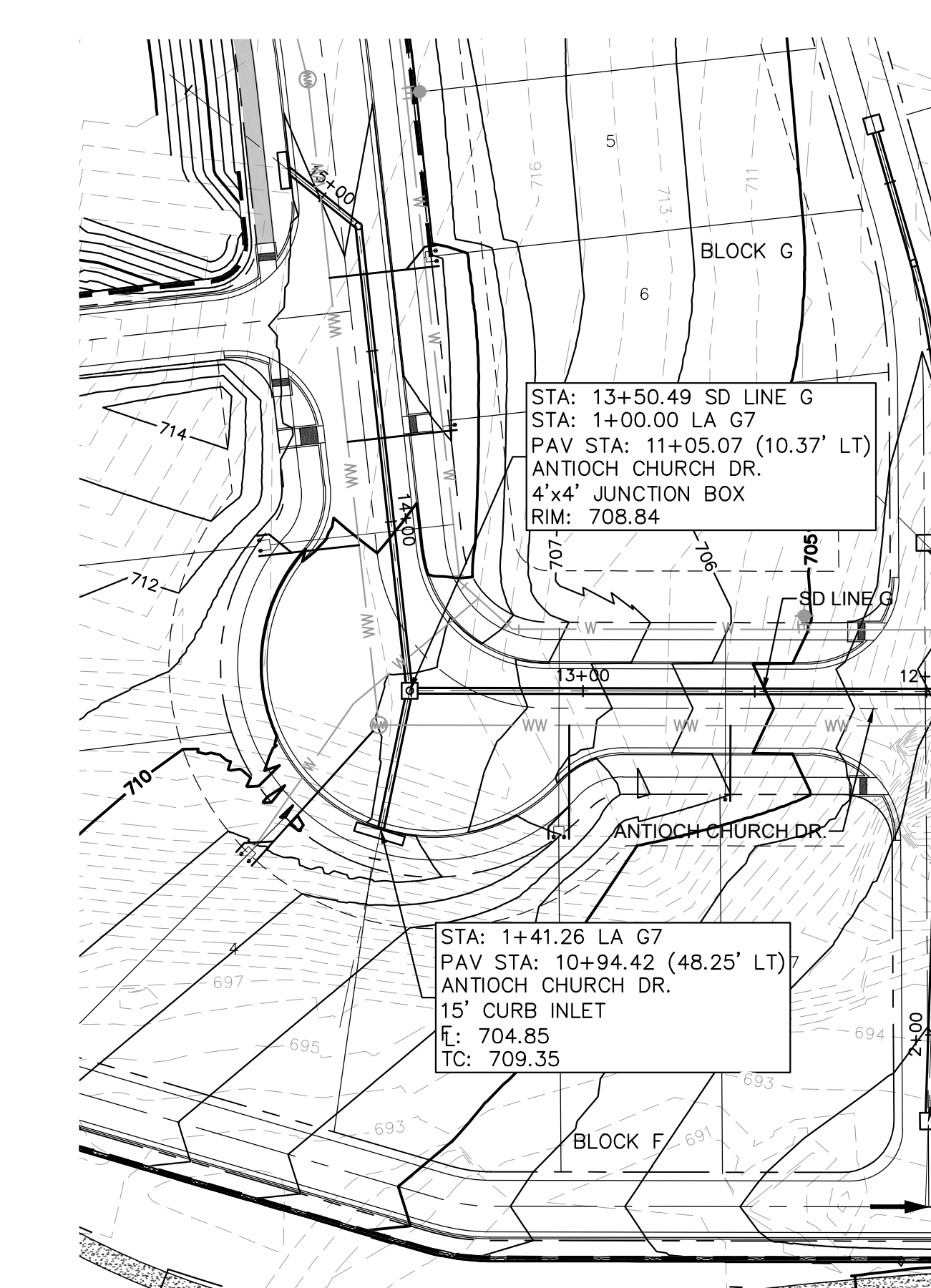
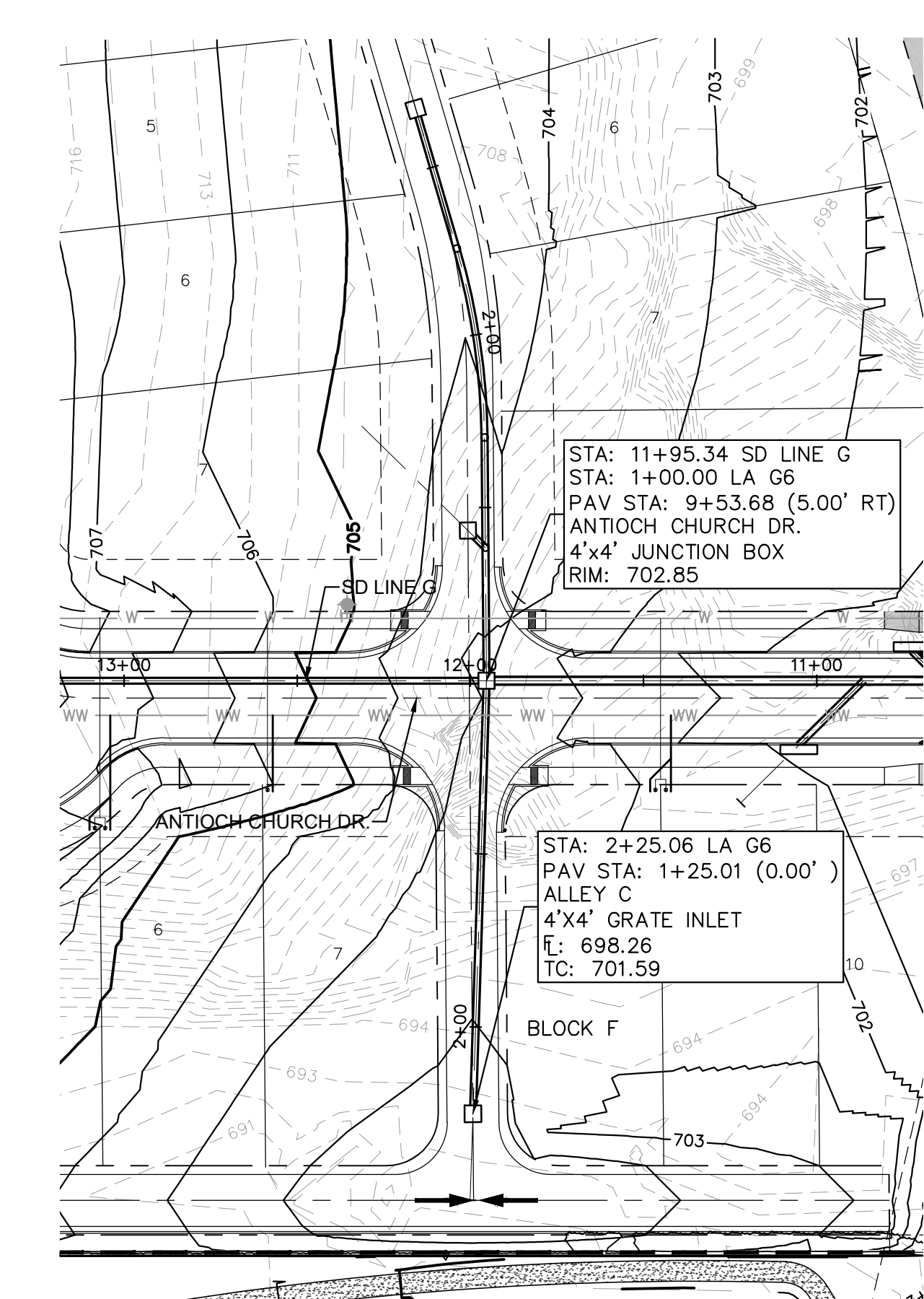
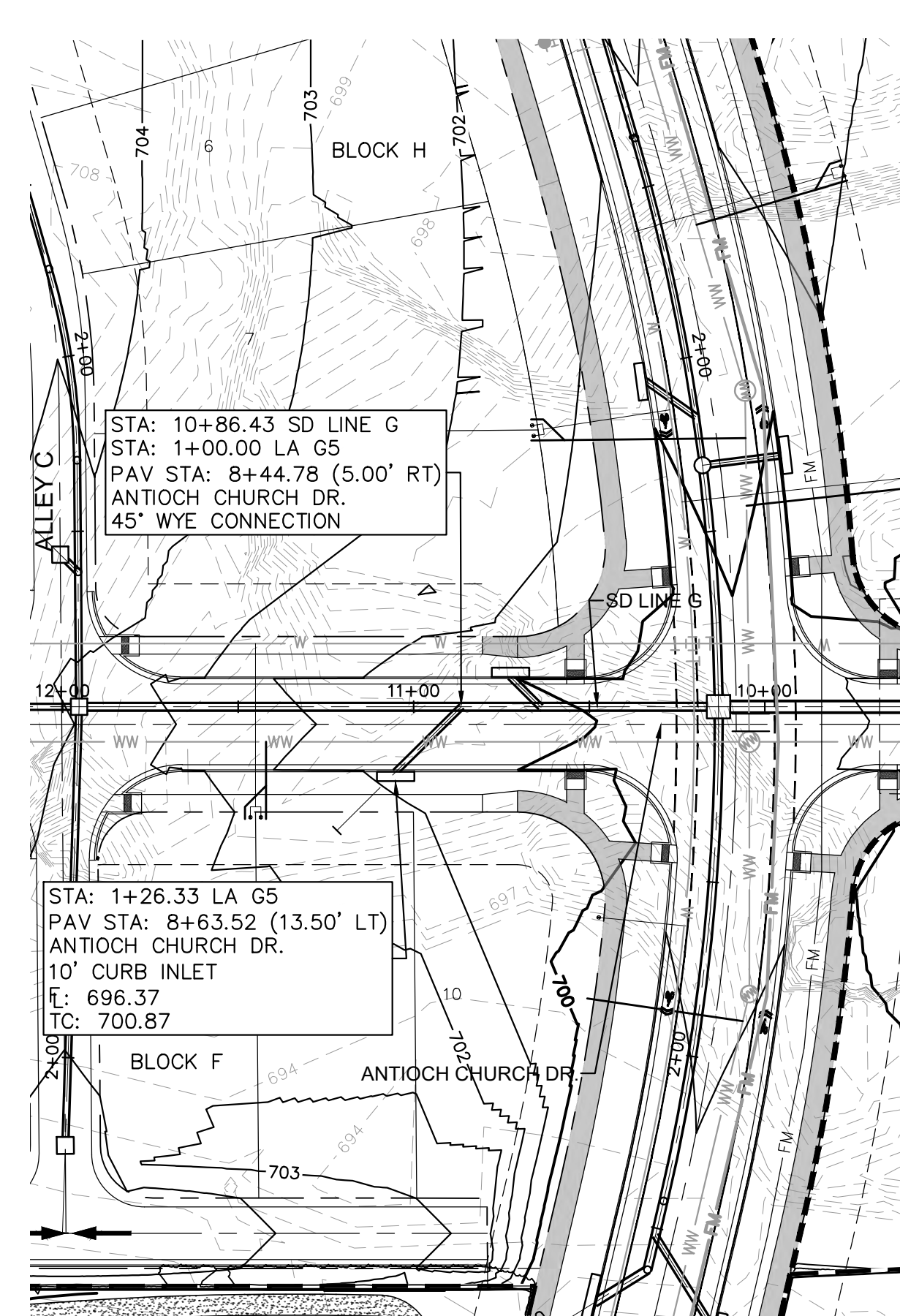
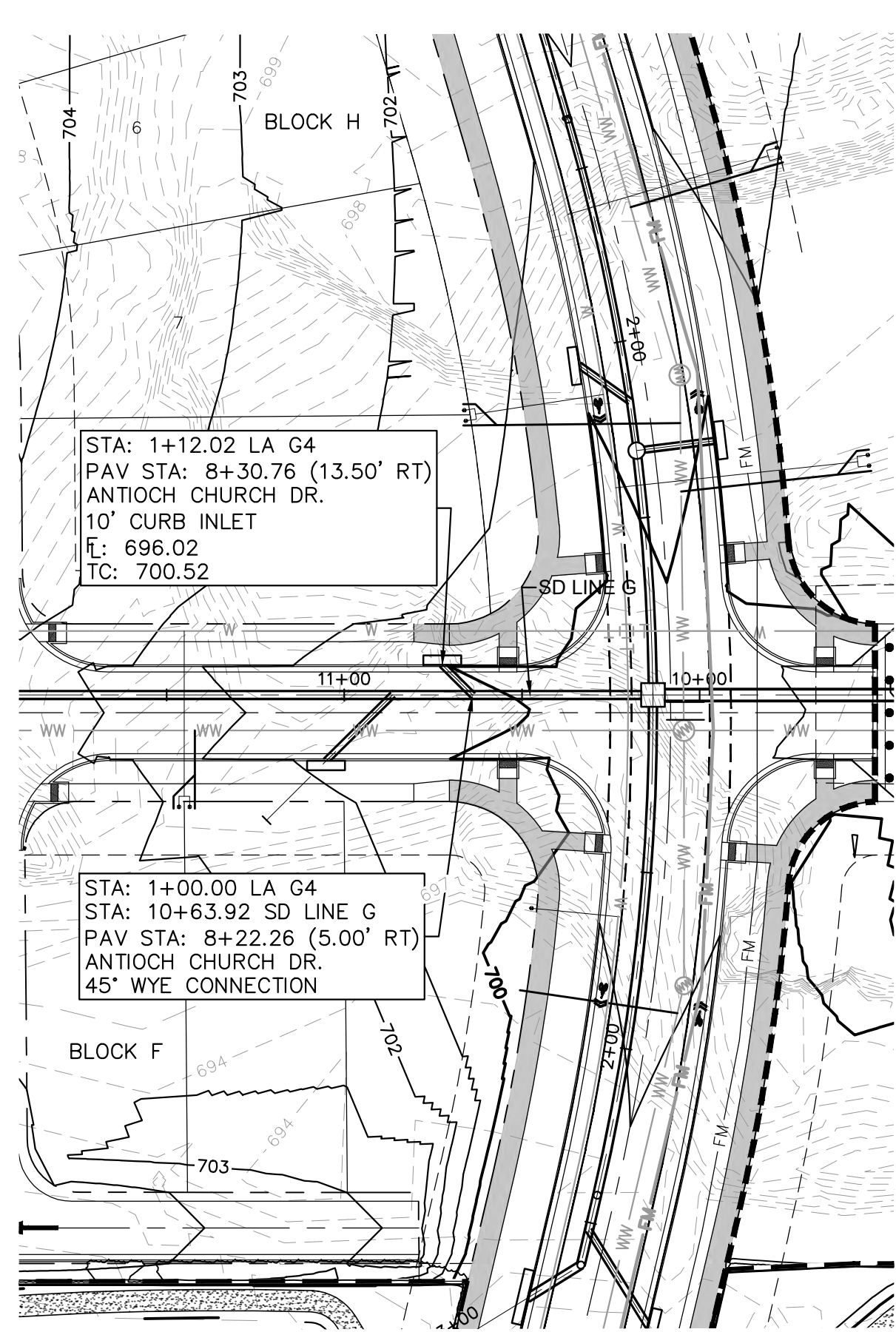
STATE OF TEXAS  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13008  
 Aljank E. Rios-Liu

KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

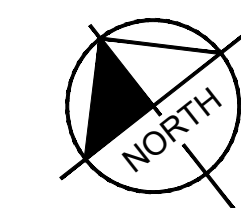
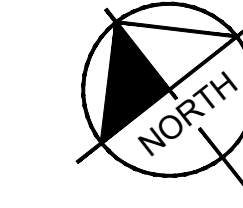
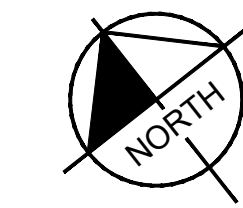
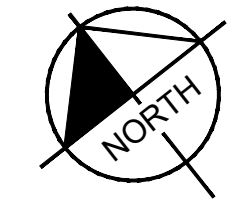
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 NO. DATE BY



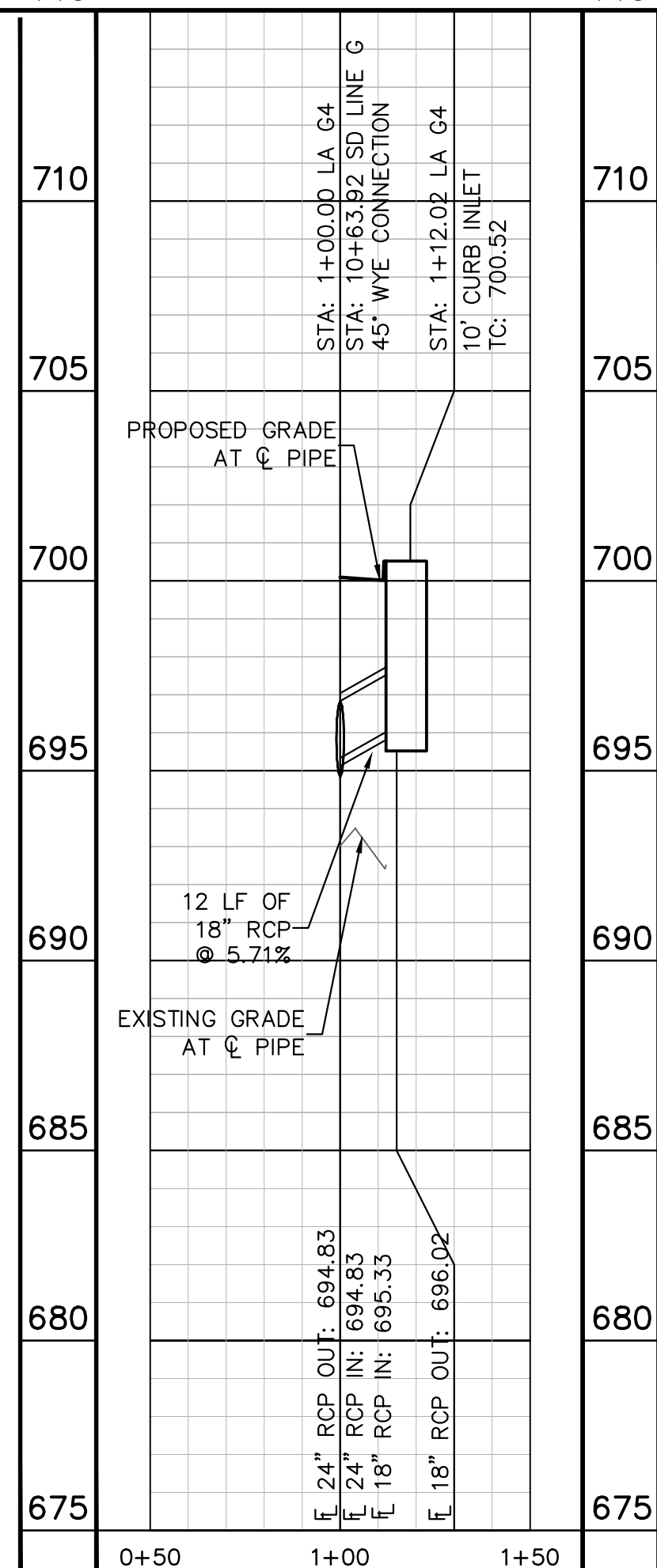
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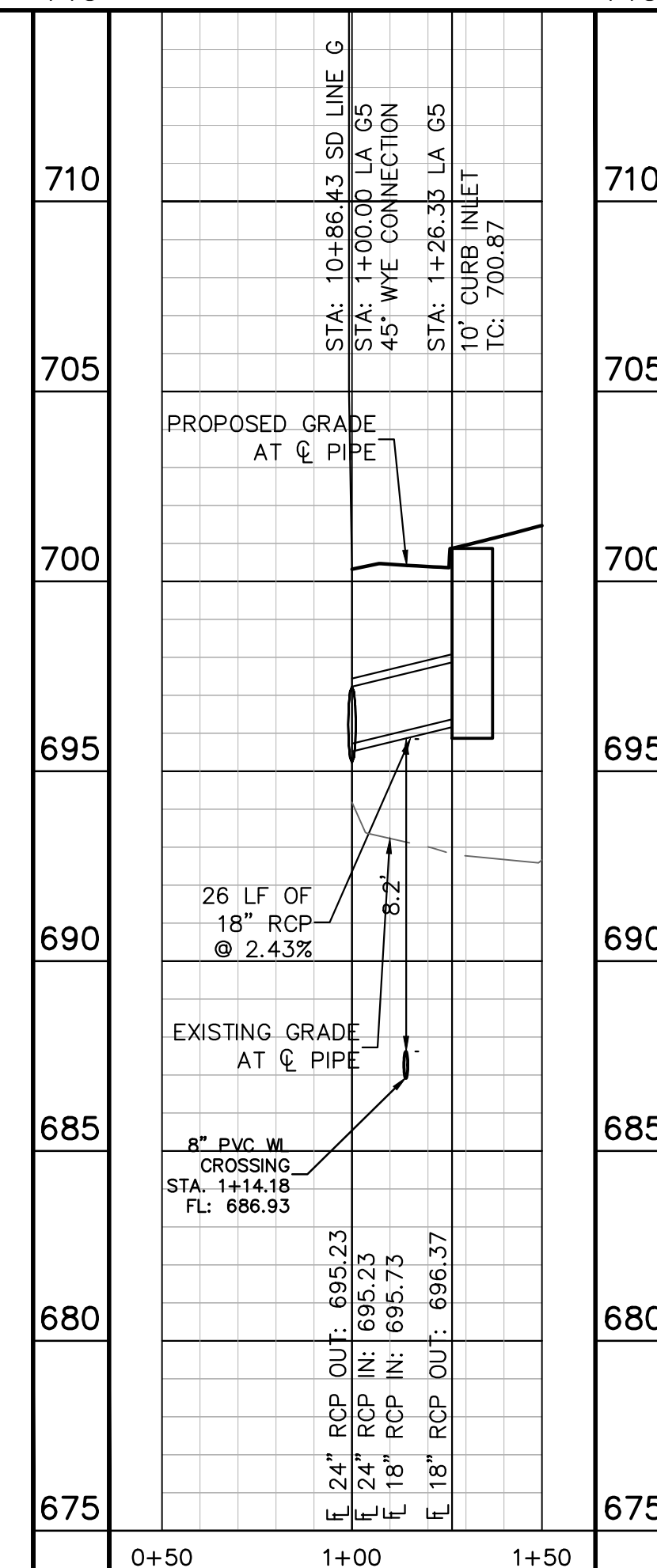
- NOTES:
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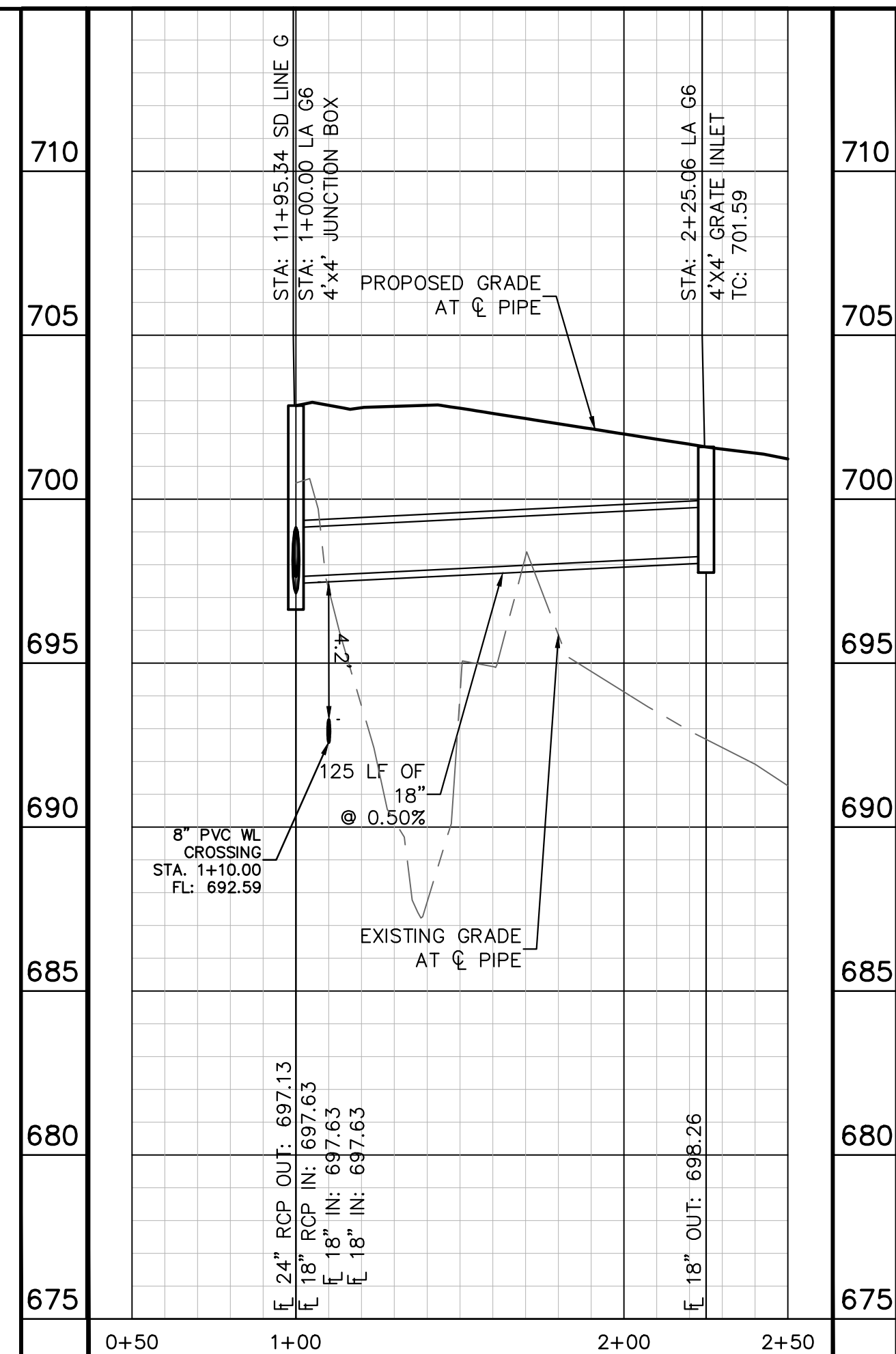
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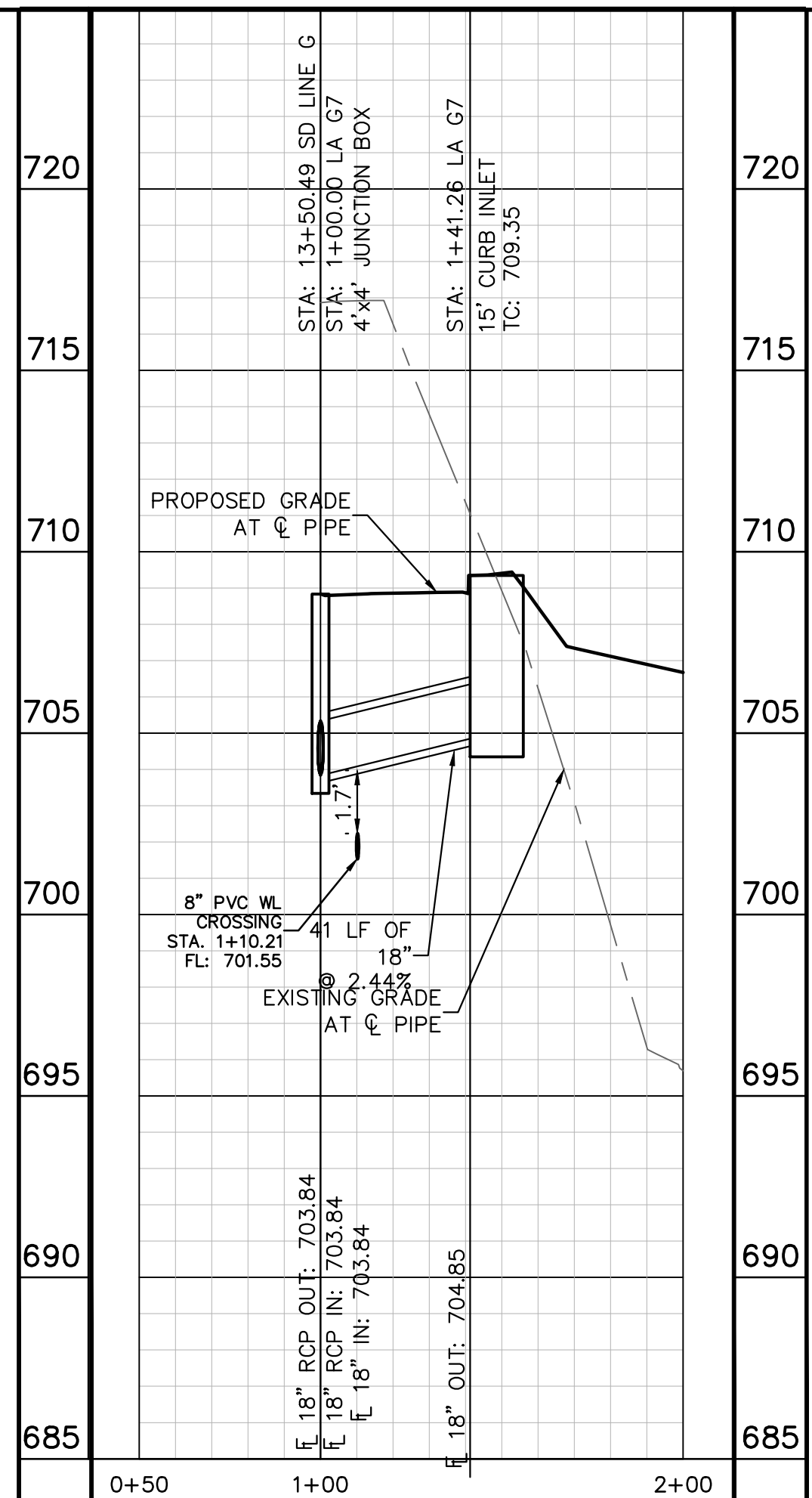
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725 LA G7 725



**811**  
 Know what's below.  
 Call before you dig.

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 1" = 4' VERTICAL

BENCHMARKS

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
 FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: ZONING N/A

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PERMIT NUMBER: 2021-737

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 TBPE Firm No. 928

07/17/2023

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

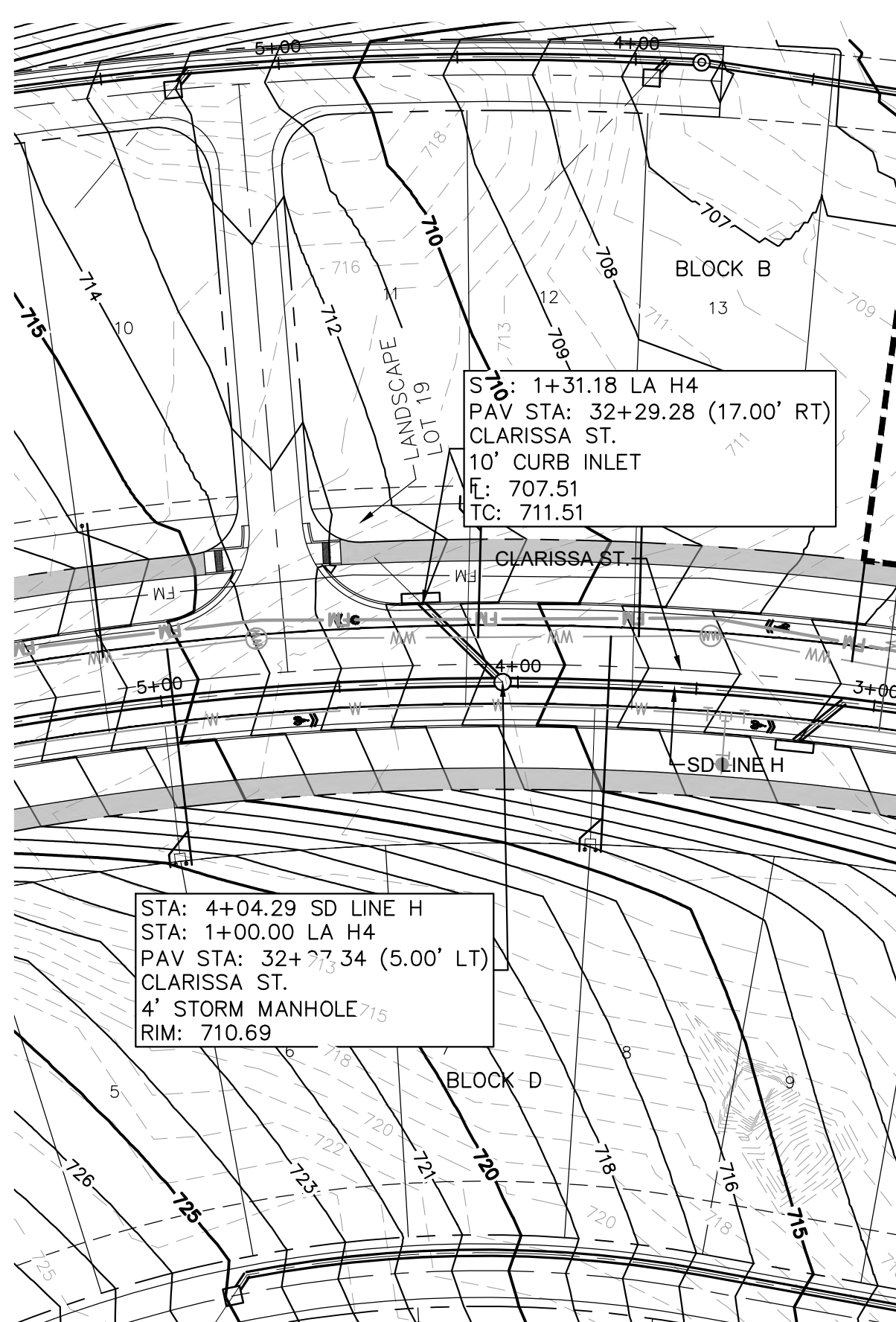
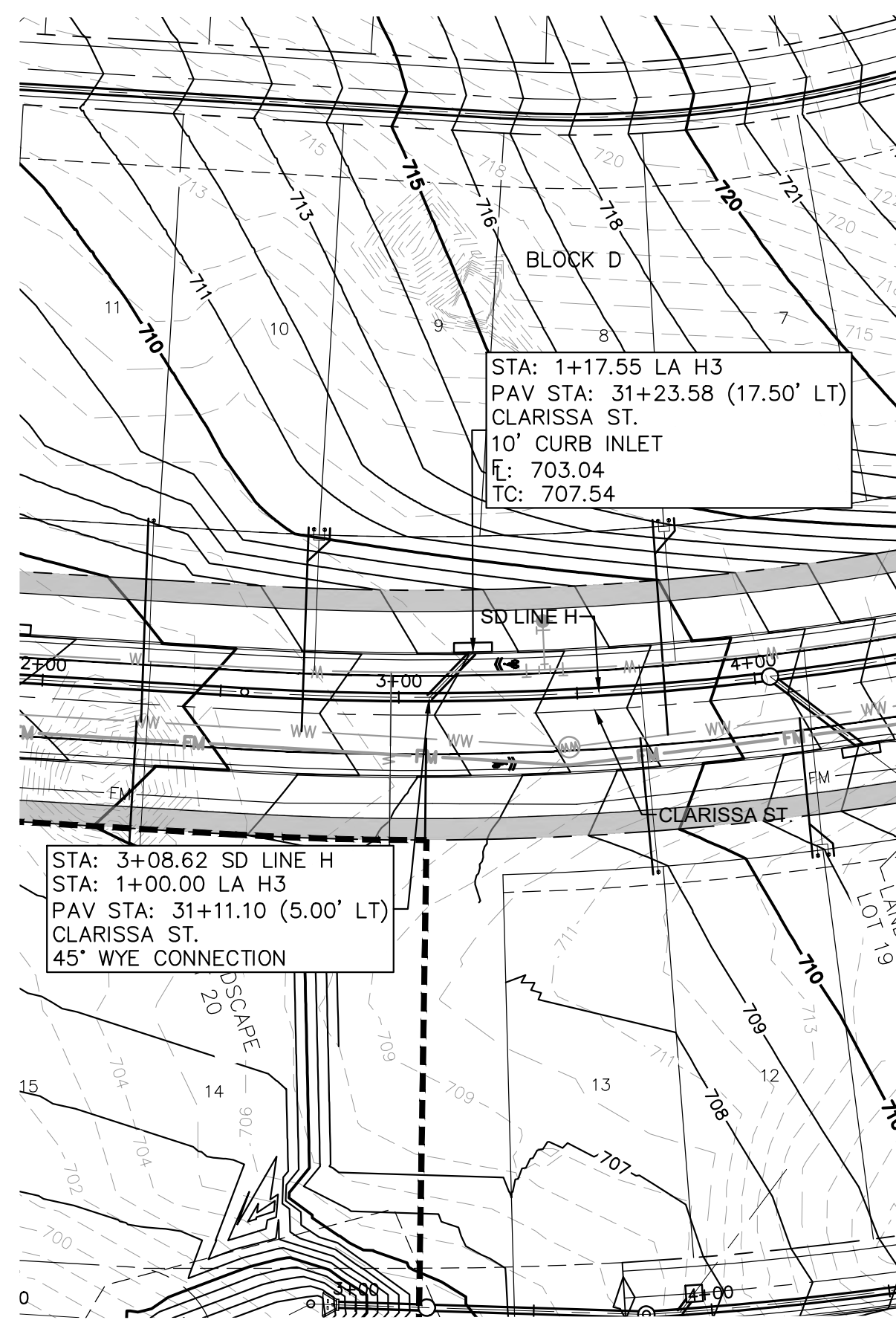
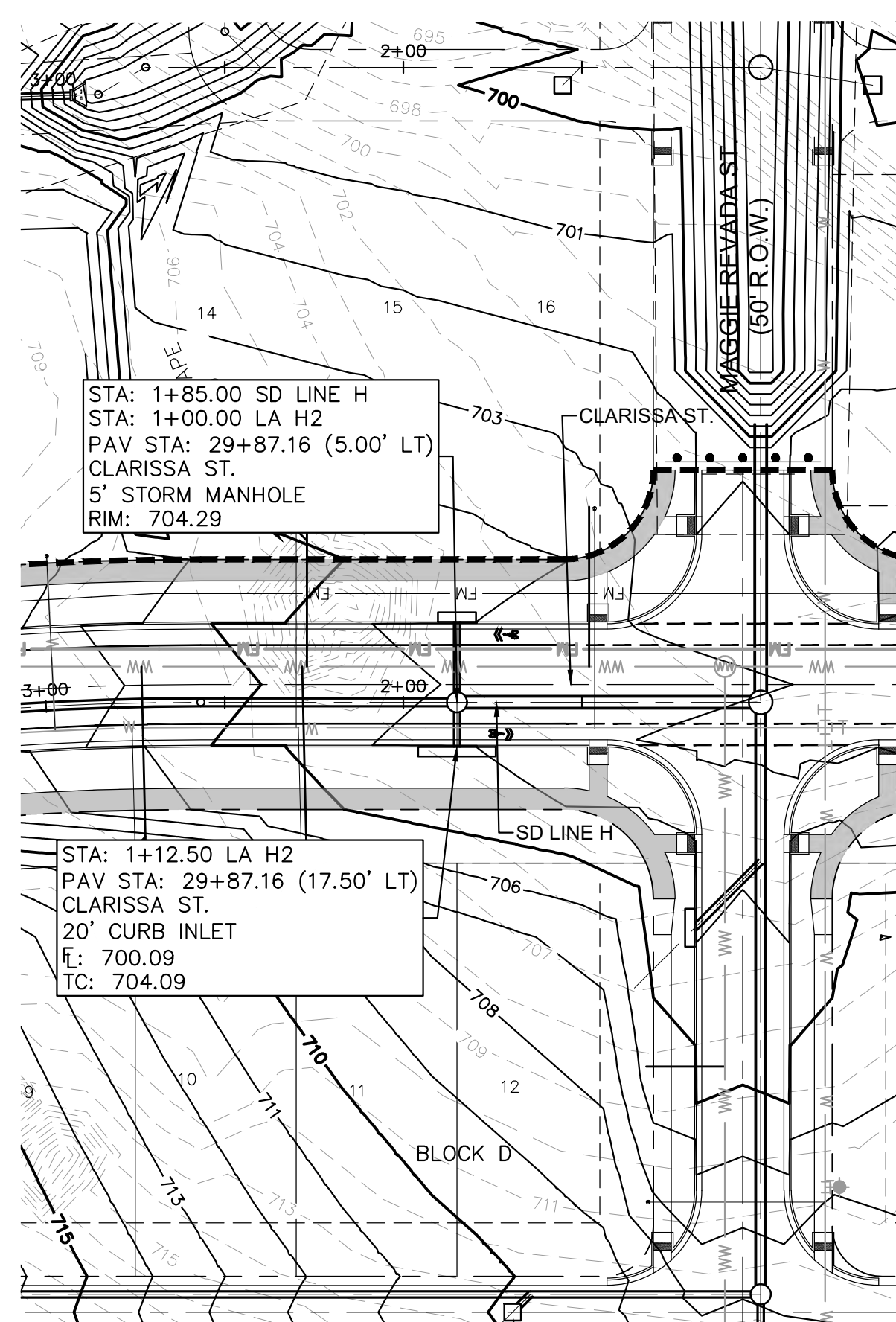
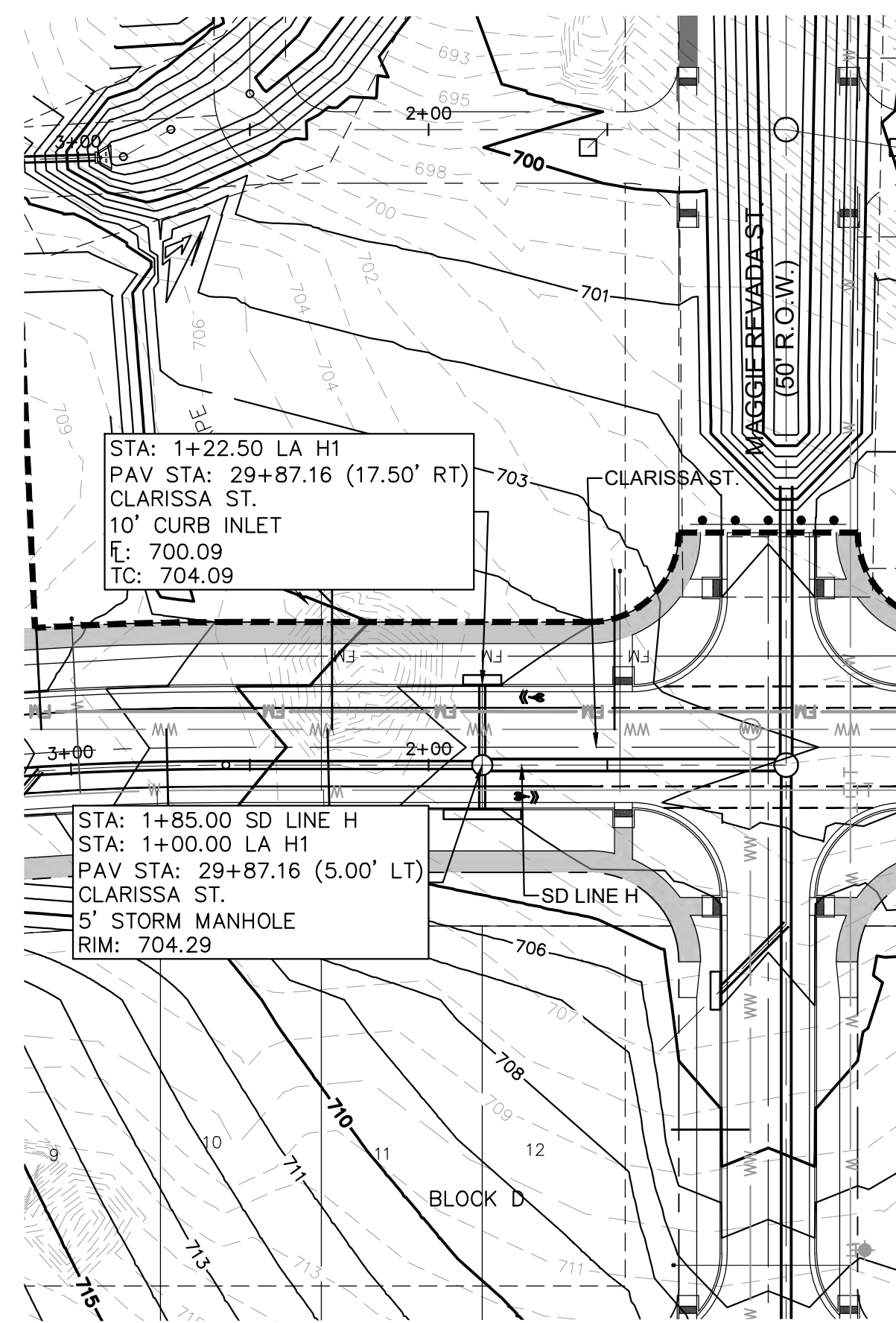
**STORM LATERAL PLAN & PROFILE - G4 G5 G6 & G7**

SHEET NUMBER  
**138**  
 OF 226

KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

REVISIONS  
 NO. DATE BY

Plotted by: Barry Kirby Date: July 17, 2023 11:20:11am File Path: K:\SAU\_Civil\067783115 Heritage Buda Assemblage\Cad\PlanSheets\C-Storm Laterals H & I.dwg  
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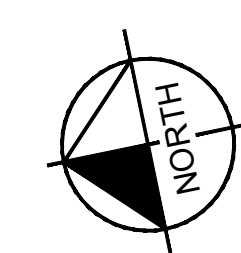
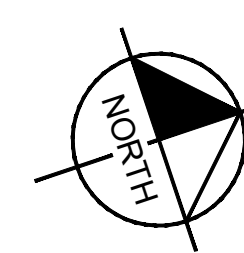
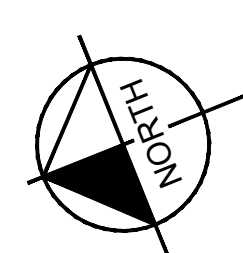
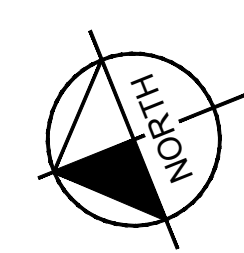


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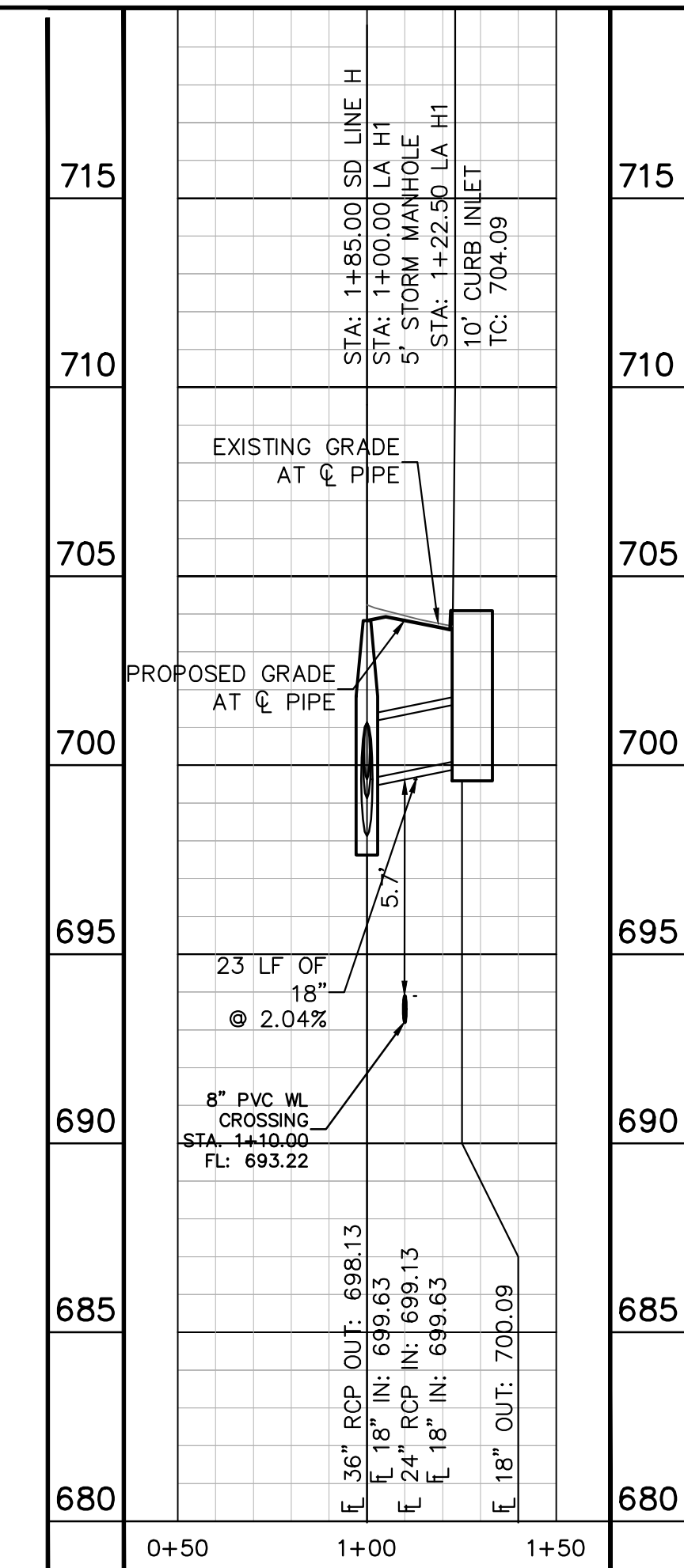
**UTILITY LEGEND**

- PROPERTY LINE
- PHASE LINE
- PROPOSED STORM STRUCTURE
- PROPOSED STORM SEWER LINE
- PROPOSED WASTE WATER MANHOLE
- PROPOSED WASTE WATER LINE
- PROPOSED WASTE WATER FORCE MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LINE

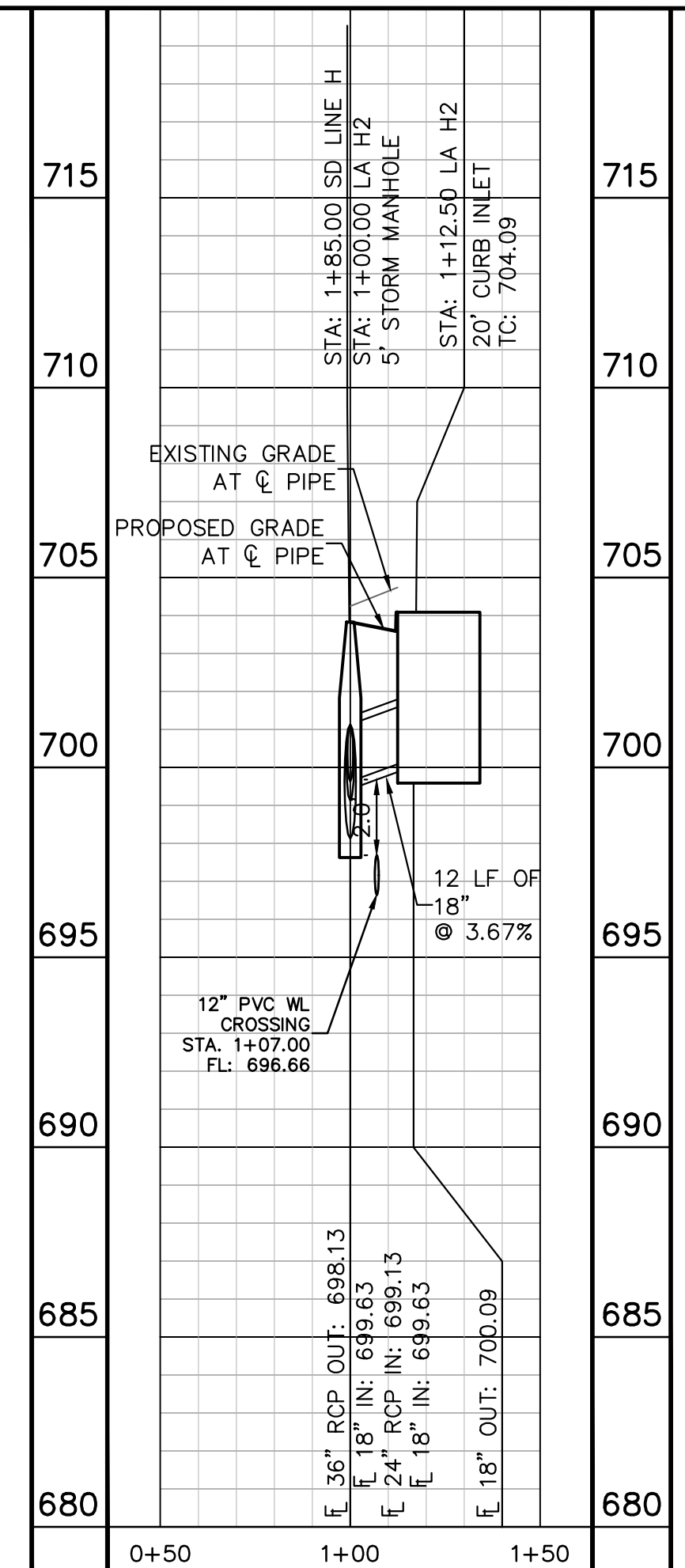
- NOTES:
- ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.
  - FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.



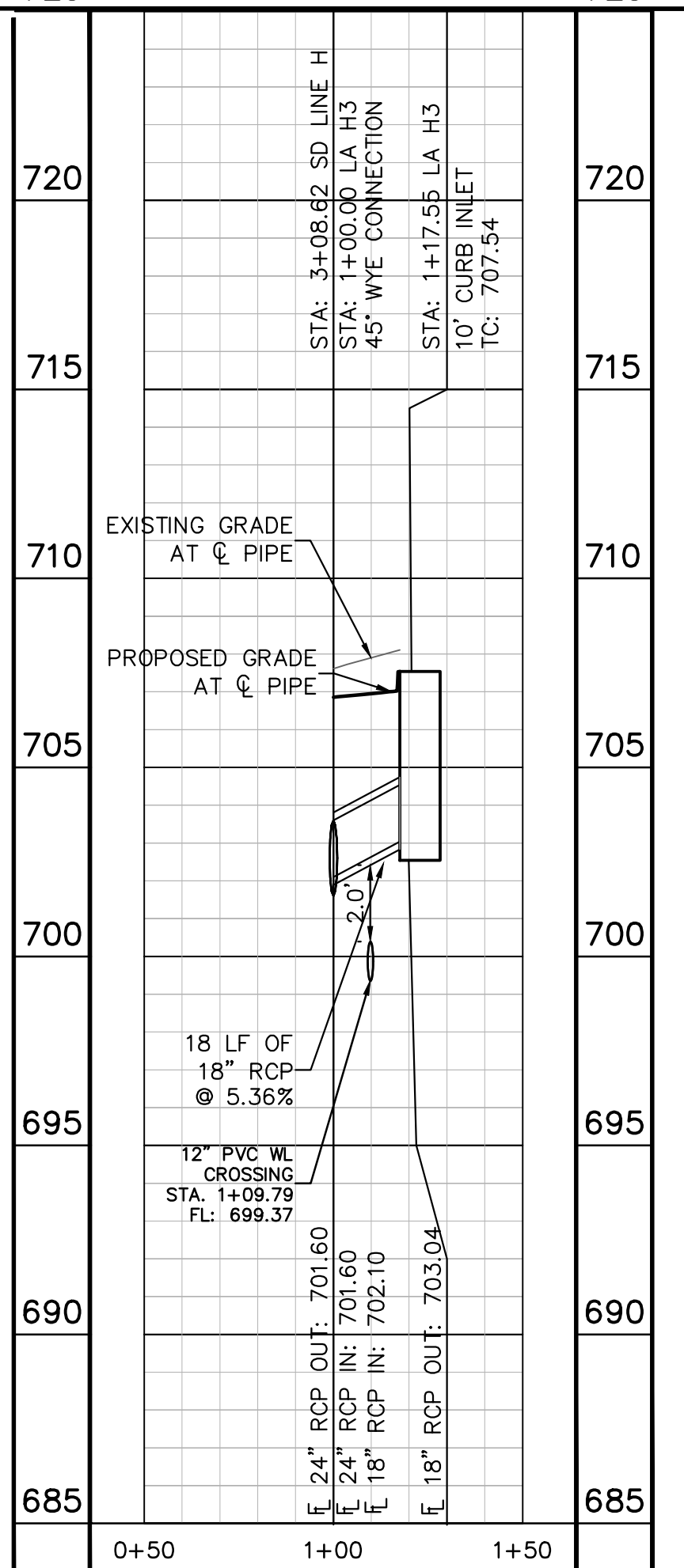
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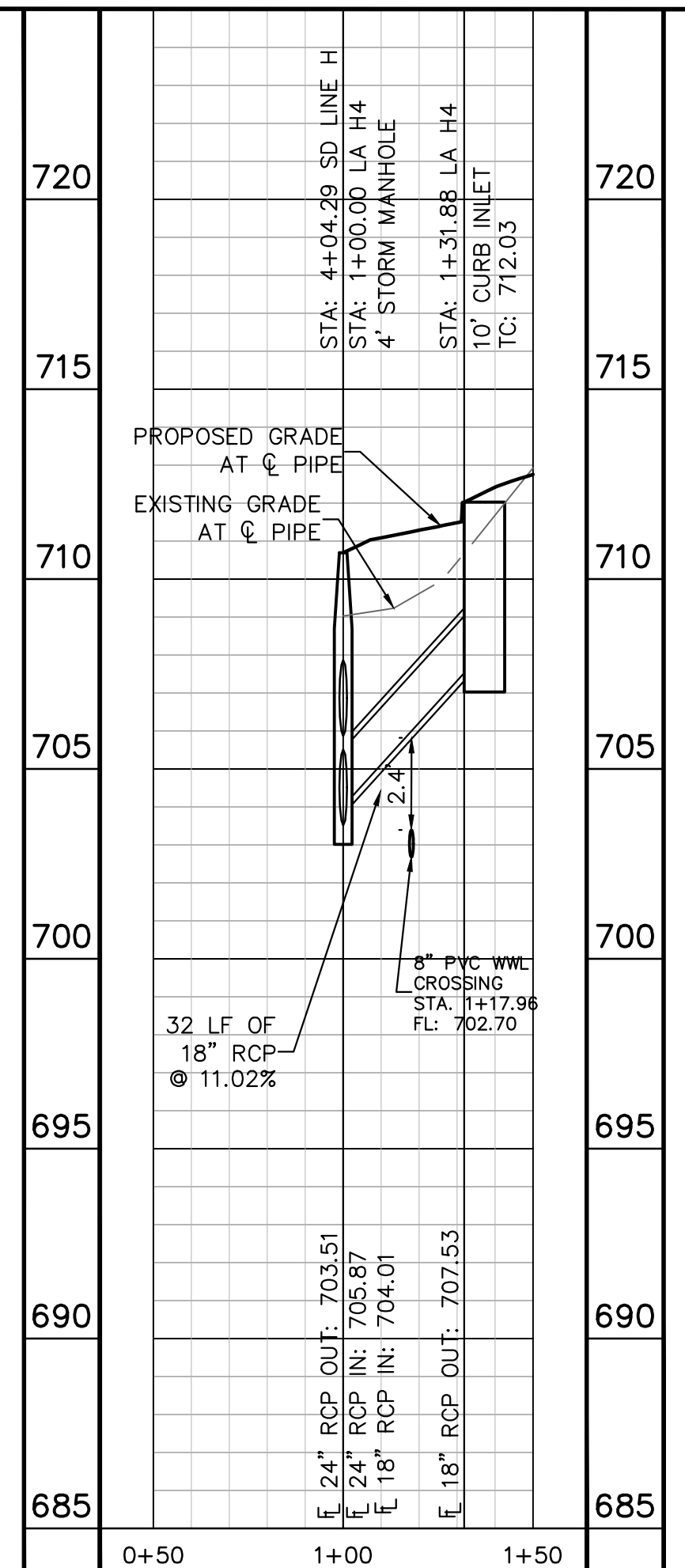
720 LA H2 720



725 LA H3 725



725 LA H4 725



**811**  
 Know what's below.  
 Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=702.07 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW ON THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=702.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
 FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A  
 Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

STORM LATERAL  
 PLAN & PROFILE -  
 H1 H2 H3 & H4

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
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 AUSTIN, TX 78745-5377  
 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

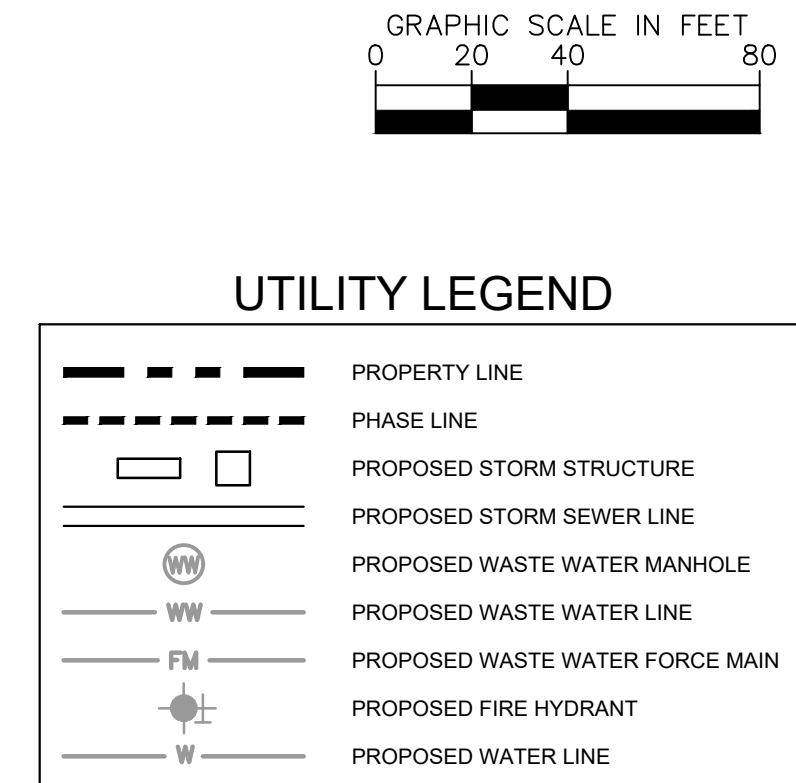
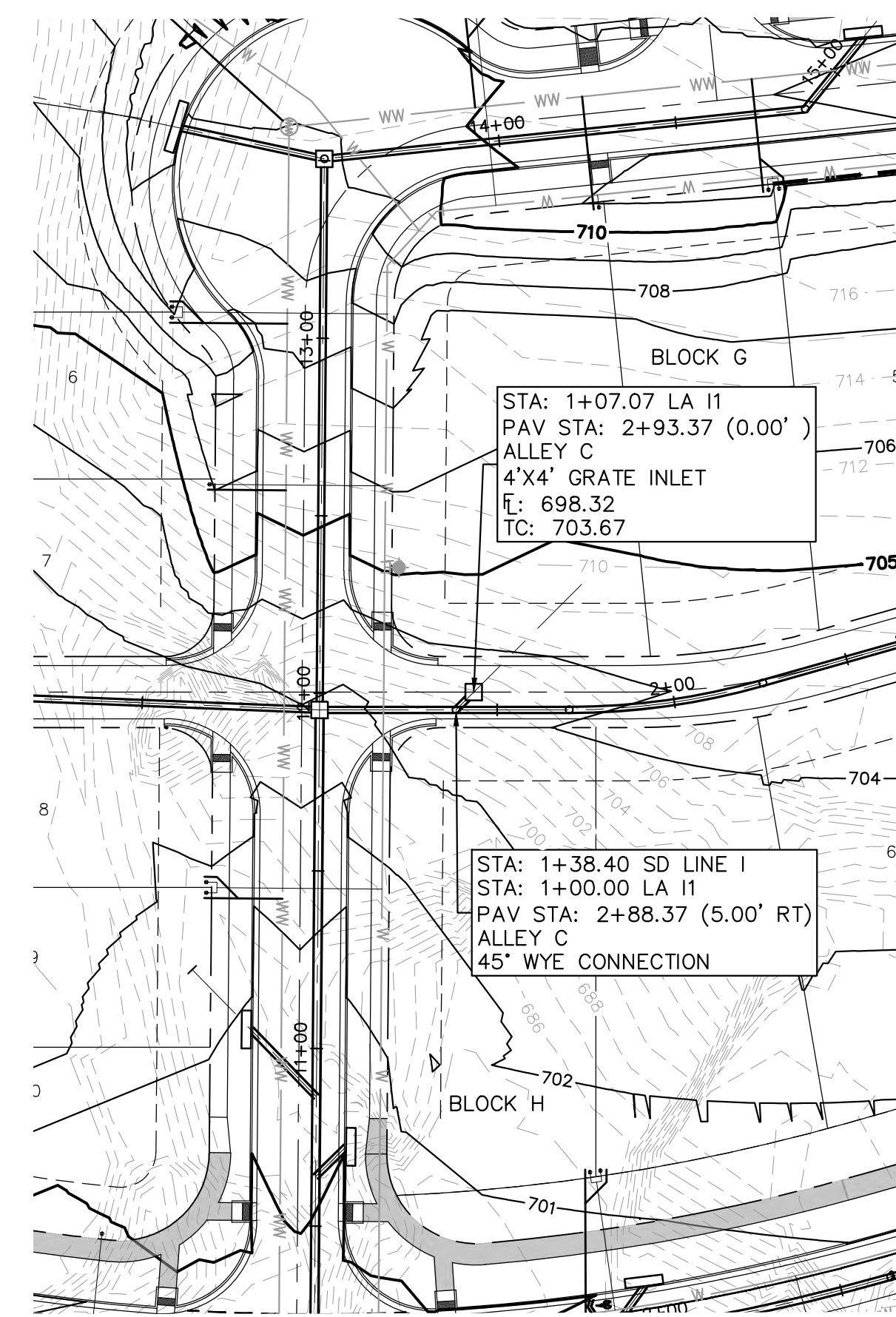
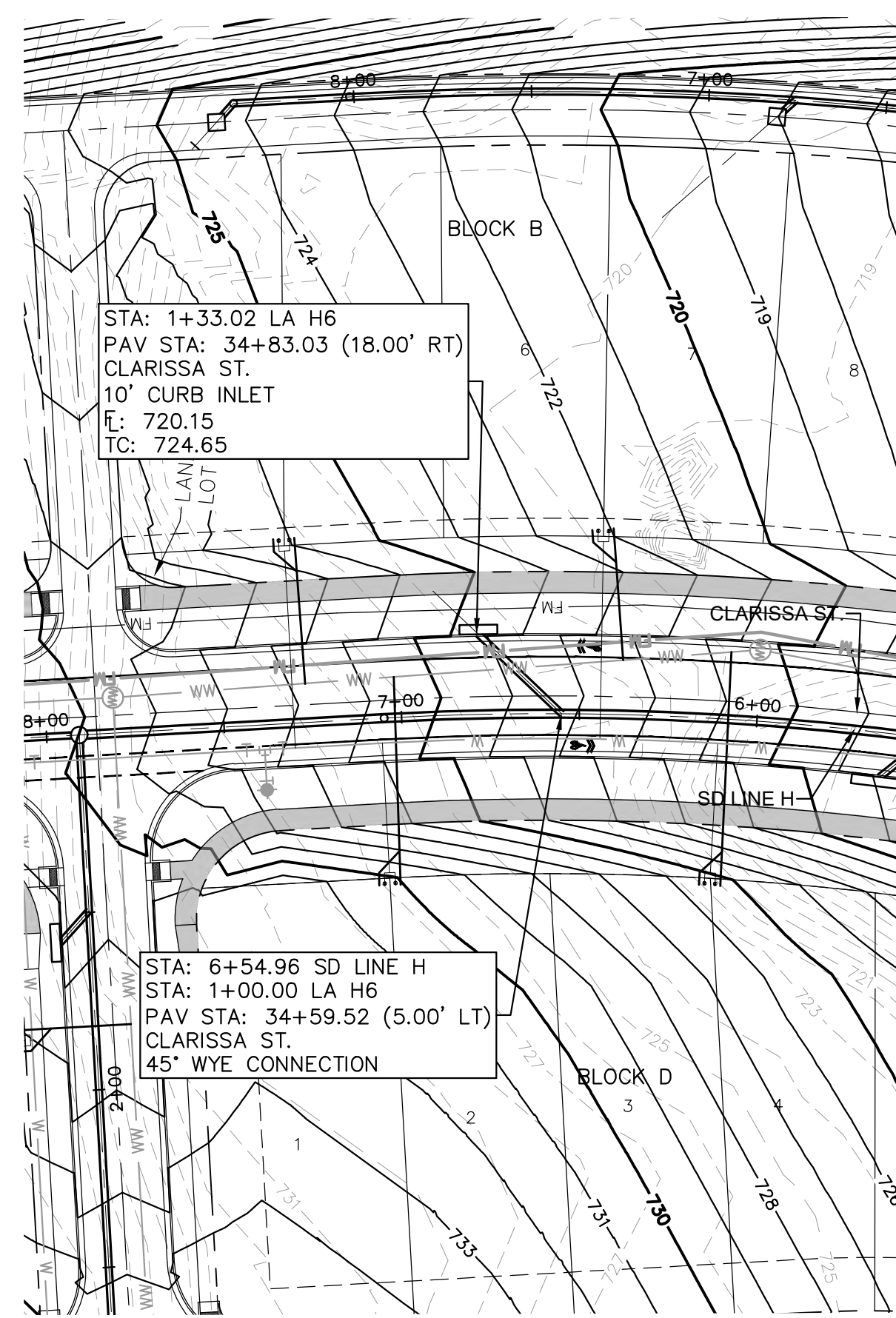
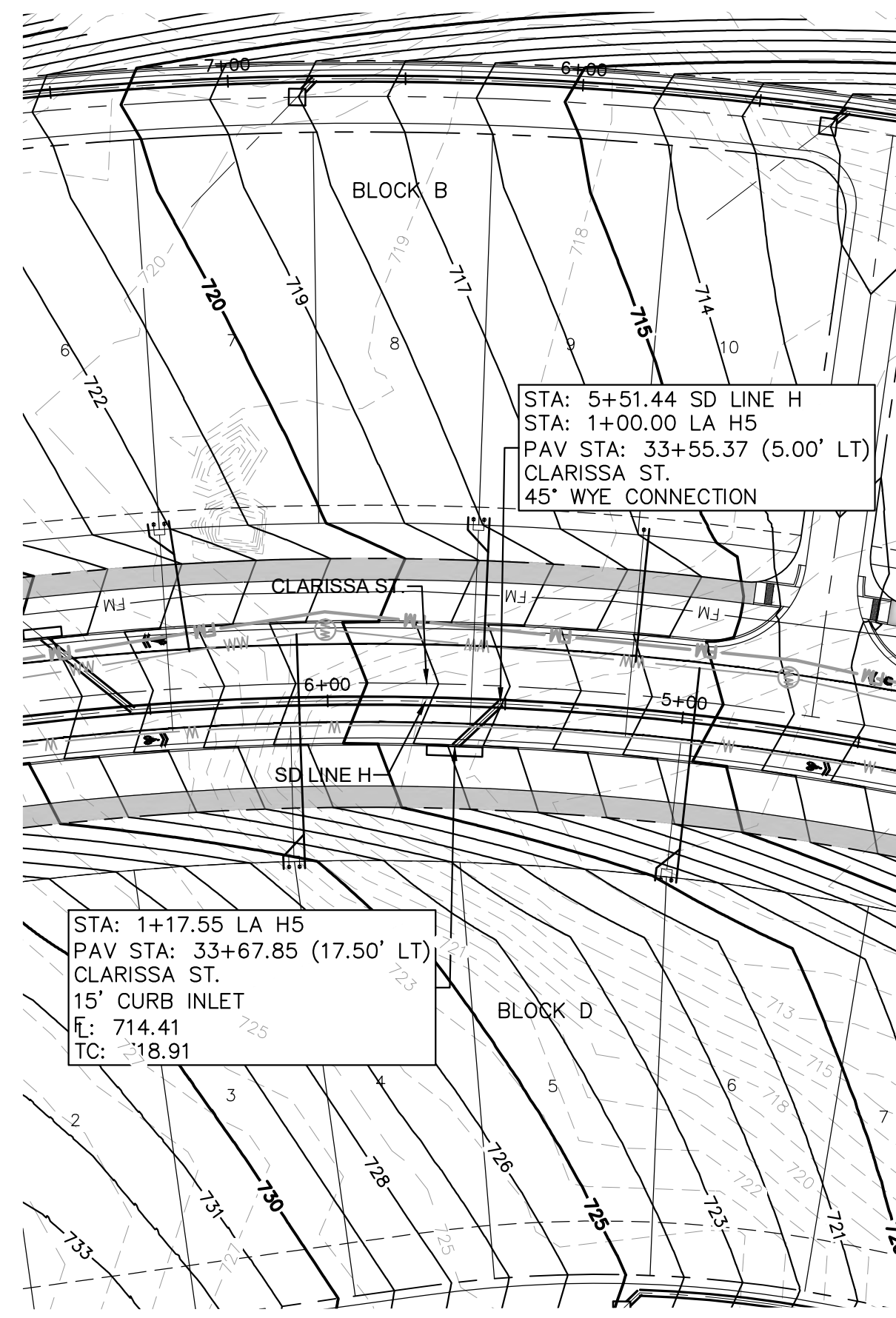
07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 13008  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13008

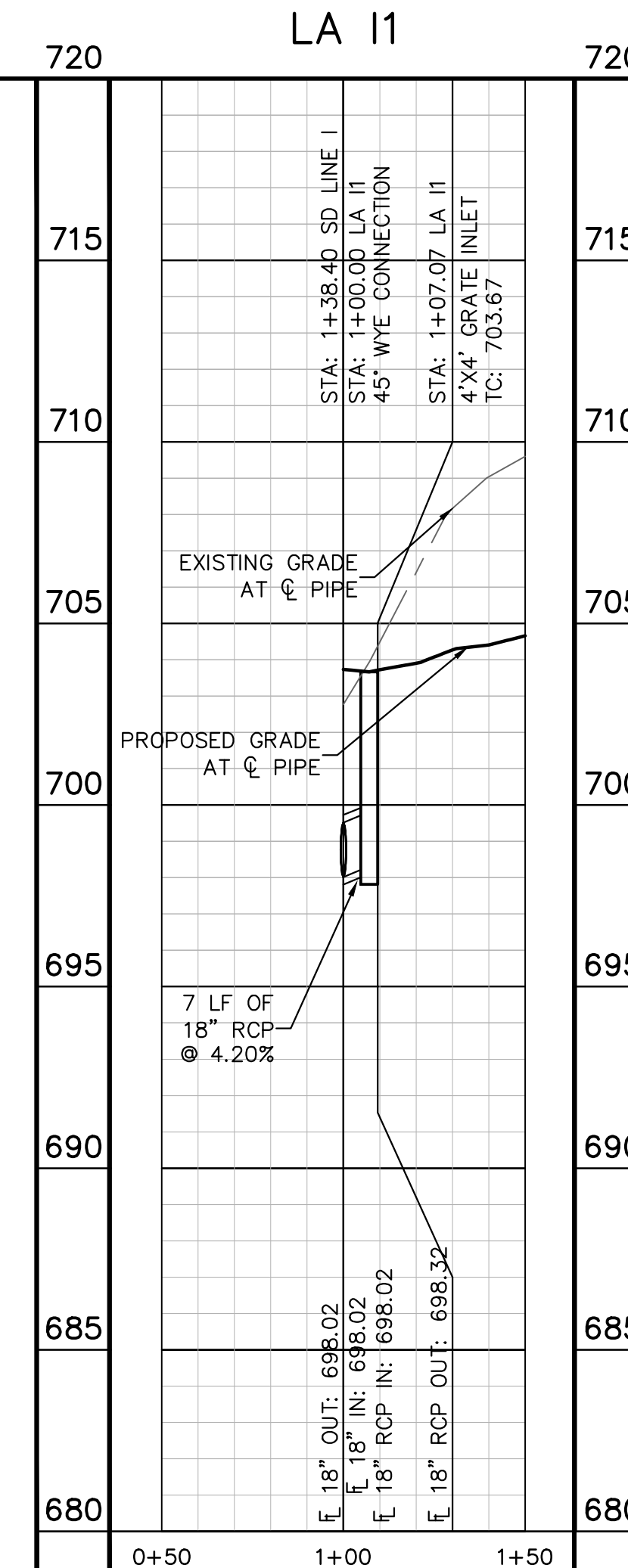
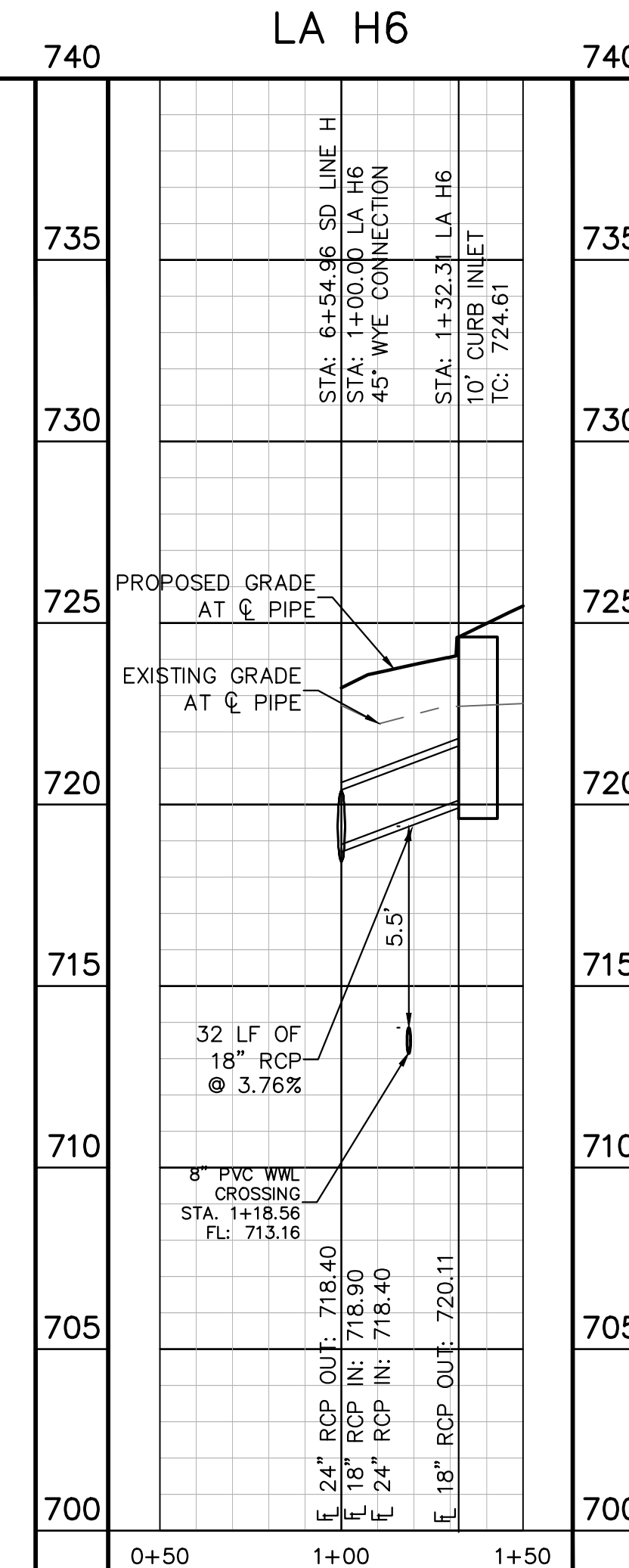
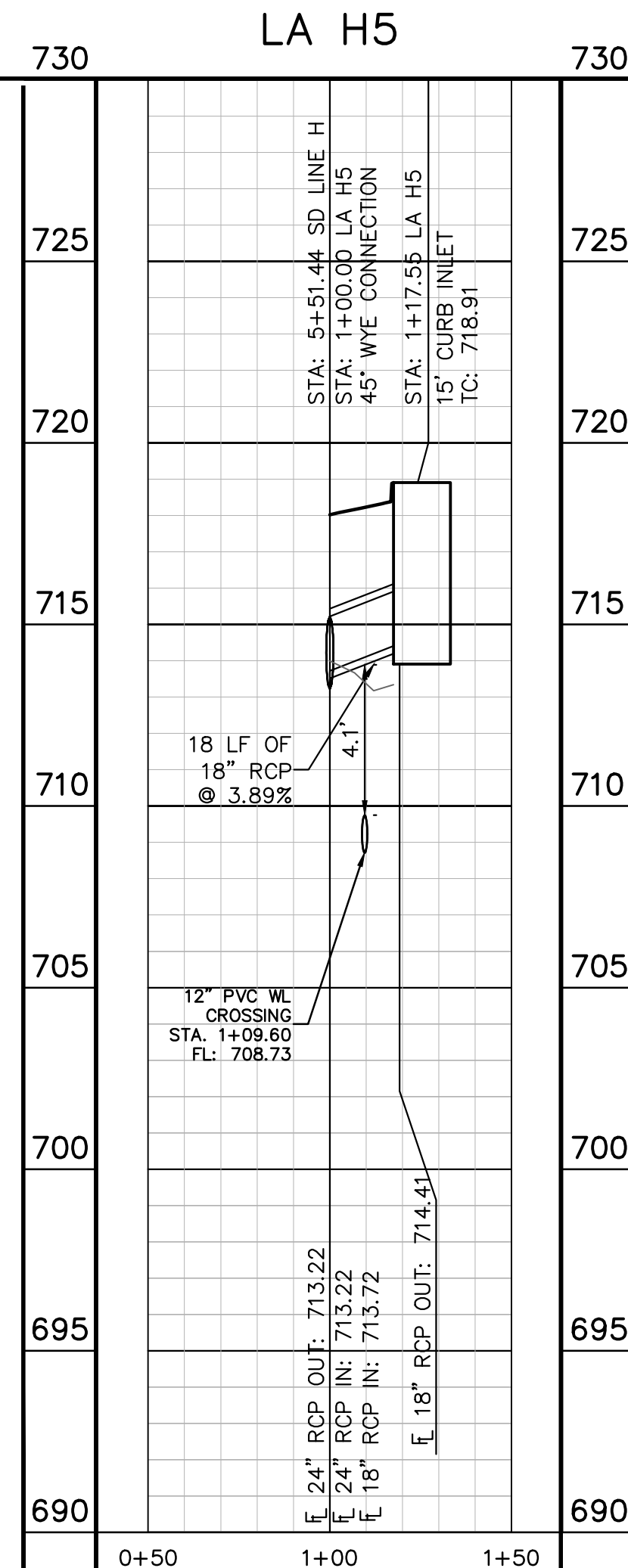
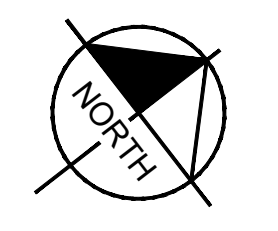
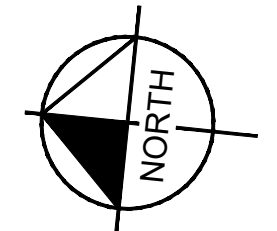
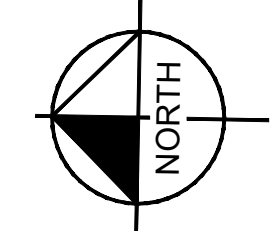
Aljank E. Granados-Rico

KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

Plotted by: Berry, Kirby Date: July 17, 2023 11:21:24am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\Storm Laterals H & I.dwg  
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  - FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.



**811**  
 Know what's below.  
 Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #102 1/4" PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=718.91 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)

BM #106 1/4" PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 PH: 512.444.4444  
 WWW.KIMLEY-HORN.COM  
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07/17/2023

**ALJAMARO E. GRANADOS RICO**  
 13008  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13008  
 ALJAMARO E. GRANADOS RICO

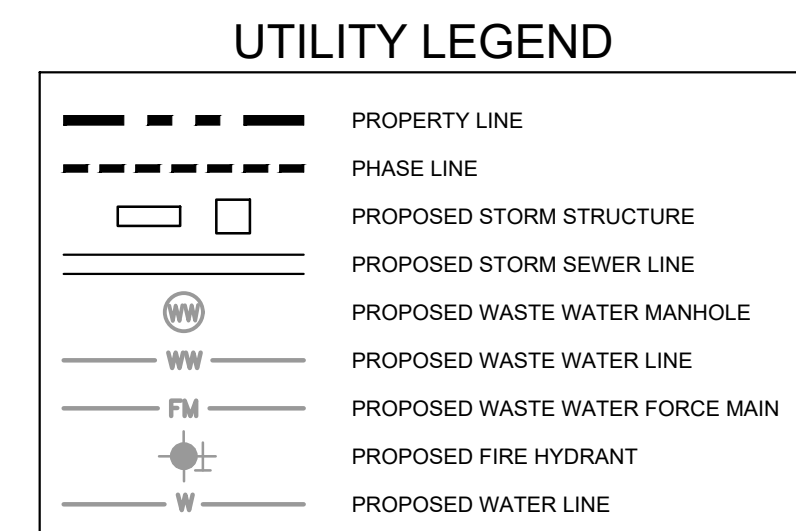
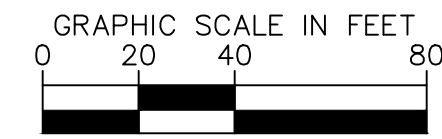
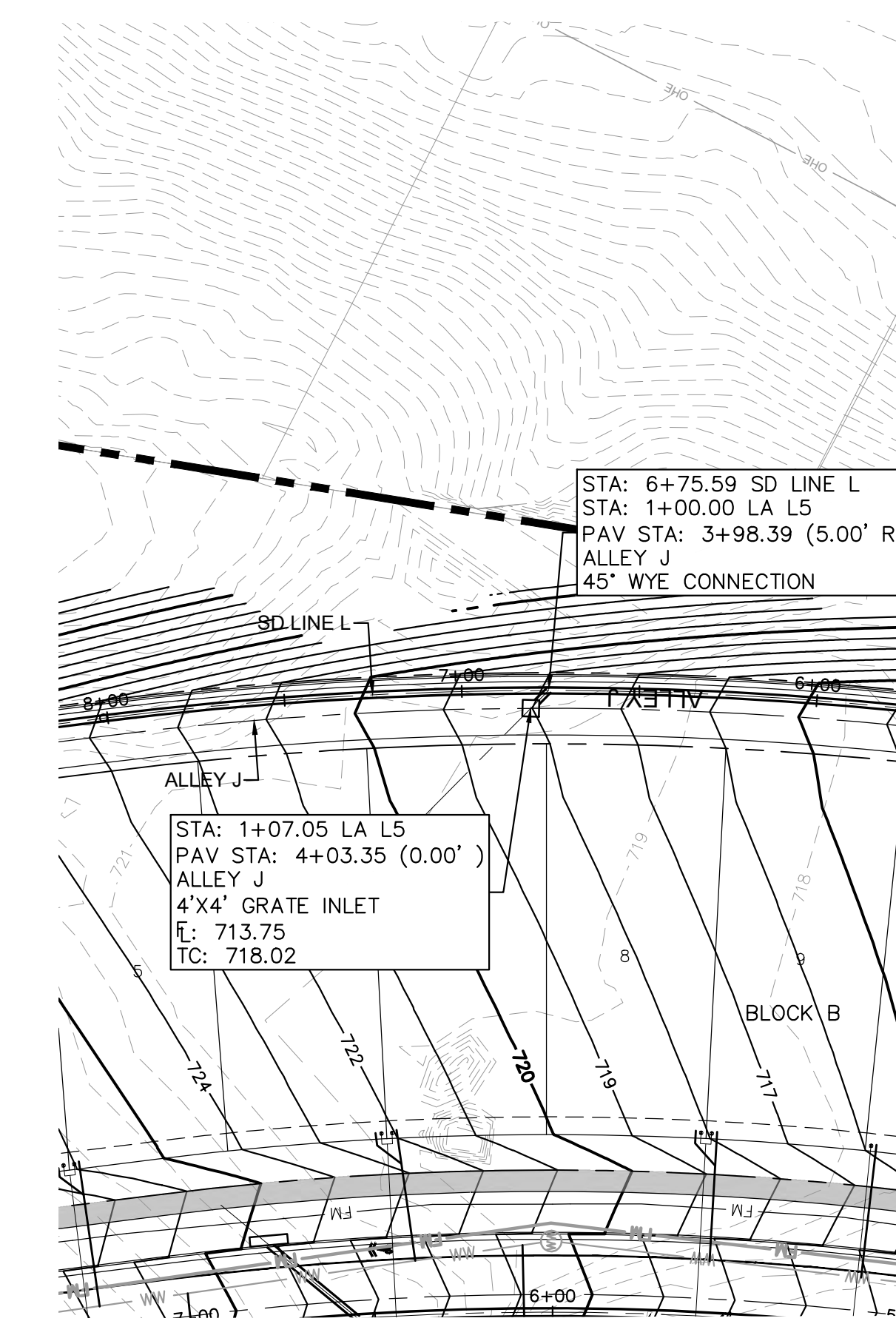
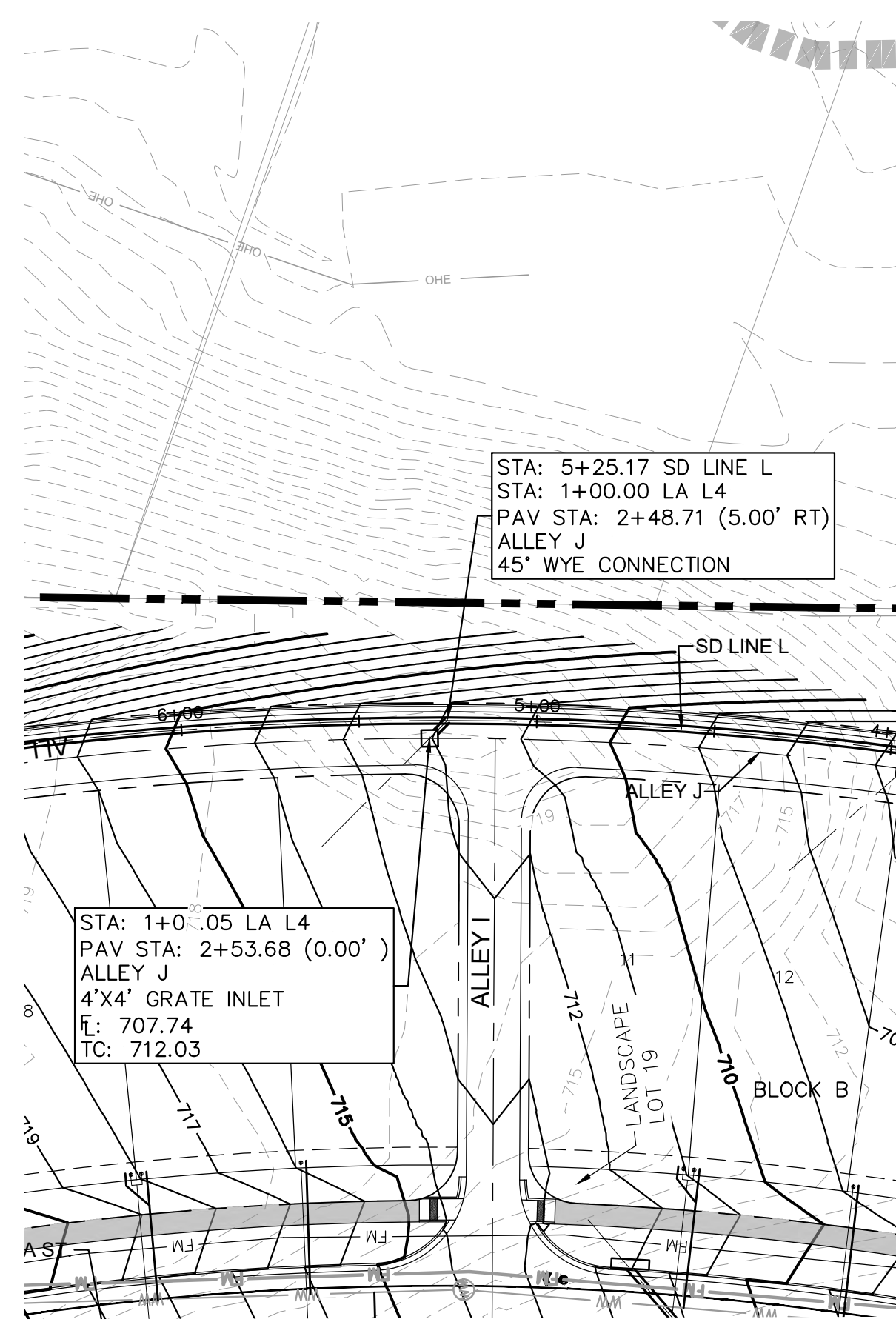
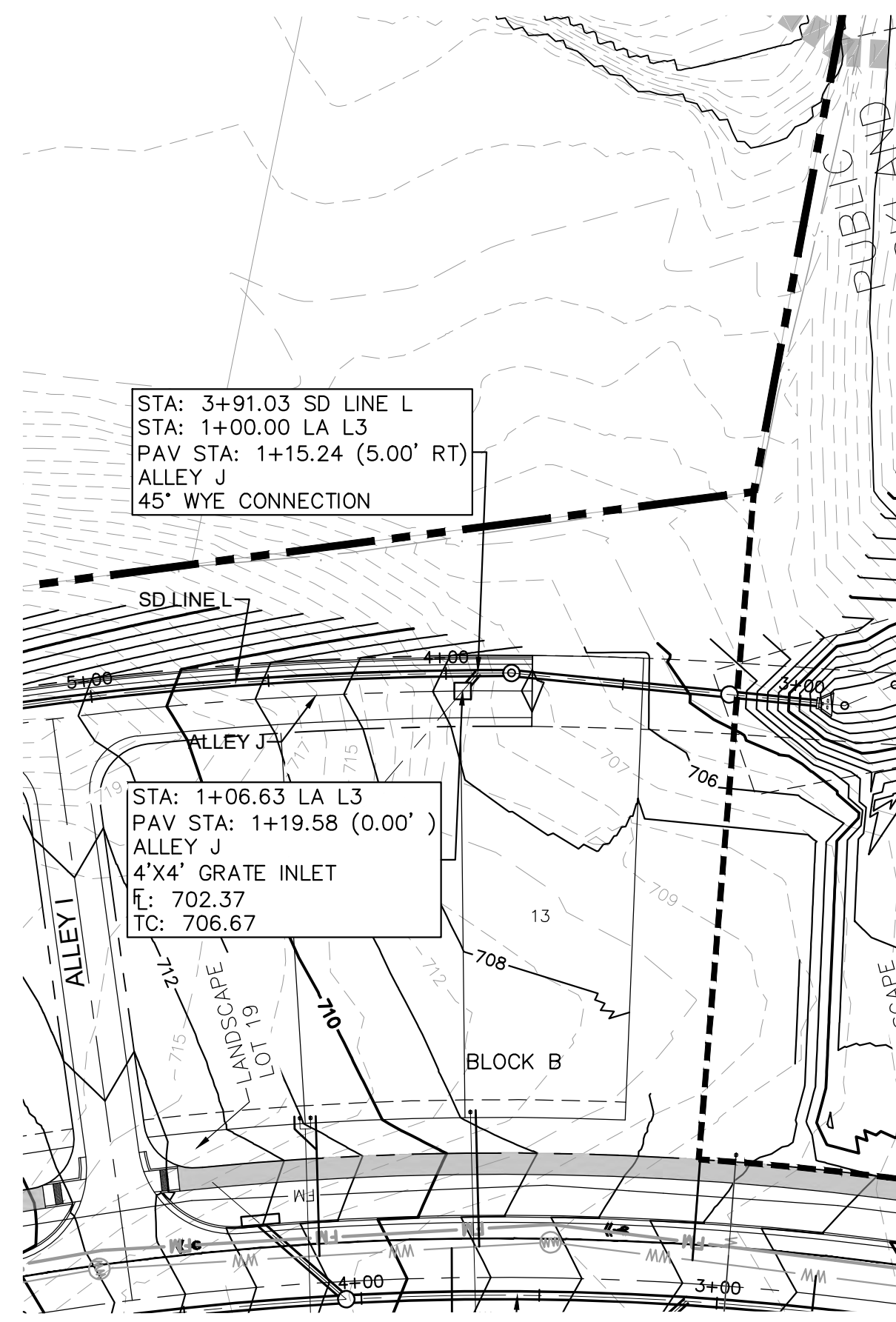
KHA PROJECT: 067783115  
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 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

STORM LATERAL PLAN & PROFILE - H5 H6 & I1

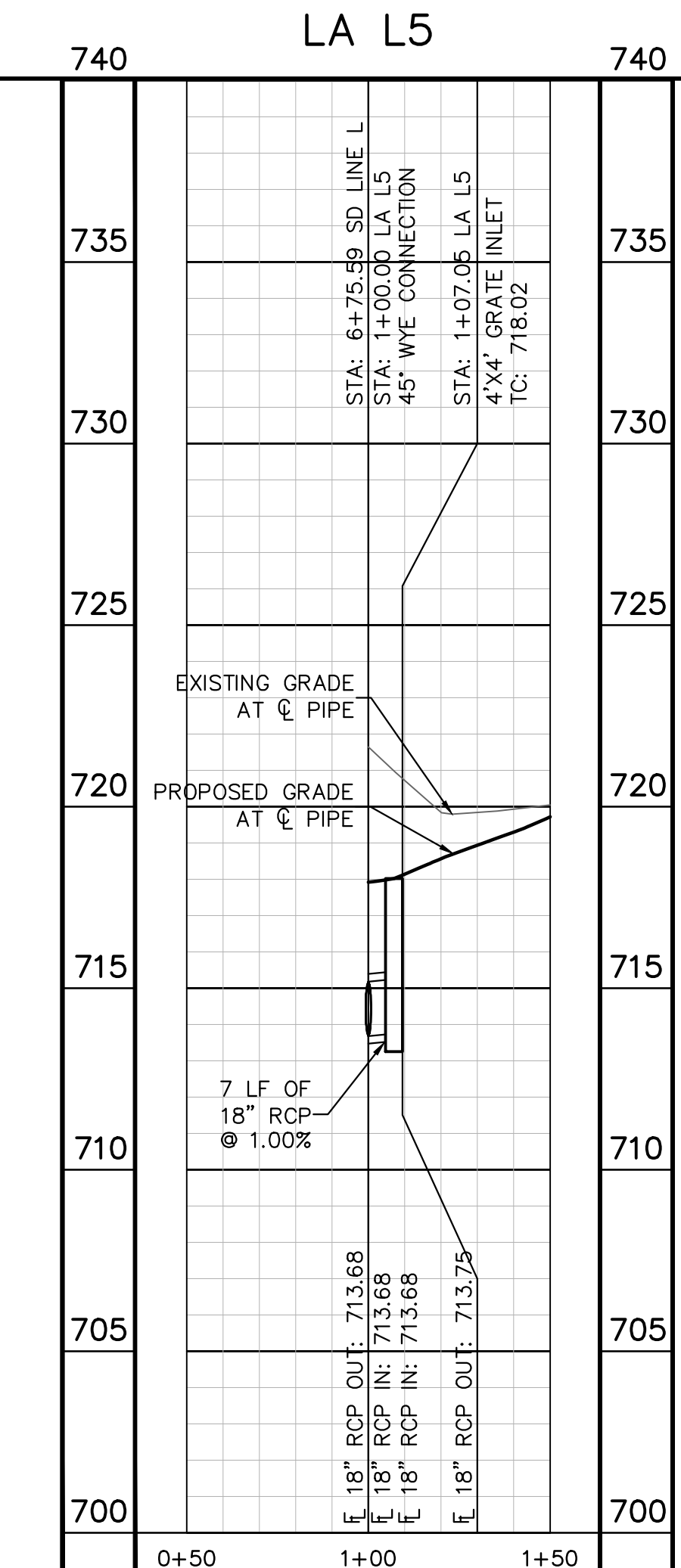
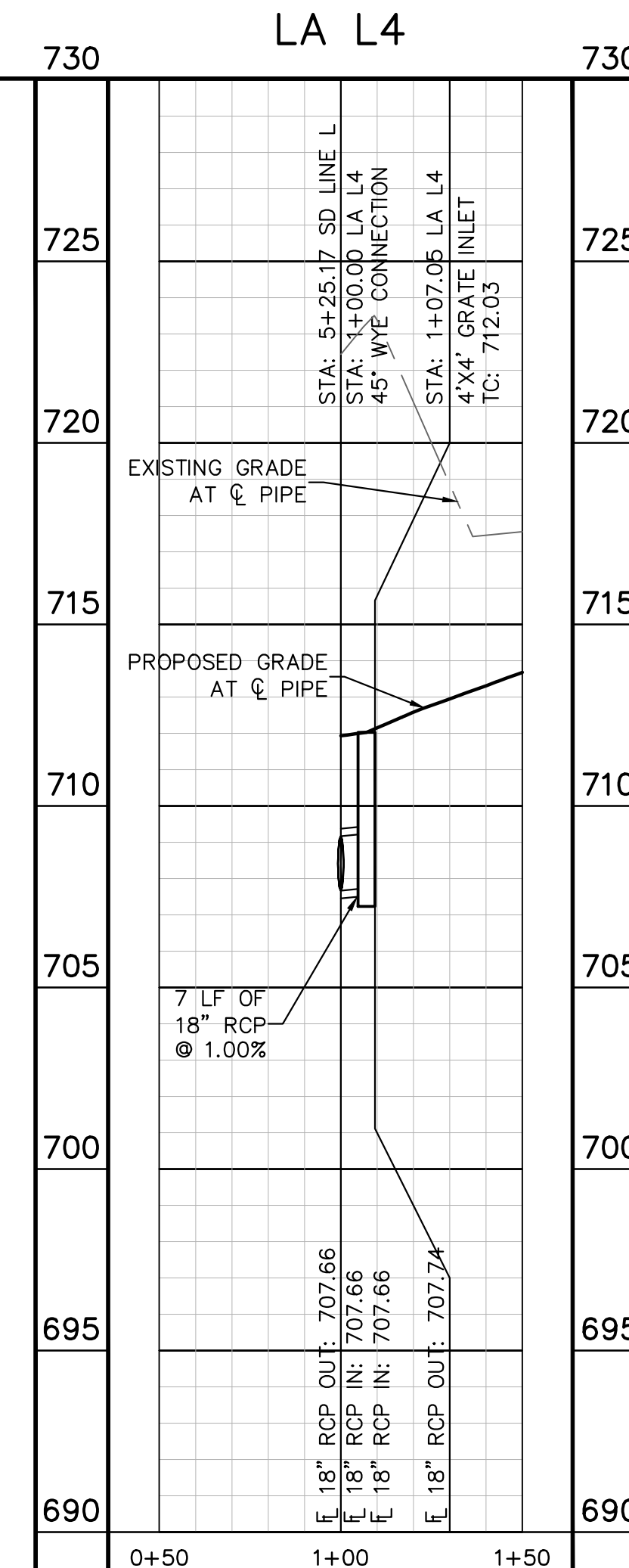
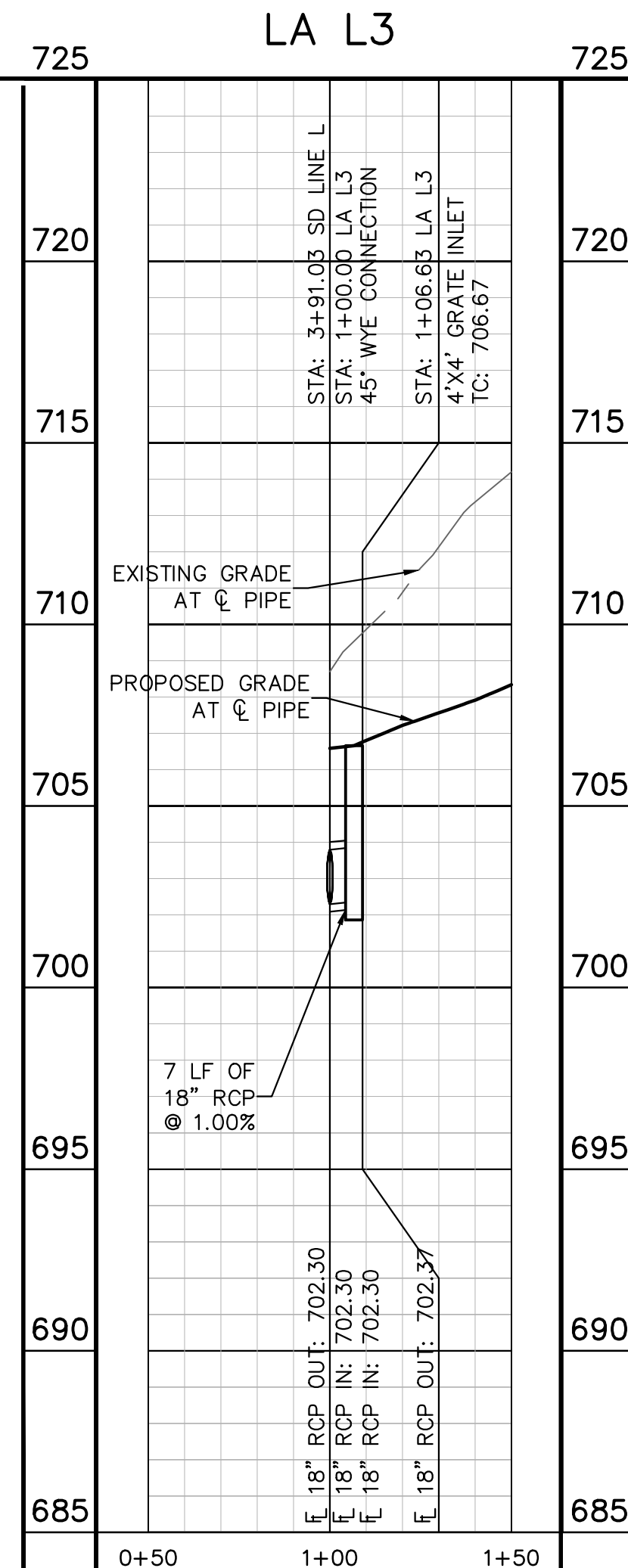
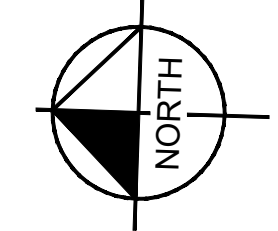
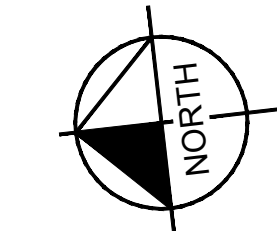
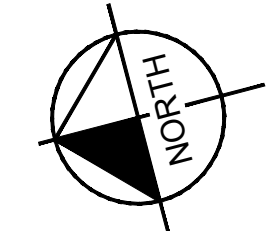
THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER 140 OF 226

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CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

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EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

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 City Engineer, City of Buda

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Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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PERMIT NUMBER: 2021-737

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 TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
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 13008  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13008  
 Alejandro E. Granados Rico

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
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 CHECKED BY: AEG

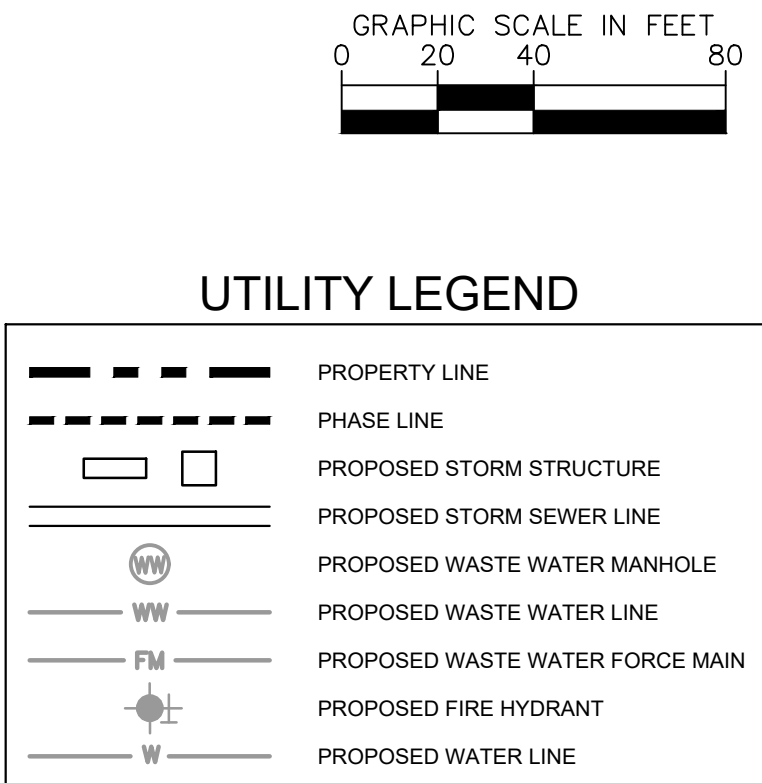
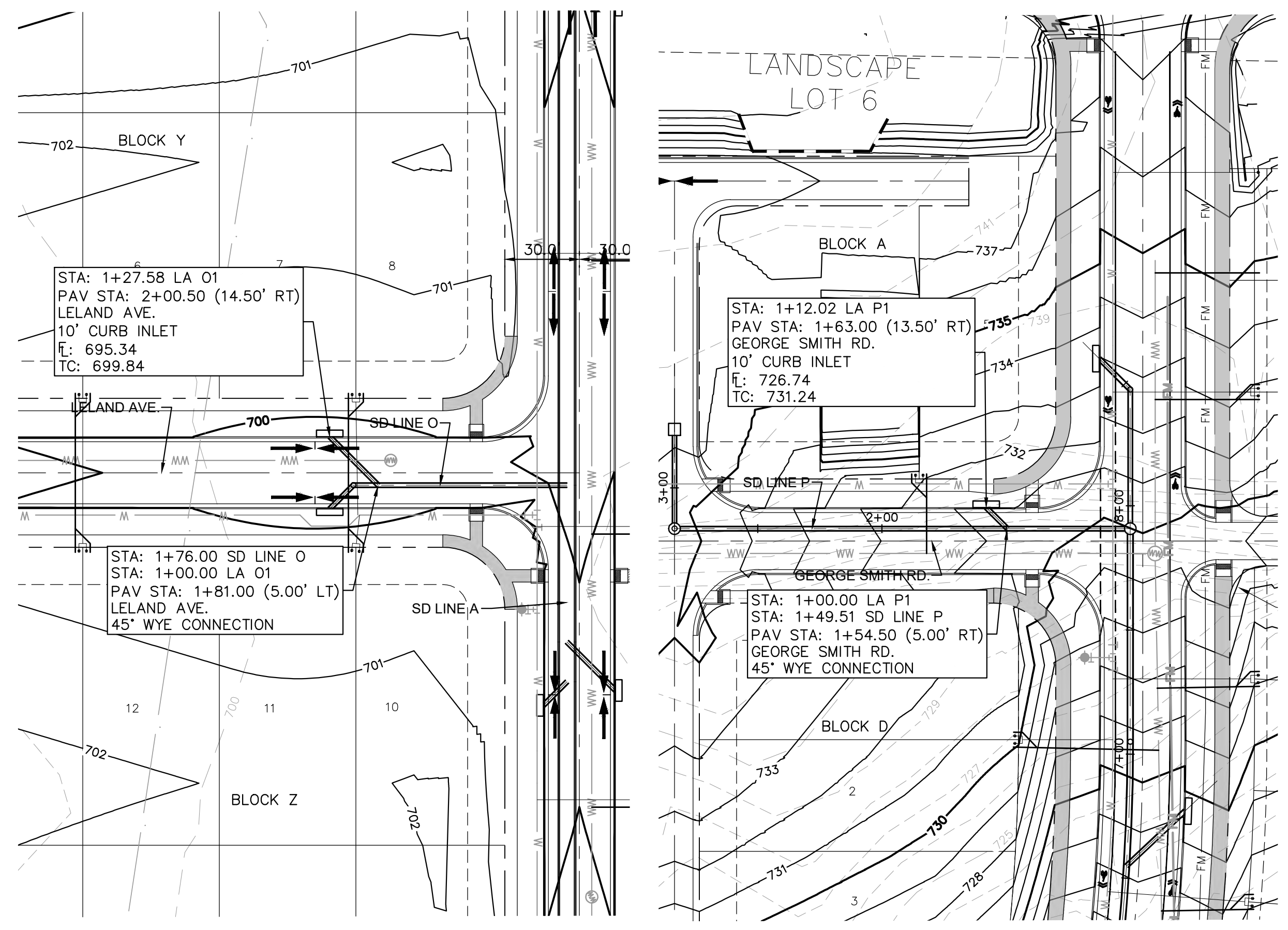
STORM LATERAL PLAN & PROFILE - L3 L4 & L5

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

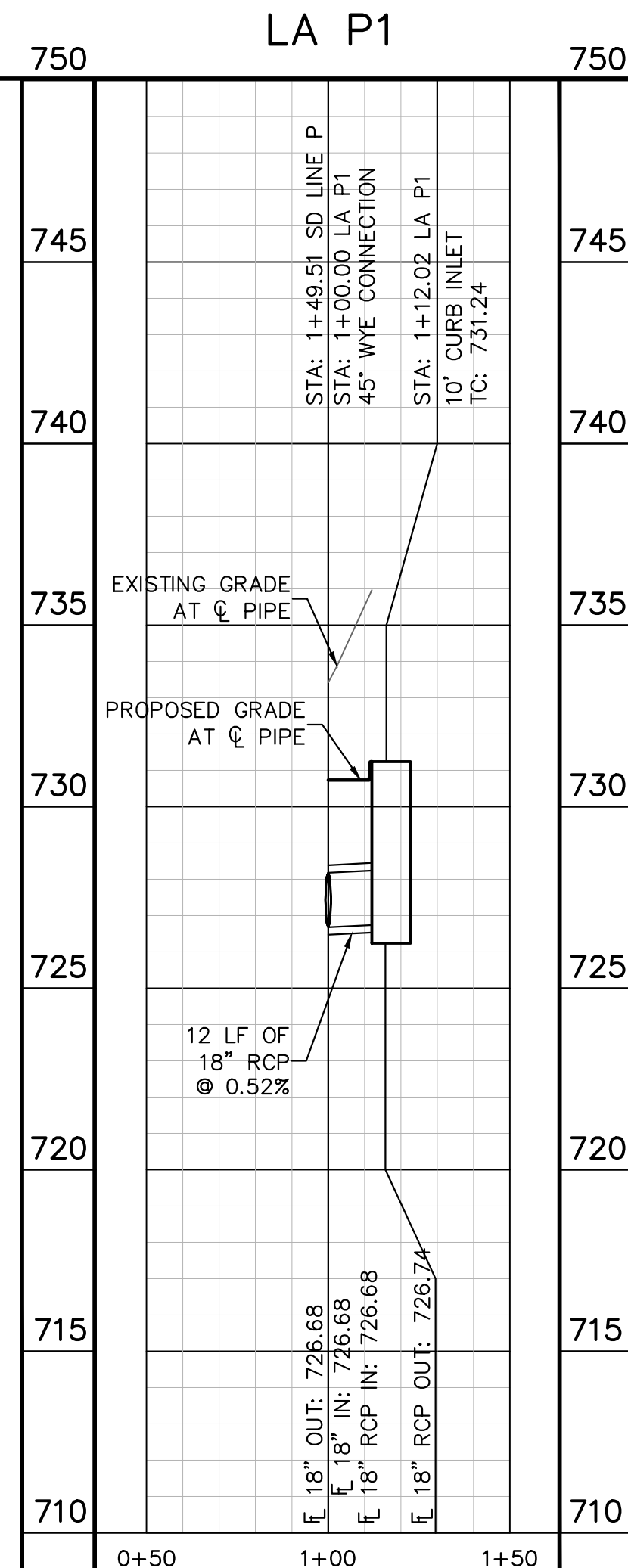
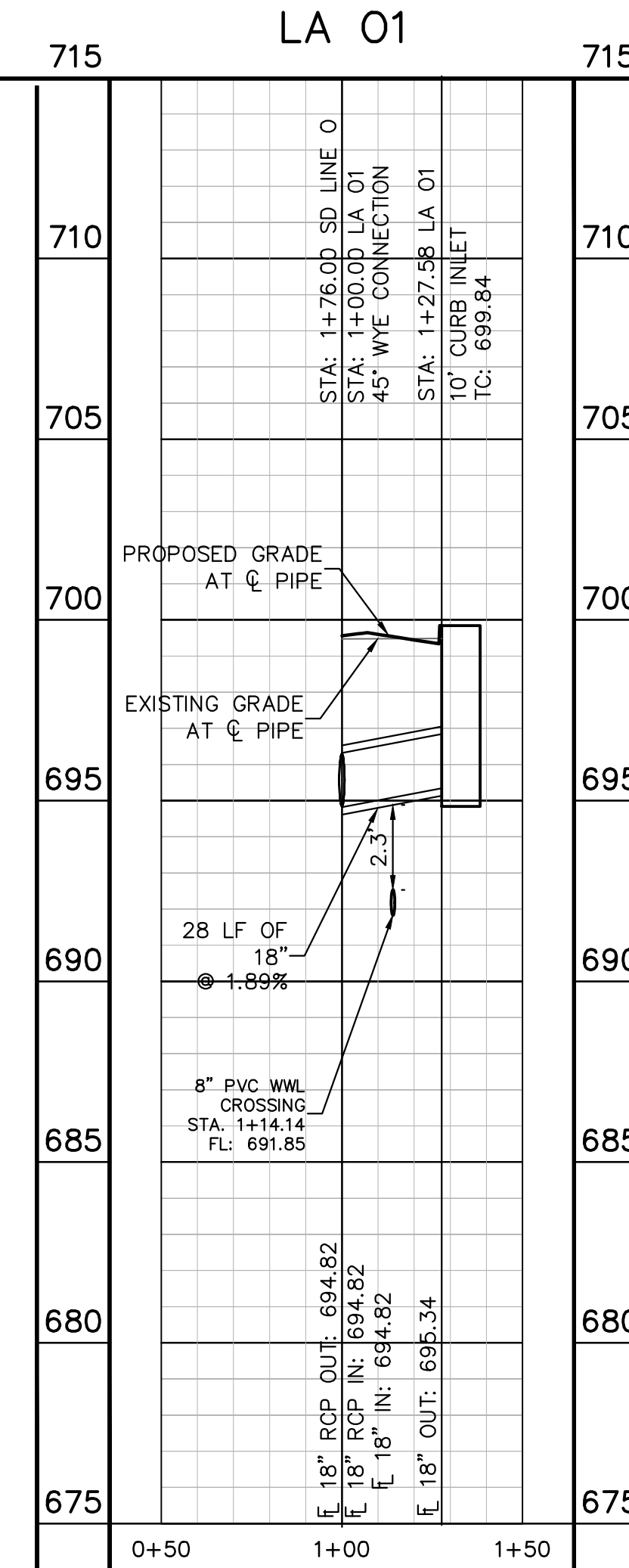
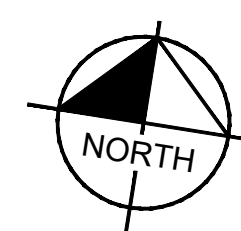
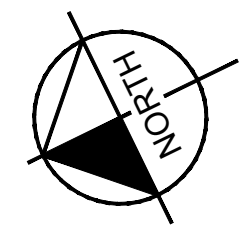
SHEET NUMBER **141**  
 OF 226

NO.	REVISIONS	DATE	BY

Plotted by: Garner, Mikael Date: July 17, 2023 10:37:02am File Path: K:\you\_civil\067783115 heritage buda assemblage\Cad\plansheets\C-Storm Laterals O P & O.dwg  
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CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

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APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

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Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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 TBPE Firm No. 928

07/17/2023

ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 133008  
 Alejandro E. Granados Rico

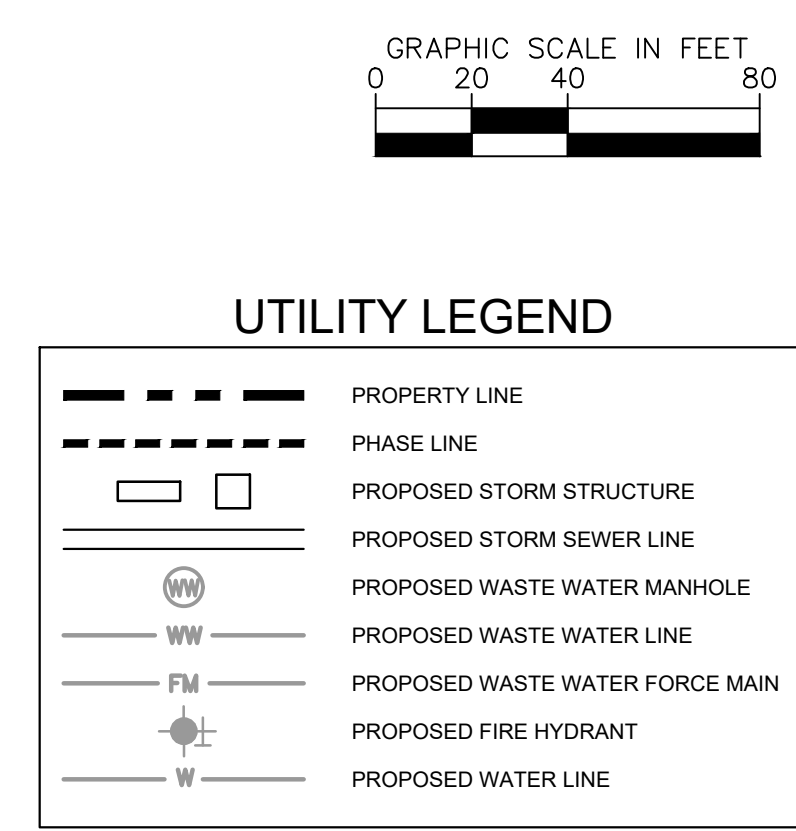
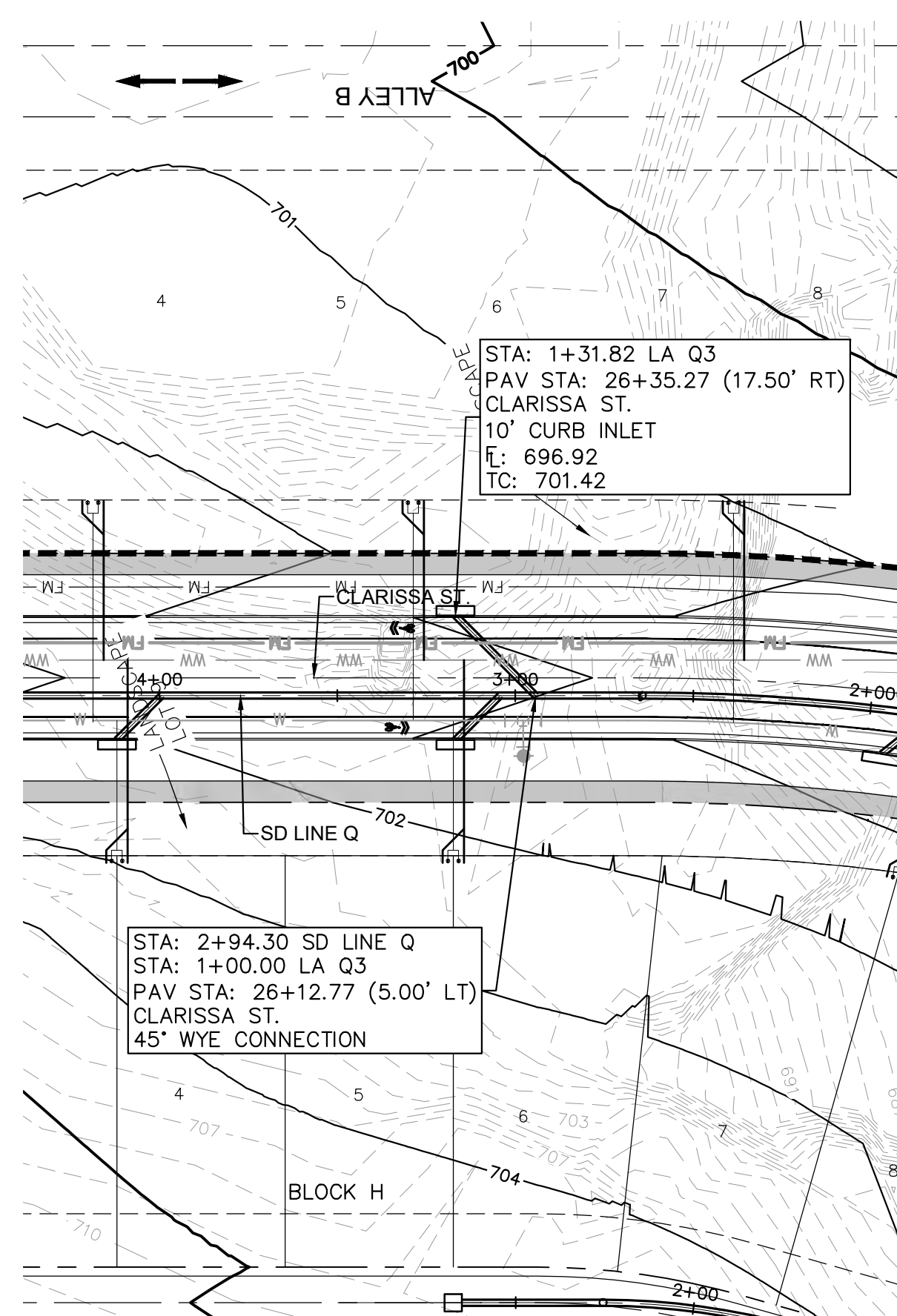
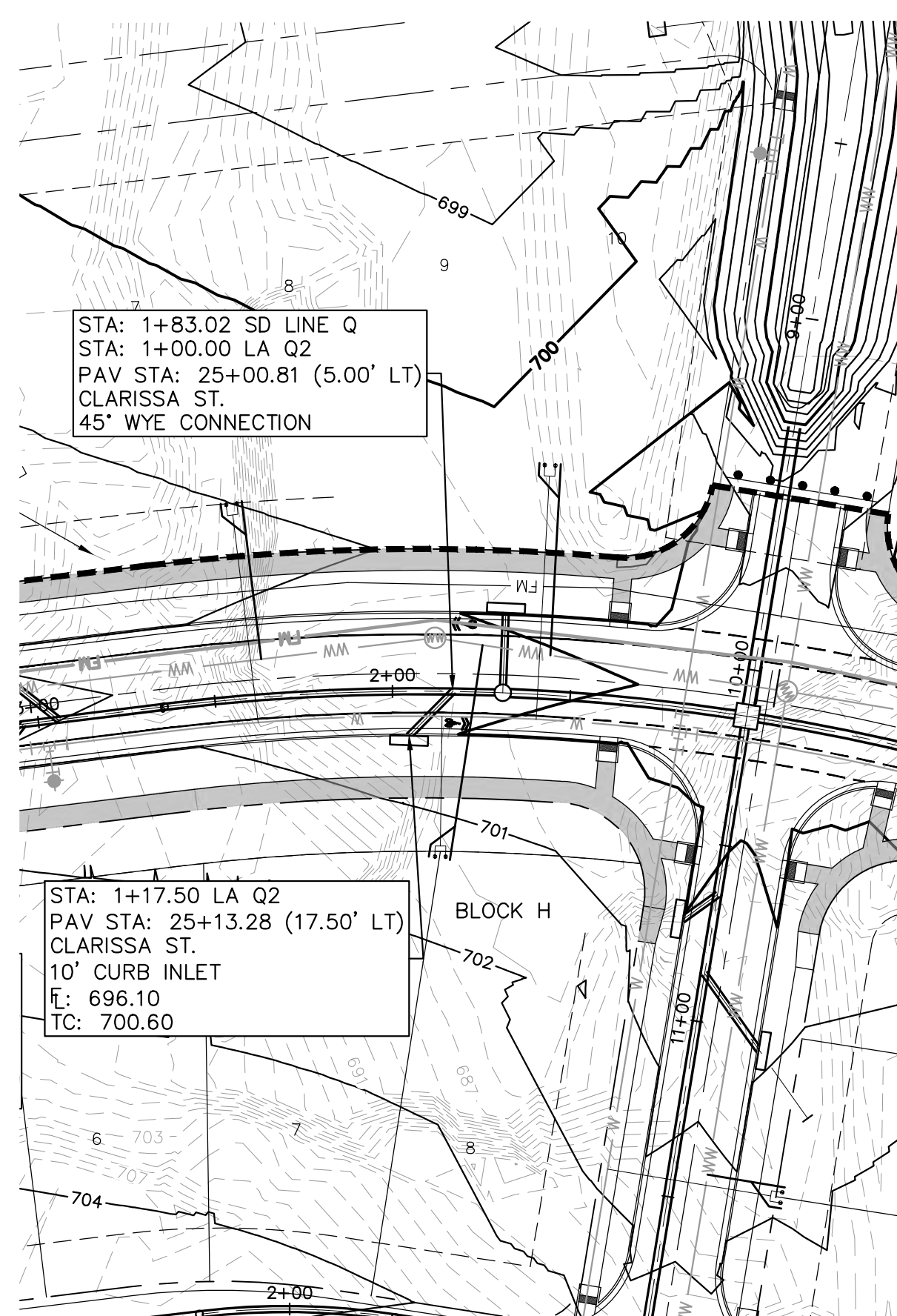
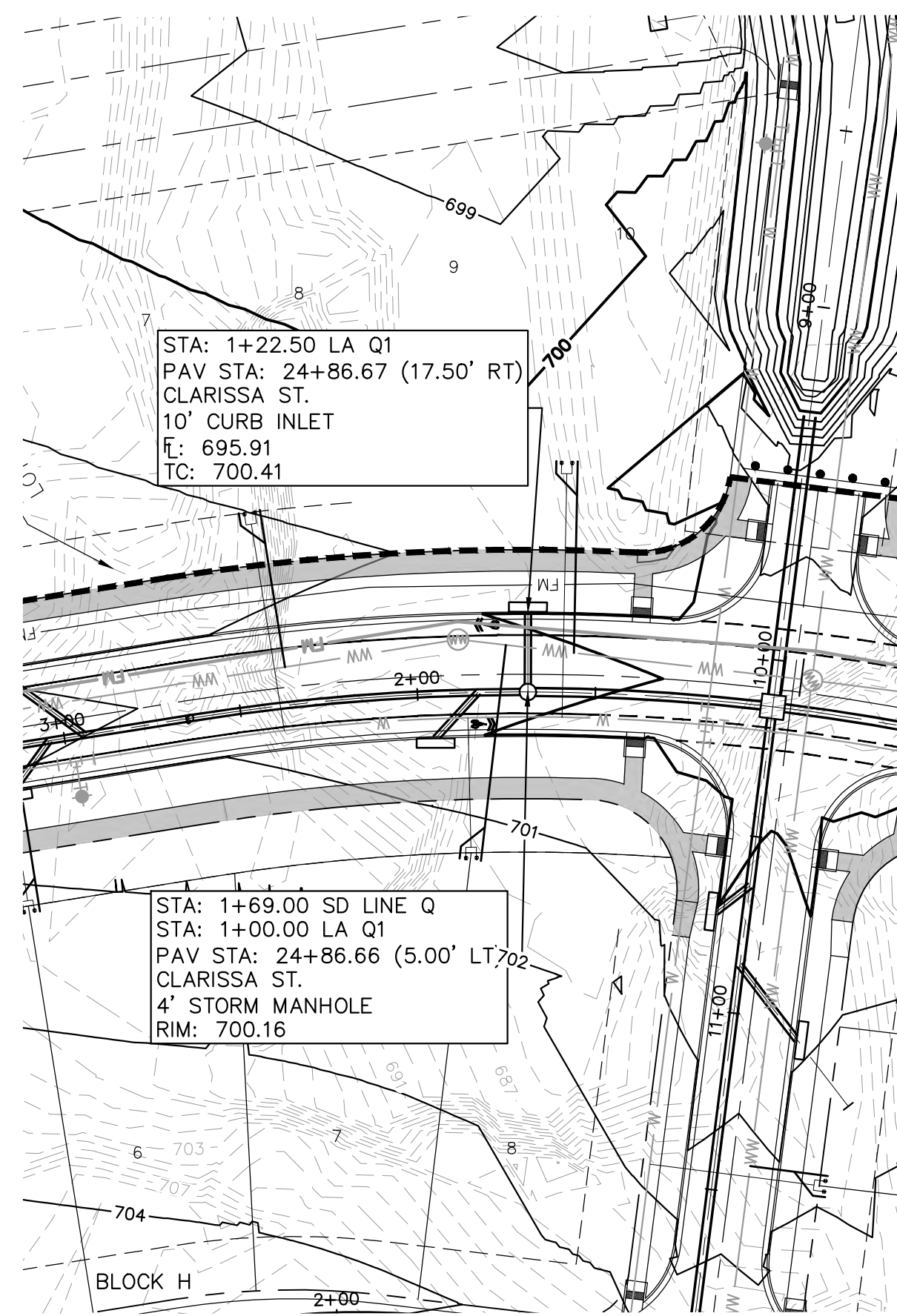
KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
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 CHECKED BY: AEG

STORM LATERAL PLAN & PROFILE - O1 & P1

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

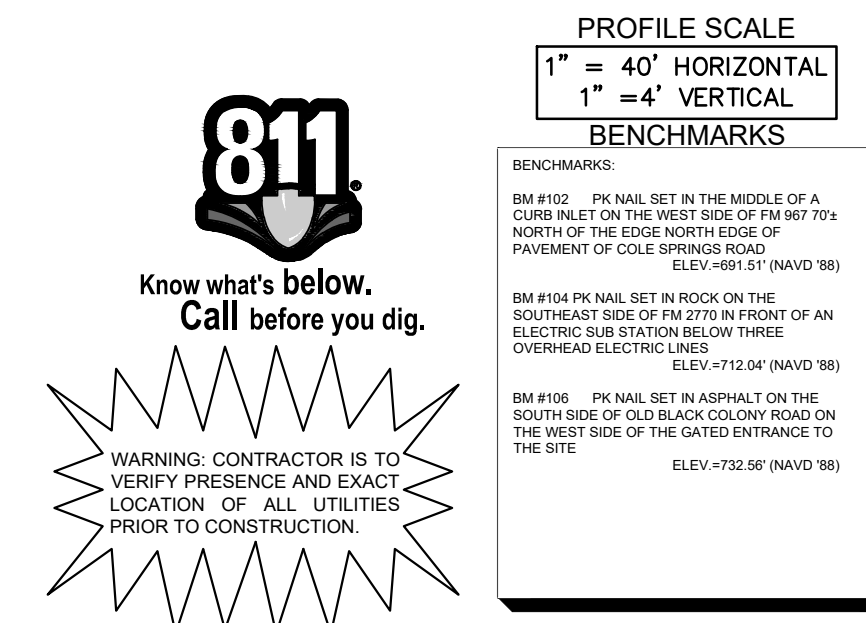
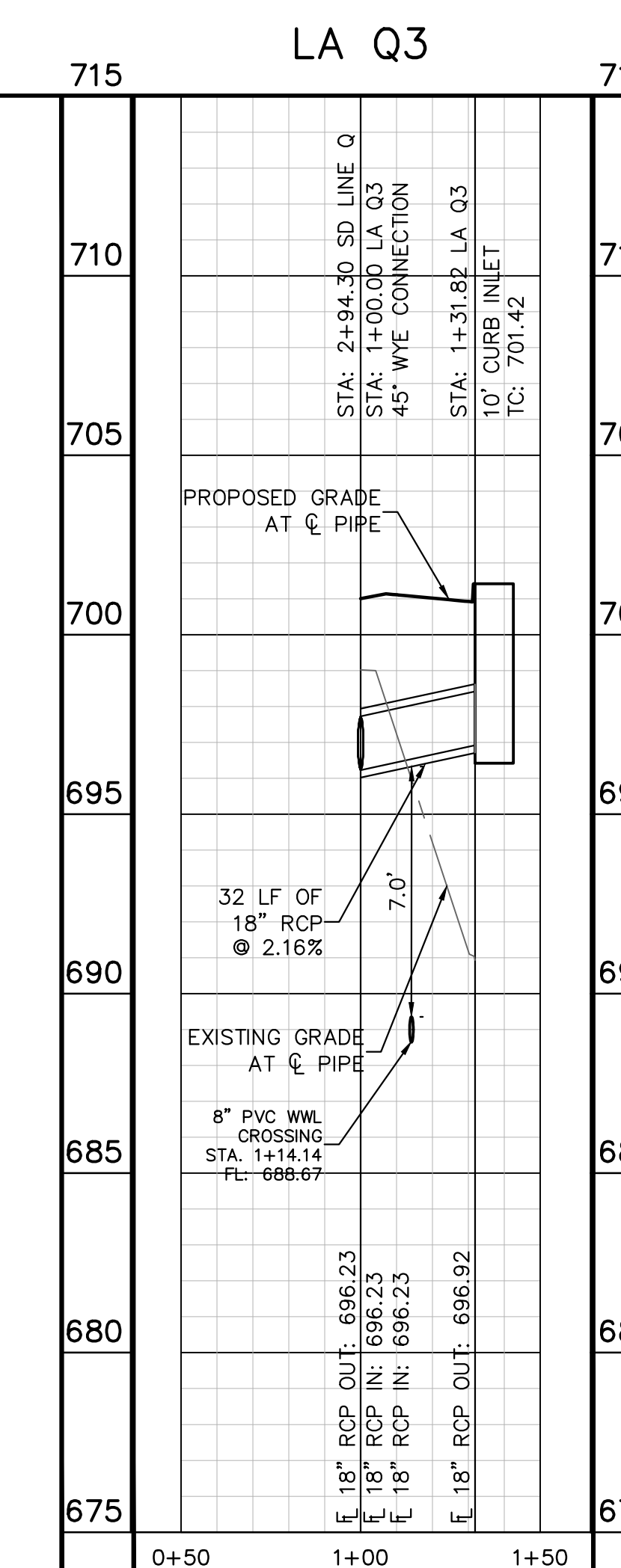
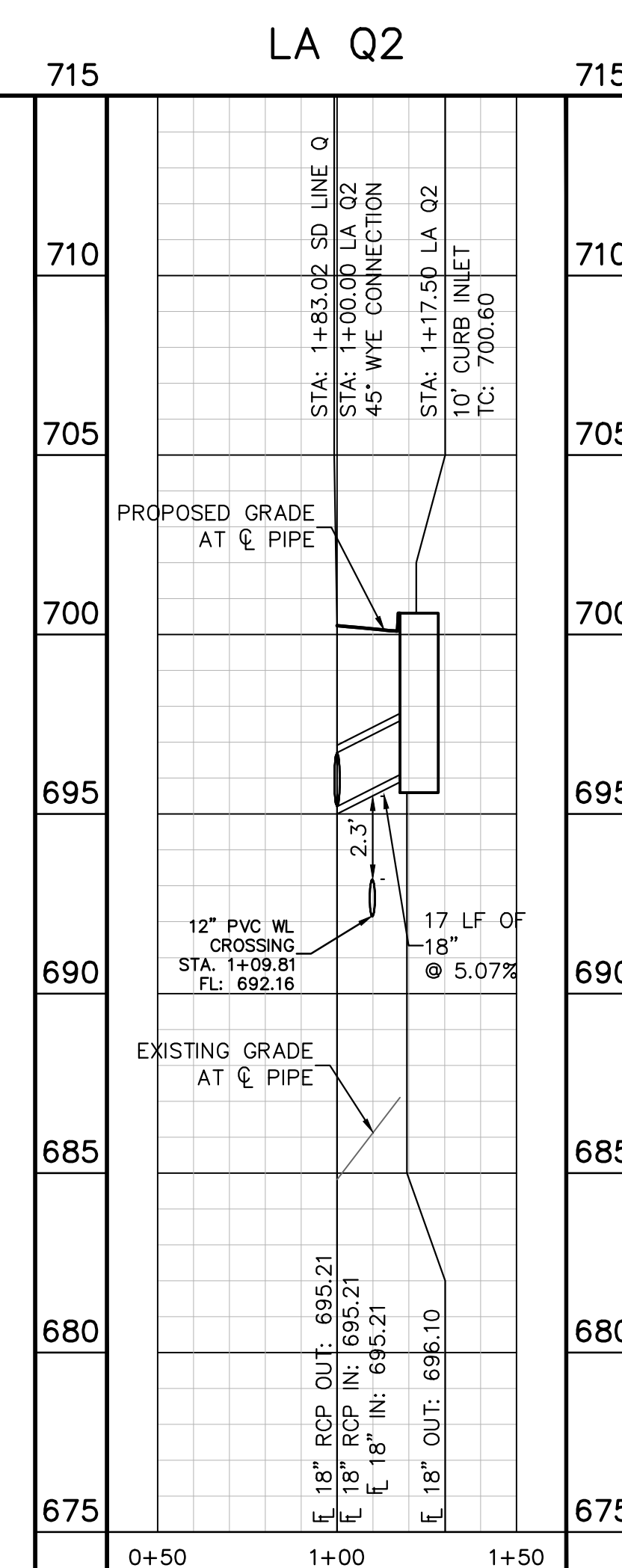
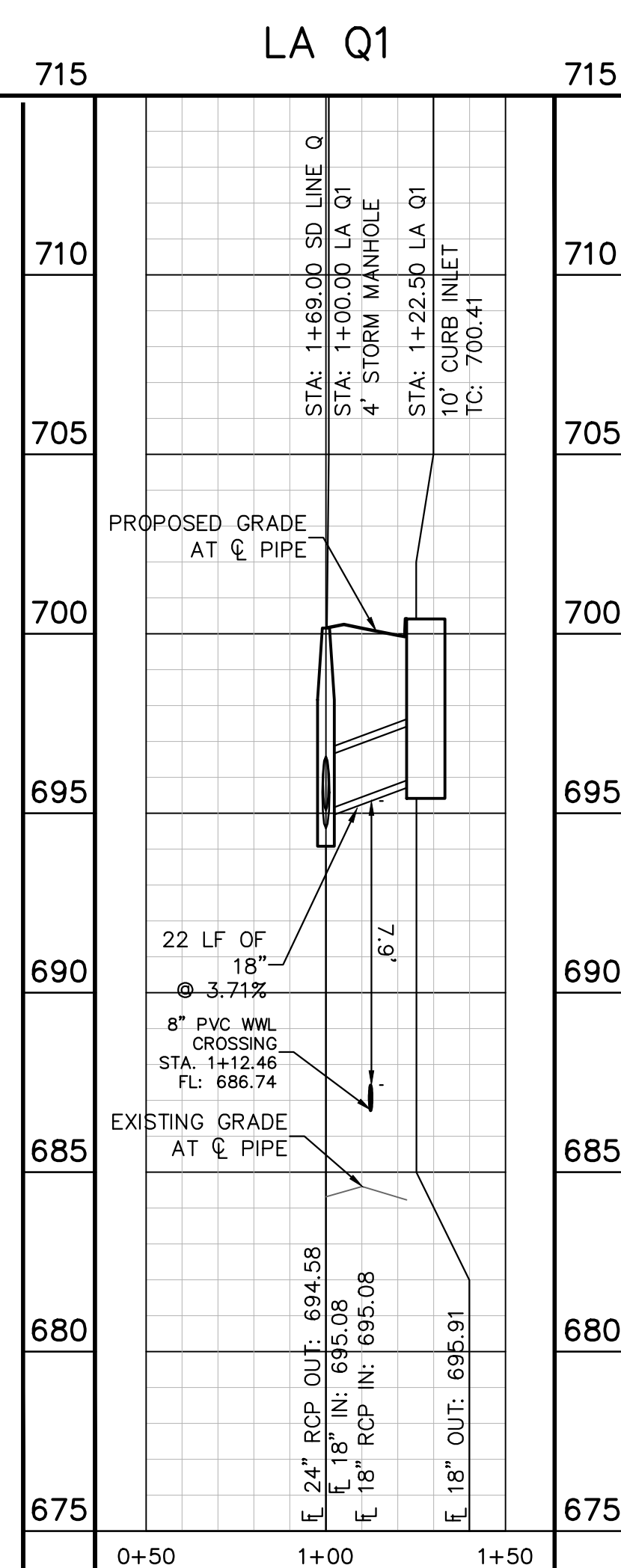
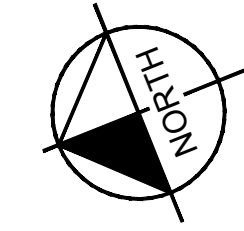
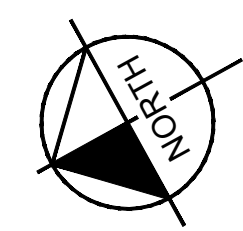
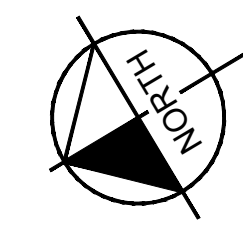
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 OF 226

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NOTES:

- ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.
- FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.



CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER APPLICATION DATE

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY

City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: ZONING: N/A

Rev. 1: Correction 1

Rev. 2: Correction 2

Rev. 3: Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
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 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

07/17/2023

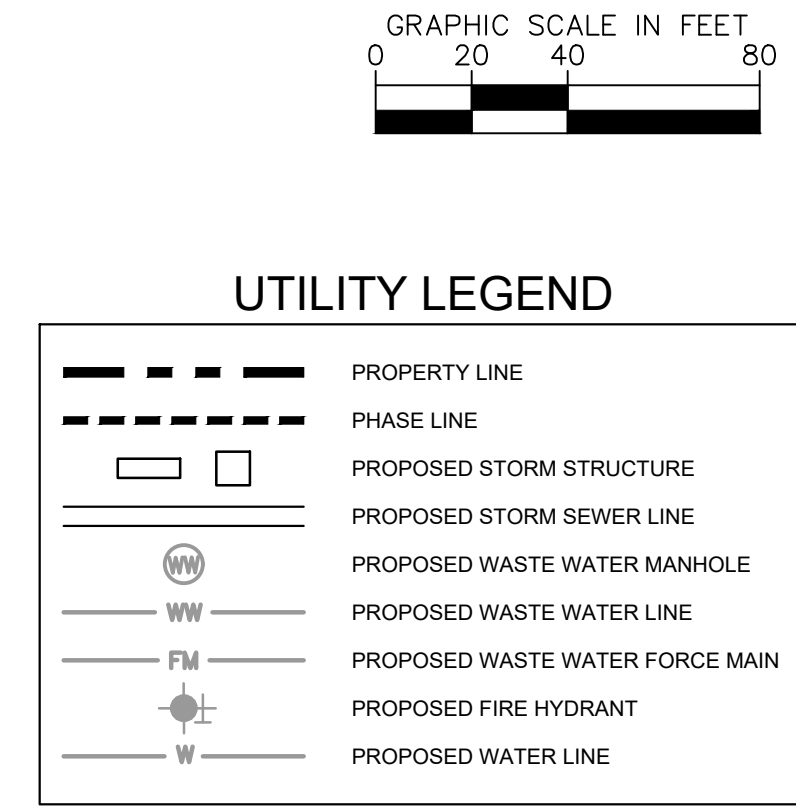
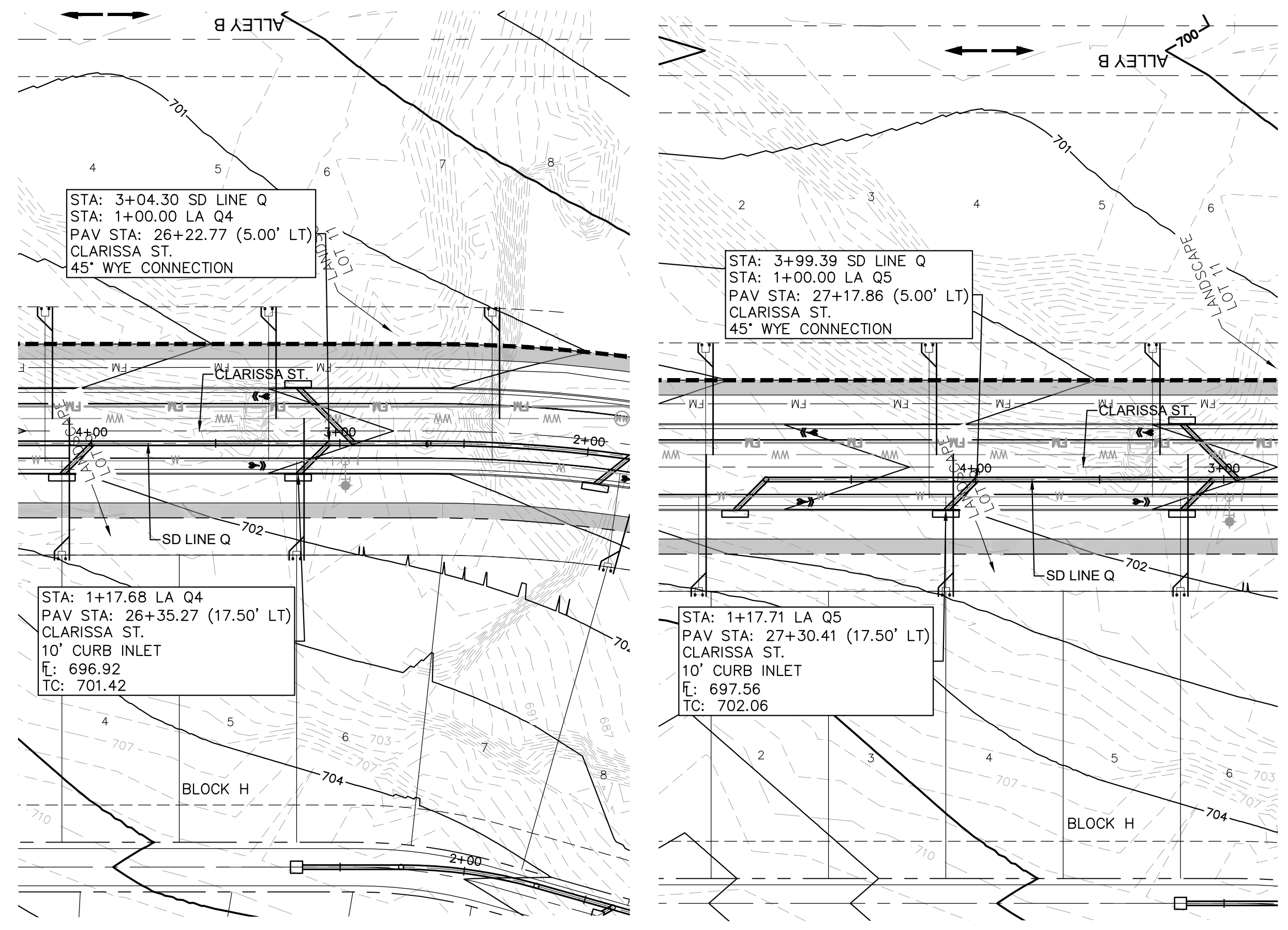
Alejandro E. Granados-Rico  
 Licensed Professional Engineer  
 State of Texas

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

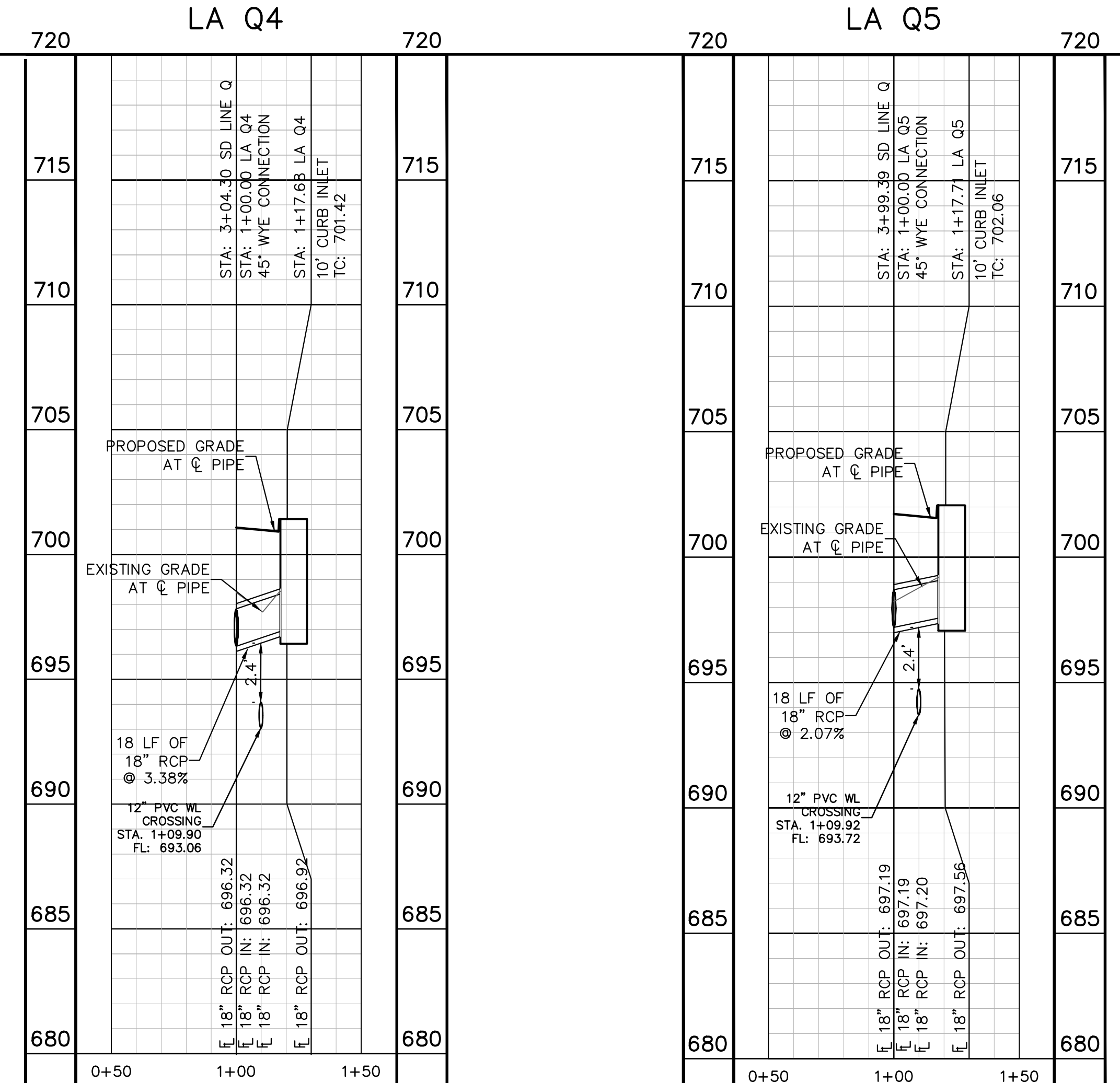
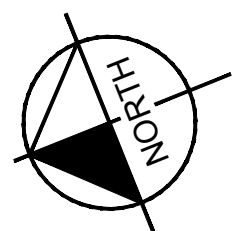
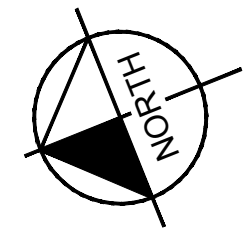
STORM LATERAL  
 PLAN & PROFILE -  
 Q1 Q2 & Q3

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

Plotted by: Garner, Mikael Date: July 17, 2023 10:38:37am File Path: K:\you\_civil\067783115 heritage buda assemblage\Cad\plansheets\C-Storm Laterals O P & Q.dwg  
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**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BENCHMARKS

- BM #102 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897.774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=718.04 (NAVD '88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD '88)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD '88)

**CONSTRUCTION PLAN APPROVAL SHEET 226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA  
 UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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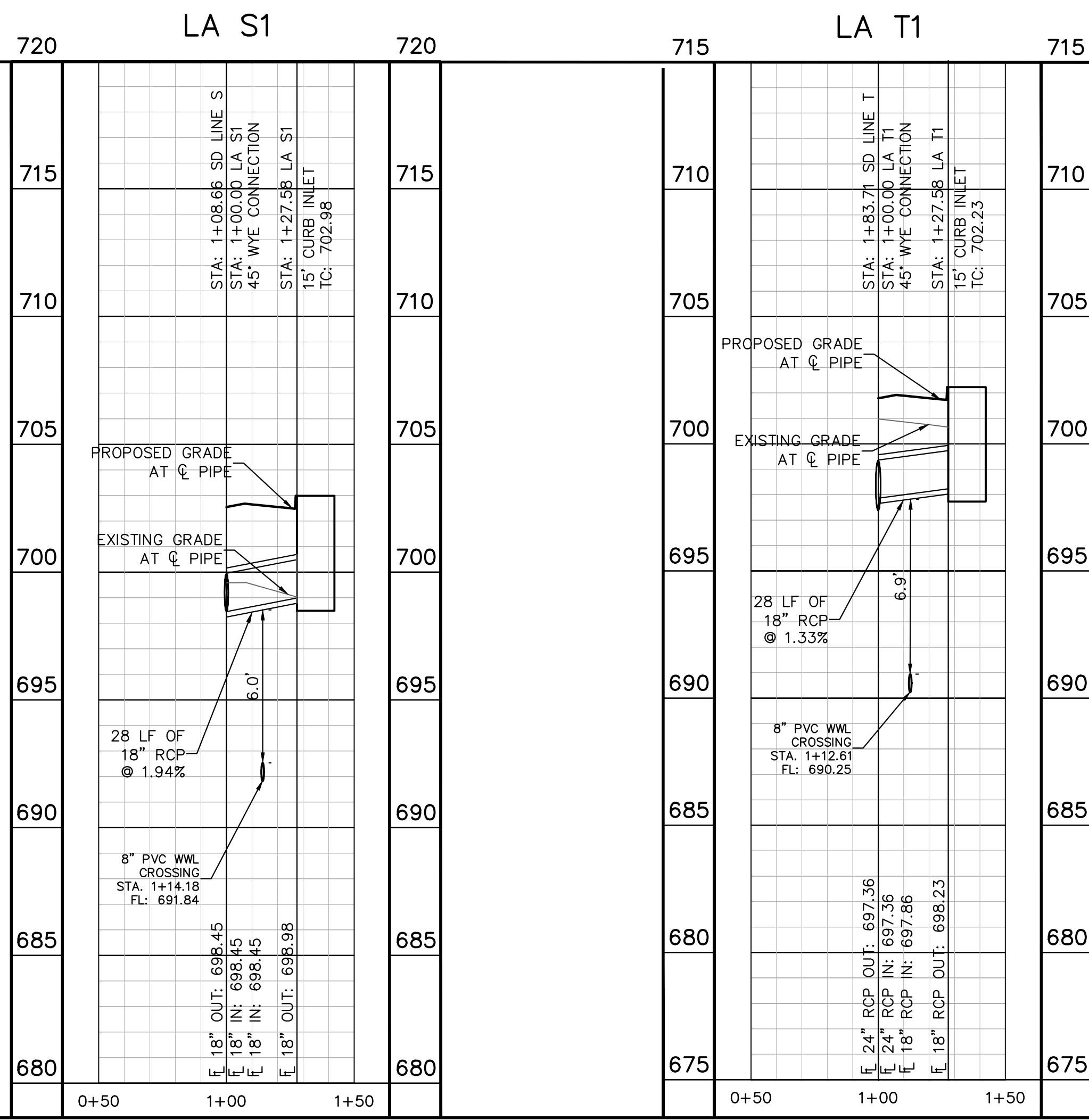
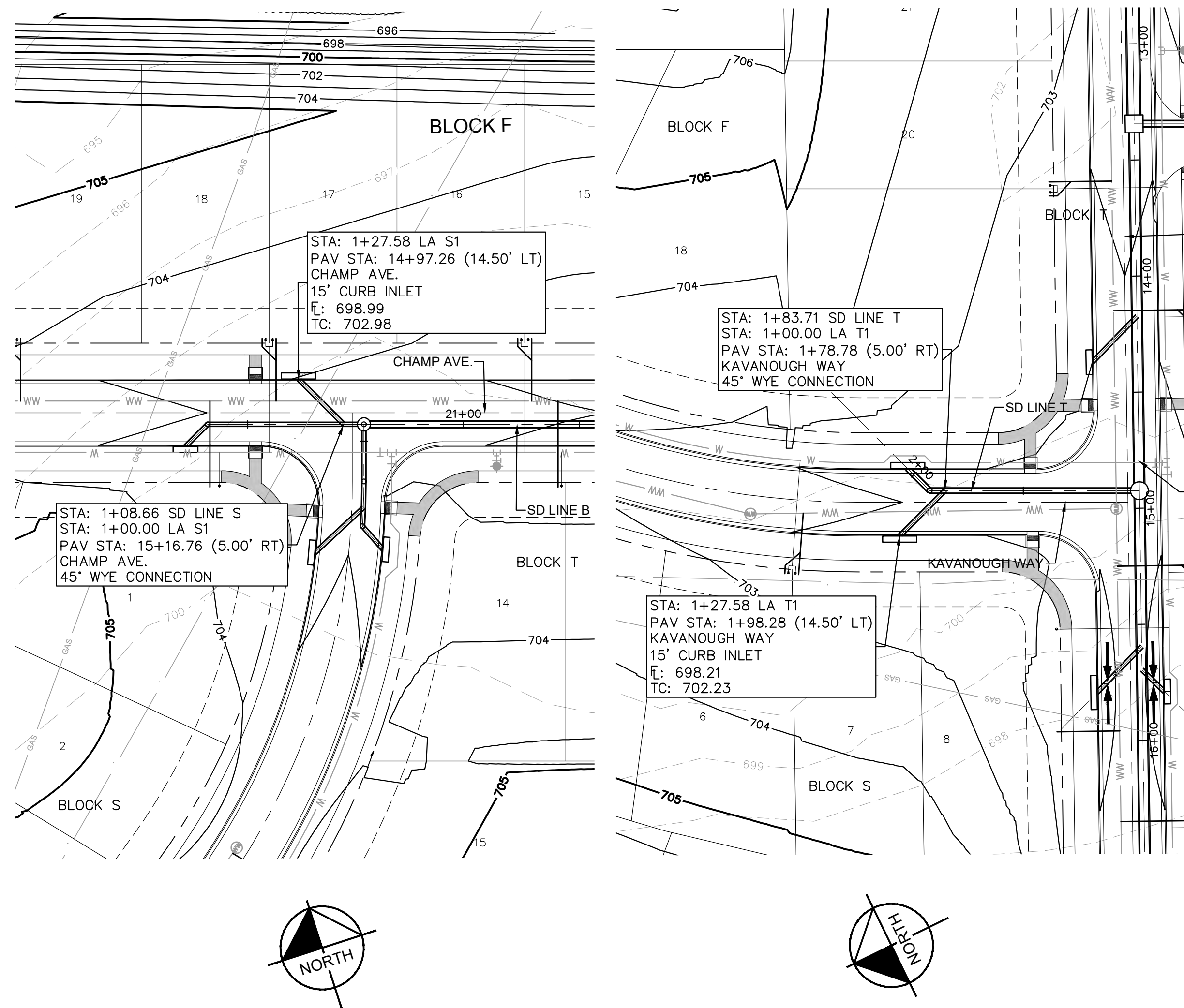
**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 13008  
 LICENSED PROFESSIONAL ENGINEER  
 ALEJANDRO E. GRANADOS RICO

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

**STORM LATERAL PLAN & PROFILE - Q4 & Q5**

**THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS**

Plotted by: Gomer, Mikael Date: July 17, 2023 10:41:53am File Path: K:\you\_civil\067783115 meritage budo assemblies\Cad\plansheets\C-Storm Laterals R S T U & V.dwg  
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CONSTRUCTION PLAN APPROVAL SHEET <u>  226  </u> OF <u>  226  </u>
FILE NUMBER _____ APPLICATION DATE _____
APPROVED BY COMMISSION ON _____ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021
<b>A. KENNEDY</b>
City Engineer, City of Buda
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING _____ N/A
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____
<small>Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.</small>
PERMIT NUMBER: 2021-737

NO.
REVISIONS
DATE
BY

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 TBE Firm No. 928

Alejandro E. Granados-Rico

KHA PROJECT: 067783115

DATE: JULY 2023

SCALE: AS SHOWN

DESIGNED BY: WB,DM

DRAWN BY: WB,HM,MH,DM

CHECKED BY: AEC

## STORM LATERAL PLAN & PROFILE - R1 S1 T1

### THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS

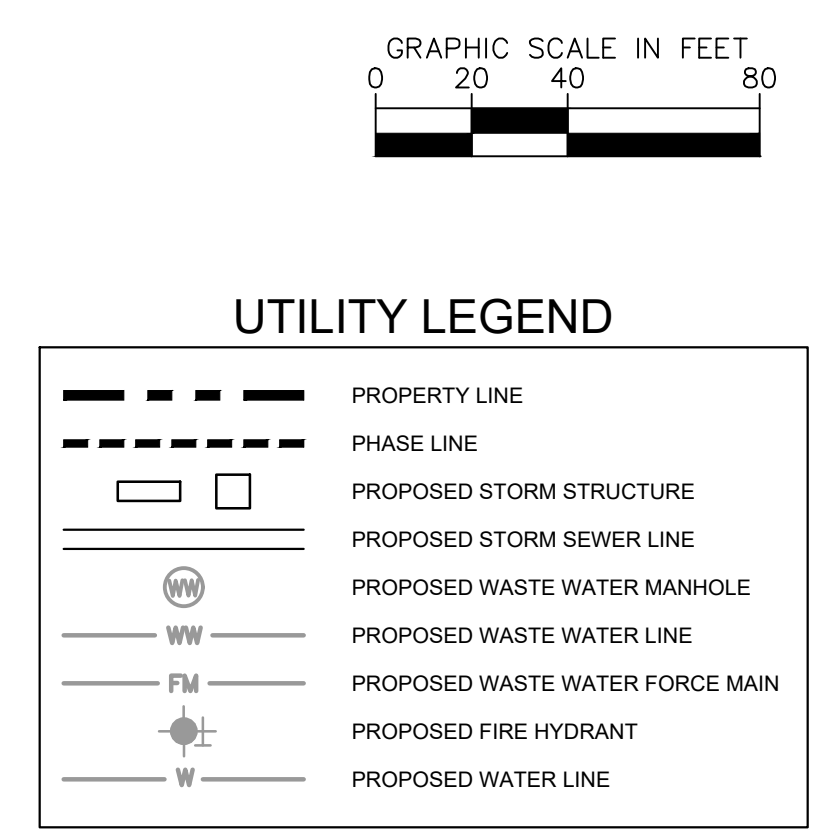
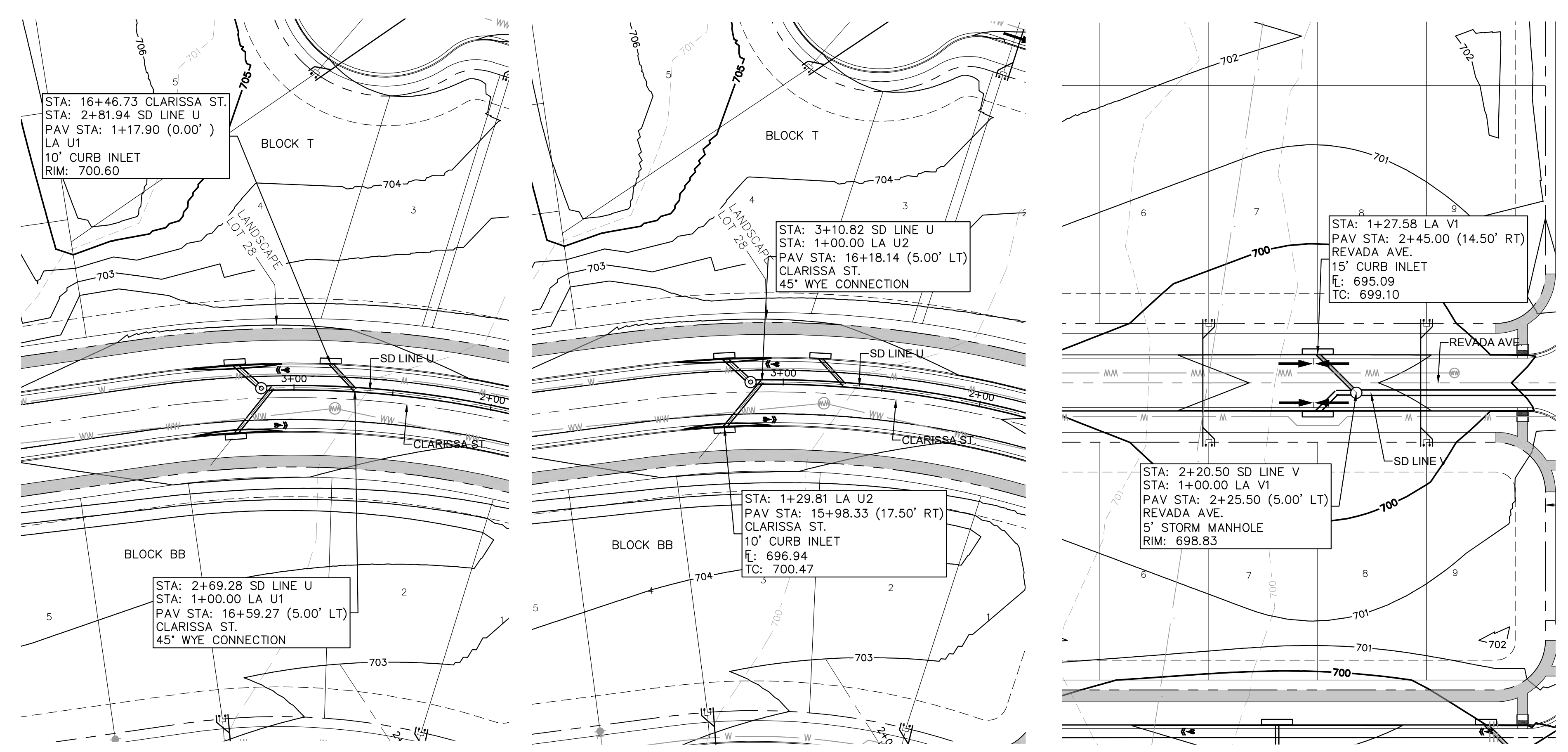
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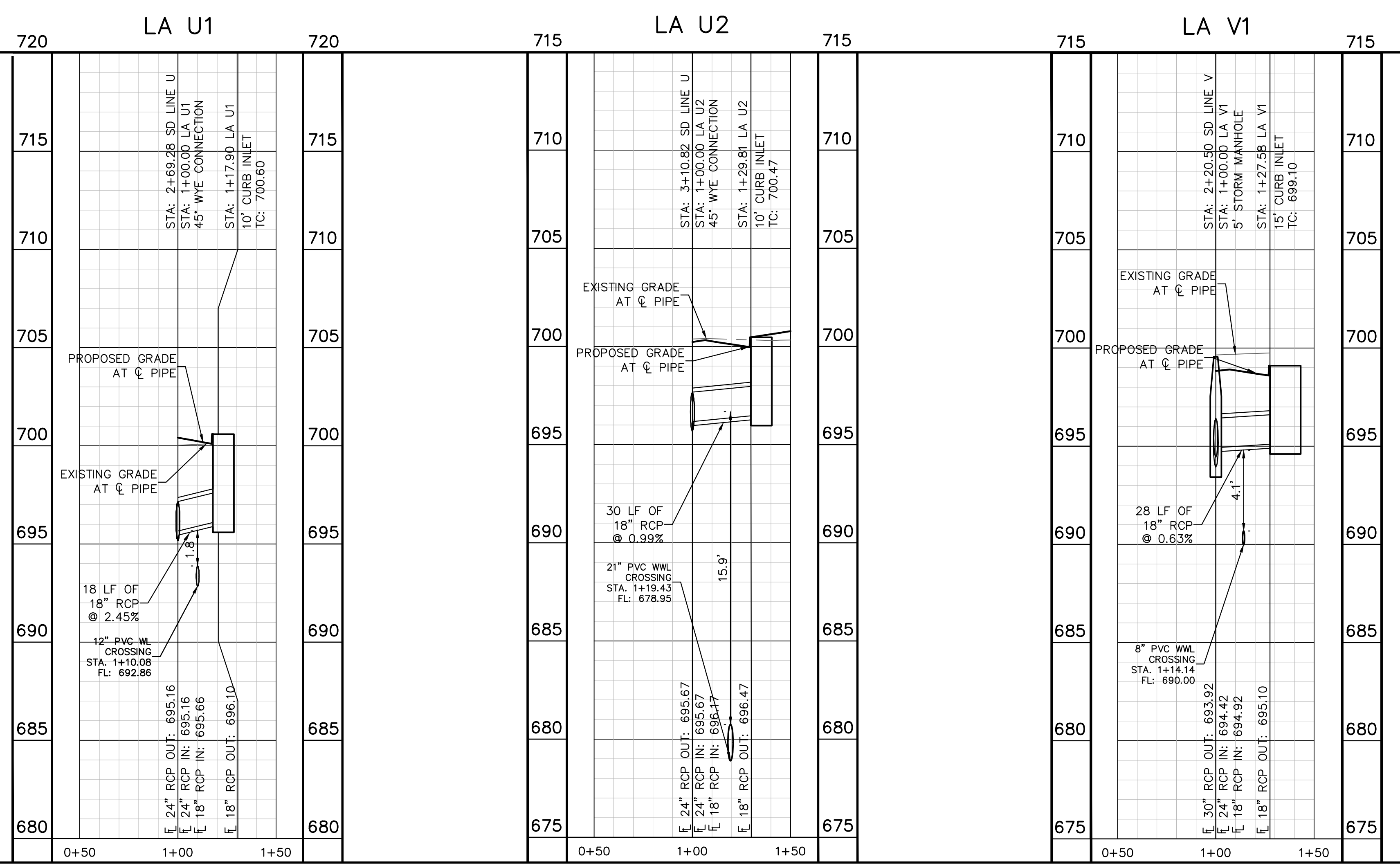
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**PROFILE SCALE**  
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1" = 4' VERTICAL

**BENCHMARKS**

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- BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD '88)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF CLARISSA COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD '88)

**CONSTRUCTION PLAN APPROVAL SHEET 226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

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**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 130084  
 Alejandro E. Granados Rico

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

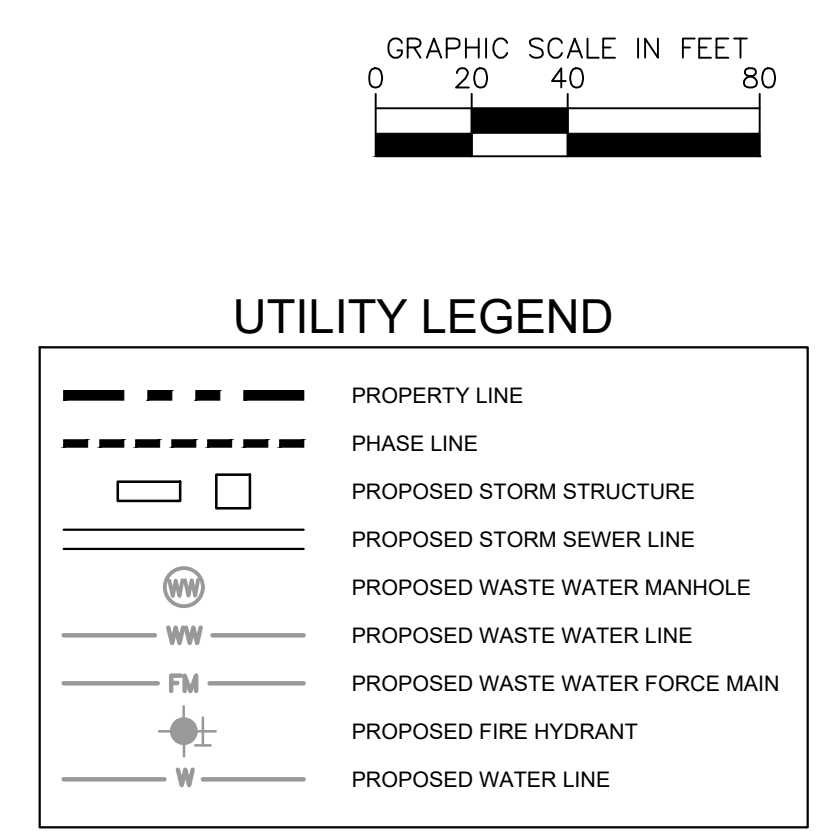
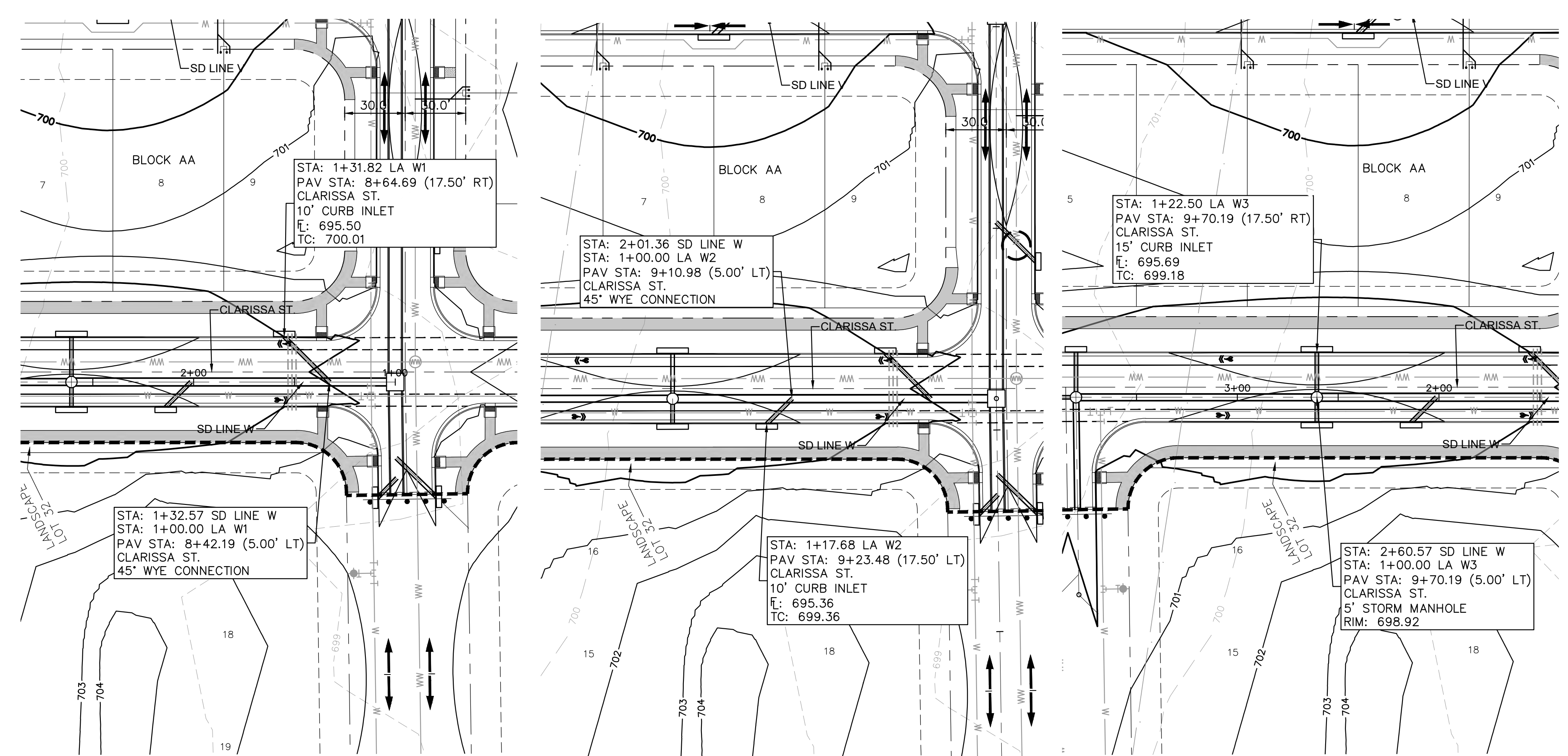
**STORM LATERAL PLAN & PROFILE - U1 U2 & V1**

SHEET NUMBER **146**  
 OF 226

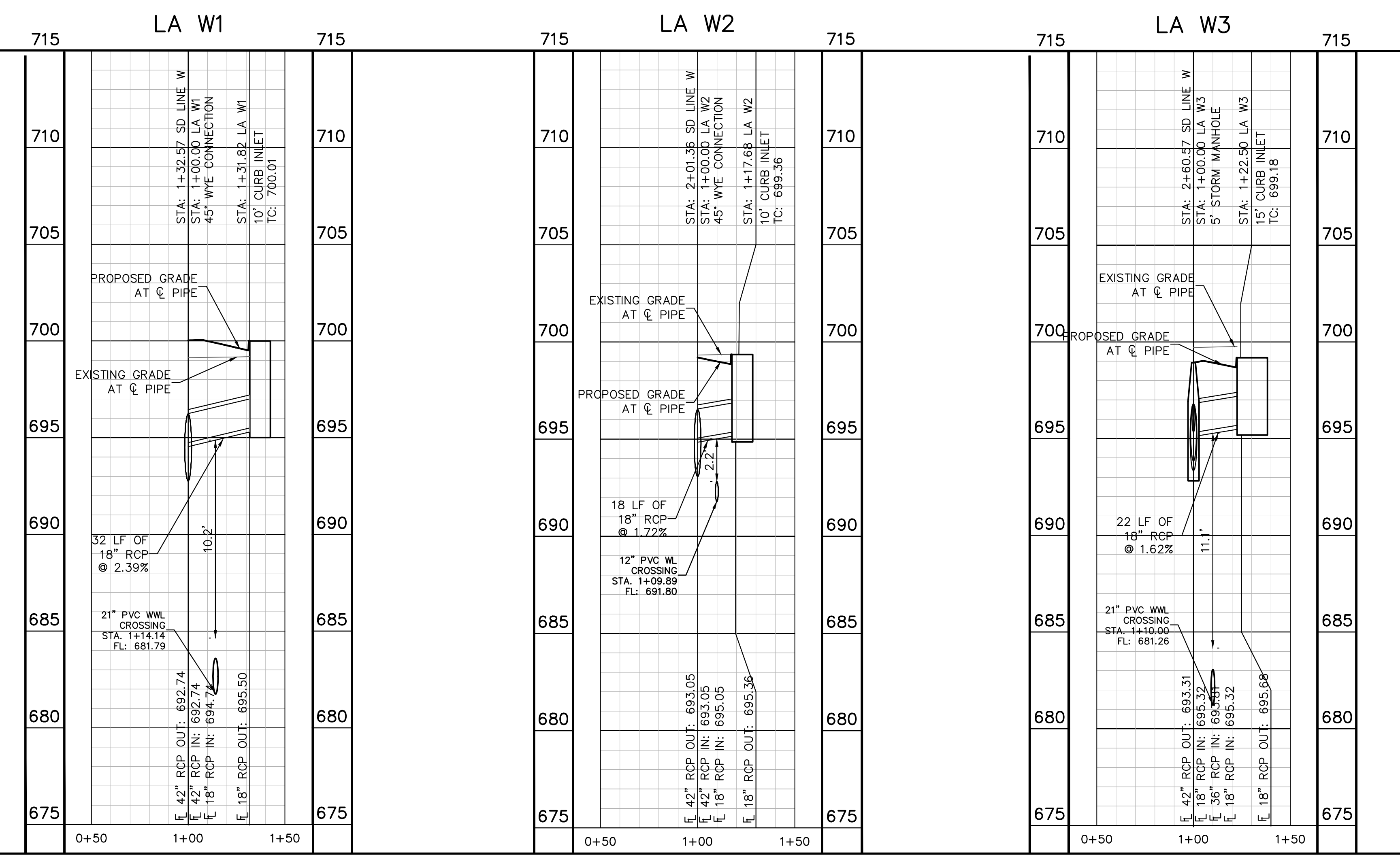
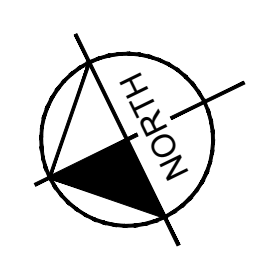
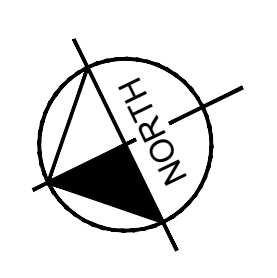
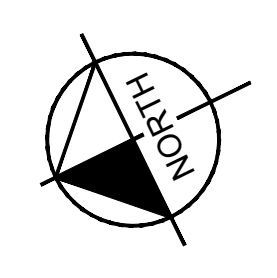
KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

REVISIONS: \_\_\_\_\_ DATE: \_\_\_\_\_

Plotted by: Garner, Mikael Date: July 17, 2023 10:47:10am File Path: K:\saw\_civil\067783115\_meritage\_buda\_assemblies\Cad\plansheets\C-Storm Laterals W.dwg  
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 1" = 4' VERTICAL

BENCHMARKS

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77.4 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=691.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW ON THIRSE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: APPLICATION DATE: APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE. EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: ZONING: N/A

Rev. 1: Correction 1  
 Rev. 2: Correction 2  
 Rev. 3: Correction 3

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PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 13008  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13008  
 Alejandro E. Granados-Rico

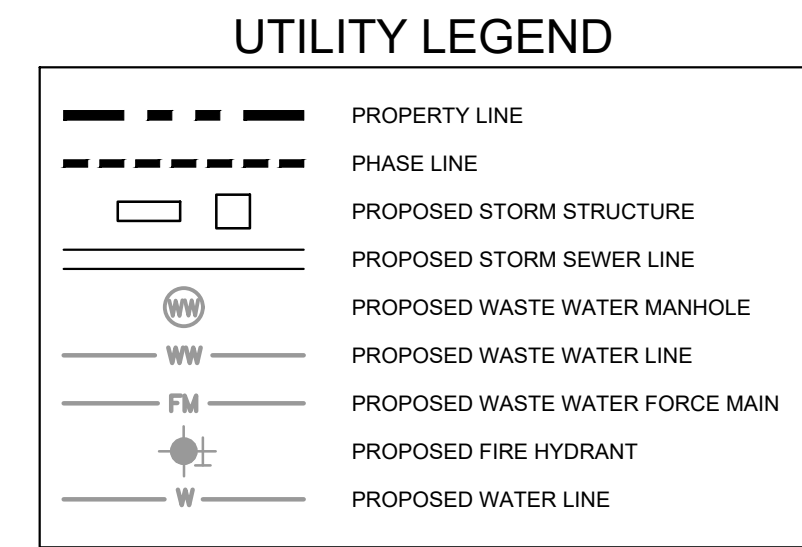
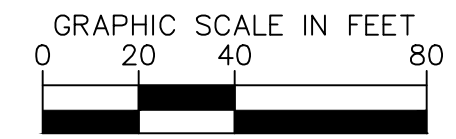
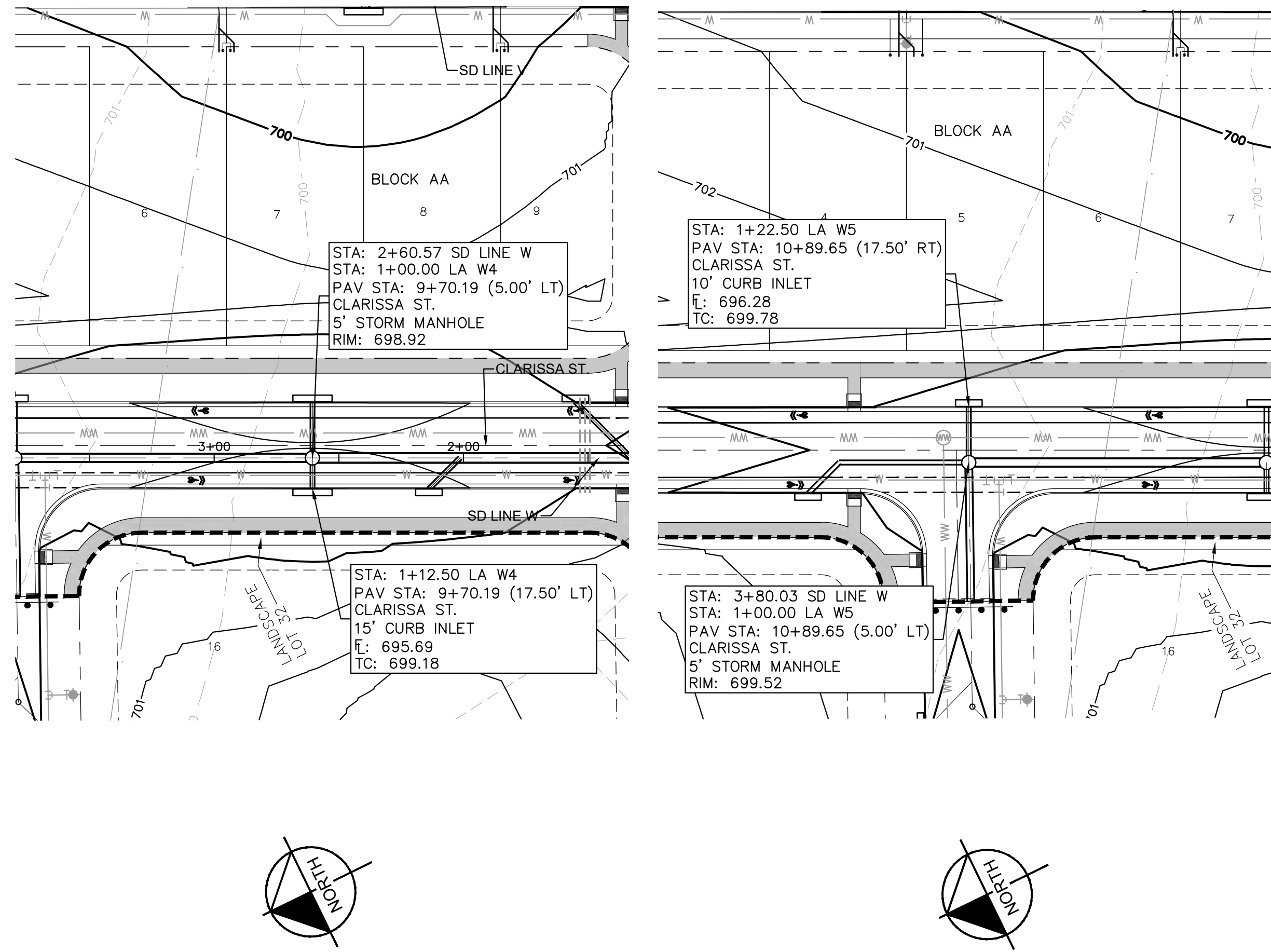
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 DATE: JULY 2023  
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 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

STORM LATERAL - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

STORM LATERAL  
 PLAN & PROFILE -  
 W1 W2 & W3

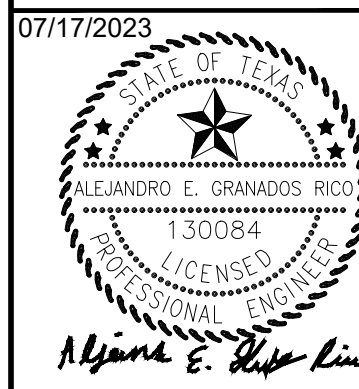
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 OF 226

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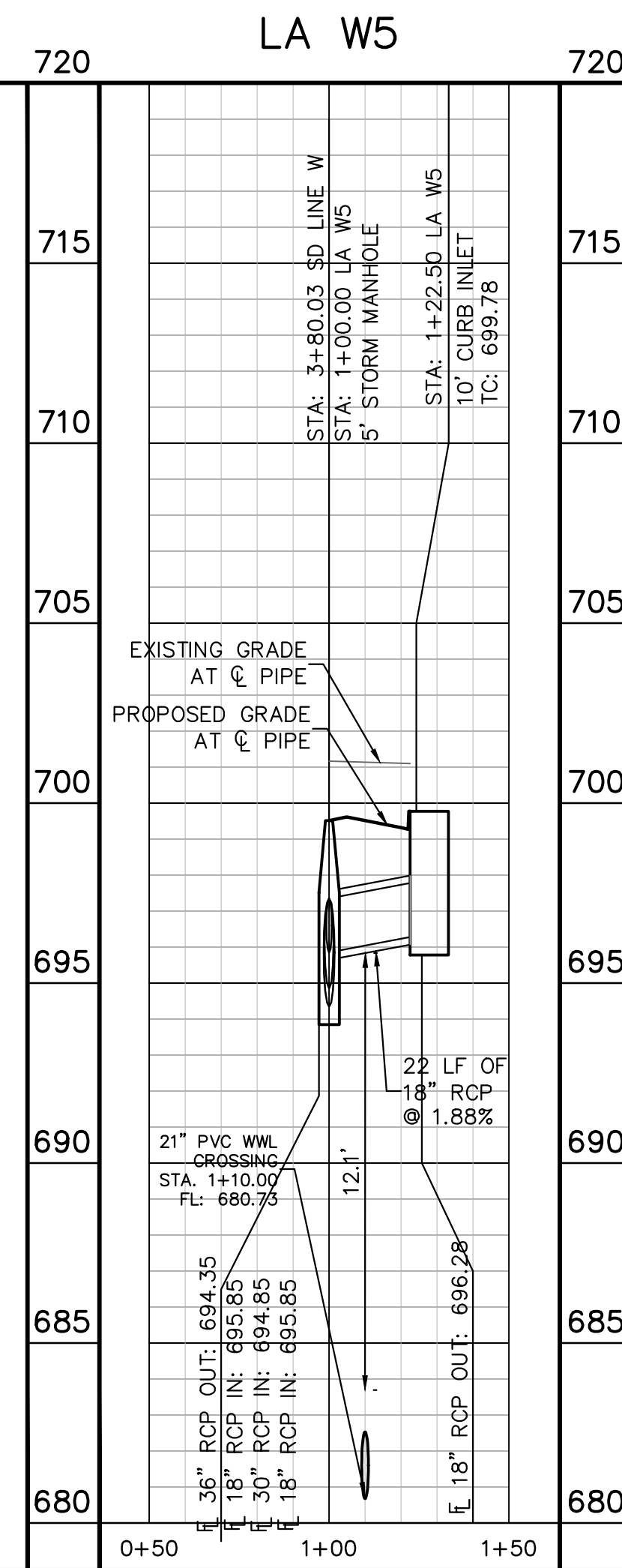
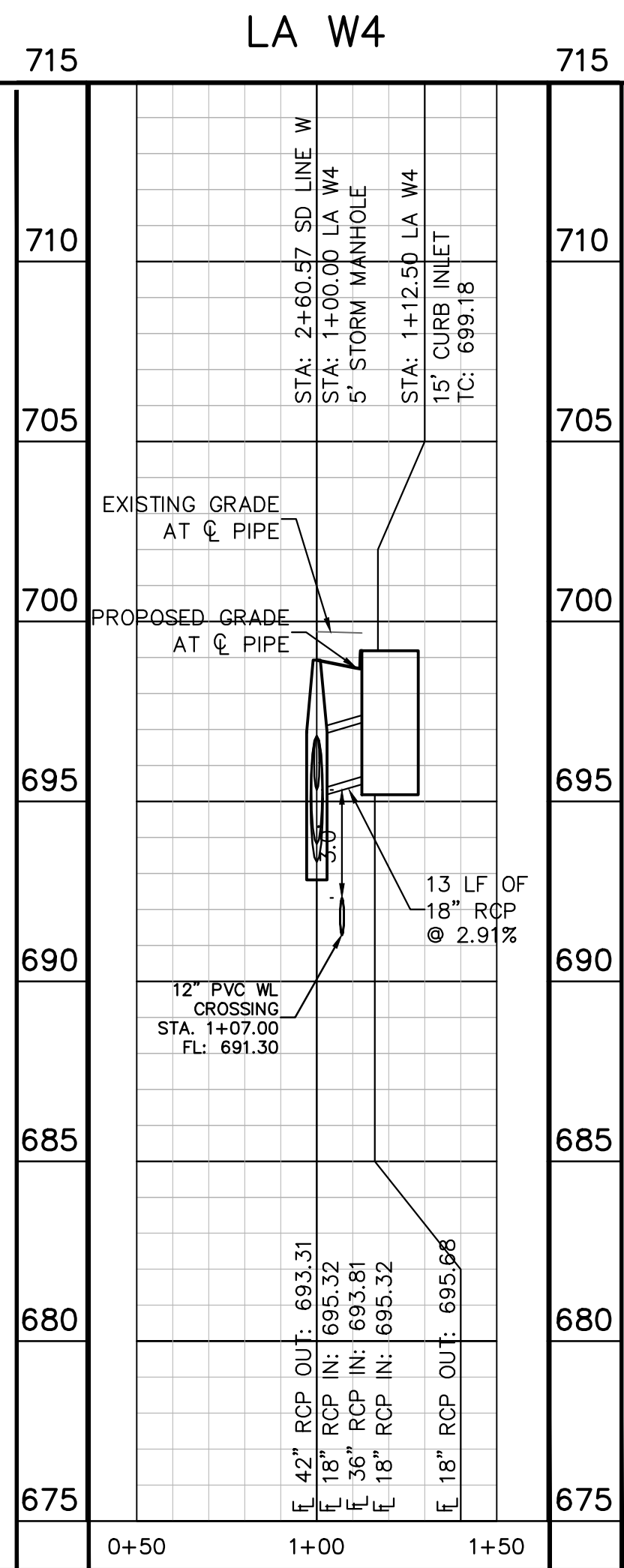


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**Kimley** **Horn**  
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KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB, DM  
 DRAWN BY: WB, HM, MH, DM  
 CHECKED BY: AEG



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**BENCHMARKS**

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BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUBSTATION BELOW ON THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEAGUE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

**CONSTRUCTION PLAN APPROVAL** SHEET 226 OF 226  
 FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA  
 UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A

Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
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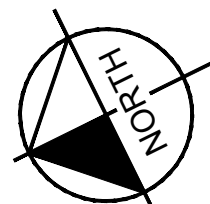
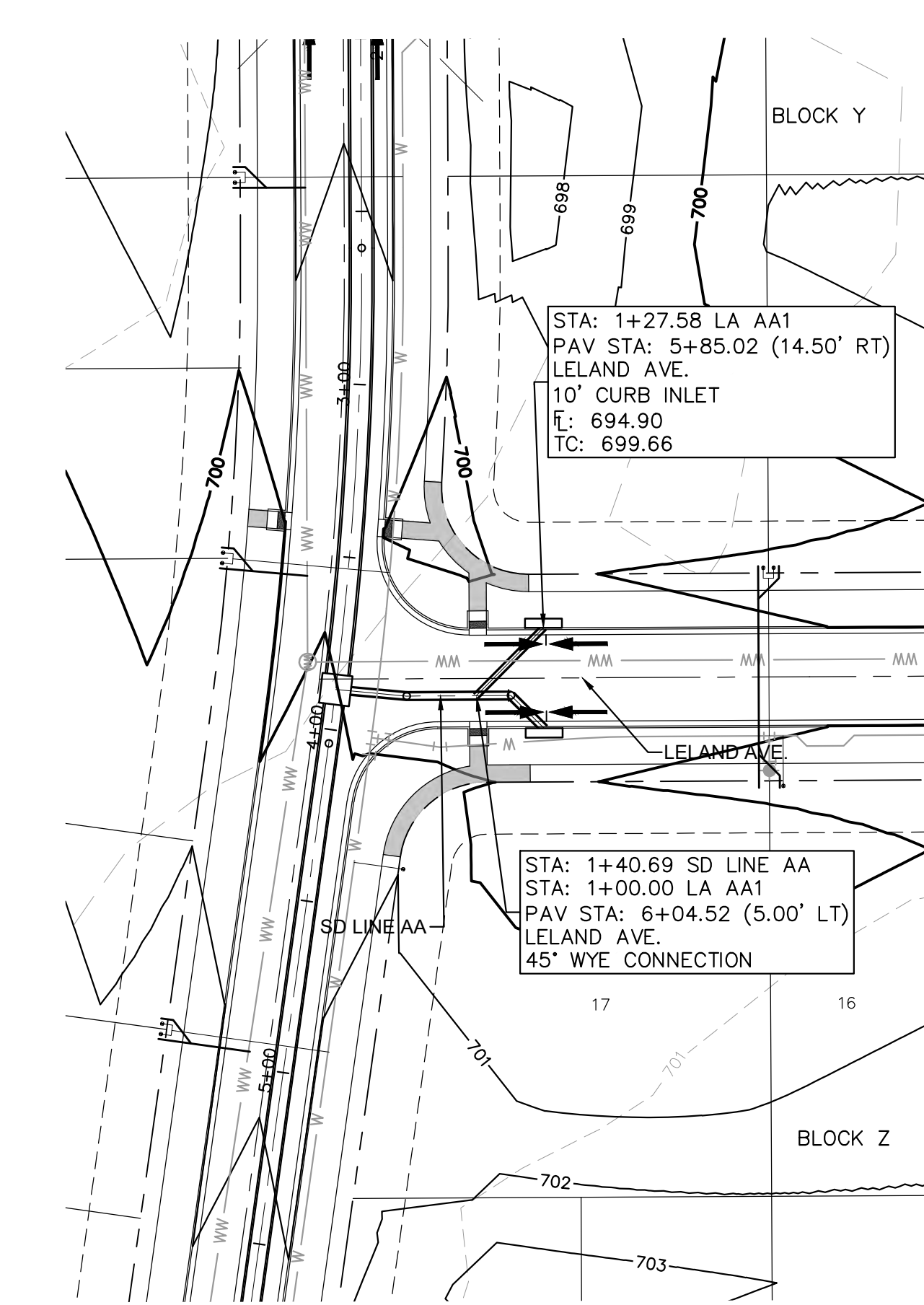
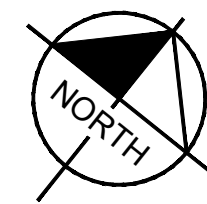
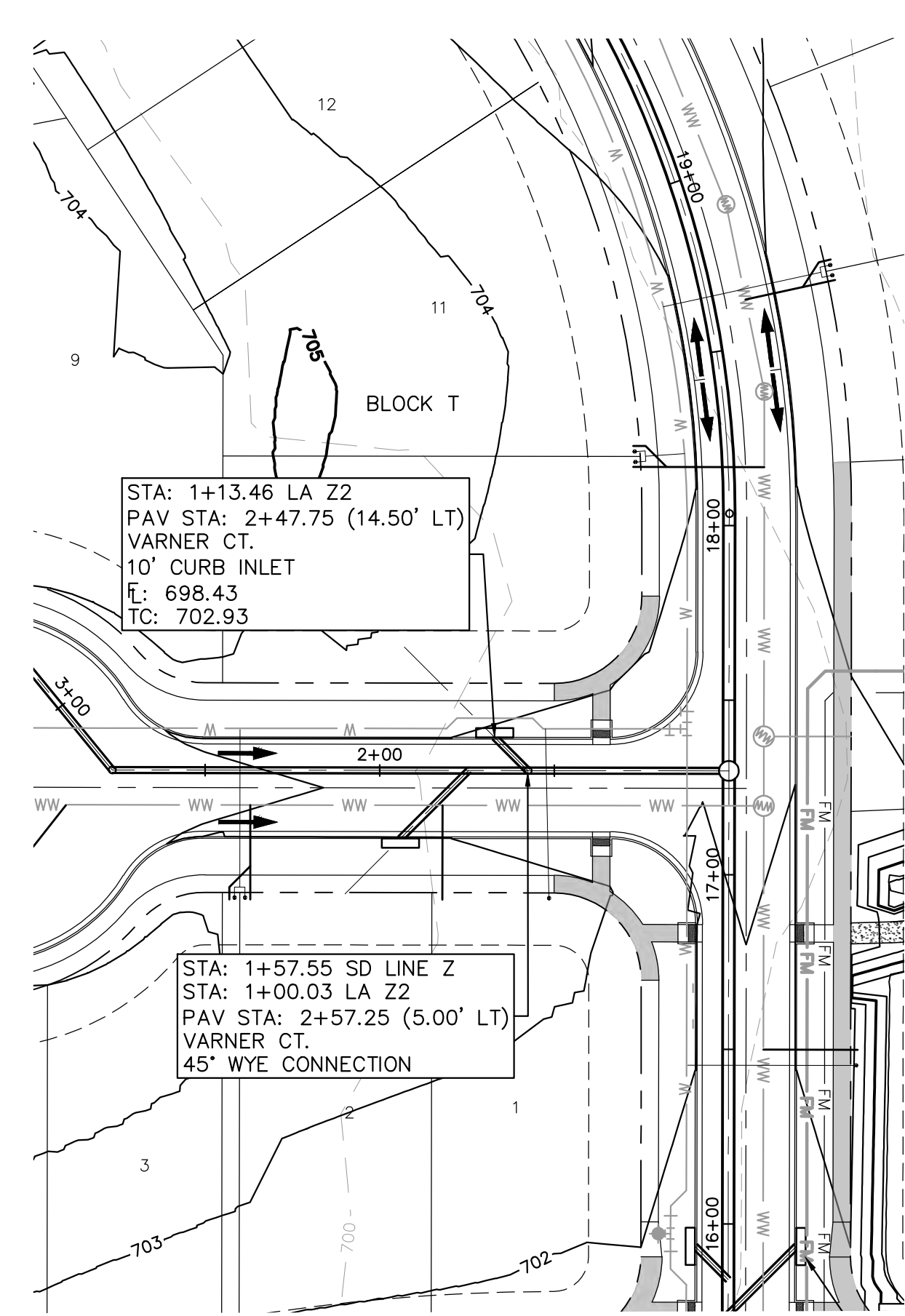
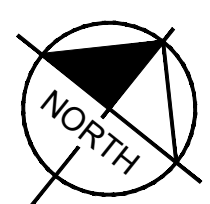
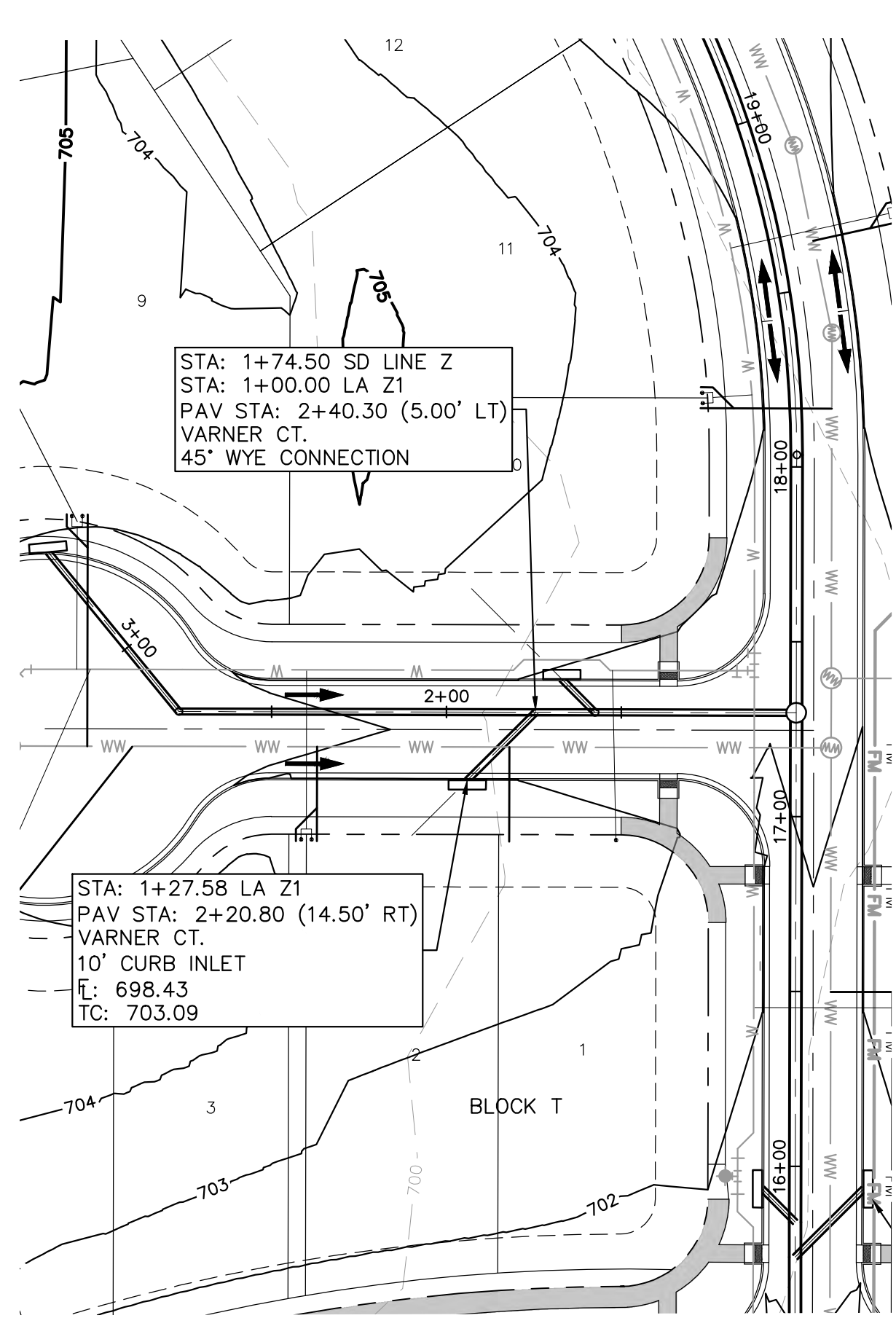
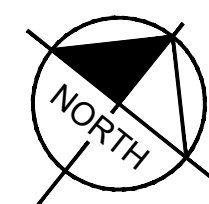
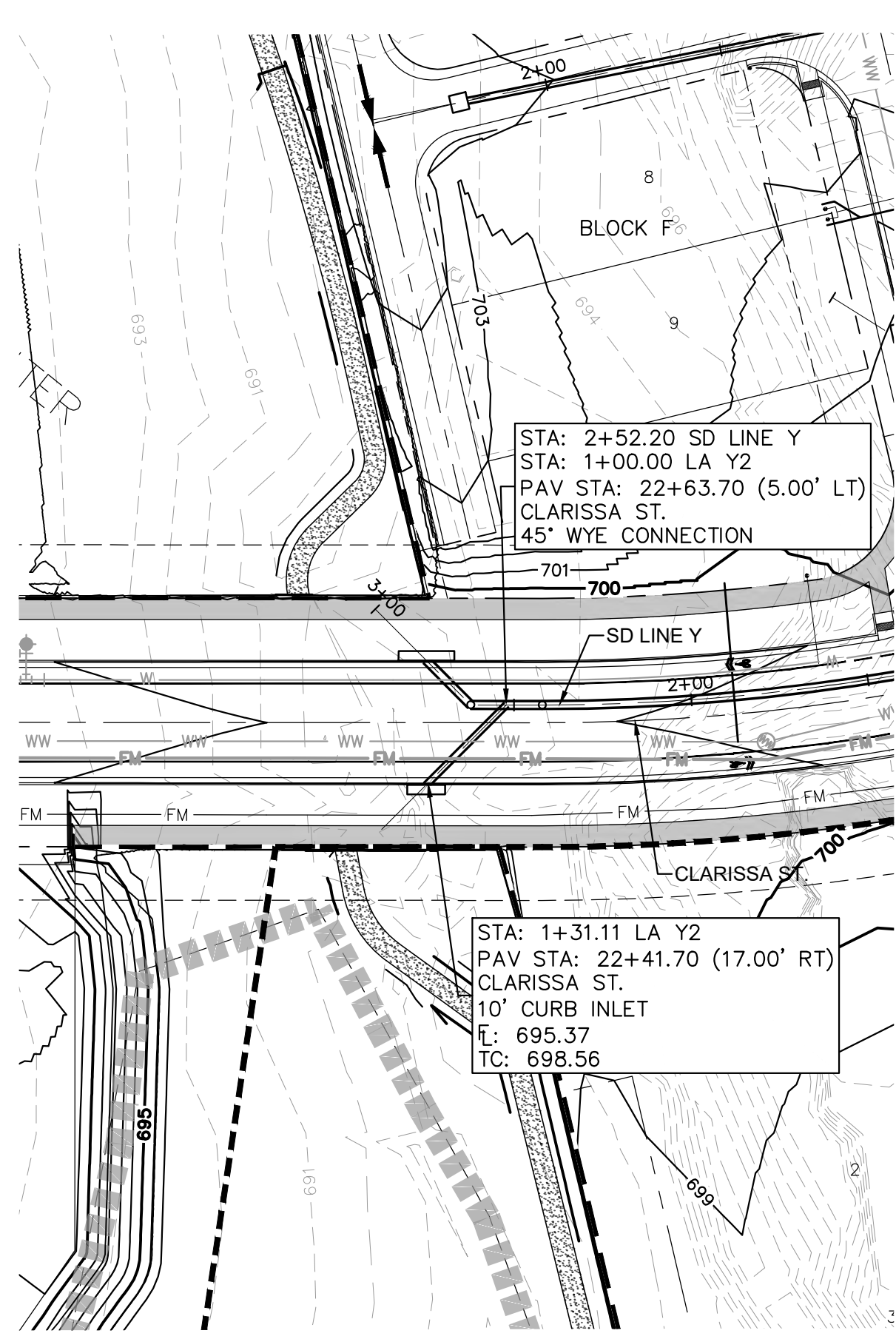
STORM LATERAL  
 PLAN & PROFILE -  
 W4 & W5

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**148**  
 OF 226

NO.	REVISIONS	DATE	BY

Plotted by: Garner, Michael Date: July 17, 2023 10:52:39am File Path: K:\you\_civil\067783115 meritage buda assemblage\Cad\plansheets\C-Storm Laterals Y, Z & AA.dwg  
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GRAPHIC SCALE IN FEET  
 0 20 40 80

**UTILITY LEGEND**

- PROPERTY LINE
- - - PHASE LINE
- - - PROPOSED STORM STRUCTURE
- - - PROPOSED STORM SEWER LINE
- PROPOSED WASTE WATER MANHOLE
- - - PROPOSED WASTE WATER LINE
- - - PROPOSED WASTE WATER FORCE MAIN
- PROPOSED FIRE HYDRANT
- - - PROPOSED WATER LINE

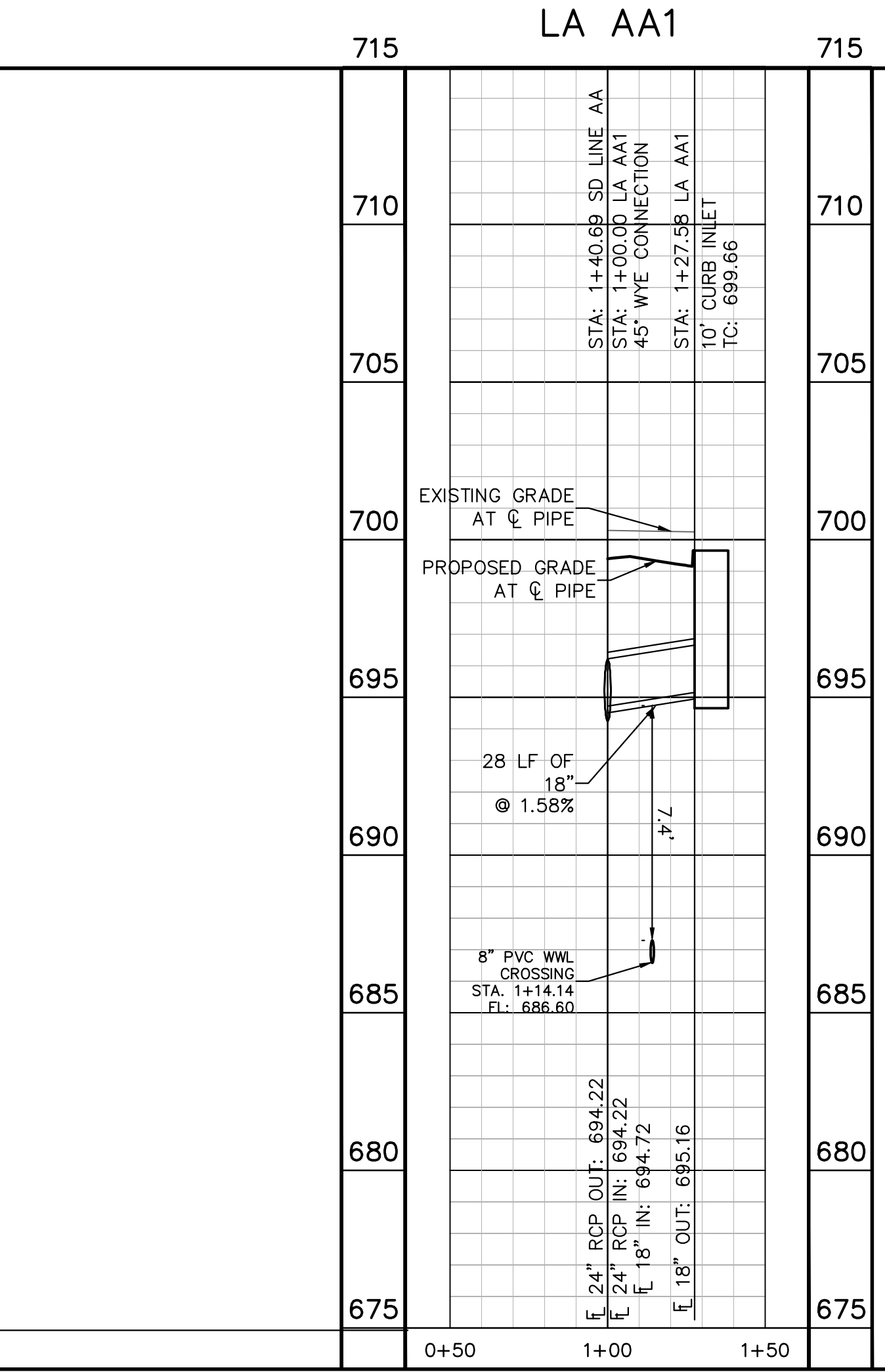
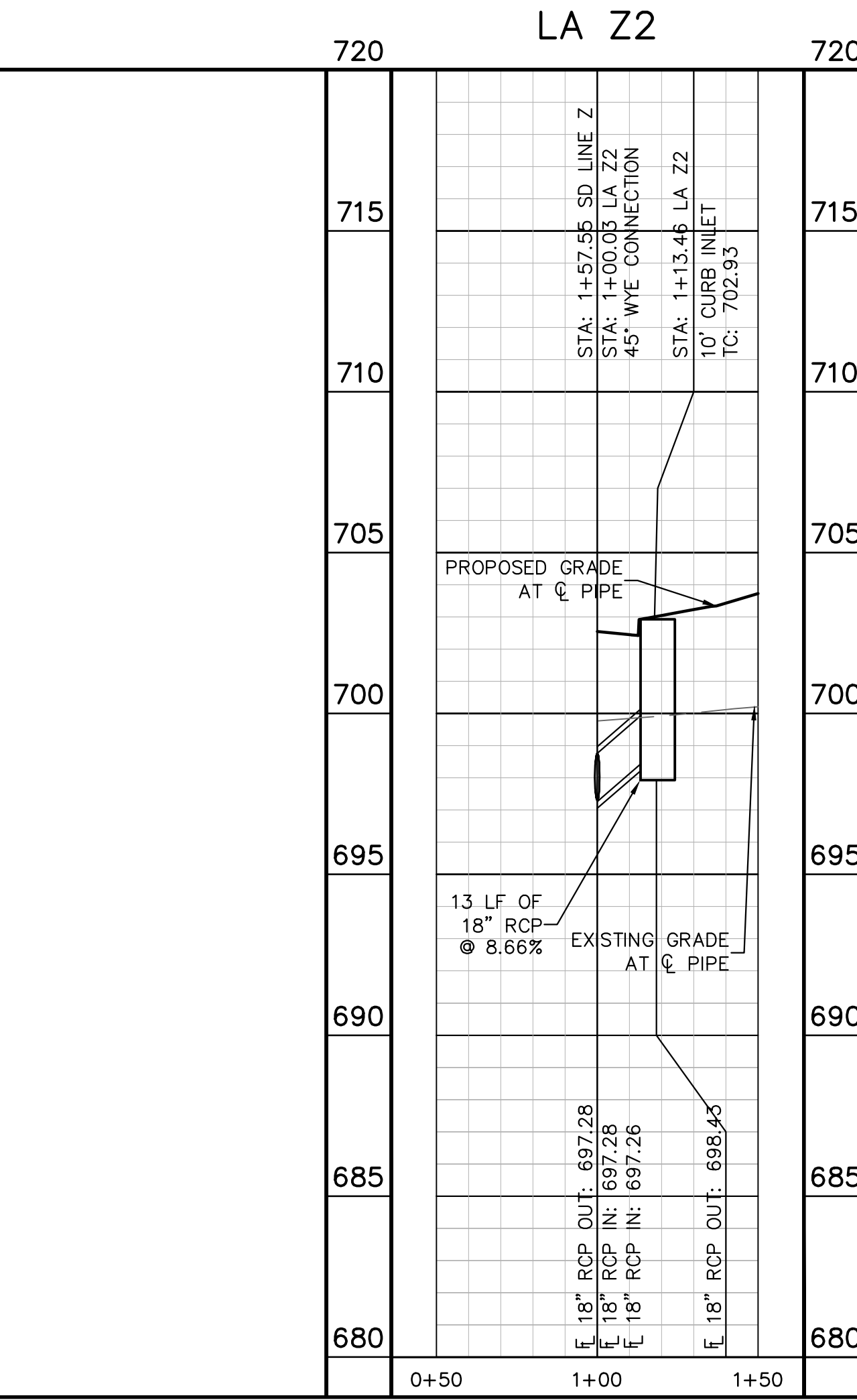
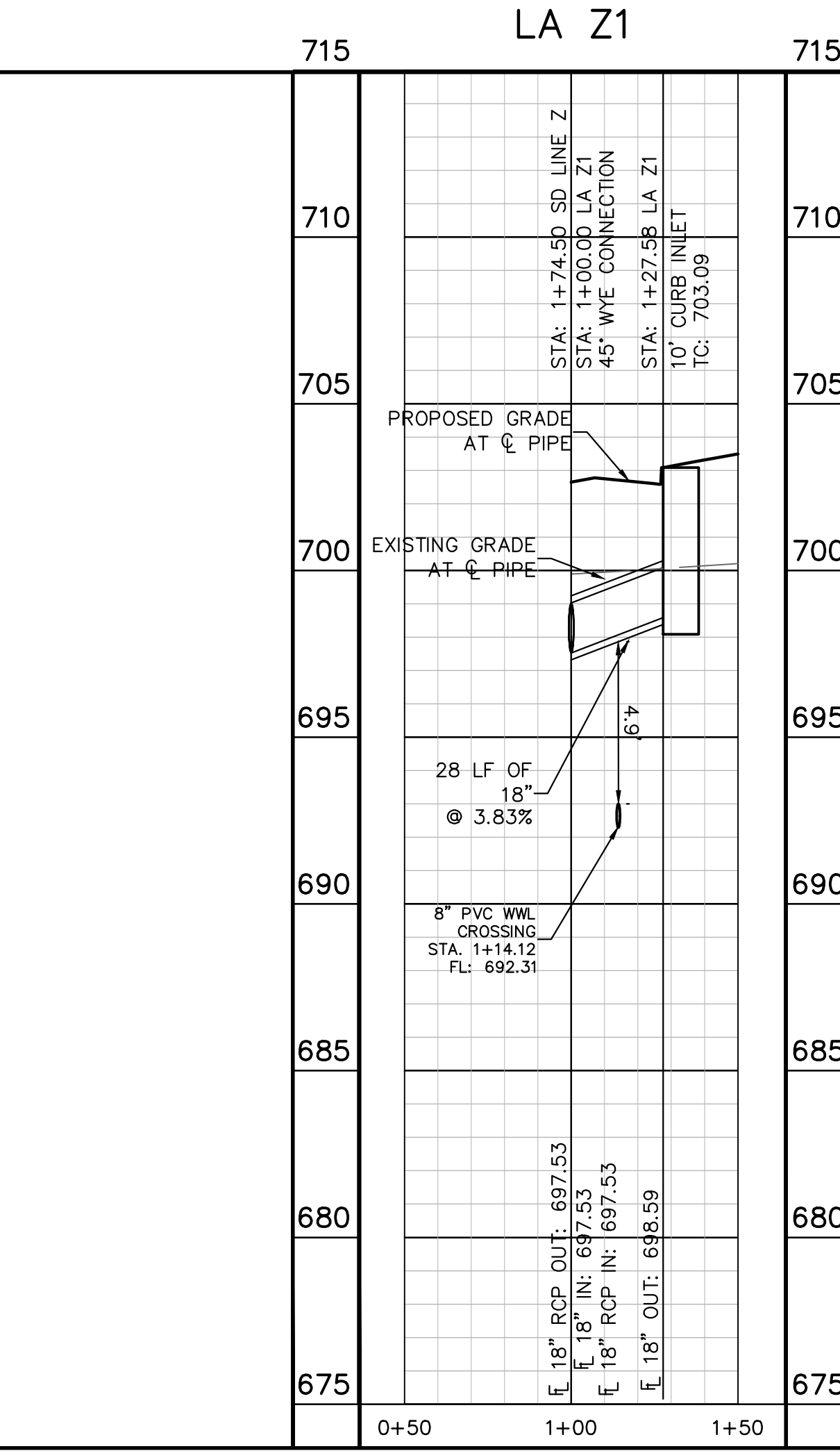
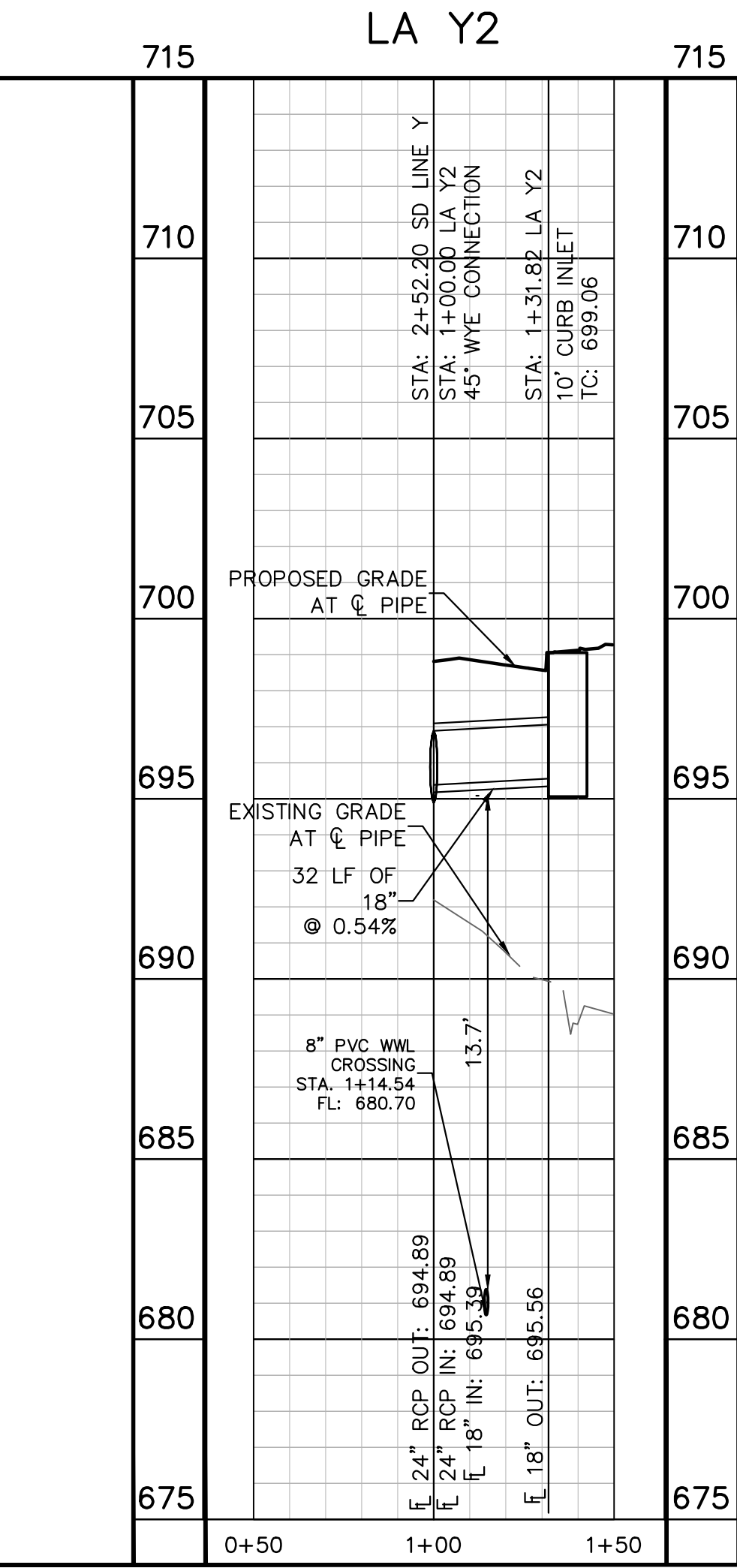
- NOTES:**
- ALL CONCRETE STRUCTURES SHALL HAVE MINIMUM STRENGTH OF 4200 PSI.
  - FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745-5537  
 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928



KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC



**811**  
 Know what's below.  
 Call before you dig.

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897.774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=702.07 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THIRSE OVERHEAD ELECTRICAL LINES. ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=702.56 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
 FILE NUMBER: APPLICATION DATE:  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: ZONING: N/A  
 Rev. 1: Correction 1  
 Rev. 2: Correction 2  
 Rev. 3: Correction 3

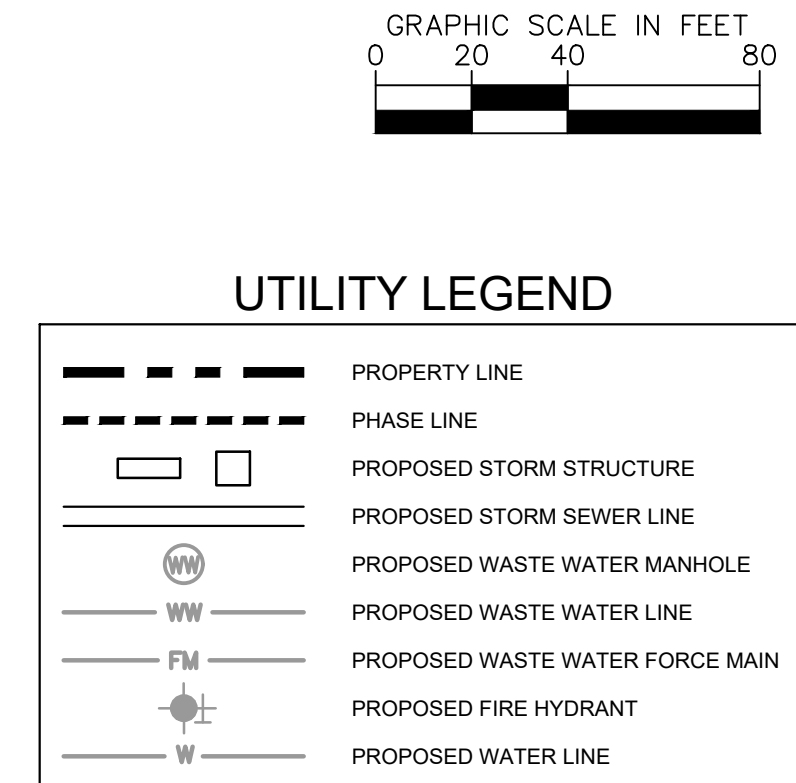
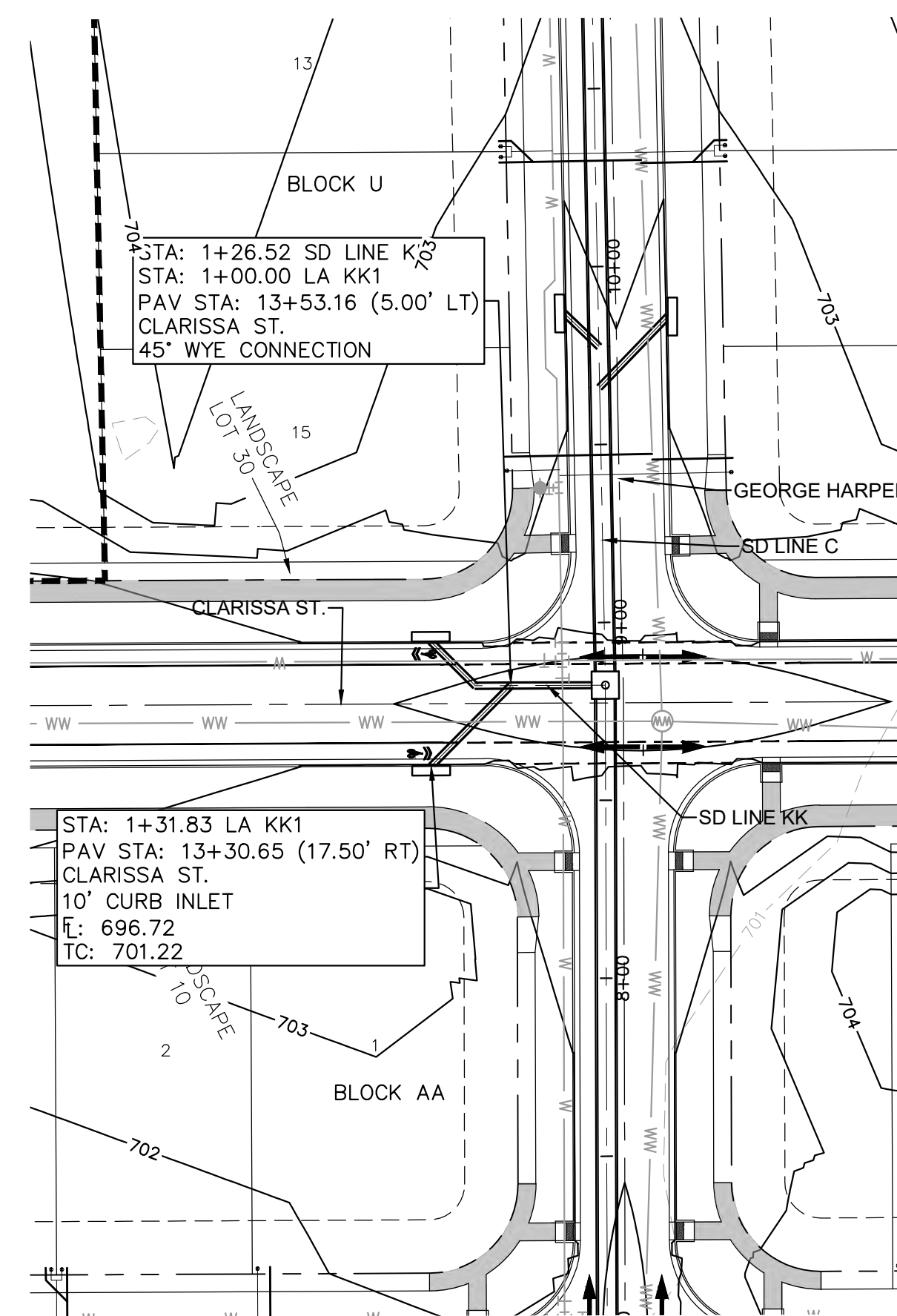
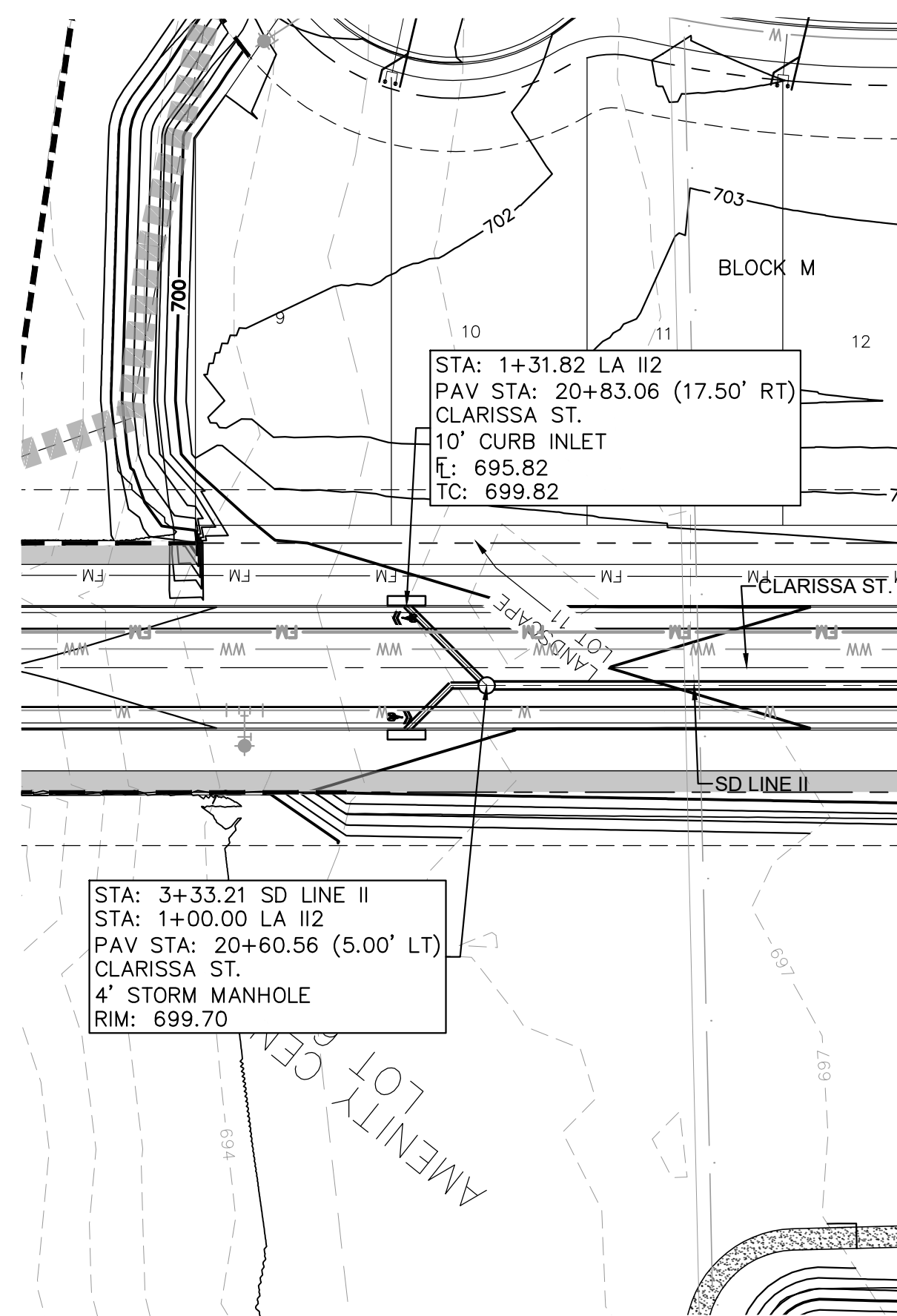
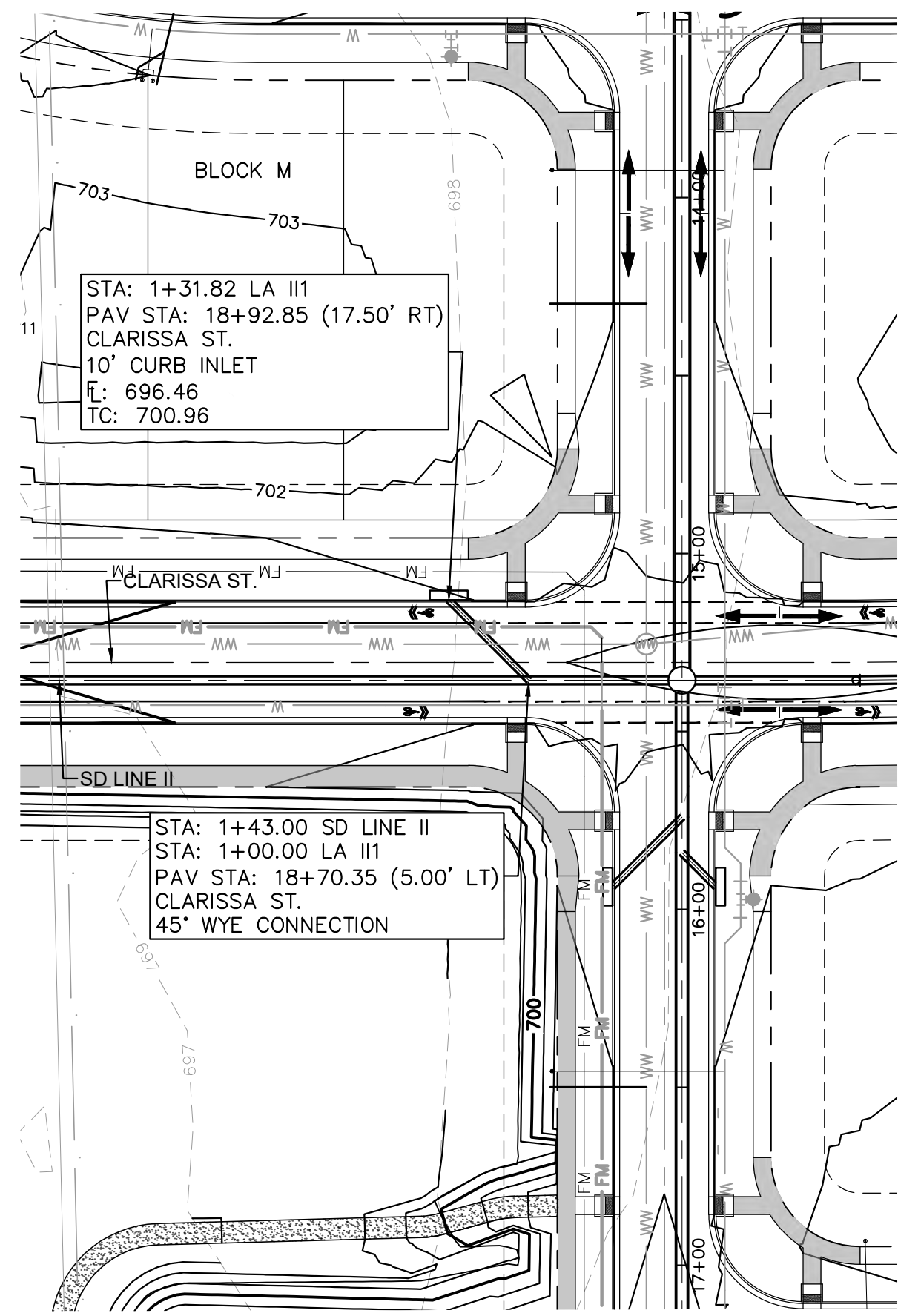
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

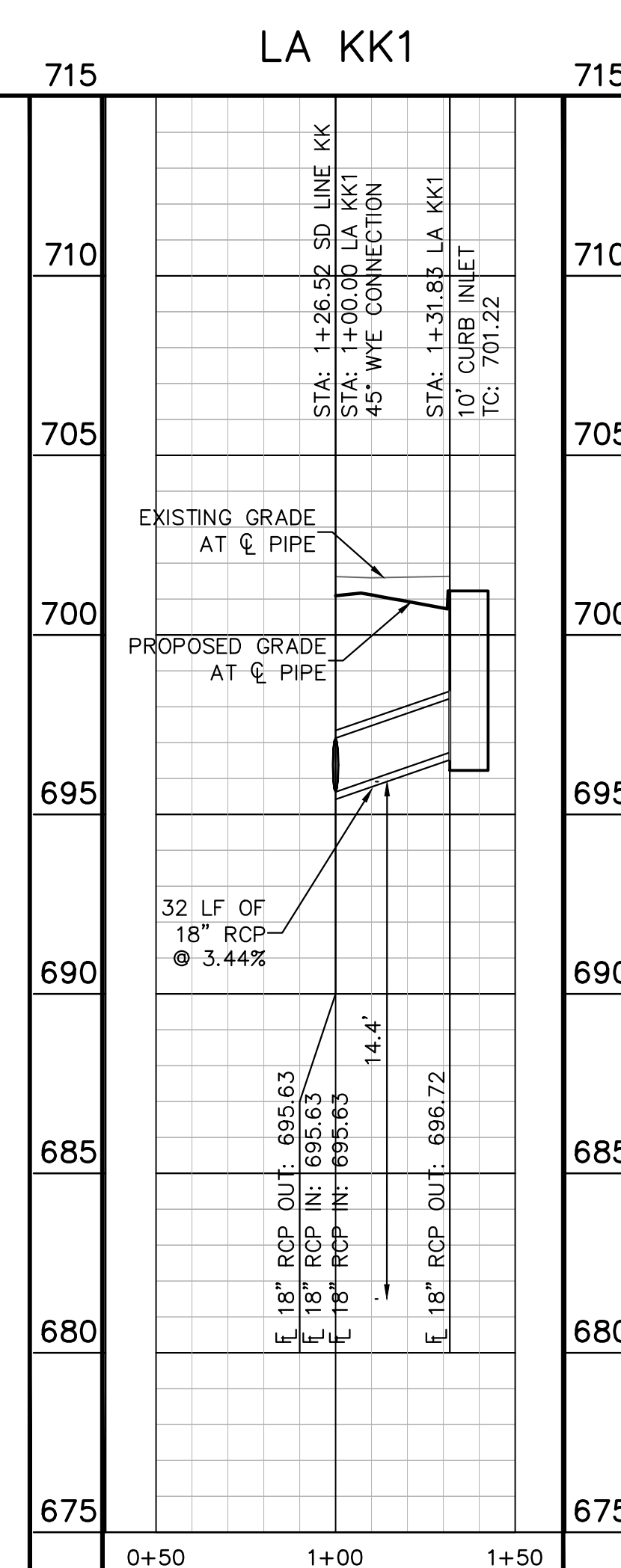
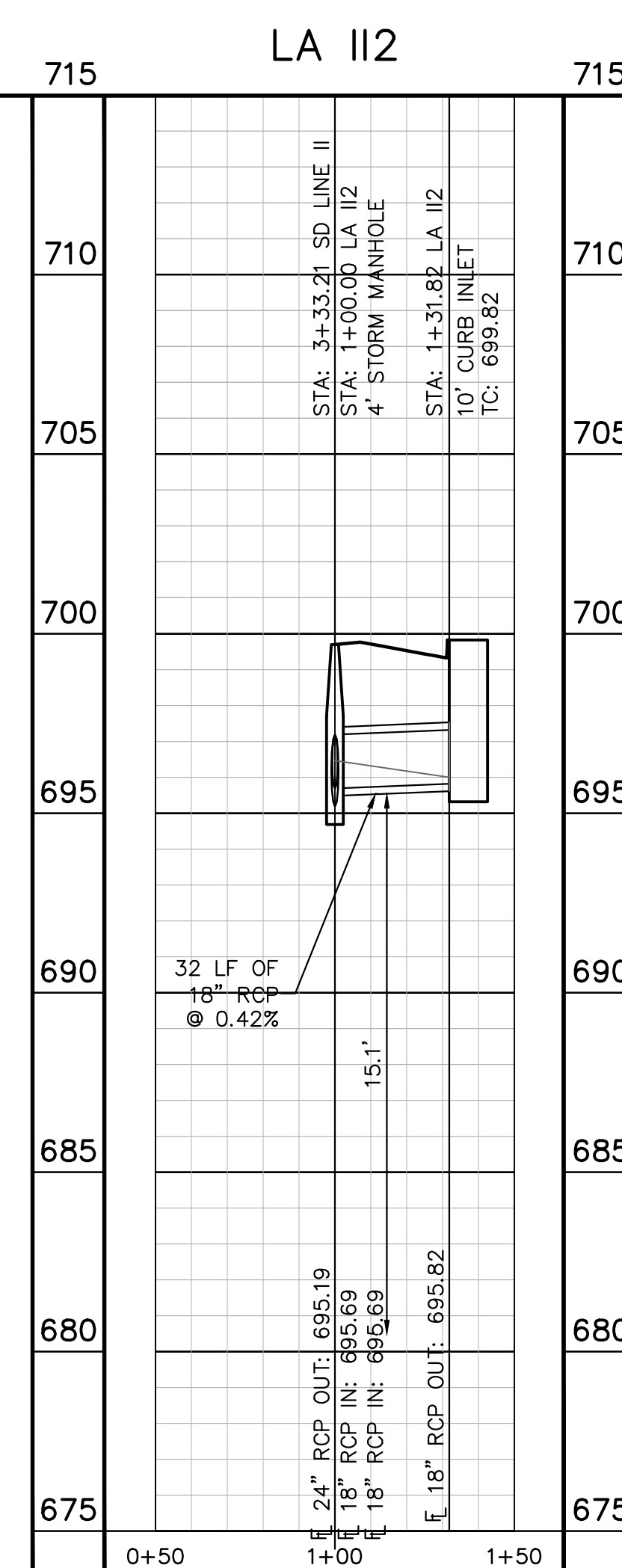
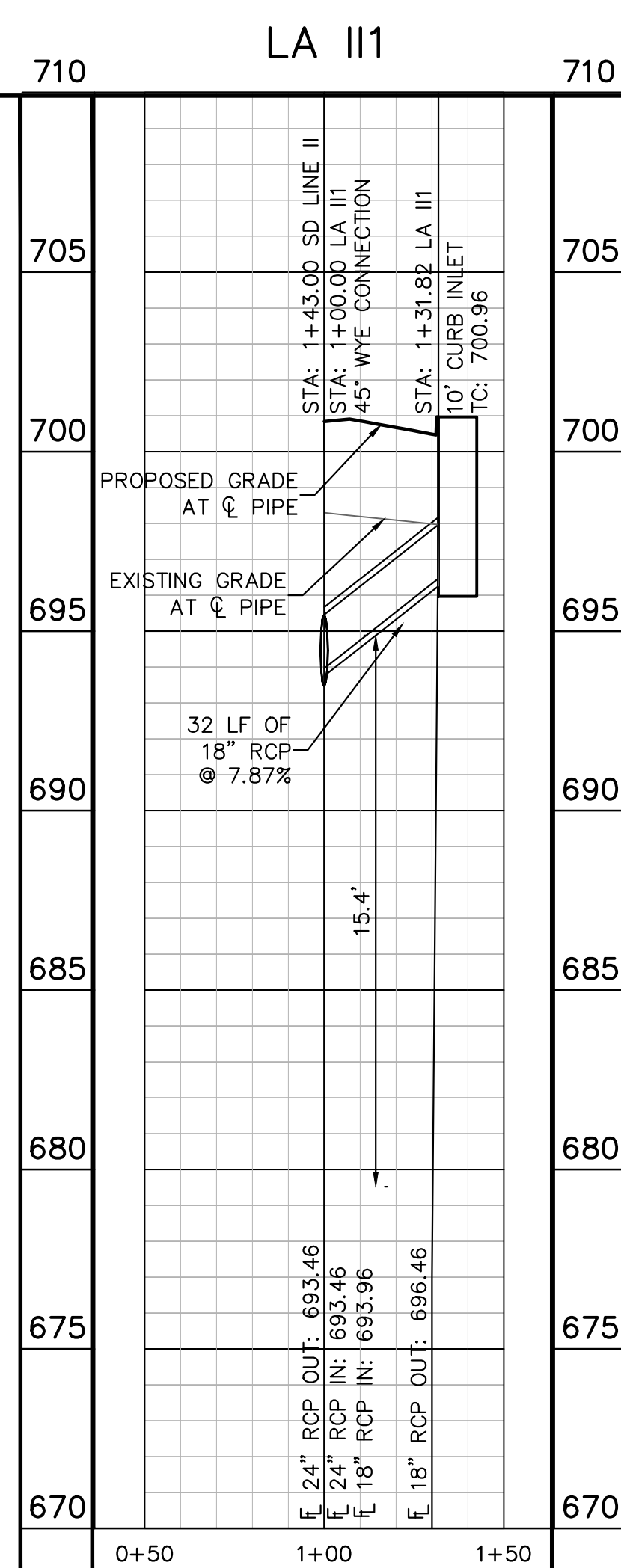
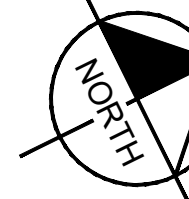
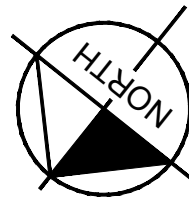
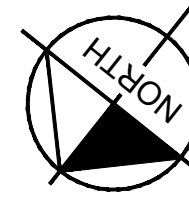
**STORM LATERAL  
 PLAN & PROFILE -  
 Y2 Z1 Z2 & AA1**

**THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS**

Plotted by: Gerner, Mikael Date: July 17, 2023 10:56:25am File Path: K:\you\_civil\067783115 heritage buda assemblage\Cad\plansheets\C-Storm Laterals II & KK.dwg  
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- NOTES:
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  - FILL TO BE COMPACTED TO 95% STD PROCTOR DENSITY OR PER GEOTECH RECOMMENDATION.



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 Know what's below.  
 Call before you dig.

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CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
 FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A  
 Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.  
 PERMIT NUMBER: 2021-737

**STORM LATERAL PLAN & PROFILE - I11 I12 & KK1**

**THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS**

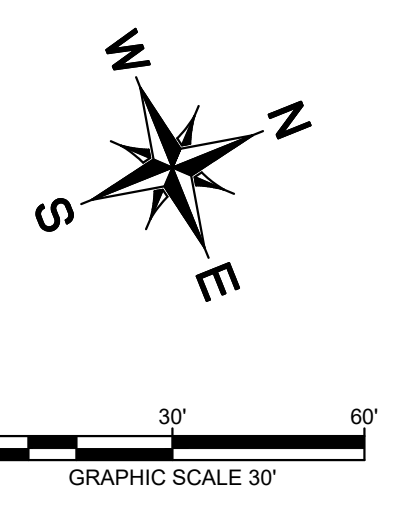
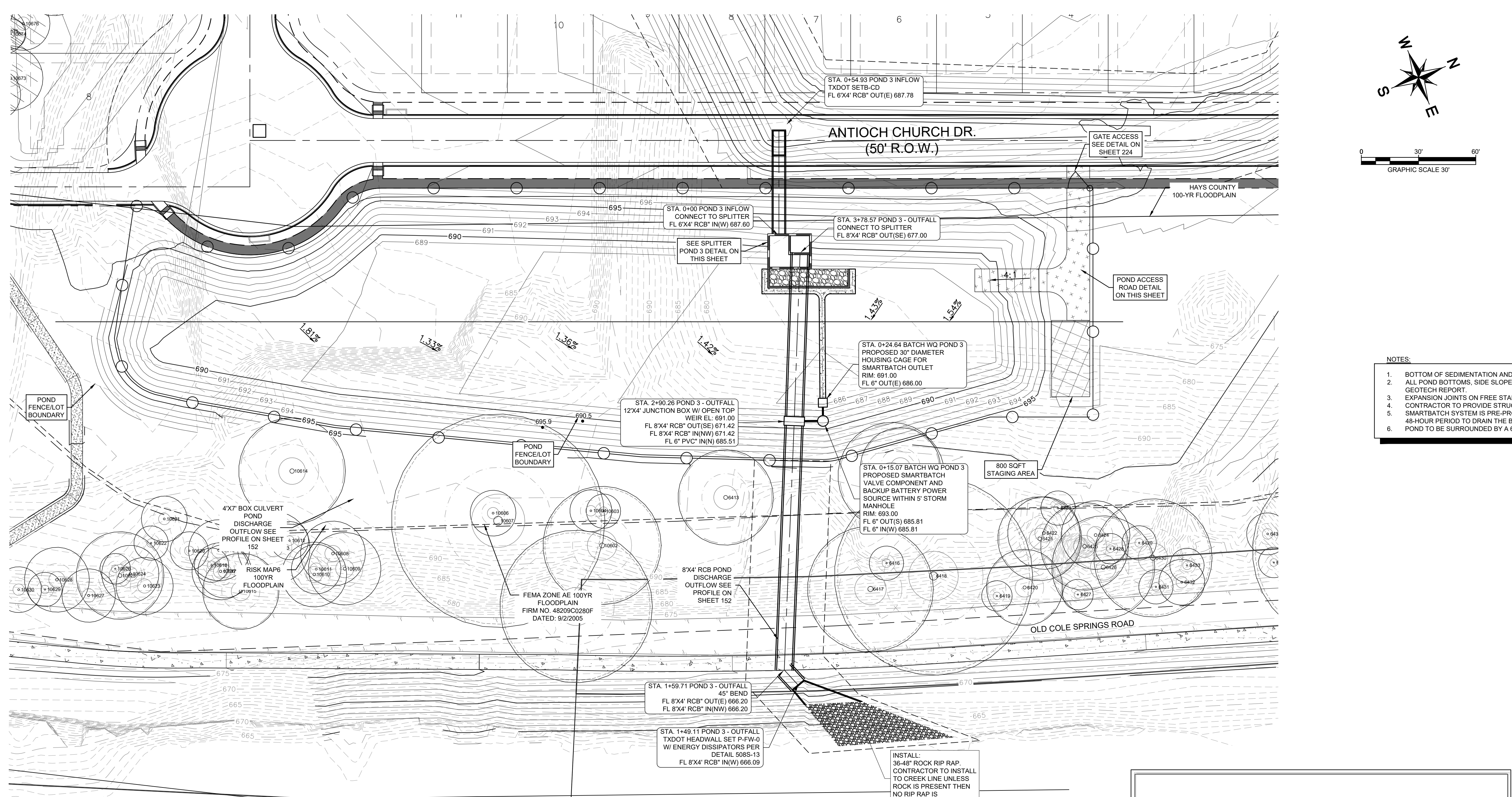
SHEET NUMBER **150** OF 226

KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

**Kimley-Horn**  
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 AUSTIN, TX 78745-5537  
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 TBPE Firm No. 928

07/17/2023  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13308  
 ALJANK E. RUIZ-LIN

NO.	REVISIONS	DATE	BY



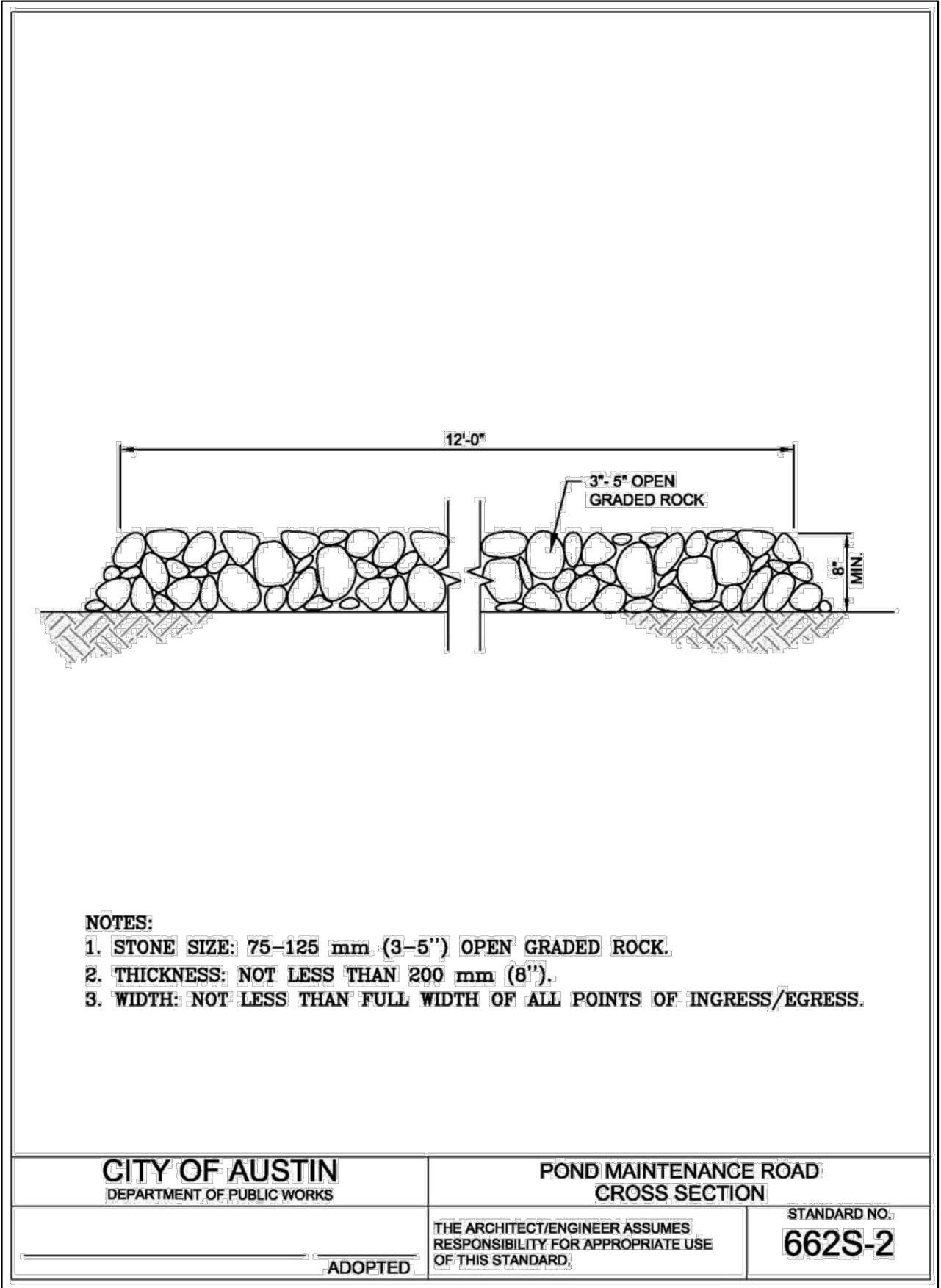
**BATCH DETENTION POND REVEGETATION PLAN**

- IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION, EXCESS SPOIL AND DEBRIS SHALL BE REMOVED AND THE CONSTRUCTION AREA SHALL BE GRADED TO THE CONTOURS AS SHOWN ON THE PLANS. THE SURFACE OF THE GROUND SHOULD BE SMOOTH WITH NO LARGE ROCKS, STUMPS, OR OTHER DEBRIS. TOPSOIL OF SANDY LOAM, LOAM, CLAY LOAM OR EQUIVALENT AND FREE OF TREE ROOTS, ROCKS GREATER THAN 2 INCHES IN DIAMETER AND OTHER DEBRIS SHALL THEN BE UNIFORMLY SPREAD OVER ALL DISTURBED AREAS TO A MINIMUM DEPTH OF 6 INCHES. THE TOPSOIL SHOULD BE COMPACTED BY TRACKING A BULLDOZER WITH CLEANED TREADS VERTICALLY ON THE SLOPES TO CREATE HORIZONTAL EROSION CHECKS IN THE SURFACE.
- RE-SEEDING SHALL IMMEDIATELY FOLLOW TOPSOILING WITH THE FOLLOWING MIXTURE OF GRASSES:  
BROADCAST SEEDING:  
A. FROM SEPTEMBER 15 TO MARCH 1, SEEDING SHALL BE WITH A COMBINATION OF 2 POUNDS PER 1000 SF OF UNHILLED TYPE 7 (SPECIAL PROVISION 164-WC 001) - STANDARD SHORT NATIVE GRASS SEED MIX AND 7 POUNDS PER 1000 SF OF WINTER RYE WITH A PURITY OF 95% WITH 85% GERMINATION.  
B. FROM MARCH 2 TO SEPTEMBER 14, SEEDING SHALL BE WITH HILLED TYPE 7 (SPECIAL PROVISION 164-WC 001) - STANDARD SHORT NATIVE GRASS SEED MIX AT A RATE OF 2 POUNDS PER 1000 SF WITH A PURITY OF 95% WITH 85% GERMINATION.  
C. FERTILIZER SHALL BE A PELLETED OR GRANULAR SLOW RELEASE WITH AN ANALYSIS OF 15-15-15 TO BE APPLIED ONCE AT PLANTING AND ONCE DURING THE PERIOD OF ESTABLISHMENT AT A RATE OF 1 POUND PER 1000 SF.
- THE SEEDED AREA SHALL BE IRRIGATED OR SPRINKLED IN A MANNER THAT WILL NOT ERODE THE TOPSOIL, AT 10-DAY INTERVALS DURING THE FIRST TWO MONTHS FOLLOWING PLANTING AT A RATE SUFFICIENT TO THOROUGHLY SOAK THE SOIL TO A DEPTH OF 6 INCHES. RAINFALL OCCURRENCES OF ONE-HALF INCH OR GREATER SHALL POSTPONE THE WATERING SCHEDULE 10 DAYS. RESTORATION SHALL BE ACCEPTABLE WHEN THE GRASS HAS GROWN AT LEAST 1-1/2 INCHES HIGH WITH 95% COVERAGE AND NO BARE SPOT LARGER THAN 16 SQUARE FEET EXIST.

- NOTES:**
- BOTTOM OF SEDIMENTATION AND DETENTION BASINS SHALL BE GRASS LINED.
  - ALL POND BOTTOMS, SIDE SLOPES, AND EARTHEN EMBANKMENTS SHALL BE COMPACTED TO 95% MAXIMUM DENSITY PER GEOTECH REPORT.
  - EXPANSION JOINTS ON FREE STANDING WALLS SHALL HAVE WATER TIGHT SEALS AS NEEDED.
  - CONTRACTOR TO PROVIDE STRUCTURAL DRAWINGS FOR SPLITTER BOX AND OUTFALL STRUCTURES.
  - SMARTBATCH SYSTEM IS PRE-PROGRAMMED TO HOLD WATER FOR 12 HOURS AND THEN ROTATES SLOWLY OVER A 48-HOUR PERIOD TO DRAIN THE BATCH DETENTION POND COMPLETELY.
  - POND TO BE SURROUNDED BY A 6-FOOT HIGH PEDESTRIAN FENCE WITH GATES.

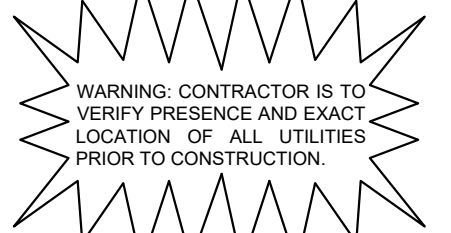
**LEGEND**

---	PROPERTY LINE
- - - -	PHASE LINE
•••••	PROPOSED FINISHED PAD ELEVATION
55.5 •	PROPOSED SPOT ELEVATION
EX 55.5 •	EXISTING SPOT ELEVATION
TW 55.5 •	PROPOSED GRADE AT TOP OF WALL
BW 55.5 •	PROPOSED GRADE AT BOTTOM OF WALL
EW 55.5 •	PROPOSED GRADE AT END OF WALL
◻	PAD MOUNT TRANSFORMER
→	LOT DRAINAGE FLOW DIRECTION
→	STREET DRAINAGE FLOW DIRECTION
—▲—	PROPOSED RETAINING WALL
▲▲▲	EXPOSED FACE OF RETAINING WALL
555	PROPOSED CONTOUR
555	EXISTING CONTOUR
—	STORM SEWER
◻	STORM INLET
○	STORM MANHOLE
— W —	WATER MAIN
— WW —	WASTEWATER MAIN
—•—	5' SIDEWALK (INCLUDED IN CONTRACT)
•••••	5' SIDEWALK (EXCLUDED FROM CONTRACT)



**NOTES:**

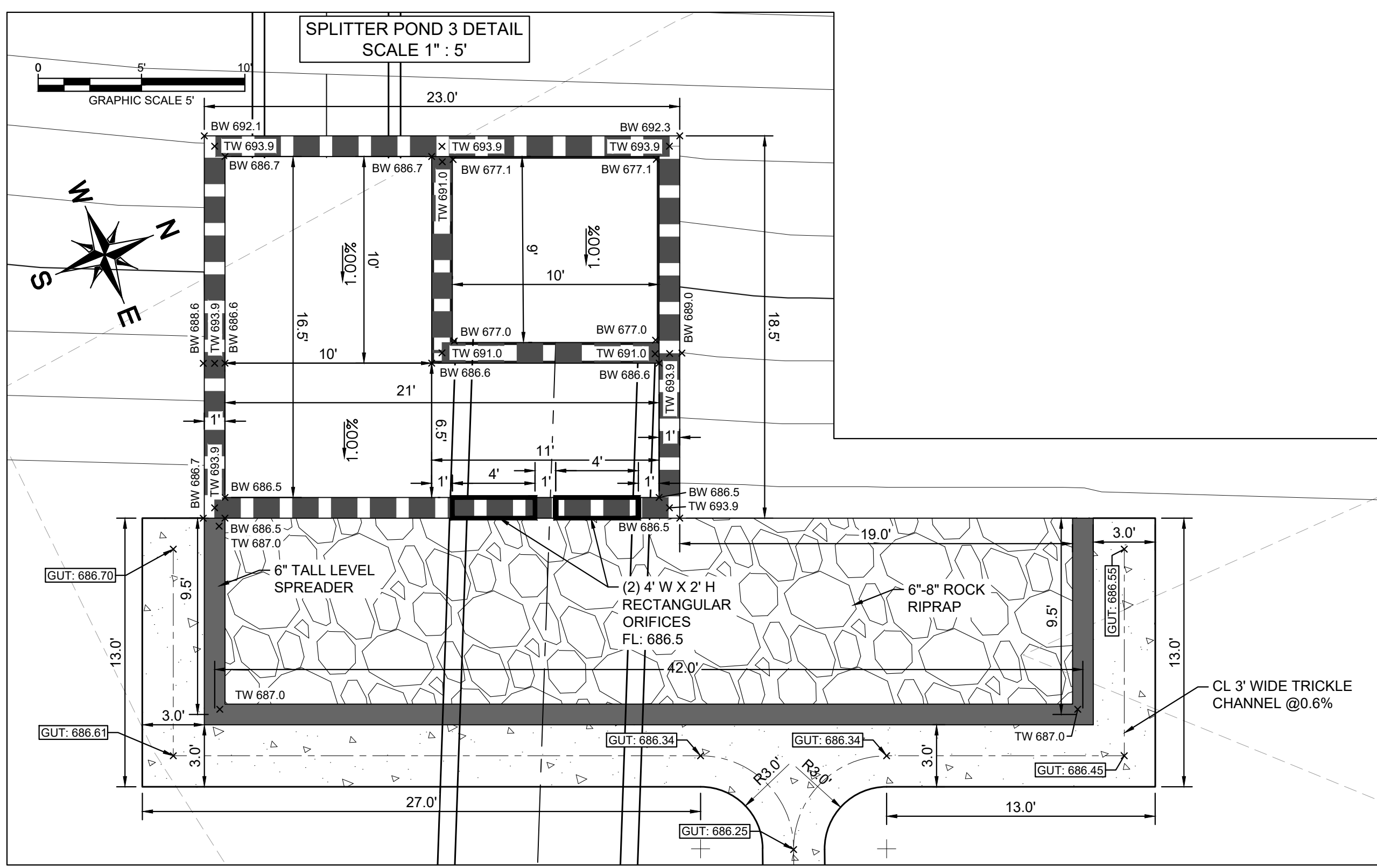
- STONE SIZE: 75-125 mm (3-5") OPEN GRADED ROCK.
- THICKNESS: NOT LESS THAN 200 mm (8").
- WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS/EGRESS.



WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**CONSTRUCTION PLAN APPROVAL**

FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-7-31	CASE MANAGER: 08/16/2021
A. KENNEDY	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE:	ZONING: N/A
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
<i>Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.</i>	
PERMIT NUMBER: 2021-737	



Plotted By: Flynn, Alyssa Date: July 17, 2023 08:32:13am File Path: K:\3AL\Civil\067783115 Heritage Buda Assemblage\Cad\PlanSheets\Cad\PlanSheets\C-Pond Plan.dwg  
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AUSTIN, TX 78746  
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TBE Firm No. 928

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HMB,LDW  
CHECKED BY: AEC

07/17/2023

ALEJANDRO E. GRANADOS RICO  
1303084  
LICENSED PROFESSIONAL ENGINEER  
STATE OF TEXAS  
No. 12834  
Name: A. E. Granados Rico

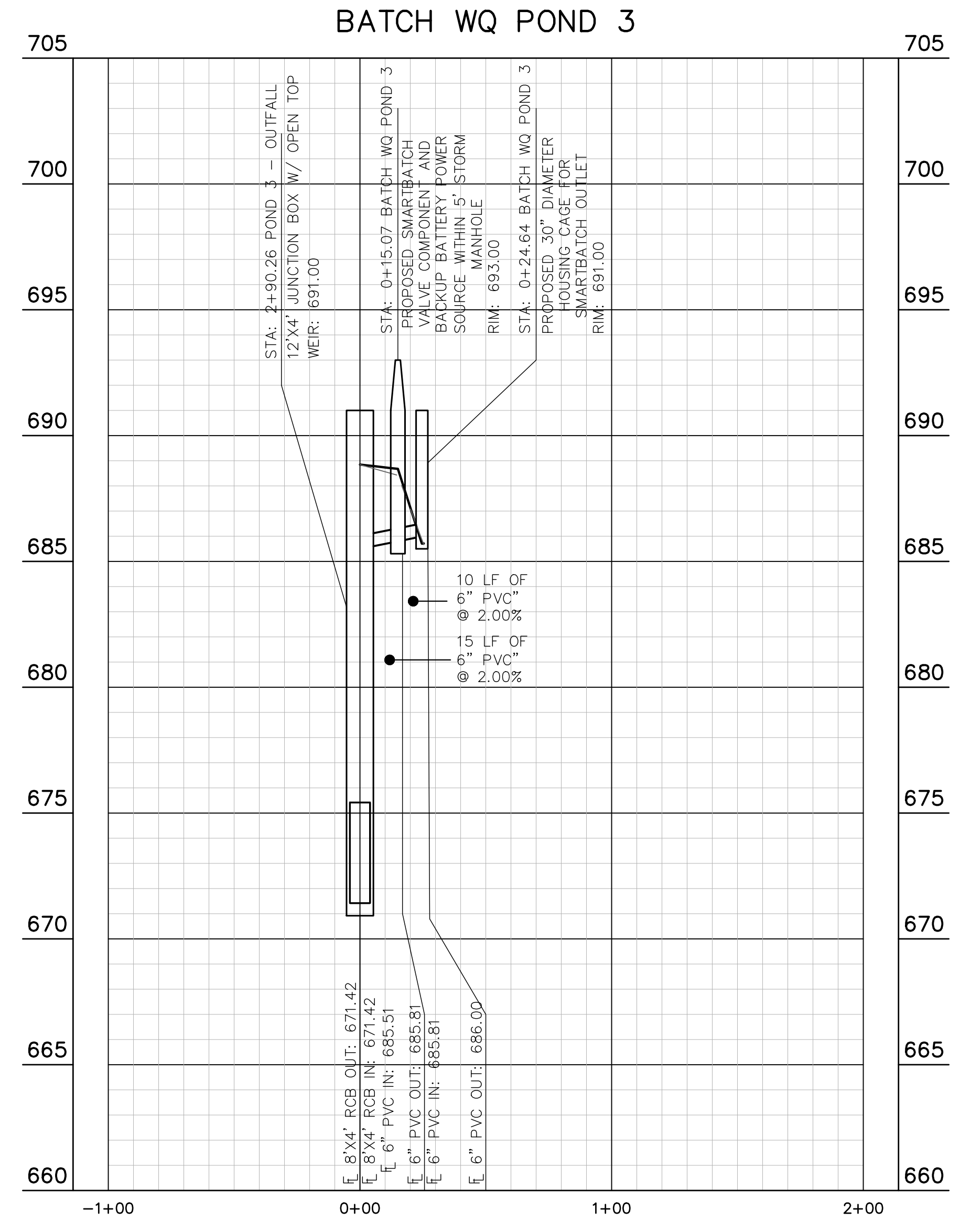
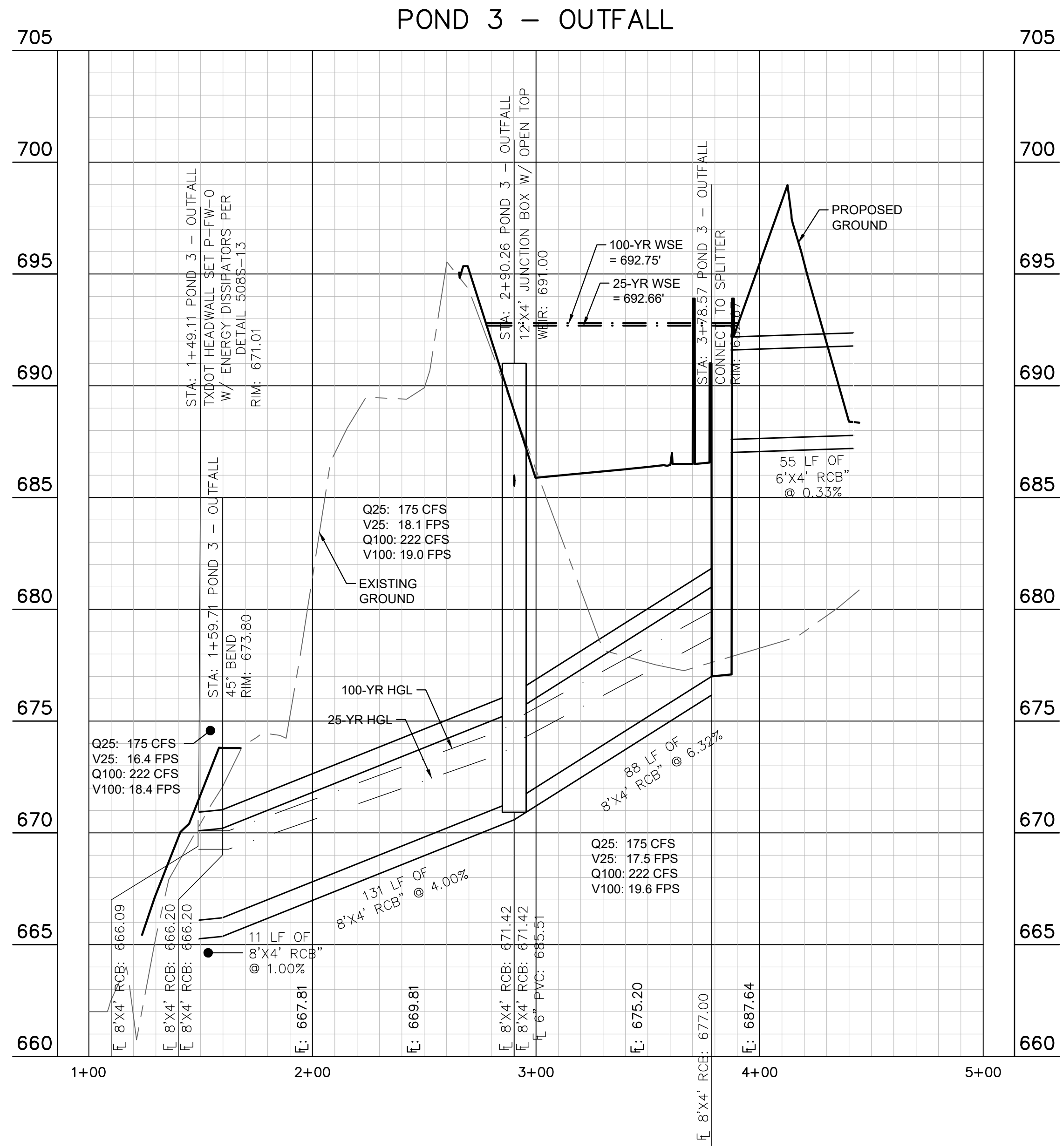
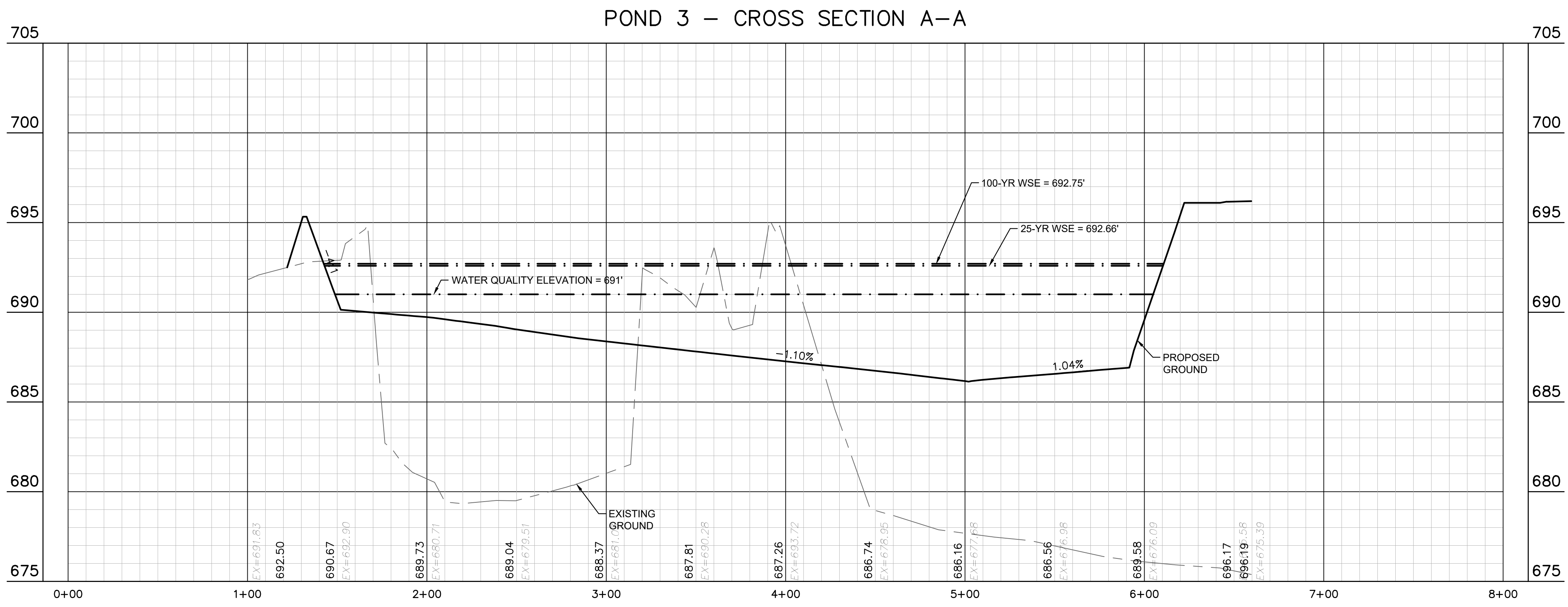
**POND 3 PLAN**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER: 151 OF 226

REV.	DESCRIPTION	DATE	BY

Plotted By: Flynn, Alyssa Date: July 17, 2023 08:32:28am File Path: K:\SAU\_Civil\067783115 Meritage Budo Assemblage\Cad\PlanSheets\C-Pond Plan.dwg  
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**CONSTRUCTION PLAN APPROVAL SHEET** of 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

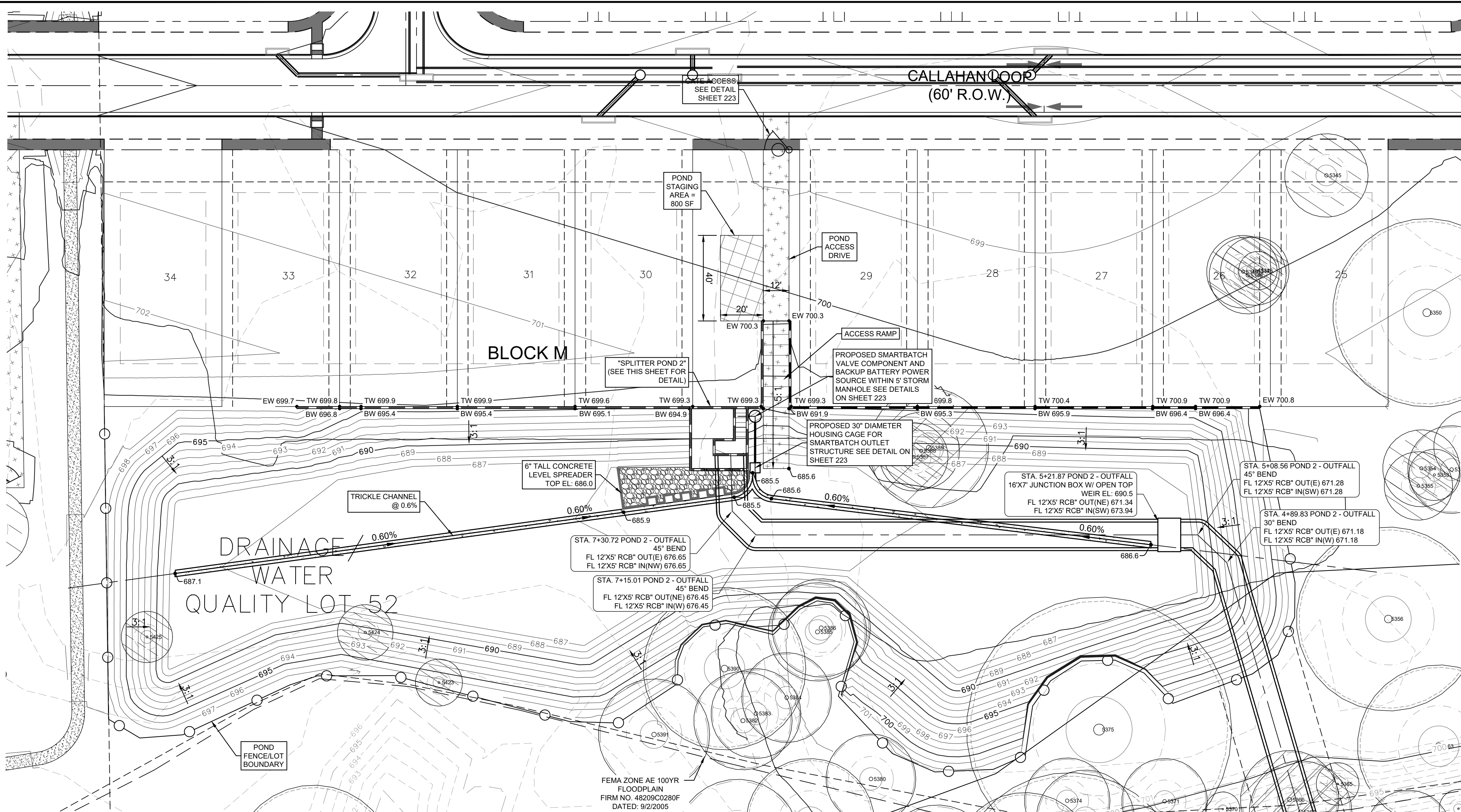
Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

<p>5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100 AUSTIN, TX 78745 PH: 512.464.6737 WWW.KIMLEY-HORN.COM © 2016 KIMLEY-HORN AND ASSOCIATES, INC. TBPE Firm No. 928</p>	<p>07/17/2023</p> <p>Alejandro E. Granados-Rico Professional Engineer State of Texas</p>
<p>KHA PROJECT: 067783115</p> <p>DATE: JULY 2023</p> <p>SCALE: AS SHOWN</p> <p>DESIGNED BY: WB-DM</p> <p>DRAWN BY: WB-HBHH.DM</p> <p>CHECKED BY: AEG</p>	<p><b>POND 3 - OUTFALL STRUCTURE &amp; PROFILES</b></p>
<p><b>THE COLONY - PHASE 1</b> CITY OF BUDA HAYS COUNTY, TEXAS</p>	<p>SHEET NUMBER <b>152</b> OF 226</p>

Plotted by: Flynn, Alyssa Date: July 17, 2023 08:32:45am File Path: K:\SAU\_Civil\087783115 Meritage Budd Assemblies\Cad PlanSheets\C-Pond Plan.dwg  
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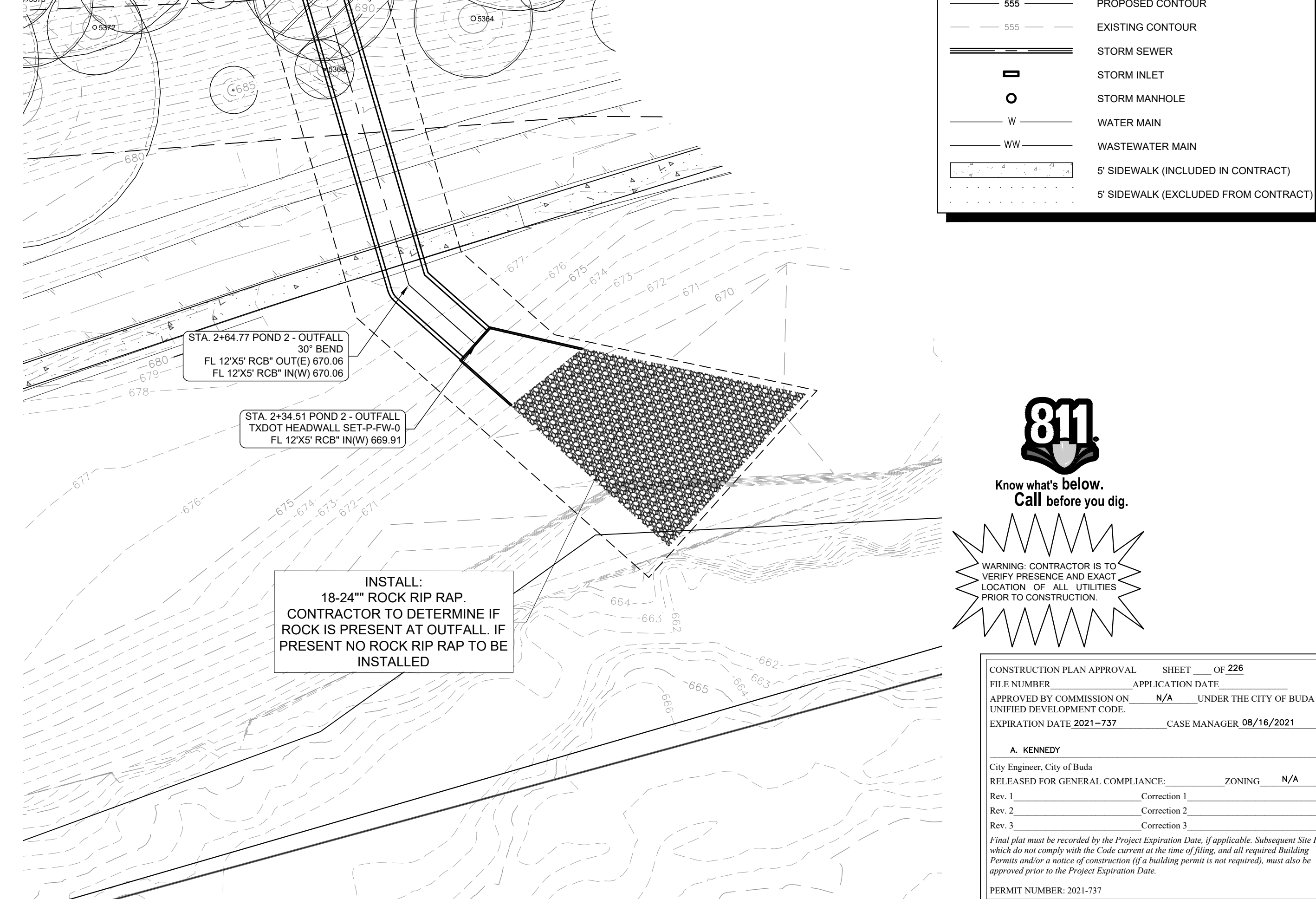
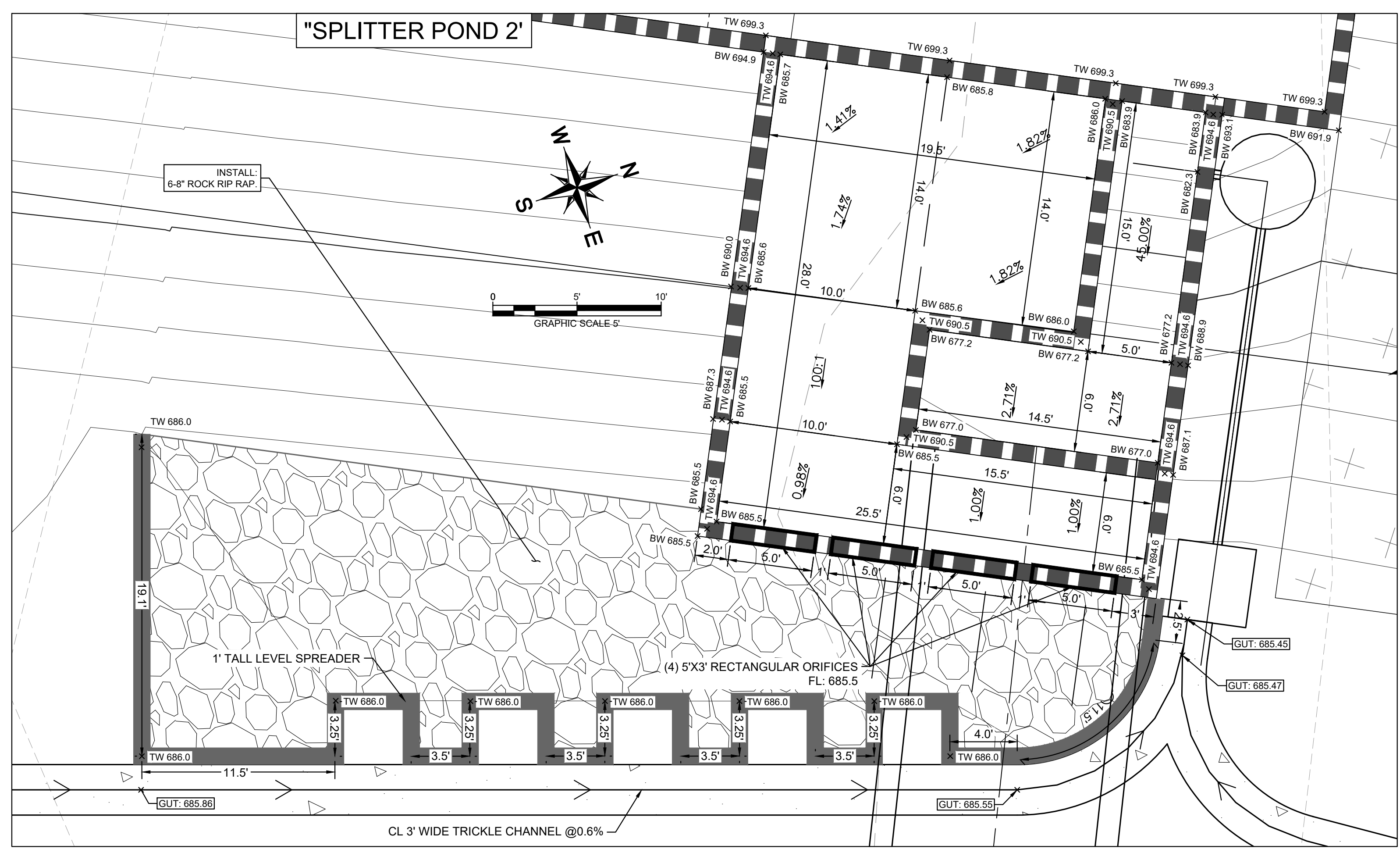
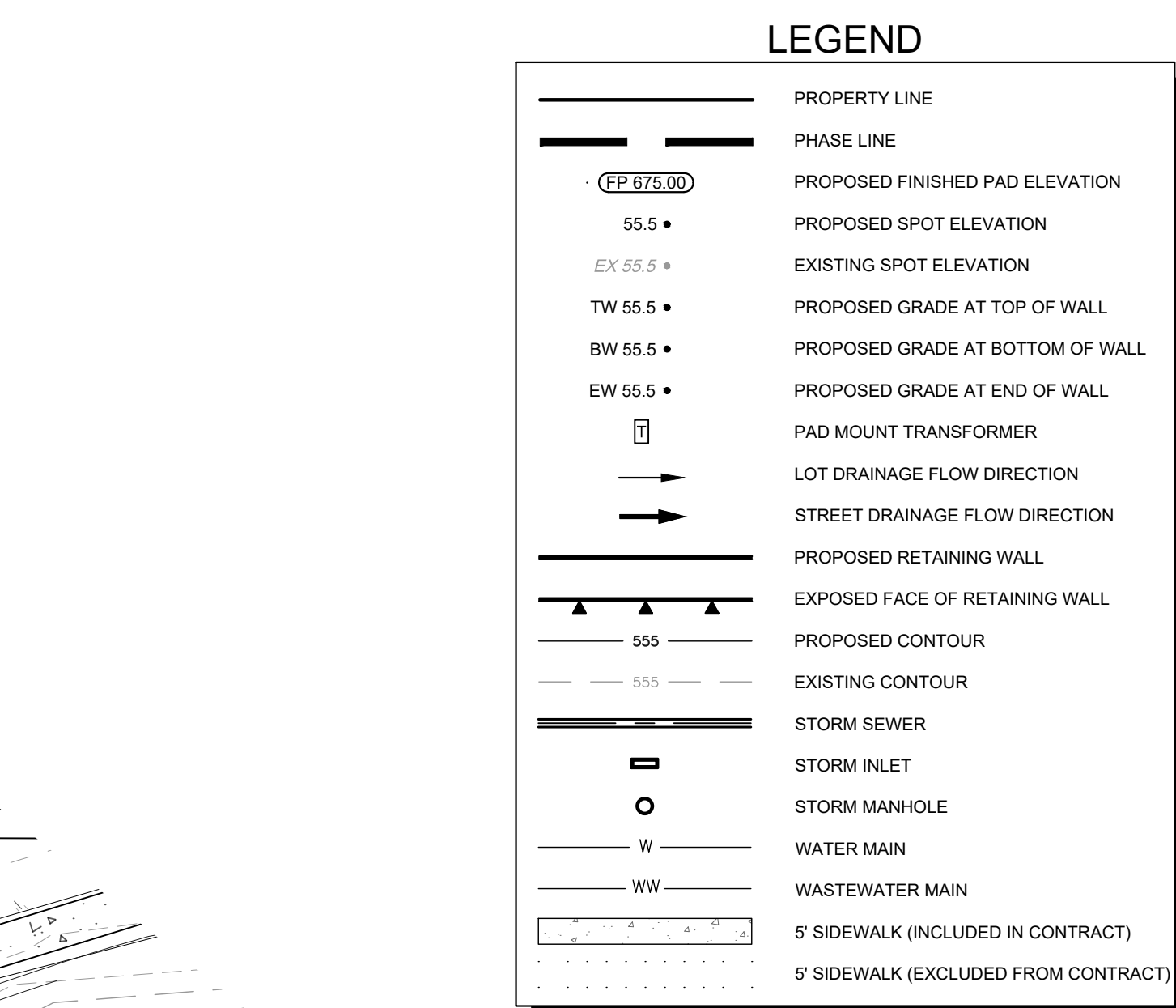


### BATCH DETENTION POND REVEGETATION PLAN

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- ALL POND BOTTOMS, SIDE SLOPES, AND EARTHEN EMBANKMENTS SHALL BE COMPACTED TO 95% MAXIMUM DENSITY PER GEOTECH REPORT.
- EXPANSION JOINTS ON FREE STANDING WALLS SHALL HAVE WATER TIGHT SEALS AS NEEDED.
- CONTRACTOR TO PROVIDE STRUCTURAL DRAWINGS FOR SPLITTER BOX AND OUTFALL STRUCTURES.
- SMARTBATCH SYSTEM IS PRE-PROGRAMMED TO HOLD WATER FOR 12 HOURS AND THEN ROTATES SLOWLY OVER A 48-HOUR PERIOD TO DRAIN THE BATCH DETENTION POND COMPLETELY.
- POND TO BE SURROUNDED BY A 6-FOOT HIGH PEDESTRIAN FENCE WITH GATES.



**811**

**Know what's below. Call before you dig.**

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

CONSTRUCTION PLAN APPROVAL	SHEET	226	OF	226
FILE NUMBER	APPLICATION DATE			
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE			
EXPIRATION DATE	2021-737	CASE MANAGER	08/16/2021	
<b>A. KENNEDY</b>				
City Engineer, City of Buda				
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING N/A				
Rev. 1	Correction 1			
Rev. 2	Correction 2			
Rev. 3	Correction 3			
<small>Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.</small>				
PERMIT NUMBER: 2021-737				

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78746  
 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

07/17/2023

**ALEJANDRO E. GRANADOS RICO**  
 1309084  
 LICENSED PROFESSIONAL ENGINEER  
 ALJAN E. RICO

KHA PROJECT: 087783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HMBH,DM  
 CHECKED BY: AEC

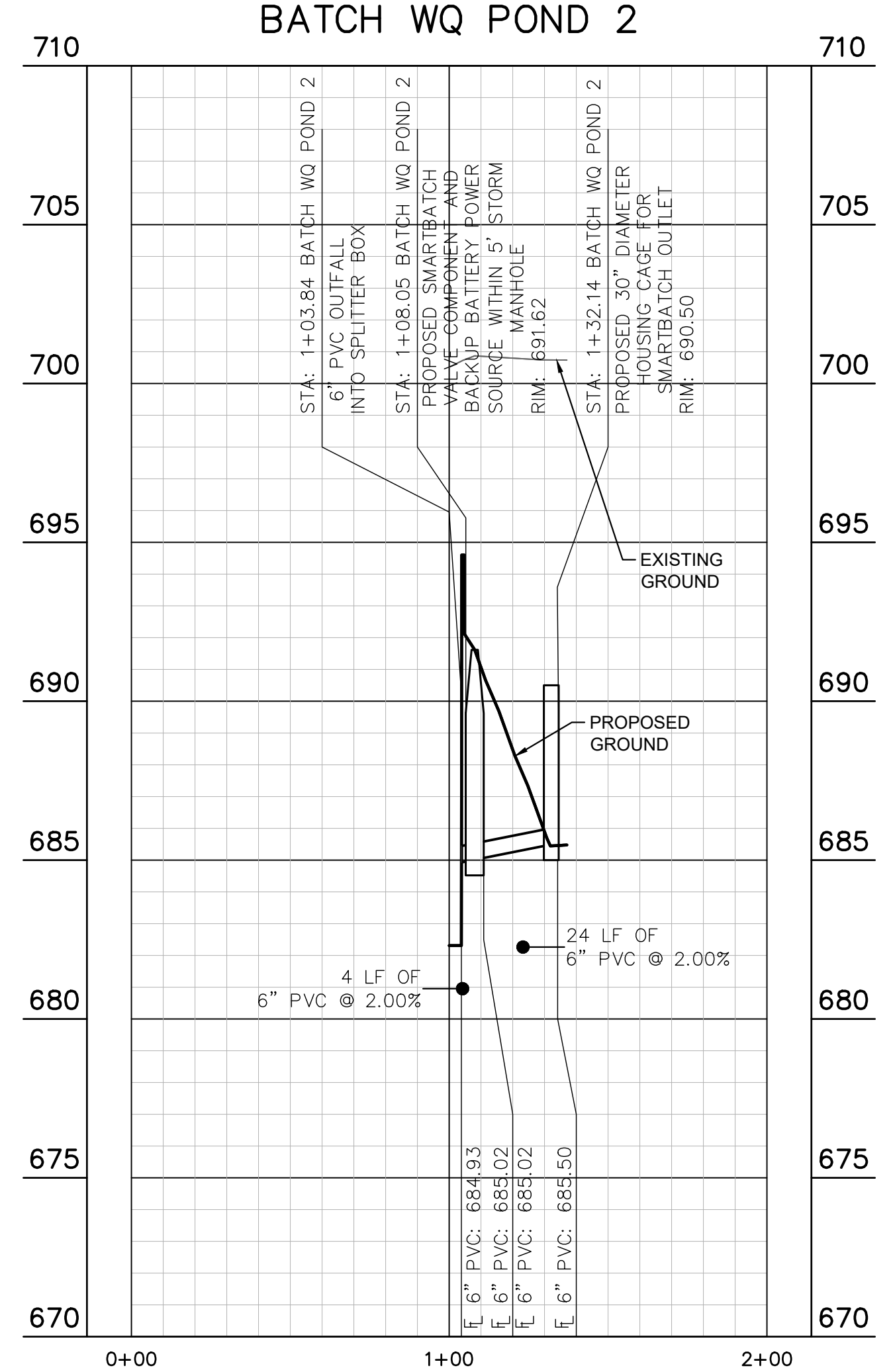
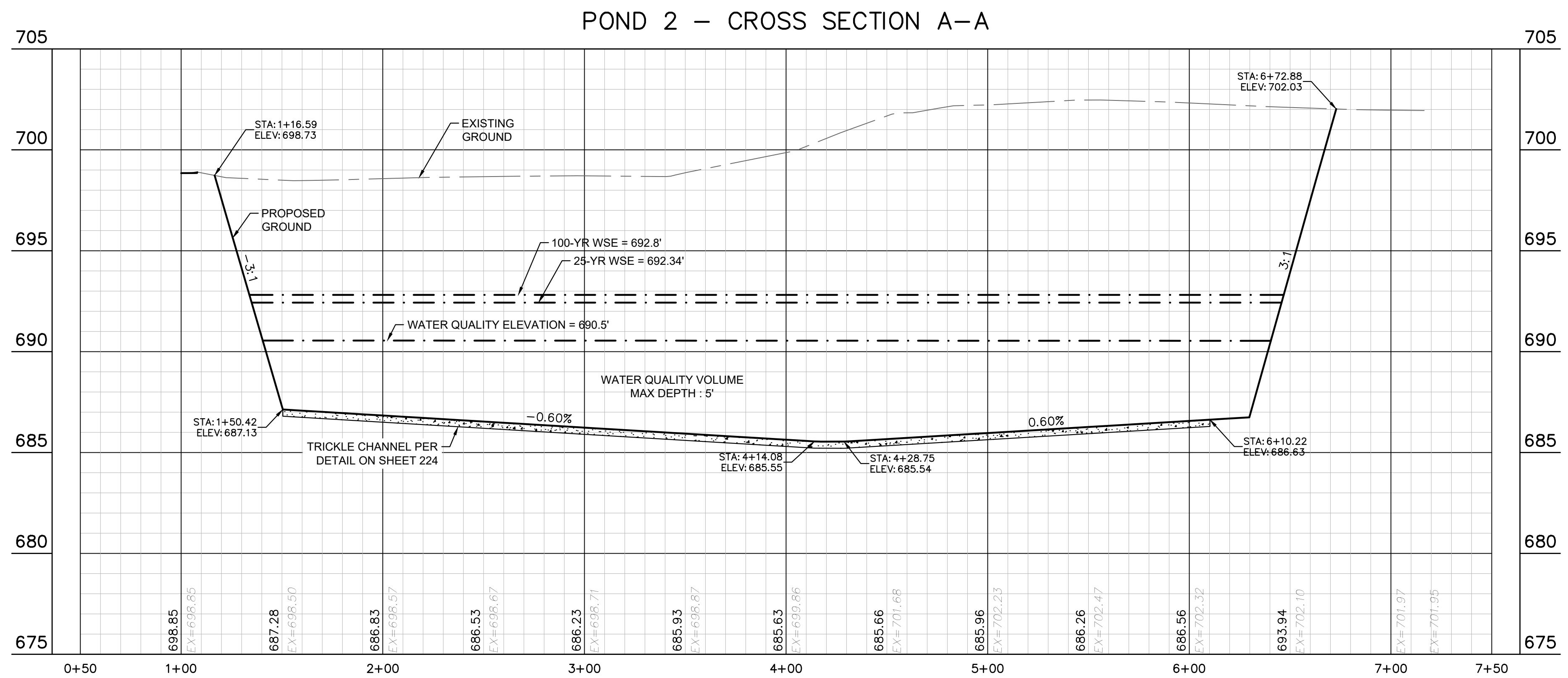
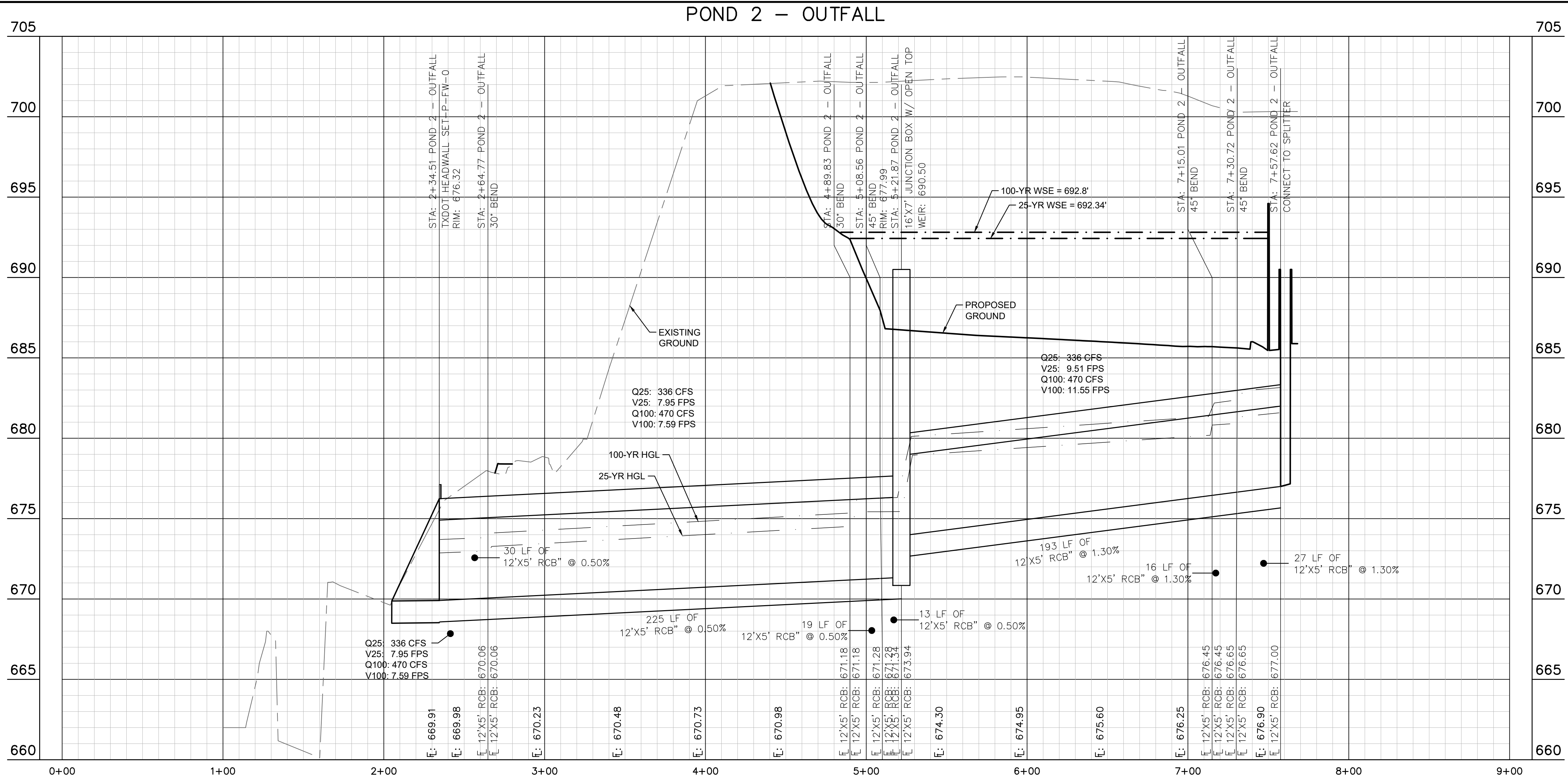
**POND 2 PLAN**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**153**  
 OF 226



Plotted by: Flynn, Alyssa Date: July 17, 2023 08:32:56am File Path: K:\SAU\_Civil\087783115 Heritage Budd Assemblage\Cad\PlanSheets\C-Pond Plan.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any part of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



CONSTRUCTION PLAN APPROVAL SHEET    OF   226    
 FILE NUMBER                      APPLICATION DATE                       
 APPROVED BY COMMISSION ON   N/A   UNDER THE CITY OF BUDA  
 UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE:                      ZONING   N/A    
 Rev. 1                      Correction 1  
 Rev. 2                      Correction 2  
 Rev. 3                      Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 PH: 512.424.6437  
 WWW.KIMLEY-HORN.COM

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 TBPE Firm No. 928

---

**Alejandro E. Granados-Rico**  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF TEXAS

---

KHA PROJECT 087783115	DATE JULY 2023	SCALE AS SHOWN	DESIGNED BY WB/DW
			DRAWN BY WB/HMBH/DJM
			CHECKED BY AEC

---

**POND 2 - OUTFALL  
 STRUCTURE &  
 PROFILES**

---

**THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS**

---

SHEET NUMBER  
**154**  
 OF 226

Additional information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell. Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-348. Characters shown in red are data entry fields. Characters shown in black (Bold) are calculated fields. Changes to these fields will remove the equations used in the spreadsheet.

1. The Required Load Reduction for the total project. Calculations from RG-348 Pages 3-27 to 3-30

Page 3-29 Equation 3.3:  $L_M = 27.2(A_{NI} \times P)$

where:  $L_M$  TOTAL PROJECT = Required TSS removal resulting from the proposed development = 80% of increased load  
 $A_{NI}$  = Net increase in impervious area for the project  
 $P$  = Average annual precipitation, inches

Site Data: Determine Required Load Removal Based on the Entire Project  
 County = **Hays**  
 Total project area included in plan = **182.02** acres  
 Predevelopment impervious area within the limits of the plan = **0.00** acres  
 Total post-development impervious area within the limits of the plan = **68.61** acres  
 Total post-development impervious cover fraction = **0.38**  
 $P$  = **33** inches

$L_M$  TOTAL PROJECT = **61585** lbs.  
 \* The values entered in these fields should be for the total project area.

Number of drainage basins / outfalls areas leaving the plan area = **4**

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. = **1**

Total drainage basin/outfall area = **75.35** acres  
 Predevelopment impervious area within drainage basin/outfall area = **0.00** acres  
 Post-development impervious area within drainage basin/outfall area = **39.94** acres  
 Post-development impervious fraction within drainage basin/outfall area = **0.53**  
 $L_M$  THIS BASIN = **35846** lbs.

3. Indicate the proposed BMP Code for this basin.

Proposed BMP = **Batch Detention**  
 Removal efficiency = **91** percent

- Aquaglogic Cartridge Filter
- Bioretention
- Contech StormFilter
- Constructed Wetland
- Extended Detention
- Grassy Swale
- Retention / Irrigation
- Sand Filter
- Stormceptor
- Vegetated Filter Strips
- Vortechs
- Wet Basin
- Wet Vault

4. Calculate Maximum TSS Load Removed ( $L_R$ ) for this Drainage Basin by the selected BMP Type.

RG-348 Page 3-33 Equation 3.7:  $L_R = (\text{BMP efficiency}) \times P \times (A_i \times 34.6 + A_p \times 0.54)$

where:  $A_C$  = Total On-Site drainage area in the BMP catchment area  
 $A_i$  = Impervious area proposed in the BMP catchment area  
 $A_p$  = Pervious area remaining in the BMP catchment area  
 $L_R$  = TSS Load removed from this catchment area by the proposed BMP

$A_C$  = **75.35** acres  
 $A_i$  = **39.94** acres  
 $A_p$  = **35.41** acres  
 $L_R$  = **42069** lbs

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area

Desired  $L_M$  THIS BASIN = **35100** lbs.  
 $F$  = **0.83**

6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area.

Rainfall Depth = **1.20** inches  
 Post Development Runoff Coefficient = **0.37**  
 On-site Water Quality Volume = **122951** cubic feet

Calculations from RG-348 Pages 3-36 to 3-37

Off-site area draining to BMP = **0.00** acres  
 Off-site impervious cover draining to BMP = **0.00** acres  
 Impervious fraction of off-site area = **0**  
 Off-site Runoff Coefficient = **0.00**  
 Off-site Water Quality Volume = **0** cubic feet

Storage for Sediment = **24590**  
 Total Capture Volume (required water quality volume(s) x 1.20) = **147542** cubic feet

Water Quality Pond 2			
Stage-Storage			
Elevation (Ft.)	Area (Sq. Ft.)	Volume (Sq. Ft.)	Cumulative Volume (Sq. Ft.)
Filtration			
685.5	83		0
686	5409	1373	1373
687	29904	17656.5	19030
688	36312	33108	52138
689	39696	38004	90142
690	43138	41417	131559
690.5	44883	22006	153564
691	46634	22879	176443
692	50094	48364	224807
693	53617	51806	276613
694	56869	58947	276613
695	61005	62410	335560
696	63815	62410	397970
WQ Volume		153564	
Total Volume		397970	

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1. The Required Load Reduction for the total project. Calculations from RG-348 Pages 3-27 to 3-30

Page 3-29 Equation 3.3:  $L_M = 27.2(A_{NI} \times P)$

where:  $L_M$  TOTAL PROJECT = Required TSS removal resulting from the proposed development = 80% of increased load  
 $A_{NI}$  = Net increase in impervious area for the project  
 $P$  = Average annual precipitation, inches

Site Data: Determine Required Load Removal Based on the Entire Project  
 County = **Hays**  
 Total project area included in plan = **182.02** acres  
 Predevelopment impervious area within the limits of the plan = **0.00** acres  
 Total post-development impervious area within the limits of the plan = **68.61** acres  
 Total post-development impervious cover fraction = **0.38**  
 $P$  = **33** inches

$L_M$  TOTAL PROJECT = **61585** lbs.  
 \* The values entered in these fields should be for the total project area.

Number of drainage basins / outfalls areas leaving the plan area = **4**

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. = **3**

Total drainage basin/outfall area = **31.06** acres  
 Predevelopment impervious area within drainage basin/outfall area = **0.00** acres  
 Post-development impervious area within drainage basin/outfall area = **17.08** acres  
 Post-development impervious fraction within drainage basin/outfall area = **0.55**  
 $L_M$  THIS BASIN = **15334** lbs.

3. Indicate the proposed BMP Code for this basin.

Proposed BMP = **Batch Detention**  
 Removal efficiency = **91** percent

- Aquaglogic Cartridge Filter
- Bioretention
- Contech StormFilter
- Constructed Wetland
- Extended Detention
- Grassy Swale
- Retention / Irrigation
- Sand Filter
- Stormceptor
- Vegetated Filter Strips
- Vortechs
- Wet Basin
- Wet Vault

4. Calculate Maximum TSS Load Removed ( $L_R$ ) for this Drainage Basin by the selected BMP Type.

RG-348 Page 3-33 Equation 3.7:  $L_R = (\text{BMP efficiency}) \times P \times (A_i \times 34.6 + A_p \times 0.54)$

where:  $A_C$  = Total On-Site drainage area in the BMP catchment area  
 $A_i$  = Impervious area proposed in the BMP catchment area  
 $A_p$  = Pervious area remaining in the BMP catchment area  
 $L_R$  = TSS Load removed from this catchment area by the proposed BMP

$A_C$  = **31.06** acres  
 $A_i$  = **17.08** acres  
 $A_p$  = **13.98** acres  
 $L_R$  = **17977** lbs

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area

Desired  $L_M$  THIS BASIN = **16500** lbs.  
 $F$  = **0.92**

6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area.

Rainfall Depth = **2.00** inches  
 Post Development Runoff Coefficient = **0.39**  
 On-site Water Quality Volume = **87208** cubic feet

Calculations from RG-348 Pages 3-36 to 3-37

Off-site area draining to BMP = **0.00** acres  
 Off-site impervious cover draining to BMP = **0.00** acres  
 Impervious fraction of off-site area = **0**  
 Off-site Runoff Coefficient = **0.00**  
 Off-site Water Quality Volume = **0** cubic feet

Storage for Sediment = **17442**  
 Total Capture Volume (required water quality volume(s) x 1.20) = **104650** cubic feet

Water Quality Pond 3			
Stage-Storage			
Elevation (Ft.)	Area (Sq. Ft.)	Volume (Sq. Ft.)	Cumulative Volume (Sq. Ft.)
Batch Water Quality			
686	765.43		0
687	11024	5894.6	5894.6
688	19757	15390.595	21285.20
689	28029	23893.04	45178.24
690	34268	31148.295	76326.53
691	38077	36172.215	112498.75
692	41539		112498.75
693	45589	43564	156062.75
694	49338	47463.5	203526.25
695	53182	51260	254786.25
WQ Volume		112498.7	
Total Volume		254786.2	

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 $A_{NI}$  = Net increase in impervious area for the project  
 $P$  = Average annual precipitation, inches

Site Data: Determine Required Load Removal Based on the Entire Project  
 County = **Hays**  
 Total project area included in plan = **182.02** acres  
 Predevelopment impervious area within the limits of the plan = **0.00** acres  
 Total post-development impervious area within the limits of the plan = **68.61** acres  
 Total post-development impervious cover fraction = **0.38**  
 $P$  = **33** inches

$L_M$  TOTAL PROJECT = **61585** lbs.  
 \* The values entered in these fields should be for the total project area.

Number of drainage basins / outfalls areas leaving the plan area = **4**

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. = **4**

Total drainage basin/outfall area = **54.37** acres  
 Predevelopment impervious area within drainage basin/outfall area = **0.00** acres  
 Post-development impervious area within drainage basin/outfall area = **1.28** acres  
 Post-development impervious fraction within drainage basin/outfall area = **0.02**  
 $L_M$  THIS BASIN = **1151** lbs.

3. Indicate the proposed BMP Code for this basin.

Proposed BMP = **Batch Detention**  
 Removal efficiency = **91** percent



Know what's below. Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

BENCHMARKS	
BM #102	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 867 171' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=78.87 (NAVD '83)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD '83)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE AND COWLEY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=732.56 (NAVD '83)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE, ZONING N/A

Rev. 1 Correction 1  
 Rev. 2 Correction 2  
 Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 PH: 512.835.6437  
 WWW.KIMLEY-HORN.COM  
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 TBE Firm No. 928

07/17/2023

ALEJANDRO E. GRANADOS RICO  
 330054  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF TEXAS

DESIGNED BY: WB,DM  
 DRAWN BY: WB,MM,MH,DM  
 CHECKED BY: AEC

POND CALCULATIONS (SHEET 1 OF 2)

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER 155 OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 08:33:02am File Path: K:\SAU\_Civi\087783115\_Meritage Budd Assemblies\Cad\PlanSheets\C-Pond Plan.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any part of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

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 $A_N$  = Net increase in impervious area for the project  
 $P$  = Average annual precipitation, inches

Site Data: Determine Required Load Removal Based on the Entire Project

County =	Hays	
Total project area included in plan *	182.02	acres
Predevelopment impervious area within the limits of the plan *	0.00	acres
Total post-development impervious area within the limits of the plan *	68.61	acres
Total post-development impervious cover fraction *	0.38	
P =	33	inches

$L_M$  TOTAL PROJECT = 61585 lbs.

\* The values entered in these fields should be for the total project area.

Number of drainage basins / outfalls areas leaving the plan area = 4

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. = 1

Total drainage basin/outfall area =	10.81	acres
Predevelopment impervious area within drainage basin/outfall area =	0.00	acres
Post-development impervious area within drainage basin/outfall area =	3.92	acres
Post-development impervious fraction within drainage basin/outfall area =	0.36	
$L_M$ THIS BASIN =	3519	lbs.

3. Indicate the proposed BMP Code for this basin.

Proposed BMP = Batch Detention  
Removal efficiency = 91 percent

- Aqualogic Cartridge Filter
- Bioretention
- Contech StormFilter
- Constructed Wetland
- Extended Detention
- Grassy Swale
- Retention / Irrigation
- Sand Filter
- Stormceptor
- Vegetated Filter Strips
- Vortechs
- Wet Basin
- Wet Vault

4. Calculate Maximum TSS Load Removed ( $L_R$ ) for this Drainage Basin by the selected BMP Type.

RG-348 Page 3-33 Equation 3.7:  $L_R = (BMP \text{ efficiency}) \times P \times (A_I \times 34.6 + A_P \times 0.54)$

where:  $A_C$  = Total On-Site drainage area in the BMP catchment area  
 $A_I$  = Impervious area proposed in the BMP catchment area  
 $A_P$  = Pervious area remaining in the BMP catchment area  
 $L_R$  = TSS Load removed from this catchment area by the proposed BMP

$A_C$ =	10.81	acres
$A_I$ =	3.92	acres
$A_P$ =	6.89	acres
$L_R$ =	4185	lbs.

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area

Desired  $L_M$  THIS BASIN = 3519 lbs.

F = 0.84

6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area. Calculations from RG-348 Pages 3-34 to 3-36

Rainfall Depth = 1.26 inches  
 Post Development Runoff Coefficient = 0.29  
 On-site Water Quality Volume = 14289 cubic feet

Calculations from RG-348 Pages 3-36 to 3-37

Off-site area draining to BMP = 0.00 acres  
 Off-site Impervious cover draining to BMP = 0.00 acres  
 Impervious fraction of off-site area = 0  
 Off-site Runoff Coefficient = 0.00  
 Off-site Water Quality Volume = 0 cubic feet

Storage for Sediment = 2858  
**Total Capture Volume (required water quality volume(s) x 1.20) = 17147 cubic feet**

POND 2 CALCULATIONS

Level Spreader Calcs DS Outlet Pond 2	
Crest Elevation (ft., msl.)	690.5
25 yr. Flow (cfs.)	336.00
Weir Coefficient	3
Provided Length (ft.)	118
Actual HGL (ft.)	691.47
Velocity (fps)	2.95

100-YR Overflow Spillway Pond 2	
Crest Elevation (ft., msl.)	690.5
100 yr. Flow (cfs.)	470.24
Weir Coefficient	3
Provided Length (ft.)	45
Maximum Water Surface Elevation (ft.)	692.80

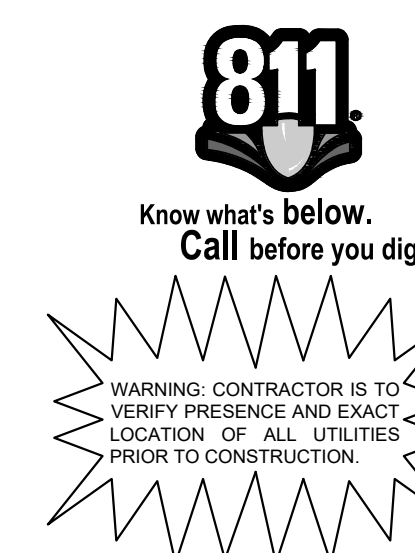
25-YR Orifice Sizing Pond 2	
Crest Elevation (ft., msl.)	690.5
25 yr. Flow (cfs.)	336.00
Orifice Coefficient	0.6
Orifice Height	3
Orifice Area (sqft.)	56.98
Orifice Minimum Width (ft.)	19.00

POND 3 CALCULATIONS

Level Spreader Calcs Pond 3	
Crest Elevation (ft., msl.)	687
25 yr. Flow (cfs.)	166.00
Weir Coefficient	3
Provided Length (ft.)	59
Actual HGL (ft.)	687.96
Velocity (fps)	2.94

100-YR Overflow Spillway Pond 3	
Crest Elevation (ft., msl.)	691
25 yr. Flow (cfs.)	222.00
Weir Coefficient	3
Provided Length (ft.)	32
Actual HGL (ft.)	692.75

25-YR Orifice Sizing Pond 3	
Crest Elevation (ft., msl.)	686.5
25 yr. Flow (cfs.)	166.00
Orifice Coefficient	0.6
Orifice Height	2
Orifice Area (sqft.)	14.70
Orifice Width (ft.)	7.40



**BENCHMARKS**

BM #102	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 867 774 NORTH OF THE EDGE-NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=716.81 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF CLUBHOUSE ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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PERMIT NUMBER: 2021-737

No.	REVISIONS	DATE	BY

**Kimley»Horn**  
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 TBPE Firm

07/17/2023

Alejandro E. Granados-Rico  
Professional Engineer

KHA PROJECT 06/783115  
DATE JULY 2023  
SCALE AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEG

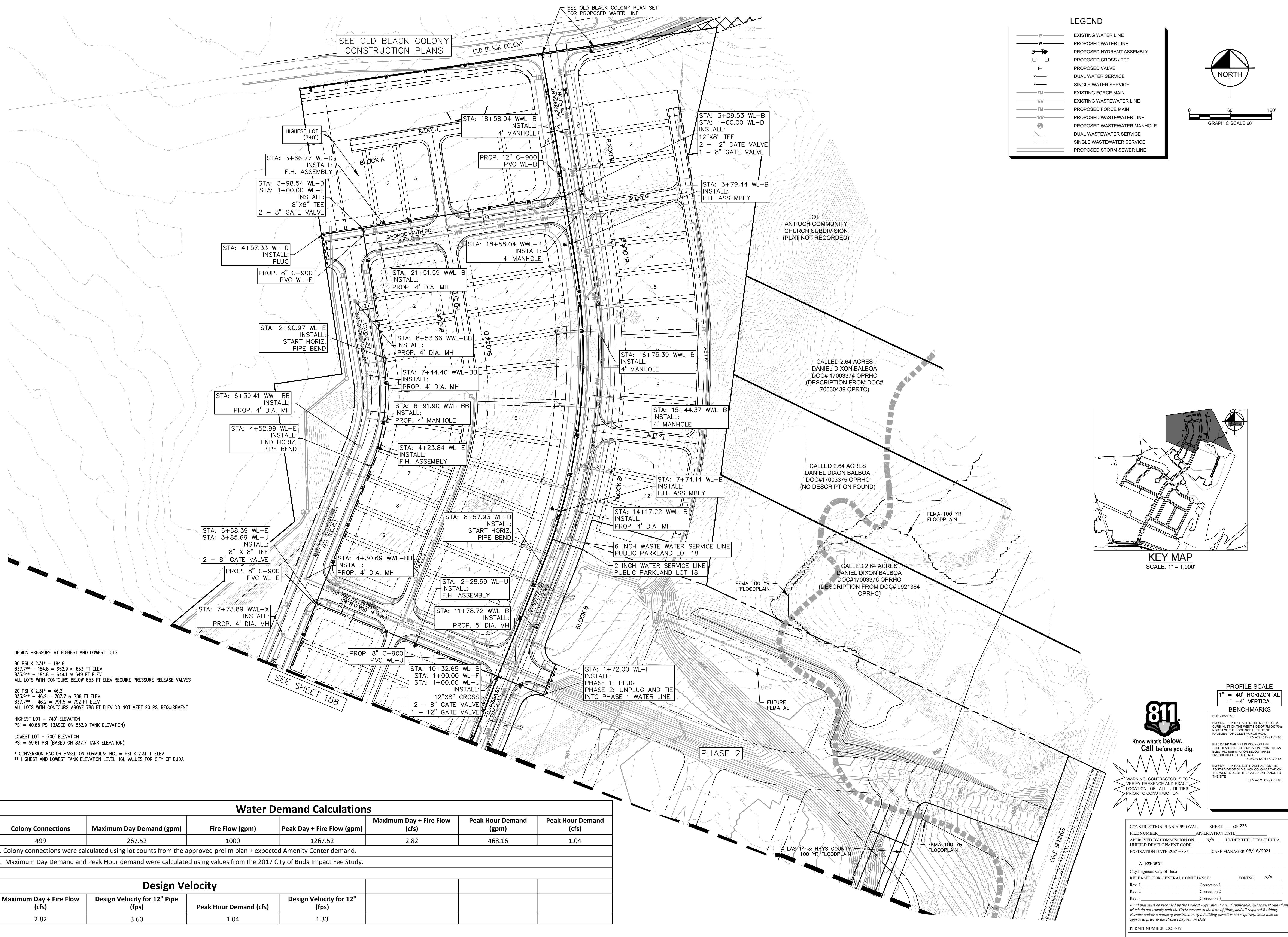
POND CALCULATIONS (SHEET 2 OF 2)

THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER 156 OF 226

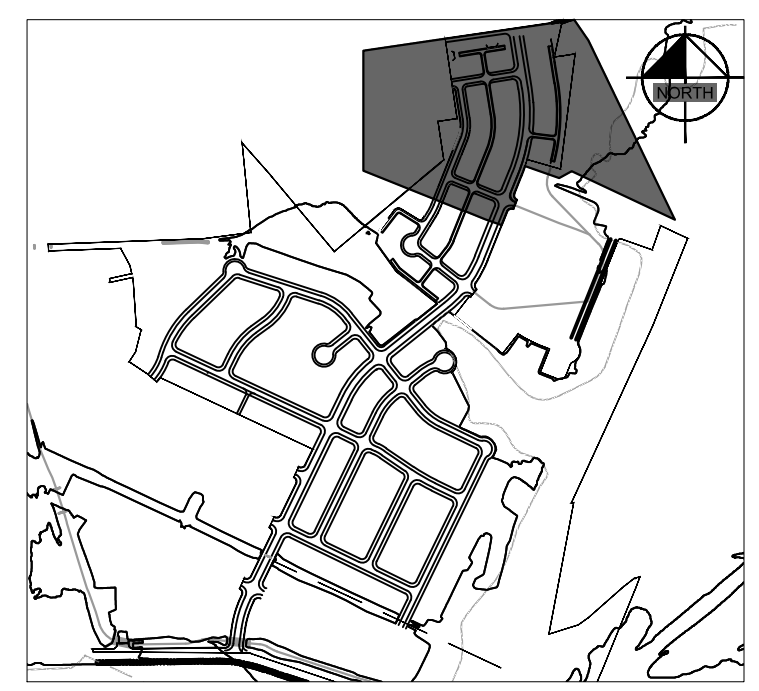
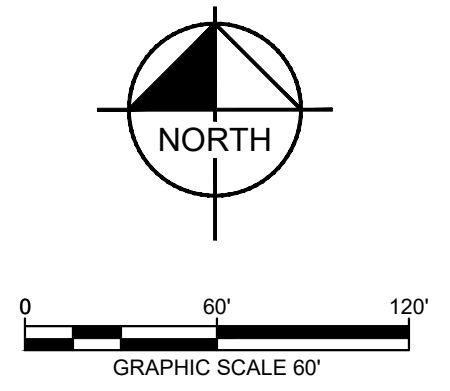
Plotted by: Flynn, Alyssa Date: July 17, 2023 08:33:07am File Path: K:\SAU\_Civil\067783115 Heritage Budd Assemblage\Cad\PlanSheets\C-Pond Plan.dwg  
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**LEGEND**

- W — EXISTING WATER LINE
- W — PROPOSED WATER LINE
- W — PROPOSED HYDRANT ASSEMBLY
- W — PROPOSED CROSS / TEE
- W — PROPOSED VALVE
- W — DUAL WATER SERVICE
- W — SINGLE WATER SERVICE
- FM — EXISTING FORCE MAIN
- FM — PROPOSED FORCE MAIN
- WW — EXISTING WASTEWATER LINE
- WW — PROPOSED WASTEWATER LINE
- WM — PROPOSED WASTEWATER MANHOLE
- WS — DUAL WASTEWATER SERVICE
- SS — SINGLE WASTEWATER SERVICE
- SS — PROPOSED STORM SEWER LINE



**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL



**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**DESIGN PRESSURE AT HIGHEST AND LOWEST LOTS**

80 PSI X 2.31\* = 184.8  
 837.7\*\* - 184.8 = 652.9 ≈ 653 FT ELEV  
 833.9\*\* - 184.8 = 649.1 ≈ 649 FT ELEV  
 ALL LOTS WITH CONTOURS BELOW 653 FT ELEV REQUIRE PRESSURE RELEASE VALVES

20 PSI X 2.31\* = 46.2  
 833.9\*\* - 46.2 = 787.7 ≈ 788 FT ELEV  
 837.7\*\* - 46.2 = 791.5 ≈ 792 FT ELEV  
 ALL LOTS WITH CONTOURS ABOVE 788 FT ELEV DO NOT MEET 20 PSI REQUIREMENT

HIGHEST LOT - 740' ELEVATION  
 PSI = 40.65 PSI (BASED ON 833.9 TANK ELEVATION)

LOWEST LOT - 700' ELEVATION  
 PSI = 59.81 PSI (BASED ON 837.7 TANK ELEVATION)

\* CONVERSION FACTOR BASED ON FORMULA: HGL = PSI X 2.31 + ELEV  
 \*\* HIGHEST AND LOWEST TANK ELEVATION LEVEL HGL VALUES FOR CITY OF BUDA

**Water Demand Calculations**

Colony Connections	Maximum Day Demand (gpm)	Fire Flow (gpm)	Peak Day + Fire Flow (gpm)	Maximum Day + Fire Flow (cfs)	Peak Hour Demand (gpm)	Peak Hour Demand (cfs)
499	267.52	1000	1267.52	2.82	468.16	1.04

1. Colony connections were calculated using lot counts from the approved prelim plan + expected Amenity Center demand.  
 2. Maximum Day Demand and Peak Hour demand were calculated using values from the 2017 City of Buda Impact Fee Study.

**Design Velocity**

Maximum Day + Fire Flow (cfs)	Design Velocity for 12" Pipe (fps)	Peak Hour Demand (cfs)	Design Velocity for 12" (fps)
2.82	3.60	1.04	1.33

**Kimley-Horn**

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 AUSTIN, TX 78745  
 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

07/17/2023

**Alejandro E. Granados-Rico**  
 Licensed Professional Engineer  
 State of Texas

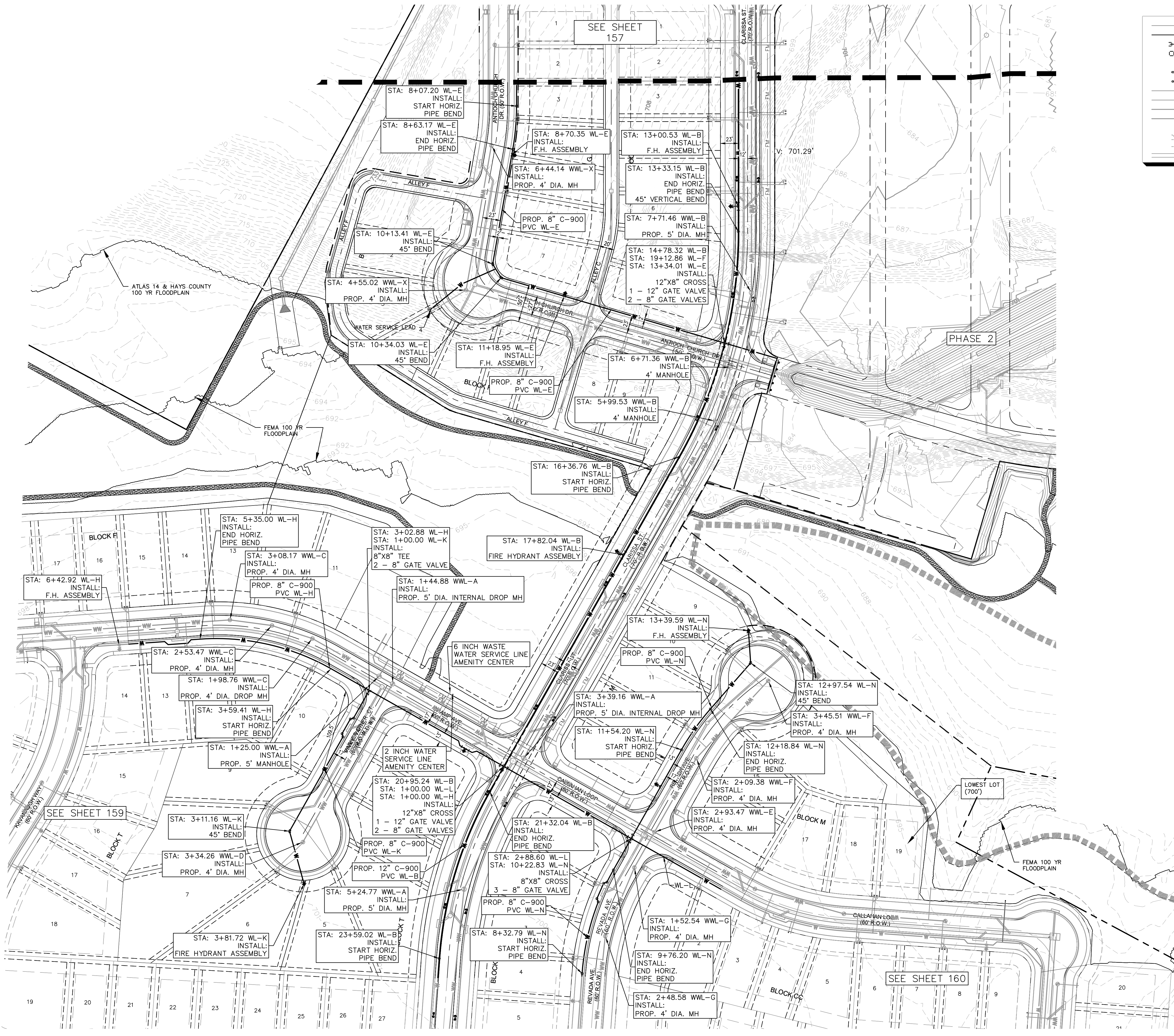
KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

**UTILITY PLAN  
 (SHEET 1 OF 4)**

**THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS**

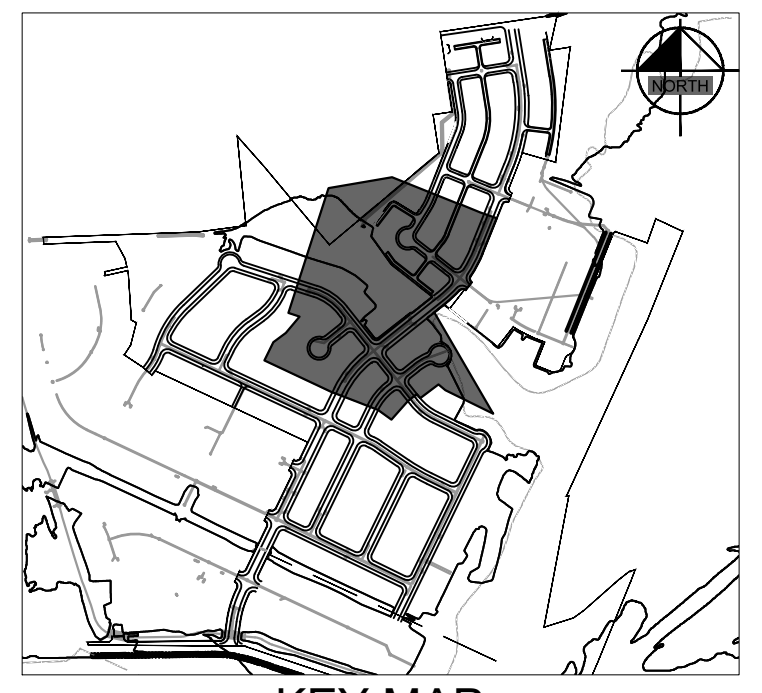
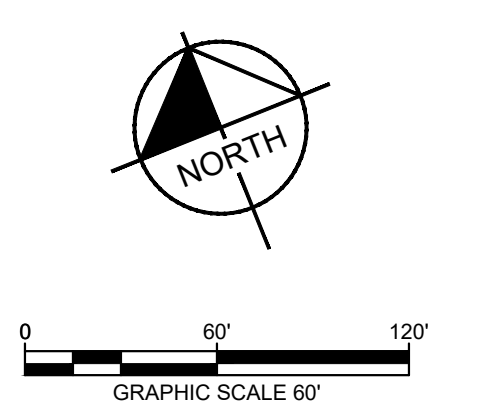
SHEET NUMBER  
**157**  
 OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 08:43:37am File Path: K:\SAU\_Civil\087783115 Meritage Buda Assemblies\Cad\PlanSheets\C-Overall Utility Plan.dwg  
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- DUAL WATER SERVICE
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- PROPOSED STORM SEWER LINE



**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

**811**  
Know what's below.  
Call before you dig.

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CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: 087783115 APPLICATION DATE: 08/16/2021

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: ZONING: N/A

Rev. 1: Correction 1

Rev. 2: Correction 2

Rev. 3: Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**

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PH: 512.454.6437  
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TBPE Firm No. 928



KHA PROJECT: 087783115

DATE: JULY 2023

SCALE: AS SHOWN

DESIGNED BY: WB,DM

DRAWN BY: WB,DM,MH,DM

CHECKED BY: AEC

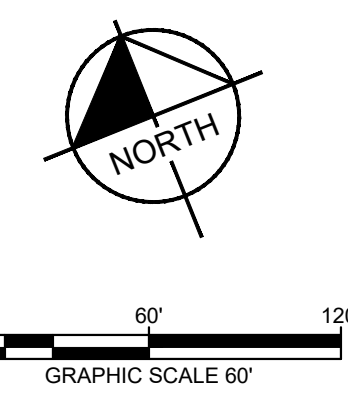
**UTILITY PLAN**  
**(SHEET 2 OF 4)**

**THE COLONY - PHASE 1**  
**CITY OF BUDA**  
**HAYS COUNTY, TEXAS**

SHEET NUMBER  
**158**  
OF 226

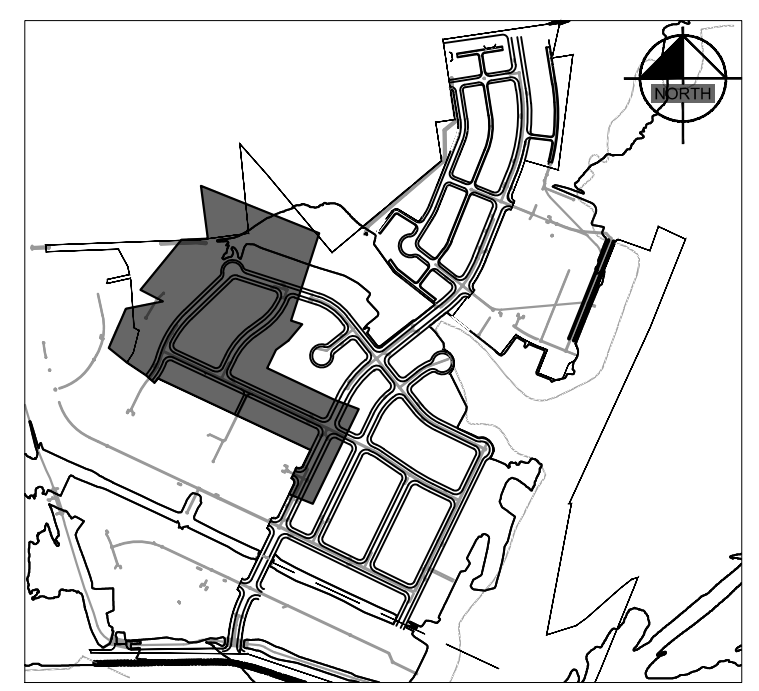
NO.	REVISIONS	DATE	BY

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	PROPOSED HYDRANT ASSEMBLY
	PROPOSED CROSS / TEE
	PROPOSED VALVE
	DUAL WATER SERVICE
	SINGLE WATER SERVICE
	EXISTING FORCE MAIN
	EXISTING WASTEWATER LINE
	PROPOSED FORCE MAIN
	PROPOSED WASTEWATER LINE
	PROPOSED WASTEWATER MANHOLE
	DUAL WASTEWATER SERVICE
	SINGLE WASTEWATER SERVICE
	PROPOSED STORM SEWER LINE



**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL



**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**

BM #102	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD	ELEV = 982.87 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION ON BELOW THIRSE	ELEV = 112.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLEBACH COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE	ELEV = 732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON: N/A	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737	CASE MANAGER: 08/16/2021
<b>A. KENNEDY</b>	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE: ZONING N/A	
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.	
PERMIT NUMBER: 2021-737	

**Kimley-Horn**  
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 TBPE Firm No. 928

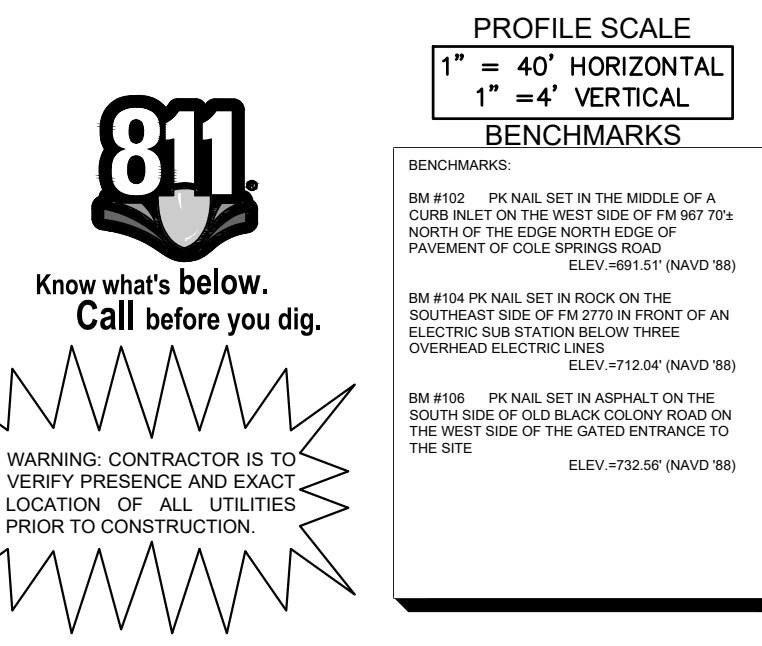
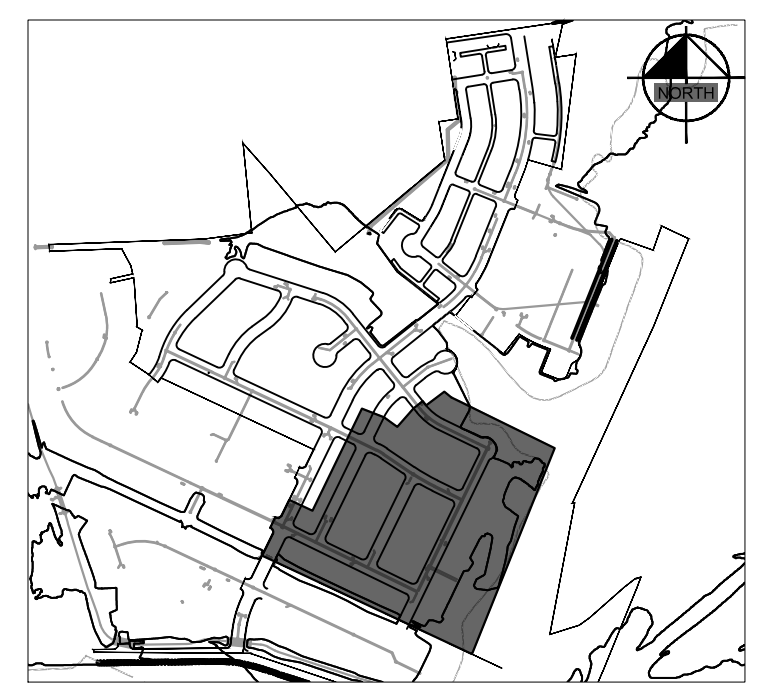
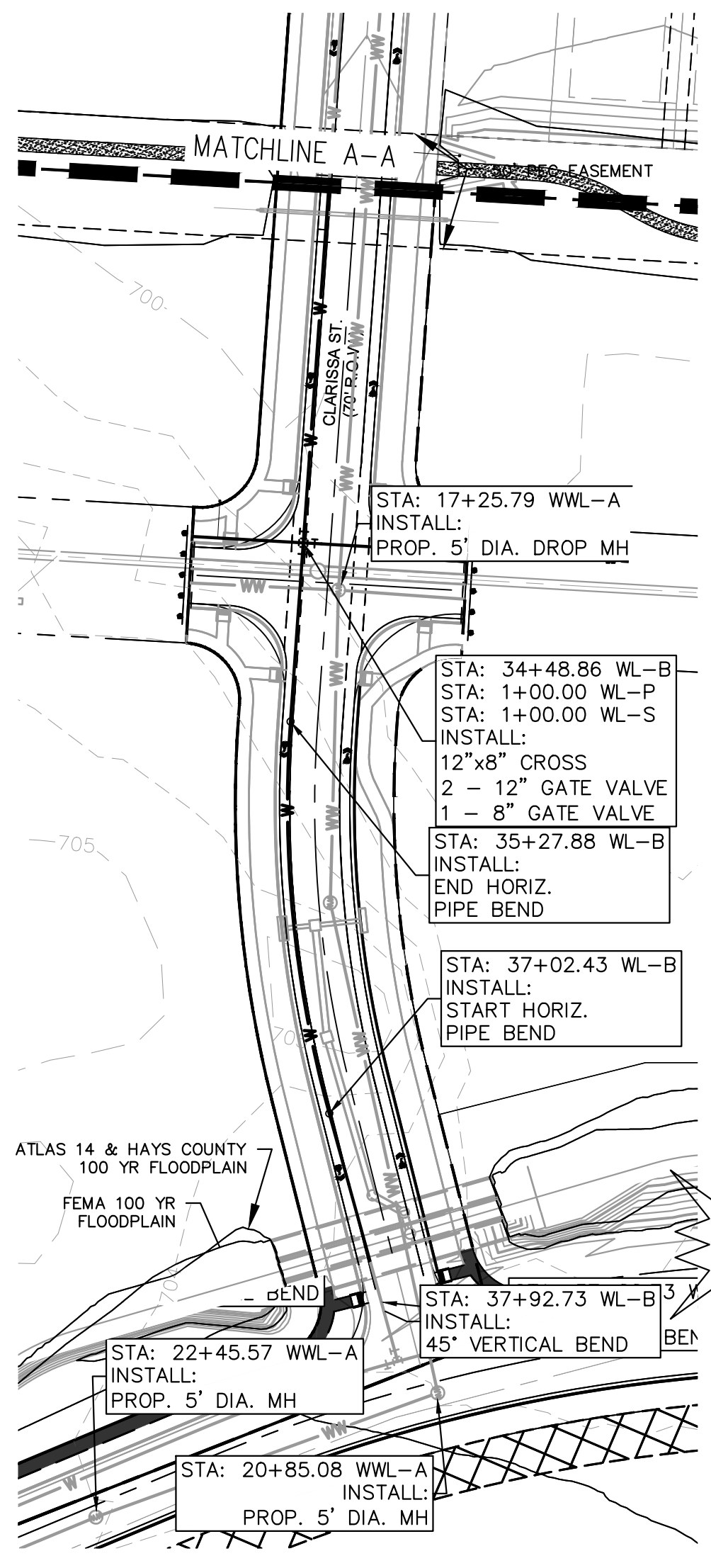
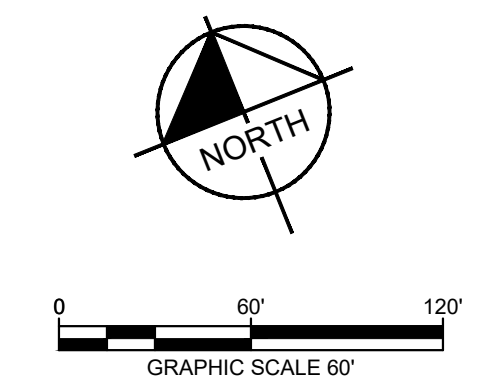
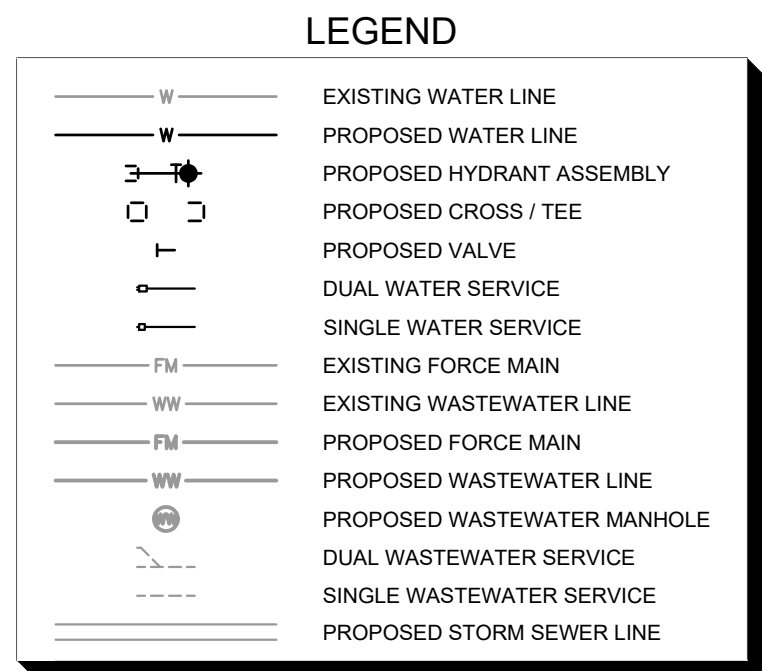
KHA PROJECT: 08783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB/DM  
 DRAWN BY: WB/HM/ML/DM  
 CHECKED BY: AEC

**UTILITY PLAN (SHEET 3 OF 4)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER: 159  
 OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 08:47:04am File Path: K:\SAU\_Civil\08783115 Meritage Buda Assemblies\Cad\PlanSheets\C-Overall Utility Plan.dwg  
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CONSTRUCTION PLAN APPROVAL SHEET	OF 226
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE	2021-737 CASE MANAGER 08/16/2021
A. KENNEDY	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE:	ZONING N/A
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
Final plan must be received by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.	
PERMIT NUMBER: 2021-737	

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
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 TBPE Firm No. 928

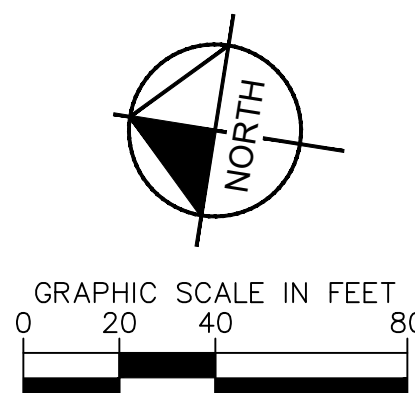
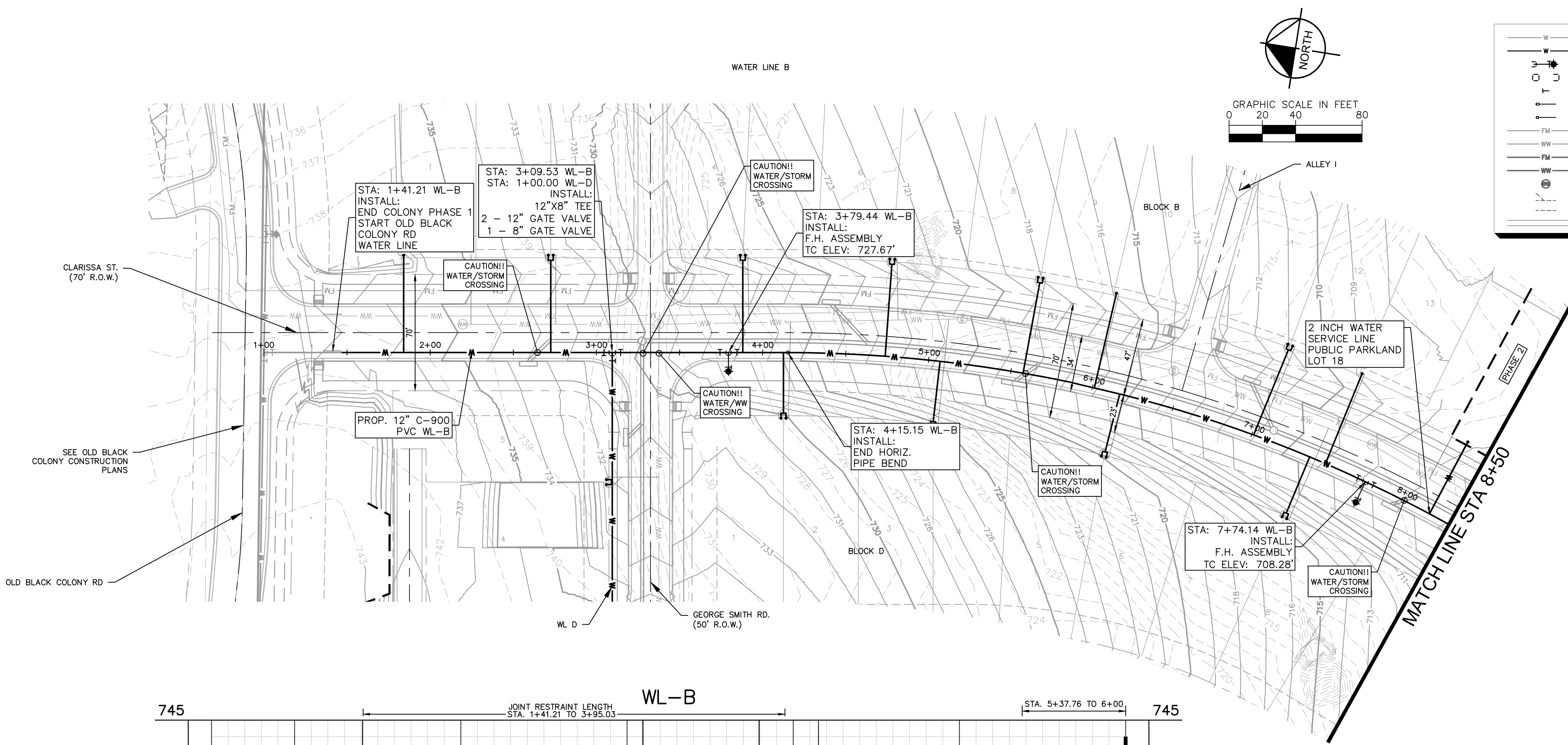
07/17/2023  
  
 Alejandro E. Granados  
 Licensed Professional Engineer  
 State of Texas  
 KHA PROJECT 08783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB/DM  
 DRAWN BY: WB/HM/MH/LDM  
 CHECKED BY: AEC

**UTILITY PLAN  
 (SHEET 1 OF 4)**

**THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS**

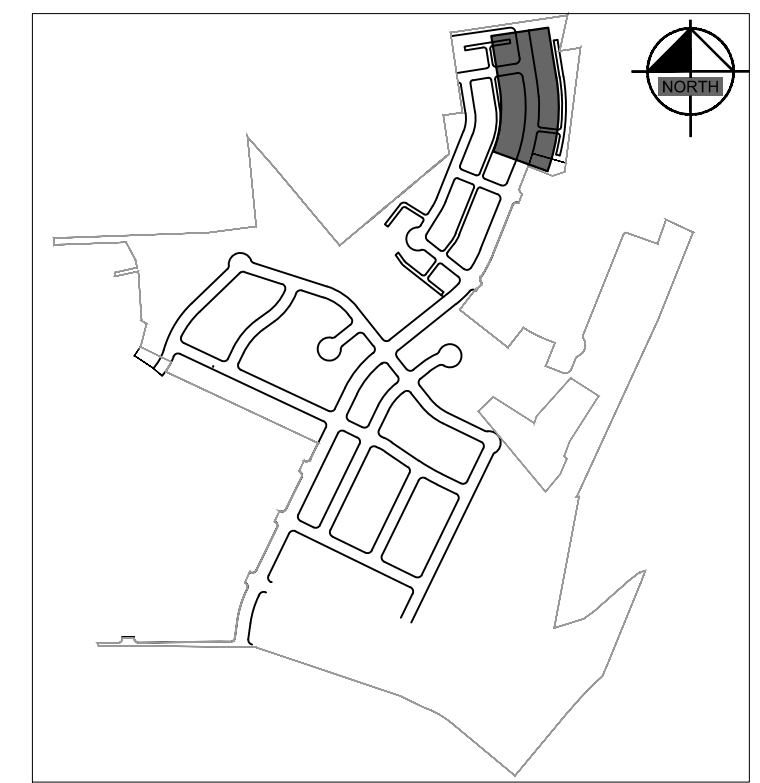
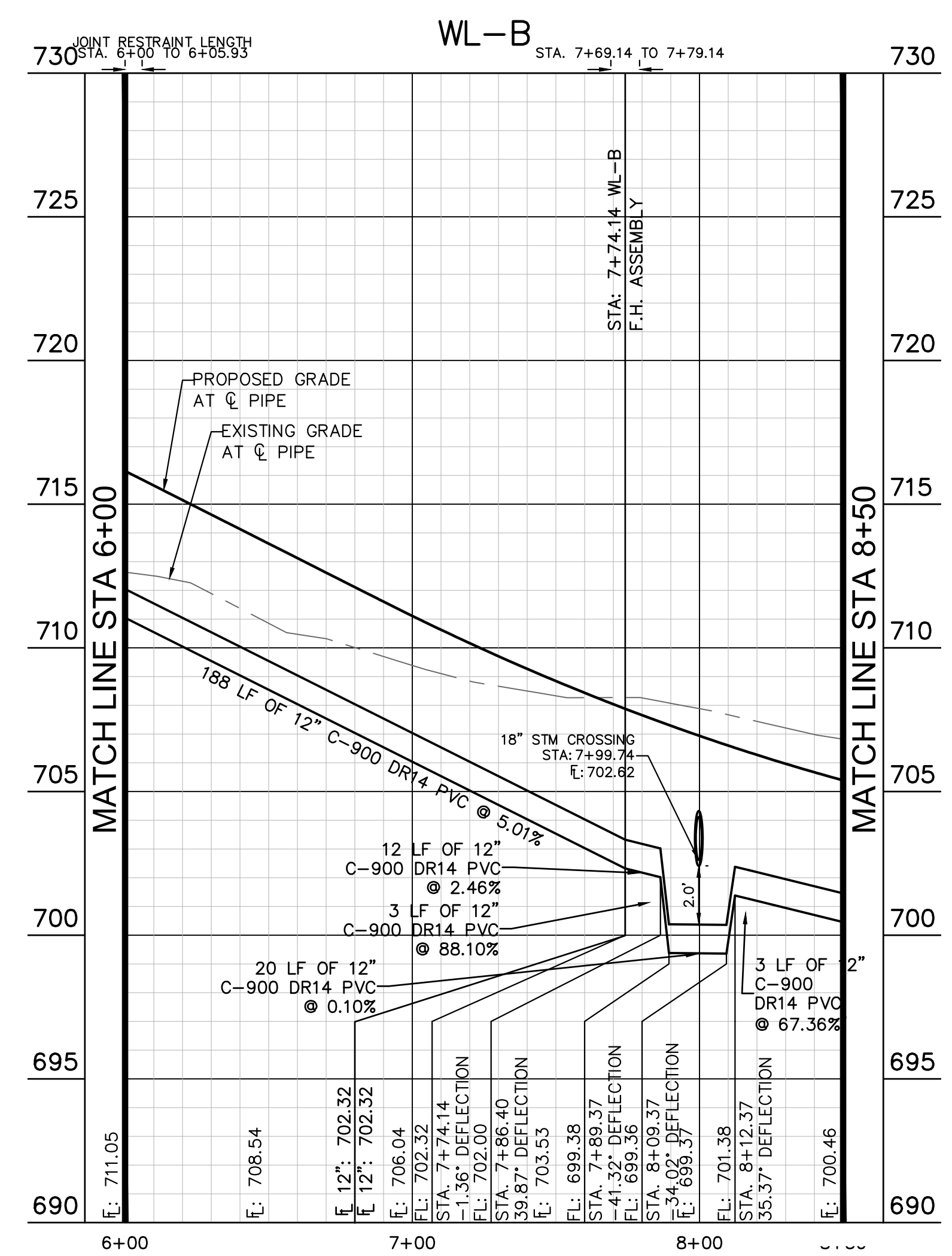
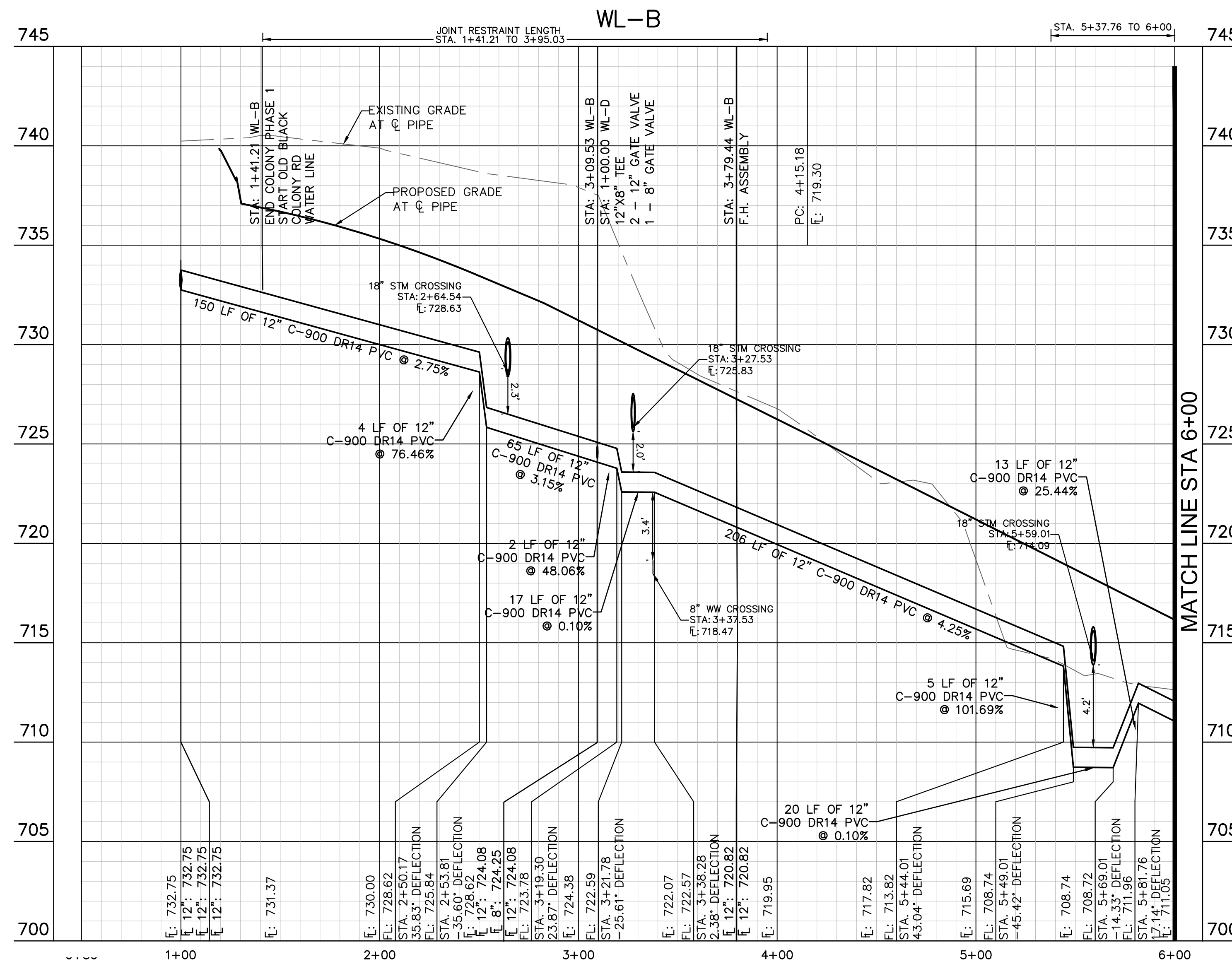
SHEET NUMBER  
**160**  
 OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 08:50:25am File Path: K:\SAU\_Civil\087783115 Meritage Budd Assemblage\Cad\PlanSheets\C-Water P&P - WL B.dwg  
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**LEGEND**

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**811**  
 Know what's below.  
 Call before you dig.

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**BENCHMARKS**

BM #102 - PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 79'4\"/>

BM #104 - PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV: 712.04 (NAVD 88)

BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF OLD BLACK COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

KHA PROJECT 087783115	
DATE	JULY 2023
SCALE	AS SHOWN
DESIGNED BY	WB, DM
DRAWN BY	WB, HM, MH, DM
CHECKED BY	AEC

**Kimley-Horn**  
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 TBPE Firm No. 928

07/17/2023

Alejandro E. Granados-Rico

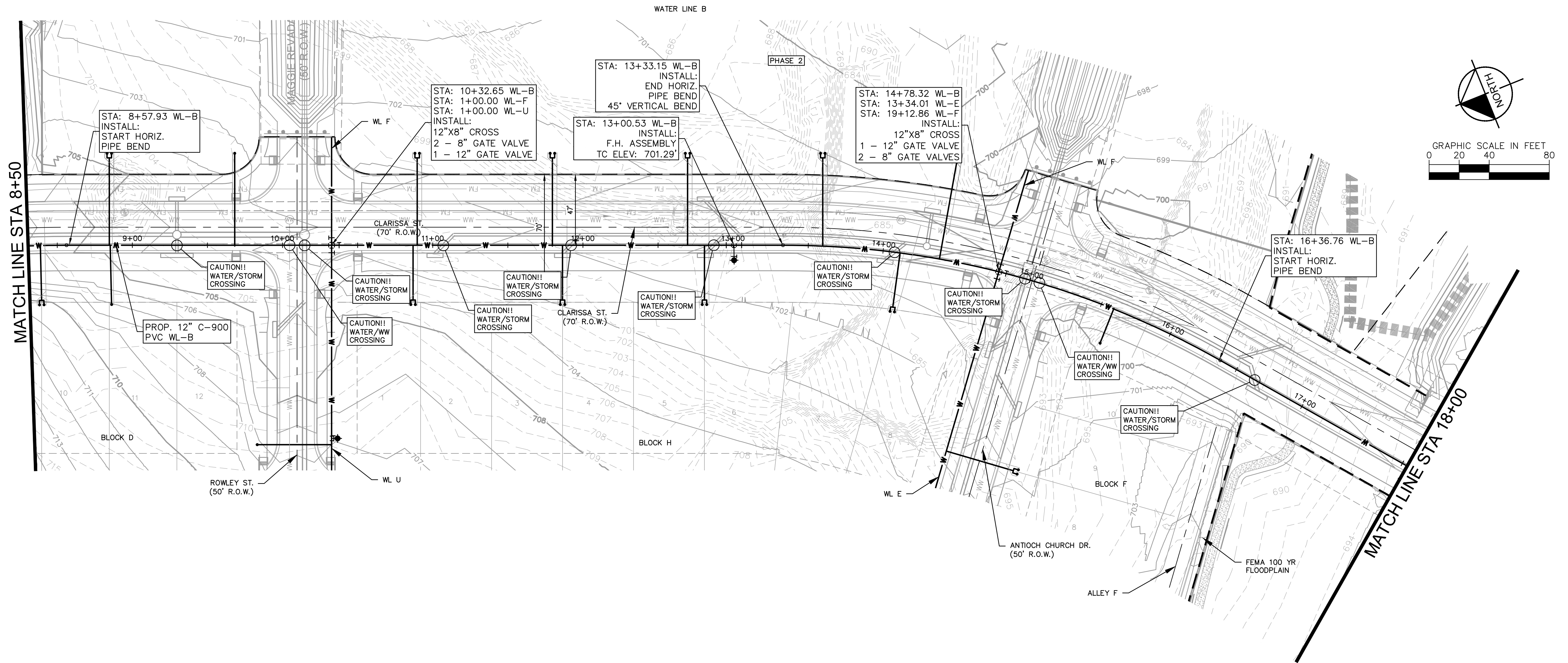
**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

WATER PLAN AND PROFILE - LINE B (1 OF 4)

SHEET NUMBER 161 OF 226

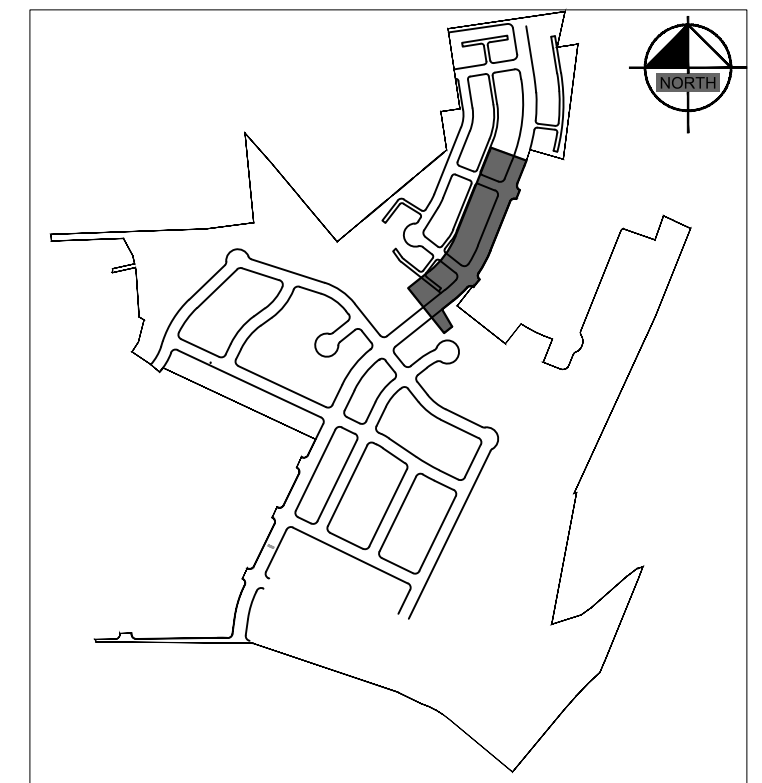
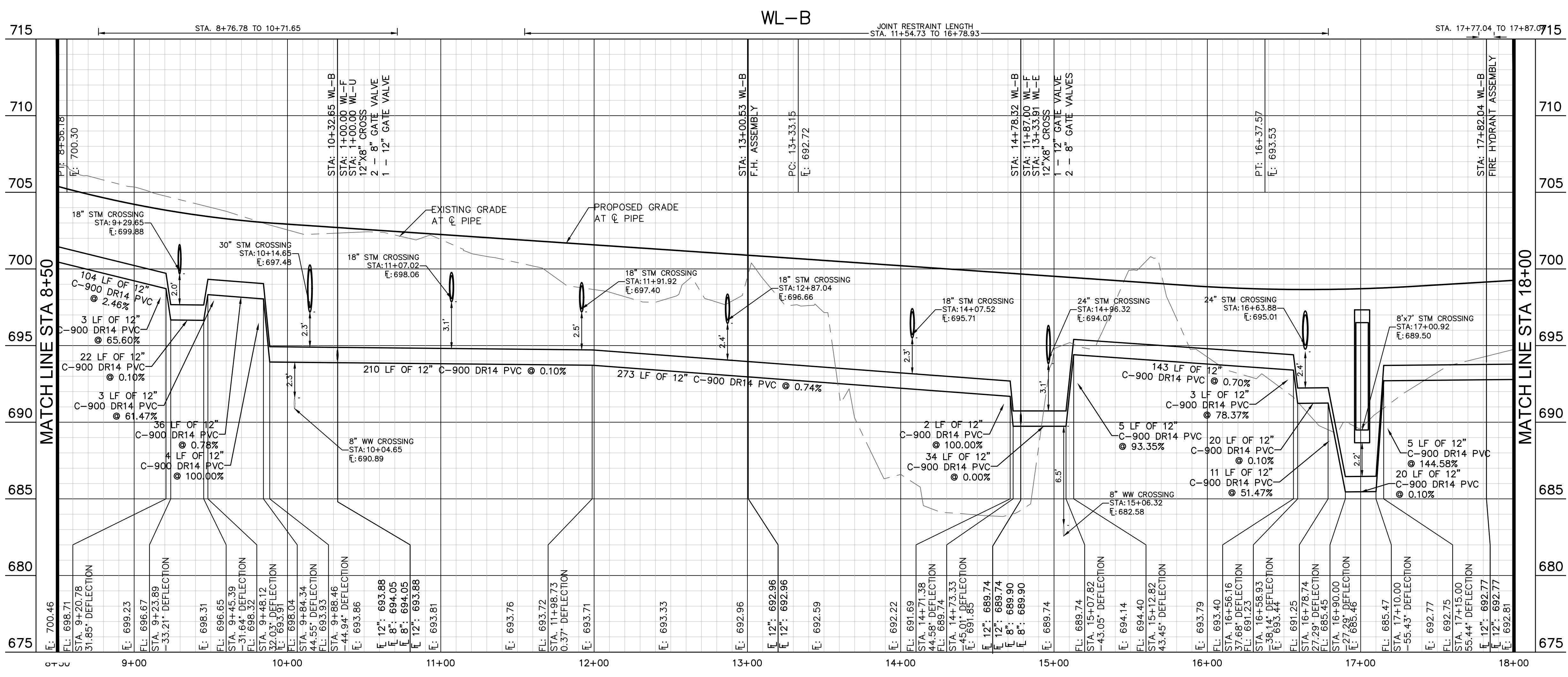
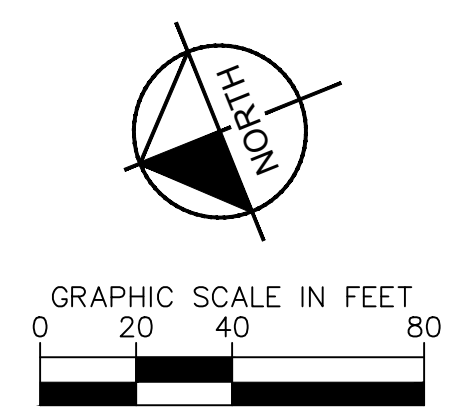


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**LEGEND**

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- S - SINGLE WATER SERVICE
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- FM - PROPOSED FORCE MAIN
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- WM - PROPOSED WASTEWATER LINE
- M - PROPOSED WASTEWATER MANHOLE
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**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
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**BENCHMARKS**

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BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLEBACH COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

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 TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13308  
 Aljank E. Rios-Liu

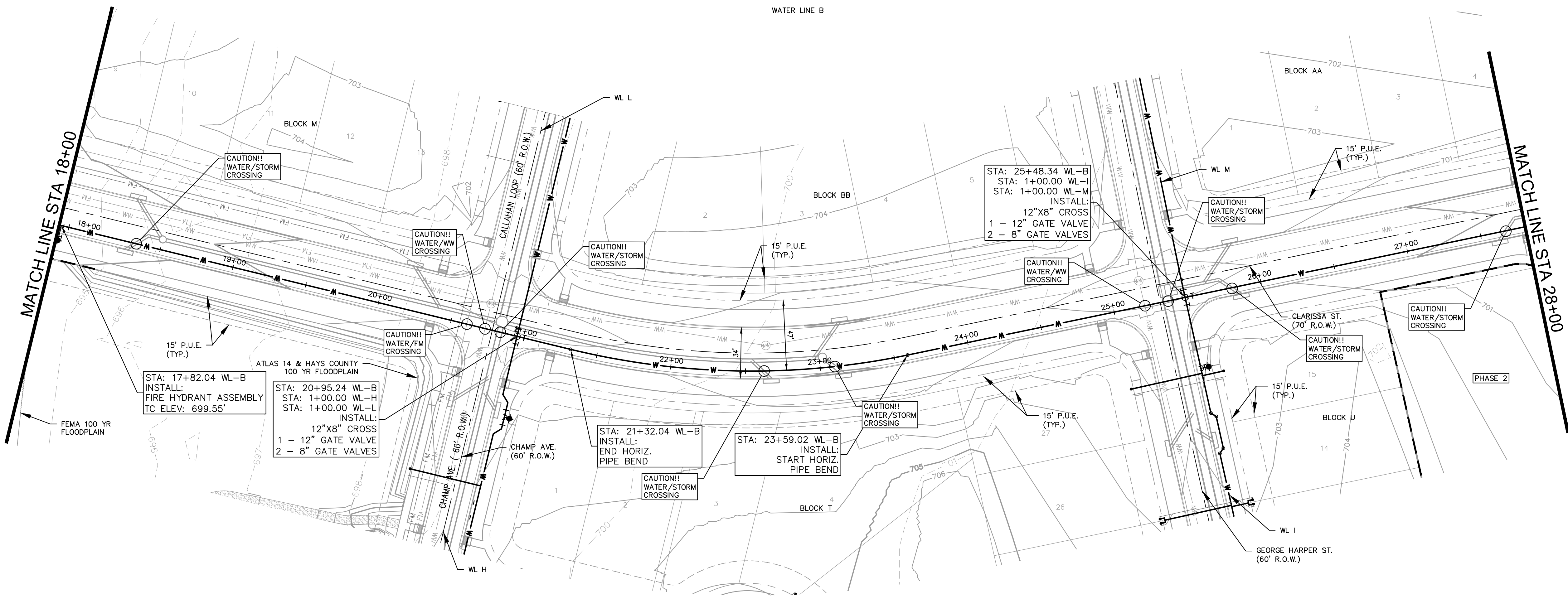
KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB-DM  
 DRAWN BY: WB-HM, MH-DM  
 CHECKED BY: AEC

**WATER PLAN AND PROFILE - LINE B (2 OF 4)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

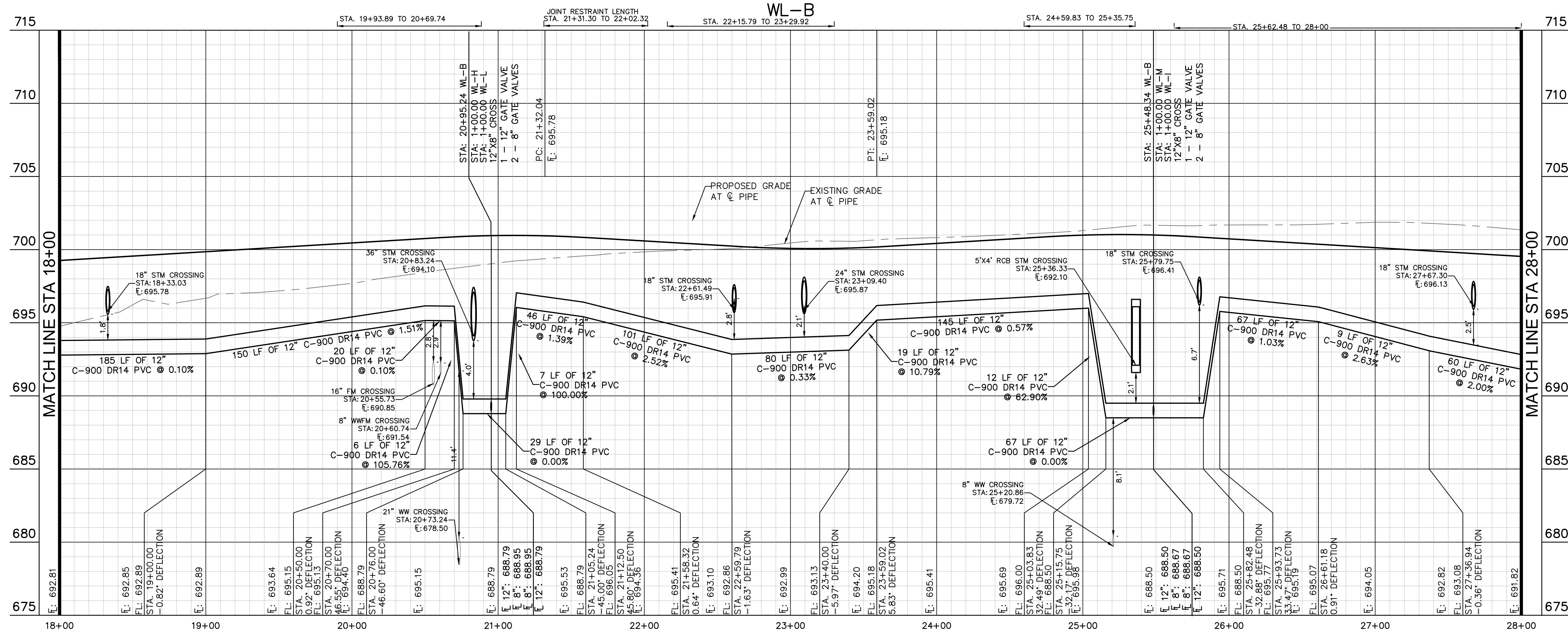
SHEET NUMBER: 162 OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 08:59:23am File Path: K:\SAU\Q:\08783115 Meritage Buda Assemblies\Cad\PlanSheets\C-Water P&P - WL B.dwg  
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**LEGEND**

	EXISTING WATER LINE
	PROPOSED WATER LINE
	PROPOSED HYDRANT ASSEMBLY
	PROPOSED CROSS / TEE
	PROPOSED VALVE
	DUAL WATER SERVICE
	SINGLE WATER SERVICE
	EXISTING FORCE MAIN
	EXISTING WASTEWATER LINE
	PROPOSED FORCE MAIN
	PROPOSED WASTEWATER LINE
	PROPOSED WASTEWATER MANHOLE
	DUAL WASTEWATER SERVICE
	SINGLE WASTEWATER SERVICE
	PROPOSED STORM SEWER LINE



**GRAPHIC SCALE IN FEET**  
0 20 40 80

**KEY MAP**  
SCALE: 1" = 1,000'

**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

**BENCHMARKS**

BM 810 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 79'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=712.47 (NAVD 88)

BM 814 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM 816 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=712.56 (NAVD 88)

**811 Know what's below. Call before you dig.**

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

City Engineer, General Compliance: \_\_\_\_\_ ZONING: N/A  
 Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 PH: 512.464.5777  
 WWW.KIMLEY-HORN.COM  
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 TBPE Firm

07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 133008  
 Aljank E. Rizo-Lin

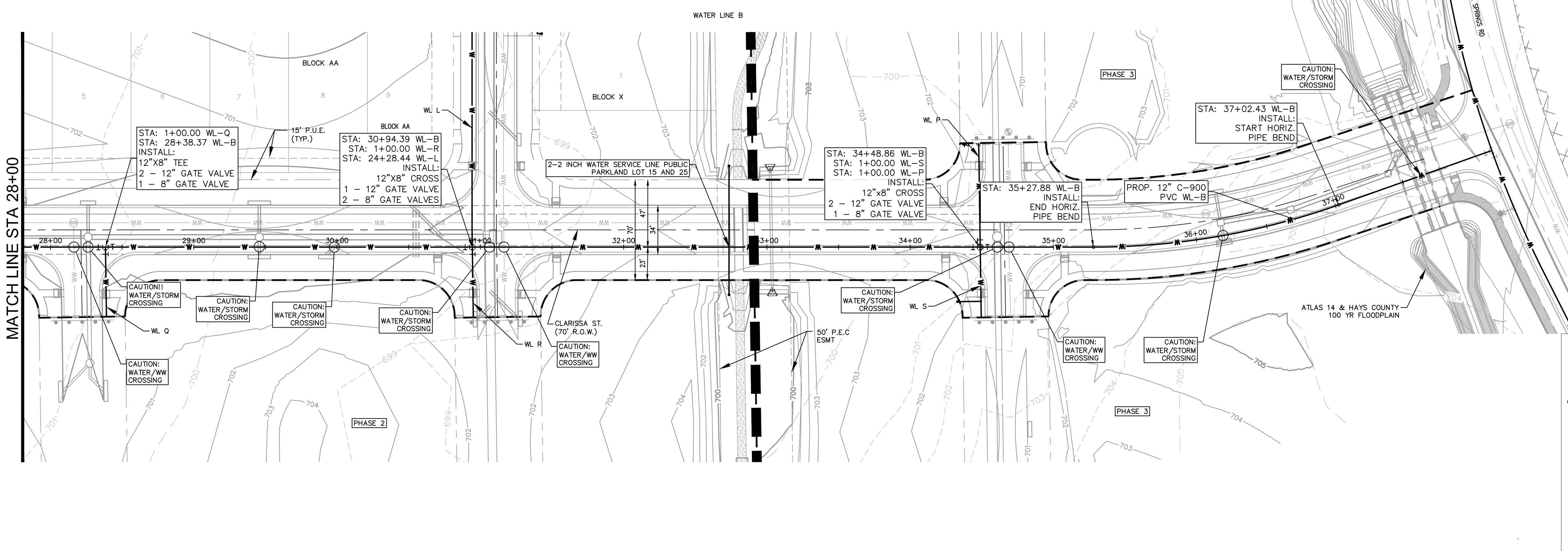
KHA PROJECT: 08783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB, HM, MJD, DM  
 CHECKED BY: AEC

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

**WATER PLAN AND PROFILE - LINE B (3 OF 4)**

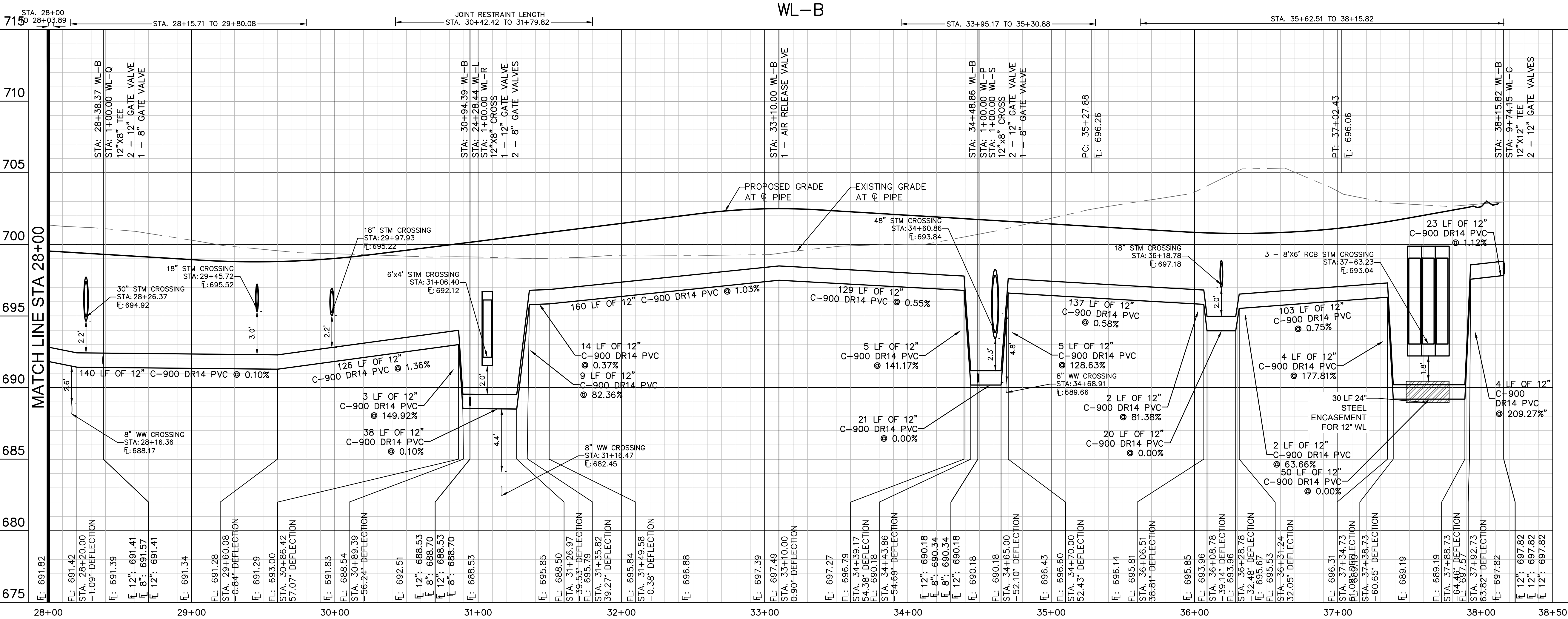
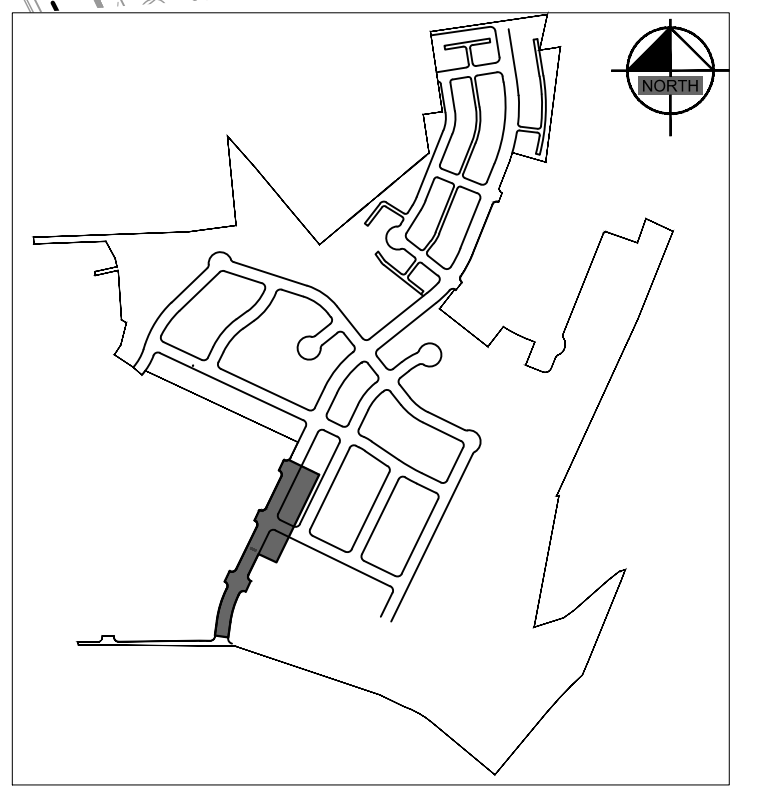
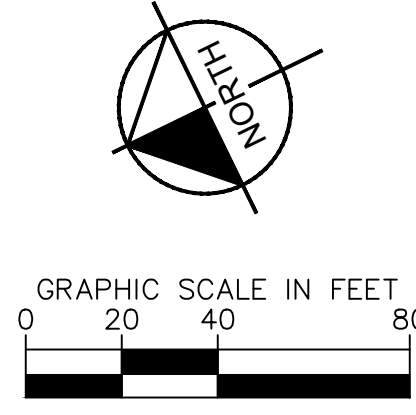
SHEET NUMBER: 163 OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 09:00:34am File Path: K:\SAU-Civil\087783115 Meritage Budd Assemblage\Cad\PlanSheets\C-Water P&P - WL B.dwg  
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**LEGEND**

— W —	EXISTING WATER LINE
— W —	PROPOSED WATER LINE
— W —	PROPOSED HYDRANT ASSEMBLY
— W —	PROPOSED CROSS / TEE
— W —	PROPOSED VALVE
— W —	DUAL WATER SERVICE
— W —	SINGLE WATER SERVICE
— W —	EXISTING FORCE MAIN
— W —	PROPOSED FORCE MAIN
— W —	PROPOSED WASTEWATER LINE
— W —	PROPOSED WASTEWATER MANHOLE
— W —	DUAL WASTEWATER SERVICE
— W —	SINGLE WASTEWATER SERVICE
— W —	PROPOSED STORM SEWER LINE



SCALE: 1" = 1,000'

**811**  
 Know what's below.  
 Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #102 - PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 2770 N FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV = 697.47 (NAVD 88)

BM #104 - PK NAIL SET IN ROCK ON THE SOUTHWEST CORNER OF THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 712.56 (NAVD 88)

BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 712.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

Released for General Compliance: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2: \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3: \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits for a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

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07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 104563

KHA PROJECT: 087783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB-DM  
 DRAWN BY: WB-HM, M.H.D.M.  
 CHECKED BY: AEC

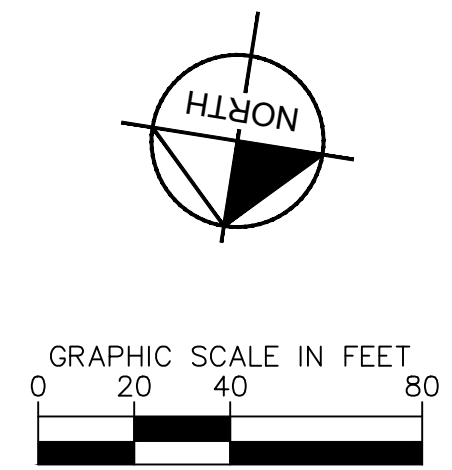
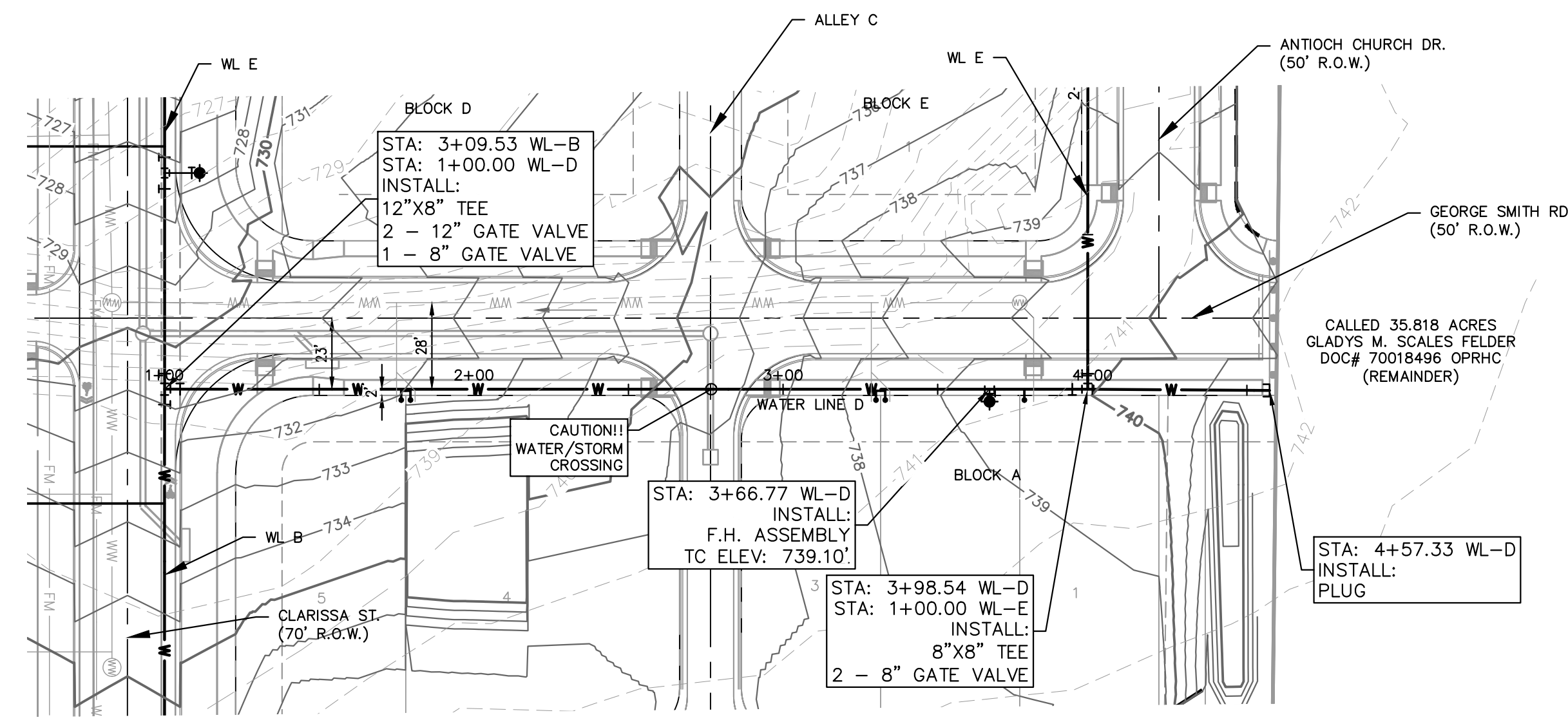
**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

**WATER PLAN AND PROFILE - LINE B (4 OF 4)**

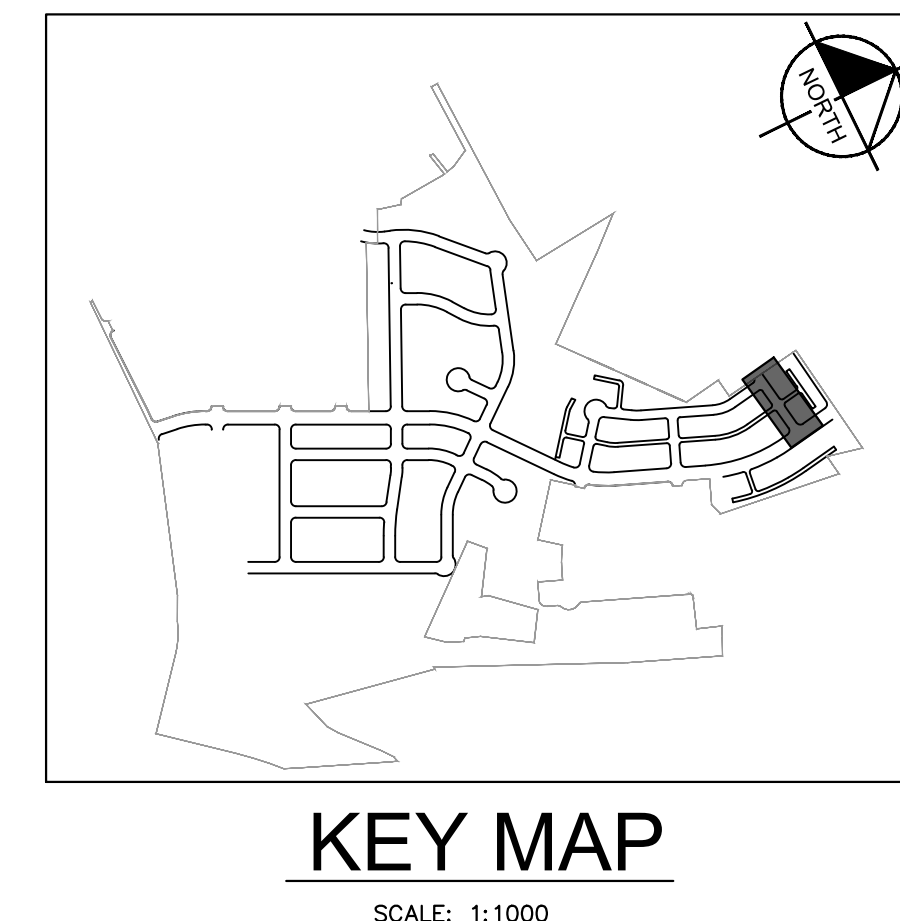
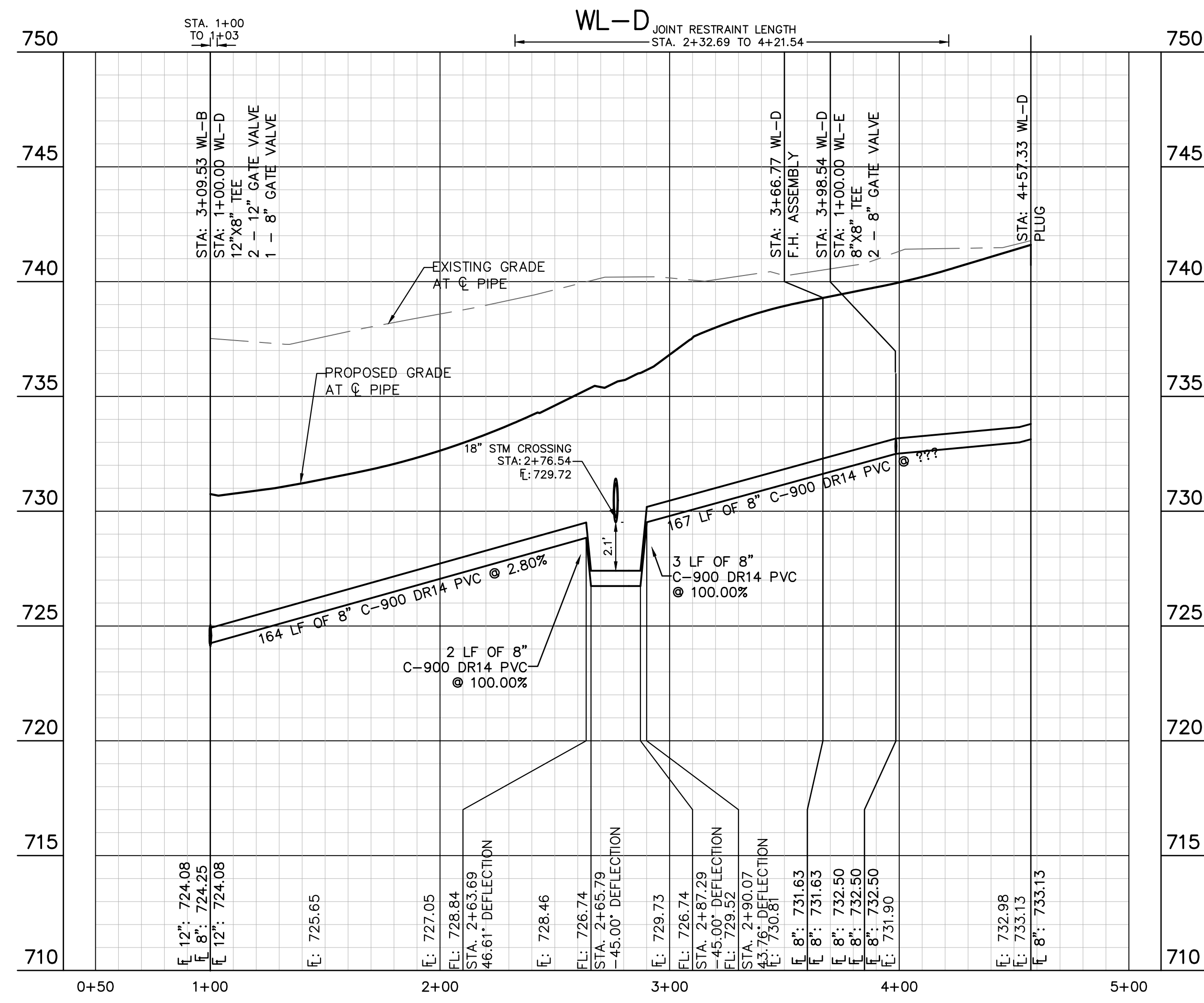
SHEET NUMBER: 164 OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 09:03:13am File Path: K:\SAL\Civil\067783115 Heritage Budd Assembly\Cad\PlanSheets\C-Water P&P - WL D, E.dwg

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LEGEND	
	EXISTING WATER LINE
	PROPOSED WATER LINE
	PROPOSED HYDRANT ASSEMBLY
	PROPOSED CROSS / TEE
	PROPOSED VALVE
	DUAL WATER SERVICE
	SINGLE WATER SERVICE
	EXISTING FORCE MAIN
	EXISTING WASTEWATER LINE
	EXISTING FORCE MAIN
	EXISTING WASTEWATER LINE
	PROPOSED WASTEWATER MANHOLE
	DUAL WASTEWATER SERVICE
	SINGLE WASTEWATER SERVICE
	PROPOSED STORM SEWER LINE



**811**  
Know what's below.  
Call before you dig.

**WARNING:** CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

- BM #102 PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRING ROAD. ELEV: 727.47 (NAVD 88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV: 712.04 (NAVD 88)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRING ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL	SHEET	OF
FILE NUMBER	226	
APPROVED BY COMMISSION ON	N/A	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.
EXPIRATION DATE: 2021-737	CASE MANAGER	08/16/2021
<b>A. KENNEDY</b> City Engineer, City of Buda		
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: N/A		
Rev. 1	Correction 1	
Rev. 2	Correction 2	
Rev. 3	Correction 3	
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.		
PERMIT NUMBER: 2021-737		

NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
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07/17/2023  
ALEJANDRO E. GRANADOS RICO  
15008  
LICENSED PROFESSIONAL ENGINEER  
Aljank E. Granados Rico

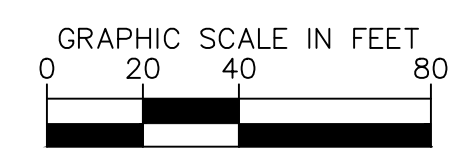
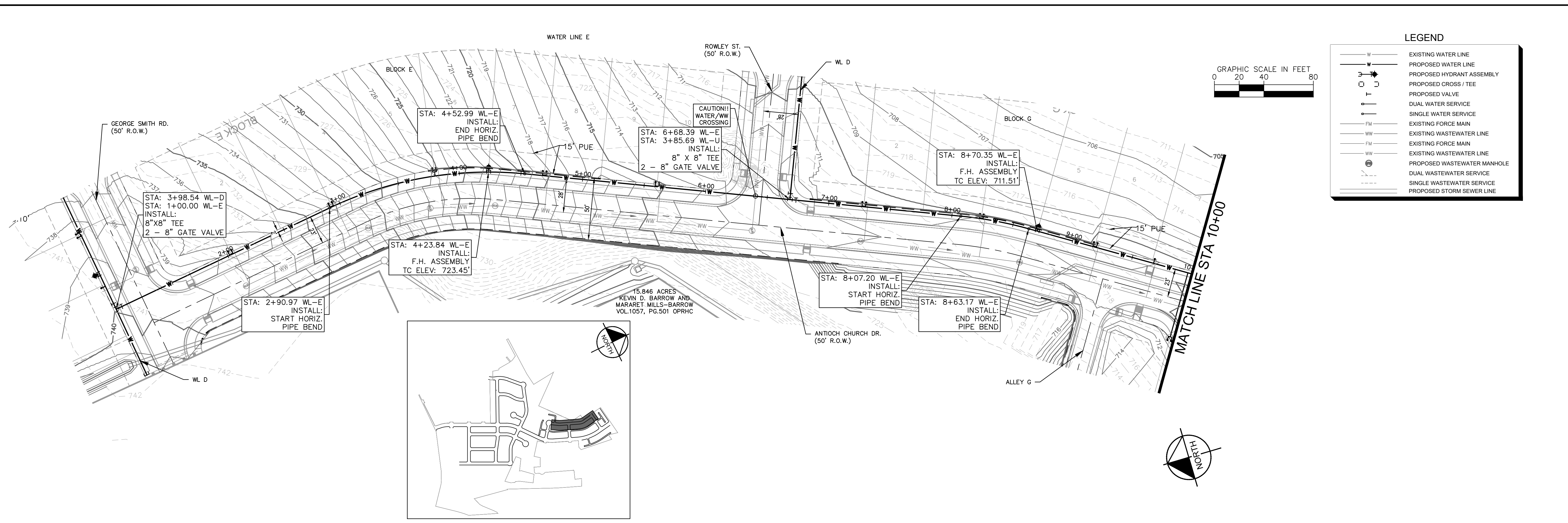
KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB/DM  
DRAWN BY: WB/HM/MH/DM  
CHECKED BY: AEC

**WATER PLAN AND PROFILE - LINE D**

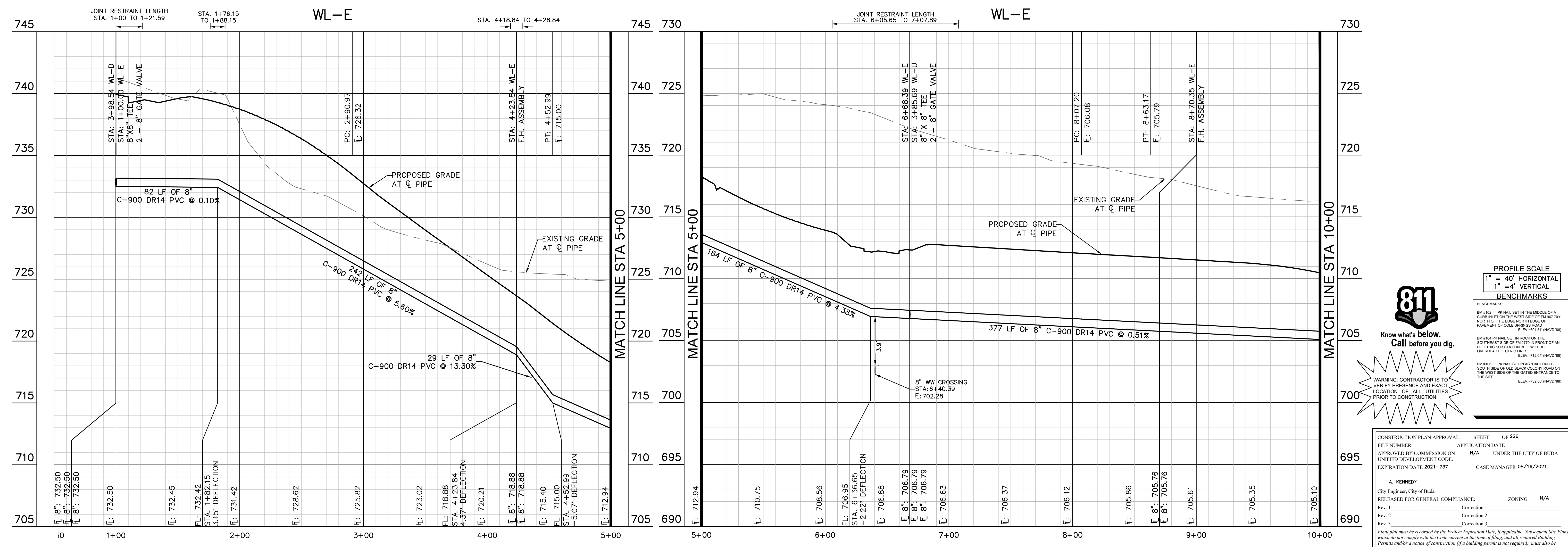
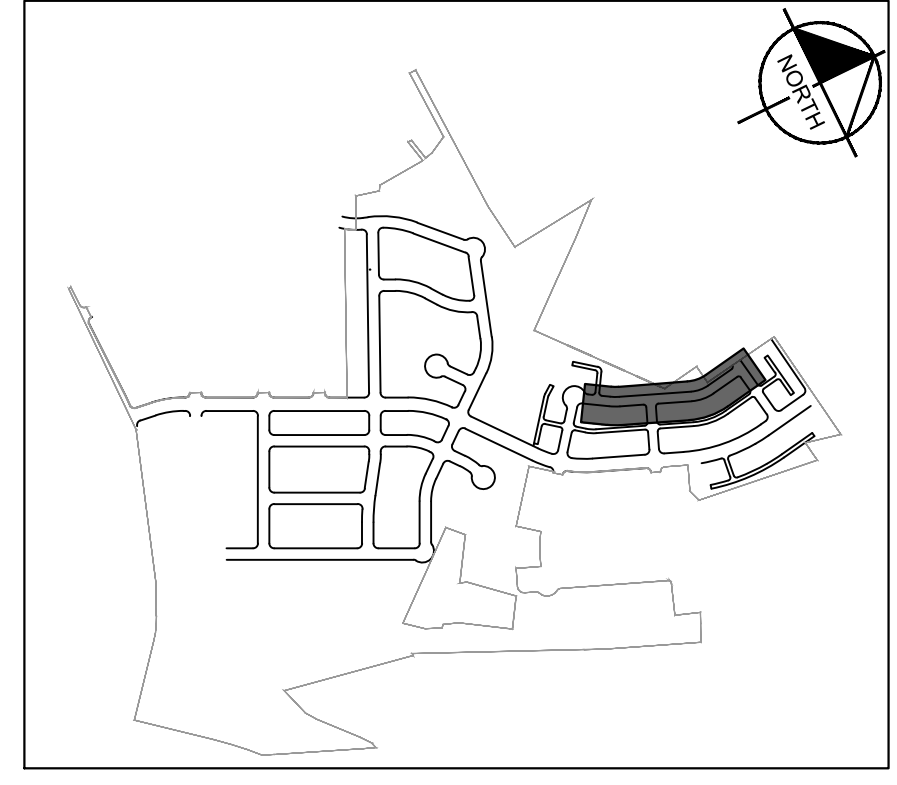
**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER  
**165**  
OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 09:04:03am File Path: K:\SAU-Civil\087783115 Heritage Budd Assemblage\Cad\PlanSheets\C-Water P&P - WL D, E.dwg  
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LEGEND	
— W —	EXISTING WATER LINE
— W —	PROPOSED WATER LINE
— W —	PROPOSED HYDRANT ASSEMBLY
— W —	PROPOSED CROSS / TEE
— W —	PROPOSED VALVE
— W —	DUAL WATER SERVICE
— W —	SINGLE WATER SERVICE
— FM —	EXISTING FORCE MAIN
— FM —	PROPOSED FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— WW —	PROPOSED WASTEWATER LINE
— W —	PROPOSED WASTEWATER MANHOLE
— W —	DUAL WASTEWATER SERVICE
— W —	SINGLE WASTEWATER SERVICE
— S —	PROPOSED STORM SEWER LINE



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WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #102 - PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=712.47 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

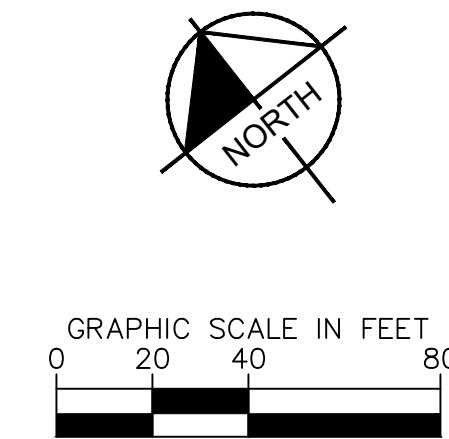
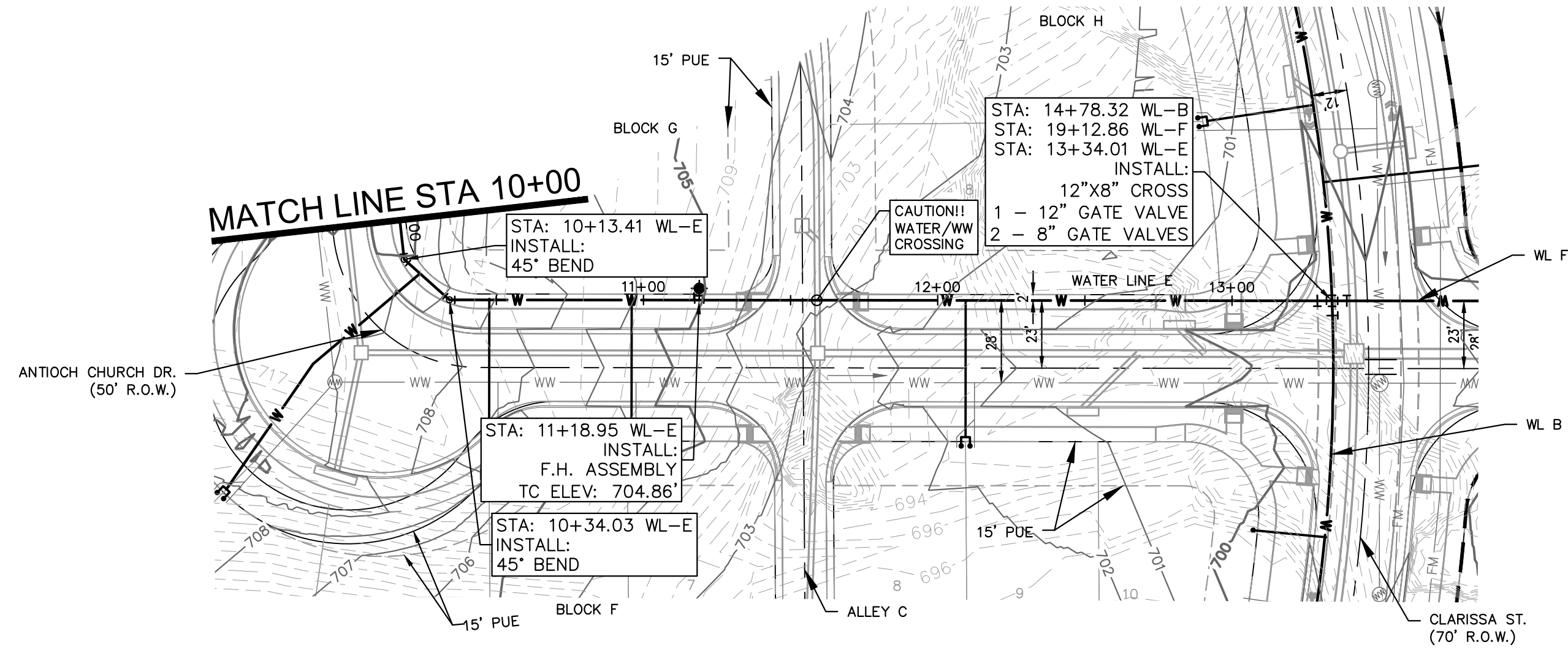
BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE AND COLEWOOD ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226
FILE NUMBER APPLICATION DATE
APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021
<b>A. KENNEDY</b>
City Engineer, City of Buda
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: N/A
Rev. 1: _____ Correction 1
Rev. 2: _____ Correction 2
Rev. 3: _____ Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.
PERMIT NUMBER: 2021-737

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	KHA PROJECT: 08/783115 DATE: JULY 2023 SCALE: AS SHOWN DESIGNED BY: WB,DM DRAWN BY: WB,HM,MH,DM CHECKED BY: AEC
	THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS
WATER PLAN AND PROFILE - LINE E (1 OF 2)	SHEET NUMBER <b>166</b> OF 226

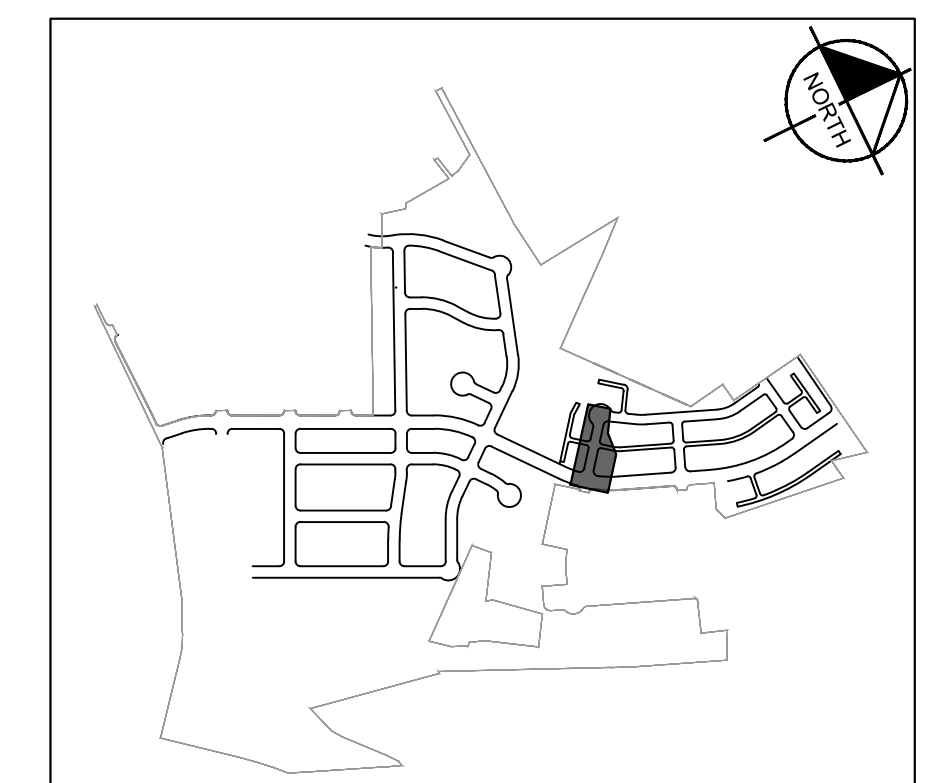
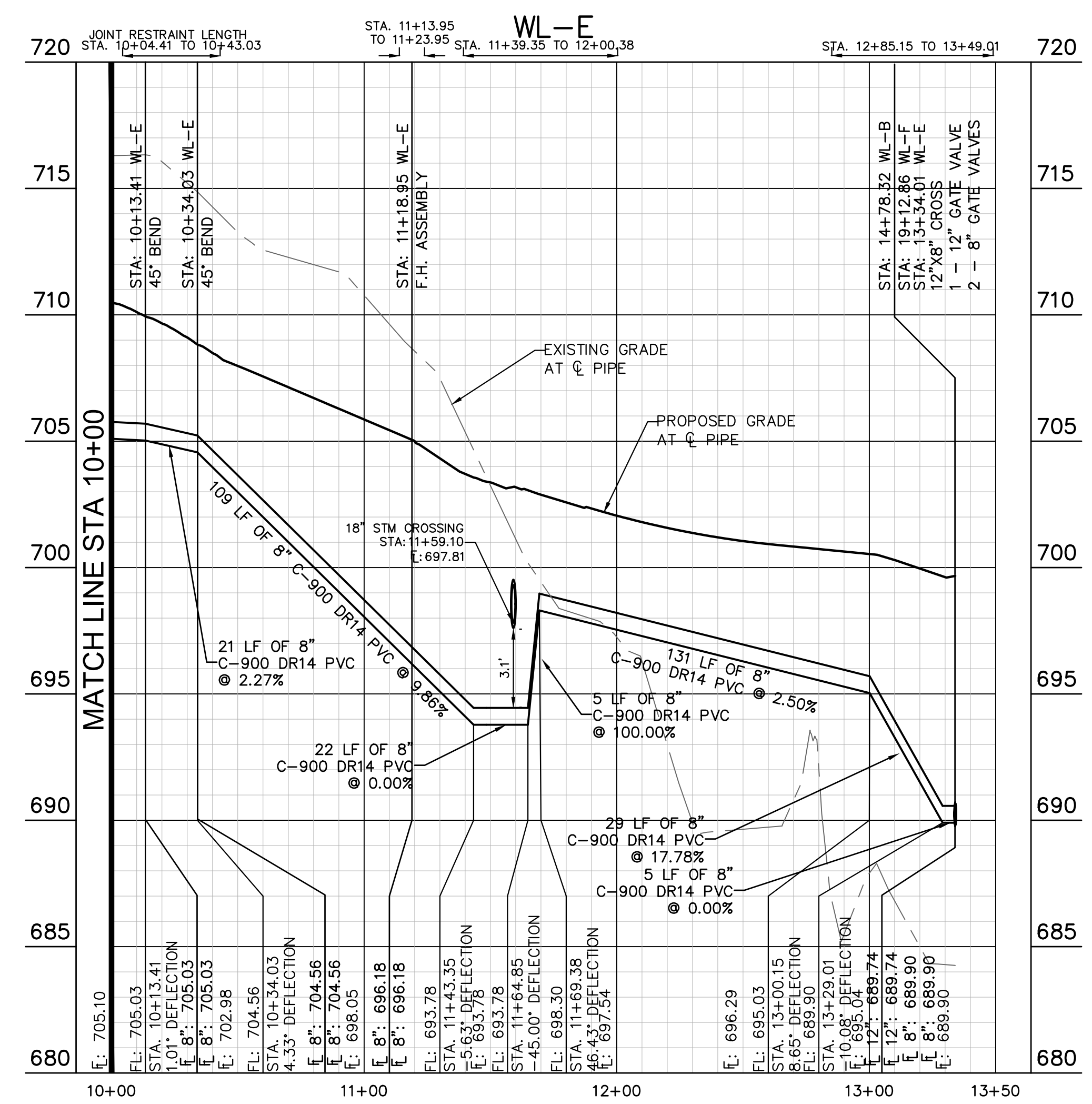
Plotted by: Flynn, Alyssa Date: July 17, 2023 09:04:31am File Path: K:\SAL\Civil\067783115 Heritage Buda Assembly\Cad\PlanSheets\C-Water P&P - WL D, E.dwg

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**LEGEND**

— W —	EXISTING WATER LINE
— W —	PROPOSED WATER LINE
— H —	PROPOSED HYDRANT ASSEMBLY
— T —	PROPOSED CROSS / TEE
— V —	PROPOSED VALVE
— D —	DUAL WATER SERVICE
— S —	SINGLE WATER SERVICE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— M —	PROPOSED WASTEWATER MANHOLE
— D —	DUAL WASTEWATER SERVICE
— S —	SINGLE WASTEWATER SERVICE
— S —	PROPOSED STORM SEWER LINE



**KEY MAP**  
SCALE: 1:1000

**811**  
Know what's below.  
Call before you dig.

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

**BENCHMARKS**

BENCHMARKS

- BM #102 - PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV = 718.47 (NAVD 88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV = 712.04 (NAVD 88)
- BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**

City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING \_\_\_\_\_ N/A

Rev. 1 \_\_\_\_\_ Correction 1

Rev. 2 \_\_\_\_\_ Correction 2

Rev. 3 \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

No.	REVISIONS	DATE	BY

**Kimley-Horn**

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AUSTIN, TX 78745  
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TBE Firm No. 928

07/17/2023

**Alejandro E. Granados-Rico**  
Professional Engineer  
No. 13908

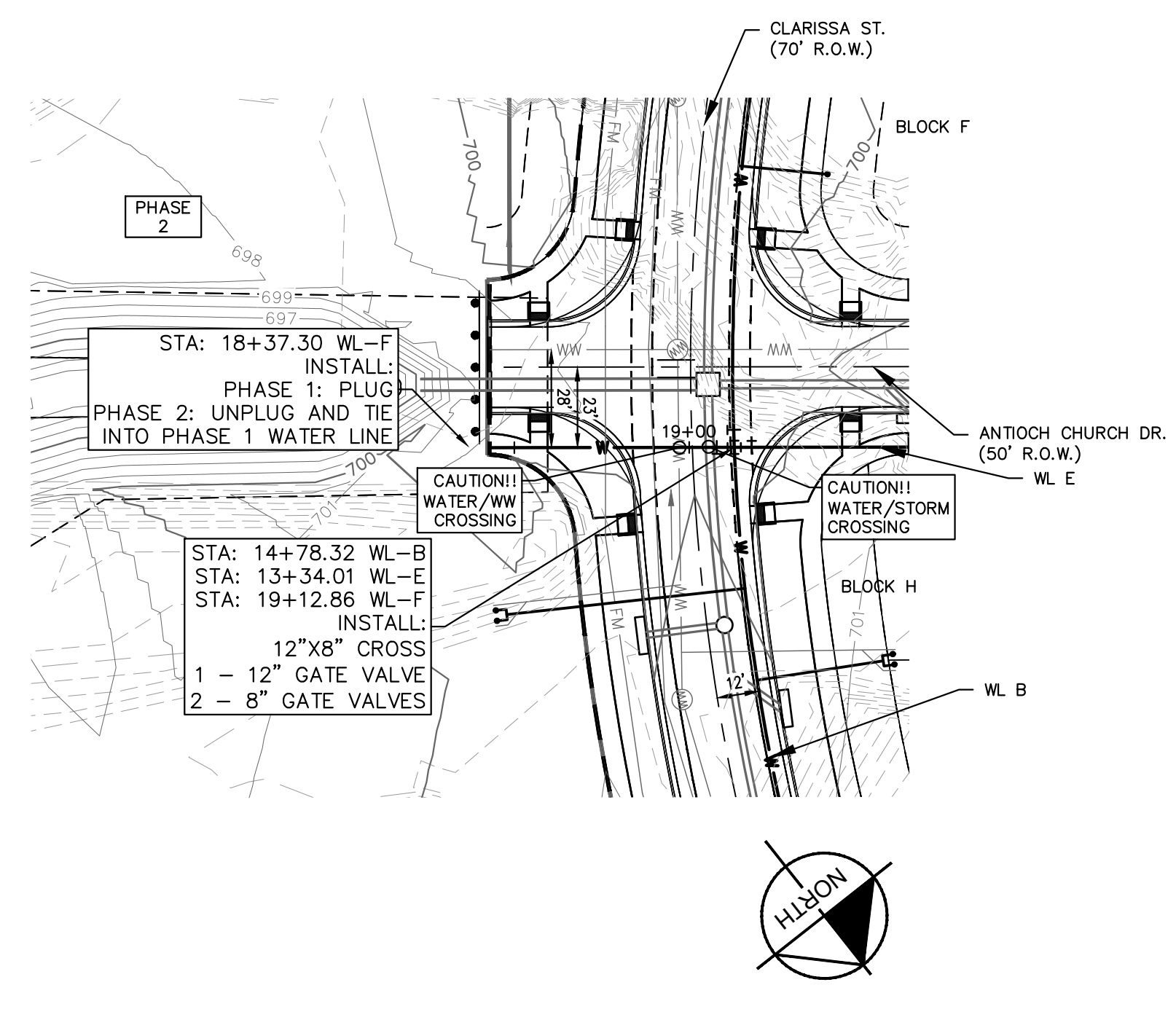
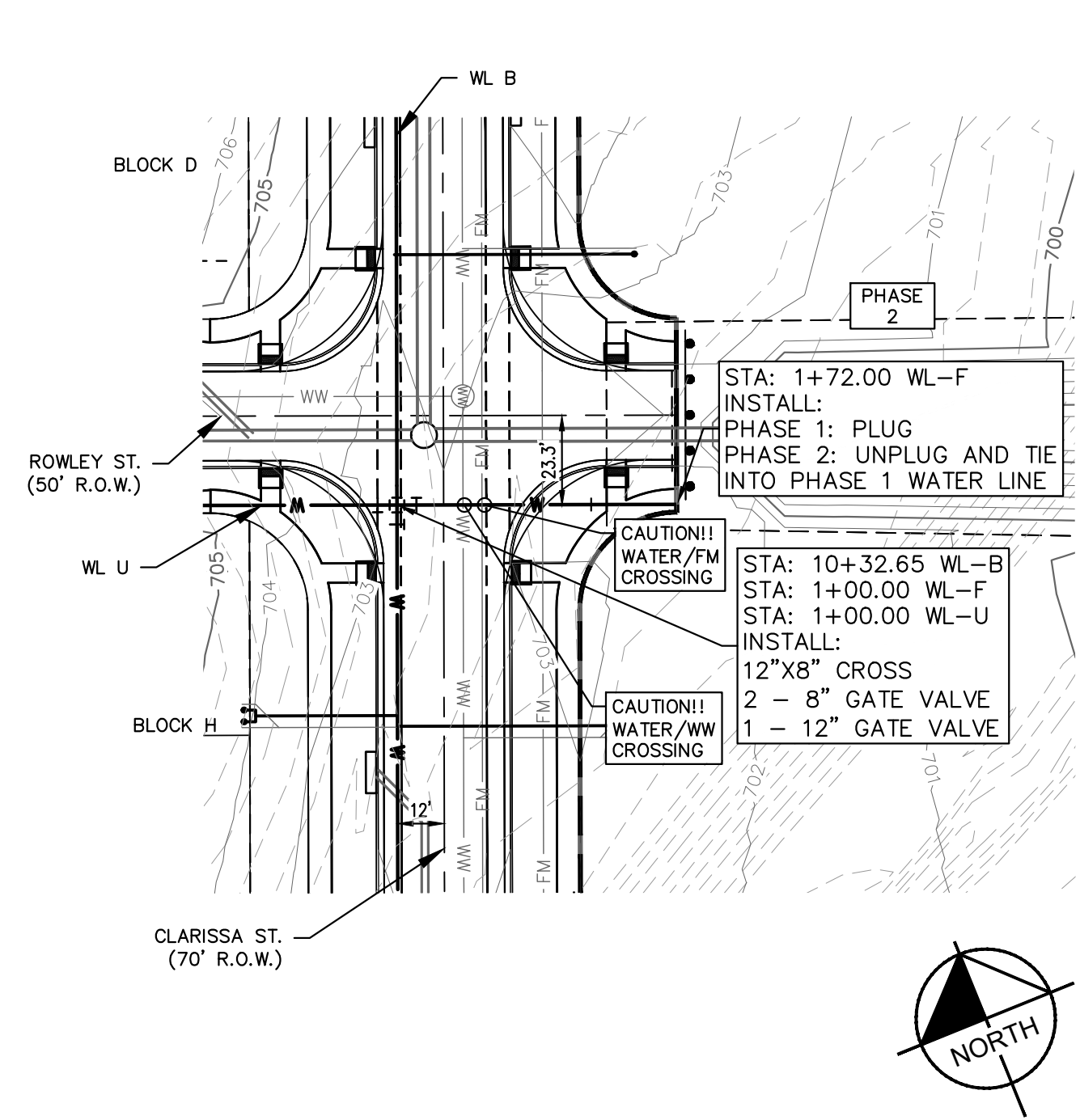
*Alyssa Flynn*

KHA PROJECT 067783115  
DATE JULY 2023  
SCALE AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEG

**WATER PLAN AND PROFILE - LINE E (2 OF 2)**

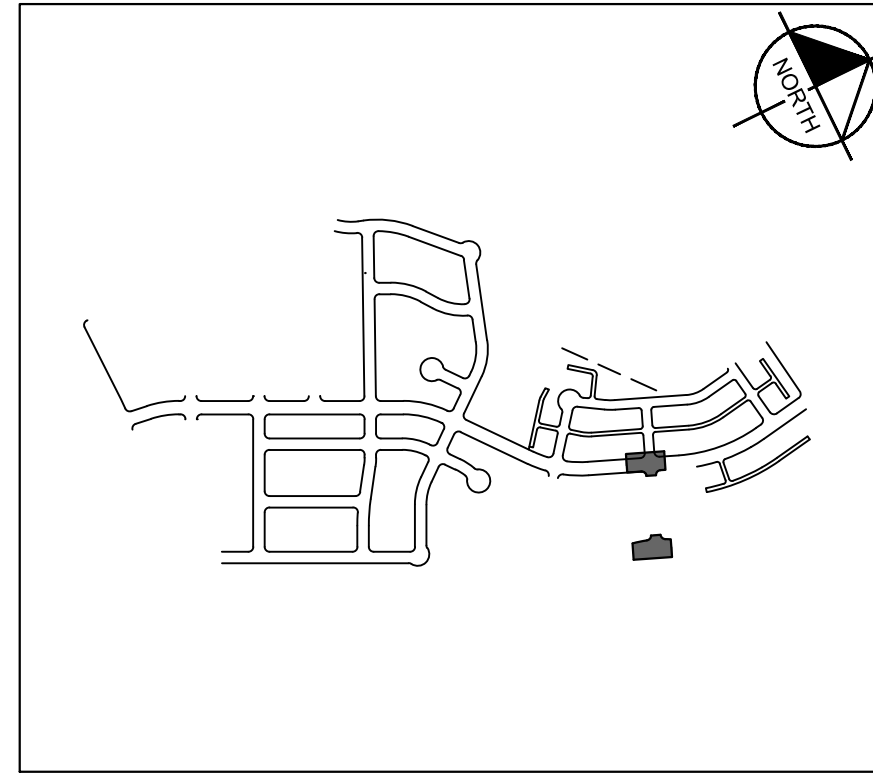
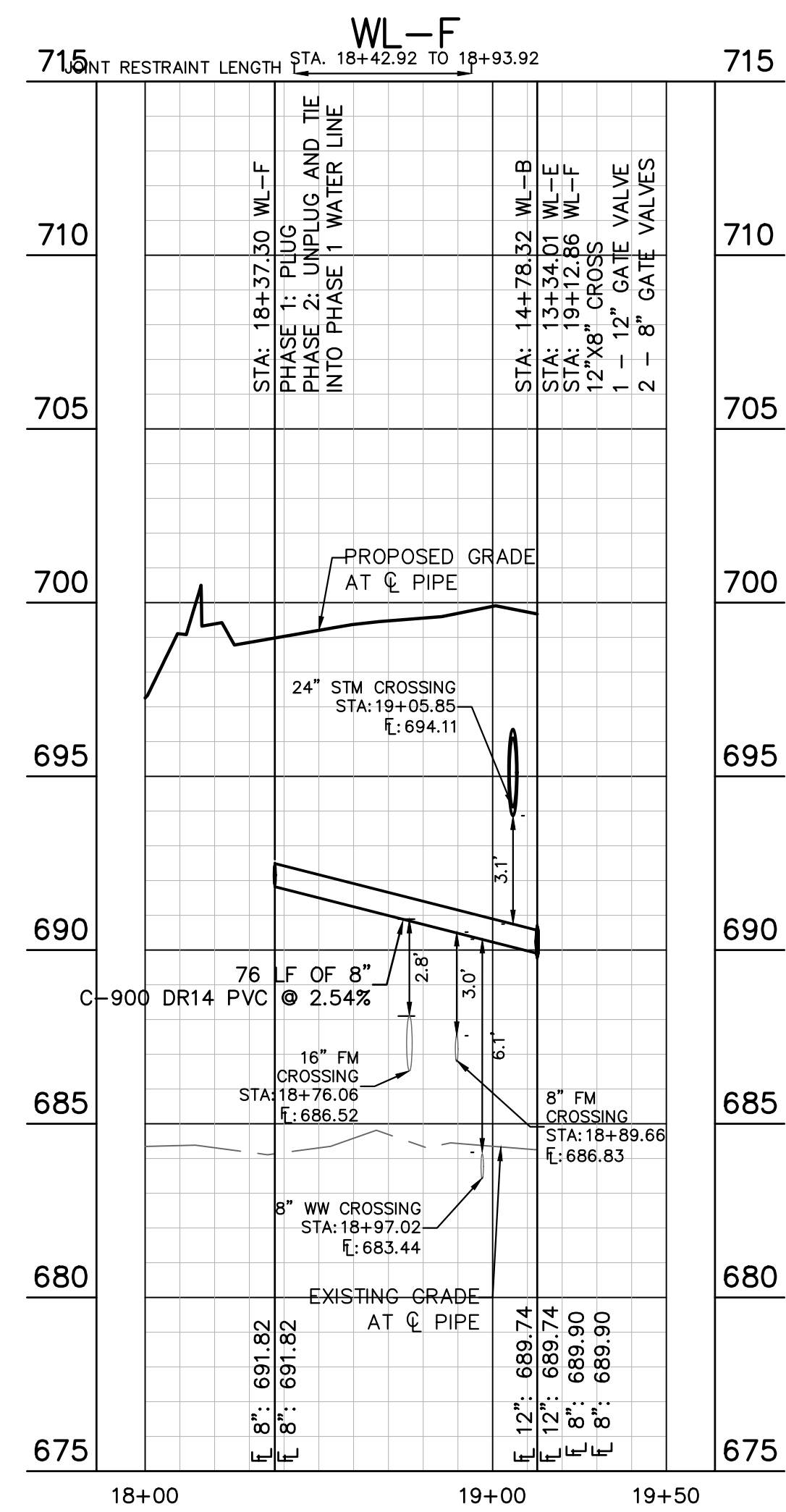
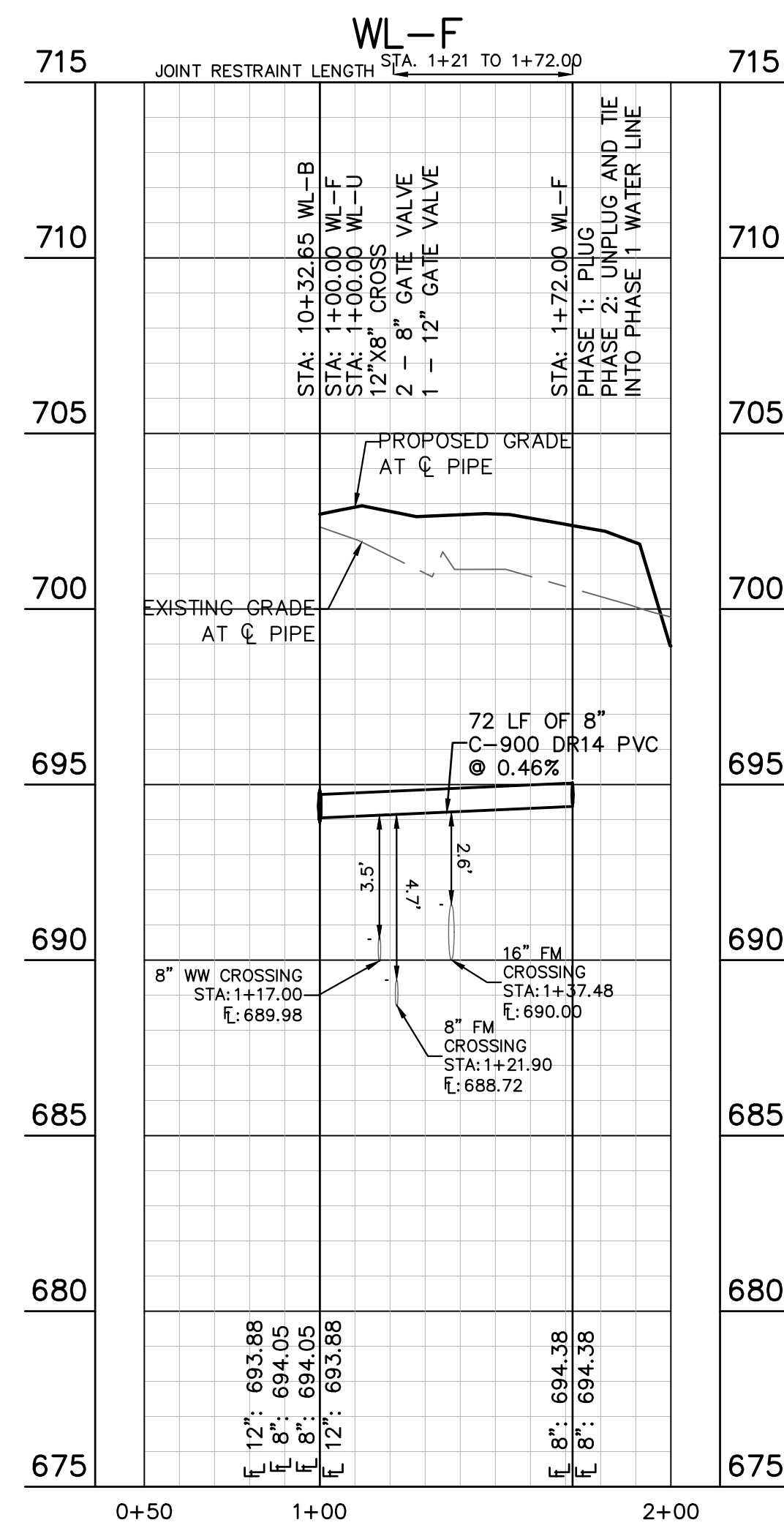
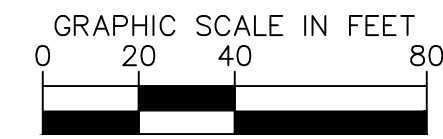
**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER **167**  
OF 226



**LEGEND**

— W —	EXISTING WATER LINE
— W —	PROPOSED WATER LINE
— H —	PROPOSED HYDRANT ASSEMBLY
— C —	PROPOSED CROSS / TEE
— V —	PROPOSED VALVE
— T —	DUAL WATER SERVICE
— S —	SINGLE WATER SERVICE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— M —	PROPOSED WASTEWATER MANHOLE
— T —	DUAL WASTEWATER SERVICE
— S —	SINGLE WASTEWATER SERVICE
— S —	PROPOSED STORM SEWER LINE



**KEY MAP**  
SCALE: 1:1000

**811**  
Know what's below.  
Call before you dig.

**BENCHMARKS**

BM #102 - PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 77.4 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=716.47 (NAVD 88)

BM #104 - PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW ON THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRING COLLOW ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=732.56 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**

City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

**Kimley-Horn**

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TBE Firm No. 928

07/17/2023

Alejandro E. Granados-Rico  
Professional Engineer  
State of Texas  
License No. 13008

*Alejandro E. Granados-Rico*

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,FM,MH,LDM  
CHECKED BY: AEG

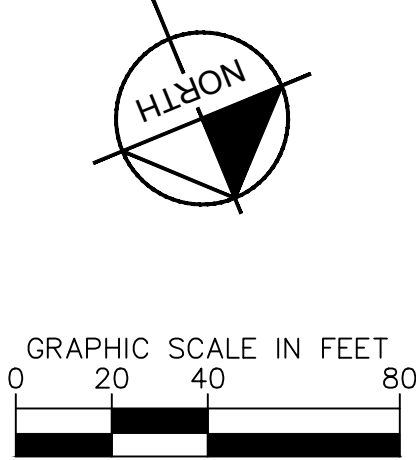
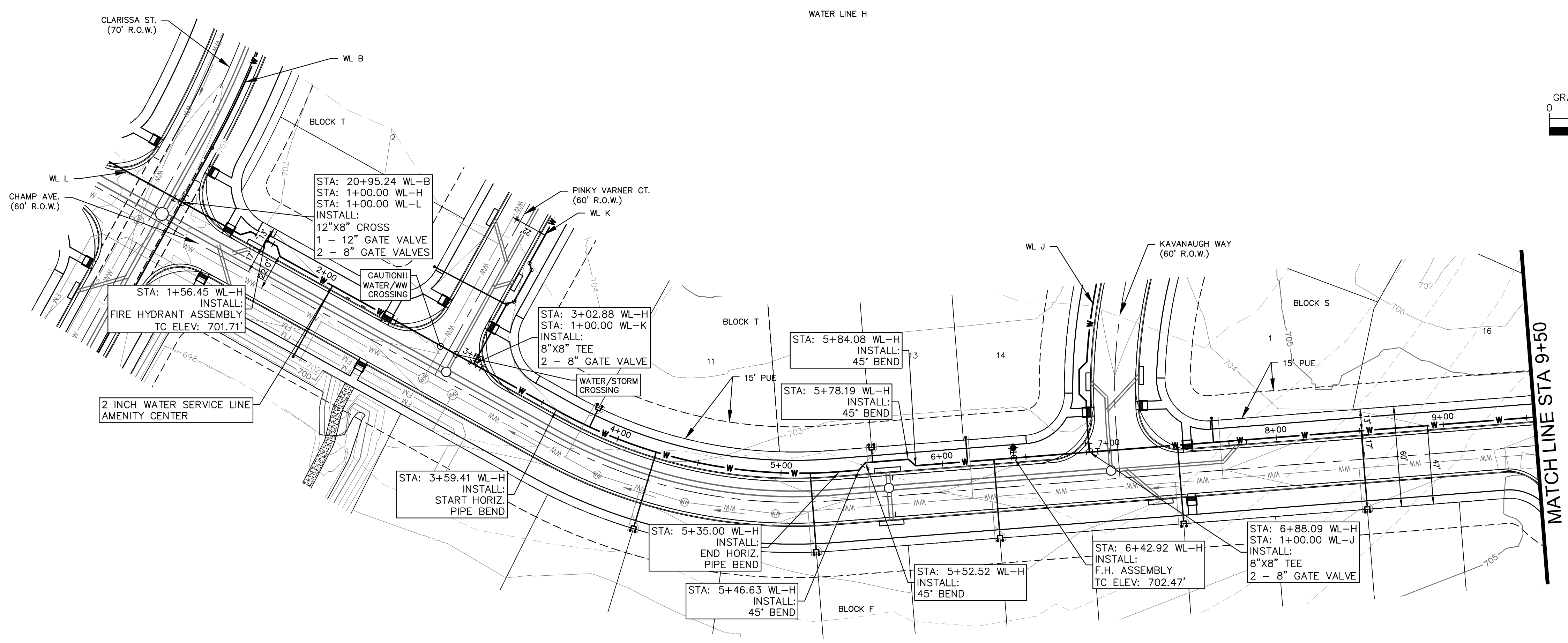
**WATER PLAN AND  
PROFILE - LINE F**

**THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS**

SHEET NUMBER  
**168**  
OF 226

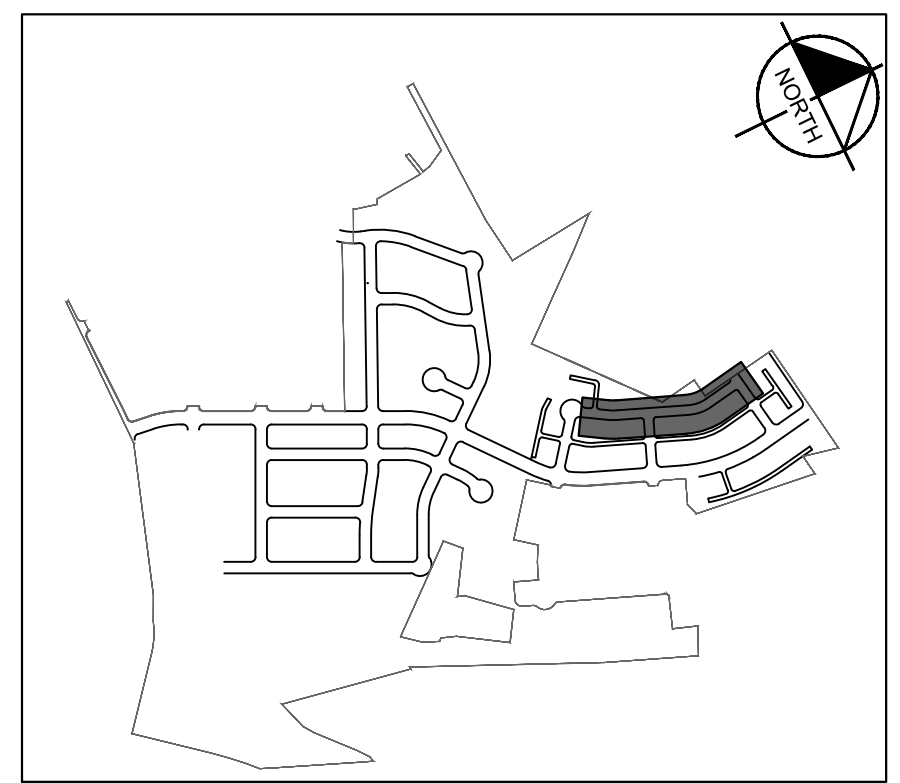
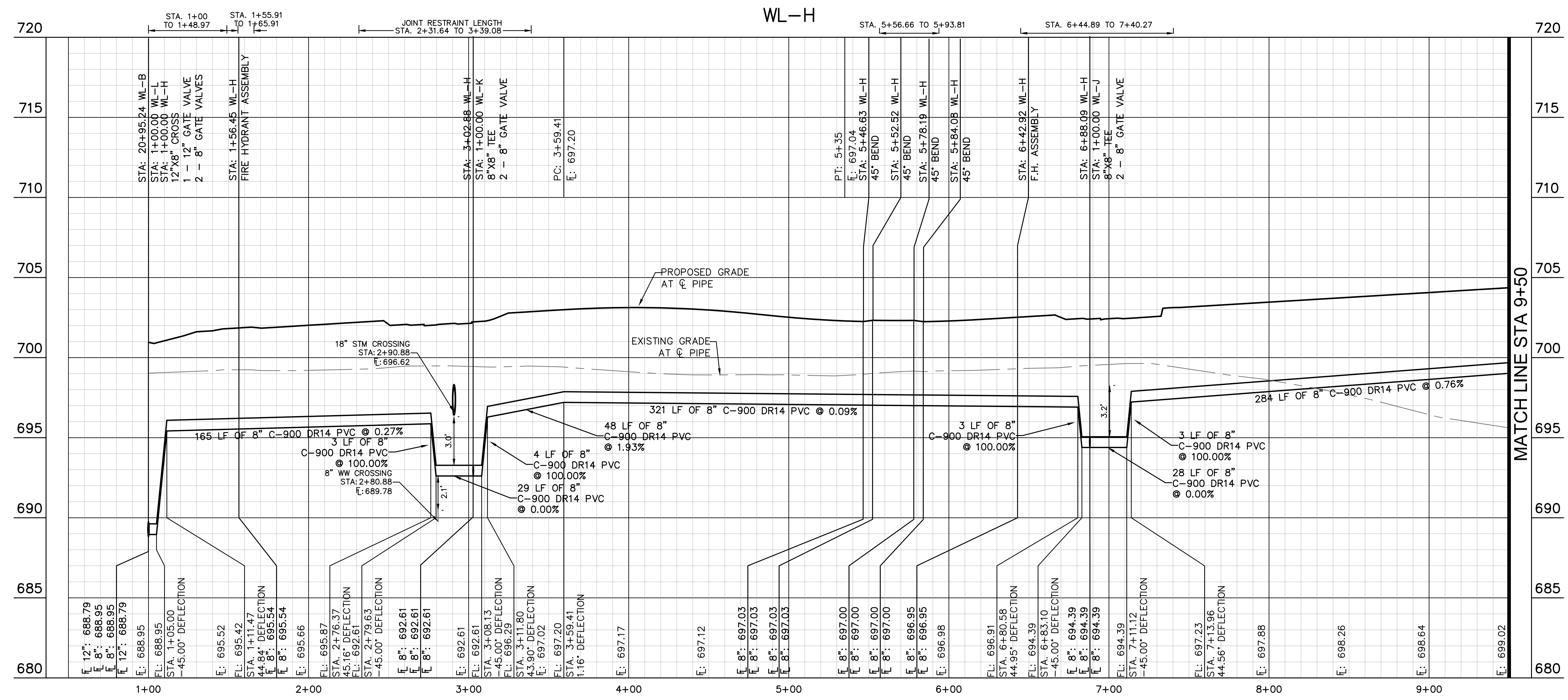
No.	REVISIONS	DATE	BY

Plotted by: Flynn, Alyssa Date: July 17, 2023 09:08:32am File Path: K:\SAU\_Civil\087783115 Heritage Budd Assemblage\Cad\PlanSheets\C-Water P&P - WL F, H.dwg  
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**LEGEND**

— W —	EXISTING WATER LINE
— W —	PROPOSED WATER LINE
— H —	PROPOSED HYDRANT ASSEMBLY
— C —	PROPOSED CROSS / TEE
— V —	PROPOSED VALVE
— D —	DUAL WATER SERVICE
— S —	SINGLE WATER SERVICE
— FM —	EXISTING FORCE MAIN
— WM —	EXISTING WASTEWATER LINE
— FM —	EXISTING FORCE MAIN
— WM —	EXISTING WASTEWATER LINE
— M —	PROPOSED WASTEWATER MANHOLE
— D —	DUAL WASTEWATER SERVICE
— S —	SINGLE WASTEWATER SERVICE
— SS —	PROPOSED STORM SEWER LINE



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 Know what's below.  
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WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #102 - PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897.774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV: 696.87 (NAVD 88)

BM #104 - PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV: 712.04 (NAVD 88)

BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLEB AND COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 712.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley & Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 PH: 512.454.3737  
 WWW.KIMLEY-HORN.COM  
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 TBE Firm

07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 153098  
*Alejandro E. Granados-Rico*

KHA PROJECT: 087783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,MM,MH,DM  
 CHECKED BY: AEC

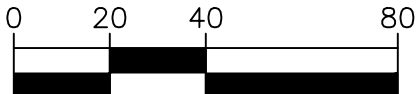
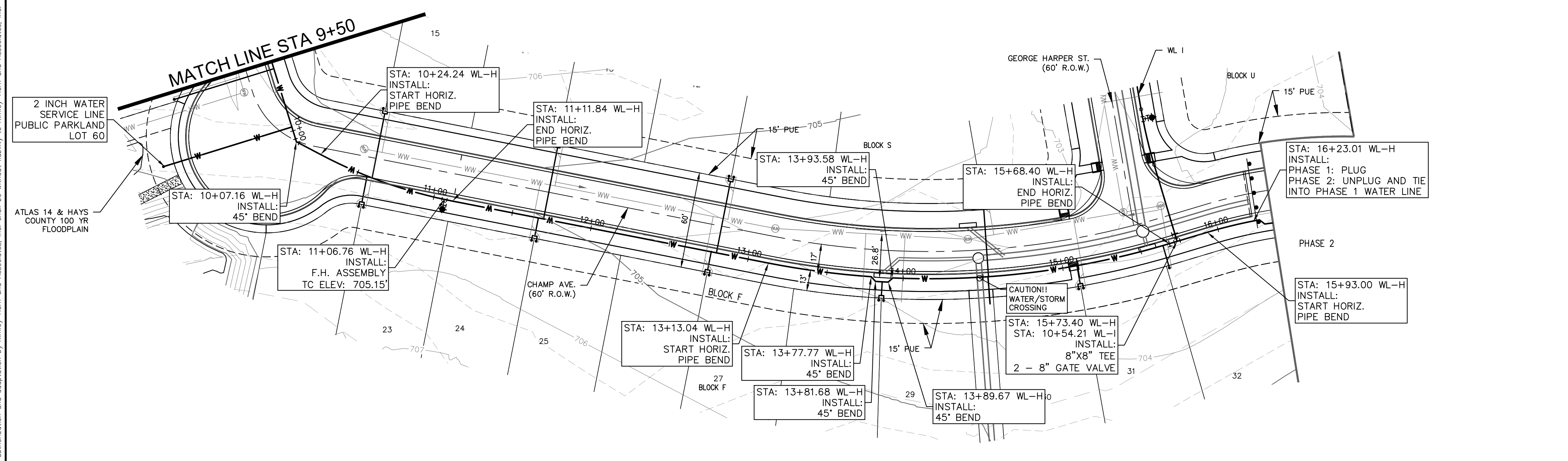
**WATER PLAN AND PROFILE - LINE H (1 OF 2)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**169**  
 OF 226

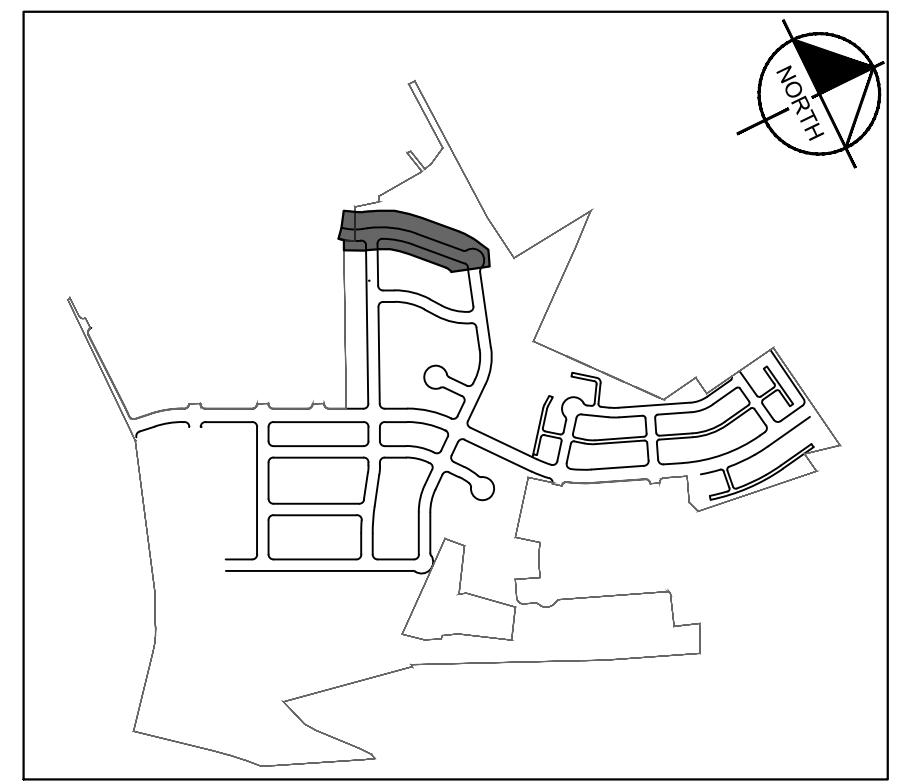
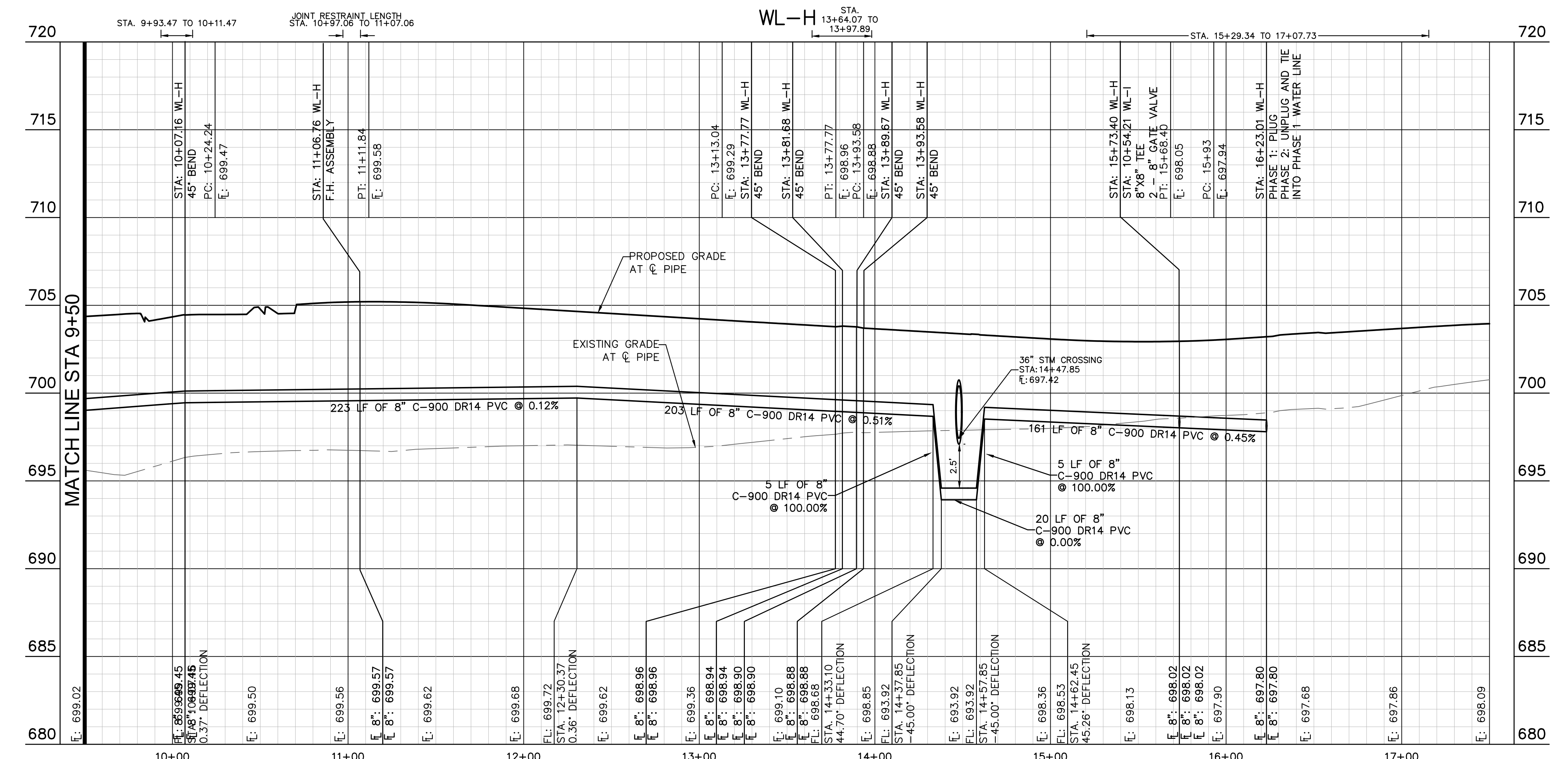


Plotted by: Flynn, Alyssa Date: July 17, 2023 09:09:12am File Path: K:\3AL\_Civil\067783115 Heritage Budd Assembly\Budd Assembly\PlanSheets\Cad\PlanSheets\Cad-Water P&P - WL F, H.dwg  
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**LEGEND**

— W —	EXISTING WATER LINE
— W —	PROPOSED WATER LINE
— H —	PROPOSED HYDRANT ASSEMBLY
— T —	PROPOSED CROSS / TEE
— V —	PROPOSED VALVE
— D —	DUAL WATER SERVICE
— S —	SINGLE WATER SERVICE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— M —	PROPOSED WASTEWATER MANHOLE
— D —	DUAL WASTEWATER SERVICE
— S —	SINGLE WASTEWATER SERVICE
— SS —	PROPOSED STORM SEWER LINE



**KEY MAP**  
SCALE: 1:1000

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Know what's below.  
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #102 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV: 697.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV: 712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE AND COLEMAN ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV: 722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET    OF   226  

FILE NUMBER                      APPLICATION DATE                     

APPROVED BY COMMISSION ON   N/A   UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE:                      ZONING   N/A  

Rev. 1                      Correction 1                     

Rev. 2                      Correction 2                     

Rev. 3                      Correction 3                     

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
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PH: 512.454.5700  
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TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
13308  
LICENSED PROFESSIONAL ENGINEER  
No. 13308  
Aljank E. Rios-Liu

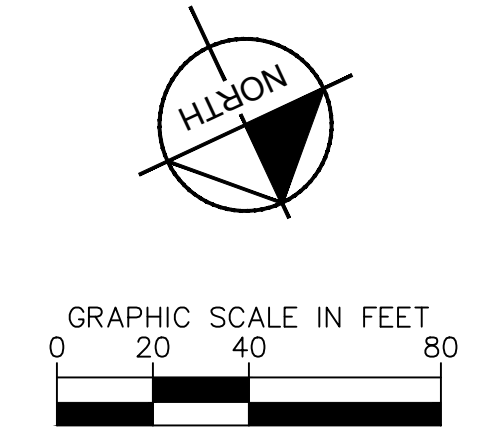
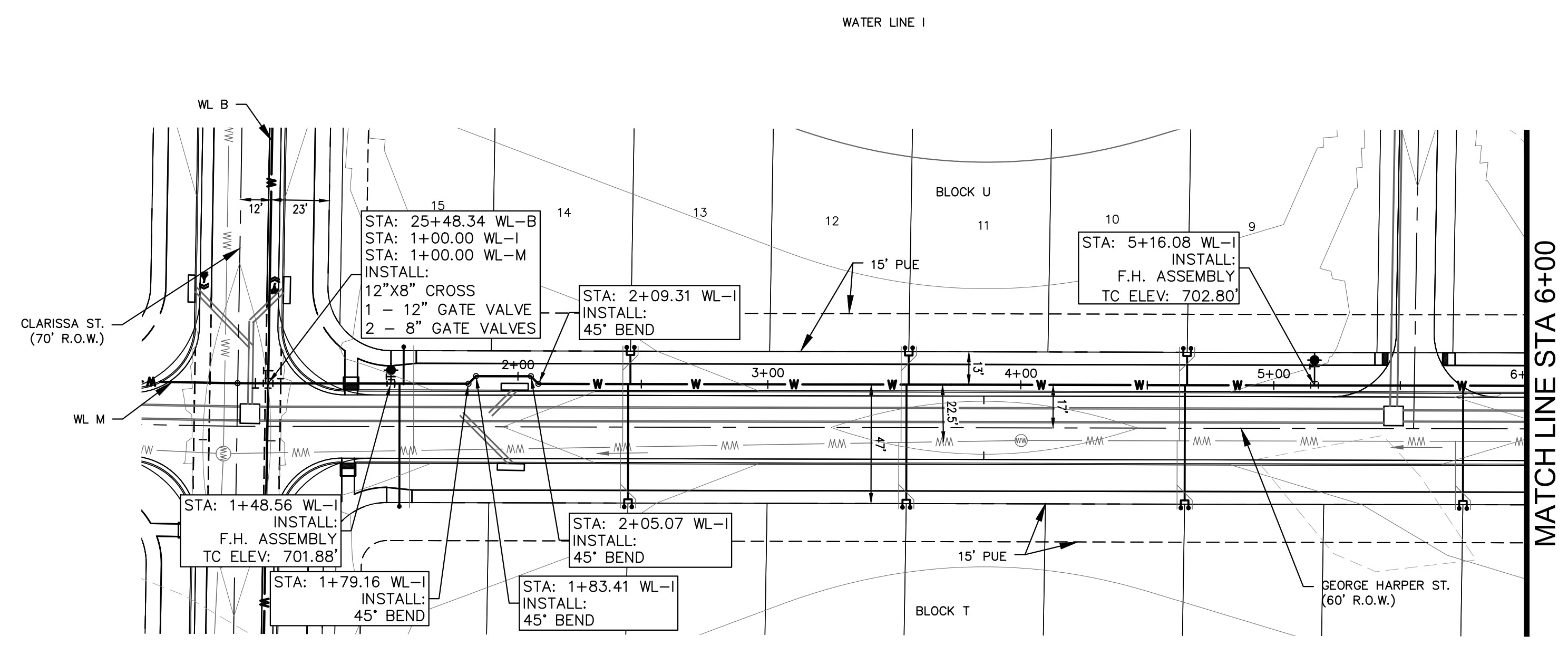
KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEG

**WATER PLAN AND PROFILE - LINE H (2 OF 2)**

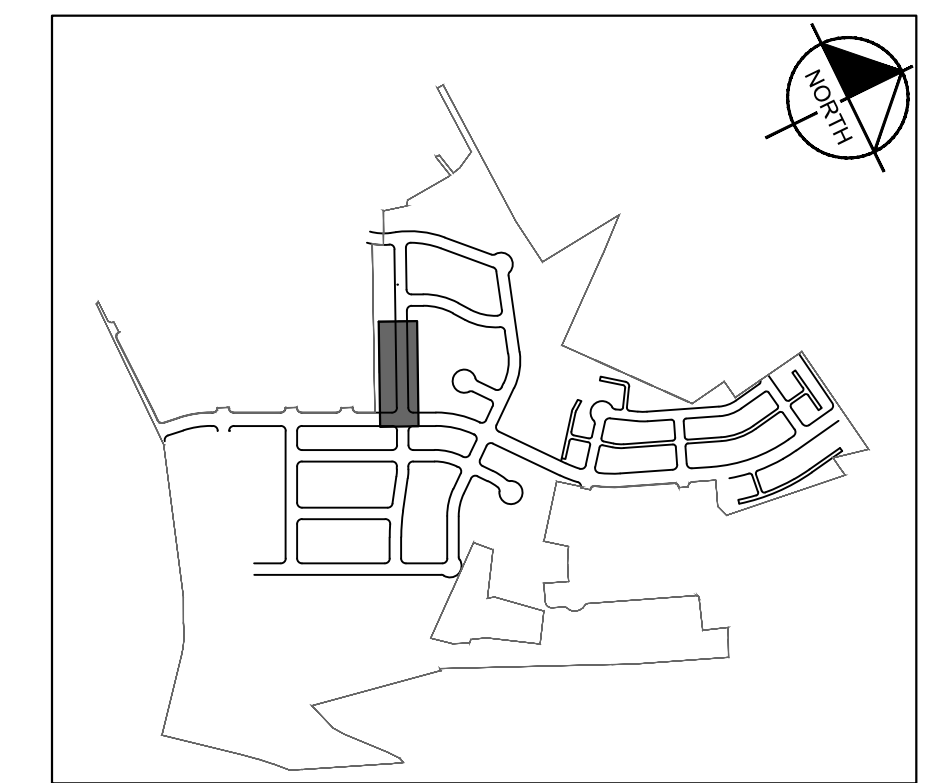
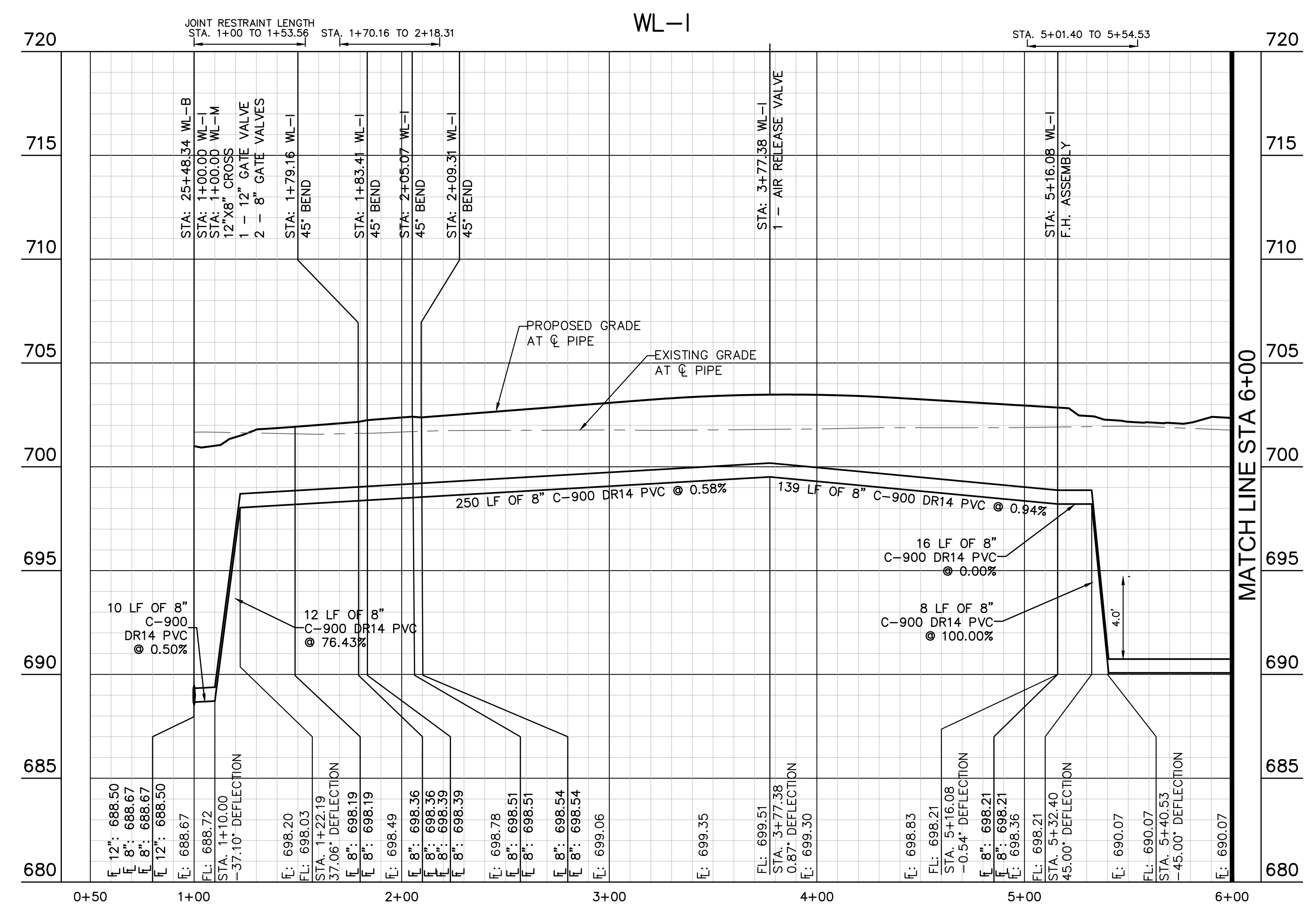
**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER **170**  
OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 09:11:41am File Path: K:\SAU\Civil\067783115\_Meritage Buda Assemblage\Cad\PlanSheets\C-Water\_P&P - WL-1.dwg  
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LEGEND	
— W —	EXISTING WATER LINE
— W —	PROPOSED WATER LINE
— H —	PROPOSED HYDRANT ASSEMBLY
— T —	PROPOSED CROSS / TEE
— V —	PROPOSED VALVE
— D —	DUAL WATER SERVICE
— S —	SINGLE WATER SERVICE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
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 Call before you dig.

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**

BM #102 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV: 718.17 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW ON THREE OVERHEAD ELECTRIC LINES ELEV: 712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE AND COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV: 722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226
FILE NUMBER APPLICATION DATE
APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021
<b>A. KENNEDY</b>
City Engineer, City of Buda
RELEASED FOR GENERAL COMPLIANCE: ZONING: N/A
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.
PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
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07/17/2023  
  
 Alejandro E. Granados-Rico  
 LICENSED PROFESSIONAL ENGINEER  
 State of Texas  
 License No. 13908  
 Alejandro E. Granados-Rico

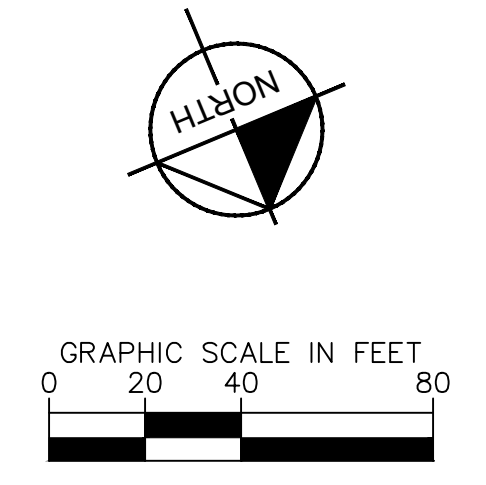
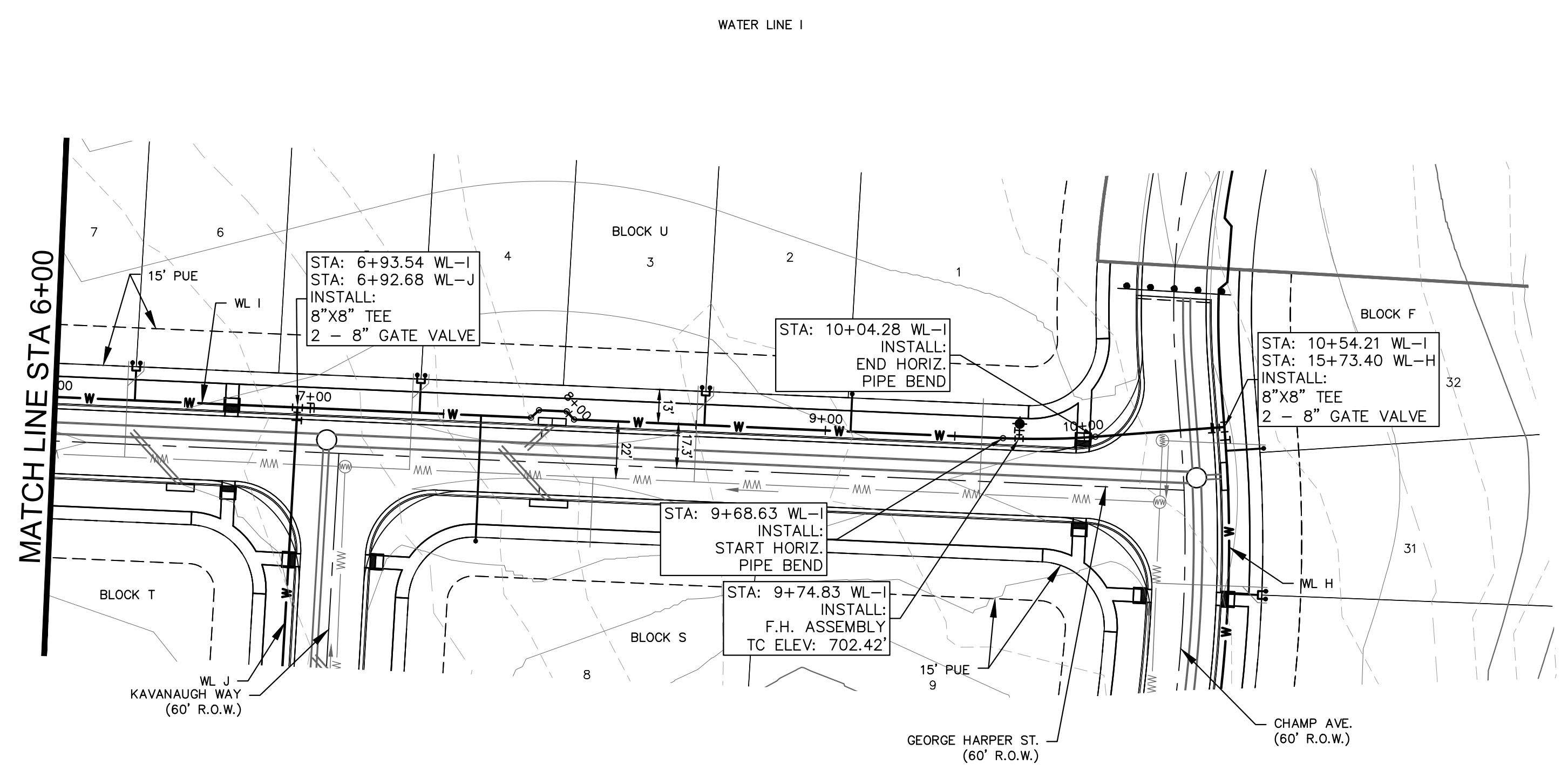
KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,MM,MH,DM  
 CHECKED BY: AEG

**WATER PLAN AND PROFILE - LINE I (1 OF 2)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

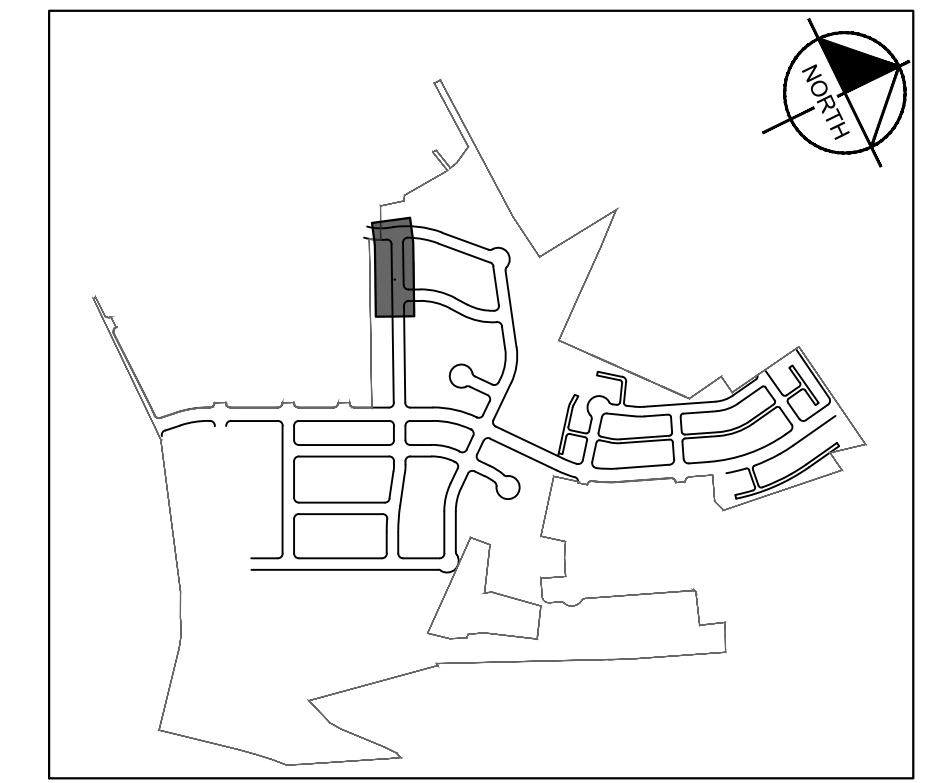
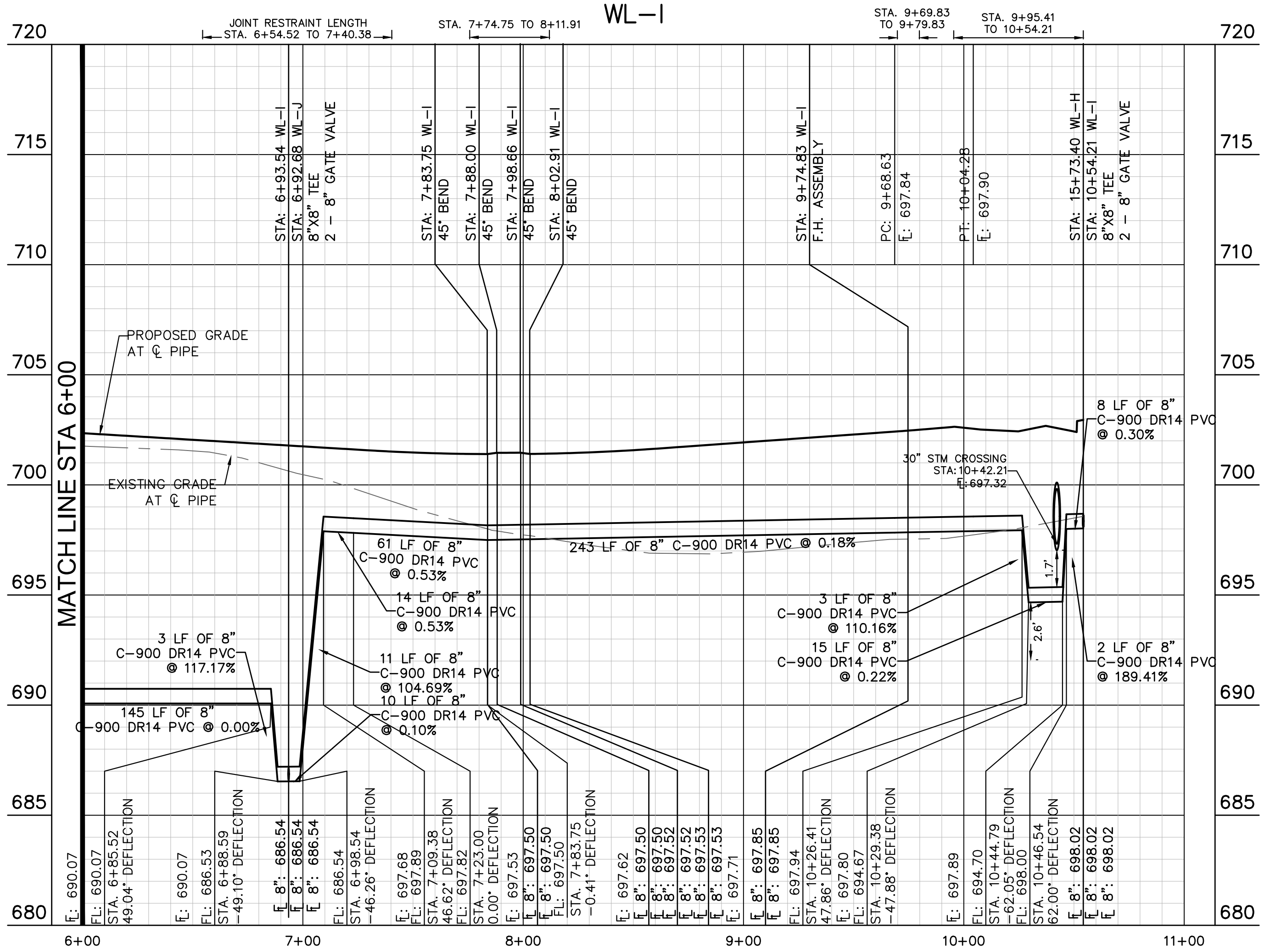
SHEET NUMBER  
**171**  
 OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 08:12:50m File Path: K:\SAU\Civil\067783115 Heritage Buda Assemblage\Coa\PlanSheets\C-Water P&P - WL 1.dwg  
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**LEGEND**

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**BENCHMARKS**

BM #102 - 1/4" NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=708.07 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW ON THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLEBROOK COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**

City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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AUSTIN, TX 78745  
PH: 512.441.6400  
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TBE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
15308  
LICENSED PROFESSIONAL ENGINEER  
No. 15308  
Aljank E. Granados

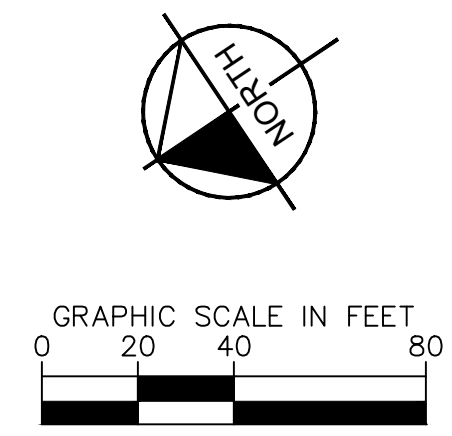
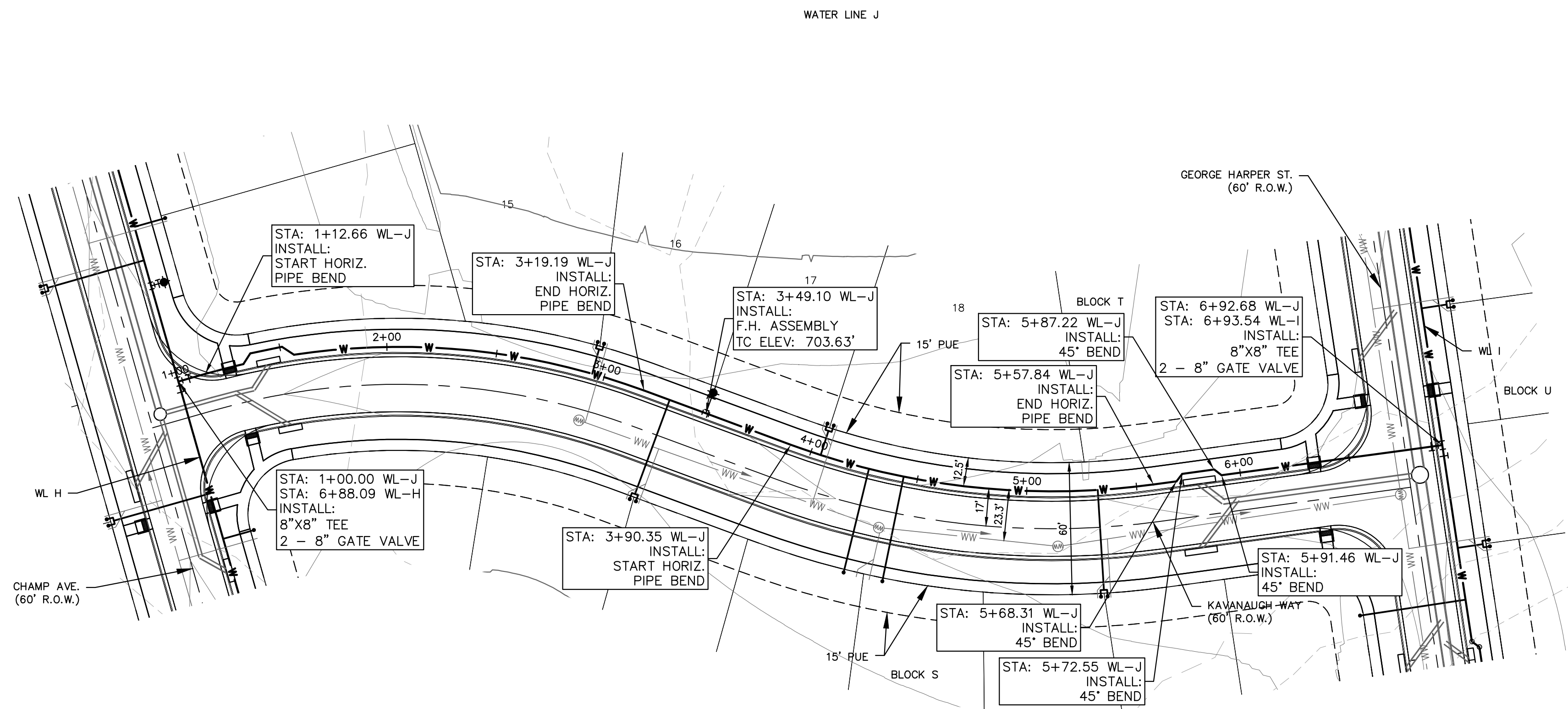
KHA PROJECT 067783115  
DATE JULY 2023  
SCALE AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB, HM, MH, DM  
CHECKED BY: AEC

**WATER PLAN AND PROFILE - LINE I (2 OF 2)**

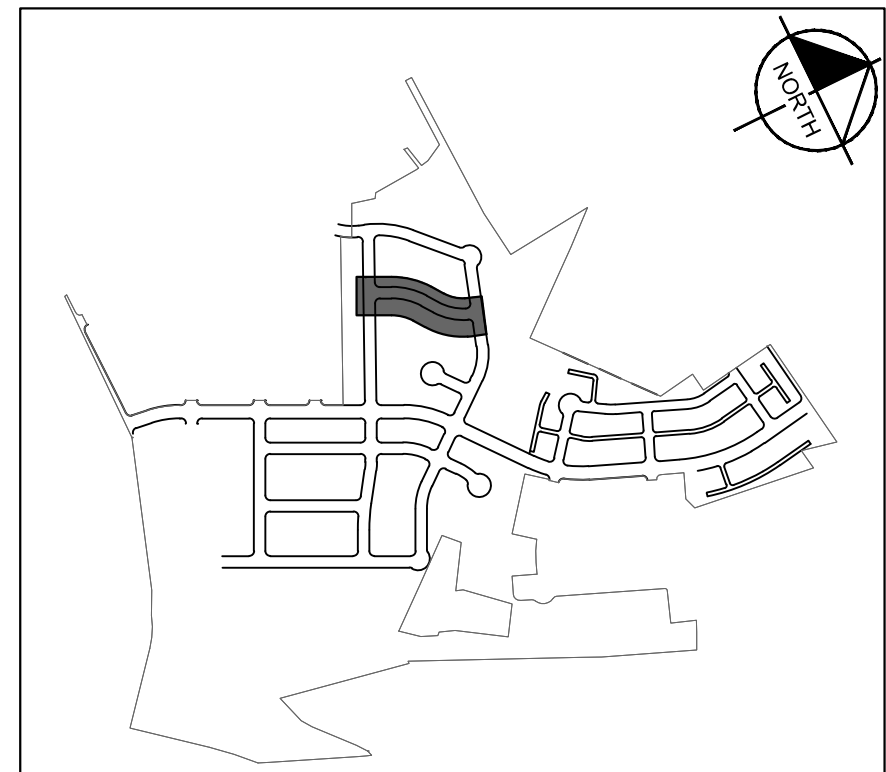
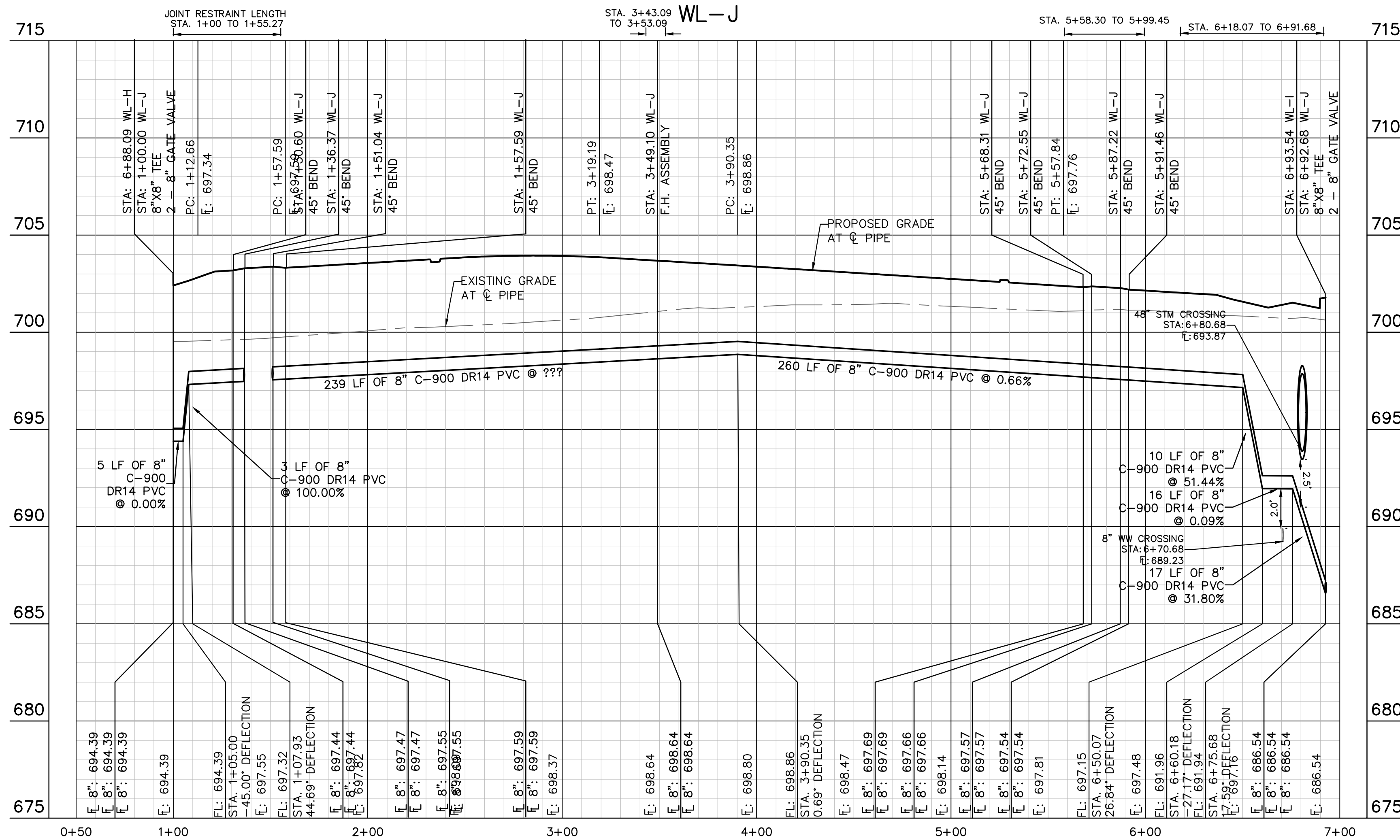
**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER **172**  
OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 10:19:28am File Path: K:\SAU\Civil\067783115\_Meritage Buda Assemblies\Cad\PlanSheets\C-Water\_P&P - WL L.dwg  
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LEGEND	
	EXISTING WATER LINE
	PROPOSED WATER LINE
	PROPOSED HYDRANT ASSEMBLY
	PROPOSED CROSS / TEE
	PROPOSED VALVE
	DUAL WATER SERVICE
	SINGLE WATER SERVICE
	EXISTING FORCE MAIN
	EXISTING WASTEWATER LINE
	EXISTING FORCE MAIN
	EXISTING WASTEWATER LINE
	PROPOSED WASTEWATER MANHOLE
	DUAL WASTEWATER SERVICE
	SINGLE WASTEWATER SERVICE
	PROPOSED STORM SEWER LINE



**KEY MAP**  
SCALE: 1:1000

**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL



**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

BENCHMARKS	
BM #100	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897.794 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=719.47 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226  
 FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A  
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 Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
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 AUSTIN, TX 78745  
 PH: 512.454.5777  
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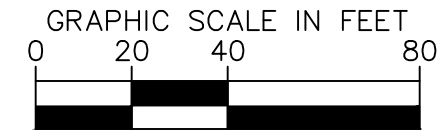
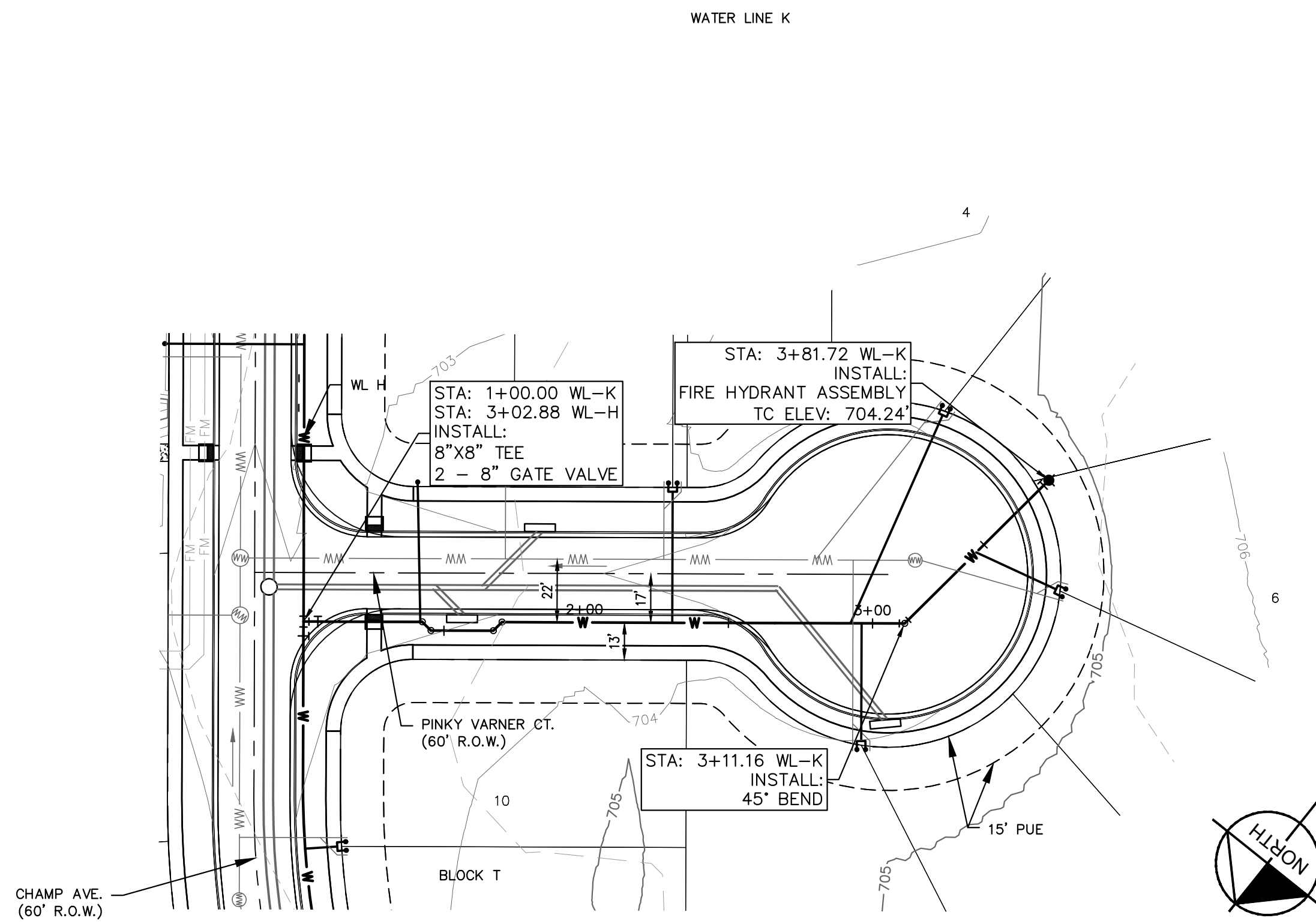
07/17/2023  
  
 Alejandro E. Granados Rico  
 Licensed Professional Engineer  
 State of Texas  
 License No. 13008

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB-DM  
 DRAWN BY: WB-HM, MH-DM  
 CHECKED BY: AEG

**WATER PLAN AND PROFILE - LINE J**

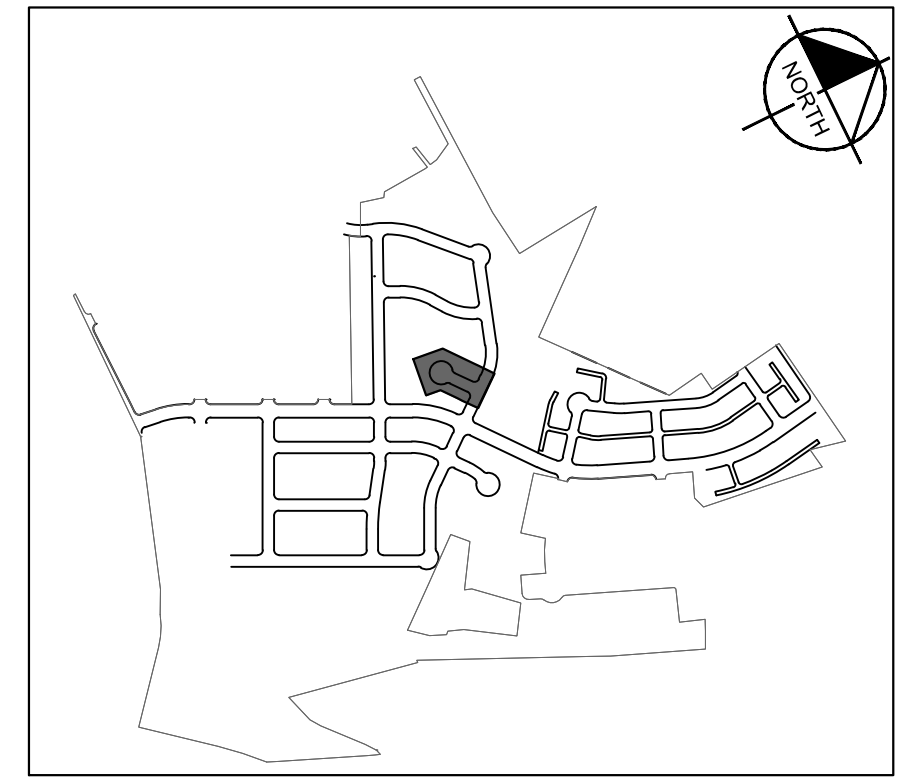
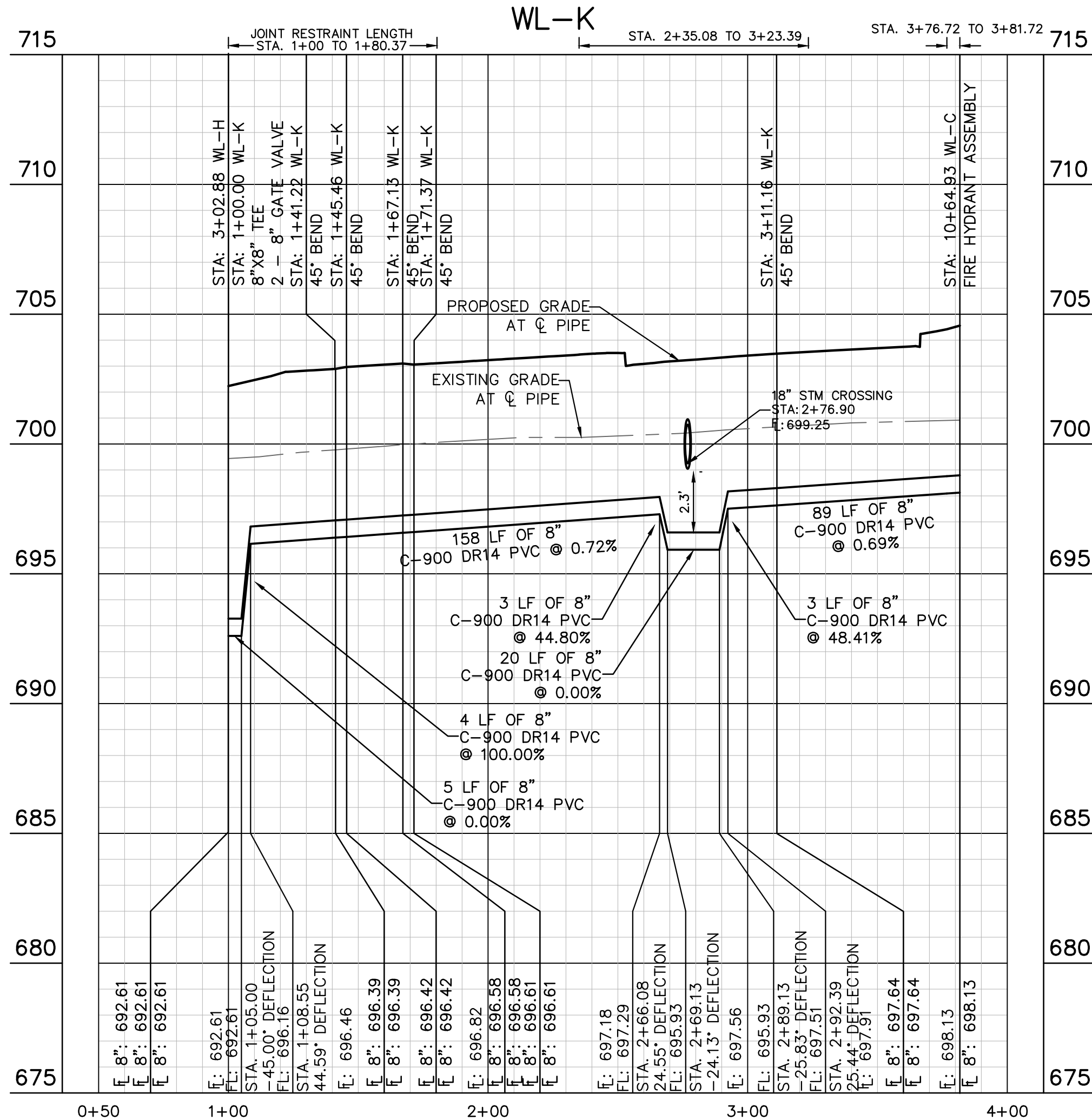
**THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS**

Plotted by: Flynn, Alyssa Date: July 17, 2023 10:22:03am File Path: K:\3AL\_Civil\067783115 Heritage Buda Assembly\Buda PlanSheets\C-PlanSheets\C-Water F&P - WL K, L.dwg  
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**LEGEND**

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— W —	PROPOSED WATER LINE
— W —	PROPOSED HYDRANT ASSEMBLY
□	PROPOSED CROSS / TEE
— T —	PROPOSED VALVE
— W —	DUAL WATER SERVICE
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— FM —	EXISTING FORCE MAIN
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— WW —	EXISTING WASTEWATER LINE
— W —	PROPOSED WASTEWATER MANHOLE
— W —	DUAL WASTEWATER SERVICE
— W —	SINGLE WASTEWATER SERVICE
— W —	PROPOSED STORM SEWER LINE



**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD  
 ELEV: 712.04 (NAVD '88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES  
 ELEV: 712.04 (NAVD '88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE  
 ELEV: 712.56 (NAVD '88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET 067783115 OF 226

FILE NUMBER: 067783115 APPLICATION DATE: JULY 2023

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: ZONING N/A

Rev. 1: Correction 1  
 Rev. 2: Correction 2  
 Rev. 3: Correction 3

*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.*

PERMIT NUMBER: 2021-737

**Kimley-Horn**

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 AUSTIN, TX 78745  
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 TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**

ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 53098

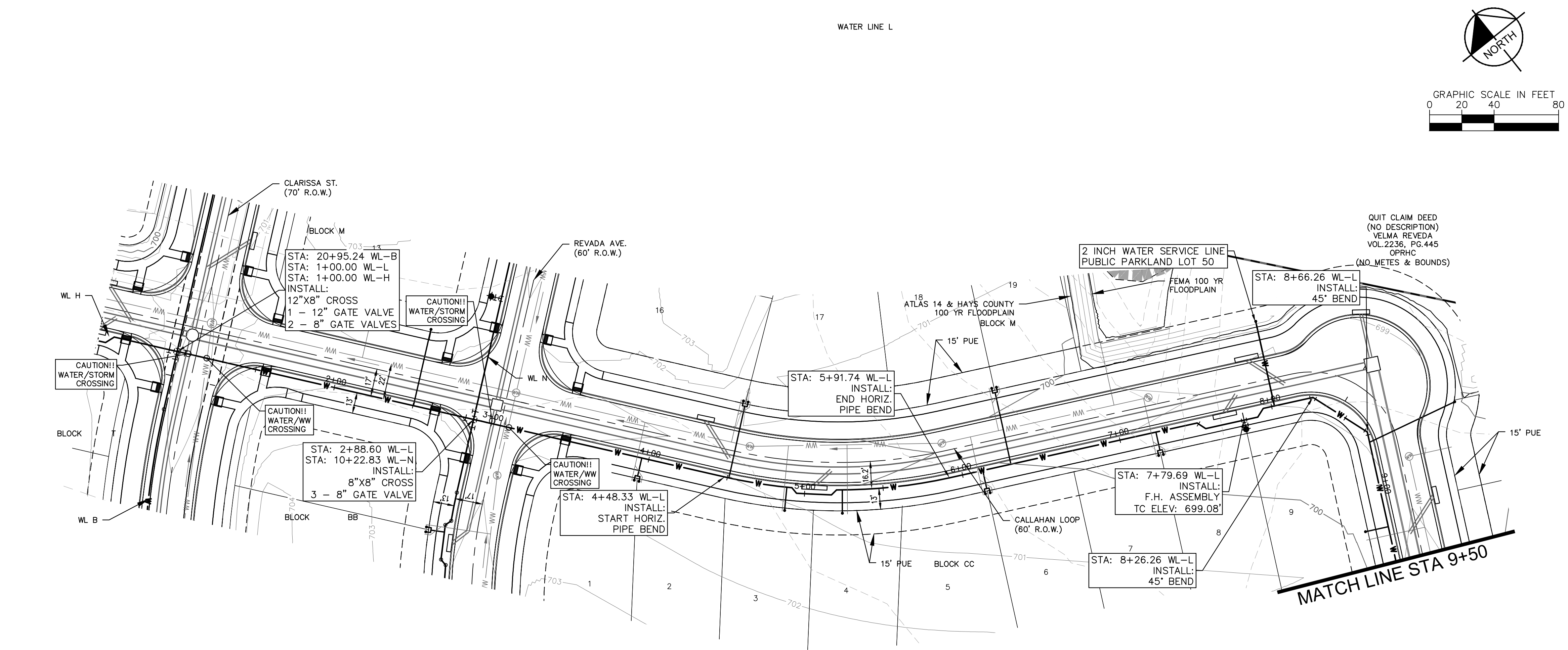
*Aljank E. Granados Rico*

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB, HM, MH, DM  
 CHECKED BY: AEC

WATER PLAN AND PROFILE - LINE K

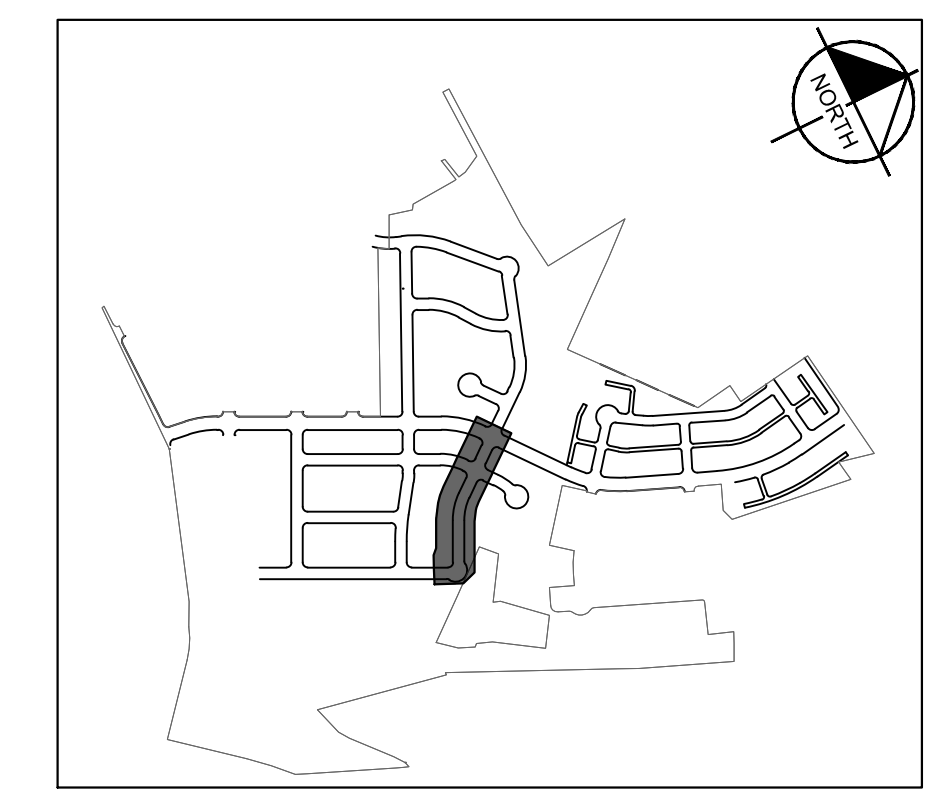
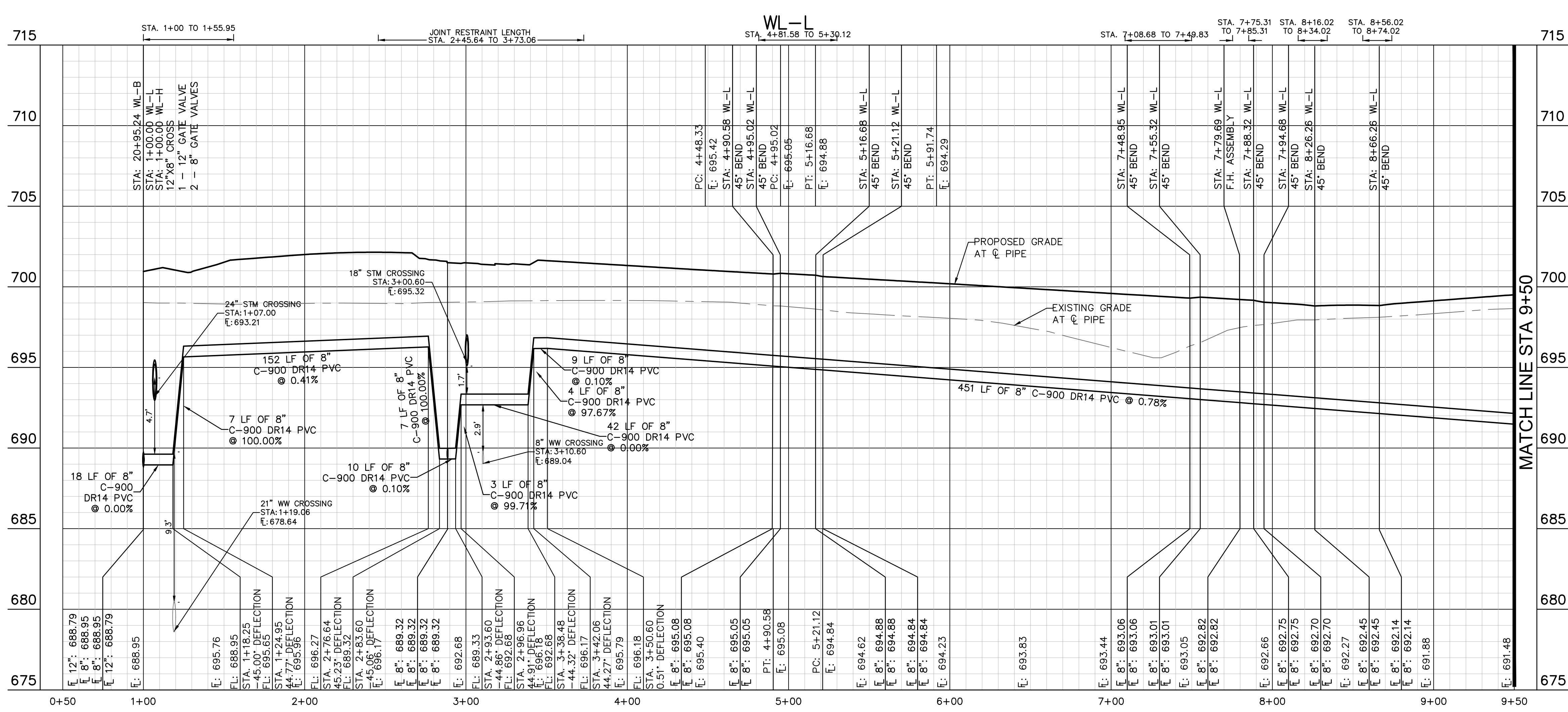
THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

Plotted by: Flynn, Alyssa Date: July 17, 2023 10:22:35am File Path: K:\SAL\Civil\067783115 Heritage Buda Assembly\Cad\PlanSheets\Cad\Water P&P - WL K, L.dwg  
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**LEGEND**

— W —	EXISTING WATER LINE
— W —	PROPOSED WATER LINE
— H —	PROPOSED HYDRANT ASSEMBLY
— C —	PROPOSED CROSS / TEE
— V —	PROPOSED VALVE
— T —	DUAL WATER SERVICE
— S —	SINGLE WATER SERVICE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— M —	PROPOSED WASTEWATER MANHOLE
— S —	DUAL WASTEWATER SERVICE
— S —	SINGLE WASTEWATER SERVICE
— S —	PROPOSED STORM SEWER LINE



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**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BENCHMARKS

- BM #100 PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 77.4 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV: 695.87 (NAVD 88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV: 712.04 (NAVD 88)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-7-27 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

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07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13030  
 ALJANK E. RHO LIN

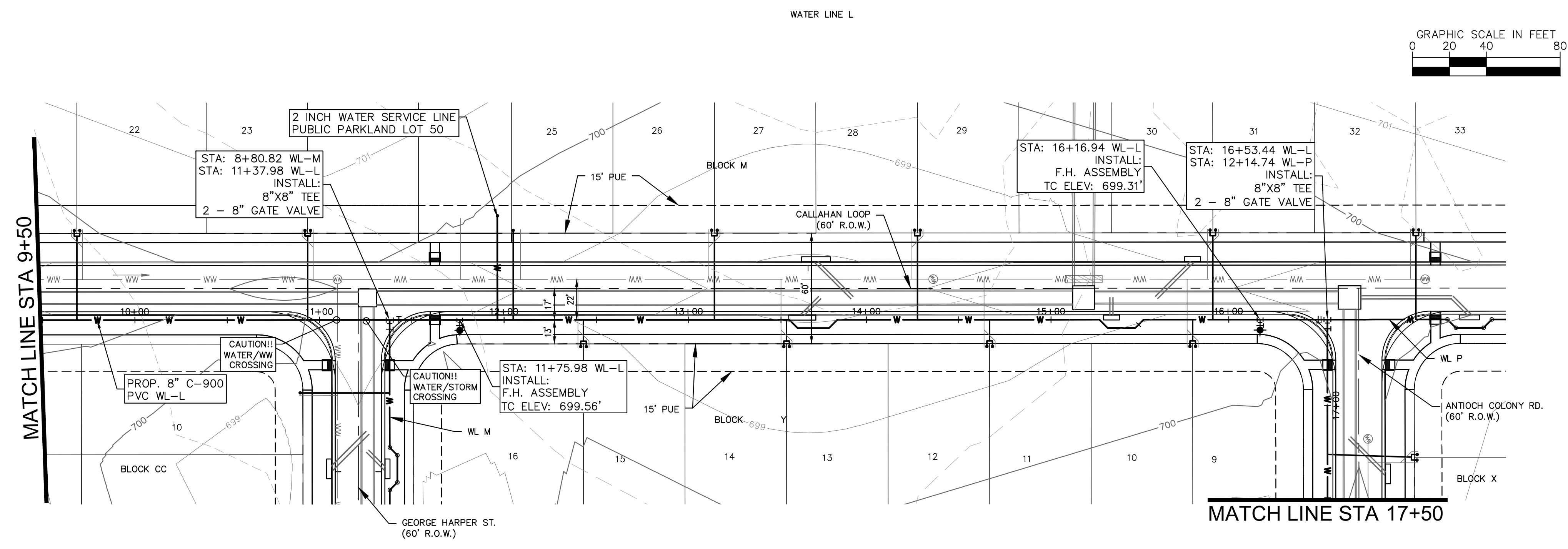
KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,MM,MH,DM  
 CHECKED BY: AEC

**WATER PLAN AND PROFILE - LINE L (1 OF 3)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

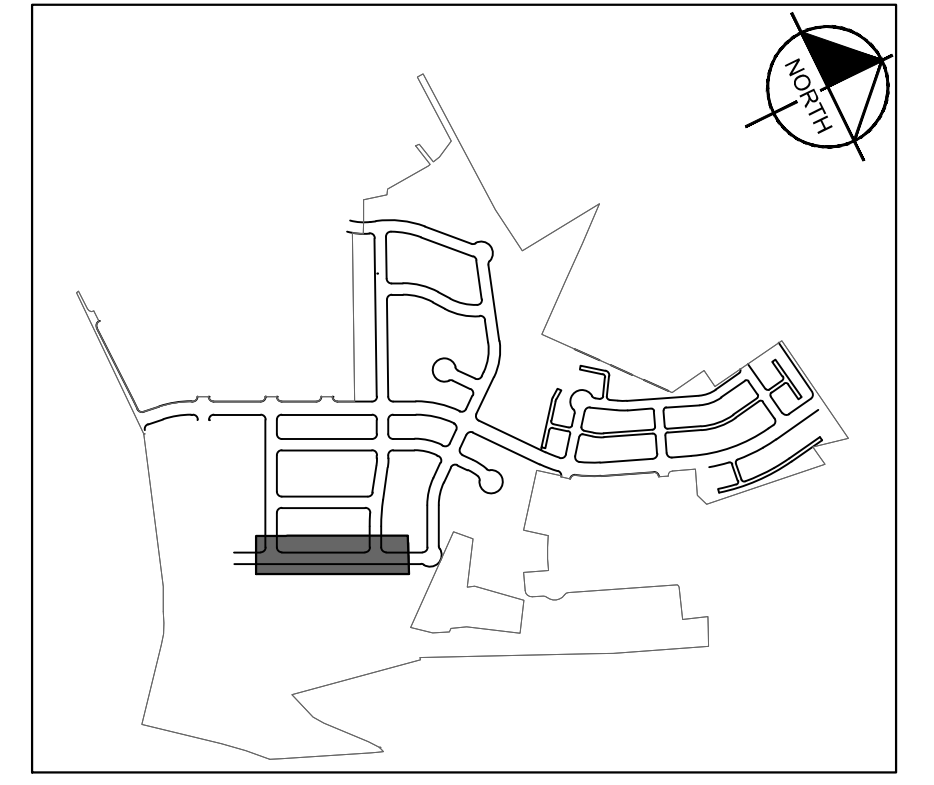
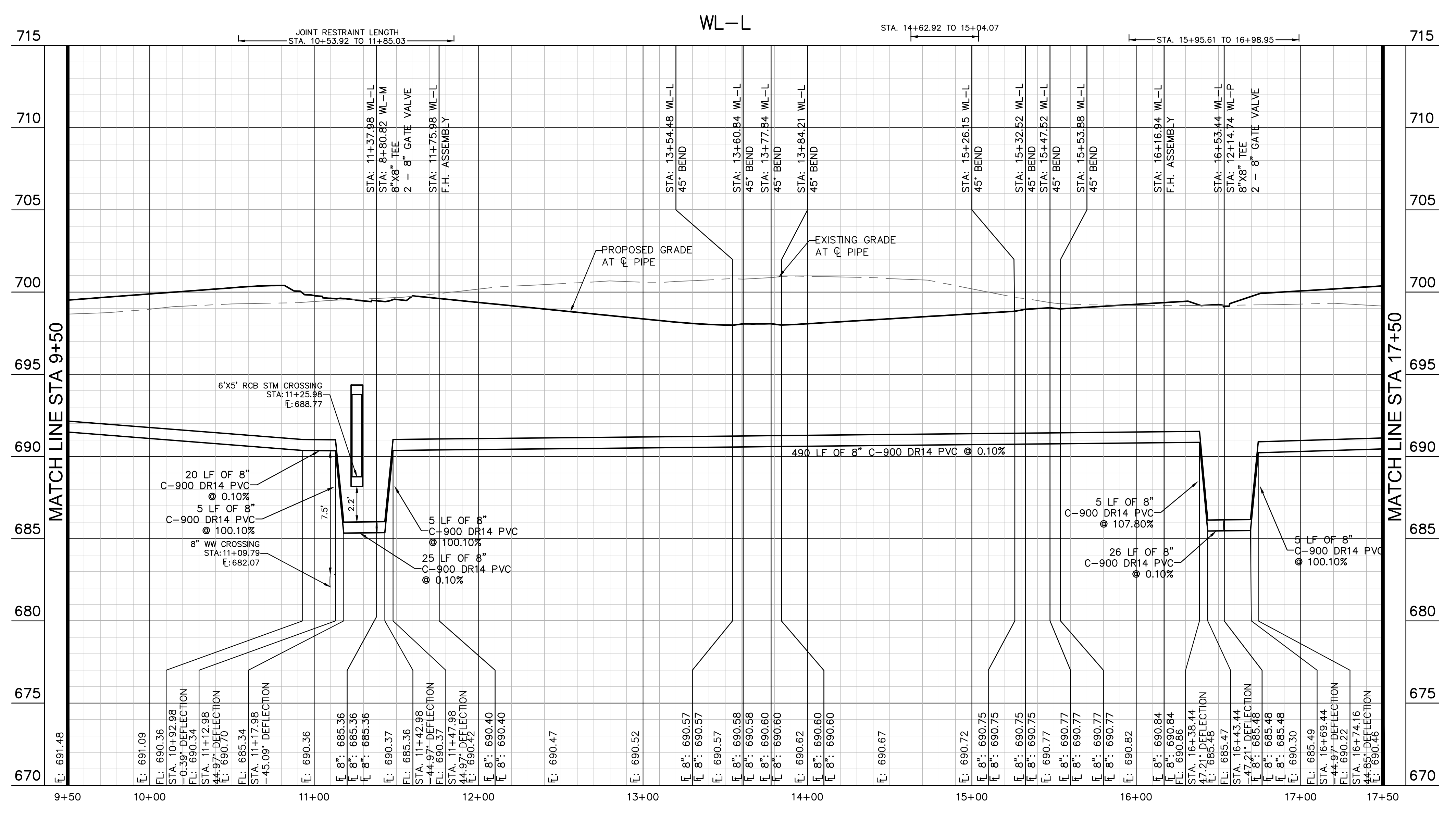
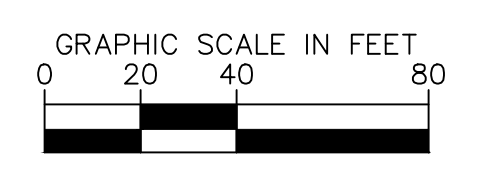
SHEET NUMBER  
**175**  
 OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 10:23:05am File Path: K:\SAL\Civil\067783115 Heritage Budd Assembly\Budd Assembly\Cad\PlanSheets\C-Water P&P - WL K, L.dwg  
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**LEGEND**

- W EXISTING WATER LINE
- W PROPOSED WATER LINE
- 3-4 PROPOSED HYDRANT ASSEMBLY
- PROPOSED CROSS / TEE
- PROPOSED VALVE
- DUAL WATER SERVICE
- SINGLE WATER SERVICE
- FM EXISTING FORCE MAIN
- WW EXISTING WASTEWATER LINE
- FM EXISTING FORCE MAIN
- WW EXISTING WASTEWATER LINE
- PROPOSED WASTEWATER MANHOLE
- DUAL WASTEWATER SERVICE
- SINGLE WASTEWATER SERVICE
- - - PROPOSED STORM SEWER LINE



**KEY MAP**  
SCALE: 1:1000

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Call before you dig.

**WARNING:** CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

- BM #100 - PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 2770 N. SIDE OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV: 685.87 (NAVD 88)
- BM #104 - PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRICAL LINES. ELEV: 712.04 (NAVD 88)
- BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET <b>226</b> OF <b>226</b>
FILE NUMBER APPLICATION DATE
APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021
<b>A. KENNEDY</b>
City Engineer, City of Buda
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: N/A
Rev. 1: _____ Correction 1
Rev. 2: _____ Correction 2
Rev. 3: _____ Correction 3
<small>Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.</small>
PERMIT NUMBER: 2021-737

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**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 13008  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13008  
 A. E. Granados-Rico

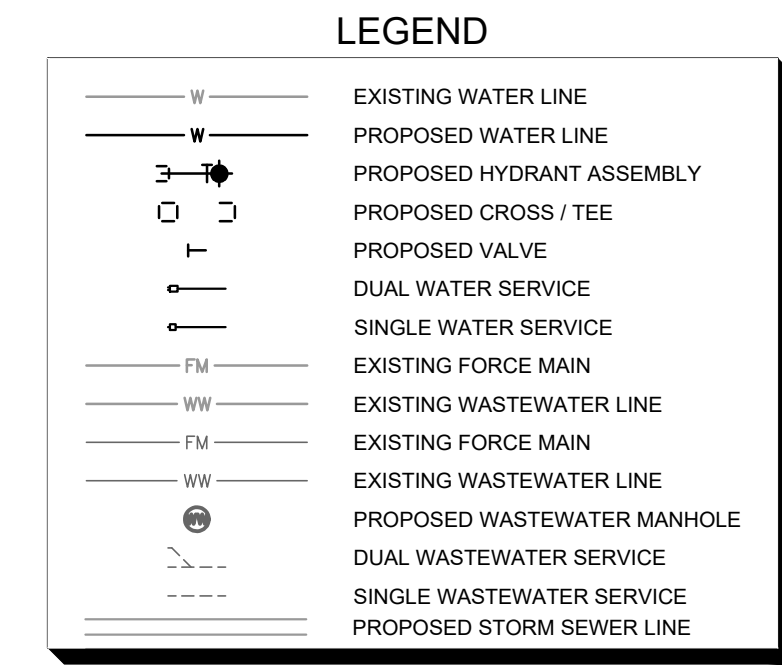
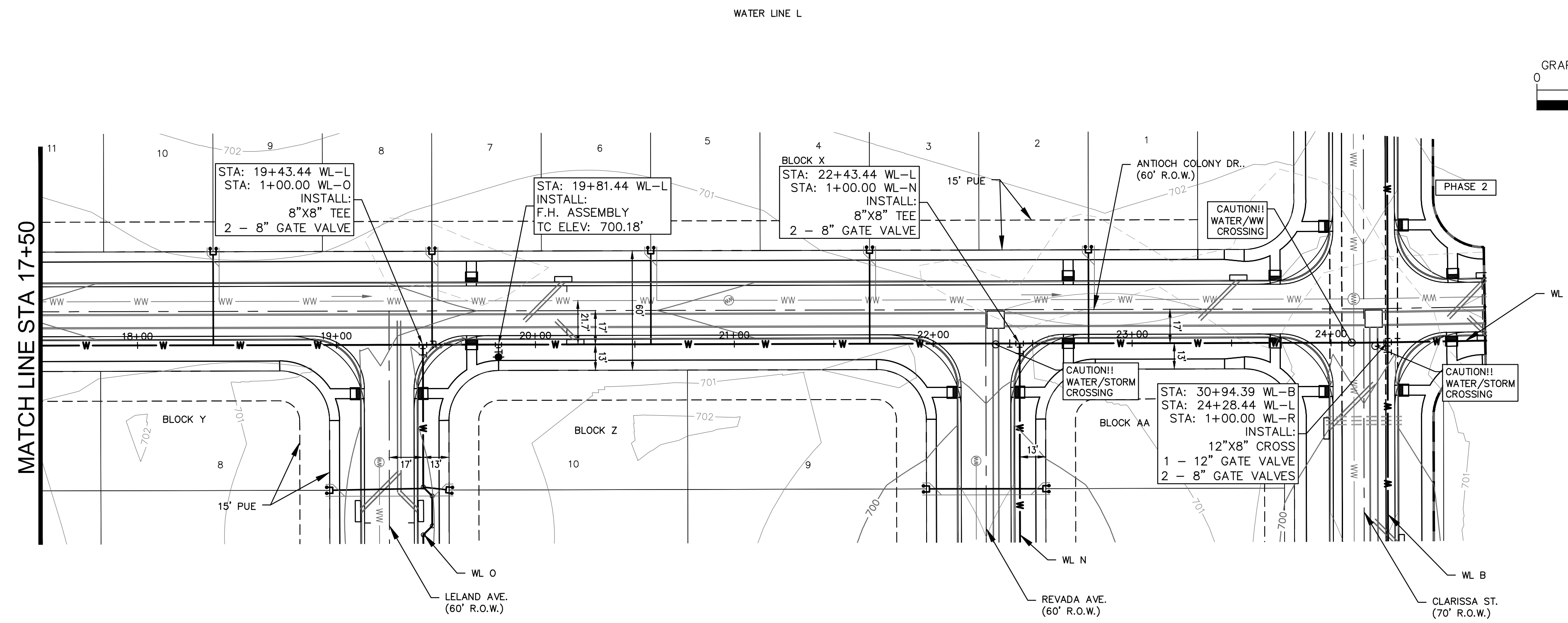
KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB-DM  
 DRAWN BY: WB-HM, MH-DM  
 CHECKED BY: AEC

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

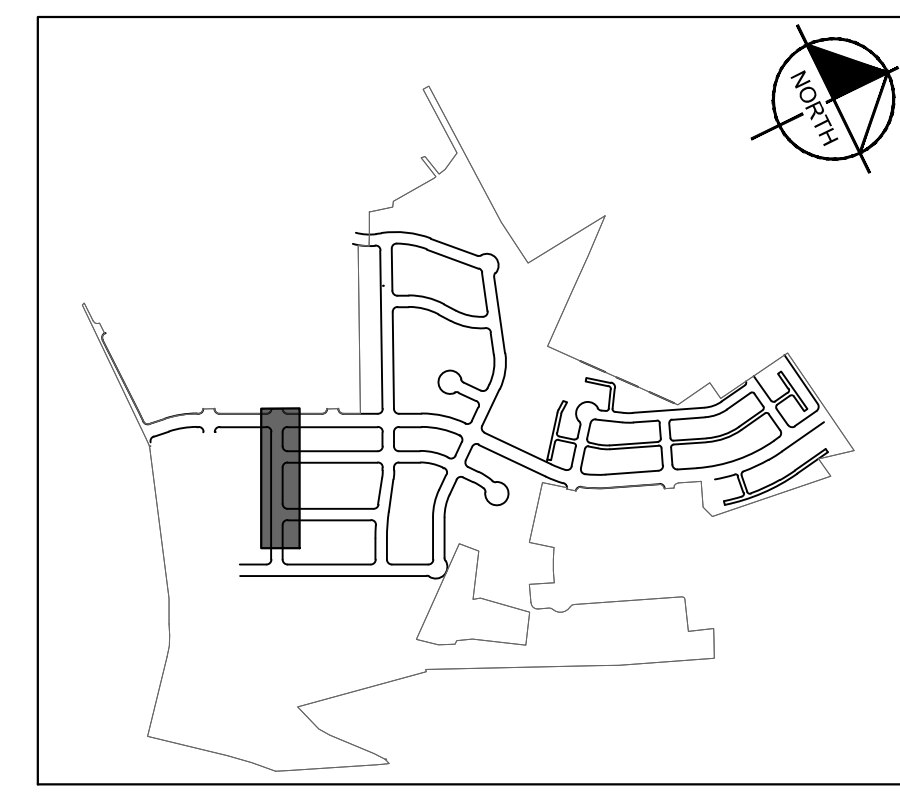
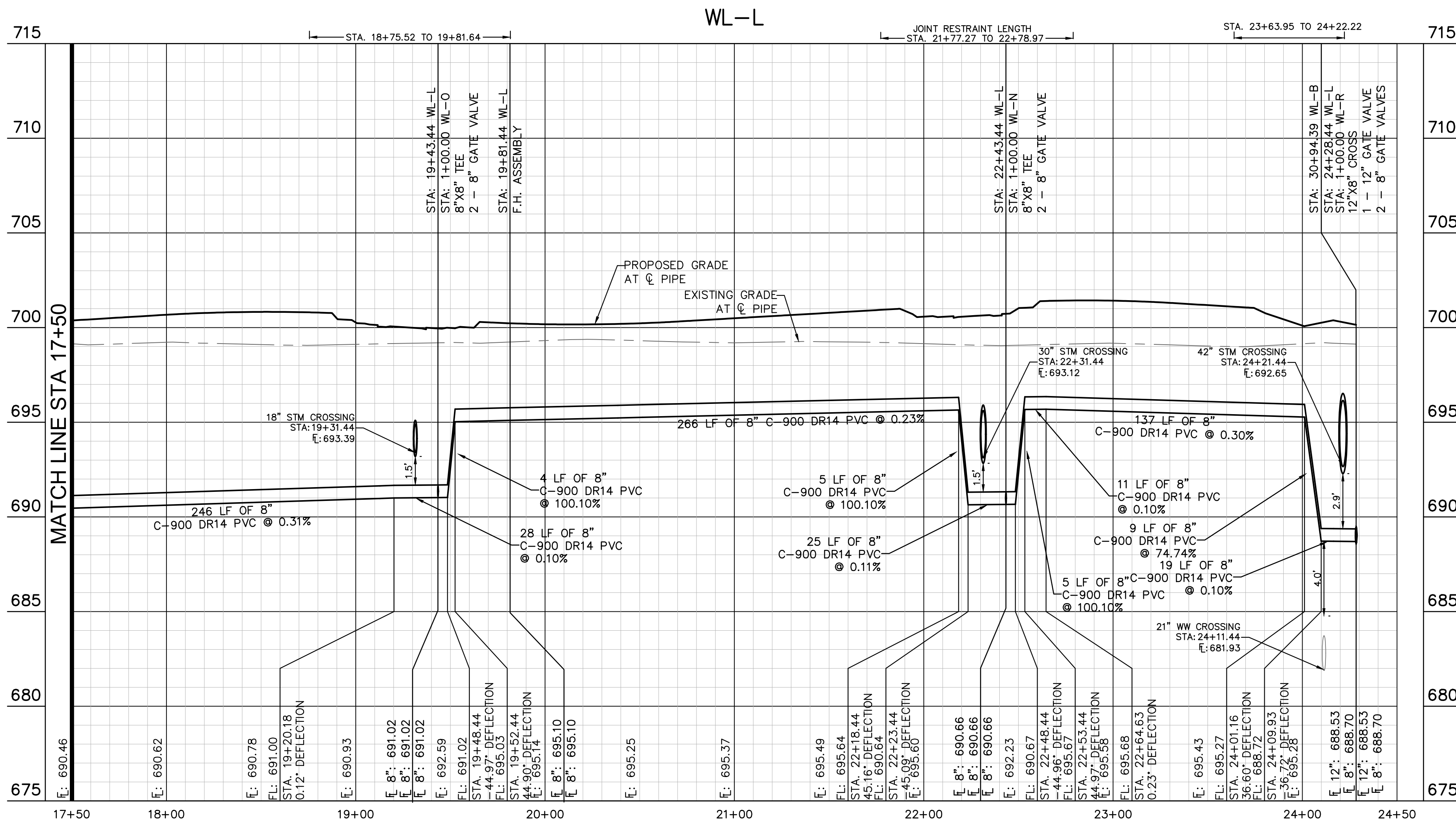
**WATER PLAN AND PROFILE - LINE L (2 OF 3)**

SHEET NUMBER  
**176**  
 OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 10:23:41am File Path: K:\SAU\Civil\067783115 Meritage Buda Assemblies\Cad\PlanSheets\C-Water P&P - WL K\_L.dwg  
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No.	REVISIONS	DATE	BY



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**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 879 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV: 706.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW ON THREE OVERHEAD ELECTRIC LINES ELEV: 712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLIBAC COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV: 722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A  
 Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

## WATER PLAN AND PROFILE - LINE L (3 OF 3)

## THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS

**Kimley-Horn**

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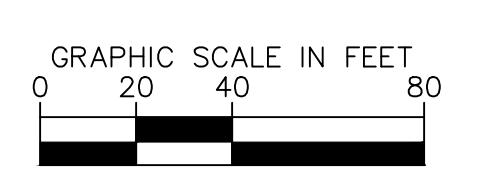
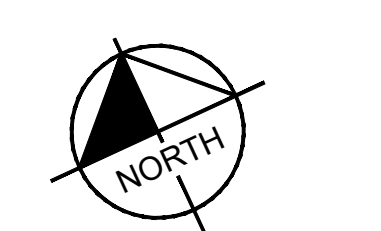
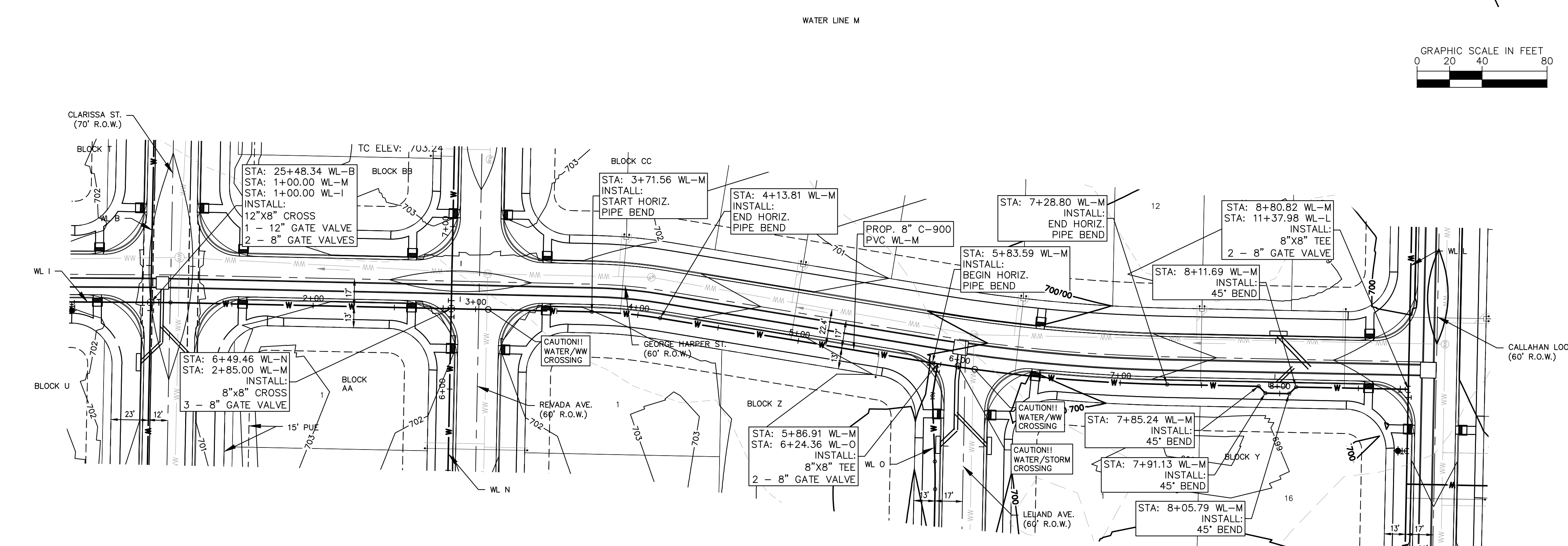
07/17/2023

Alejandro E. Granados-Rico  
 Licensed Professional Engineer  
 State of Texas License No. 130308

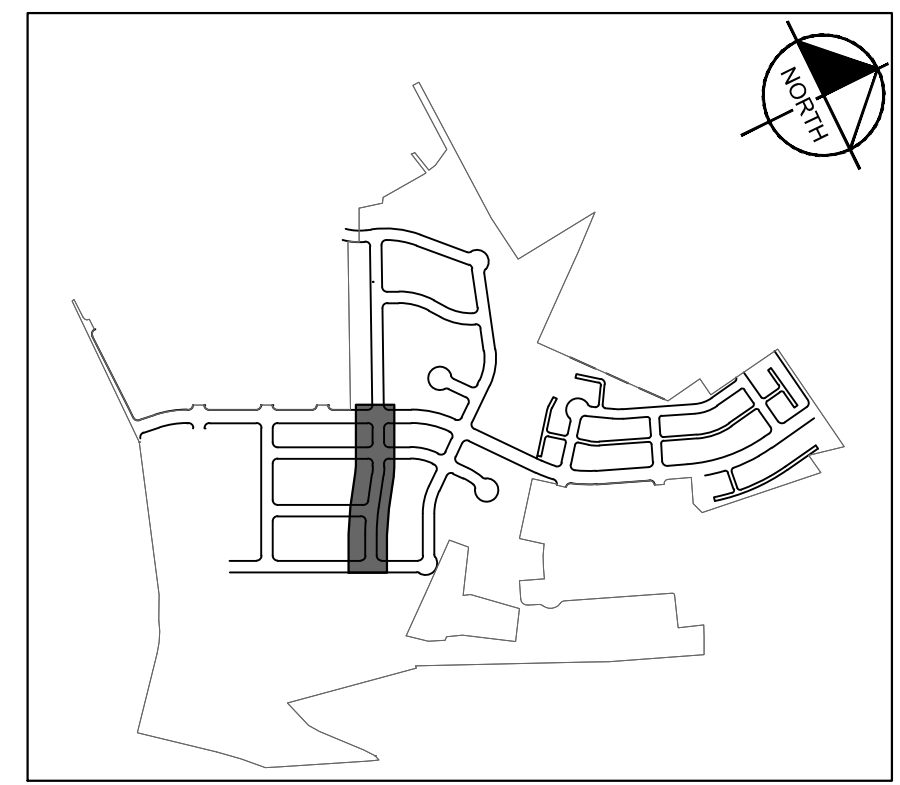
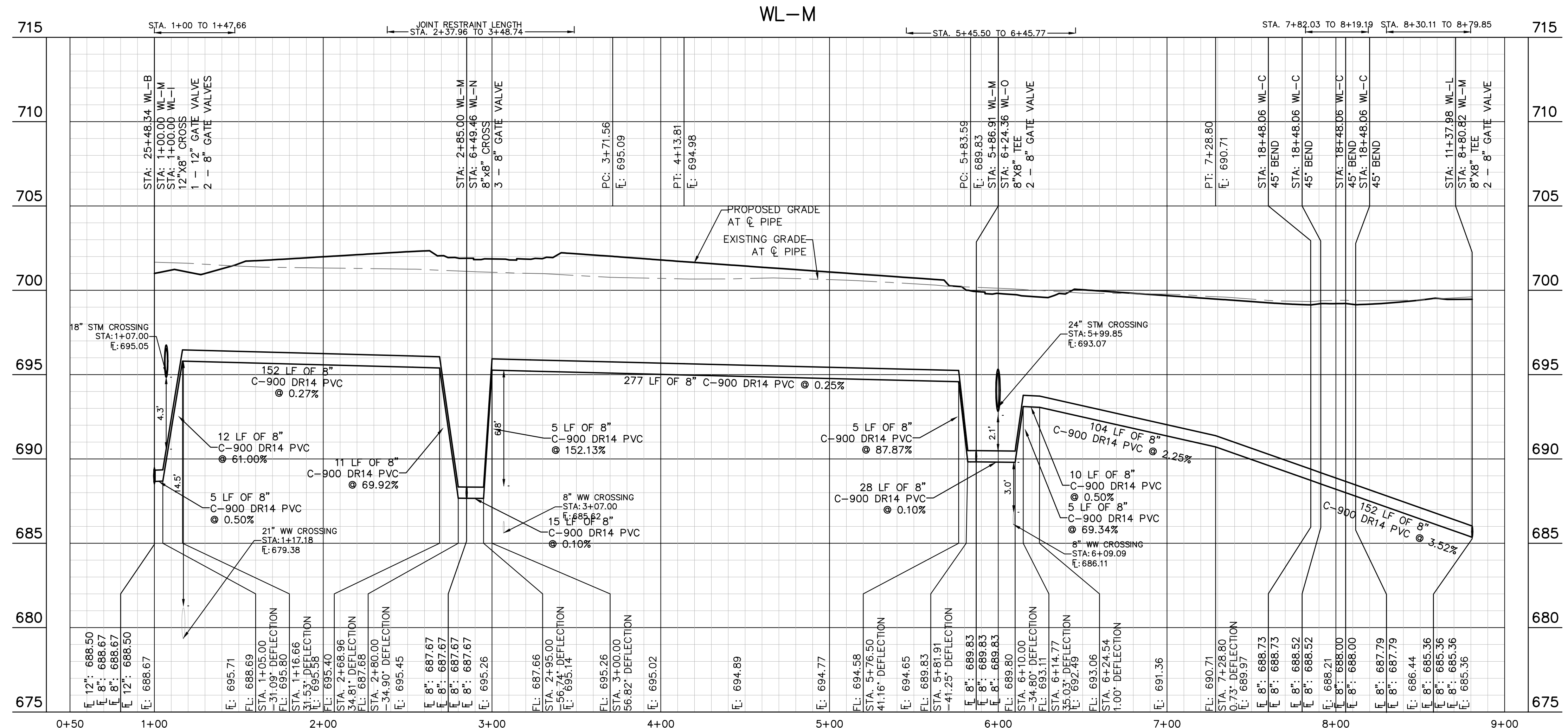
KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB-DM  
 DRAWN BY: WB-HM, MH-LDM  
 CHECKED BY: AEC



Plotted by: Flynn, Alyssa Date: July 17, 2023 10:26:28am File Path: K:\SAL\Civil\067783115 Heritage Buda Assemblage\Cad\PlanSheets\C-Water P&P - WL M, N.dwg  
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LEGEND	
— W —	EXISTING WATER LINE
— W —	PROPOSED WATER LINE
— H —	PROPOSED HYDRANT ASSEMBLY
— C —	PROPOSED CROSS / TEE
— V —	PROPOSED VALVE
— S —	DUAL WATER SERVICE
— S —	SINGLE WATER SERVICE
— FM —	EXISTING FORCE MAIN
— FM —	EXISTING WASTEWATER LINE
— FM —	EXISTING FORCE MAIN
— FM —	EXISTING WASTEWATER LINE
— M —	PROPOSED WASTEWATER MANHOLE
— S —	DUAL WASTEWATER SERVICE
— S —	SINGLE WASTEWATER SERVICE
— S —	PROPOSED STORM SEWER LINE



**KEY MAP**  
SCALE: 1:1000

**811**  
Know what's below. Call before you dig.

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

**BENCHMARKS**

BM #100 - PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 2770 N FRONT OF AN ELECTRIC SUB STATION BELOW ON THREE (3) OVERHEAD ELECTRIC LINES. ELEV = 712.04 (NAVD 88)

BM #104 - PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 N FRONT OF AN ELECTRIC SUB STATION BELOW ON THREE (3) OVERHEAD ELECTRIC LINES. ELEV = 712.04 (NAVD 88)

BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEAS COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 712.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226	
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON: N/A	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737	CASE MANAGER: 08/16/2021
A. KENNEDY	
City Engineer, City of Buda	
Rev. 1	Correction 1 ZONING N/A
Rev. 2	Correction 2
Rev. 3	Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.	
PERMIT NUMBER: 2021-737	

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
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 AUSTIN, TX 78745  
 PH: 512.464.6437  
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 TBE Firm

07/17/2023

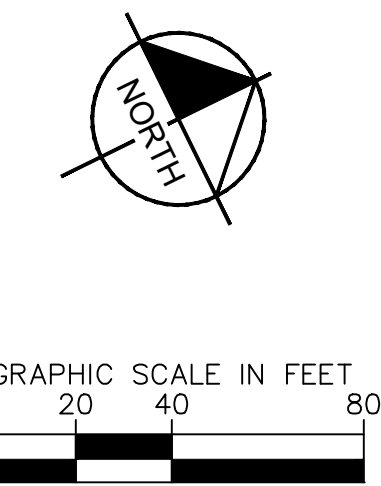
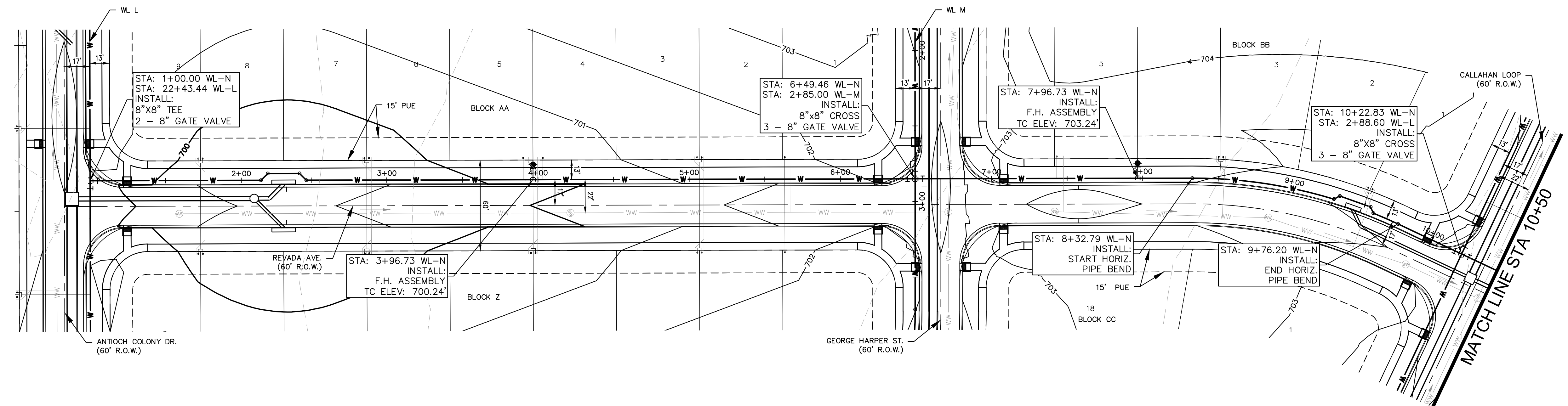
**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 15080  
 ALJAN E. RICO

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HH,MH,DM  
 CHECKED BY: AEC

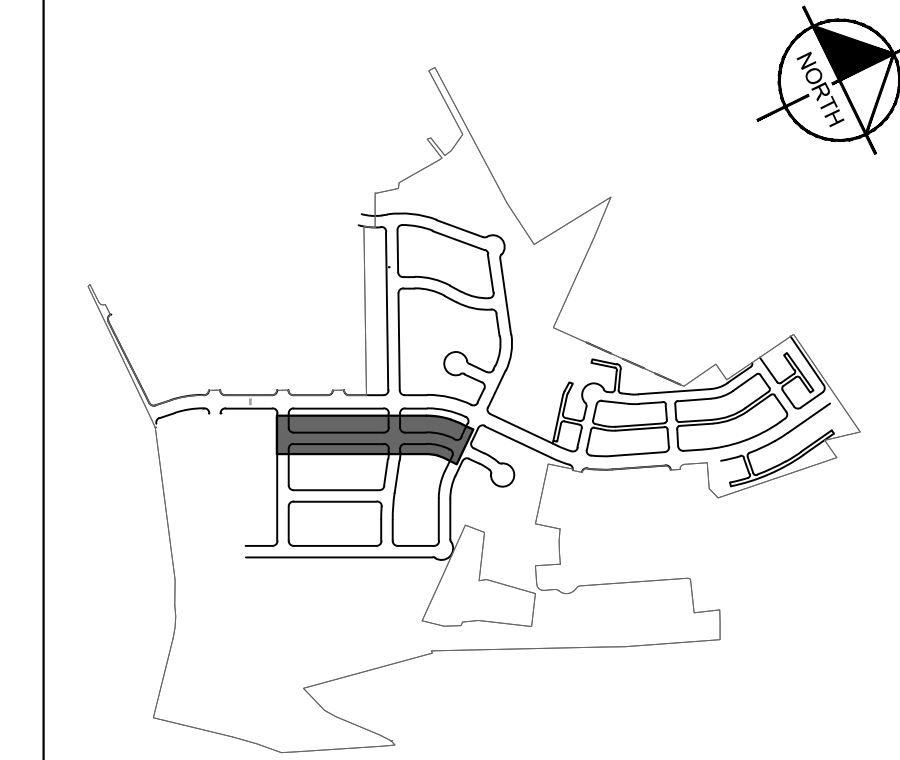
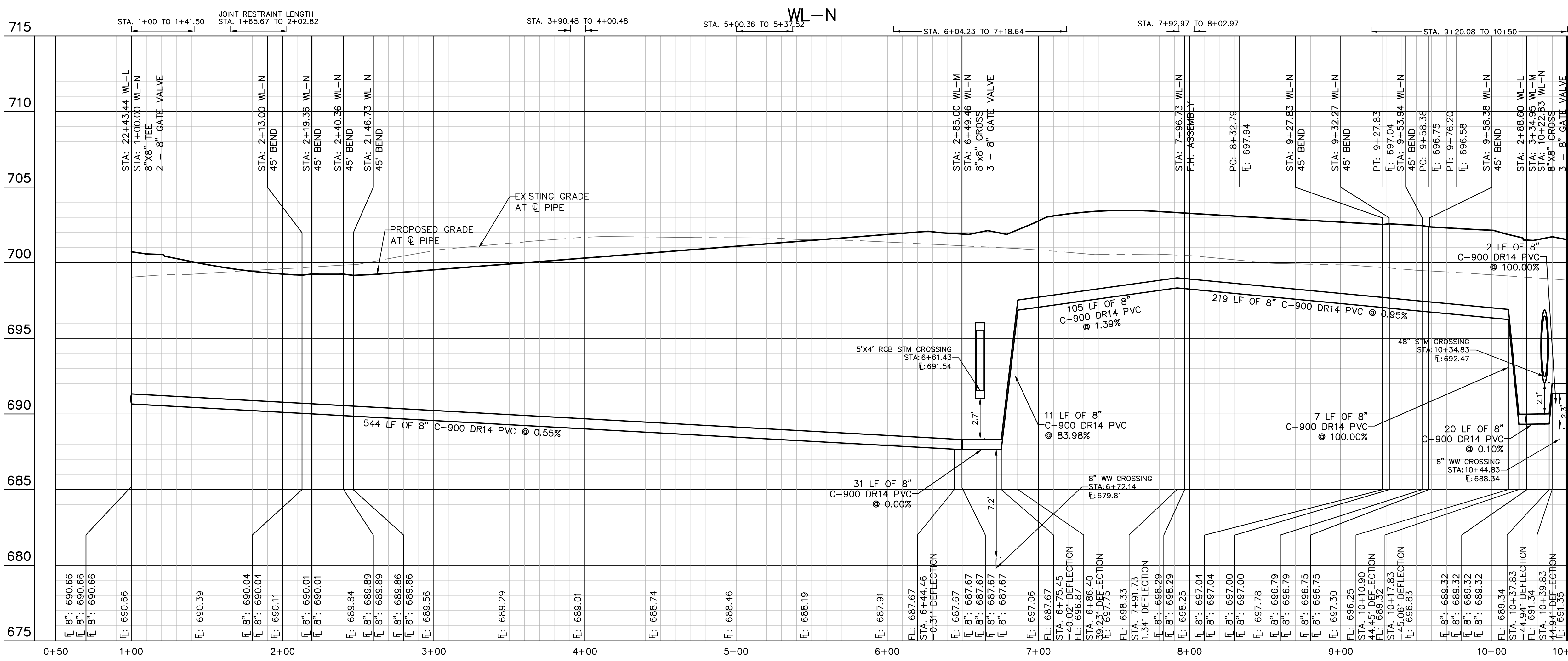
**WATER PLAN AND PROFILE - LINE M**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

Plotted by: Flynn, Alyssa Date: July 17, 2023 10:27:00am File Path: K:\SAL\Civil\067783115 Heritage Buda Assemblies\Cad\PlanSheets\C-Water P&P - WL M, N.dwg  
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LEGEND	
	EXISTING WATER LINE
	PROPOSED WATER LINE
	PROPOSED HYDRANT ASSEMBLY
	PROPOSED CROSS / TEE
	PROPOSED VALVE
	DUAL WATER SERVICE
	SINGLE WATER SERVICE
	EXISTING FORCE MAIN
	PROPOSED FORCE MAIN
	EXISTING WASTEWATER LINE
	PROPOSED WASTEWATER LINE
	DUAL WASTEWATER SERVICE
	SINGLE WASTEWATER SERVICE
	PROPOSED STORM SEWER LINE



**811**  
 Know what's below.  
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WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

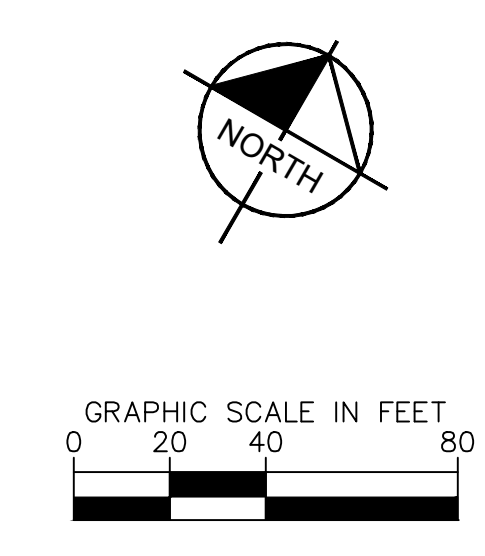
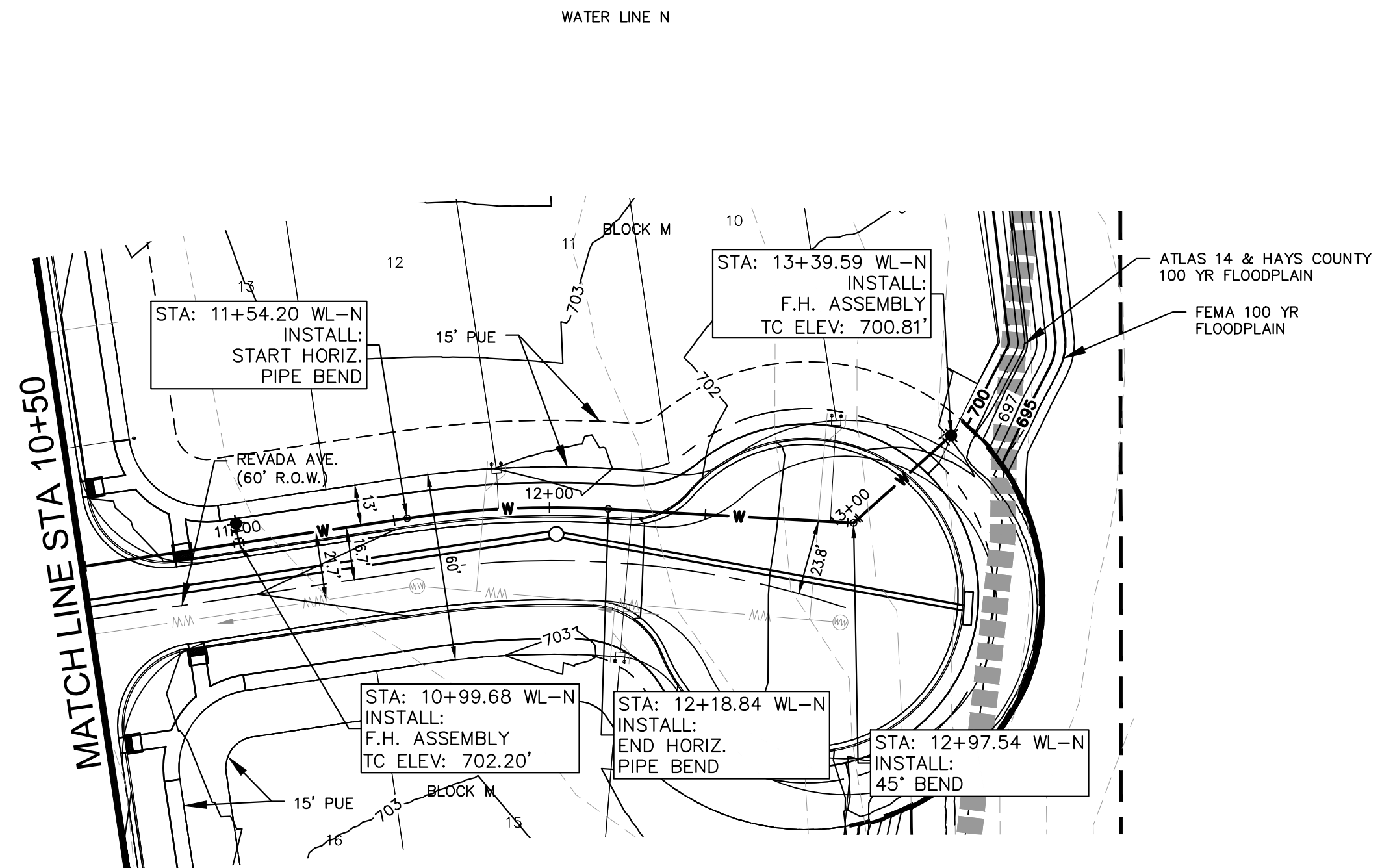
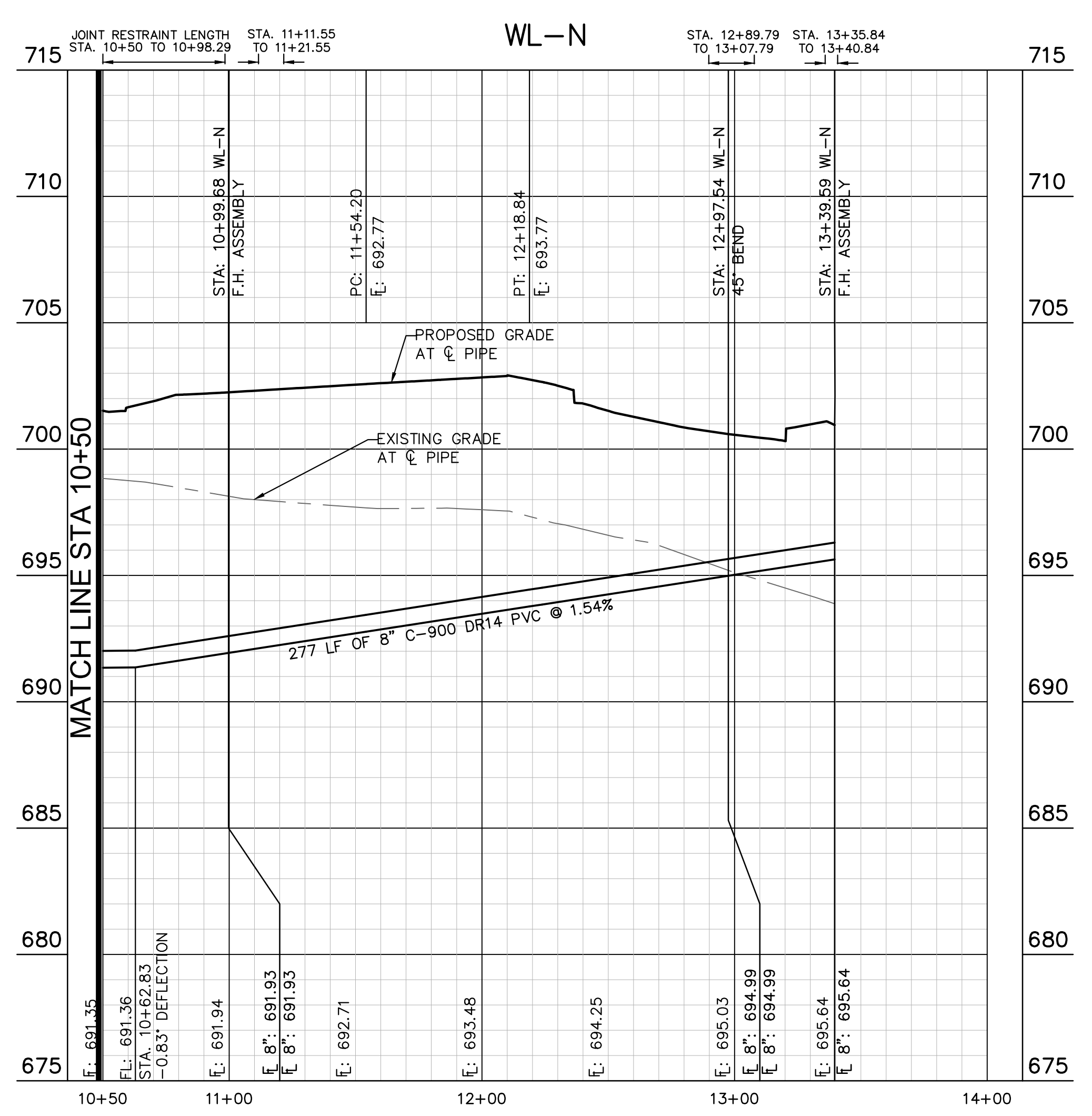
**BENCHMARKS**

- BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897.794 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=702.50 (NAVD 83)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 83)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLIBIA COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.50 (NAVD 83)

CONSTRUCTION PLAN APPROVAL SHEET <b>067783115</b> OF <b>226</b>
FILE NUMBER APPLICATION DATE
APPROVED BY COMMISSION ON <b>N/A</b> UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021
<b>A. KENNEDY</b>
City Engineer for General Compliance, City of Buda
Released for Record Compliance, ZONING <b>N/A</b>
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.
PERMIT NUMBER: 2021-737

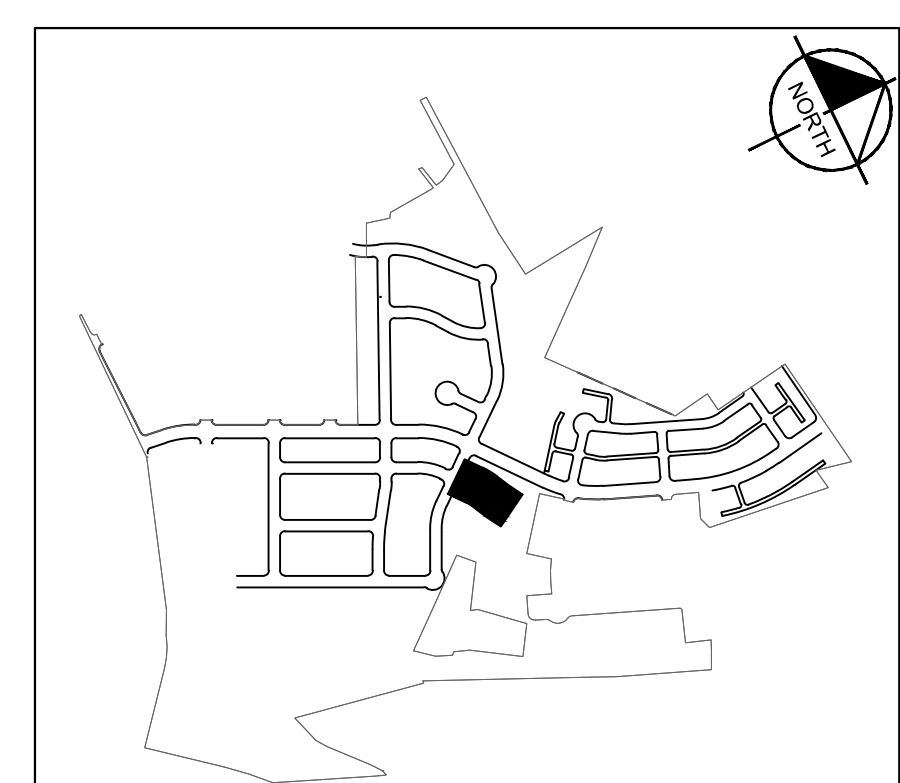
<p>5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100                  AUSTIN, TX 78745                  WWW.KIMLEY-HORN.COM                  © 2016 KIMLEY-HORN AND ASSOCIATES, INC.                  TBE Firm No. 928</p>	DATE	BY
	REVISIONS	DATE
<p>07/17/2023</p> <p>Alejandro E. Granados-Rico                  Licensed Professional Engineer                  State of Texas</p>	KHA PROJECT 067783115 DATE JULY 2023 SCALE: AS SHOWN DESIGNED BY: WB,DM DRAWN BY: WB,HM,MH,DM CHECKED BY: AEC	THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS
WATER PLAN AND PROFILE - LINE N (SHEET 1 OF 2)	SHEET NUMBER	179
		OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 10:27:32am File Path: K:\SAL\Civil\067783115 Heritage Buda Assembly\Cad\PlanSheets\C-Water P&P - WL M, N.dwg  
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**LEGEND**

— W —	EXISTING WATER LINE
— W —	PROPOSED WATER LINE
— H —	PROPOSED HYDRANT ASSEMBLY
— C —	PROPOSED CROSS / TEE
— V —	PROPOSED VALVE
— T —	DUAL WATER SERVICE
— S —	SINGLE WATER SERVICE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— M —	PROPOSED WASTEWATER MANHOLE
— S —	DUAL WASTEWATER SERVICE
— S —	SINGLE WASTEWATER SERVICE
— S —	PROPOSED STORM SEWER LINE



**811**  
Know what's below.  
Call before you dig.

**BENCHMARKS**

- BM #100 PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 867 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=702.87 (NAVD '88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD '88)
- BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD '88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**CONSTRUCTION PLAN APPROVAL** SHEET **06** OF **226**

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ N/A \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING \_\_\_\_\_ N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

No. \_\_\_\_\_
REVISIONS
DATE

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 PH: 512.468.5700  
 WWW.KIMLEY-HORN.COM  
 © 2016 KIMLEY-HORN AND ASSOCIATES, INC.  
 TBPE Firm No. 928

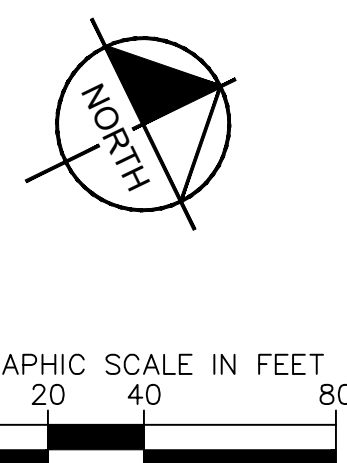
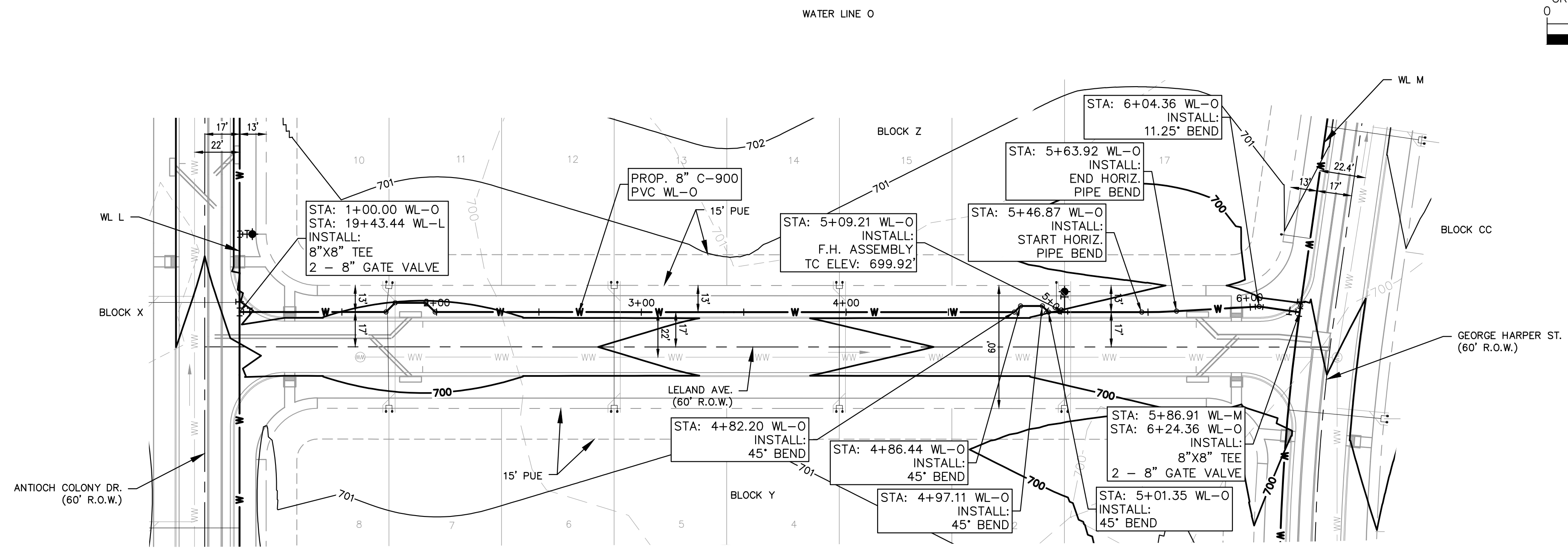
KHA PROJECT  
067783115  
DATE  
JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB, HM, MH, DM  
CHECKED BY: AEG

**WATER PLAN AND  
PROFILE - LINE N  
(2 OF 2)**

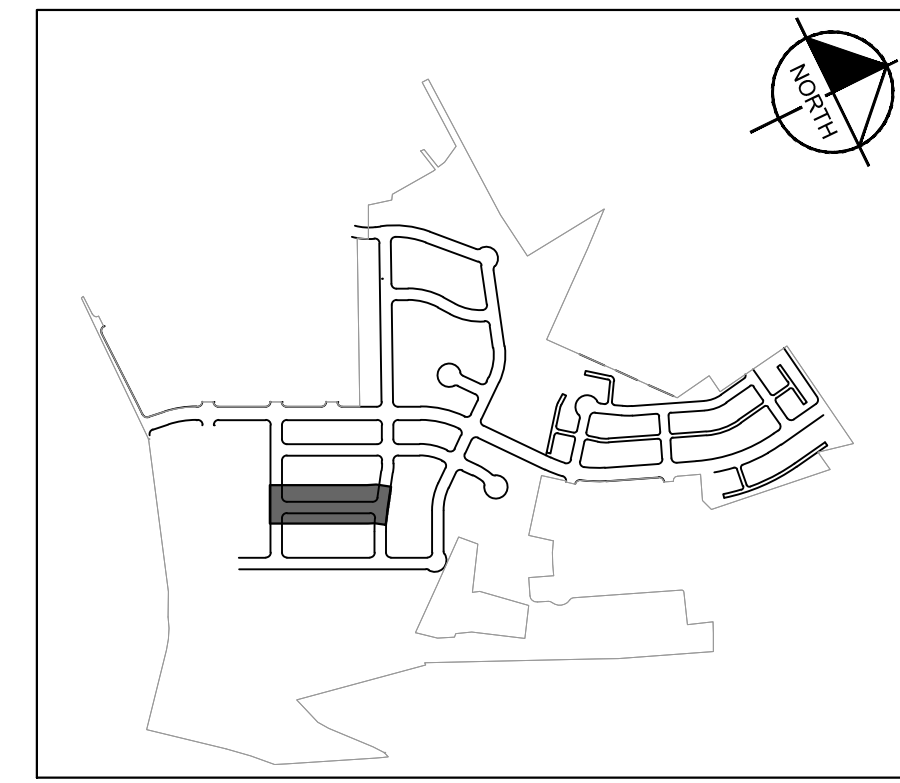
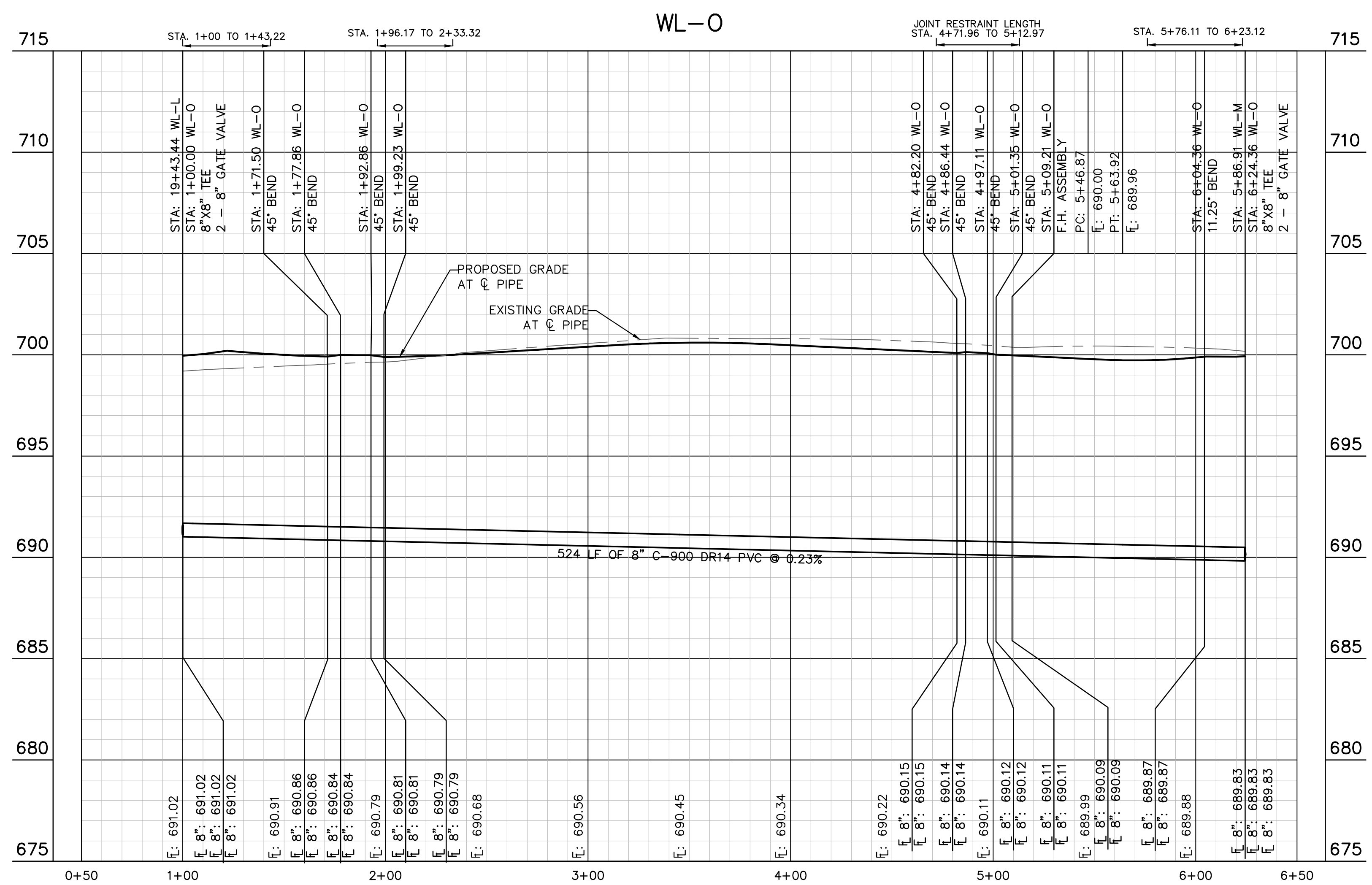
**THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS**

SHEET NUMBER  
**180**  
OF 226

Plotted by: Flynn, Alyssa Date: July 17, 2023 10:30:14am File Path: K:\SAU\Civil\067783115 Meritage Buda Assemblies\Cad\PlanSheets\C-Water P&P - WL O, P, S, U.dwg  
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	EXISTING WATER LINE
	PROPOSED WATER LINE
	PROPOSED HYDRANT ASSEMBLY
	PROPOSED CROSS / TEE
	PROPOSED VALVE
	DUAL WATER SERVICE
	SINGLE WATER SERVICE
	EXISTING FORCE MAIN
	EXISTING WASTEWATER LINE
	EXISTING FORCE MAIN
	EXISTING WASTEWATER LINE
	PROPOSED WASTEWATER MANHOLE
	DUAL WASTEWATER SERVICE
	SINGLE WASTEWATER SERVICE
	PROPOSED STORM SEWER LINE



**KEY MAP**  
SCALE: 1:1000

**811**  
Know what's below.  
Call before you dig.

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**

BM #100 - 1/4" NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 1/4' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV: 689.87 (NAVD 88)

BM #104 - 1/4" NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV: 712.04 (NAVD 88)

BM #106 - 1/4" NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET <u>  226  </u> OF <u>  226  </u>	
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON: <u>  N/A  </u>	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737	CASE MANAGER: 08/16/2021
<b>A. KENNEDY</b>	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE: <u>          </u>	ZONING: <u>  N/A  </u>
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
<small>Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.</small>	
PERMIT NUMBER: 2021-737	

**Kimley-Horn**  
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 AUSTIN, TX 78745  
 PH: 512.464.6437  
 WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

07/17/2023

**Alejandro E. Granados-Rico**  
 Licensed Professional Engineer  
 State of Texas

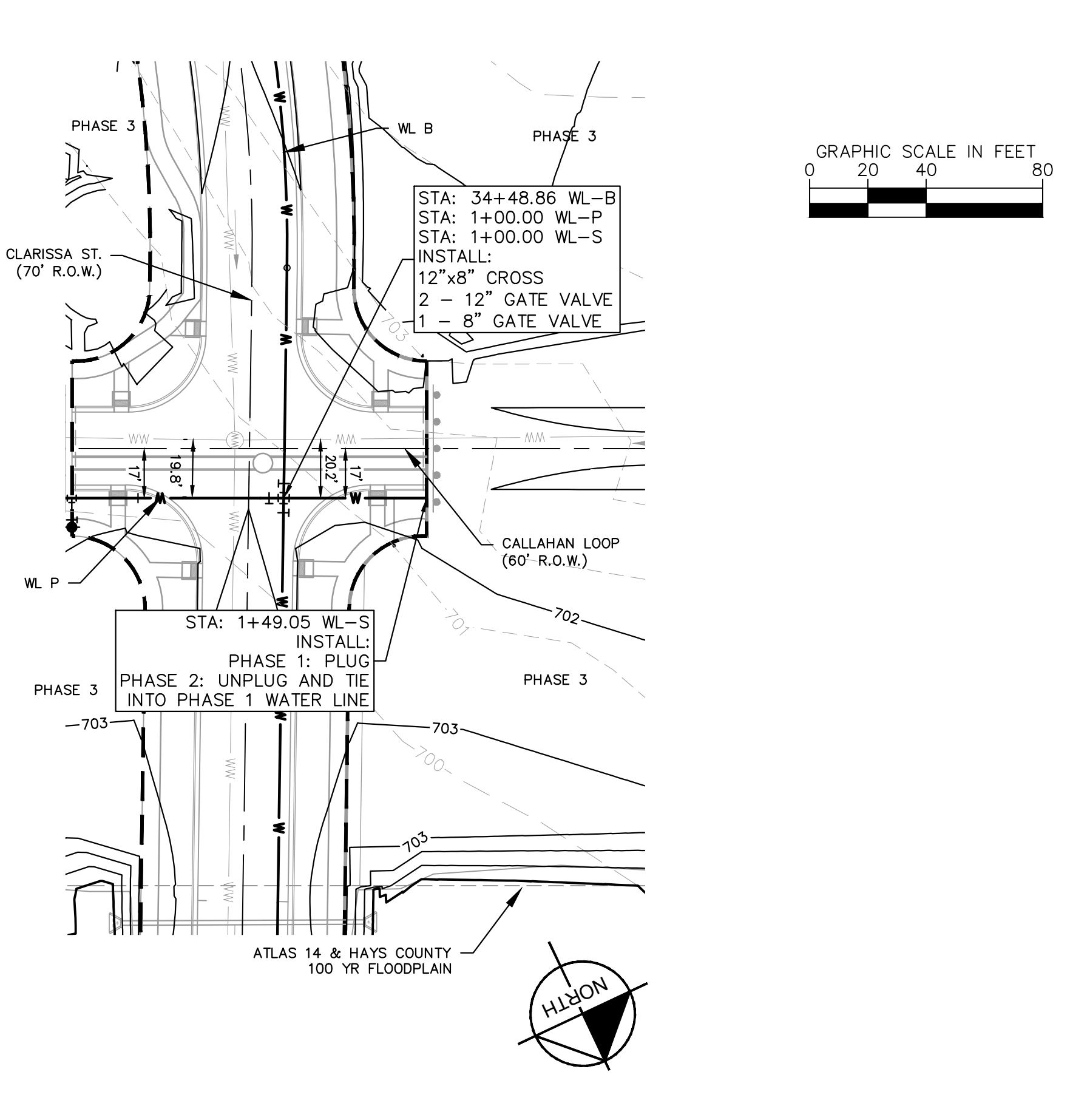
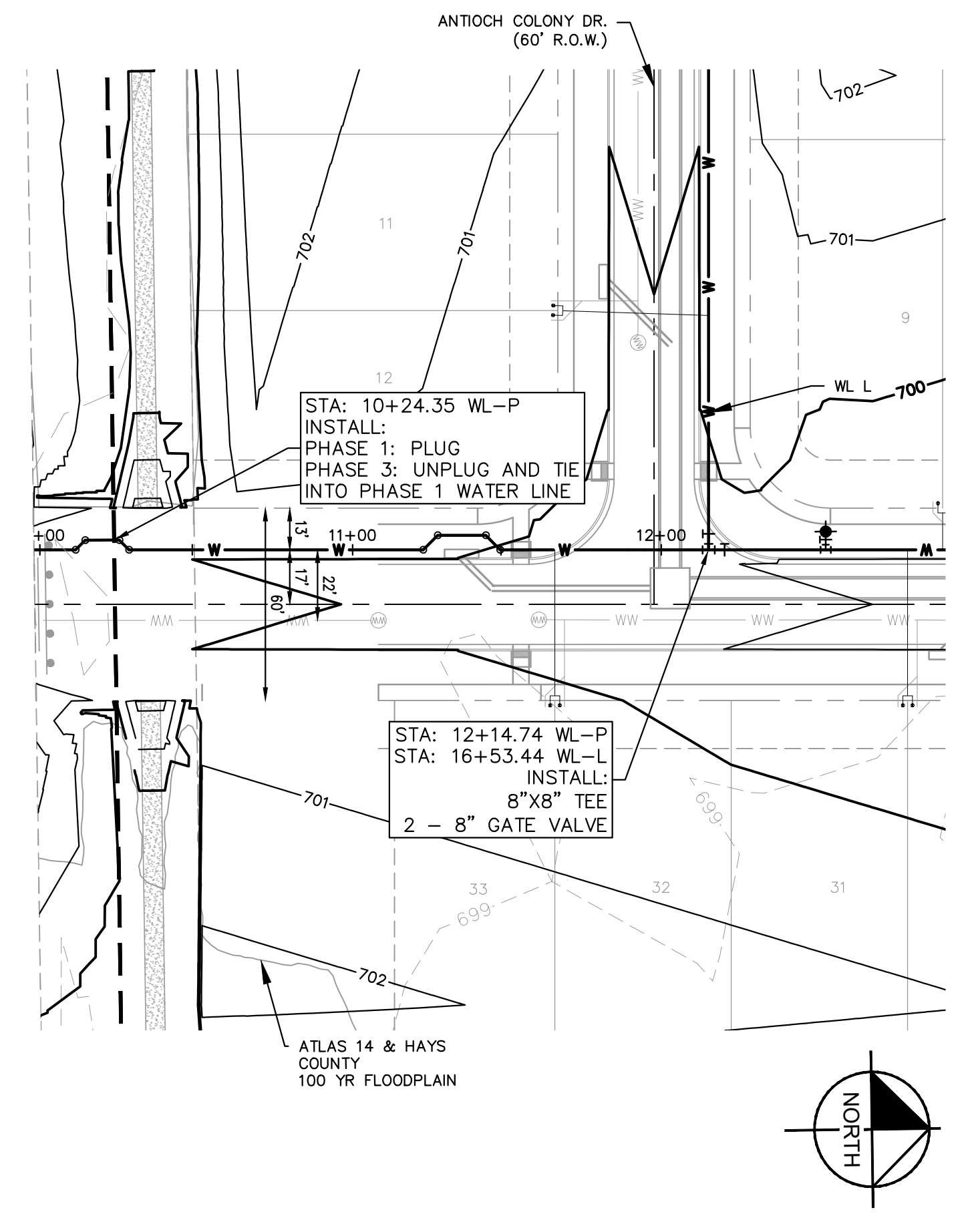
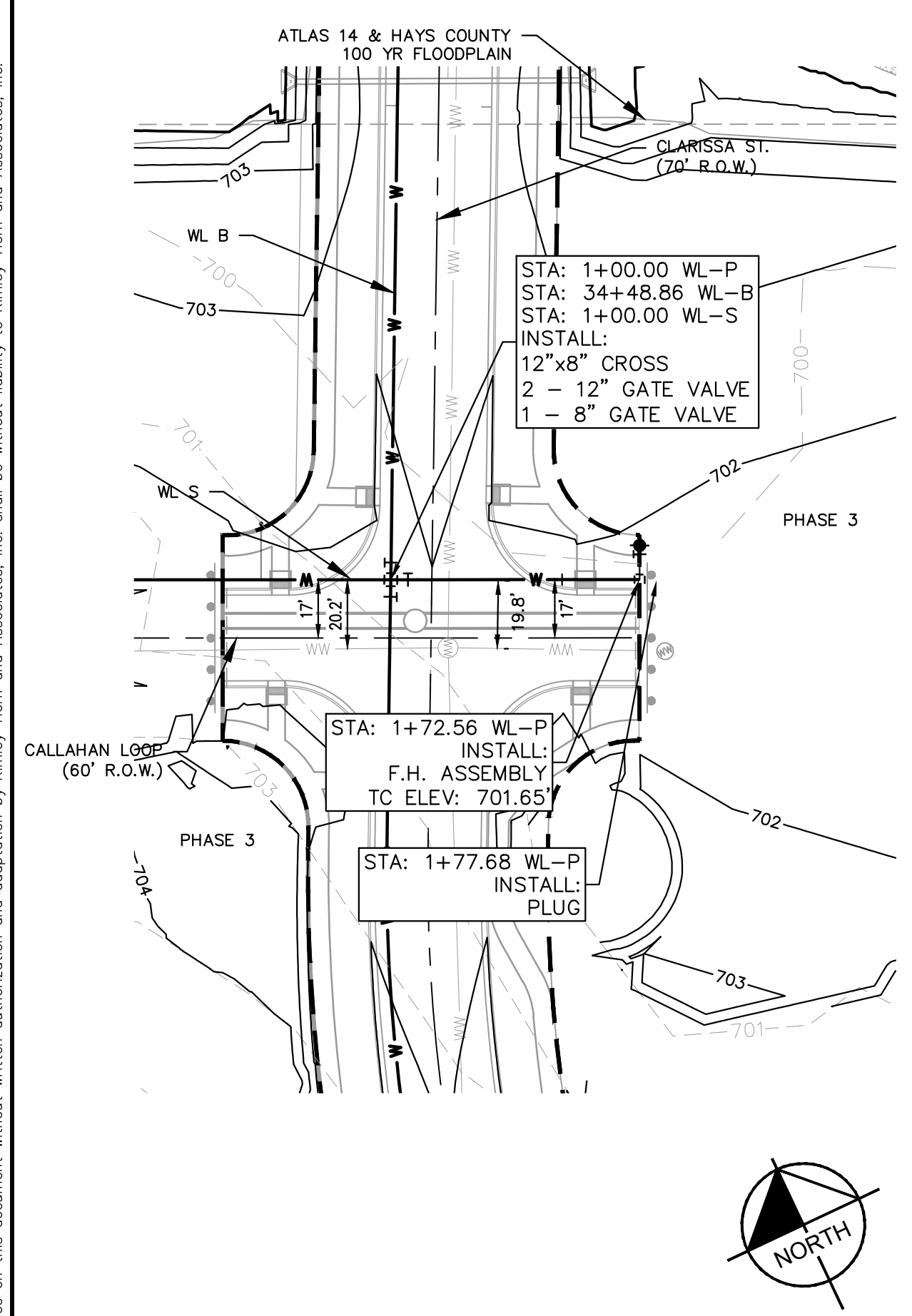
KHA PROJECT	067783115
DATE	JULY 2023
SCALE	AS SHOWN
DESIGNED BY	WB, DM
DRAWN BY	WB, HM, MH, DM
CHECKED BY	AEG

**WATER PLAN AND PROFILE - LINE O**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

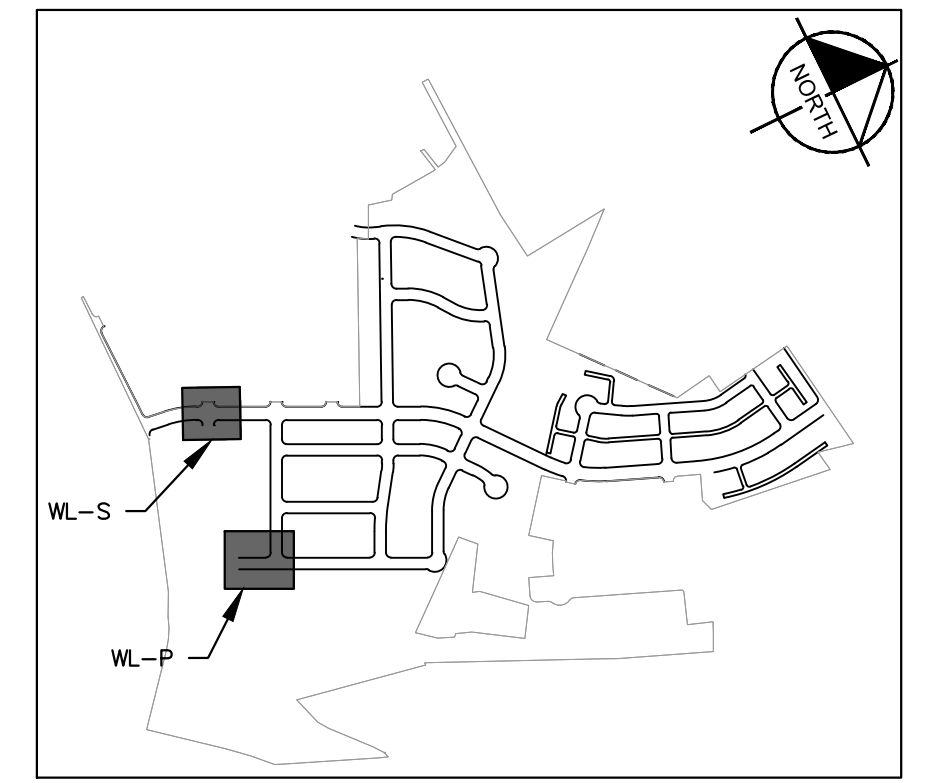
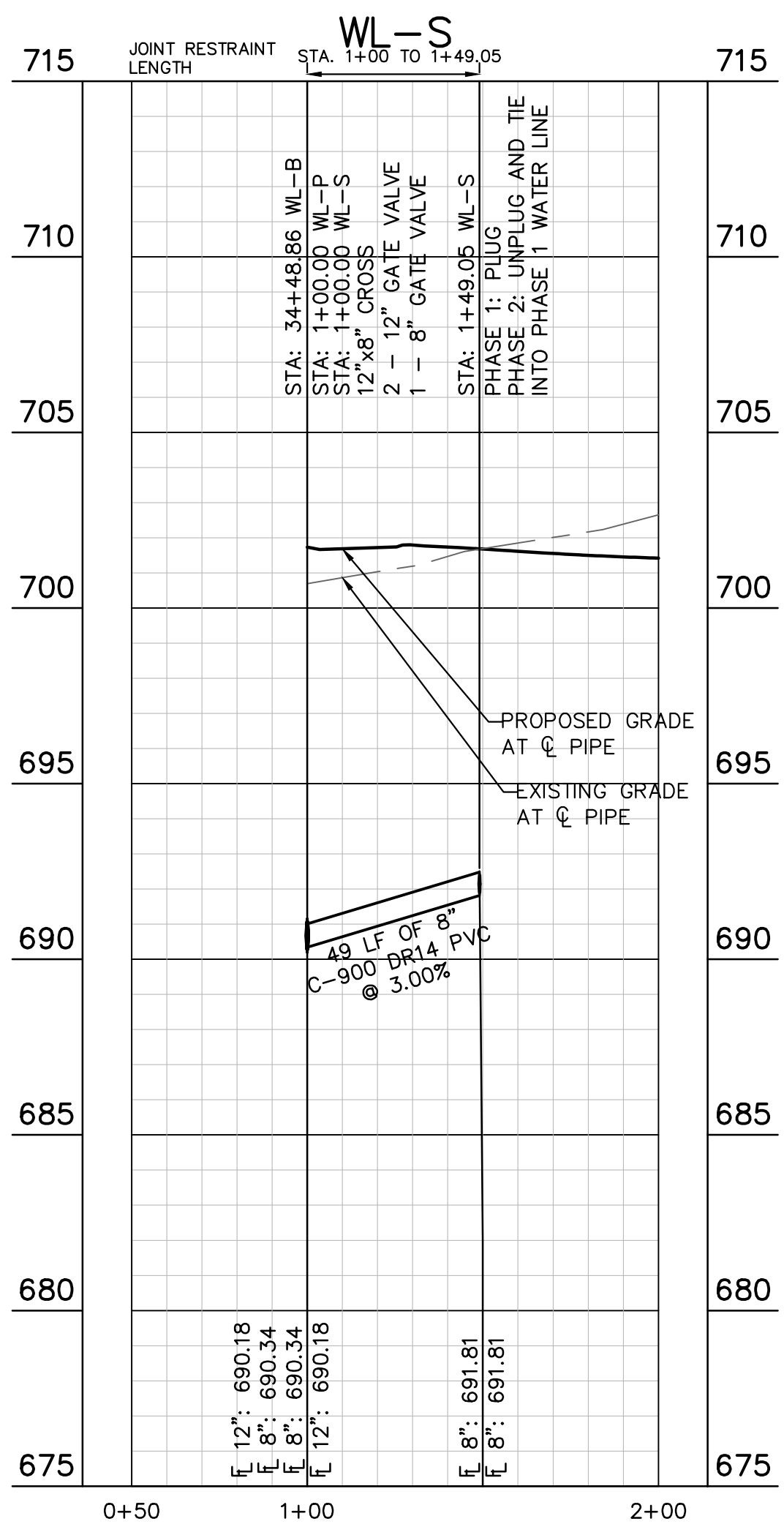
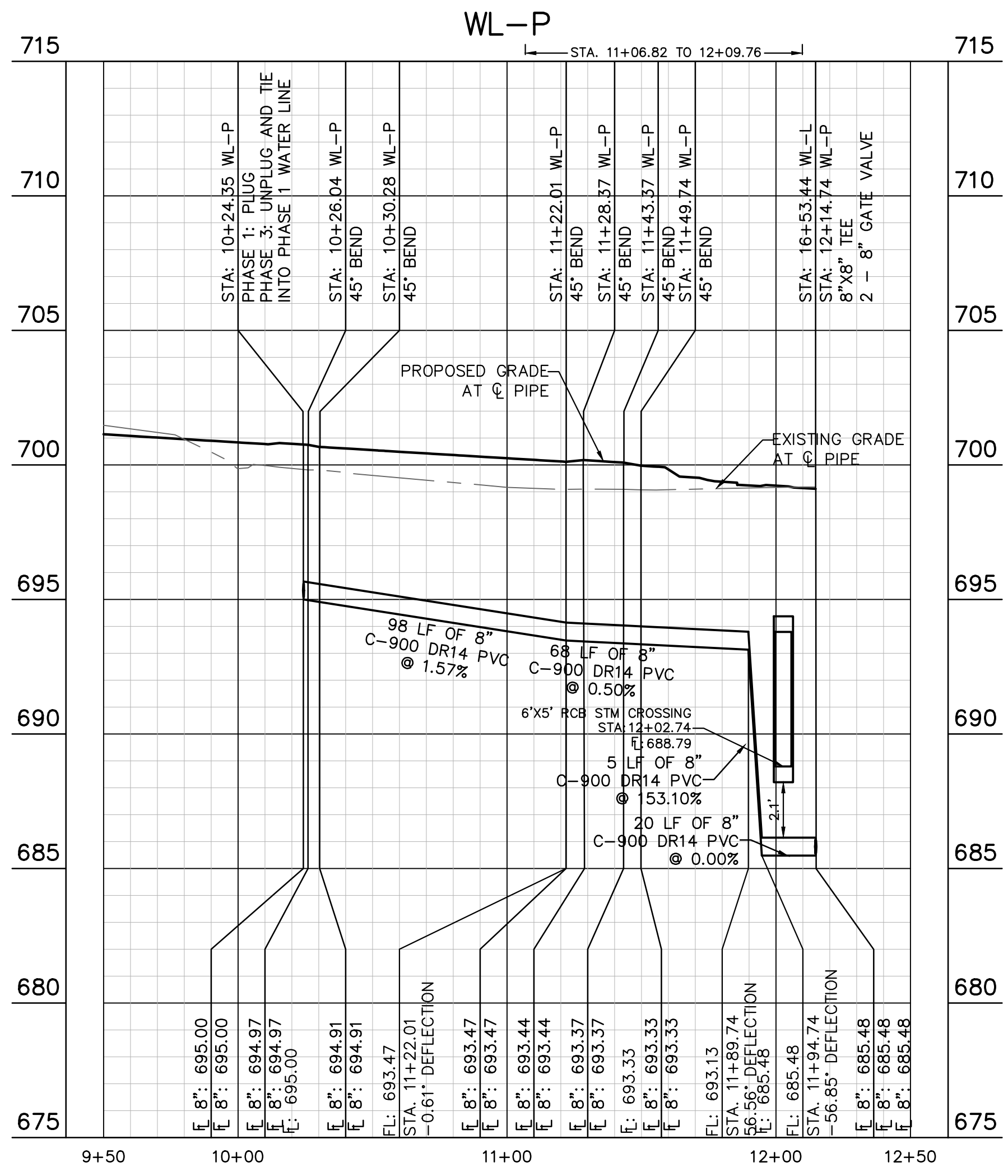
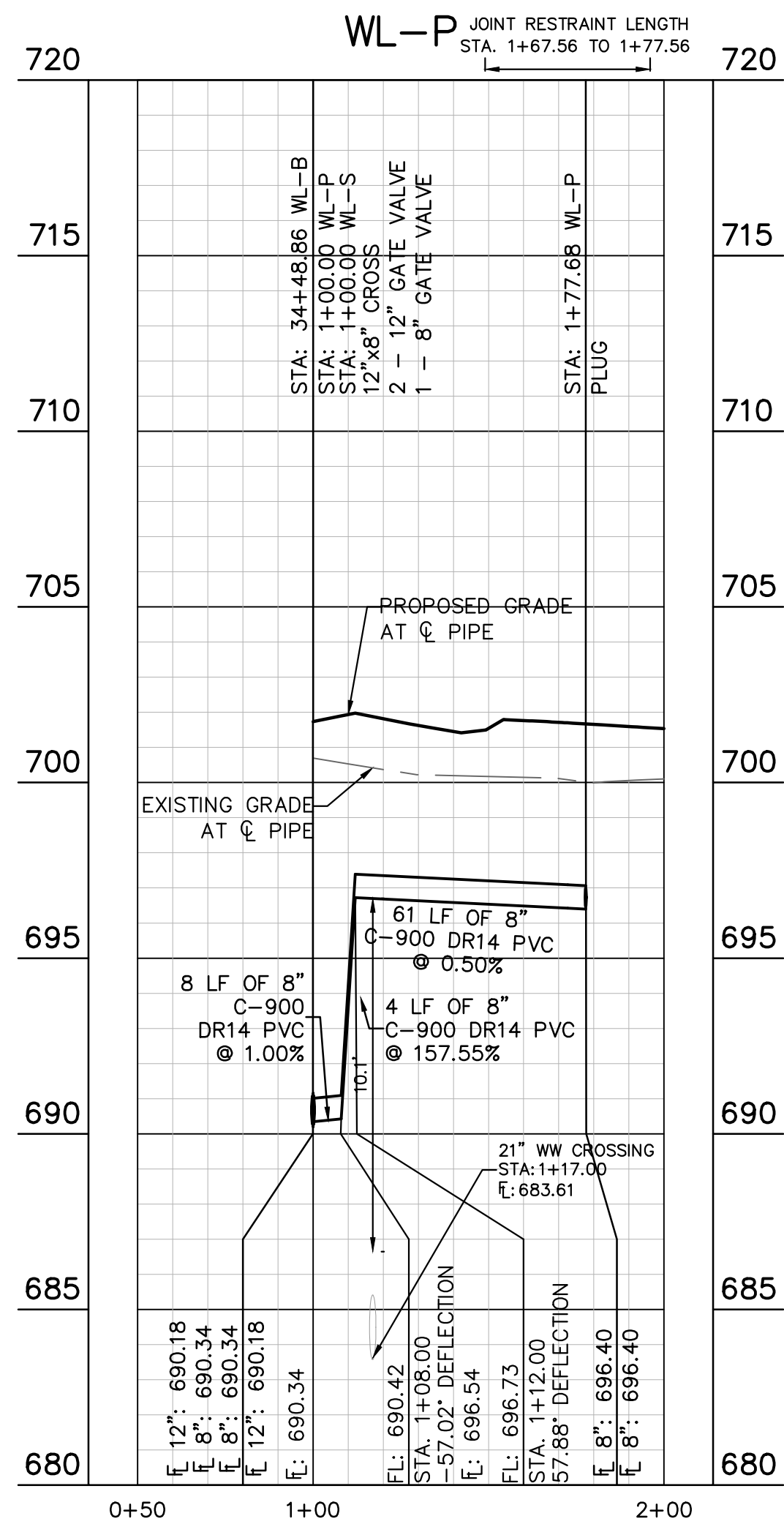
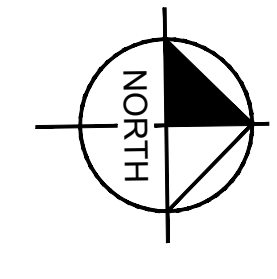
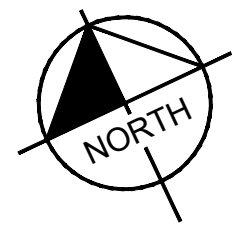
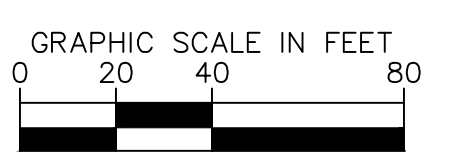
No.	REVISIONS	DATE	BY

Plotted By: Flynn, Alyssa Date: July 17, 2023 10:31:40am File Path: K:\SAU\Civil\067783115 Meritage Buda Assemblies\Cad\PlanSheets\C-Water P&P - WL O, P, S, U.dwg  
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**LEGEND**

— W —	EXISTING WATER LINE
— P —	PROPOSED WATER LINE
— S —	PROPOSED HYDRANT ASSEMBLY
— T —	PROPOSED CROSS / TEE
— V —	PROPOSED VALVE
— D —	DUAL WATER SERVICE
— S —	SINGLE WATER SERVICE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— PM —	EXISTING FORCE MAIN
— W —	EXISTING WASTEWATER LINE
— M —	PROPOSED WASTEWATER MANHOLE
— D —	DUAL WASTEWATER SERVICE
— S —	SINGLE WASTEWATER SERVICE
— SS —	PROPOSED STORM SEWER LINE



**KEY MAP**  
SCALE: 1:1000

**811**  
Know what's below.  
Call before you dig.

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=702.50 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.50 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET **226** OF **226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

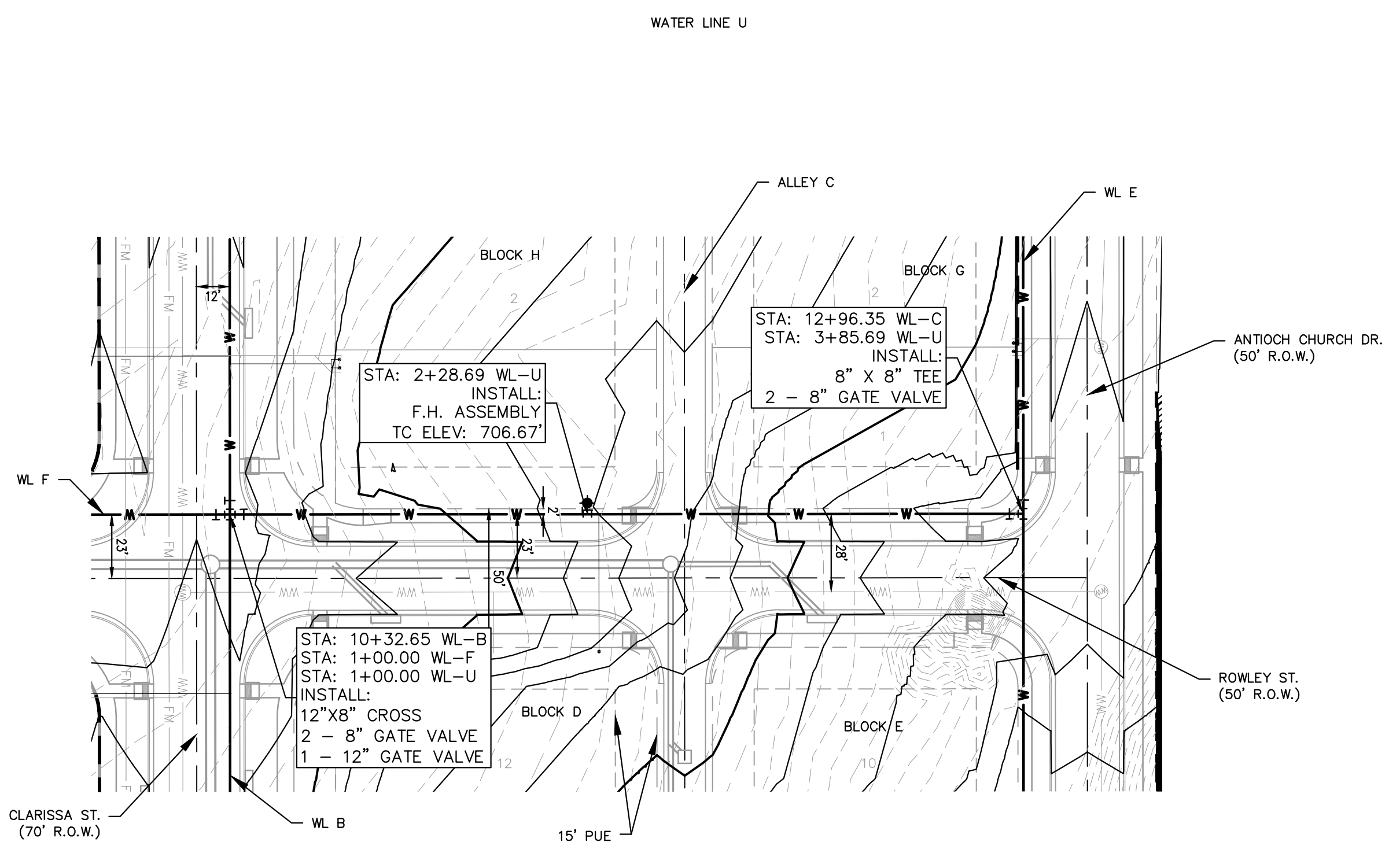
Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

KHA PROJECT 067783115			DATE: JULY 2023	SCALE: AS SHOWN	DESIGNED BY: WB,DM	DRAWN BY: WB, HM, MH, DM	CHECKED BY: AEG
DATE: JULY 2023							
SCALE: AS SHOWN							
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THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS		SHEET NUMBER <b>182</b> OF 226		WATER PLAN AND PROFILE - LINE P & S		DATE	

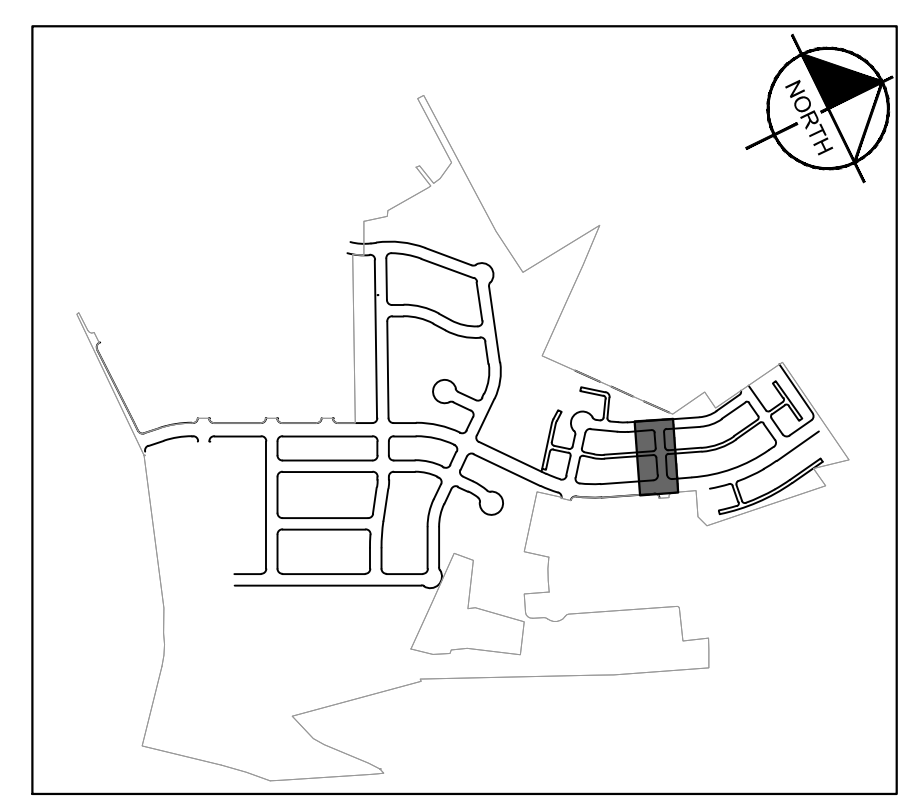
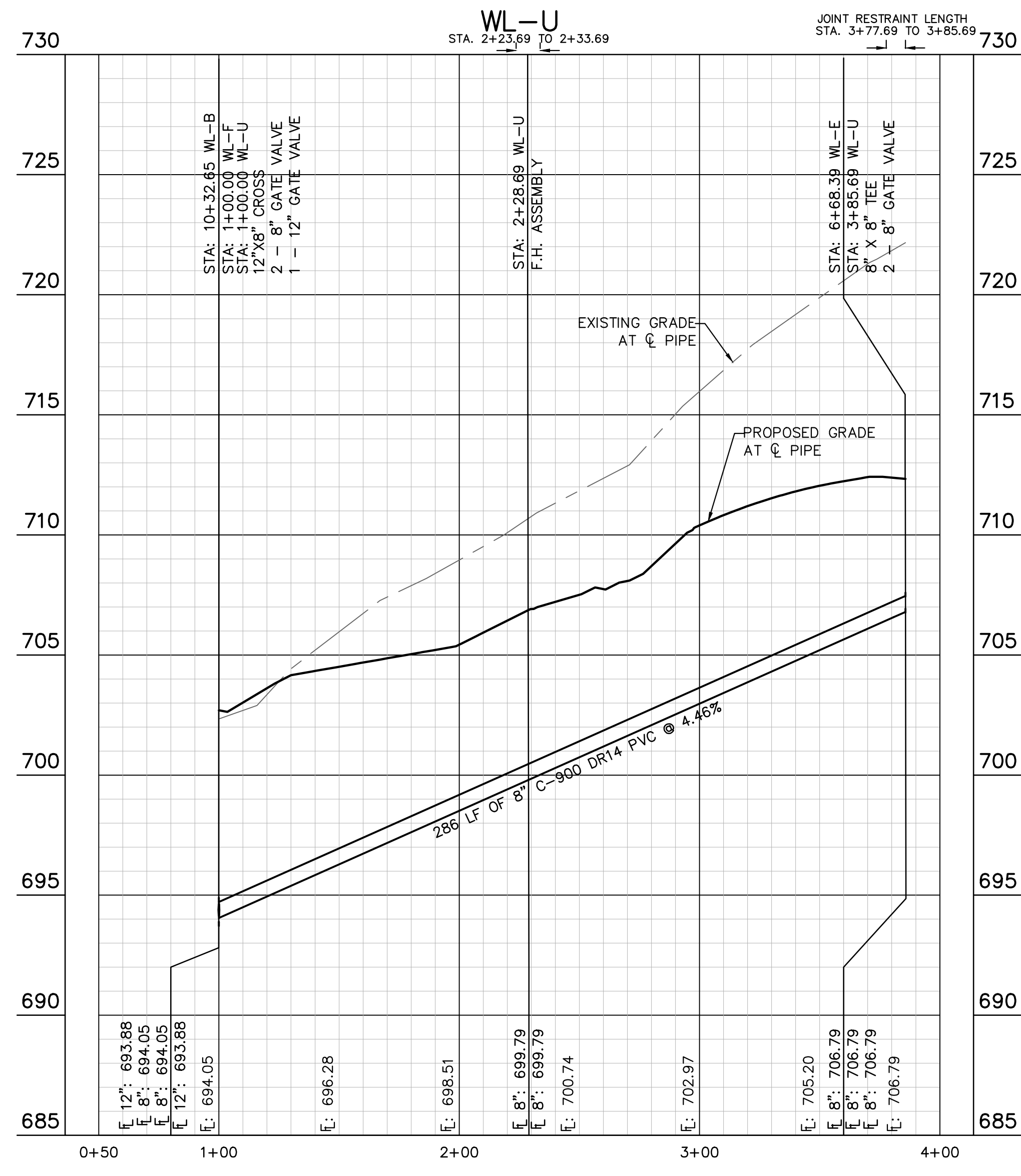
Plotted by: Flynn, Alyssa Date: July 17, 2023 10:32:11am File Path: K:\SAU\Civil\067783115\_Meritage Buda Assemblage\Cad\PlanSheets\C-Water P&P - WL 0, P, S, U.dwg  
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GRAPHIC SCALE IN FEET  
0 20 40 80

**LEGEND**

— W —	EXISTING WATER LINE
— W —	PROPOSED WATER LINE
⊕ ⊕	PROPOSED HYDRANT ASSEMBLY
□ □	PROPOSED CROSS / TEE
⊕	PROPOSED VALVE
— T —	DUAL WATER SERVICE
— T —	SINGLE WATER SERVICE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
— FM —	EXISTING FORCE MAIN
— WW —	EXISTING WASTEWATER LINE
⊕	PROPOSED WASTEWATER MANHOLE
— T —	DUAL WASTEWATER SERVICE
— T —	SINGLE WASTEWATER SERVICE
---	PROPOSED STORM SEWER LINE



**811**

**Know what's below.  
Call before you dig.**

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #102	PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 697 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=710.17 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW ON THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226	
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE	2021-737 CASE MANAGER 08/16/2021
A. KENNEDY	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE: ZONING N/A	
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.	
PERMIT NUMBER: 2021-737	

No.	REVISIONS	DATE	BY

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AUSTIN, TX 78745  
PH: 512.468.6437  
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TBPE Firm No. 928

ALEJANDRO E. GRANADOS-RICO  
130305  
LICENSED PROFESSIONAL ENGINEER  
Civil

Aljano E. Rico-Lin

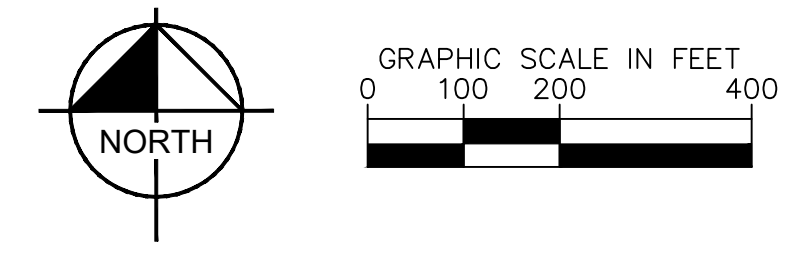
KHA PROJECT	06/783115
DATE	JULY 2023
SCALE	AS SHOWN
DESIGNED BY:	WB,DM
DRAWN BY:	WB, HM, MH, DM
CHECKED BY:	AEG

**WATER PLAN AND  
PROFILE - LINE U**

**THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS**

SHEET NUMBER  
**183**  
OF 226

Plotted by: Lee, David Date: July 17, 2023 08:21:47am File Path: K:\SAU\_Civil\067783115 Meritage Budd Assembly\Cad\PlanSheets\C-Wastewater Velocities and Peak.dwg  
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**WASTEWATER FLOWS LEGEND**

- PROPERTY LINE
- PROPOSED PHASING BOUNDARIES
- WASTEWATER CALCULATION AREA
- WASTEWATER CALCULATION AREA (CLARISSA MAIN LINE TO LIFT STATION)

**NOTES:**  
 1. ALL WASTEWATER FULL CAPACITY VELOCITIES GREATER THAN 2.0 FEET PER SECOND PER TCOQ REQUIREMENTS.

No.	REVISIONS	DATE	BY

**Kimley Horn**  
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 AUSTIN, TX 78735  
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07/17/2023  
  
 Alejandro E. Granados-Rico  
 License No. 15094  
 State of Texas  
 KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,MM,MH,DM  
 CHECKED BY: AEG

**WASTEWATER VELOCITIES AND PEAKS**



**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**

BM #100 - IPK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 8716 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV = 915.01 (NAVD '88)

BM #104 IPK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV = 715.04 (NAVD '88)

BM #106 - IPK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF GLEBEAD COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 732.06 (NAVD '88)

CONSTRUCTION PLAN APPROVAL SHEET    OF 228  
 FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON:   N/A   UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING:   N/A  

Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

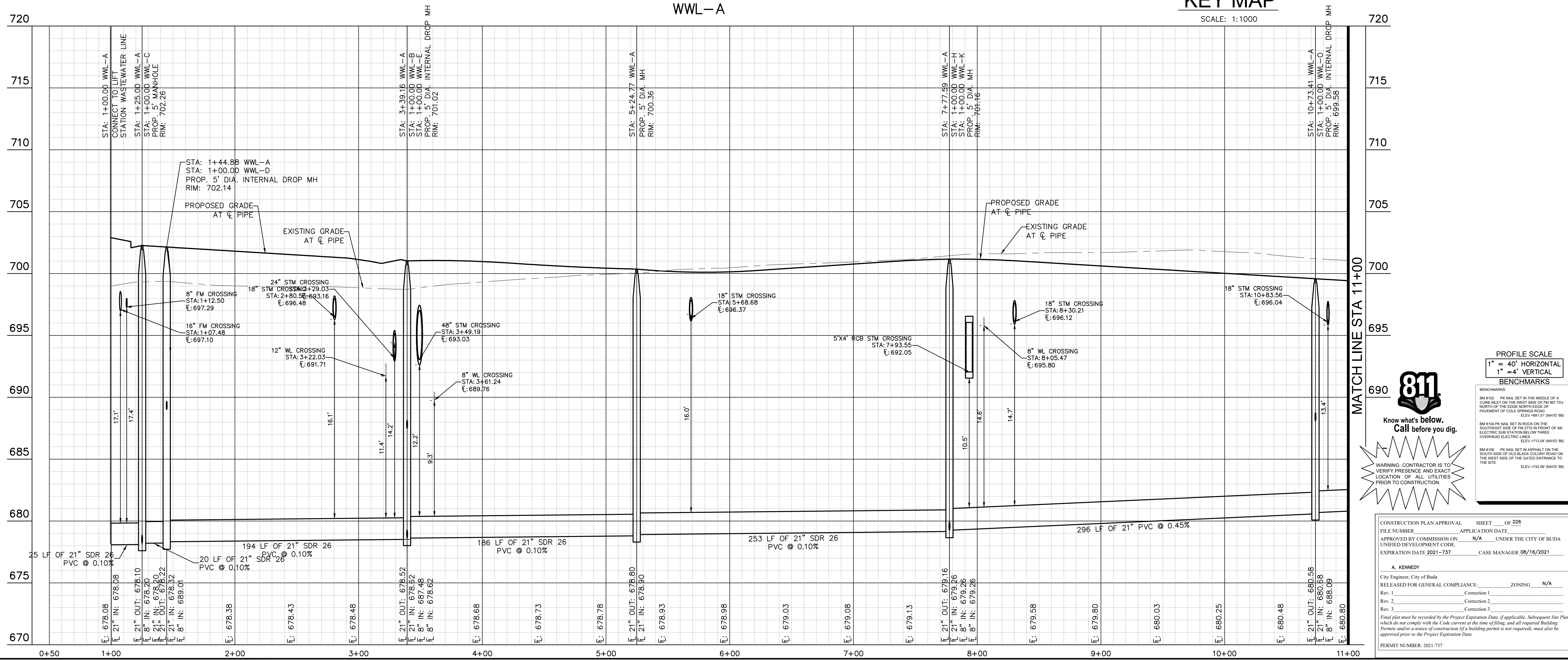
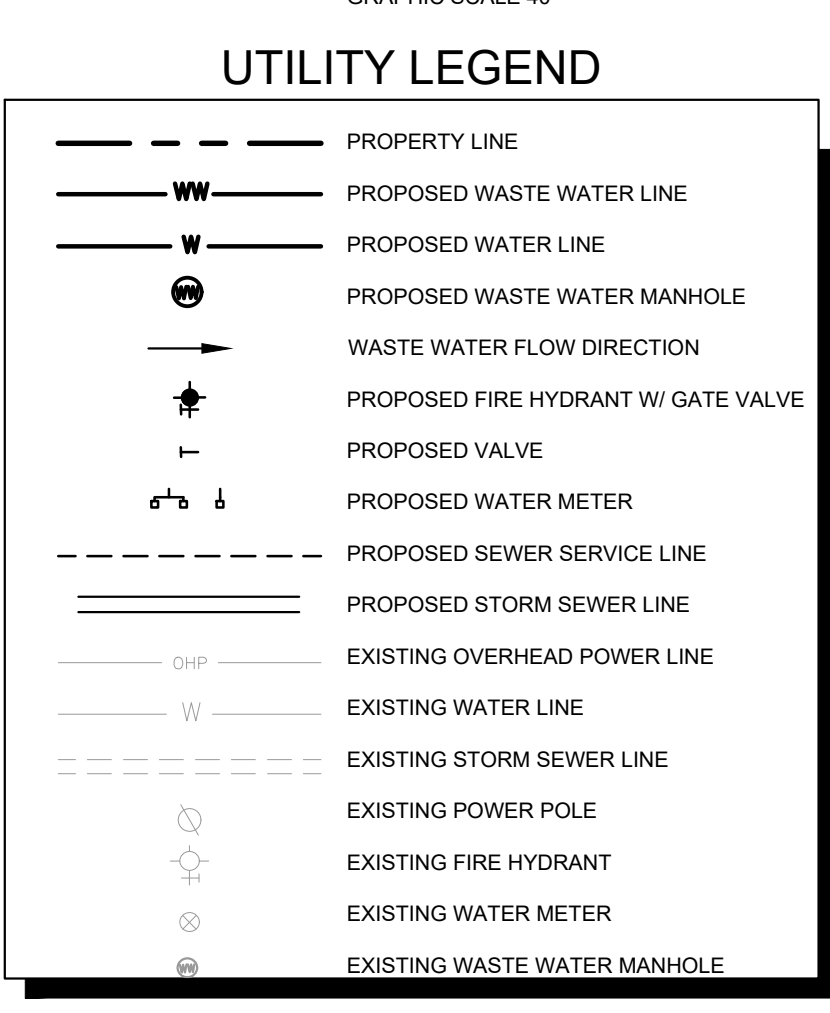
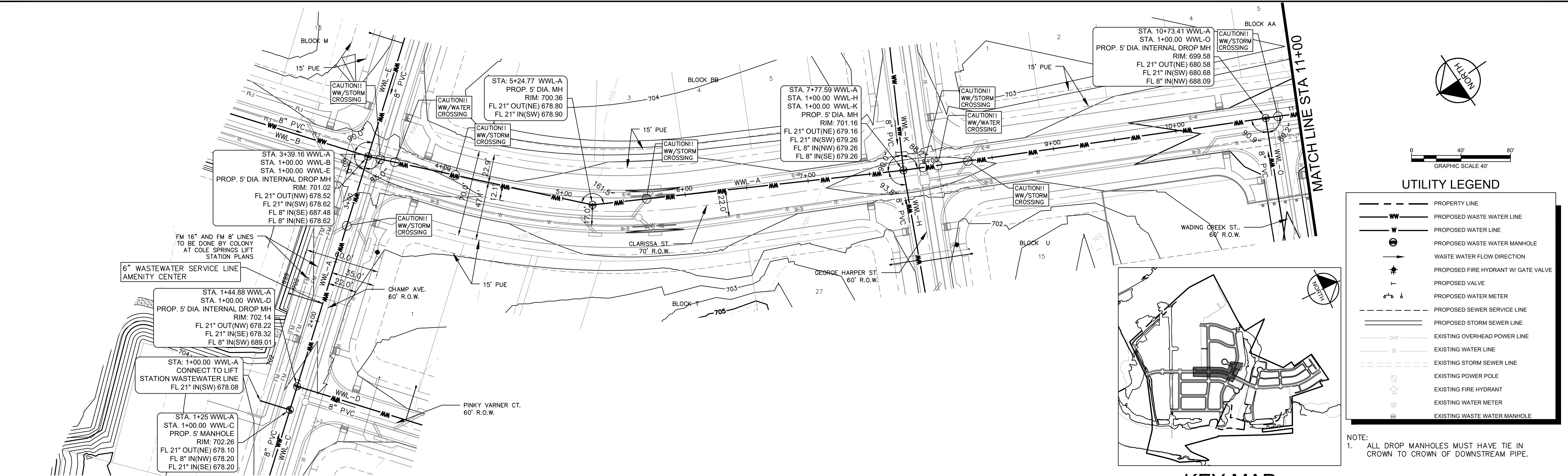
*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.*

PERMIT NUMBER: 2021-737

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**184**  
 OF 226

Plotted By: Lee, David Date: July 17, 2023 08:23:37am File Path: K:\SAU\_Civil\067783115\_Meritage Budo Assemblies\067783115\_C-Wastewater\_P&P - WWL\_A.dwg  
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 PHONE: 512-646-2237  
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 TBPE Firm No. 928

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,MM,DM  
 CHECKED BY: AEG

**SANITARY SEWER - PHASE 1**  
**CITY OF BUDA**  
**HAYS COUNTY, TEXAS**

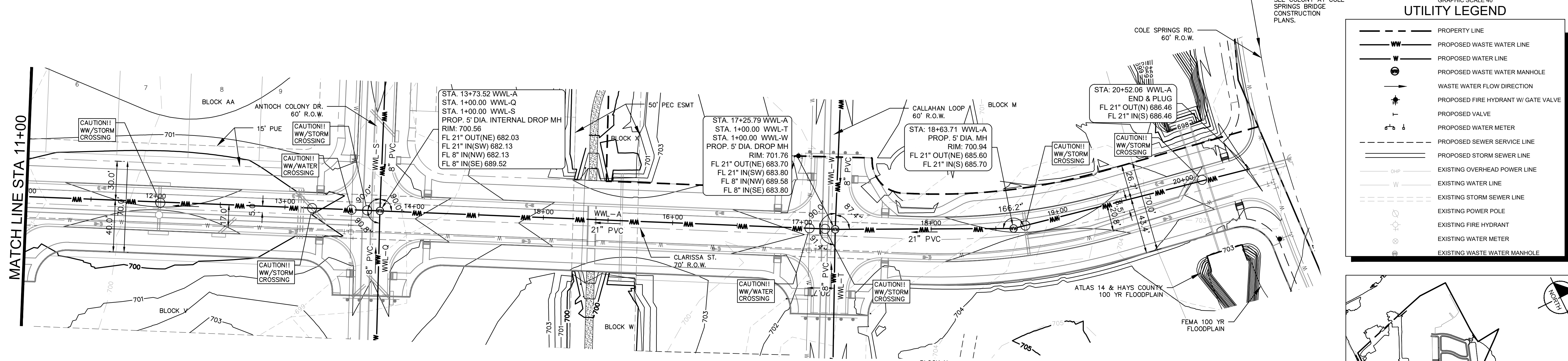
**SANITARY SEWER**  
**PLAN AND PROFILE -**  
**LINE A (1 OF 2)**

**THE COLONY - PHASE 1**  
**CITY OF BUDA**  
**HAYS COUNTY, TEXAS**

SHEET NUMBER: ###  
 OF 226

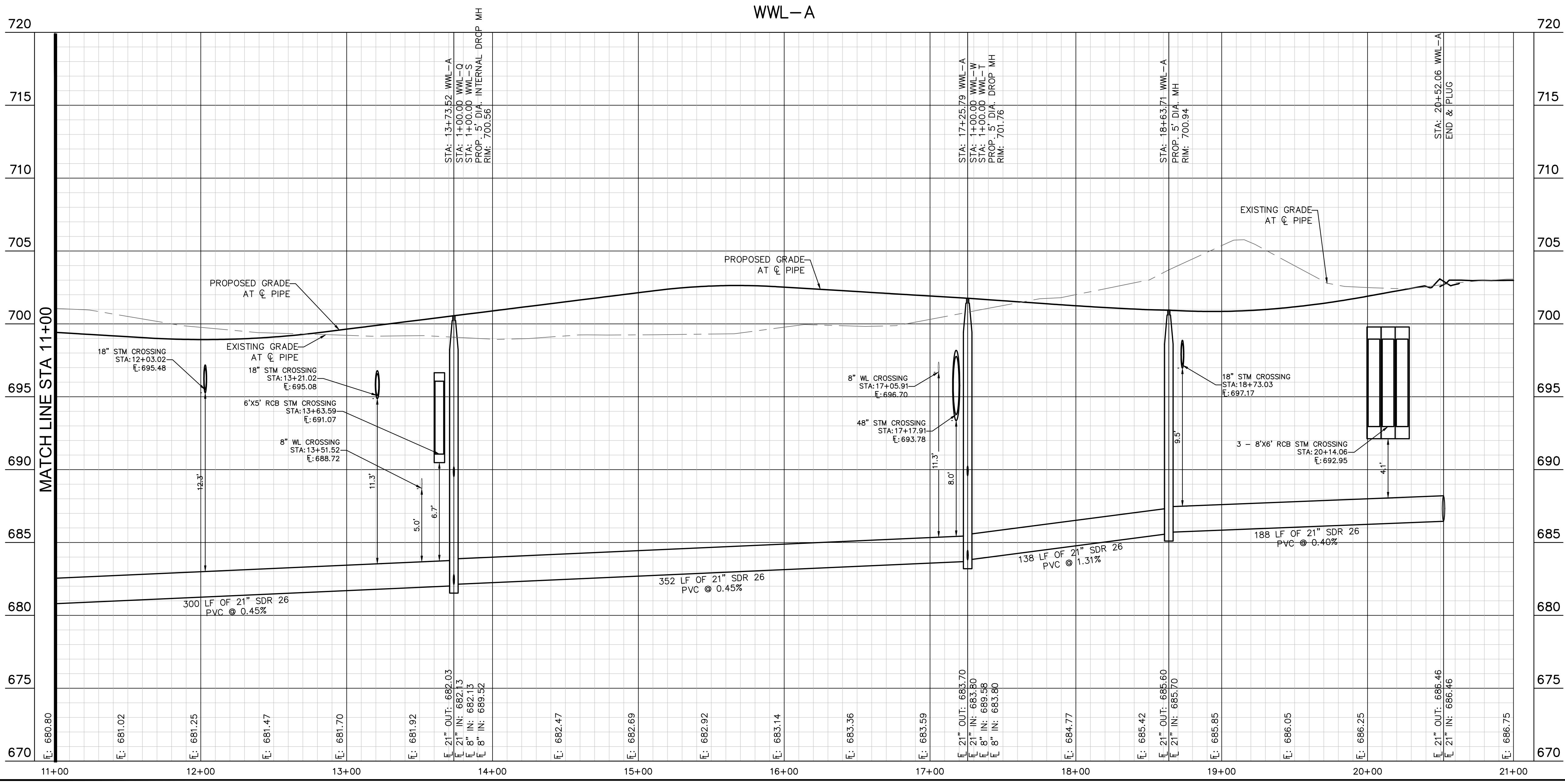
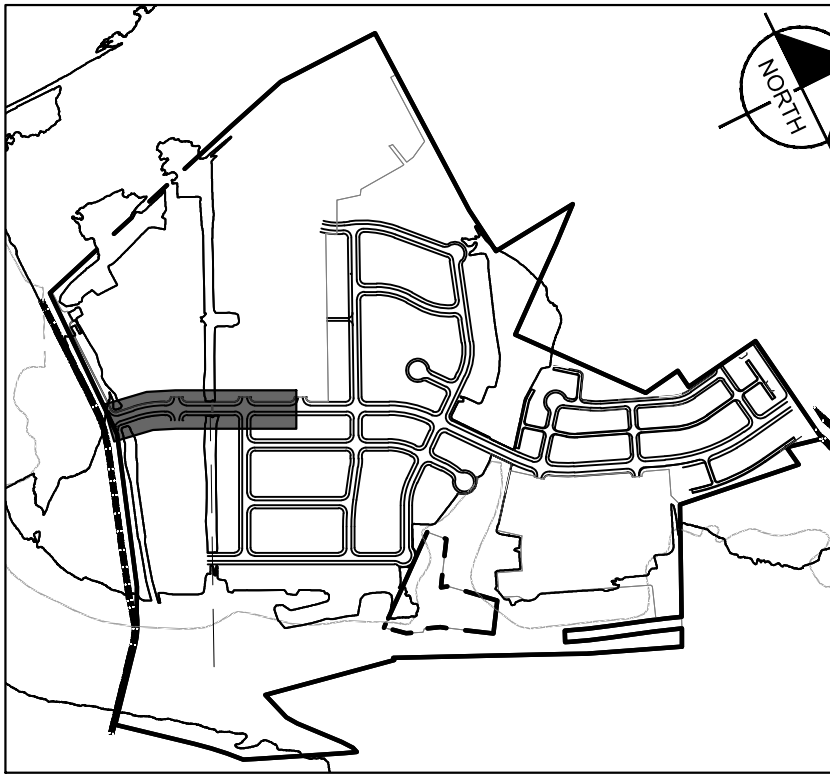


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**UTILITY LEGEND**

- PROPERTY LINE
- PROPOSED WASTE WATER LINE
- PROPOSED WATER LINE
- PROPOSED WASTE WATER MANHOLE
- WASTE WATER FLOW DIRECTION
- PROPOSED FIRE HYDRANT W/ GATE VALVE
- PROPOSED VALVE
- PROPOSED WATER METER
- PROPOSED SEWER SERVICE LINE
- PROPOSED STORM SEWER LINE
- EXISTING OVERHEAD POWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WASTE WATER MANHOLE



**KEY MAP**  
SCALE: 1:1000

NOTE:  
1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.

**811**  
Know what's below. Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

- BM #100 - 1/4" NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77' NORTHERN END OF THE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=702.50 (NAVD 88)
- BM #104 - 1/4" NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)
- BM #106 - 1/4" NAIL SET IN ASPHALT ON THE SOUTHWEST SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=702.50 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be received by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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AUSTIN, TX 78745  
PH: 512.454.6437  
WWW.KIMLEY-HORN.COM  
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TBE Firm

07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
LICENSED PROFESSIONAL ENGINEER  
No. 104563  
Alicia E. Rios-Liu

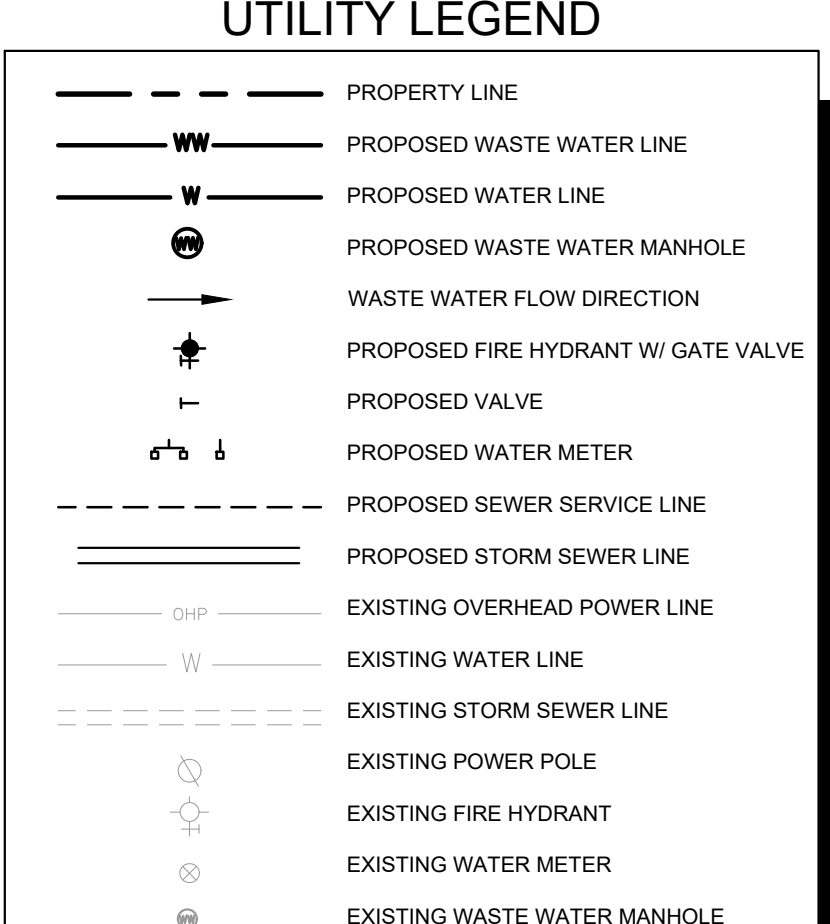
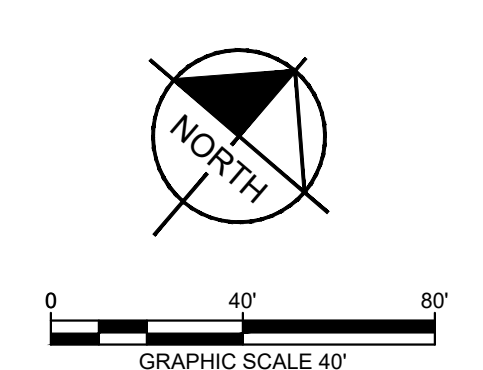
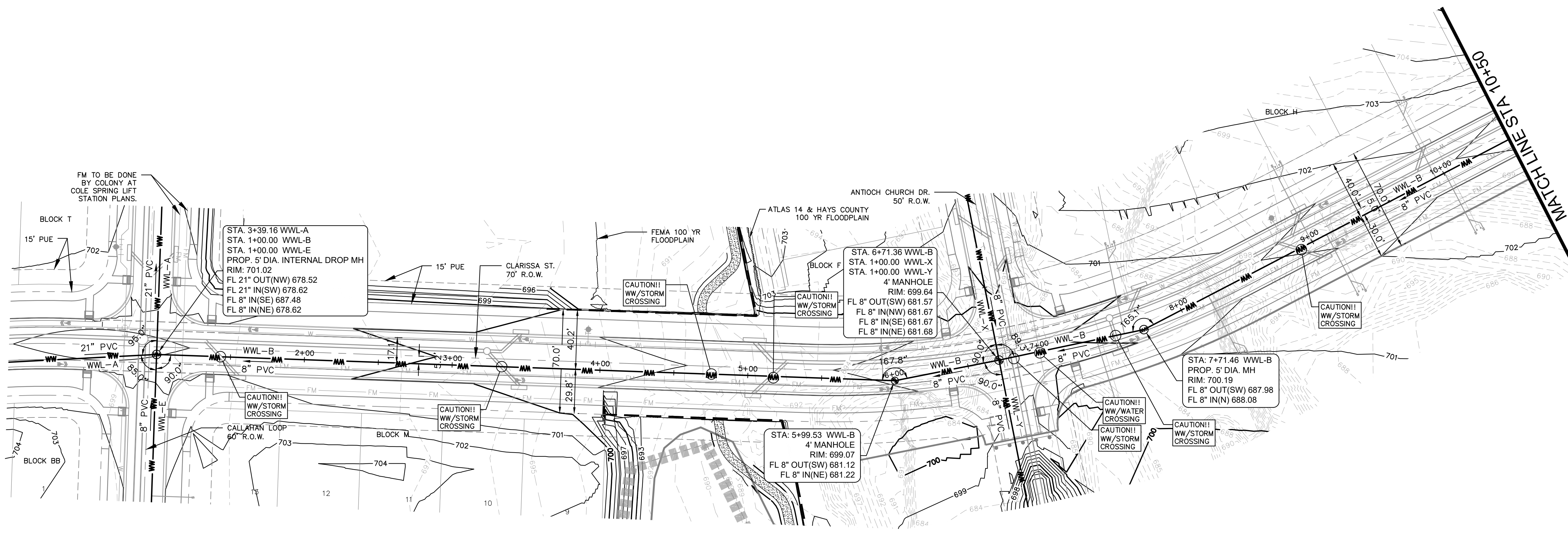
KHA PROJECT: 06783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HH,MH,DM  
CHECKED BY: AEG

**SANITARY SEWER - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

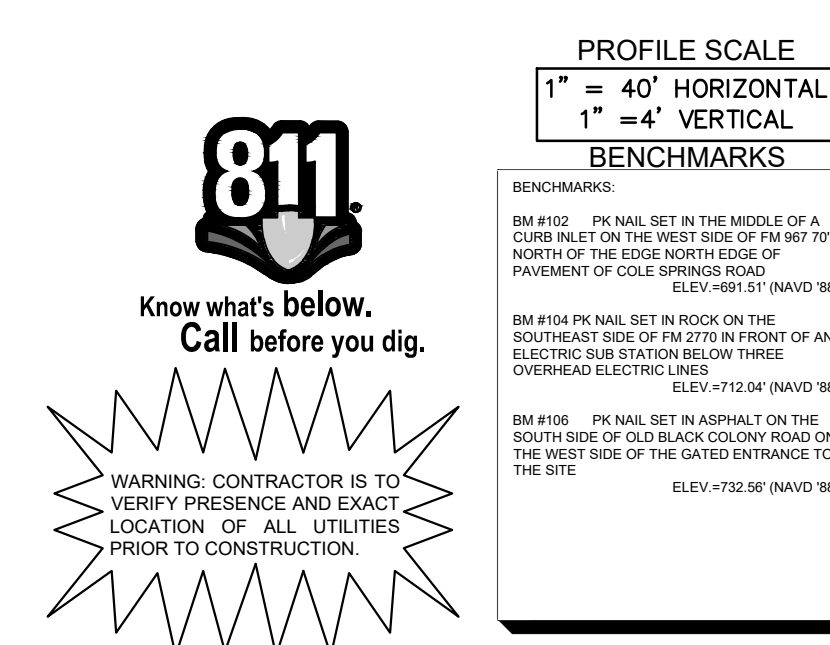
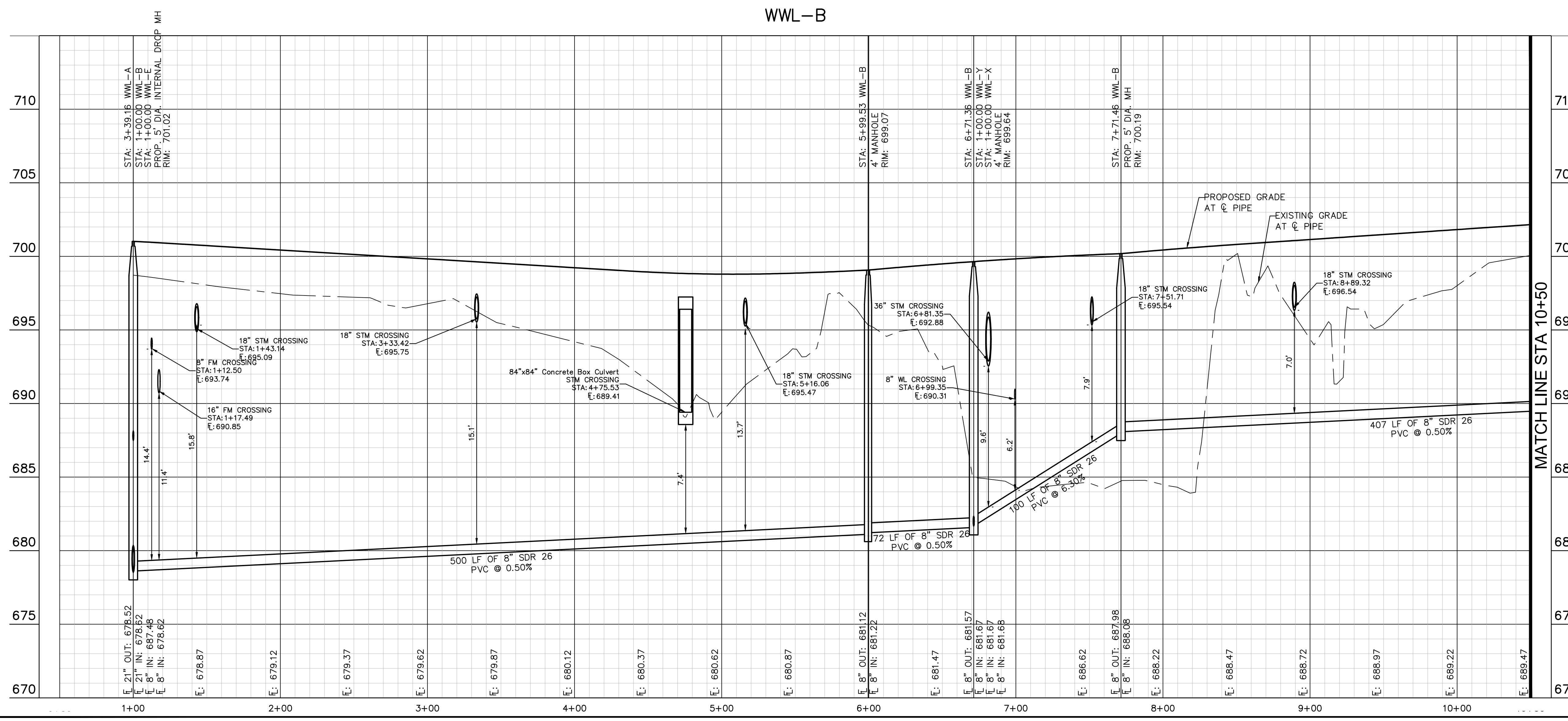
**SANITARY SEWER PLAN AND PROFILE - LINE A (2 OF 2)**

SHEET NUMBER **186**  
OF 226

Plotted by: Lee, David Date: July 17, 2023 08:26:42am File Path: K:\SAU\_Civil\067783115 Meritage Budd Assemblage\Cad\PlanSheets\C-Wastewater\_P&P - WWL B.dwg  
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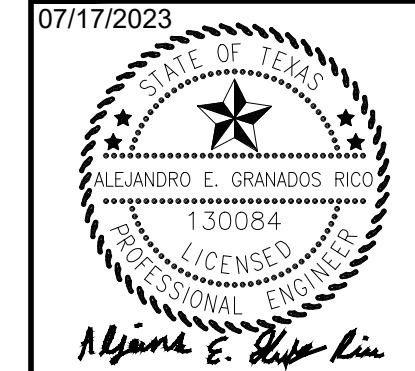
NOTE:  
1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.



CONSTRUCTION PLAN APPROVAL SHEET <u>226</u> OF <u>226</u>
FILE NUMBER _____ APPLICATION DATE _____
APPROVED BY COMMISSION ON: <u>N/A</u> UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.
EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021
<b>A. KENNEDY</b> City Engineer, City of Buda
Released for general compliance: _____ ZONING: <u>N/A</u>
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.
PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

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 TBPE Firm No. 928

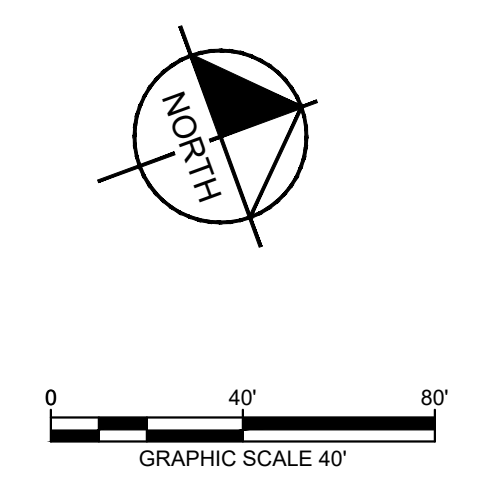
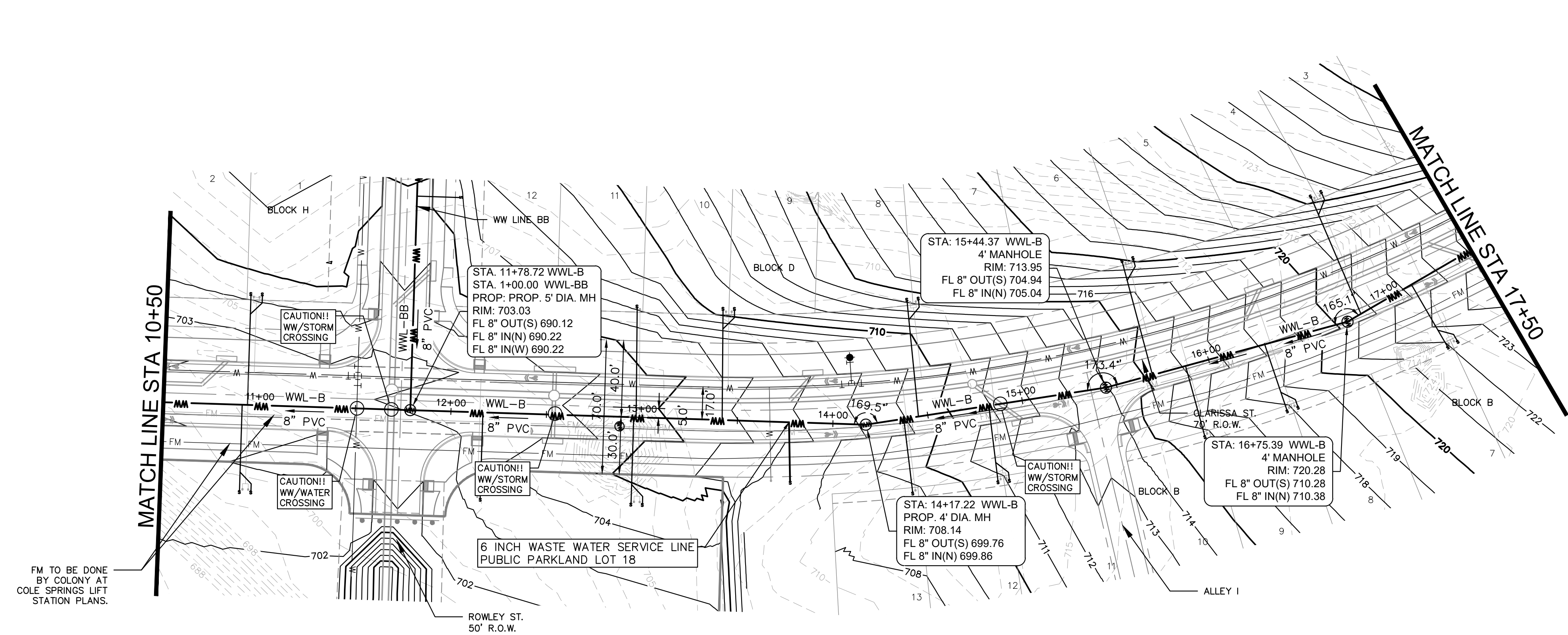


KHA PROJECT: 067783115
DATE: JULY 2023
SCALE: AS SHOWN
DESIGNED BY: WB, DM
DRAWN BY: WB, HM, MH, DM
CHECKED BY: AEC

**SANITARY SEWER - PLAN AND PROFILE - LINE B (1 OF 3)**

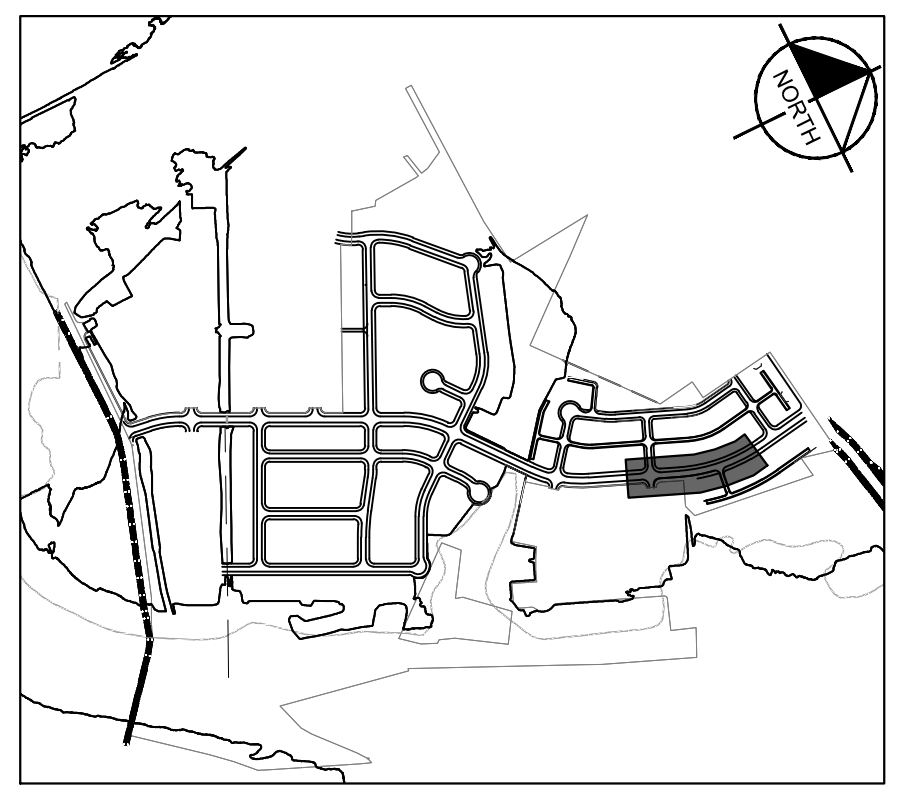
**THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS**

Plotted by: Lee, David Date: July 17, 2023 08:31:34am File Path: K:\SAL\_Civil\067783115 Heritage Buda Assemblage\Cad\PlanSheets\C-Wastewater P&P - WWL B.dwg  
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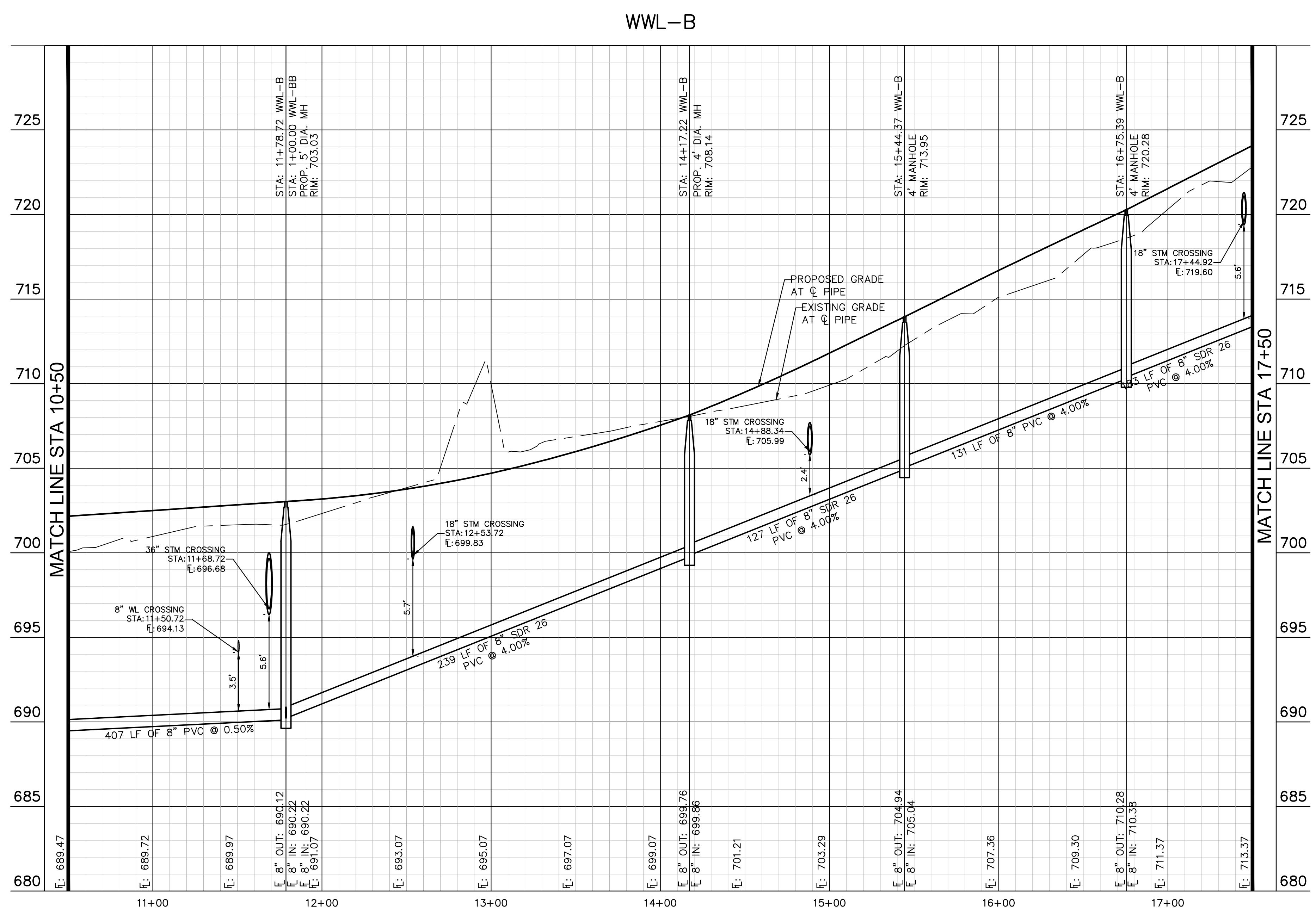


**UTILITY LEGEND**

---	PROPERTY LINE
—WW—	PROPOSED WASTE WATER LINE
—W—	PROPOSED WATER LINE
⊙	PROPOSED WASTE WATER MANHOLE
→	WASTE WATER FLOW DIRECTION
⊕	PROPOSED FIRE HYDRANT W/ GATE VALVE
⊕	PROPOSED VALVE
⊕	PROPOSED SEWER METER
---	PROPOSED SEWER SERVICE LINE
---	PROPOSED STORM SEWER LINE
—OP—	EXISTING OVERHEAD POWER LINE
—W—	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
⊕	EXISTING POWER POLE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING WATER METER
⊕	EXISTING WASTE WATER MANHOLE



NOTE:  
1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.



**811**  
Know what's below.  
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=719.87 (NAVD '83)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST CORNER OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD '83)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD '83)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
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PH: 512.464.5377  
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07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
13084  
LICENSED PROFESSIONAL ENGINEER  
No. 13084

*Aljank E. Rico-Liu*

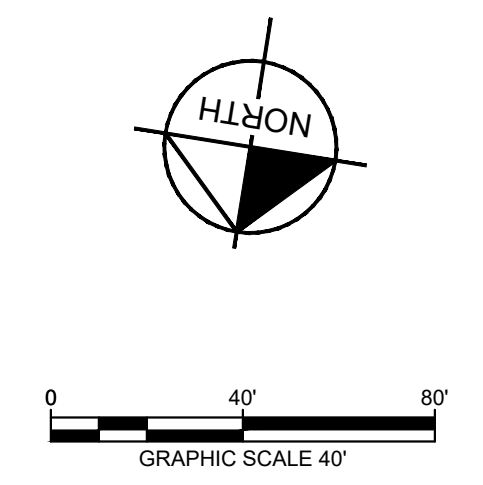
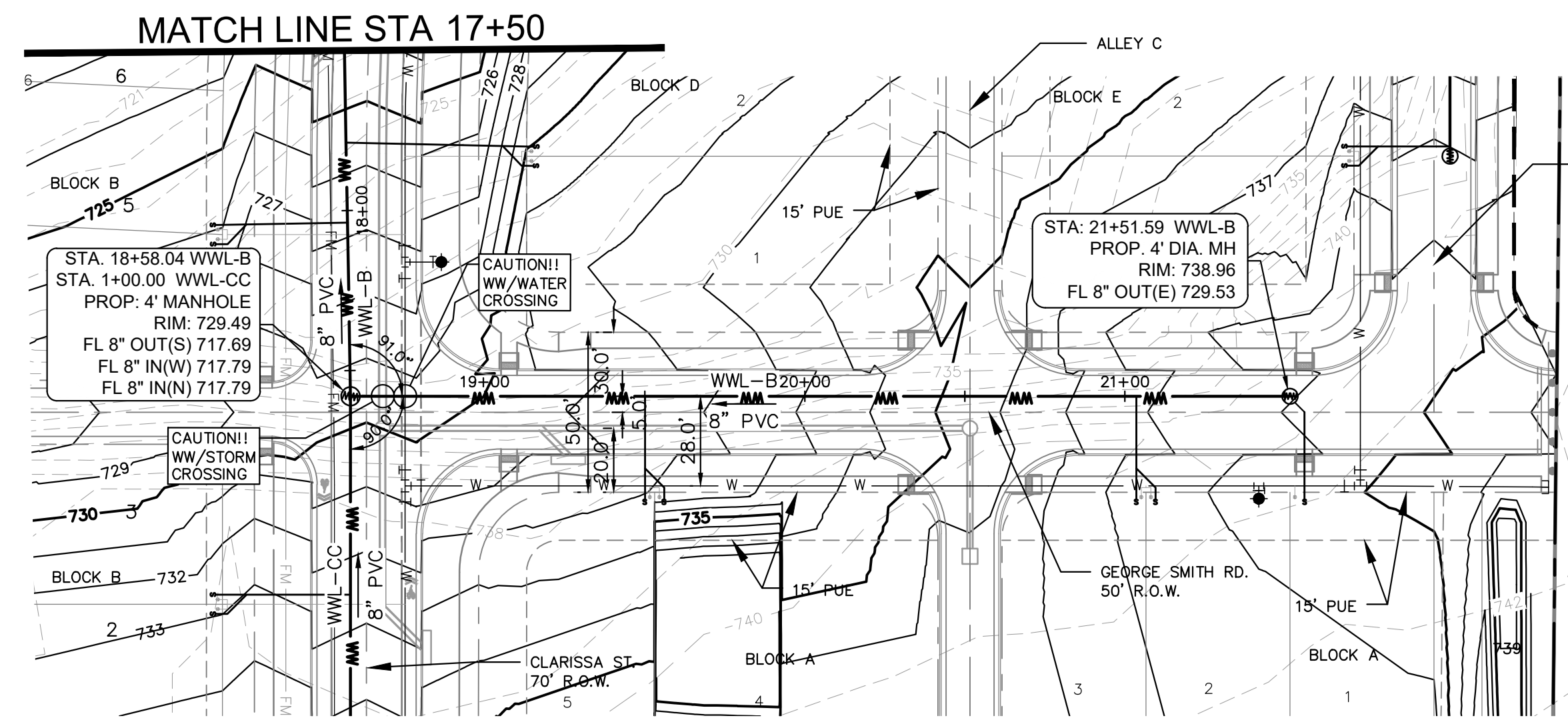
KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEC

**SANITARY SEWER -  
PLAN AND PROFILE -  
LINE B (2 OF 3)**

**THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS**

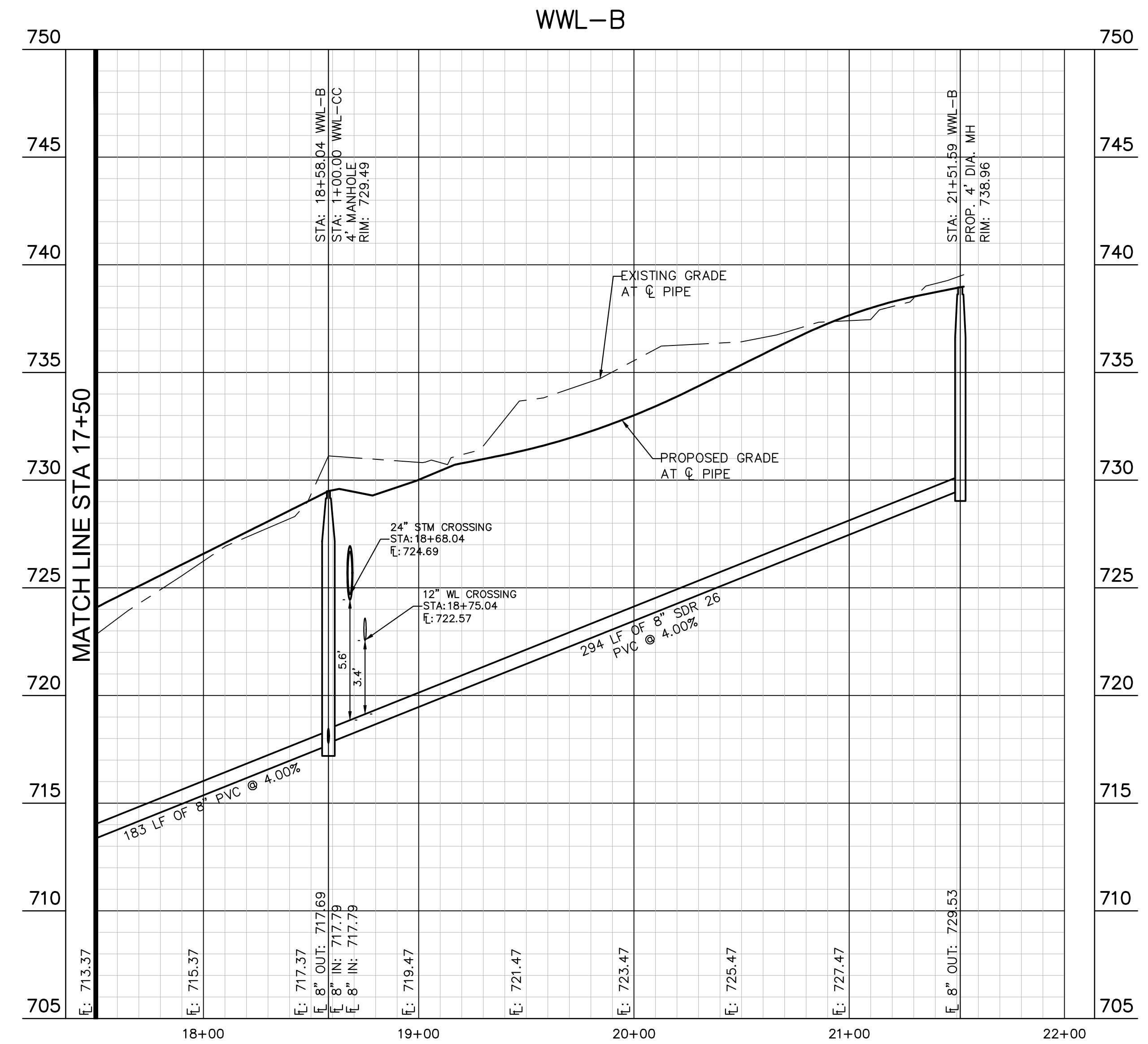
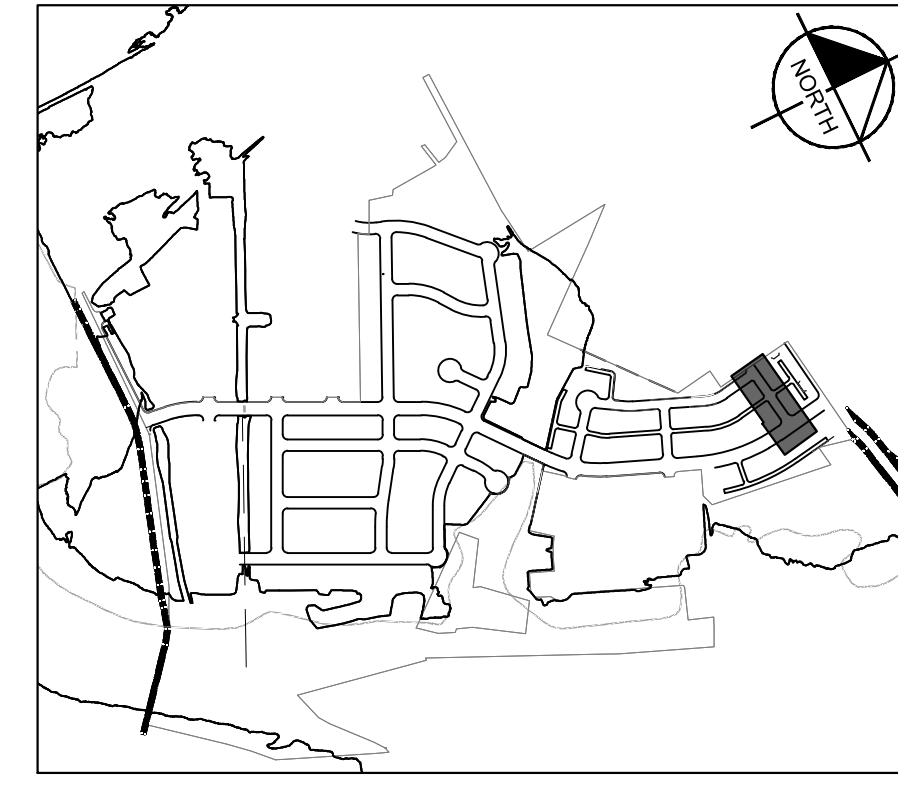
SHEET NUMBER  
**188**  
OF 226

Plotted by: Lee, David Date: July 17, 2023 08:32:08am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\C-Wastewater P&P - WWL B.dwg  
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**UTILITY LEGEND**

---	PROPERTY LINE
—WW—	PROPOSED WASTE WATER LINE
—W—	PROPOSED WATER LINE
⊙	PROPOSED WASTE WATER MANHOLE
→	WASTE WATER FLOW DIRECTION
⊕	PROPOSED FIRE HYDRANT W/ GATE VALVE
⊕	PROPOSED VALVE
⊕	PROPOSED WATER METER
---	PROPOSED SEWER SERVICE LINE
---	PROPOSED STORM SEWER LINE
—OHP—	EXISTING OVERHEAD POWER LINE
—W—	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
⊕	EXISTING POWER POLE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING WATER METER
⊙	EXISTING WASTE WATER MANHOLE



**811**

Know what's below.  
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

**BENCHMARKS**

BENCHMARKS

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=718.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON: N/A	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737	CASE MANAGER 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

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TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
15008  
LICENSED PROFESSIONAL ENGINEER  
Civil  
Aljank E. Rizo-Liu

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB, HM, MH, DM  
CHECKED BY: AEG

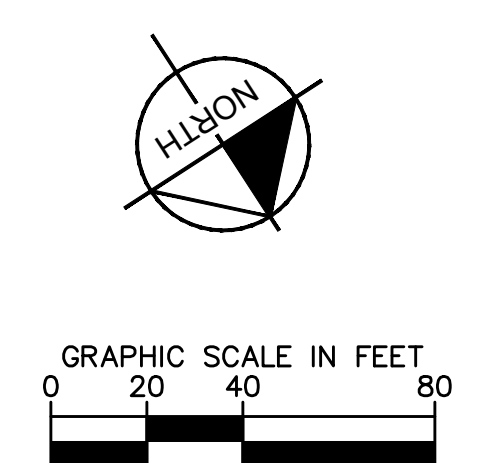
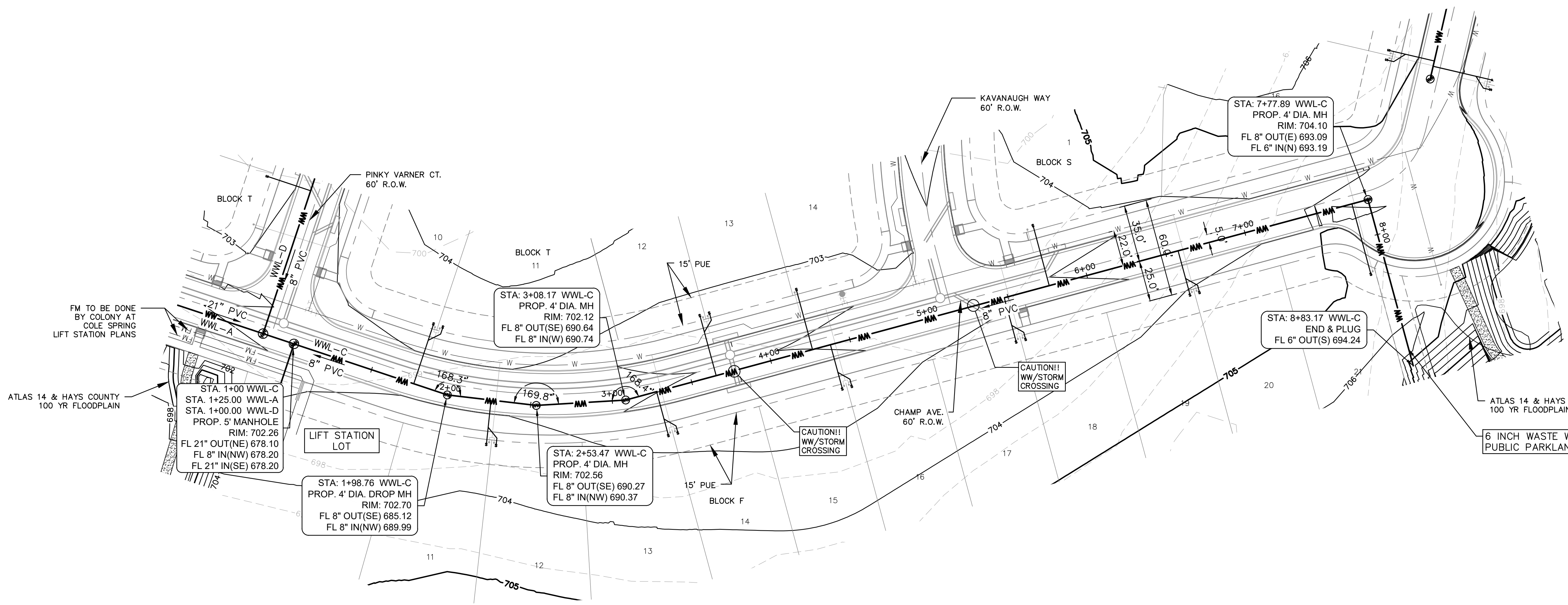
**SANITARY SEWER - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

**SANITARY SEWER PLAN AND PROFILE - LINE B (3 OF 3)**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

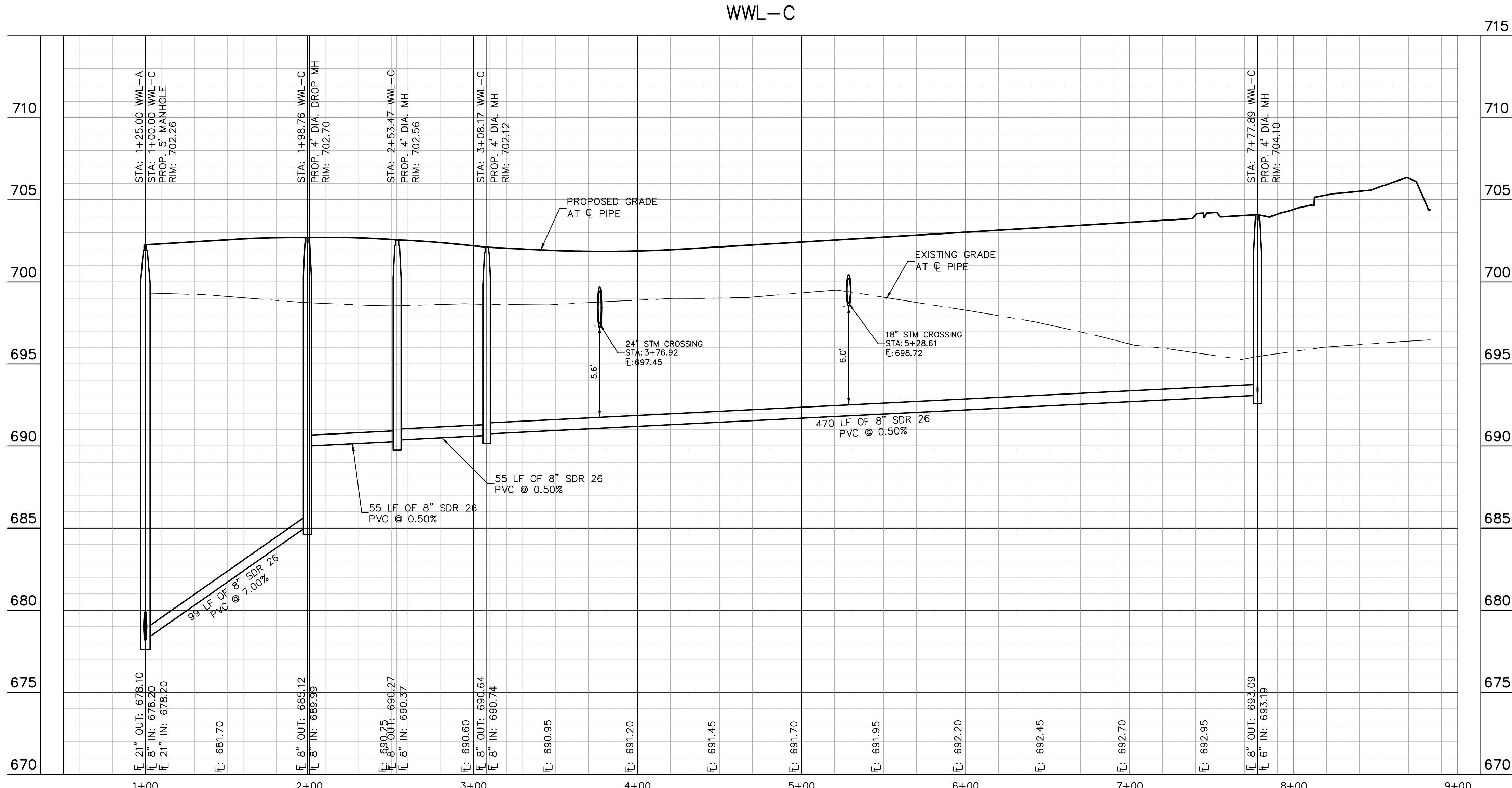
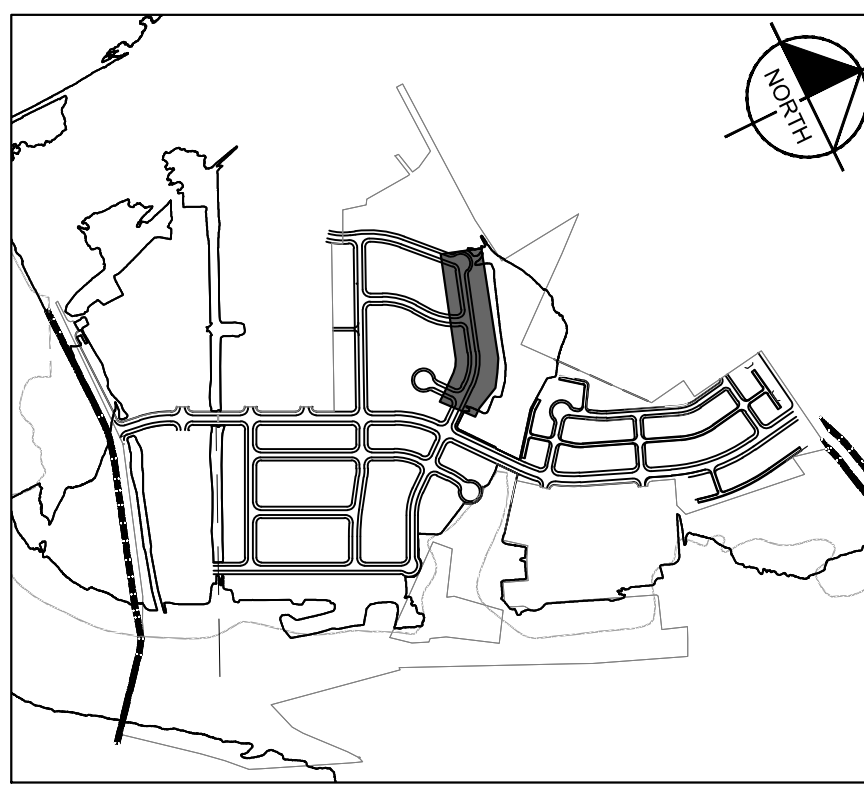
SHEET NUMBER  
**189**  
OF 226

Plotted by: Lee, David Date: July 17, 2023 08:33:58am File Path: K:\SAU\_Civil\067783115 Meritage Budd Assemblage\Cad\PlanSheets\C-WW-C\Ww-C-D.dwg  
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**UTILITY LEGEND**

- PROPERTY LINE
- WW — PROPOSED WASTE WATER LINE
- W — PROPOSED WATER LINE
- ⊙ PROPOSED WASTE WATER MANHOLE
- WASTE WATER FLOW DIRECTION
- ⊕ PROPOSED FIRE HYDRANT W/ GATE VALVE
- | PROPOSED VALVE
- ⊕ PROPOSED WATER METER
- PROPOSED SEWER SERVICE LINE
- PROPOSED STORM SEWER LINE
- ⊕/⊖ EXISTING OVERHEAD POWER LINE
- W — EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- ⊕/⊖ EXISTING POWER POLE
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER METER
- ⊙ EXISTING WASTE WATER MANHOLE



**811**  
 Know what's below.  
 Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

BENCHMARKS

CONSTRUCTION PLAN APPROVAL SHEET OF 226  
 FILE NUMBER APPLICATION DATE  
 APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A  
 Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

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 TBE Firm No. 928

07/17/2023  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 133098  
 Alejandro E. Granados-Rico

KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

**SANITARY SEWER PLAN AND PROFILE - LINE C**

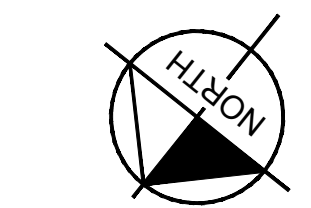
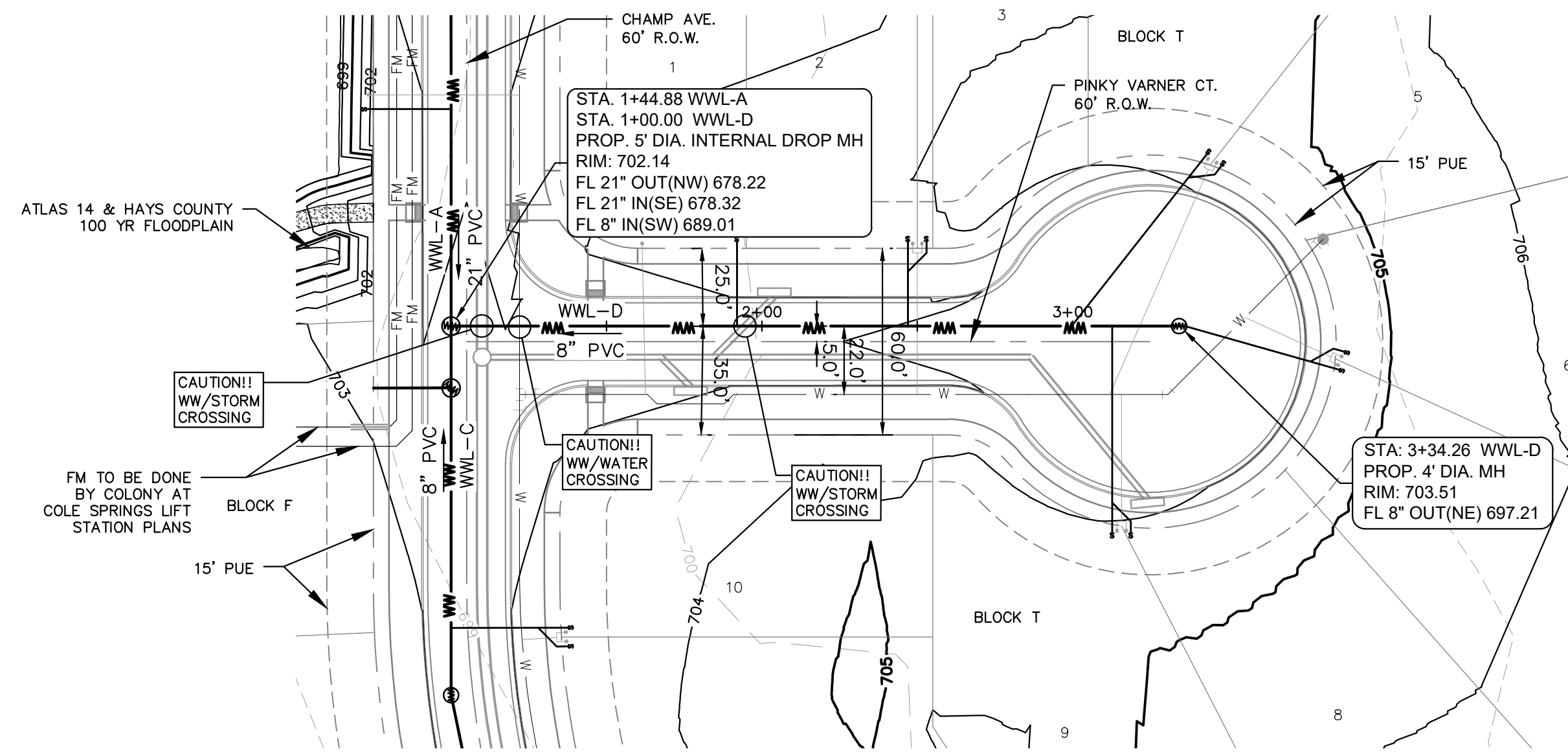
**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
 190  
 OF 226

REVISIONS

NO. \_\_\_\_\_ DATE \_\_\_\_\_ BY \_\_\_\_\_

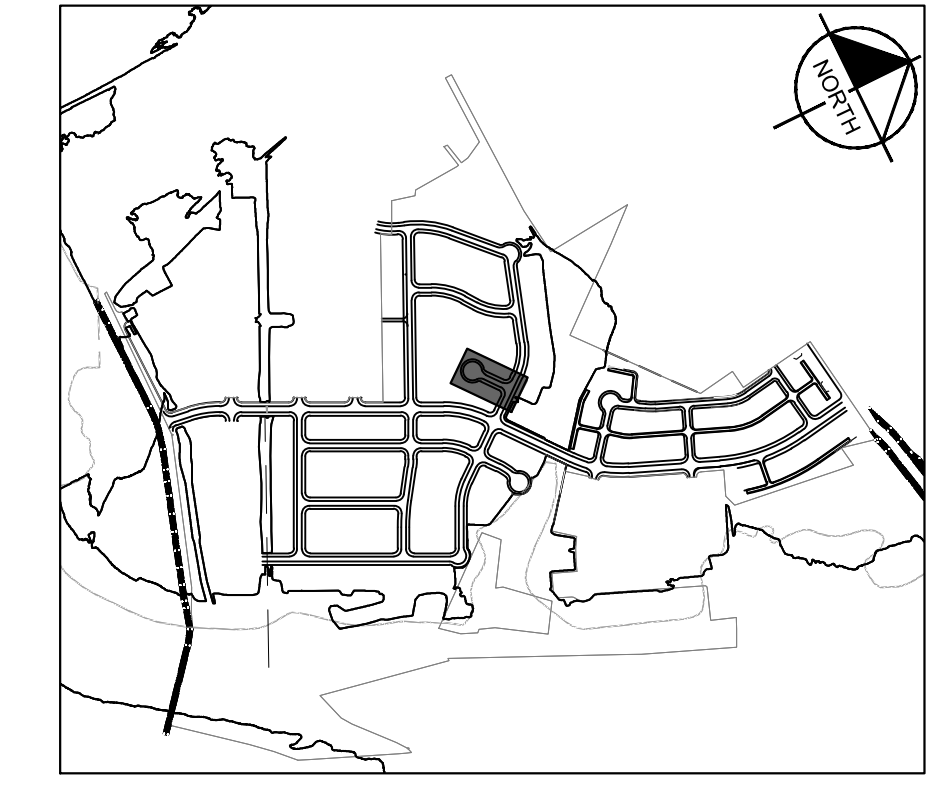
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0 40' 80'  
 GRAPHIC SCALE 40'

**UTILITY LEGEND**

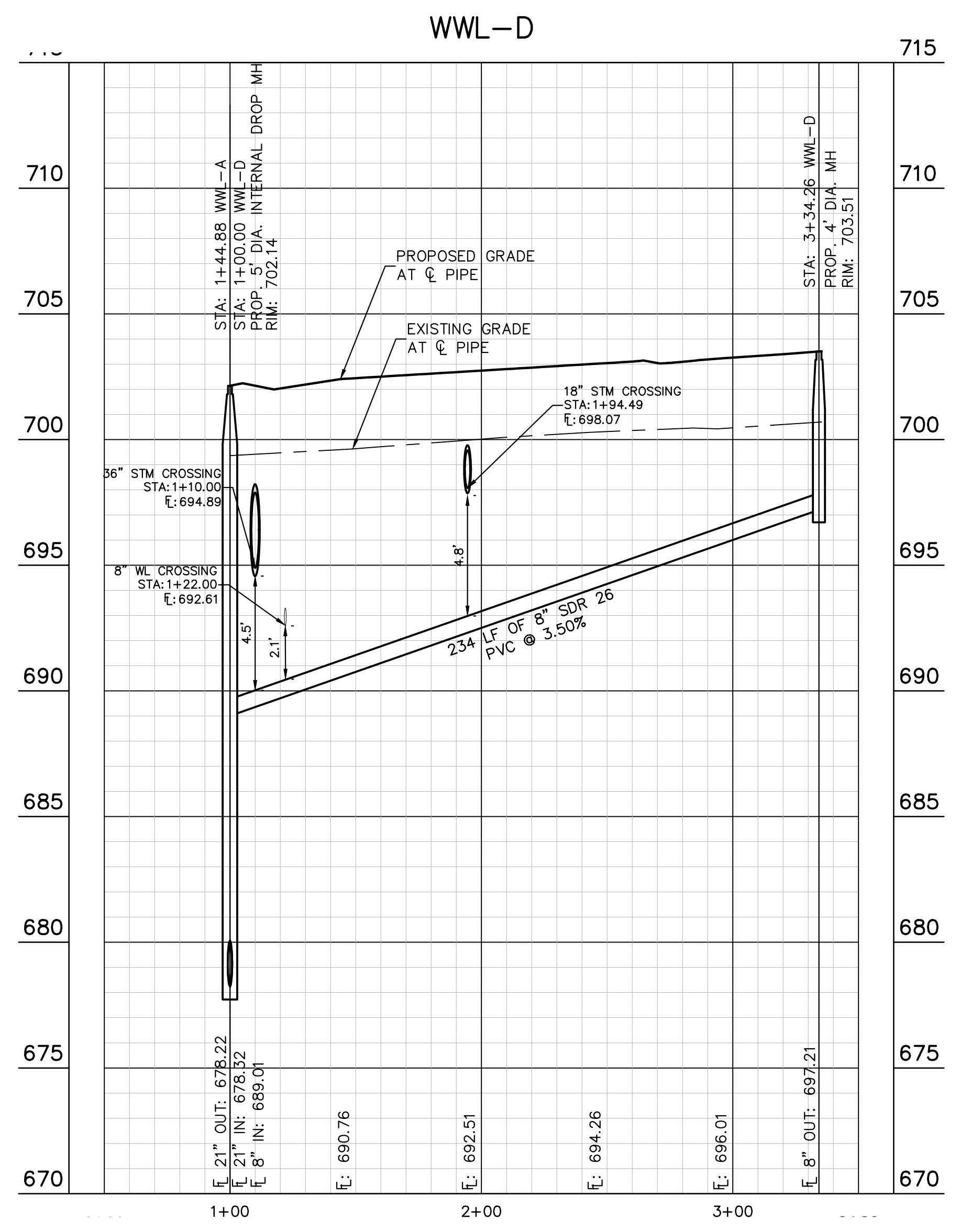
---	PROPERTY LINE
—WW—	PROPOSED WASTE WATER LINE
—W—	PROPOSED WATER LINE
⊙	PROPOSED WASTE WATER MANHOLE
→	WASTE WATER FLOW DIRECTION
⊕	PROPOSED FIRE HYDRANT W/ GATE VALVE
⊕	PROPOSED VALVE
⊕	PROPOSED WATER METER
---	PROPOSED SEWER SERVICE LINE
---	PROPOSED STORM SERVICE LINE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
⊕	EXISTING POWER POLE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING WATER METER
⊕	EXISTING WASTE WATER MANHOLE



**KEY MAP**

SCALE: 1:1000

NOTE:  
 1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.



PROFILE SCALE  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL



**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**

BM #100	PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV = 697.81 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV = 712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLEBROOK COLUMB ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226  
 FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A  
 Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

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07/17/2023  
  
 Alejandro E. Granados-Rico  
 Licensed Professional Engineer  
 State of Texas  
 License No. 15094

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB/DM  
 DRAWN BY: WB/HM/MH/LDM  
 CHECKED BY: AEG

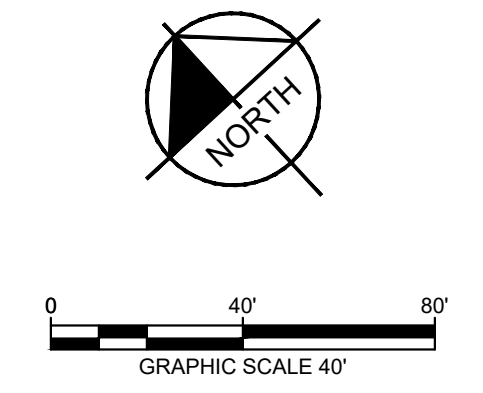
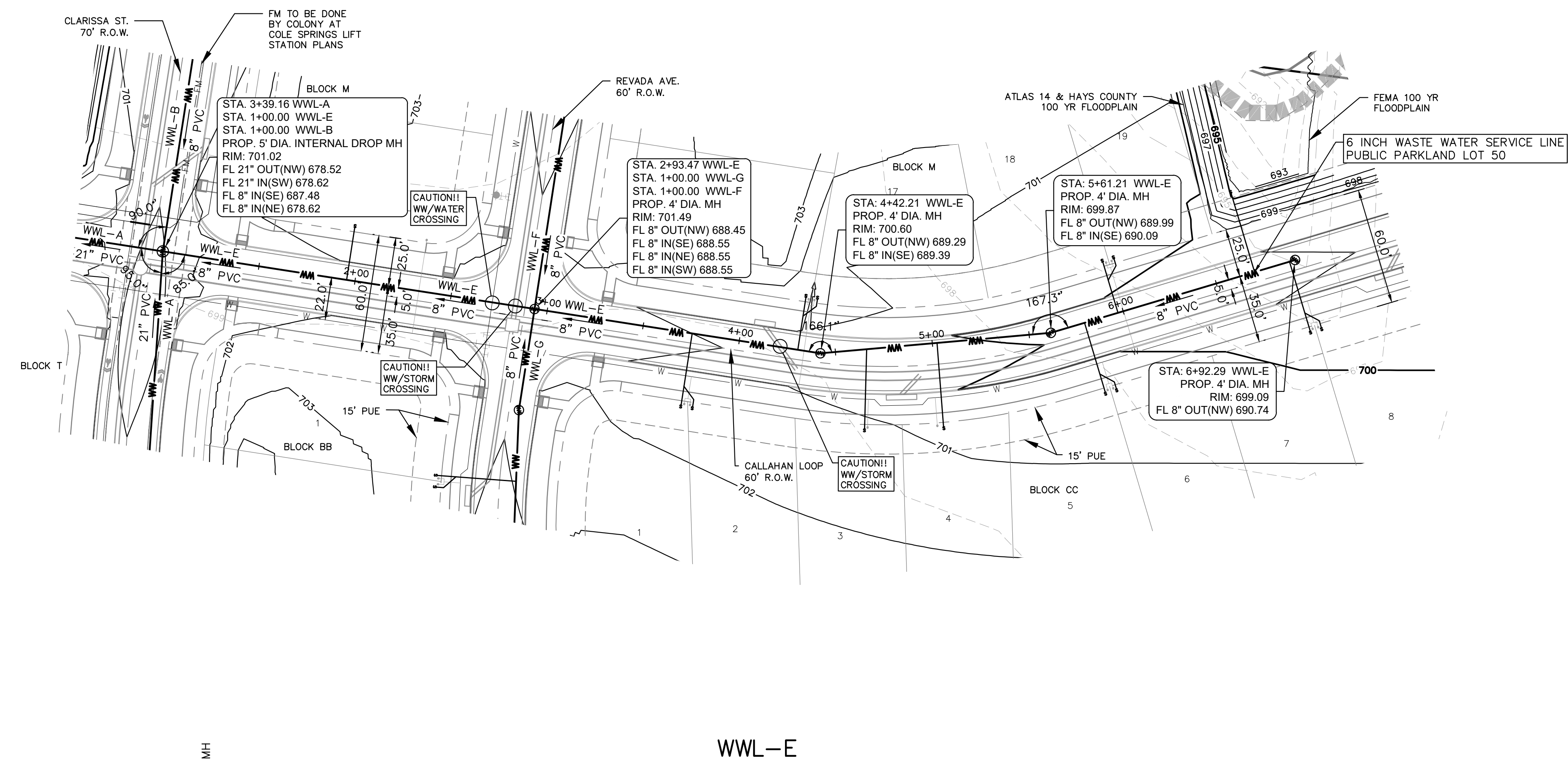
**SANITARY SEWER PLAN AND PROFILE - LINE D**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**191**  
 OF 226

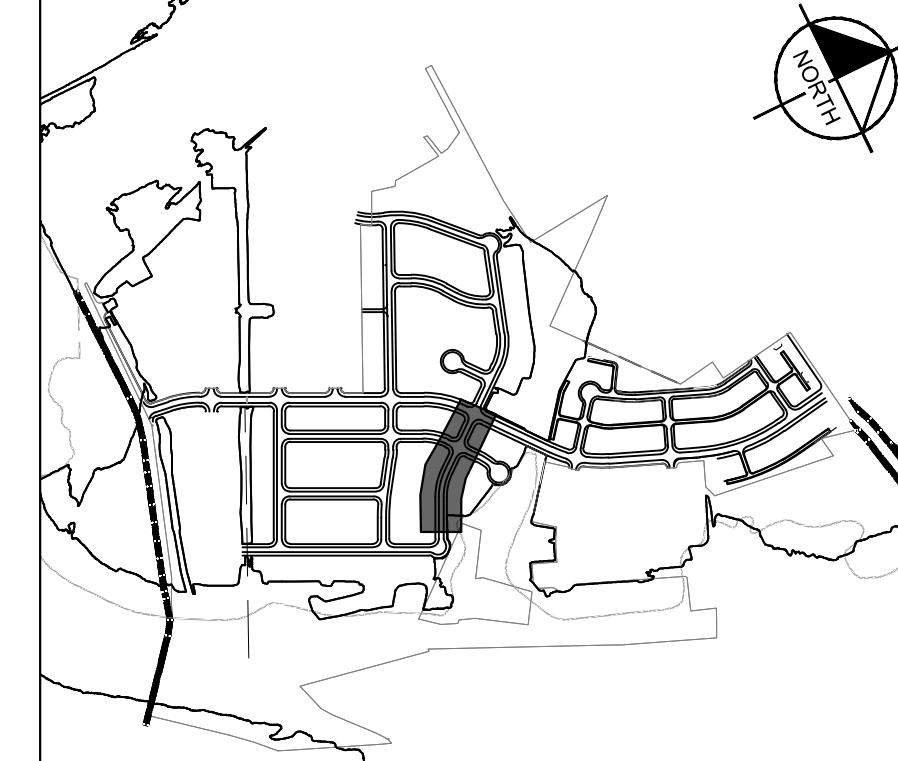
No.	REVISIONS	DATE	BY

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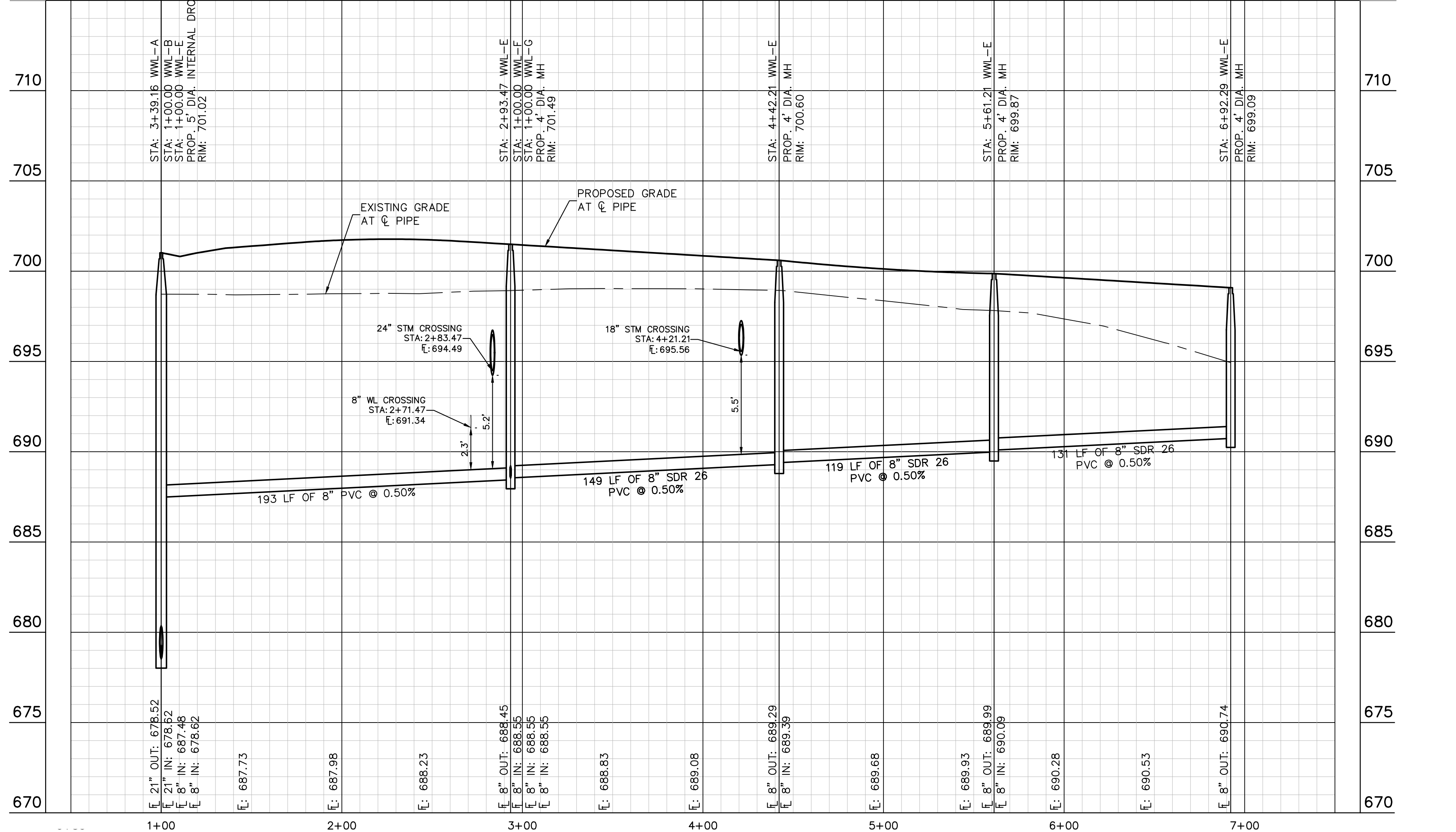
**UTILITY LEGEND**

	PROPERTY LINE
	PROPOSED WASTE WATER LINE
	PROPOSED WATER LINE
	PROPOSED WASTE WATER MANHOLE
	WASTE WATER FLOW DIRECTION
	PROPOSED FIRE HYDRANT W/ GATE VALVE
	PROPOSED VALVE
	PROPOSED WATER METER
	PROPOSED SEWER SERVICE LINE
	PROPOSED STORM SEWER LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING WASTE WATER MANHOLE



**KEY MAP**  
SCALE: 1:1000

NOTE:  
1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.



**811**  
Know what's below. Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

**BENCHMARKS**

BM #100 - 1/2" NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 77' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=712.04 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUB STATION BELOW ON THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 - 1/2" NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=712.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: APPLICATION DATE: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE. EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: ZONING: N/A

Rev. 1: Correction 1  
Rev. 2: Correction 2  
Rev. 3: Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

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TBE Firm No. 928

07/17/2023

ALEJANDRO E. GRANADOS RICO  
LICENSED PROFESSIONAL ENGINEER  
No. 13308

Aljank E. Rizo-Lin

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB-DM  
DRAWN BY: WB-HM, MH-DM  
CHECKED BY: AEC

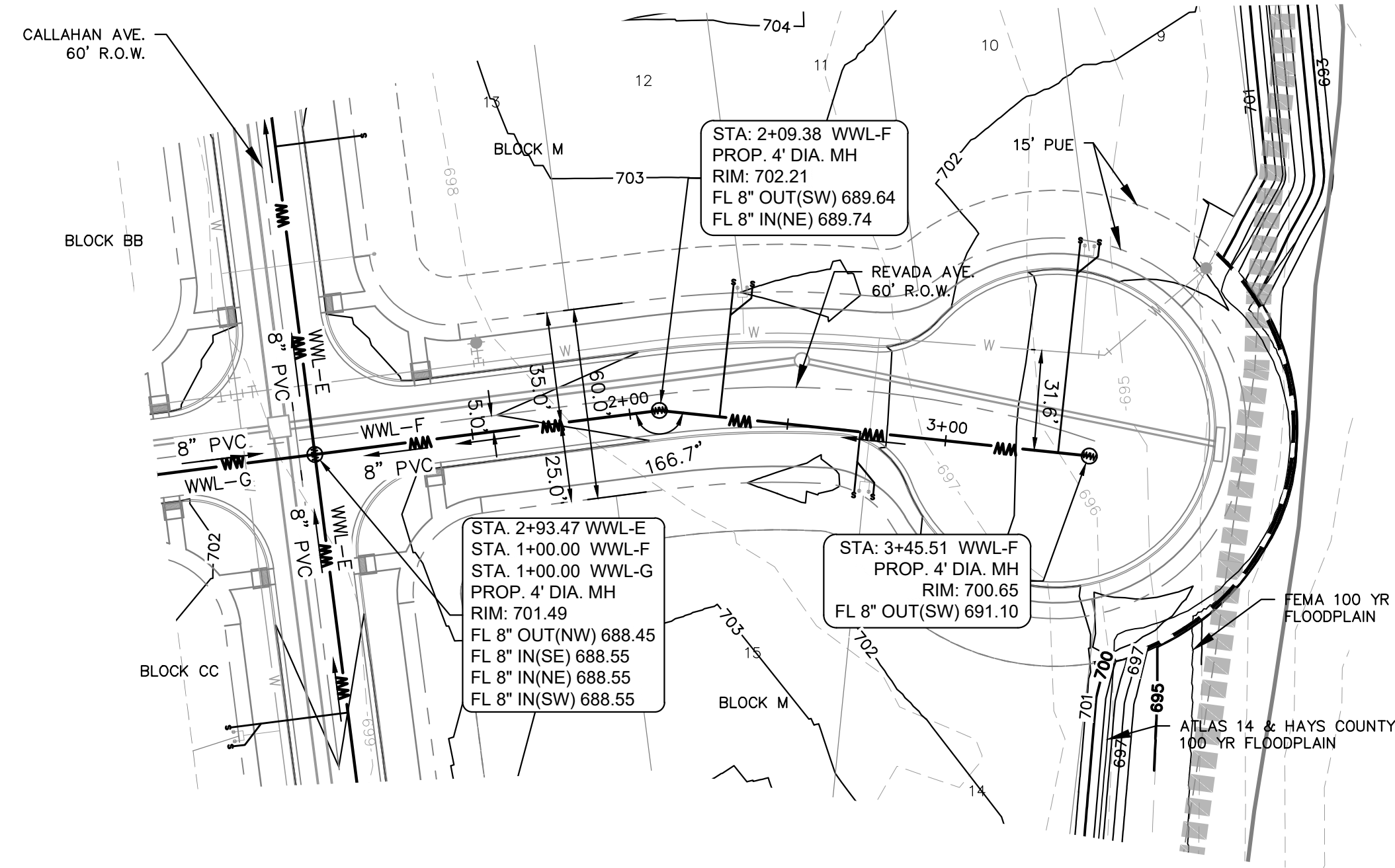
**SANITARY SEWER PLAN AND PROFILE - LINE E**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

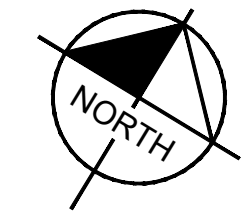
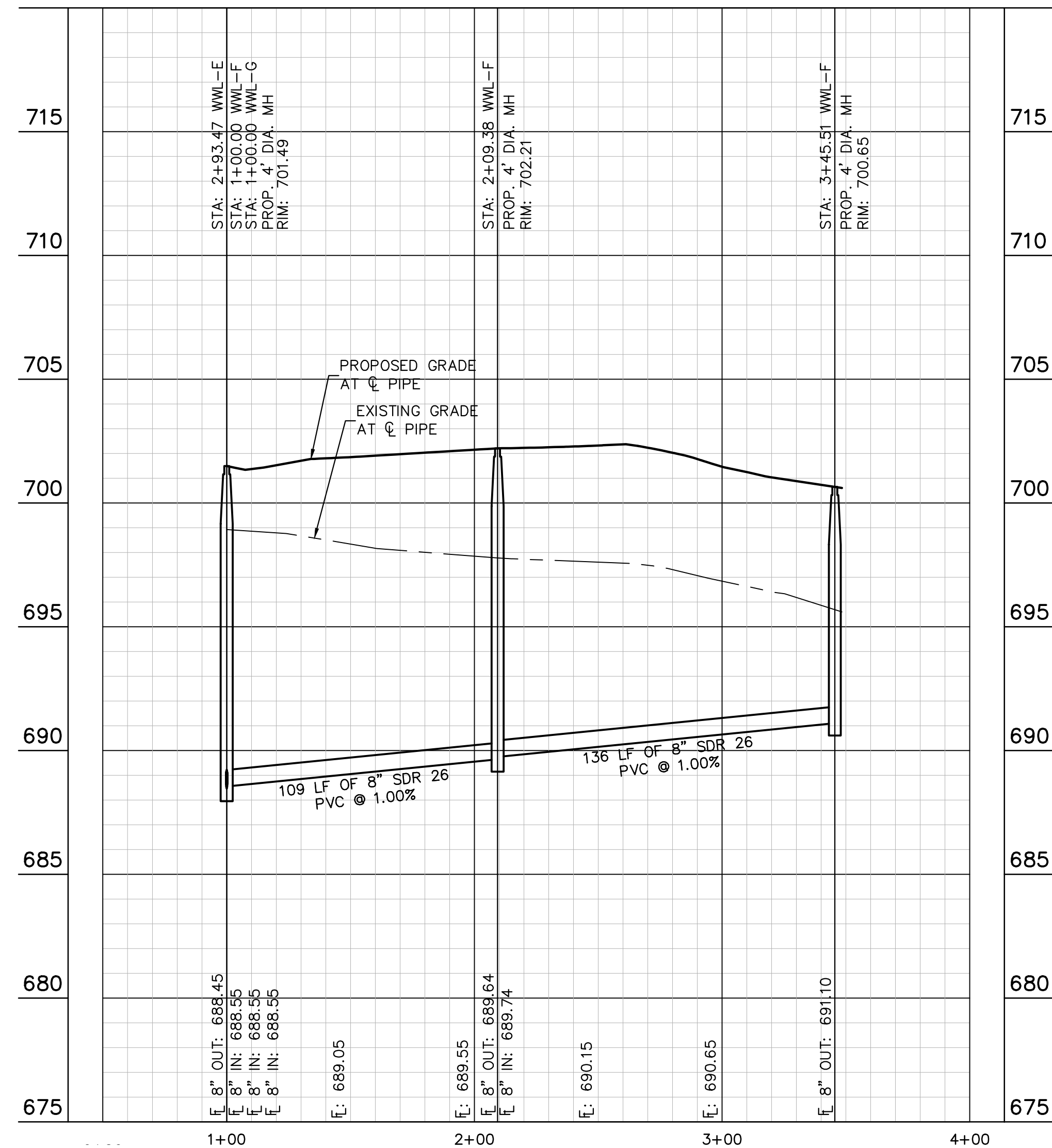
SHEET NUMBER: 192  
OF 226

REVISIONS: DATE BY

Plotted by: Lee, David Date: July 17, 2023 08:36:55am File Path: K:\SAU\_Civil\067783115 Meritage Budo Assemblage\Cad\PlanSheets\C-Wastewater P&P - WWL-F, G, H.dwg  
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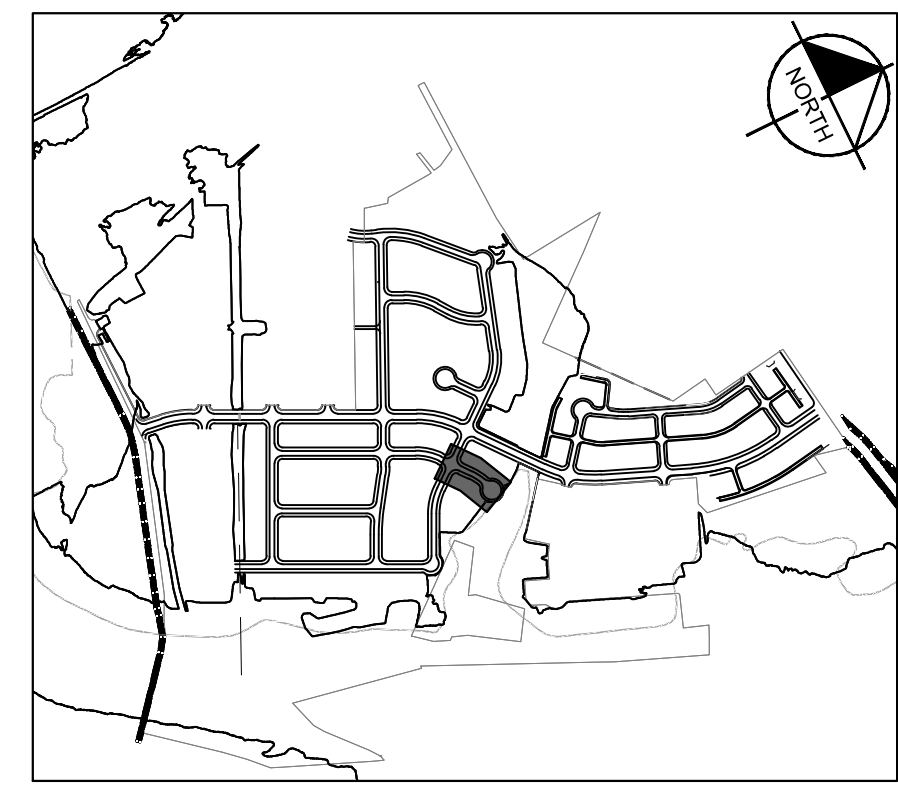
WWL-F



GRAPHIC SCALE 40'

UTILITY LEGEND

---	PROPERTY LINE
---	PROPOSED WASTE WATER LINE
---	PROPOSED WATER LINE
⊙	PROPOSED WASTE WATER MANHOLE
→	WASTE WATER FLOW DIRECTION
⊕	PROPOSED FIRE HYDRANT W/ GATE VALVE
⊕	PROPOSED VALVE
⊕	PROPOSED WATER METER
---	PROPOSED SEWER SERVICE LINE
---	PROPOSED STORM SEWER LINE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
⊕	EXISTING POWER POLE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING WATER METER
⊕	EXISTING WASTE WATER MANHOLE



KEY MAP

SCALE: 1:1000

NOTE:  
1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.



Know what's below. Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

PROFILE SCALE  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

BENCHMARKS

BENCHMARKS  
 BM #100 PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=702.87 (NAVD 88)  
 BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THIRSE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)  
 BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226
FILE NUMBER APPLICATION DATE
APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021
A. KENNEDY
City Engineer, City of Buda
RELEASED FOR GENERAL COMPLIANCE: ZONING N/A
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.
PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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 BY: WWW.KIMLEY-HORN.COM  
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 TBPE Firm No. 928

07/17/2023  
 KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

SANITARY SEWER PLAN AND PROFILE - LINE F

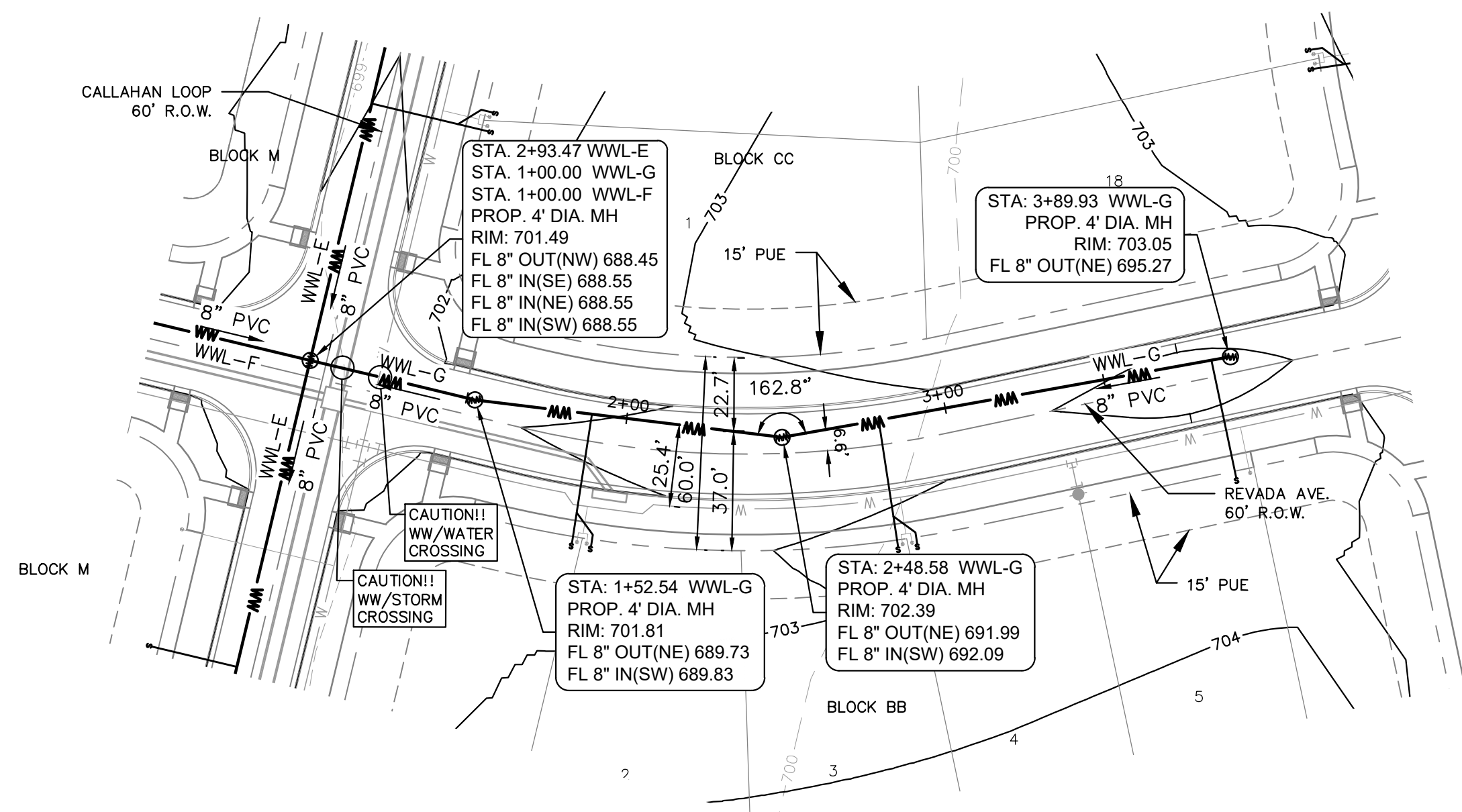
THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER 193  
 OF 226

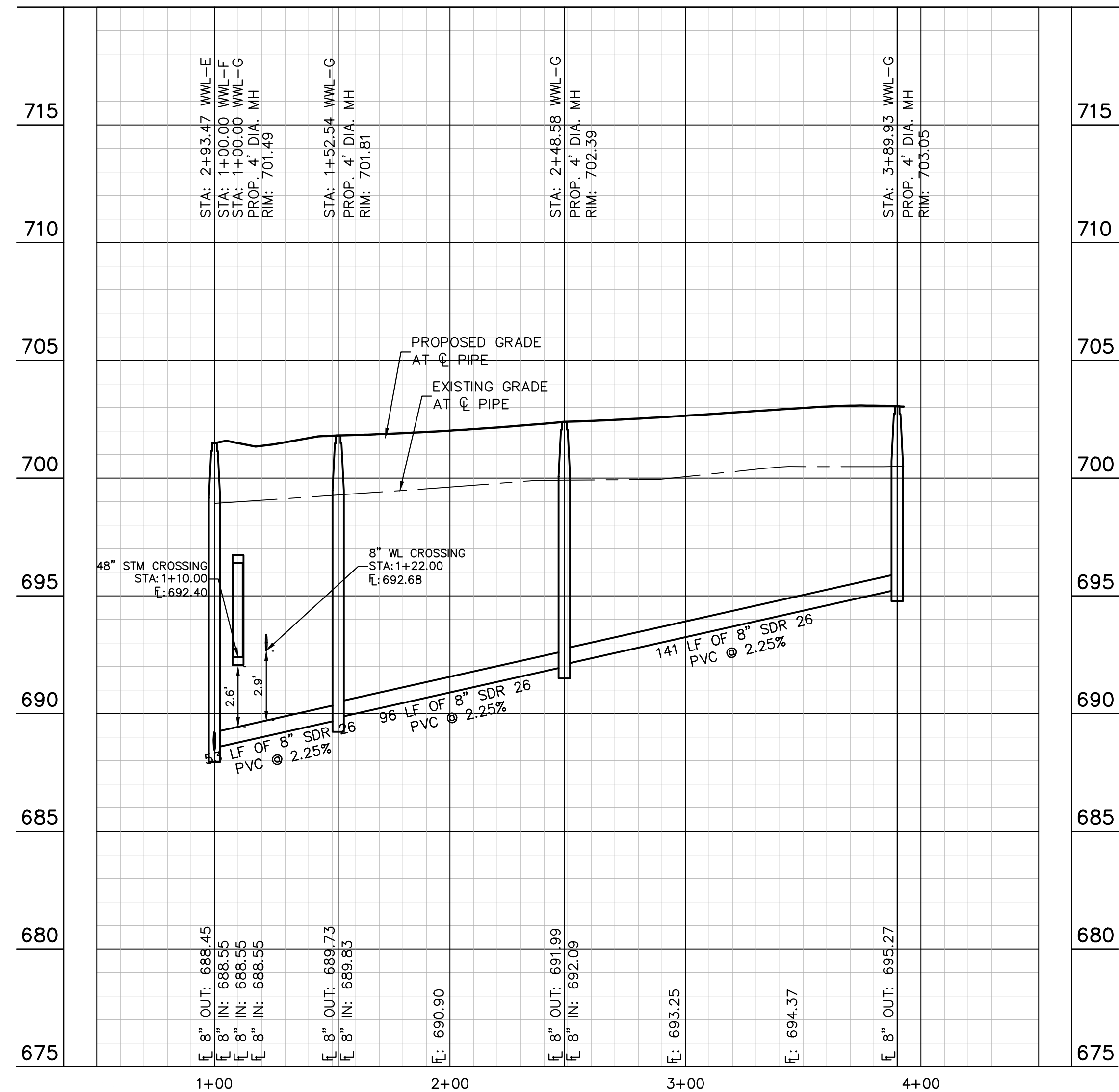
No.	REVISIONS	DATE	BY



Plotted by: Lee, David Date: July 17, 2023 08:37:29am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\C-WW-Water P&P - WWL-F, G, H.dwg  
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WWL-G



**UTILITY LEGEND**

- PROPERTY LINE
- PROPOSED WASTE WATER LINE
- PROPOSED WATER LINE
- PROPOSED WASTE WATER MANHOLE
- WASTE WATER FLOW DIRECTION
- PROPOSED FIRE HYDRANT W/ GATE VALVE
- PROPOSED VALVE
- PROPOSED WATER METER
- PROPOSED SEWER SERVICE LINE
- PROPOSED STORM SEWER LINE
- EXISTING OVERHEAD POWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WASTE WATER MANHOLE



**KEY MAP**  
 SCALE: 1:1000

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**811**  
 Know what's below. Call before you dig.

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**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 774 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=695.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTHWEST SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

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 TBE Firm No. 928

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

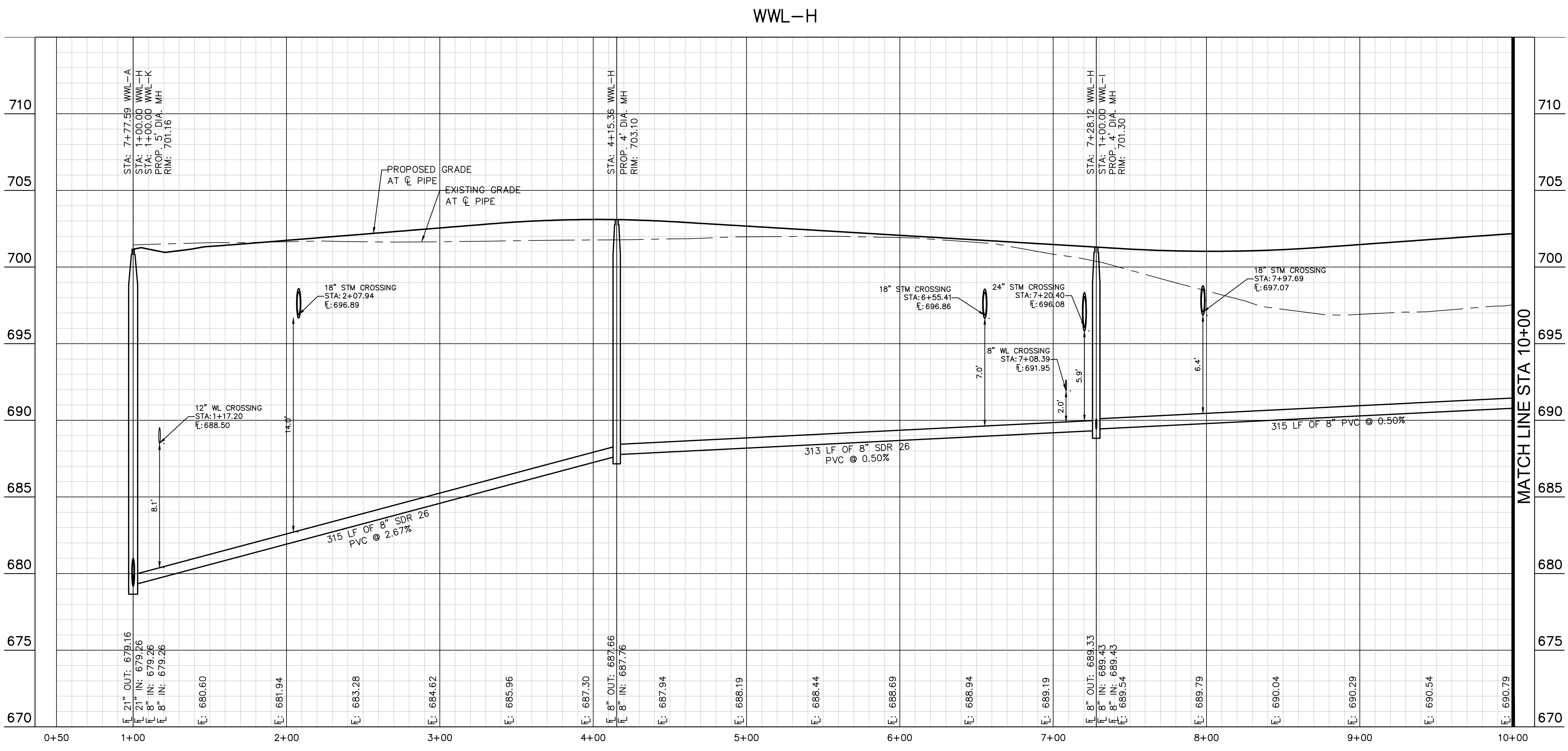
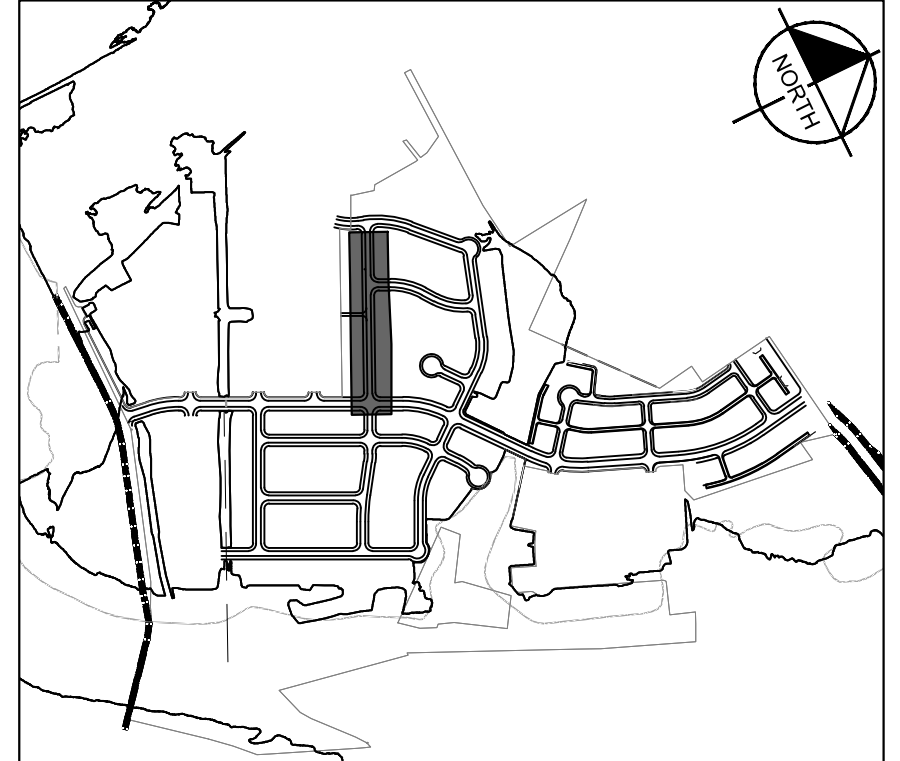
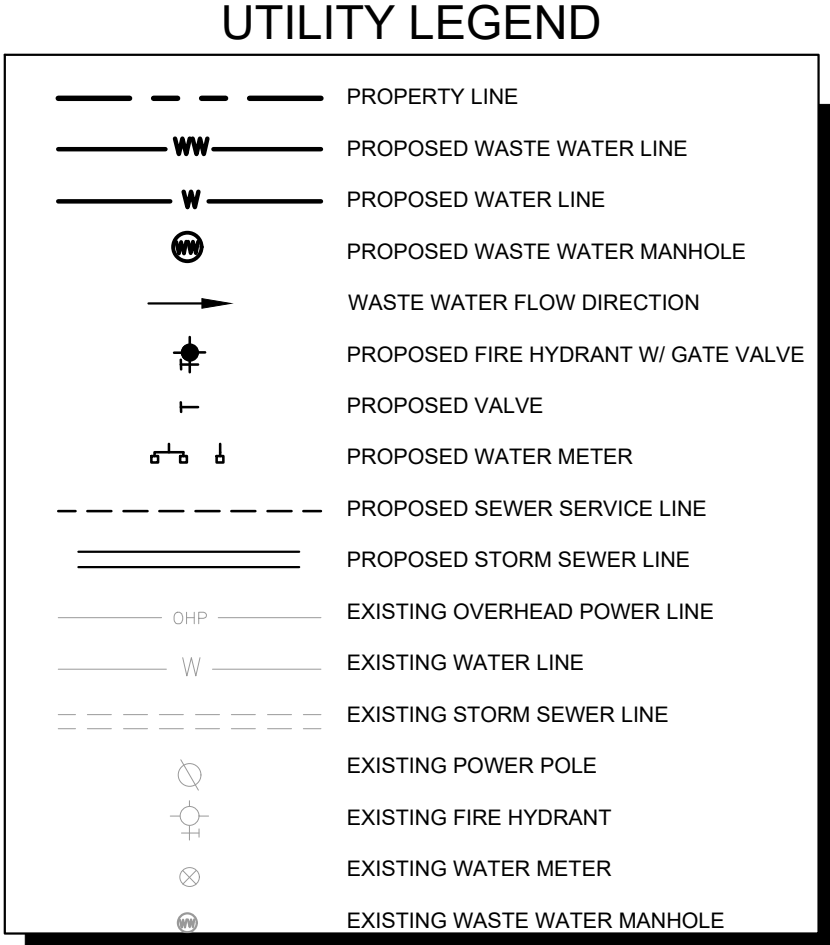
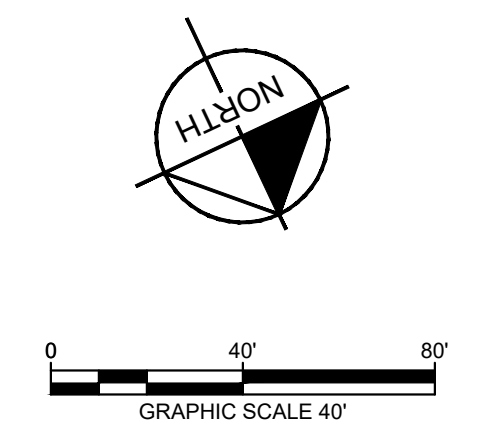
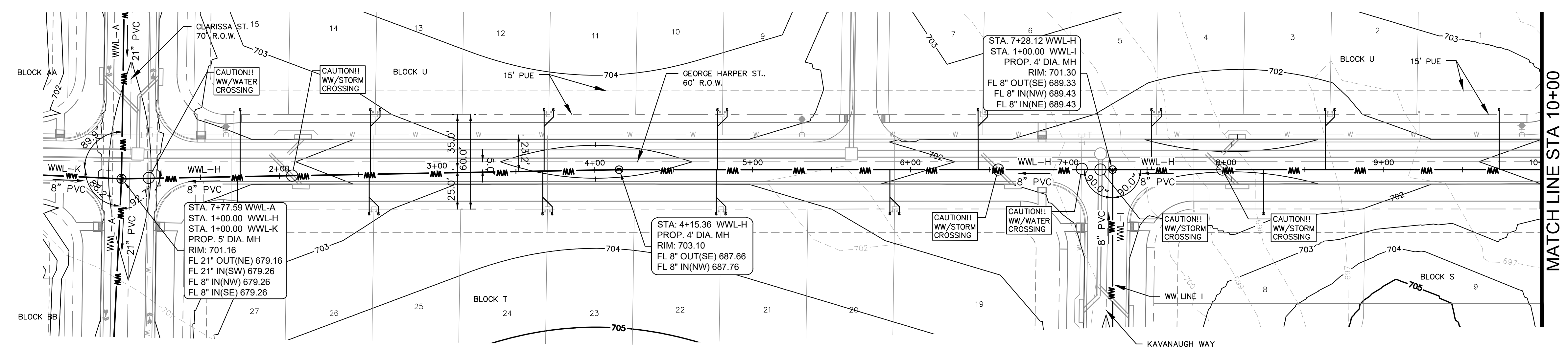
**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

**SANITARY SEWER PLAN AND PROFILE - LINE G**

SHEET NUMBER **194**  
 OF 226

REVISIONS  
 No. \_\_\_\_\_ DATE \_\_\_\_\_

Plotted By: Lee, David Date: July 17, 2023 08:38:03am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblies\067783115 Sanitary Sewer P&P - WWL F. C. H.dwg  
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NOTE:  
1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.

**811**  
Know what's below.  
Call before you dig.

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

**BENCHMARKS**

BM #102 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 967 702 NORTH OF THE COLE SPRINGS ROAD PAVEMENT OF COLE SPRINGS ROAD (ELEV -685.51 (NAVD 88))

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 970 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRICAL LINES (ELEV -712.04' (NAVD 88))

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF OLD BLACK COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE (ELEV -732.98' (NAVD 88))

CONSTRUCTION PLAN APPROVAL SHEET	OF 226
FILE NUMBER:	APPLICATION DATE:
APPROVED BY COMMISSION ON: N/A	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.
EXPIRATION DATE 2021-737	CASE MANAGER 08/16/2021
A. KENNEDY	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE: ZONING N/A	
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code curves at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.	
PERMIT NUMBER: 2021-737	

**Kimley-Horn**  
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TYPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
30084  
LICENSED PROFESSIONAL ENGINEER  
Alfredo E. Granados Rico

KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
BY: WB, WB, WM, MH, DM  
CHECKED BY: AEC

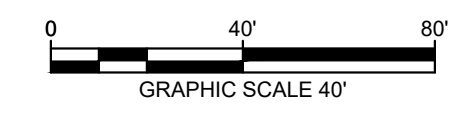
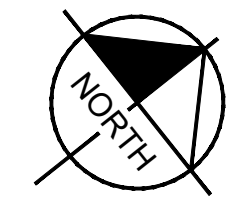
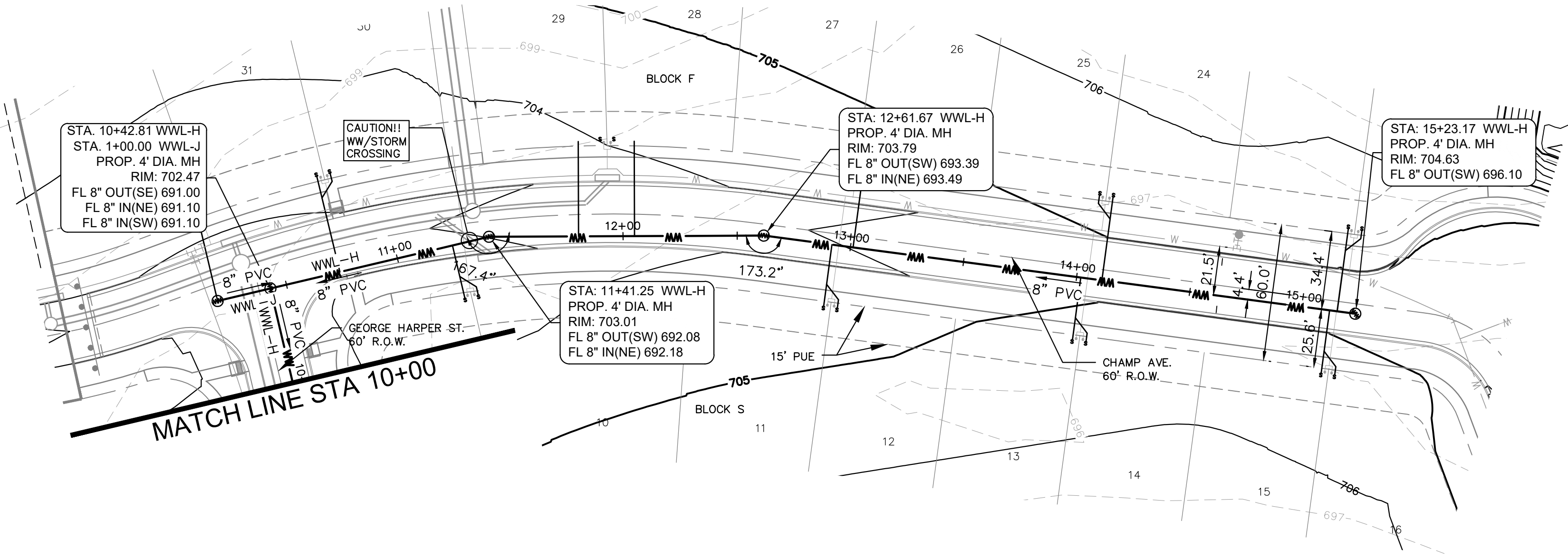
**SANITARY SEWER - PLAN AND PROFILE - LINE H (1 OF 2)**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER  
**195**  
OF 226

NO.	REVISIONS	DATE	BY

Plotted by: Lee, David Date: July 17, 2023 08:38:36am File Path: K:\SAU\_Civil\067783115 Meritage Budo Assemblage\Cad\PlanSheets\C-Wastewater P&P - WWL-H.dwg  
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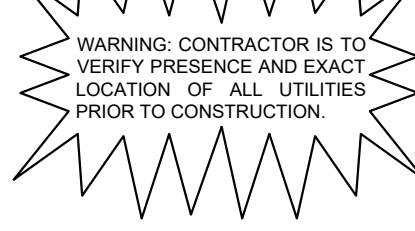
**UTILITY LEGEND**

	PROPERTY LINE
	PROPOSED WASTE WATER LINE
	PROPOSED WATER LINE
	PROPOSED WASTE WATER MANHOLE
	WASTE WATER FLOW DIRECTION
	PROPOSED FIRE HYDRANT W/ GATE VALVE
	PROPOSED VALVE
	PROPOSED WATER METER
	PROPOSED SEWER SERVICE LINE
	PROPOSED STORM SEWER LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING WASTE WATER MANHOLE



**NOTE:**  
1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.

**PROFILE SCALE**  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

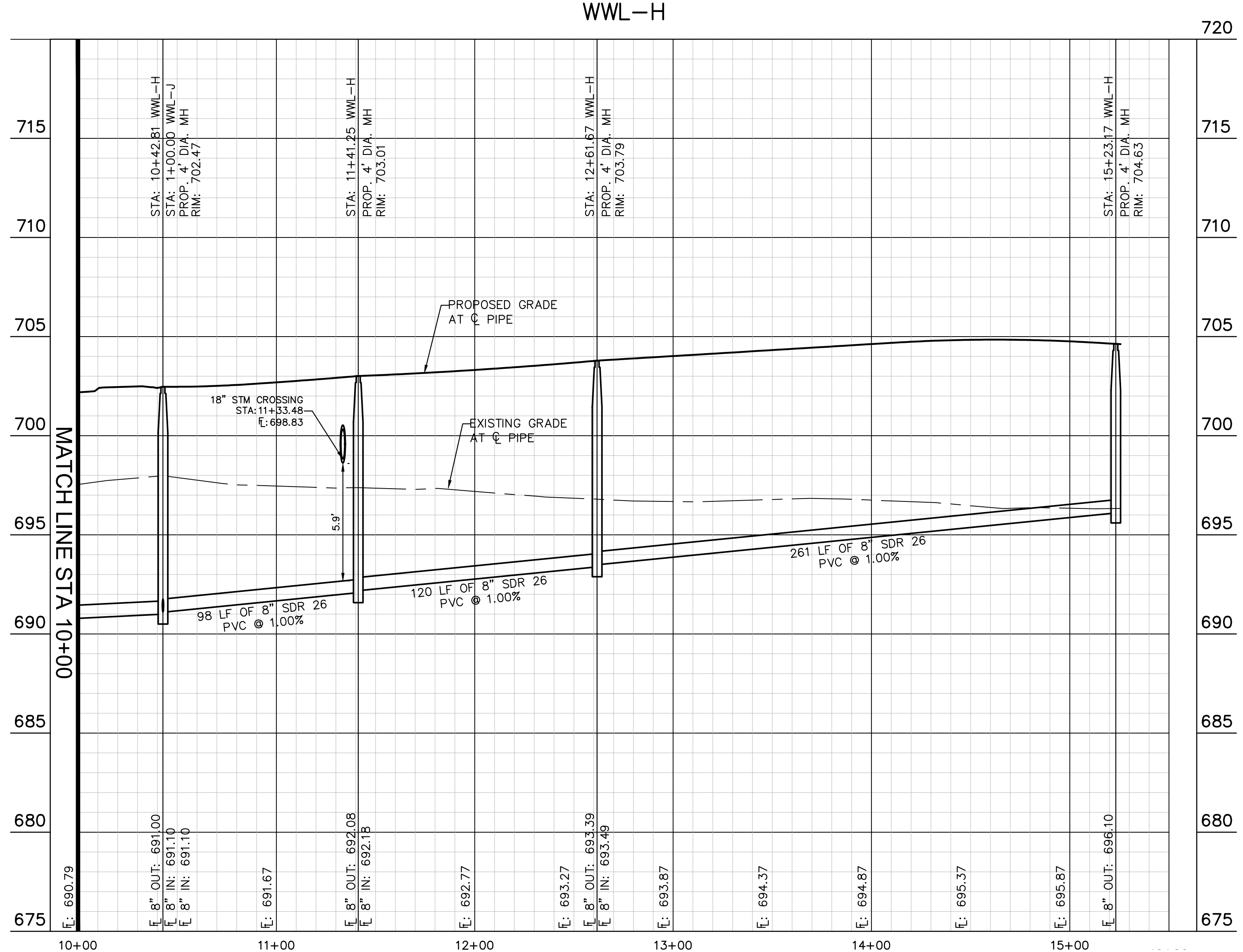


**BENCHMARKS**

BM #102 1/4" PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 79' NORTHERN OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV.=705.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUBSTATION BELOW ON THREE OVERHEAD ELECTRIC LINES ELEV.=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV.=722.56 (NAVD 88)



CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley & Horn**

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AUSTIN, TX 78745  
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PH: 512.836.4437

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TBPE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
130908  
LICENSED PROFESSIONAL ENGINEER

*Aljank E. Rico-Liu*

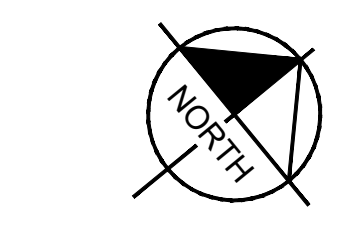
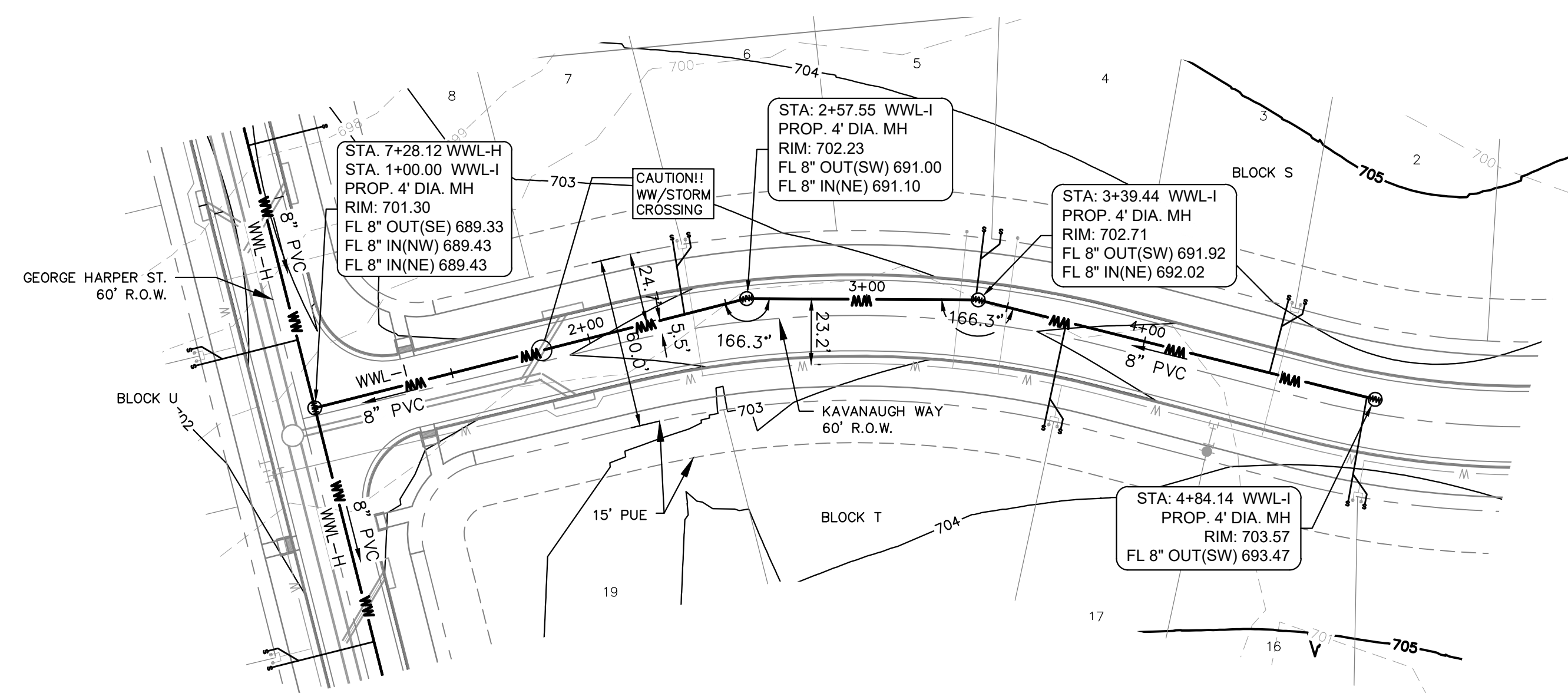
KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB-DM  
DRAWN BY: WB-HM, MH-DM  
CHECKED BY: AEG

**SANITARY SEWER - PLAN AND PROFILE - LINE H (2 OF 2)**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER  
**196**  
OF 226

Plotted by: Lee, David Date: July 17, 2023 08:40:16am File Path: K:\SAL\_Civil\067783115 Heritage Budd Assemblage\Cad\PlanSheets\C-Wastewater P&P - WWL-1, J, K.dwg  
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0 40' 80'  
 GRAPHIC SCALE 40'

**UTILITY LEGEND**

	PROPERTY LINE
	PROPOSED WASTE WATER LINE
	PROPOSED WATER LINE
	PROPOSED WASTE WATER MANHOLE
	WASTE WATER FLOW DIRECTION
	PROPOSED FIRE HYDRANT W/ GATE VALVE
	PROPOSED VALVE
	PROPOSED WATER METER
	PROPOSED SEWER SERVICE LINE
	PROPOSED STORM SEWER LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING WASTE WATER MANHOLE



**KEY MAP**

SCALE: 1:1000

NOTE:  
 1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.

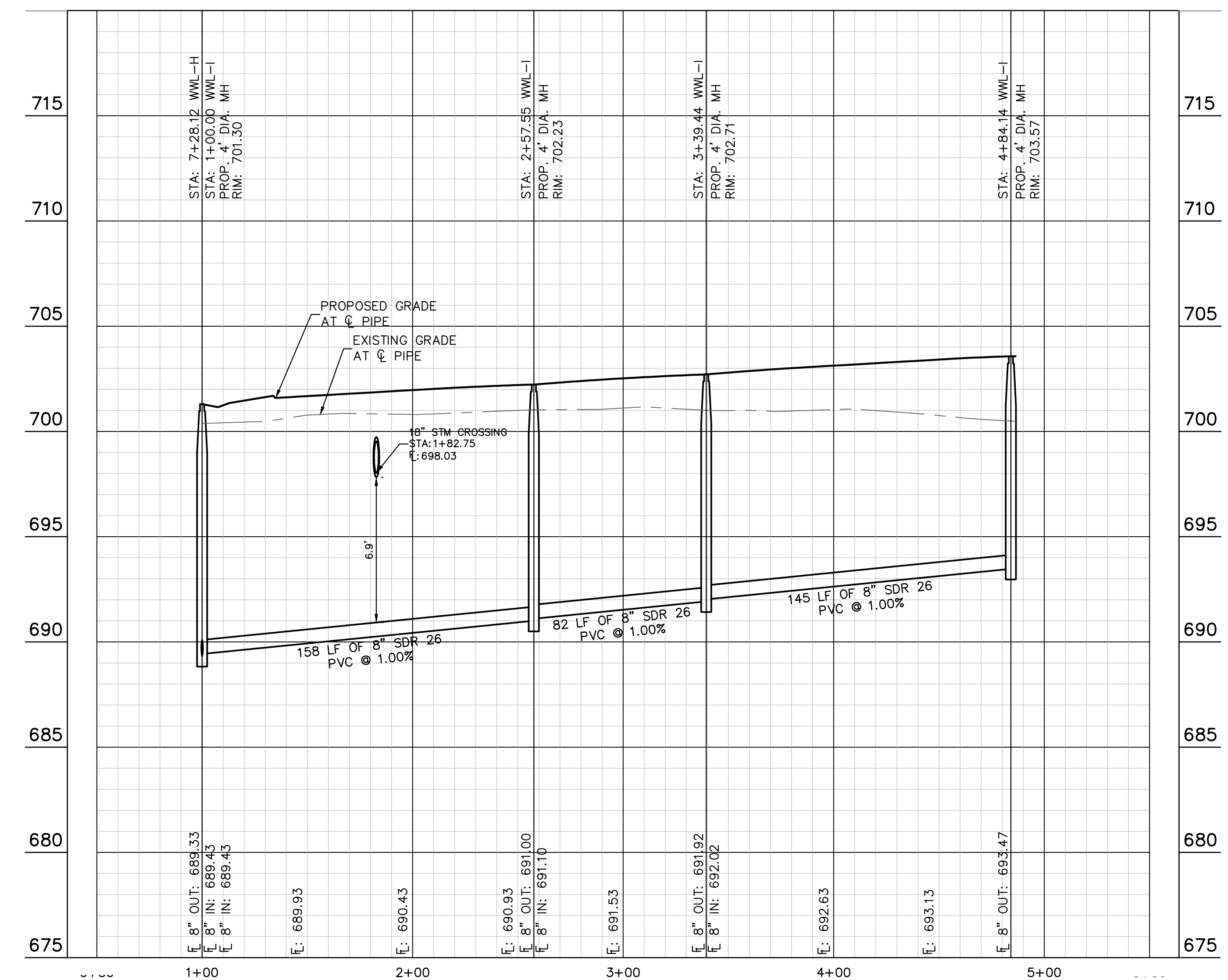


**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #100	PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 77' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD	ELEV: 702.87 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES	ELEV: 712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLEBROOK COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE	ELEV: 722.56 (NAVD 88)



CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON: N/A	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737	CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley»Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 PH: 512.424.6437  
 WWW.KIMLEY-HORN.COM

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 TBPE Firm No. 928

07/17/2023

**Alejandro E. Granados-Rico**  
 Licensed Professional Engineer  
 State of Texas

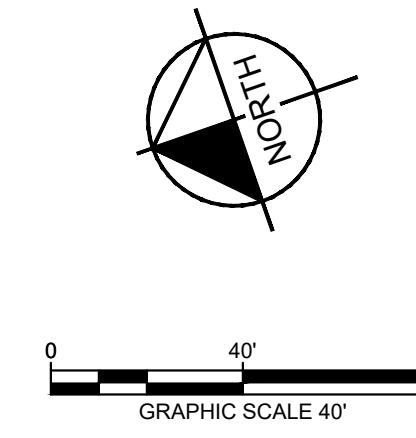
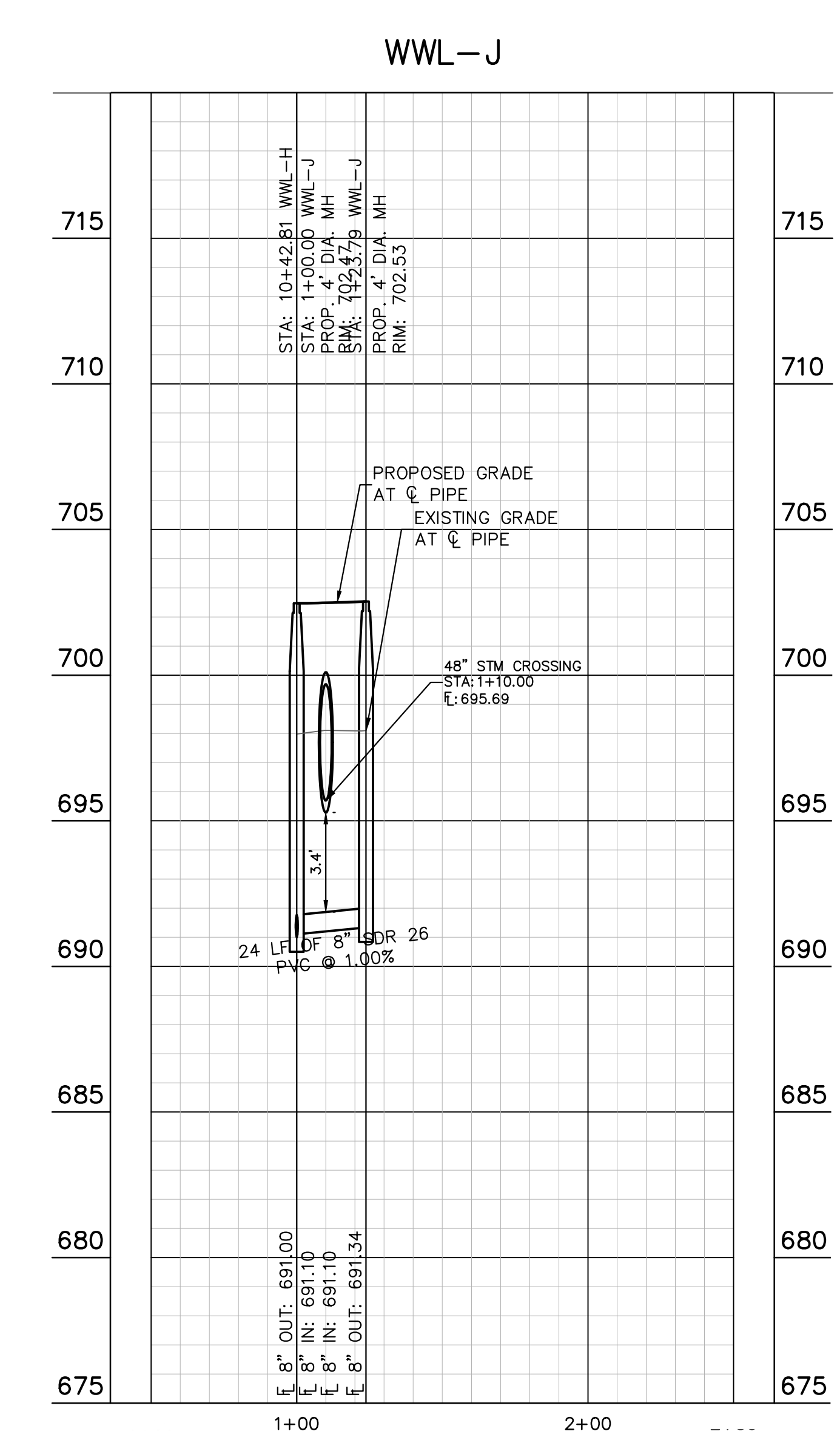
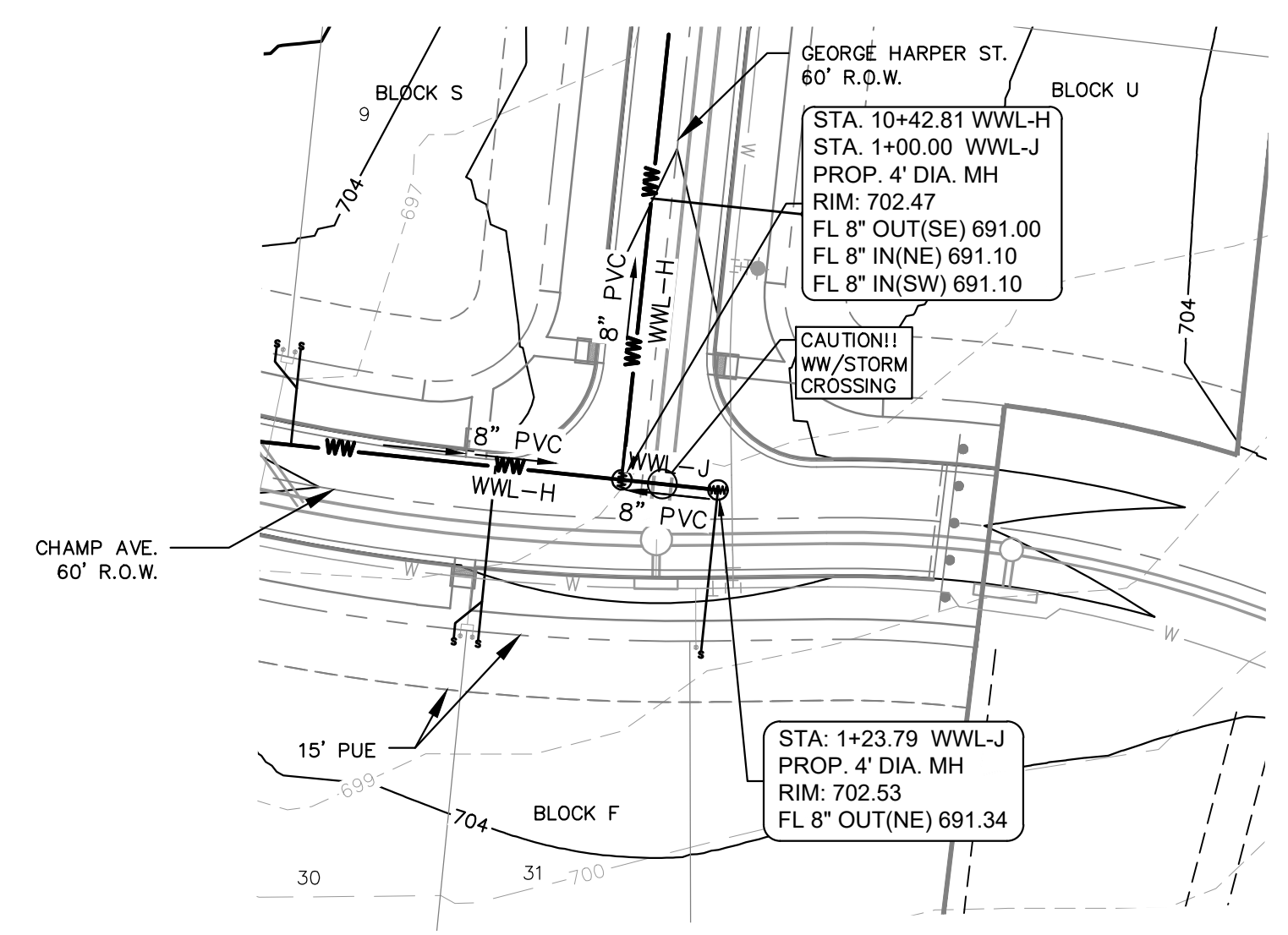
KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

**SANITARY SEWER - PLAN AND PROFILE - LINE I**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

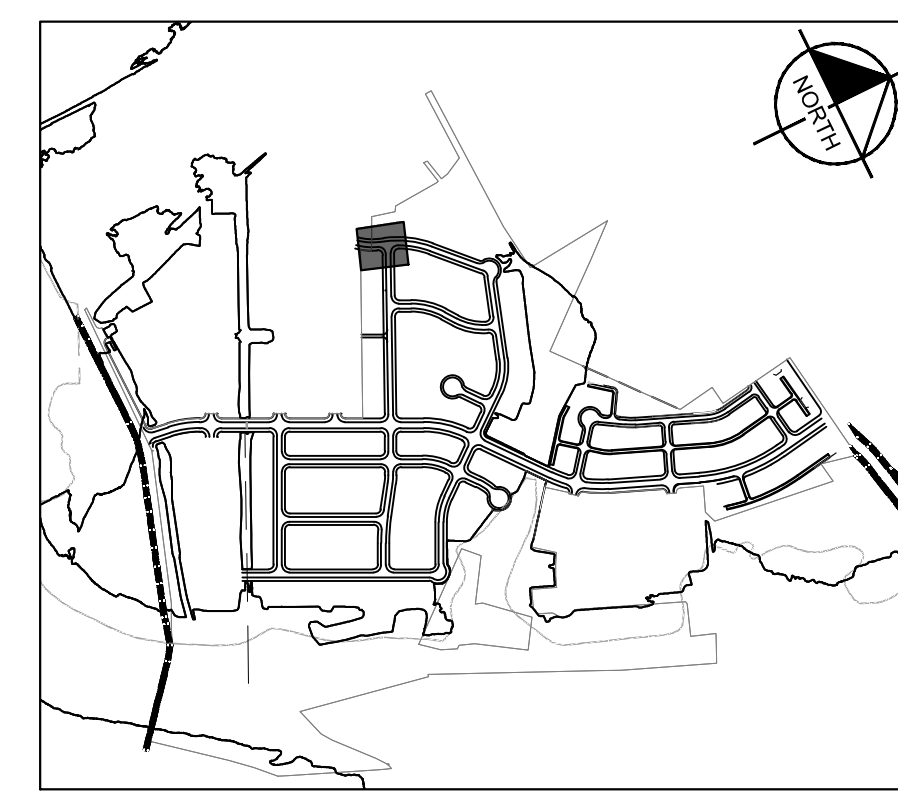
SHEET NUMBER  
**197**  
 OF 226

Plotted by: Lee, David Date: July 17, 2023 08:40:50am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\C-Wastewater P&P - WWL-1, J, K.dwg  
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UTILITY LEGEND

---	PROPERTY LINE
—WW—	PROPOSED WASTE WATER LINE
—W—	PROPOSED WATER LINE
⊙	PROPOSED WASTE WATER MANHOLE
→	WASTE WATER FLOW DIRECTION
⚡	PROPOSED FIRE HYDRANT W/ GATE VALVE
⊥	PROPOSED VALVE
⊕	PROPOSED WATER METER
---	PROPOSED SEWER SERVICE LINE
---	PROPOSED STORM SEWER LINE
—OHP—	EXISTING OVERHEAD POWER LINE
—W—	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
⊕	EXISTING POWER POLE
⚡	EXISTING FIRE HYDRANT
⊕	EXISTING WATER METER
⊙	EXISTING WASTE WATER MANHOLE



NOTE:  
 1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.

**811**  
 Know what's below.  
 Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

PROFILE SCALE  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

BENCHMARKS

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77'4' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=712.04 (NAVD '88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THIRSE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD '88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD '88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

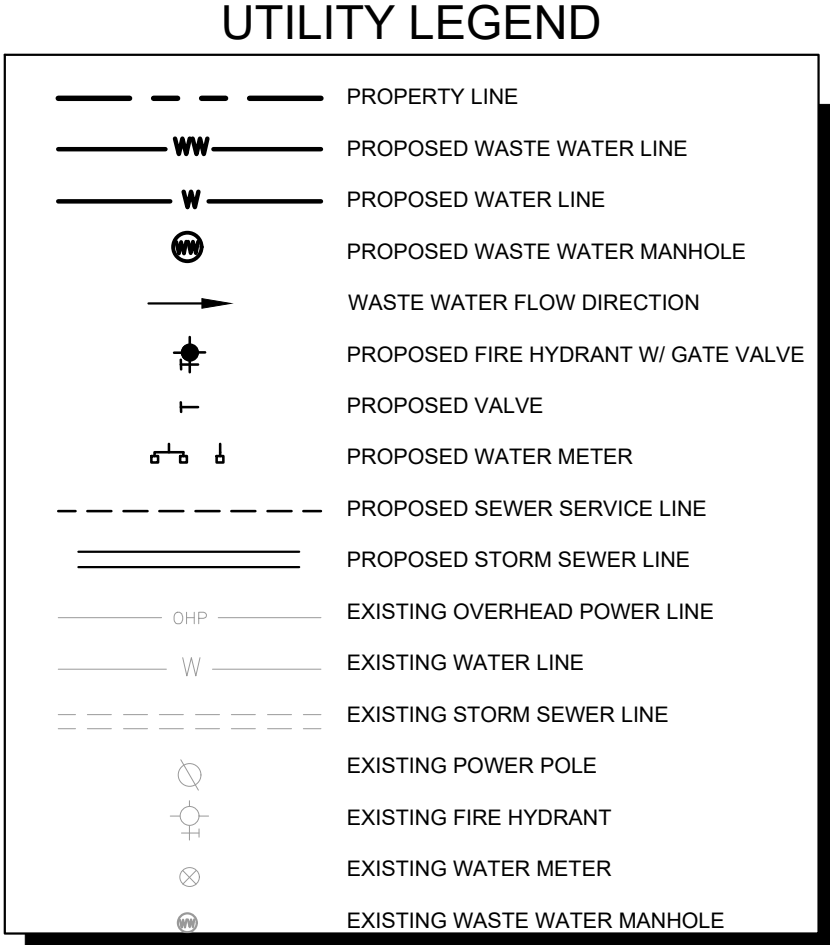
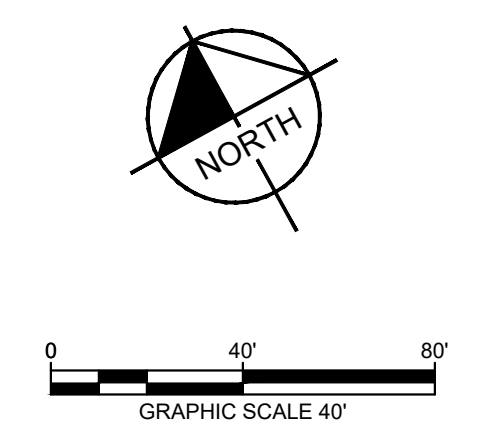
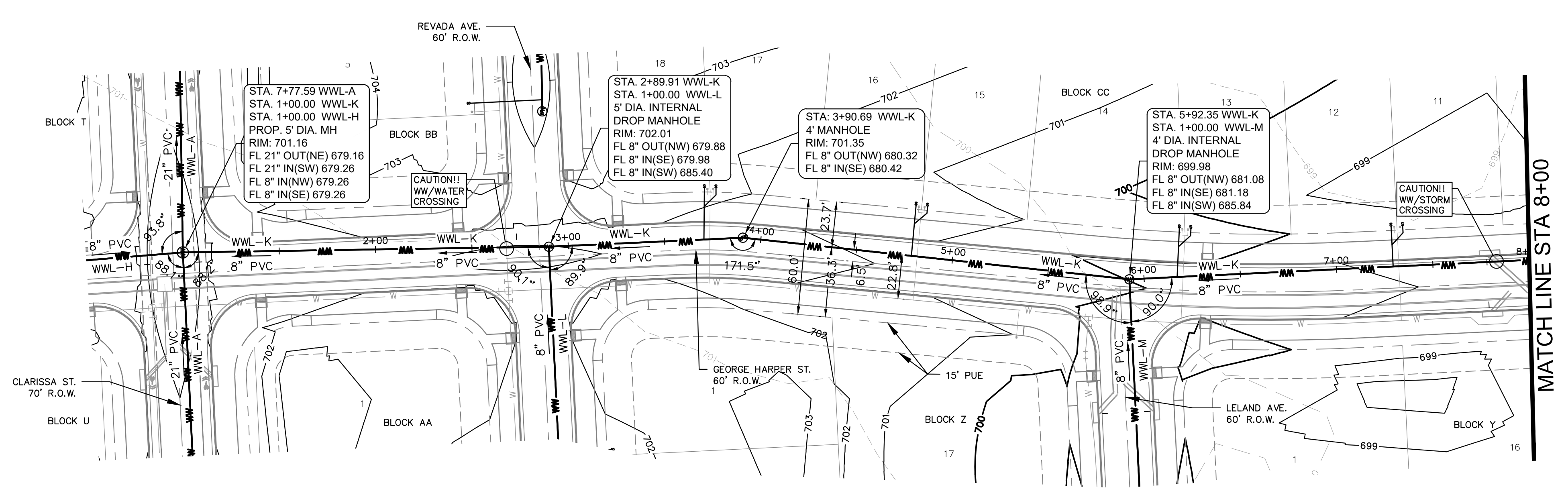
Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

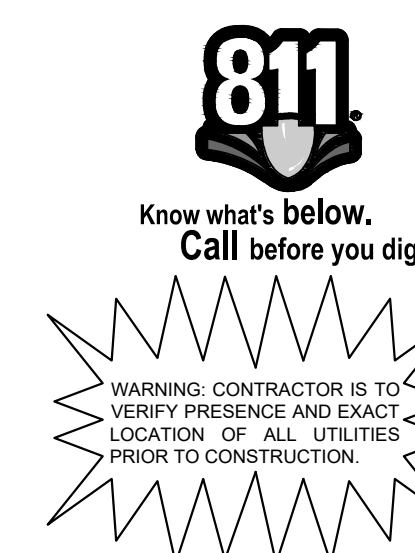
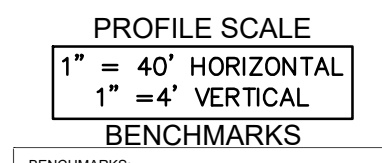
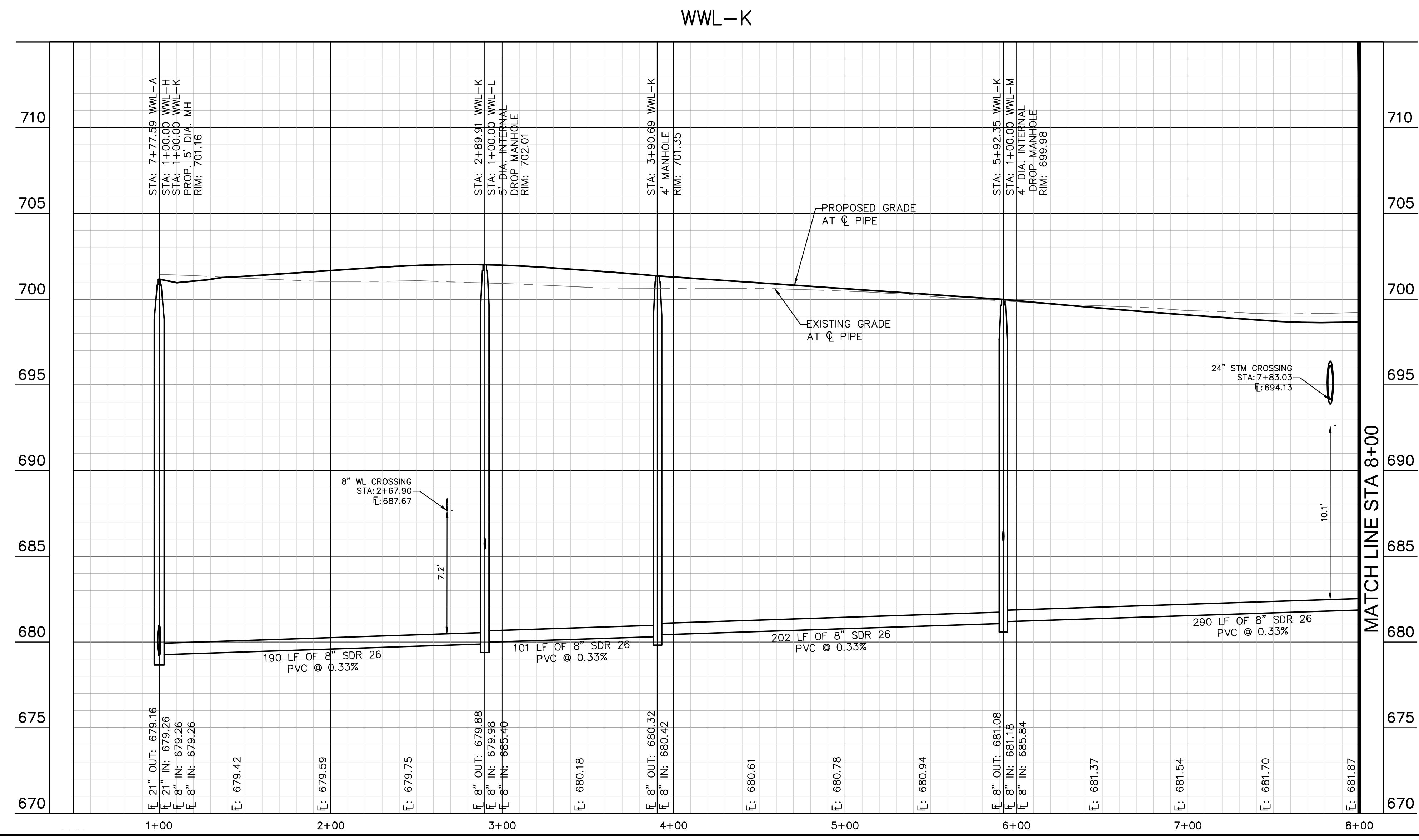
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100 AUSTIN, TX 78745 PH: 512.464.6437 WWW.KIMLEY-HORN.COM © 2016 KIMLEY-HORN AND ASSOCIATES, INC. TBPE Firm No. 928	NO.	DATE
	REVISIONS	BY
 Alejandro E. Granados-Rico Licensed Professional Engineer State of Texas		
KHA PROJECT: 067783115 DATE: JULY 2023 SCALE: AS SHOWN DESIGNED BY: WB,DM DRAWN BY: WB,HM,MH,DM CHECKED BY: AEG		
SANITARY SEWER - PLAN AND PROFILE - LINE J		
THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS		
SHEET NUMBER 198 OF 226		

Plotted by: Lee, David Date: July 17, 2023 08:41:23am File Path: K:\SAL\_Civil\067783115 Meritage Budd Assemblage\Cad\PlanSheets\C-Wastewater P&P - WWL 1, J, K.dwg  
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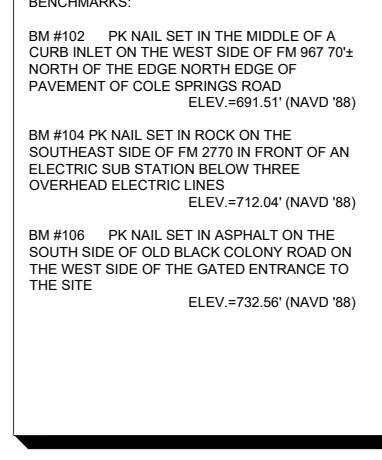


**KEY MAP**  
SCALE: 1:1000

NOTE:  
1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.



**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**



CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1  
Rev. 2: \_\_\_\_\_ Correction 2  
Rev. 3: \_\_\_\_\_ Correction 3

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PERMIT NUMBER: 2021-737

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NO. \_\_\_\_\_

DATE \_\_\_\_\_

REVISIONS \_\_\_\_\_

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KHA PROJECT 067783115

DATE JULY 2023

SCALE AS SHOWN

DESIGNED BY: WB, DM

DRAWN BY: WB, HM, MH, DM

CHECKED BY: AEC

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**SANITARY SEWER - PLAN AND PROFILE - LINE K (1 OF 2)**

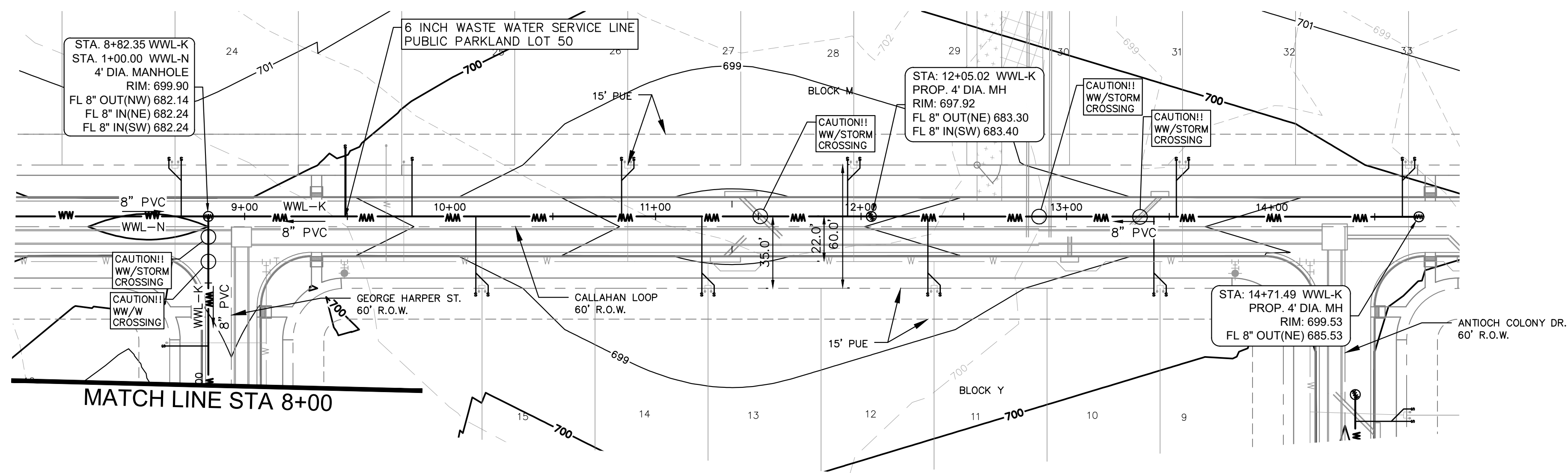
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**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

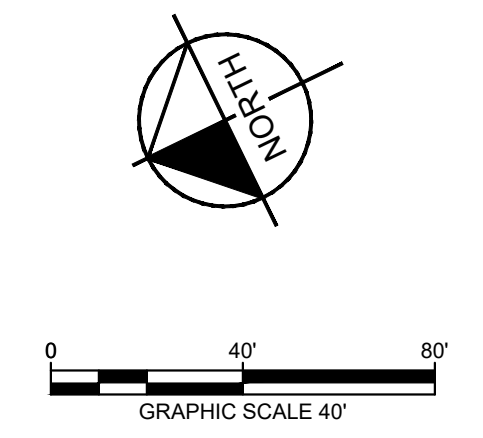
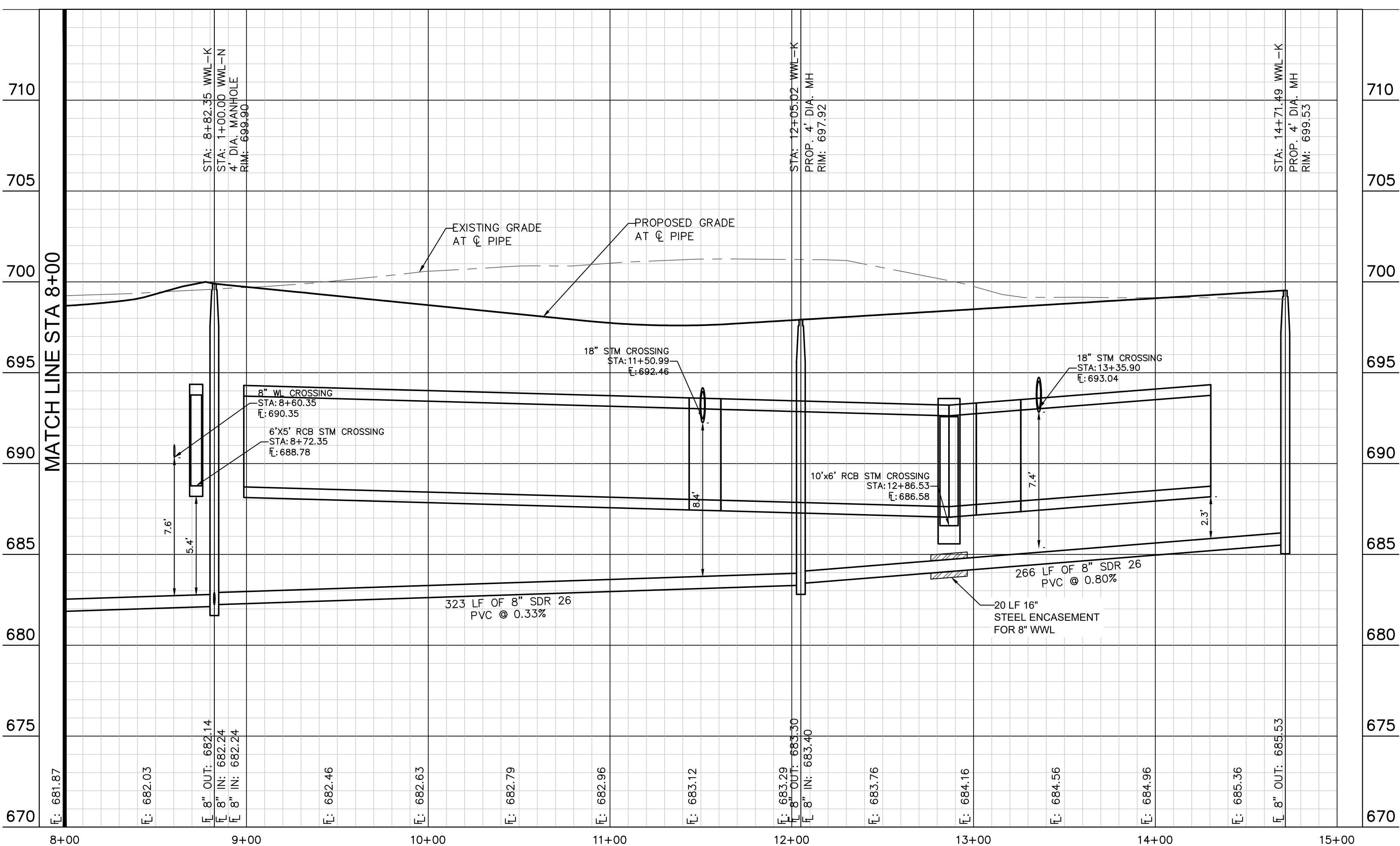
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SHEET NUMBER **199**  
OF 226

Plotted by: Lee, David Date: July 17, 2023 08:41:57am File Path: K:\SAL\_Civil\067783115 Heritage Buda Assemblies\Cad\PlanSheets\C-Wastewater P&P - WWL 1, J, K.dwg  
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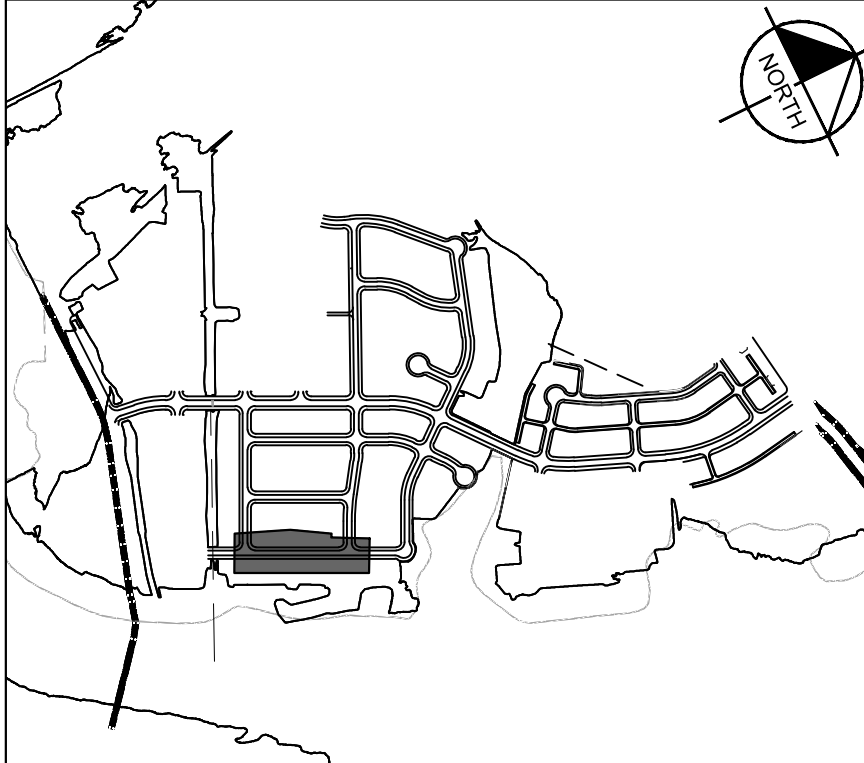


WWL-K



**UTILITY LEGEND**

- PROPERTY LINE
- PROPOSED WASTE WATER LINE
- PROPOSED WATER LINE
- PROPOSED WASTE WATER MANHOLE
- WASTE WATER FLOW DIRECTION
- PROPOSED FIRE HYDRANT W/ GATE VALVE
- PROPOSED VALVE
- PROPOSED WATER METER
- PROPOSED SEWER SERVICE LINE
- PROPOSED STORM SEWER LINE
- EXISTING OVERHEAD POWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WASTE WATER MANHOLE



NOTE:  
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**811**  
Know what's below. Call before you dig.

**BENCHMARKS**

BENCHMARKS:  
 BM #100 1/4" IRON PIN NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=496.87 (NAVD 88)  
 BM #104 1/4" IRON PIN NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)  
 BM #106 1/4" IRON PIN NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON: N/A	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737	CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: ZONING N/A

Rev. 1 Correction 1  
 Rev. 2 Correction 2  
 Rev. 3 Correction 3

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PERMIT NUMBER: 2021-737

No.	REVISIONS	DATE	BY

**Kimley-Horn**  
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 TBE Firm

07/17/2023

Alejandro E. Granados-Rico  
 State of Texas  
 License No. 13303

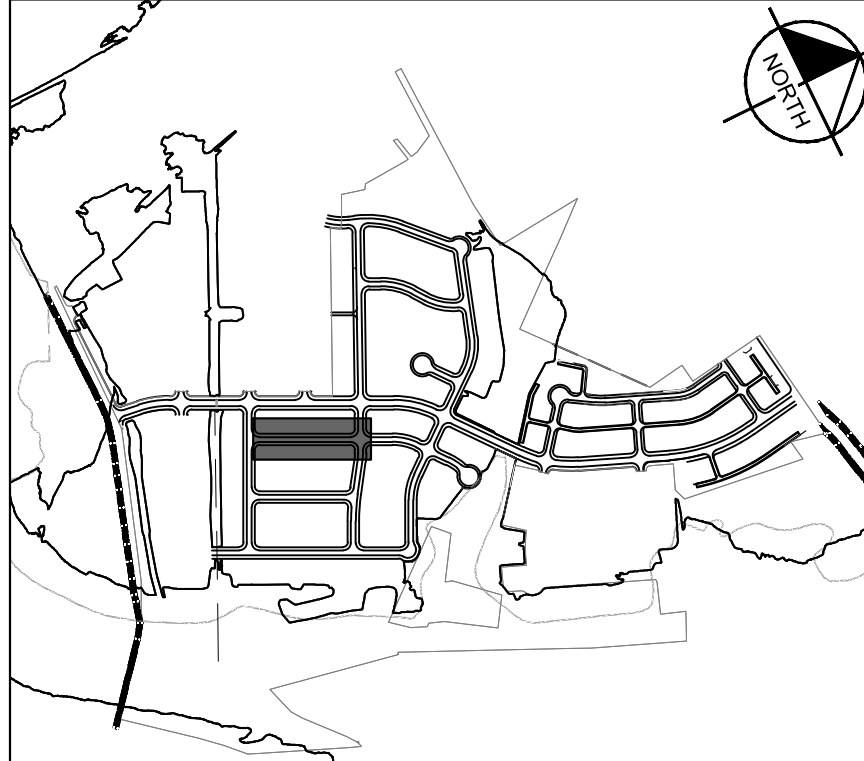
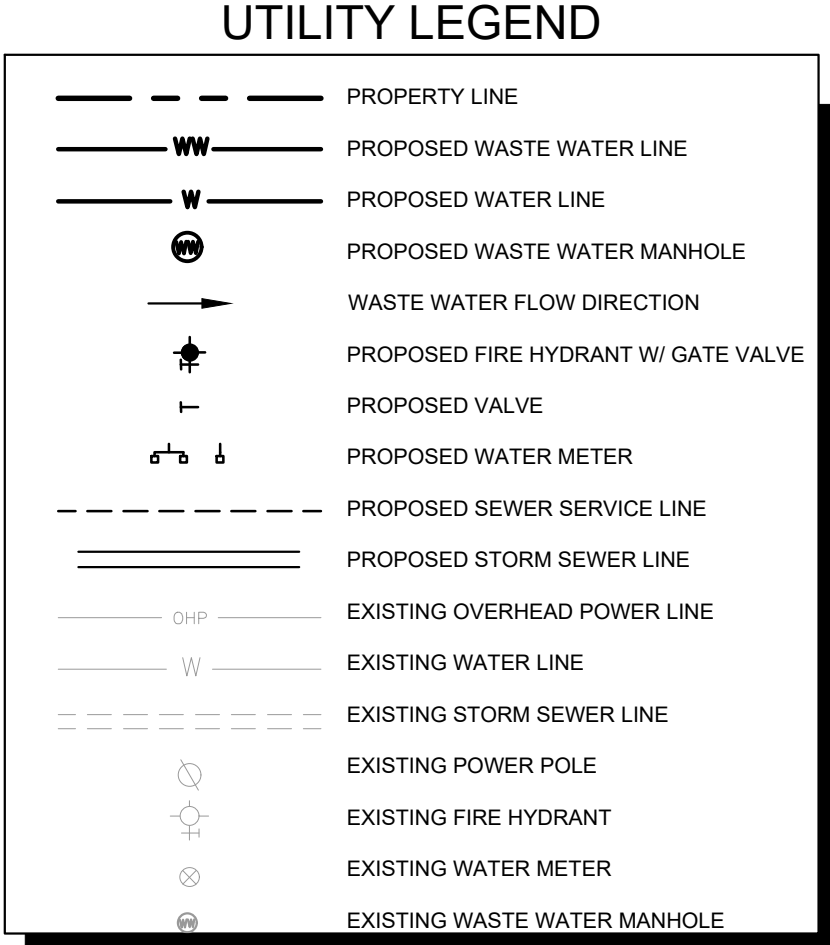
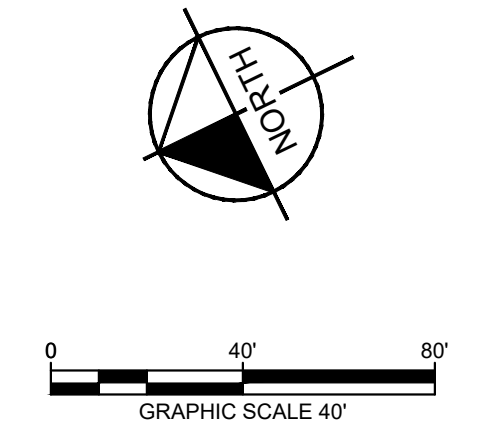
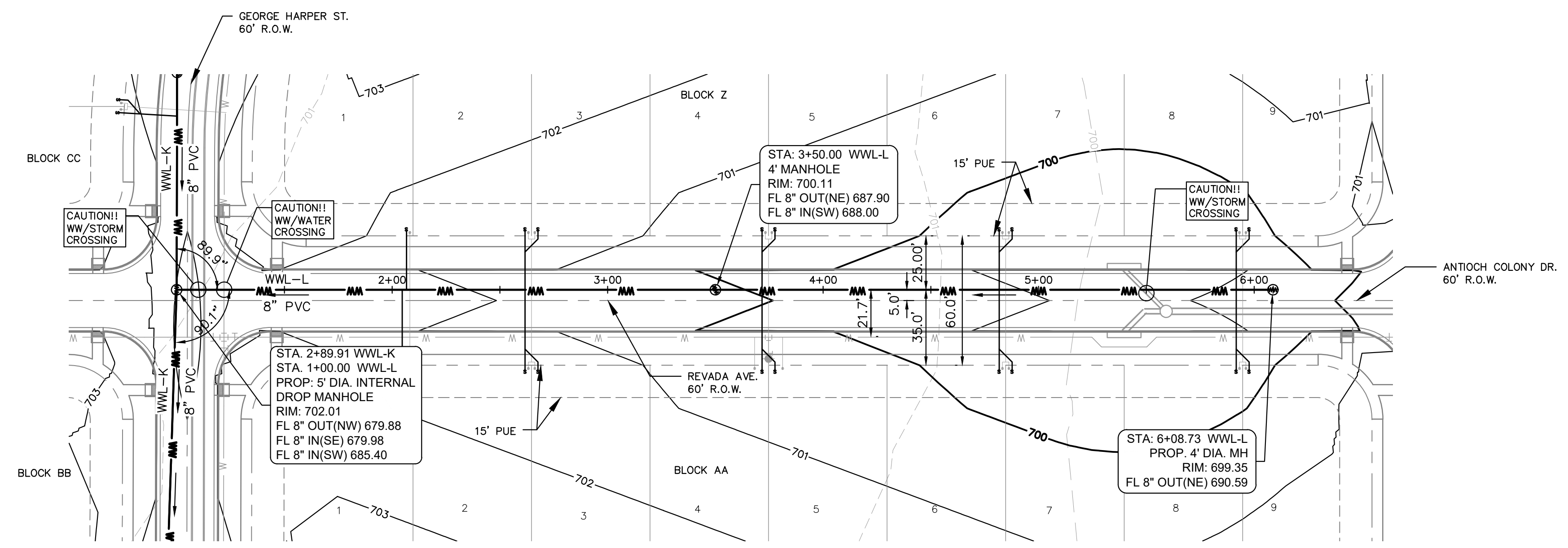
KHA PROJECT 06/783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB, DM  
 DRAWN BY: WB, HM, MH, DM  
 CHECKED BY: AEG

**SANITARY SEWER - PLAN AND PROFILE - LINE K (2 OF 2)**

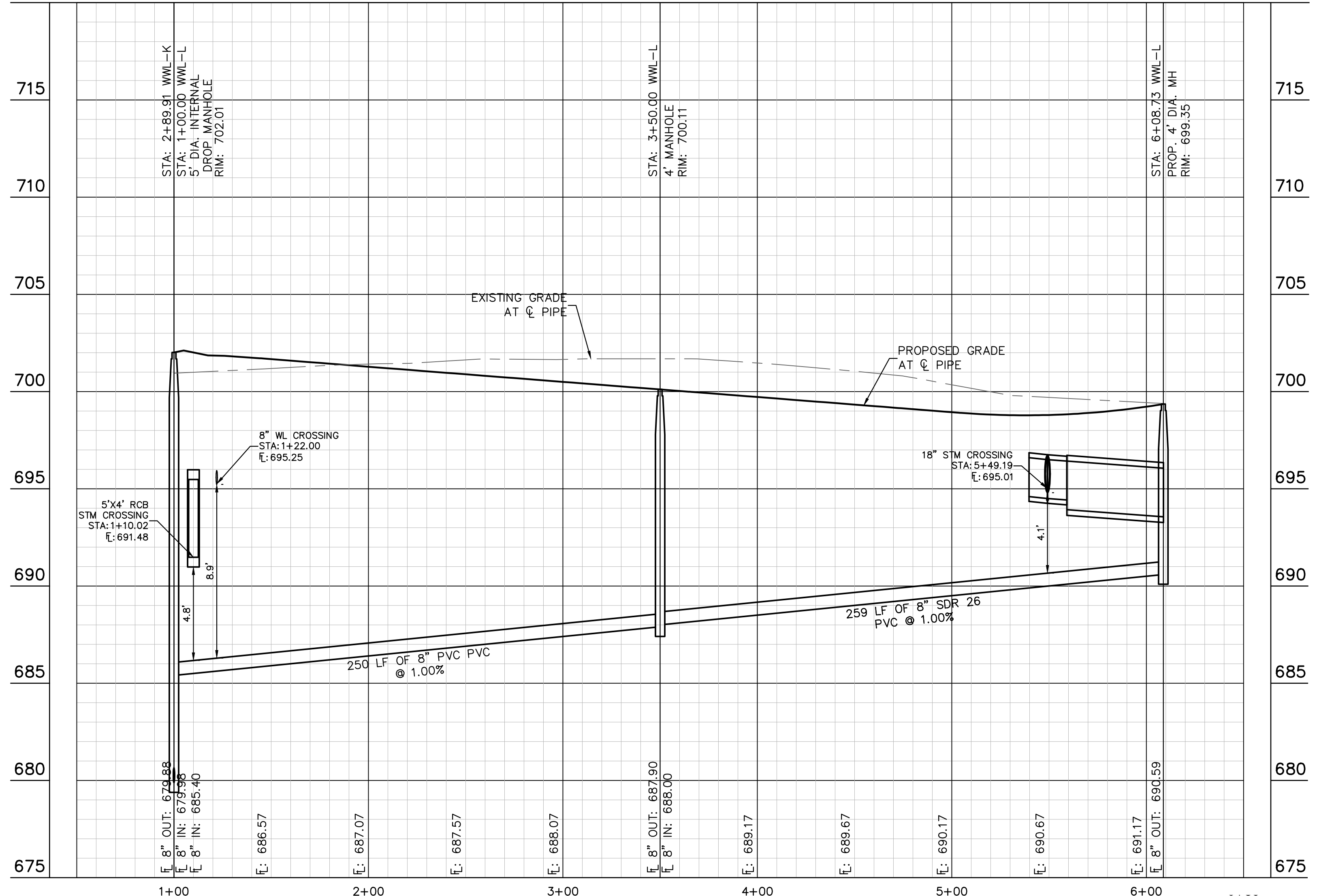
**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**200**  
 OF 226

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WWL-L



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WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

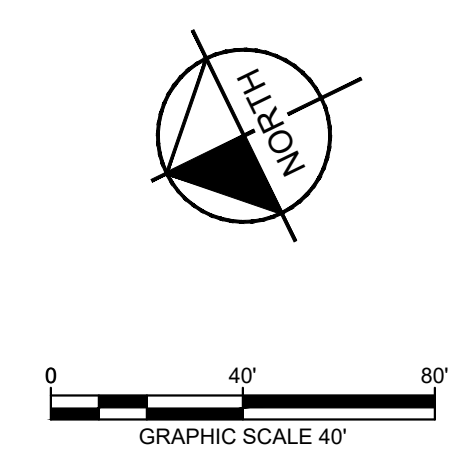
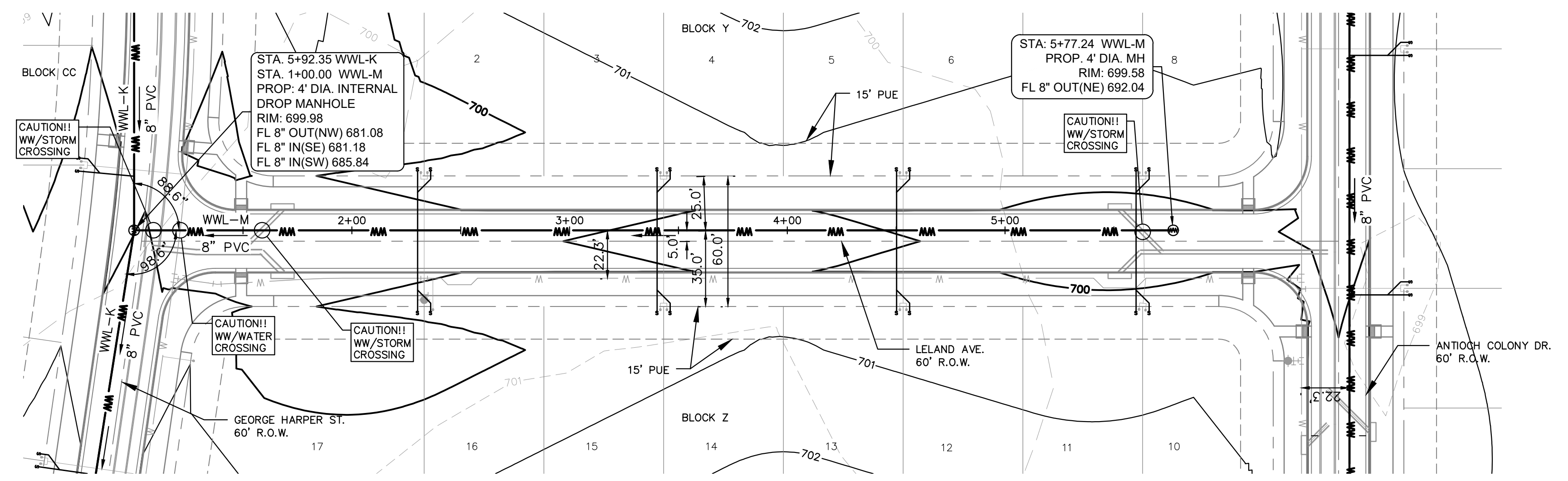
**BENCHMARKS**

- BM #100 - 1/2" IRON PIN NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77.4 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV = 695.01 (NAVD 88)
- BM #104 - 1/2" IRON PIN NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW ON THREE OVERHEAD ELECTRIC LINES. ELEV = 712.04 (NAVD 88)
- BM #106 - 1/2" IRON PIN NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET <u>226</u> OF <u>226</u>
FILE NUMBER _____ APPLICATION DATE _____
APPROVED BY COMMISSION ON: <u>N/A</u> UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.
EXPIRATION DATE: 2021-737 CASE MANAGER <u>08/16/2021</u>
<b>A. KENNEDY</b>
City Engineer, City of Buda
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING <u>N/A</u>
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____
<small>Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.</small>
PERMIT NUMBER: 2021-737

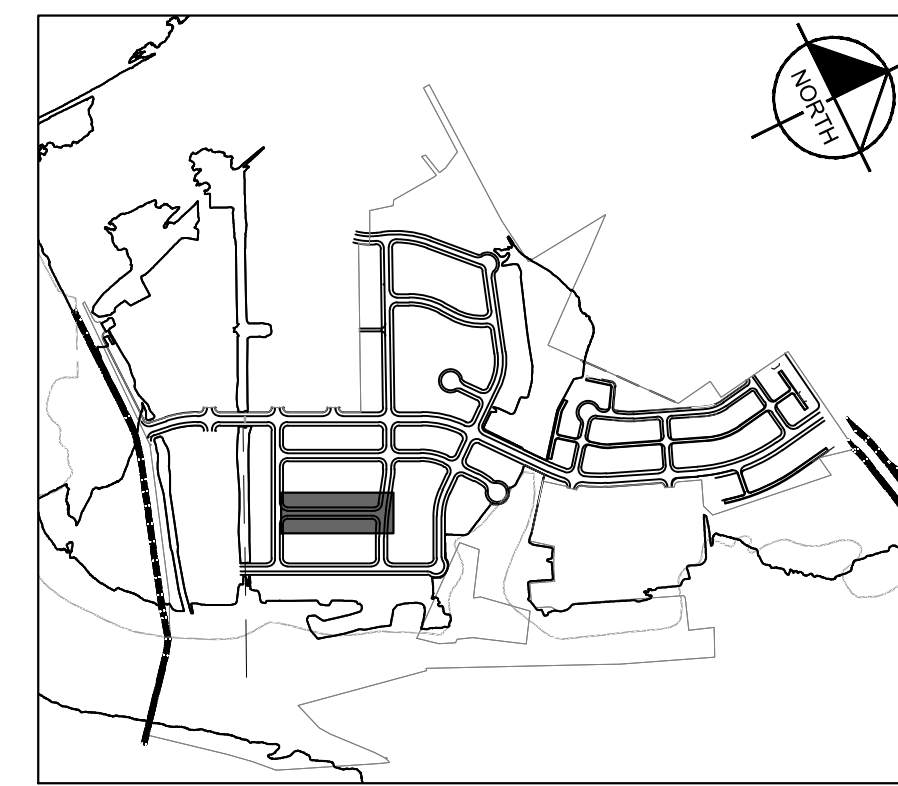
<p>5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100                  AUSTIN, TX 78745                  WWW.KIMLEY-HORN.COM                  © 2016 KIMLEY-HORN AND ASSOCIATES, INC.                  TBPE Firm No. 928</p>	DATE _____ BY _____ REVISIONS _____ No. _____
	PROJECT: KHA PROJECT 067783115 DATE: JULY 2023 SCALE: AS SHOWN DESIGNED BY: WB-DM DRAWN BY: WB-HM, MH-LDM CHECKED BY: AEC
STATE OF TEXAS ALEJANDRO E. GRANADOS RICO LICENSED PROFESSIONAL ENGINEER No. 13038 Alejandro E. Granados-Rico	SANITARY SEWER PLAN AND PROFILE - LINE L
THE COLONY - PHASE 1 CITY OF BUDA HAYS COUNTY, TEXAS	SHEET NUMBER <b>201</b> OF 226



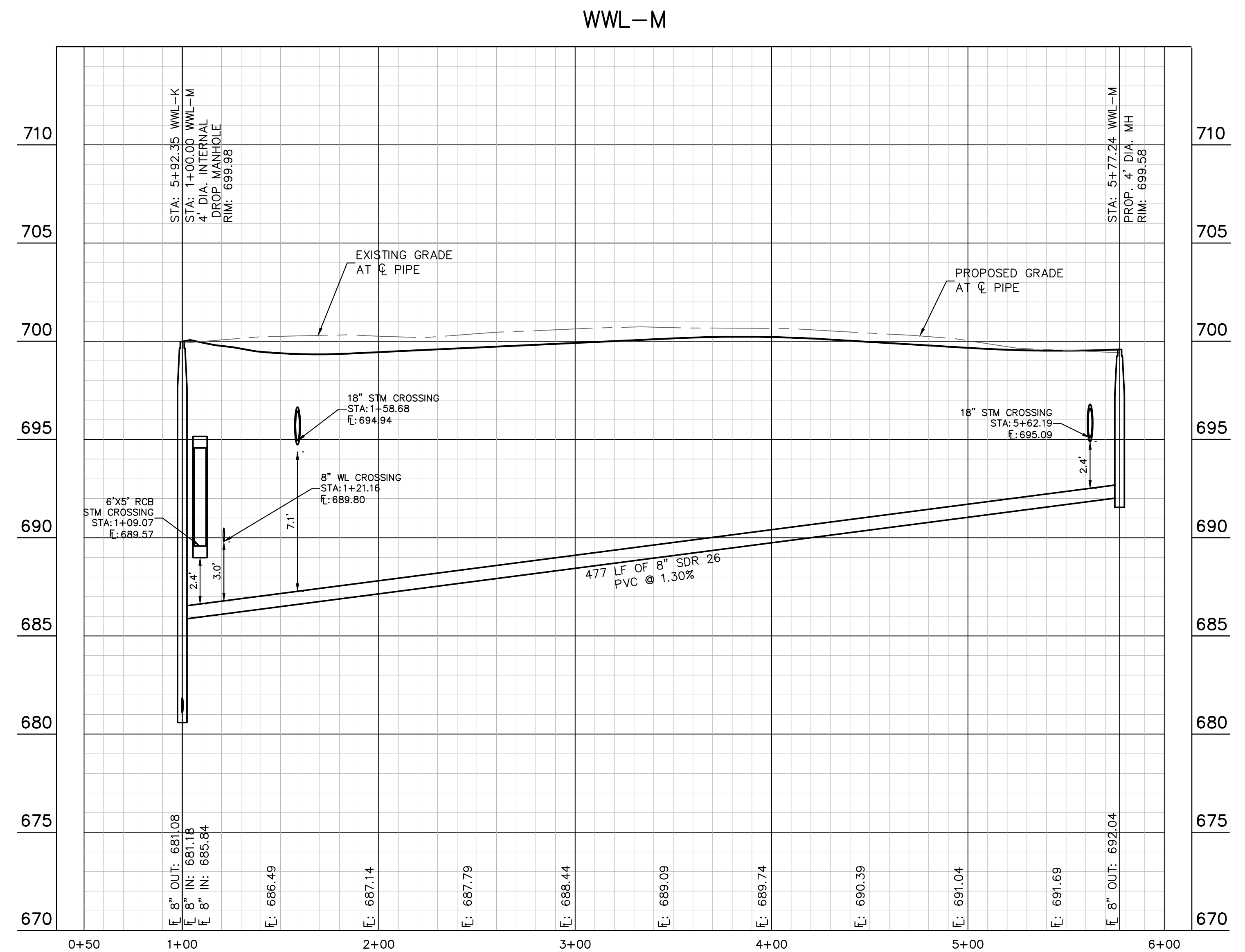


### UTILITY LEGEND

---	PROPERTY LINE
—WW—	PROPOSED WASTE WATER LINE
—W—	PROPOSED WATER LINE
⊙	PROPOSED WASTE WATER MANHOLE
→	WASTE WATER FLOW DIRECTION
⊕	PROPOSED FIRE HYDRANT W/ GATE VALVE
⊕	PROPOSED VALVE
⊕	PROPOSED WATER METER
---	PROPOSED SEWER SERVICE LINE
---	PROPOSED STORM SEWER LINE
—OP—	EXISTING OVERHEAD POWER LINE
—W—	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
⊕	EXISTING POWER POLE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING WATER METER
⊕	EXISTING WASTE WATER MANHOLE



NOTE:  
1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.



PROFILE SCALE  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL



### BENCHMARKS

BM #100	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV: 698.87 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV: 712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLIBACAO COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET	OF 226
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737	CASE MANAGER 08/16/2021
A. KENNEDY	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE:	ZONING N/A
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
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PERMIT NUMBER: 2021-737	

**Kimley»Horn**  
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AUSTIN, TX 78745  
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TBPE Firm No. 928

07/17/2023  
ALEJANDRO E. GRANADOS RICO  
130096  
LICENSED PROFESSIONAL ENGINEER  
Aljank E. Rizo-Lin

KHA PROJECT 06/783115  
DATE JULY 2023  
SCALE AS SHOWN  
DESIGNED BY: WB-DM  
DRAWN BY: WB-HM, MH-DM  
CHECKED BY: AEG

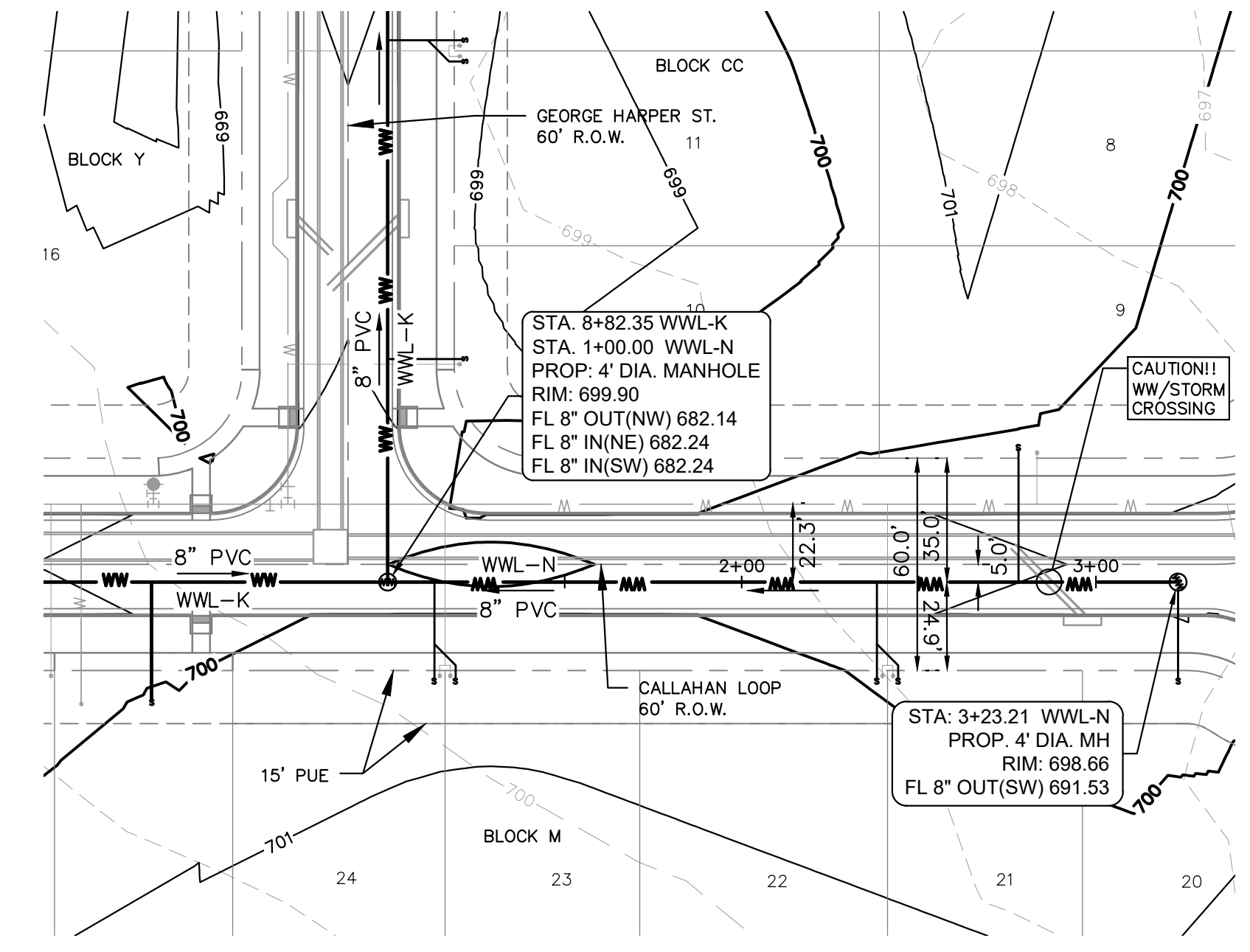
SANITARY SEWER PLAN  
AND PROFILE - LINE M

THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

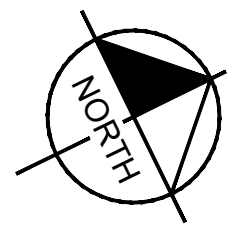
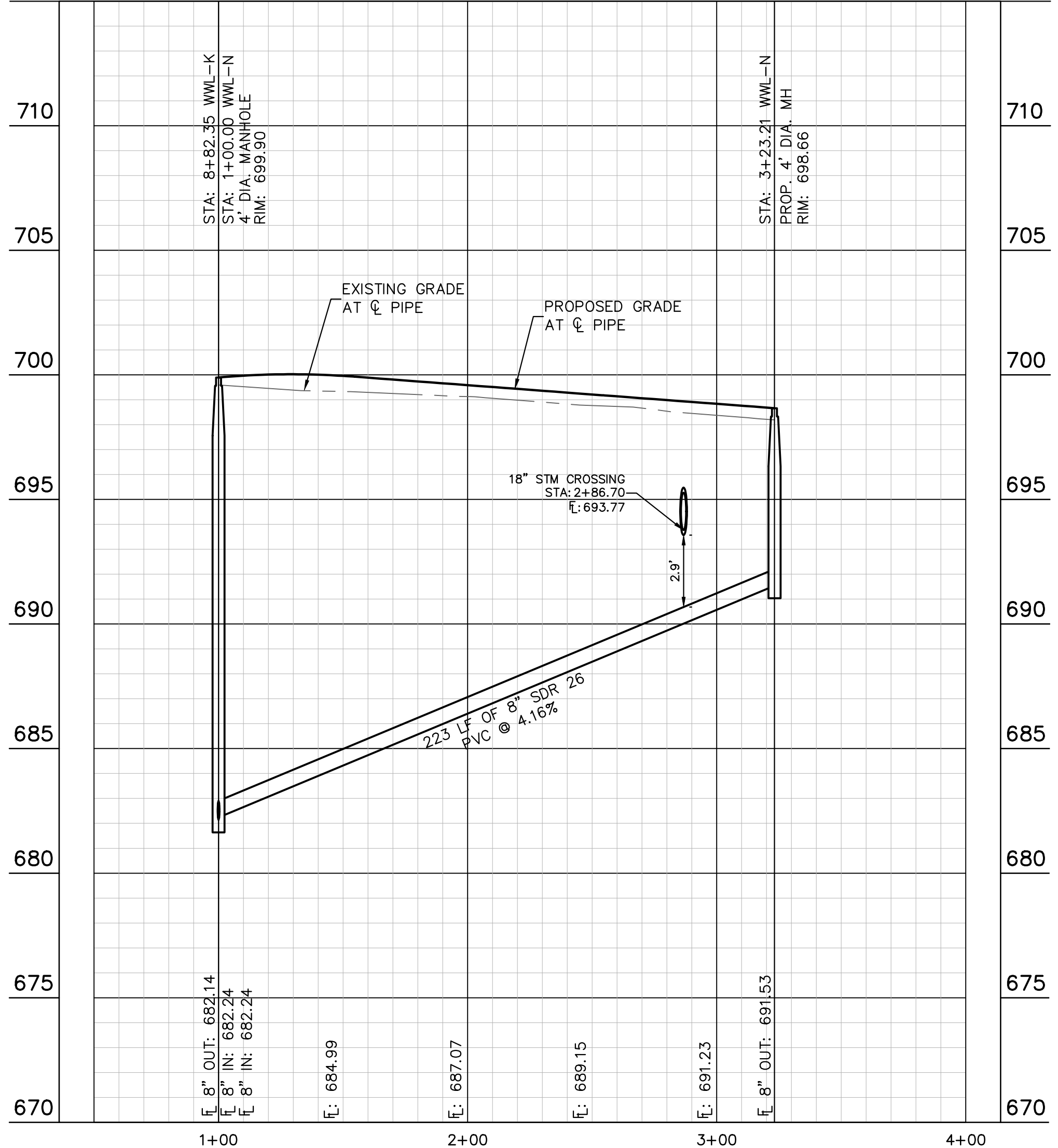
SHEET NUMBER  
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OF 226

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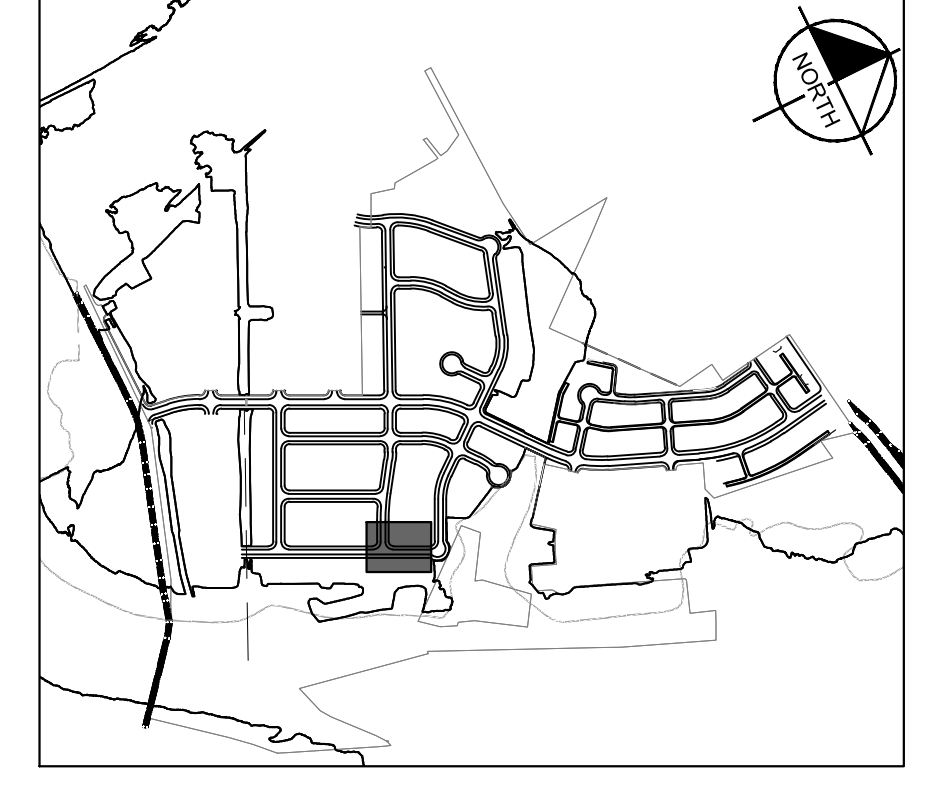
WWL-N



0 40' 80'  
 GRAPHIC SCALE 40'

UTILITY LEGEND

---	PROPERTY LINE
—WW—	PROPOSED WASTE WATER LINE
—W—	PROPOSED WATER LINE
⊕	PROPOSED WASTE WATER MANHOLE
→	WASTE WATER FLOW DIRECTION
⊕	PROPOSED FIRE HYDRANT W/ GATE VALVE
⊕	PROPOSED VALVE
⊕	PROPOSED WATER METER
---	PROPOSED SEWER SERVICE LINE
---	PROPOSED STORM SEWER LINE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
⊕	EXISTING POWER POLE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING WATER METER
⊕	EXISTING WASTE WATER MANHOLE



KEY MAP

SCALE: 1:1000

NOTE:  
 1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.



WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

PROFILE SCALE  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

BENCHMARKS

BM #100	PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 77' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=718.07 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226
FILE NUMBER APPLICATION DATE
APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021
<b>A. KENNEDY</b>
City Engineer, City of Buda
RELEASED FOR GENERAL COMPLIANCE: ZONING N/A
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.
PERMIT NUMBER: 2021-737

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 TBPE Firm No. 928

07/17/2023  
 STATE OF TEXAS  
 ALEJANDRO E. GRANADOS RICO  
 130984  
 LICENSED PROFESSIONAL ENGINEER  
 A. J. E. RICO  
 KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB, HM, MH, DM  
 CHECKED BY: AEG

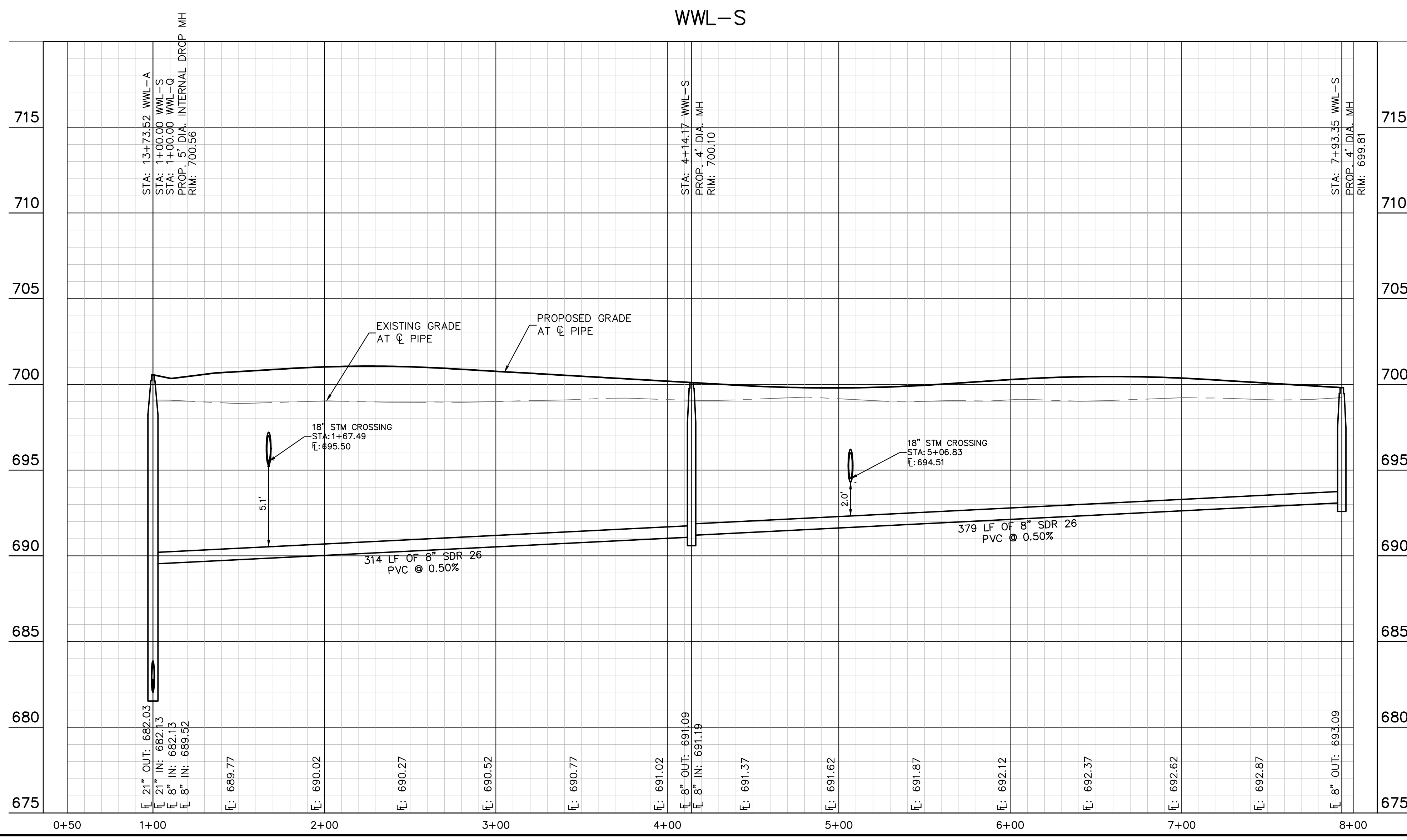
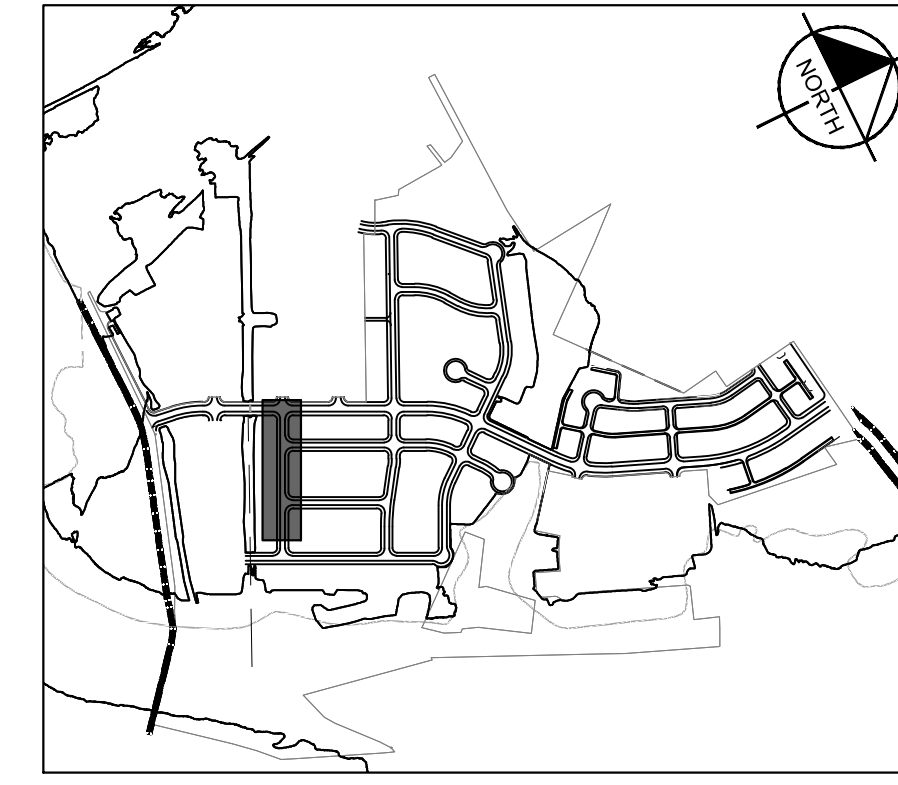
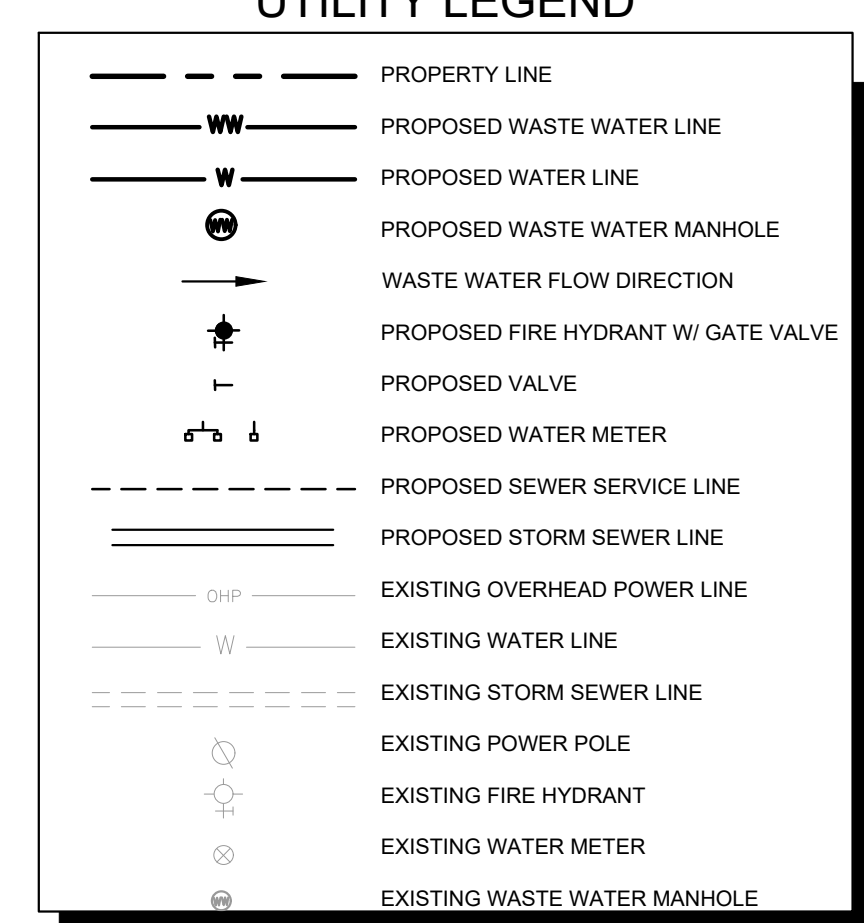
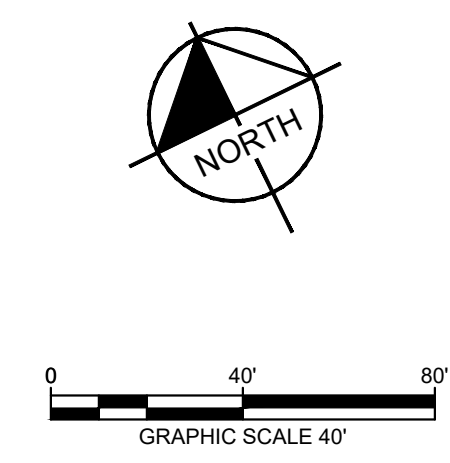
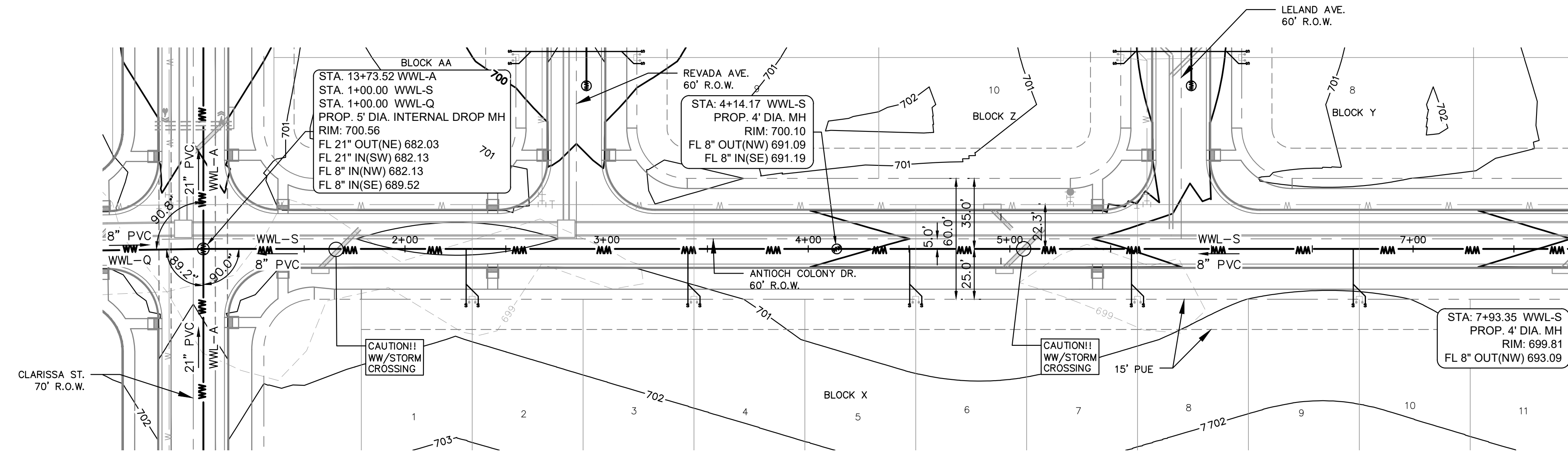
SANITARY SEWER PLAN  
 AND PROFILE - LINE N

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
 203  
 OF 226

NO.	REVISIONS	DATE	BY

Plotted by: Lee, David Date: July 17, 2023 08:47:11am File Path: K:\SAL\Civil\067783115 Heritage Buda Assemblies\Cad\PlanSheets\C-Wastewater P&P - WWL S, W, CC, X.dwg  
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**KEY MAP**  
SCALE: 1:1000

NOTE:  
1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.

**811**  
Know what's below. Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

- BM #100 - PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 77' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=697.87 (NAVD 88)
- BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)
- BM #106 - PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

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TBE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
ALEJANDRO E. GRANADOS RICO  
13008  
LICENSED PROFESSIONAL ENGINEER  
No. 13008  
Aljano E. Rizo-Lin

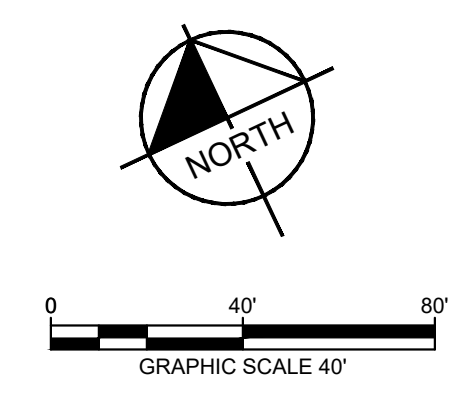
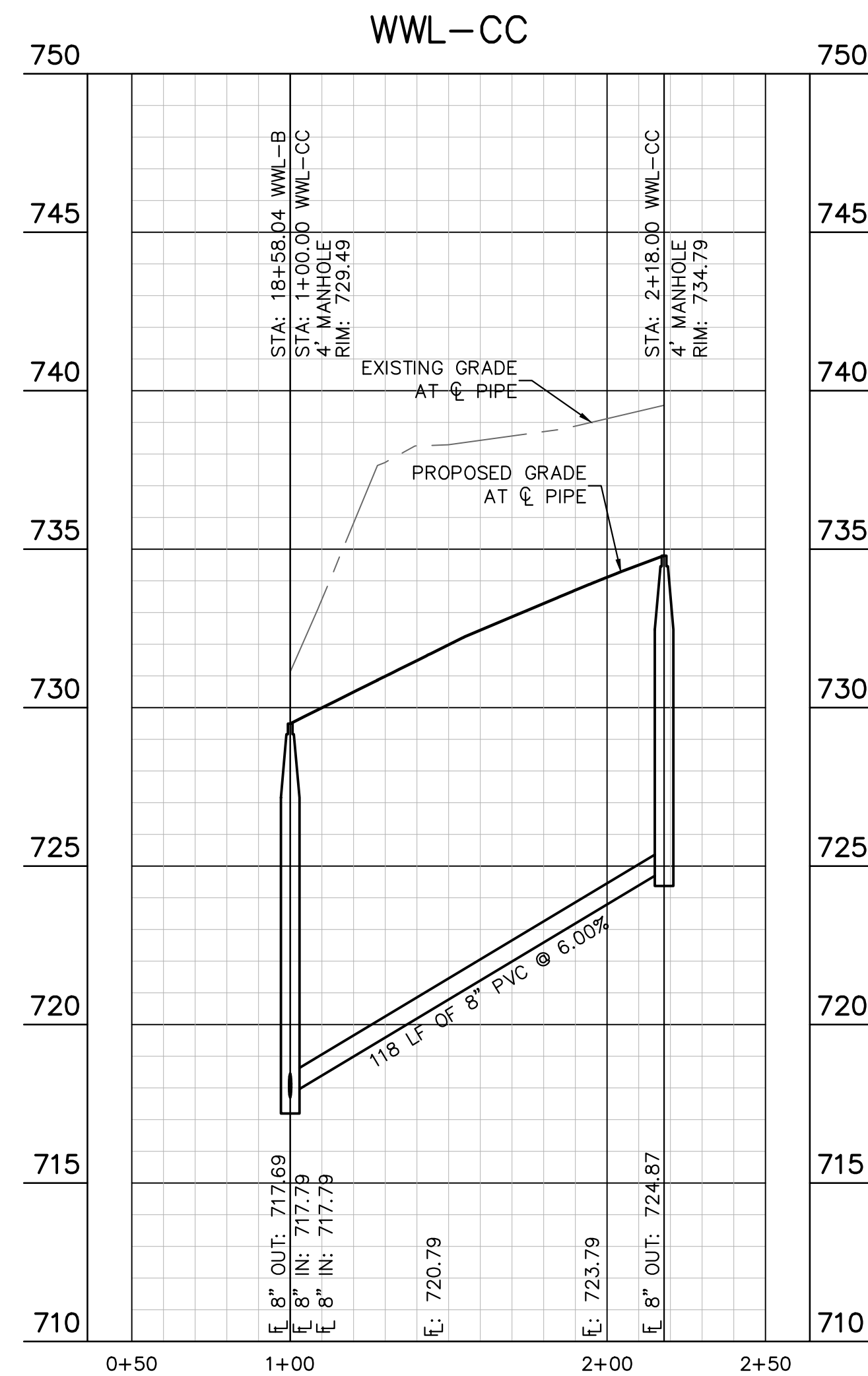
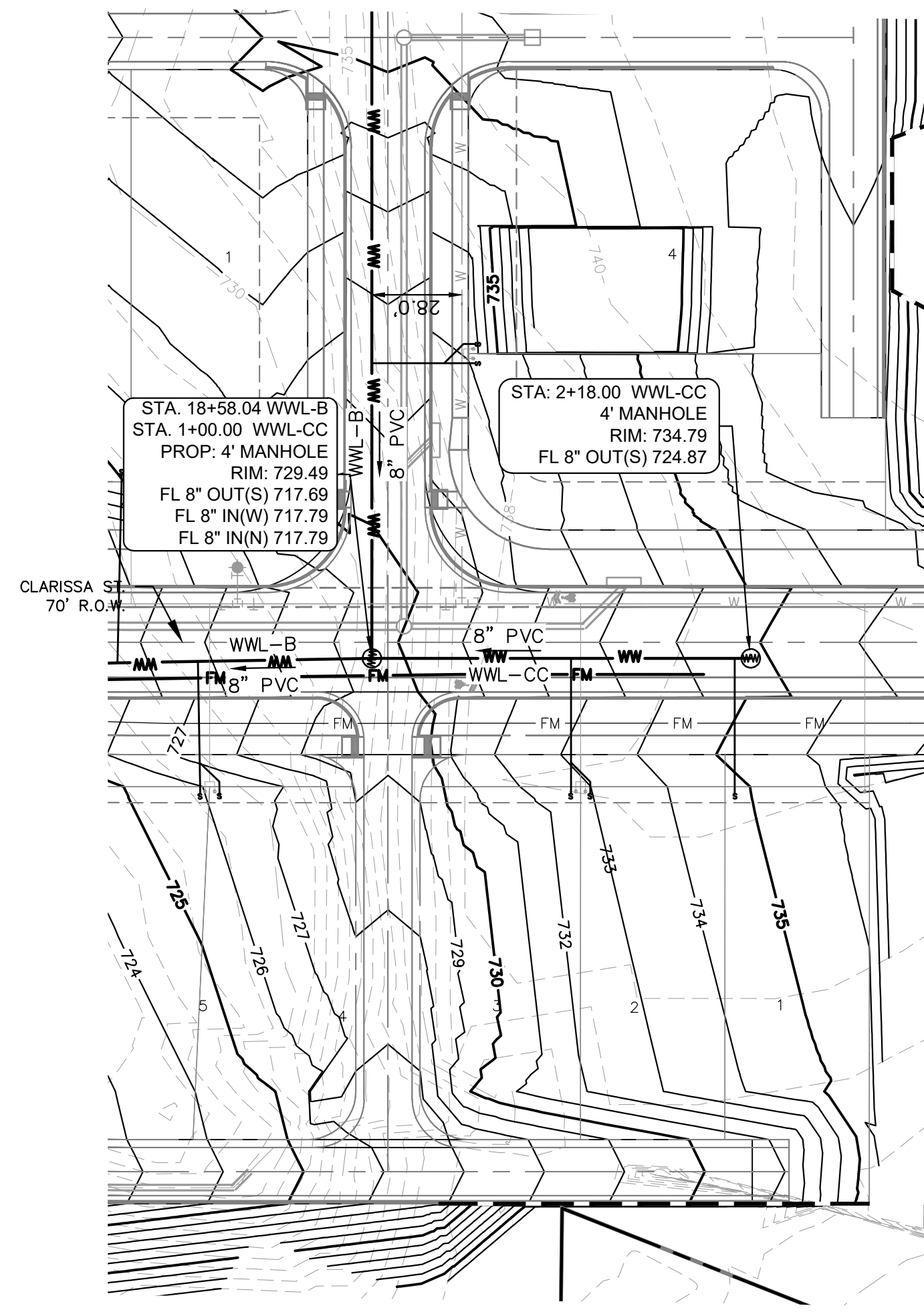
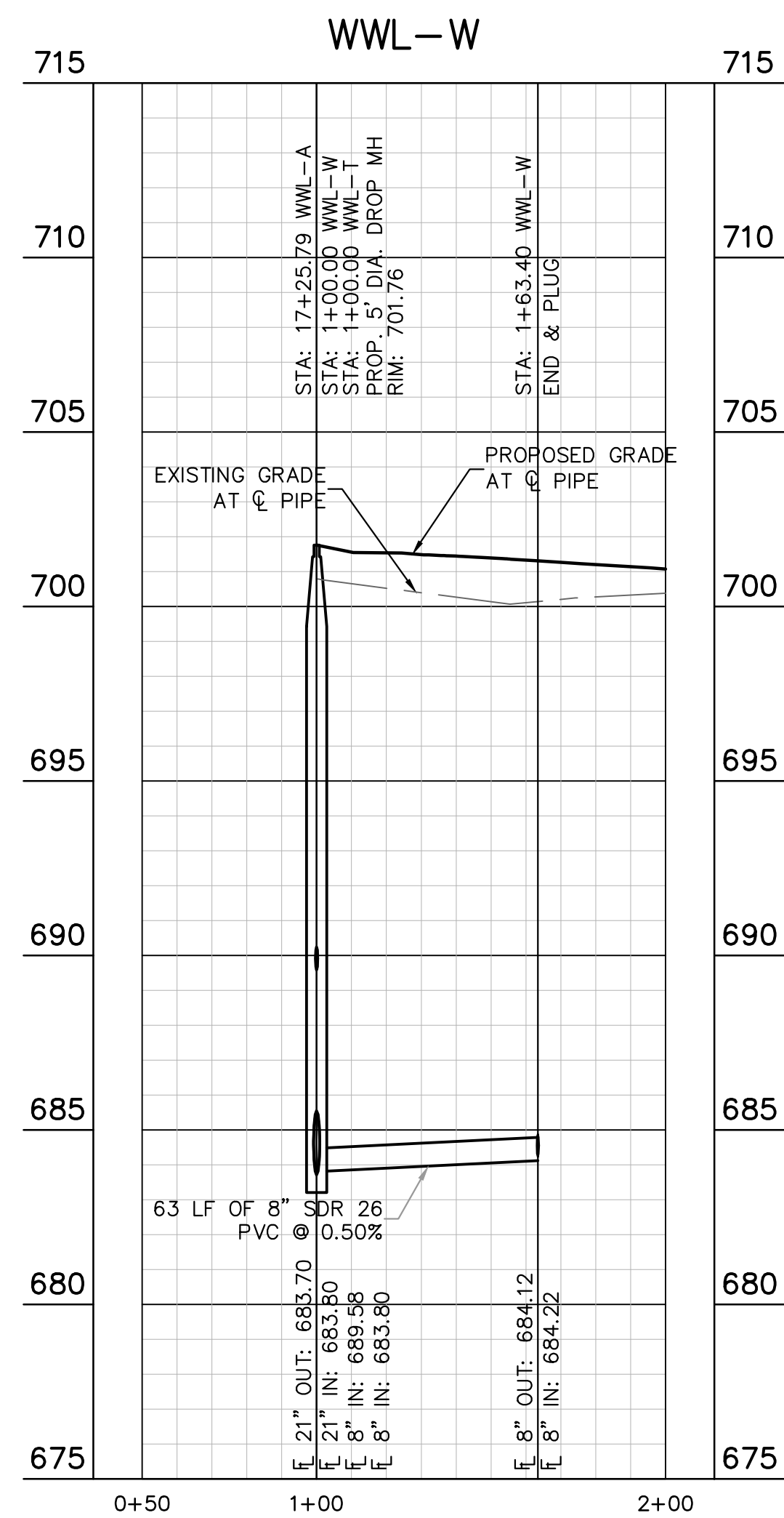
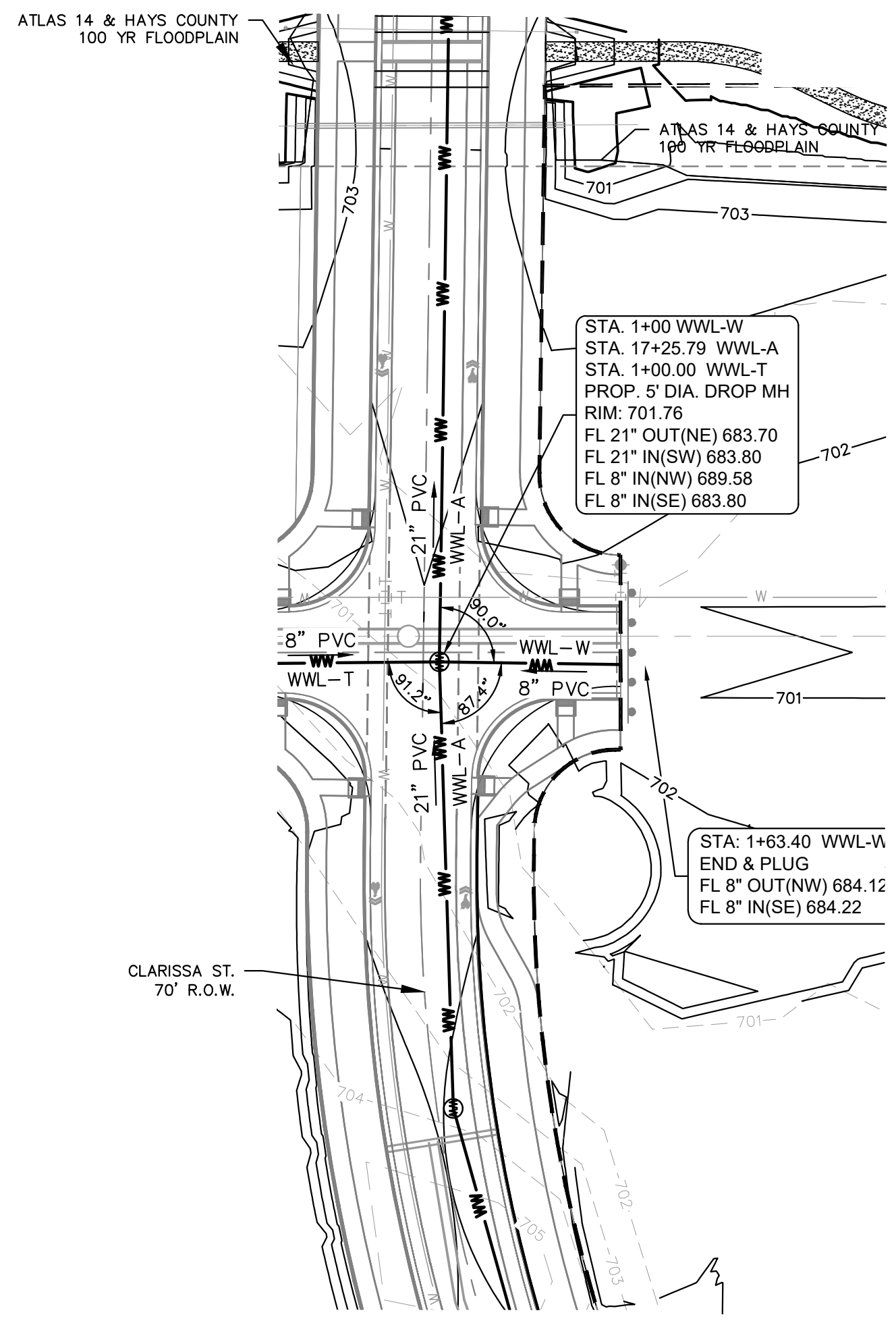
KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HM,MH,DM  
CHECKED BY: AEG

**SANITARY SEWER PLAN AND PROFILE - LINE S**

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

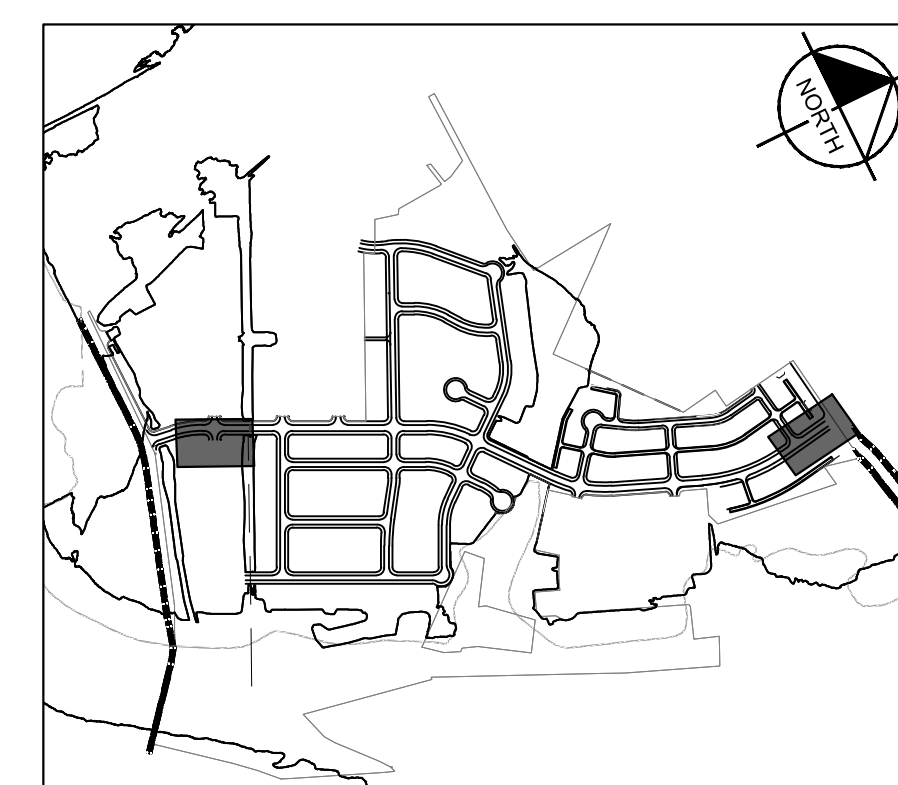
SHEET NUMBER: 204 OF 226

Plotted by: Lee, David Date: July 17, 2023 08:48:20am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\C-Wastewater P&P - WWL S, W, CC, X.dwg  
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UTILITY LEGEND

---	PROPERTY LINE
—WW—	PROPOSED WASTE WATER LINE
—W—	PROPOSED WATER LINE
⊙	PROPOSED WASTE WATER MANHOLE
→	WASTE WATER FLOW DIRECTION
⊕	PROPOSED FIRE HYDRANT W/ GATE VALVE
⊕	PROPOSED VALVE
⊕	PROPOSED WATER METER
---	PROPOSED SEWER SERVICE LINE
---	PROPOSED STORM SEWER LINE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
⊕	EXISTING POWER POLE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING WATER METER
⊕	EXISTING WASTE WATER MANHOLE



NOTE:  
1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.

**811**  
Know what's below.  
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

PROFILES SCALE  
1" = 40' HORIZONTAL  
1" = 4' VERTICAL

BENCHMARKS

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 77' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=725.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THIRSE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SANITARY SEWER PLAN  
AND PROFILE - LINE W  
& CC

Kimley & Horn  
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07/17/2023

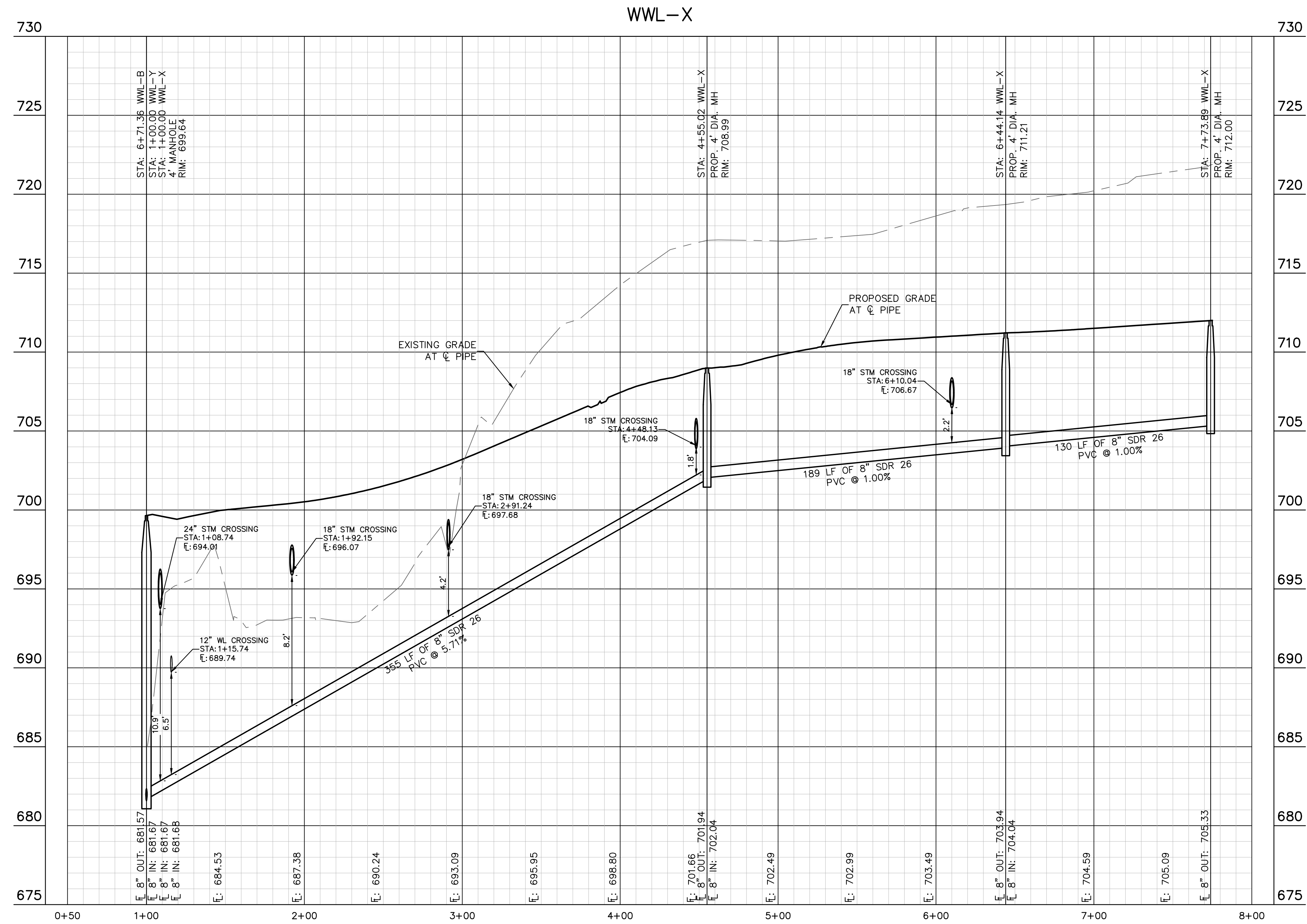
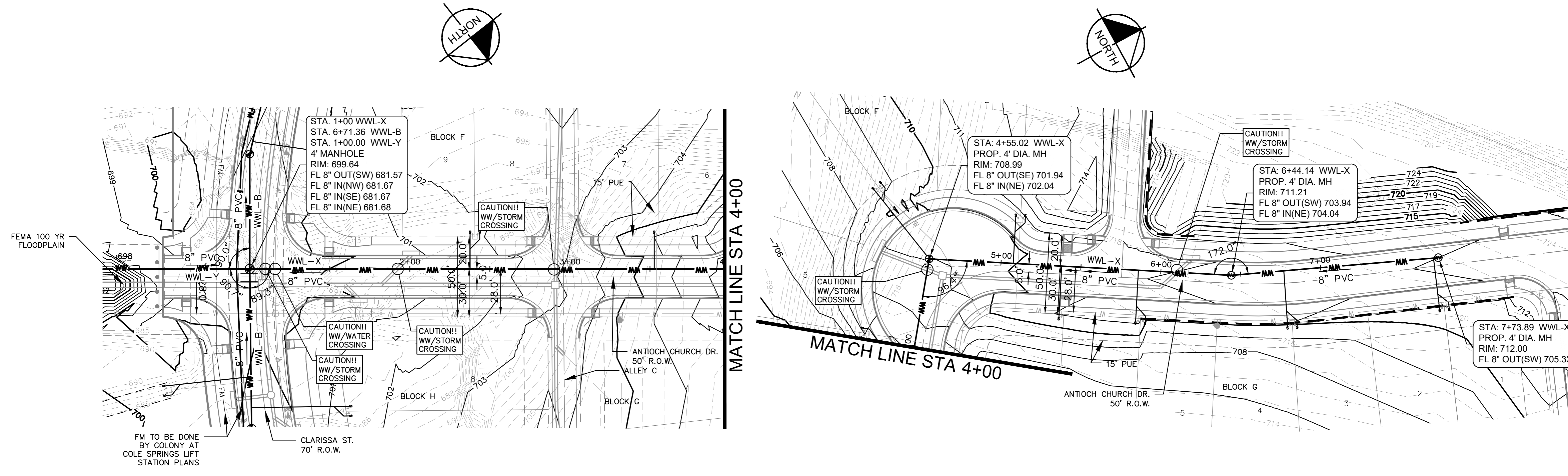
KHA PROJECT: 067783115  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB,DM  
DRAWN BY: WB,HH,MH,DM  
CHECKED BY: AEG

REVISIONS

NO. DATE BY

SHEET NUMBER  
205  
OF 226

Plotted by: Lee, David Date: July 17, 2023 08:49:04am File Path: K:\SAU\_Civil\067783115 Meritage Budd Assemblage\Cad\PlanSheets\C-Wastewater\_P&P - WWL-X.dwg  
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Call before you dig.

**BENCHMARKS**

- BM #100 - 1/4" NAIL SET IN THE MIDDLE OF A CURB IN LET ON THE WEST SIDE OF FM 897 7'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV = 712.00 (NAVD 88)
- BM #104 - 1/4" NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV = 712.04 (NAVD 88)
- BM #106 - 1/4" NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV = 712.56 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
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DATE: \_\_\_\_\_ BY: \_\_\_\_\_

REVISIONS:

No.	DATE	BY

**KHA PROJECT**  
067783115

**DATE**  
JULY 2023

**SCALE**  
AS SHOWN

**DESIGNED BY**  
WB, DM

**DRAWN BY**  
WB, HM, MH, DM

**CHECKED BY**  
AEC

**07/17/2023**

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 15308

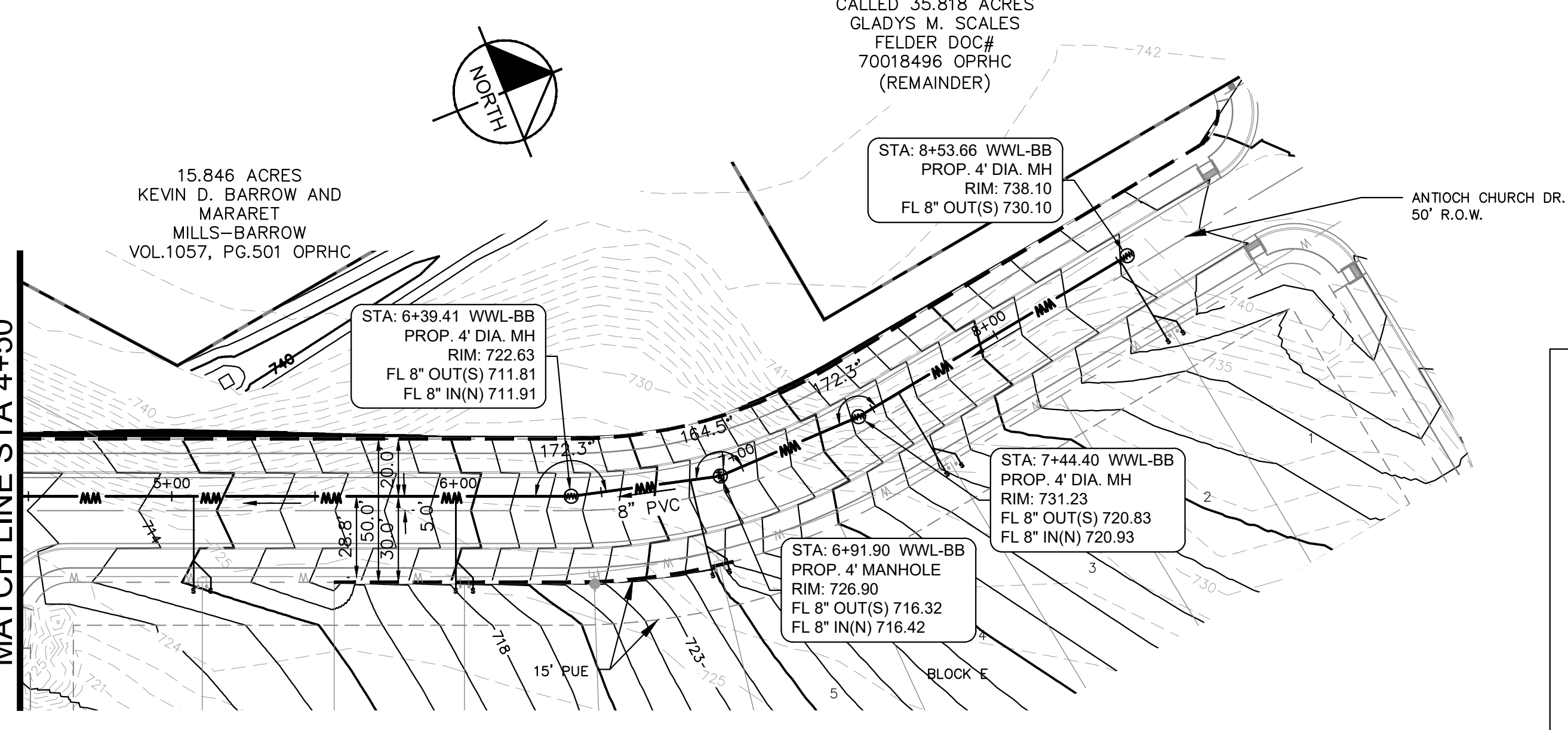
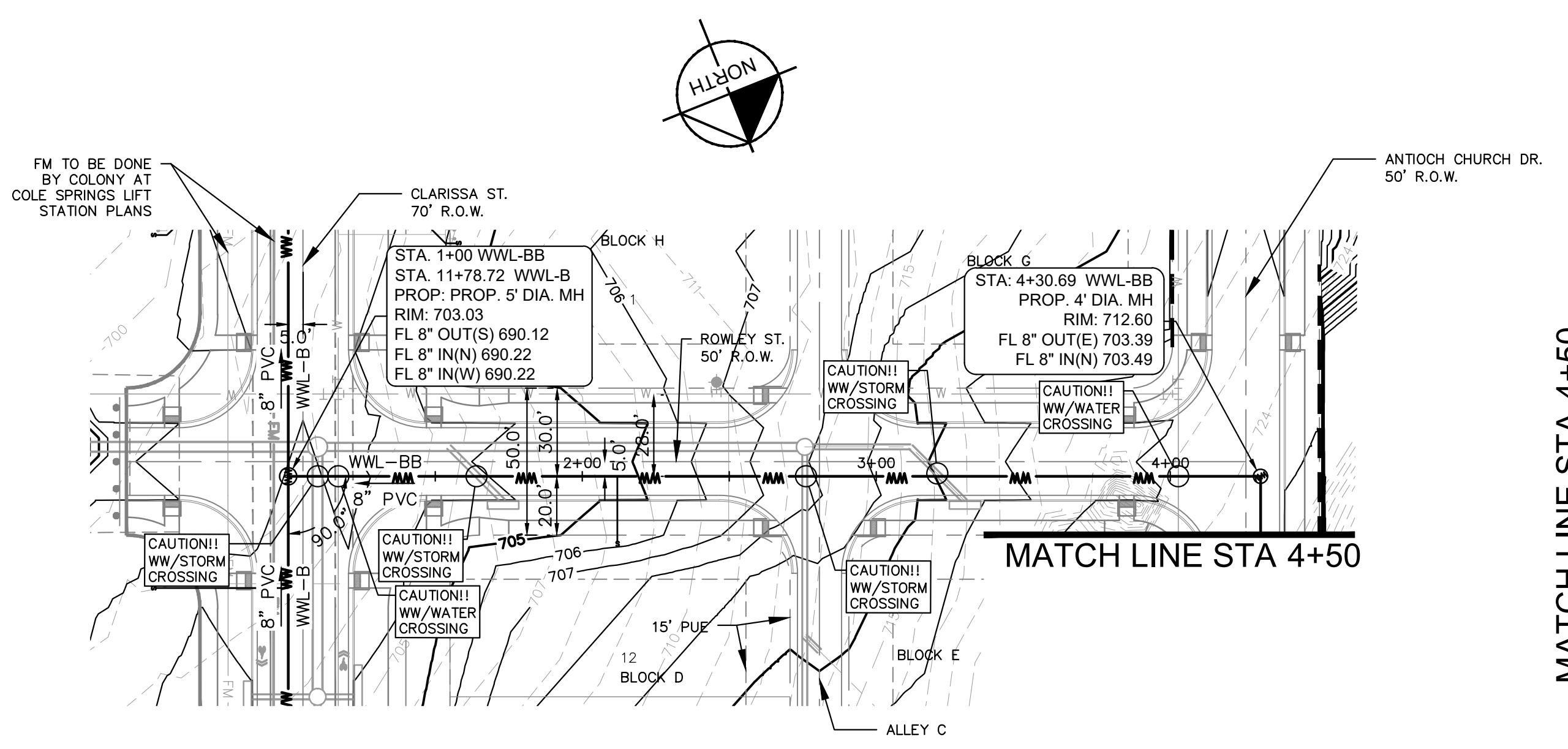
*Aljank E. Granados Rico*

**SANITARY SEWER PLAN AND PROFILE - LINE X**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**206**  
OF 226

Plotted by: Alvarado, Alex Date: July 17, 2023 11:26:54am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\C-WW-BB-0-Q-T-Y.dwg  
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**UTILITY LEGEND**

- PROPERTY LINE
- PROPOSED WASTE WATER LINE
- PROPOSED WATER LINE
- PROPOSED WASTE WATER MANHOLE
- WASTE WATER FLOW DIRECTION
- PROPOSED FIRE HYDRANT W/ GATE VALVE
- PROPOSED VALVE
- PROPOSED WATER METER
- PROPOSED SEWER SERVICE LINE
- PROPOSED STORM SEWER LINE
- EXISTING OVERHEAD POWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WASTE WATER MANHOLE

NO.	REVISIONS	DATE

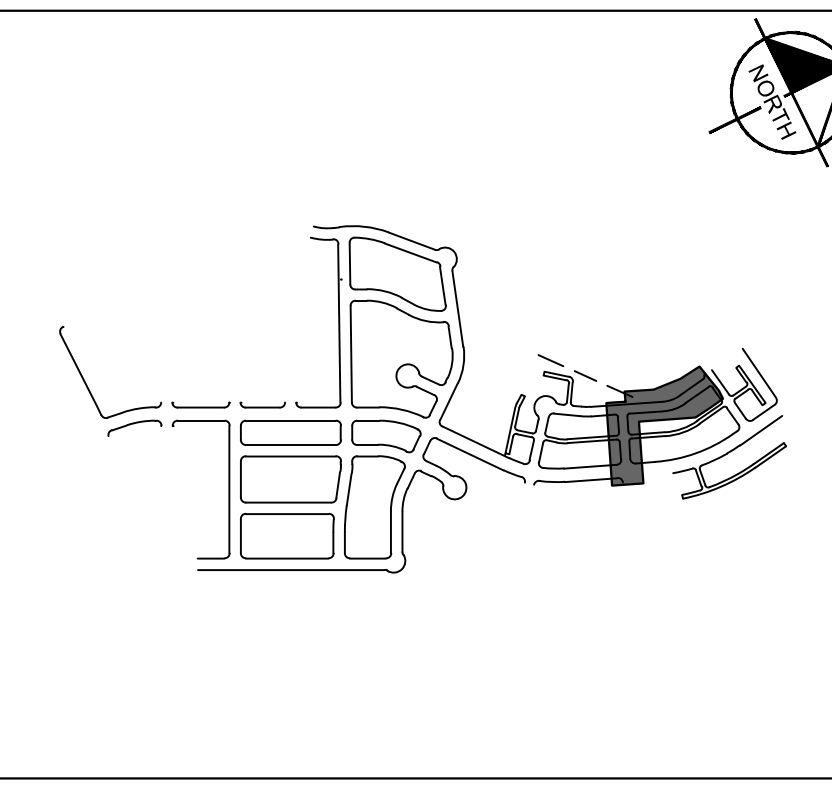
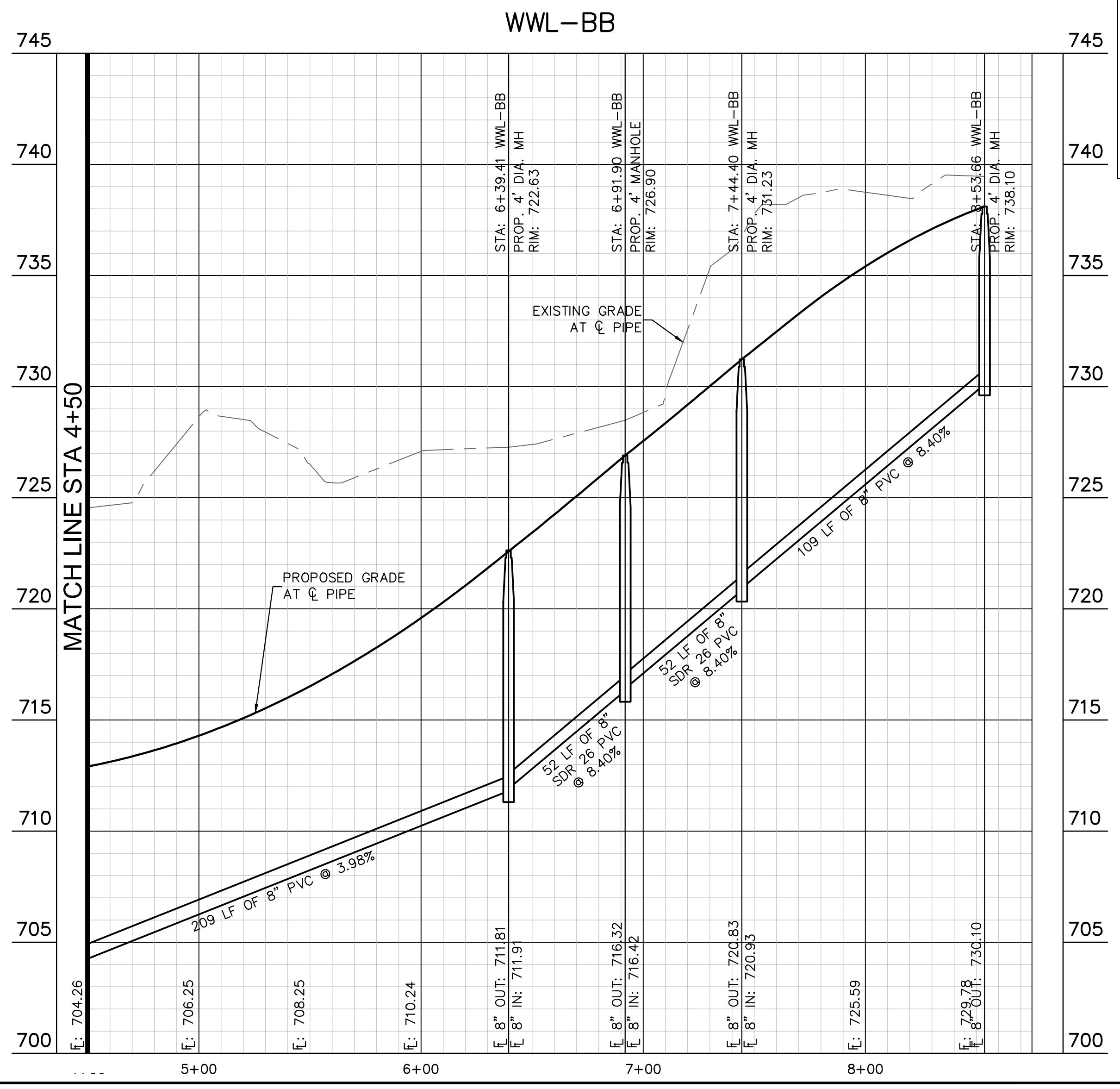
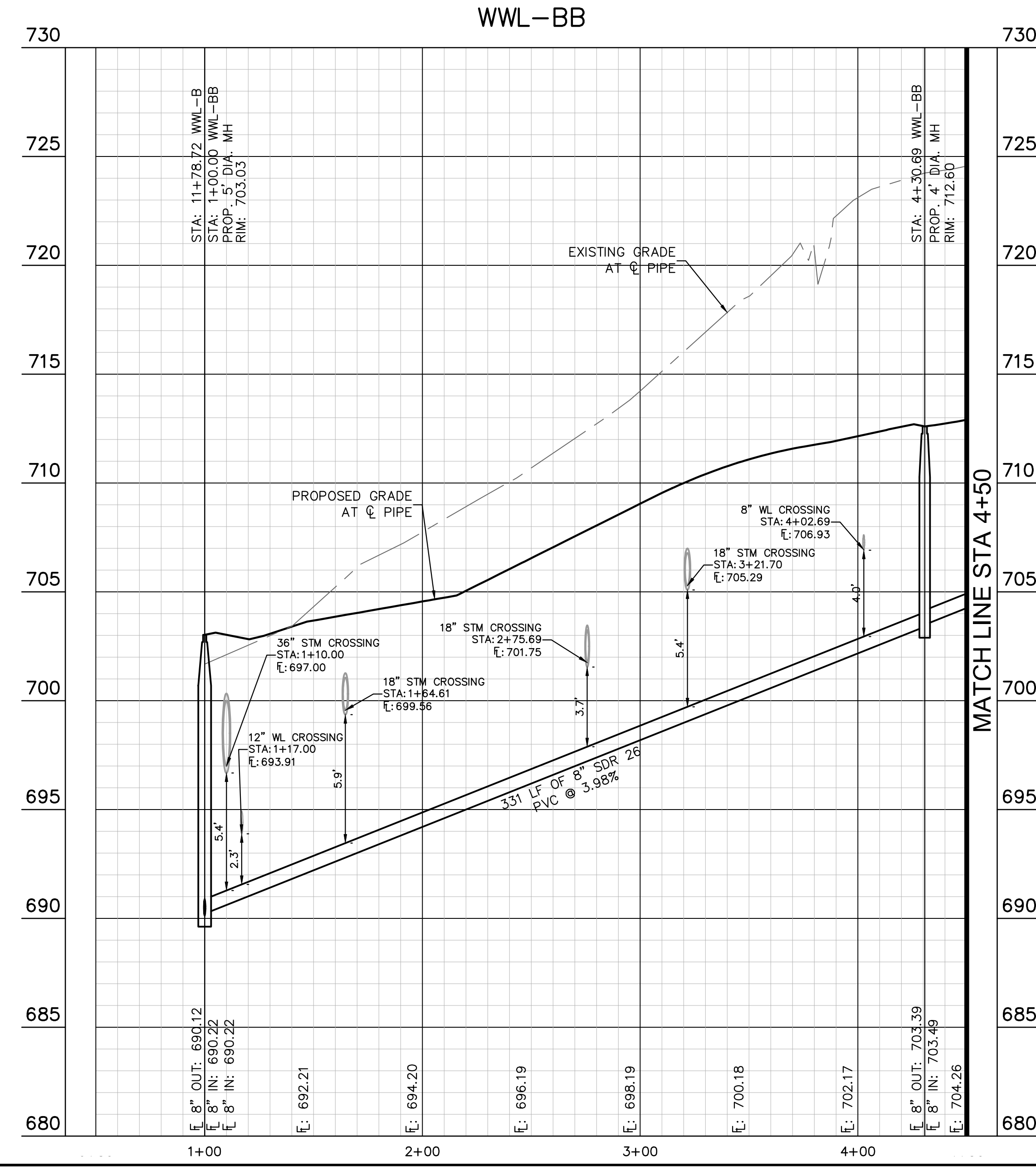
**Kimley-Horn**  
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 AUSTIN, TX 78745  
 PH: 512.454.5777  
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 TBPE Firm

07/17/2023  
  
 Alejandro E. Granados Rico  
 Licensed Professional Engineer  
 State of Texas  
 License No. 13098

**SANITARY SEWER PLAN AND PROFILE - LINE BB**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**207**  
 OF 226



**KEY MAP**  
 SCALE: 1:1000

NOTE:  
 1. ALL DROP MANHOLES MUST HAVE TIE IN CROWN TO CROWN OF DOWNSTREAM PIPE.

**811**  
 Know what's below.  
 Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77'4" NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV: 702.87 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THIRSE OVERHEAD ELECTRIC LINES. ELEV: 712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 207 OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

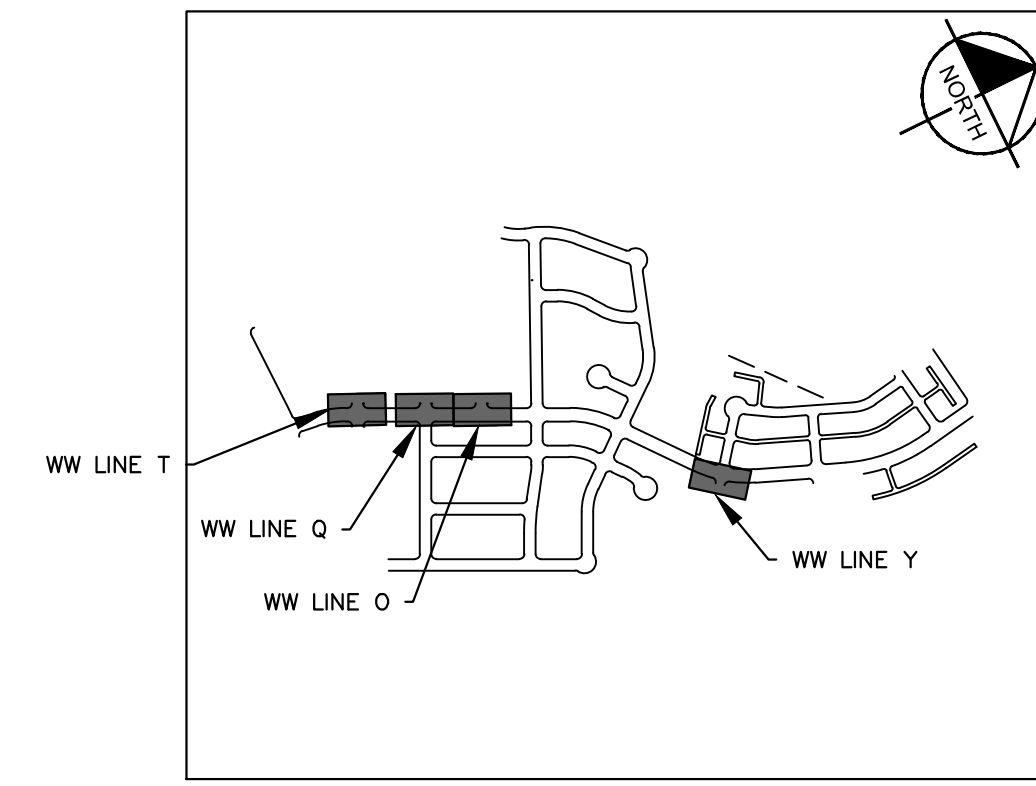
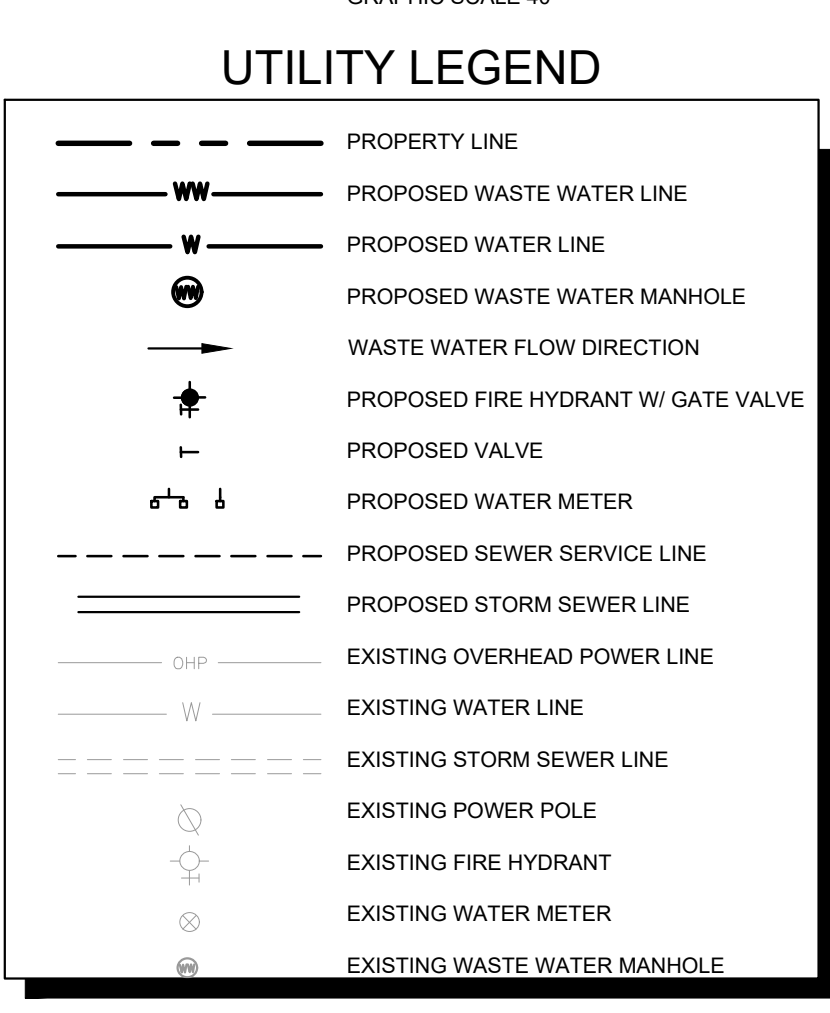
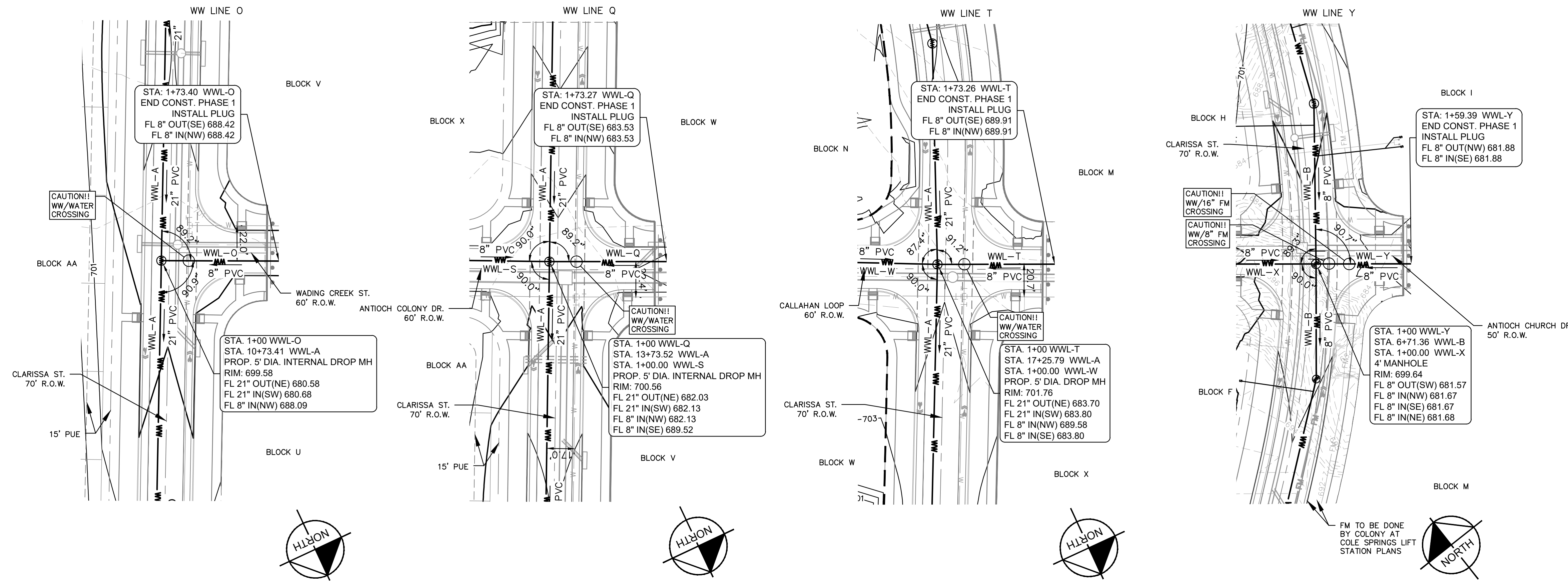
Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

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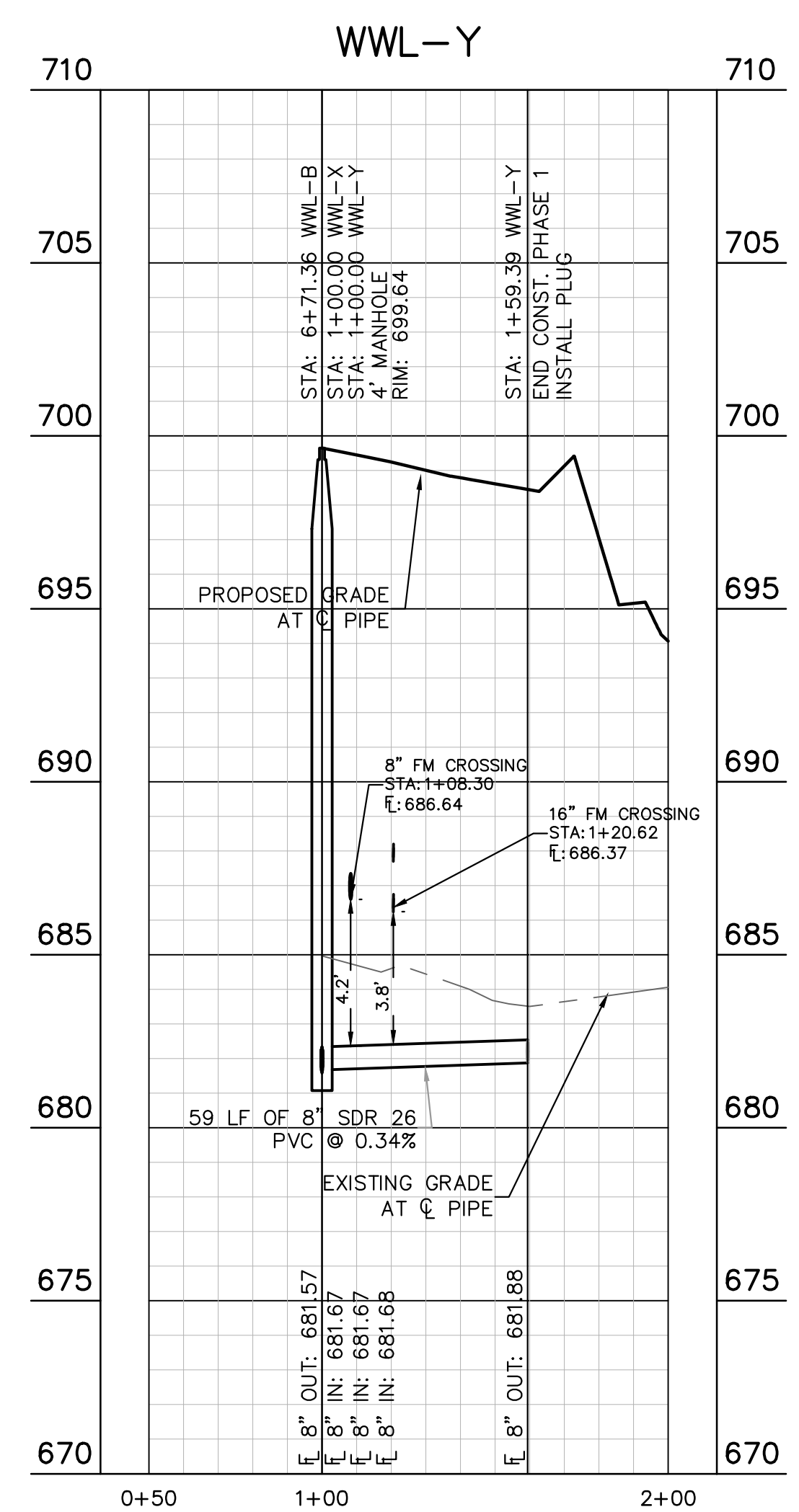
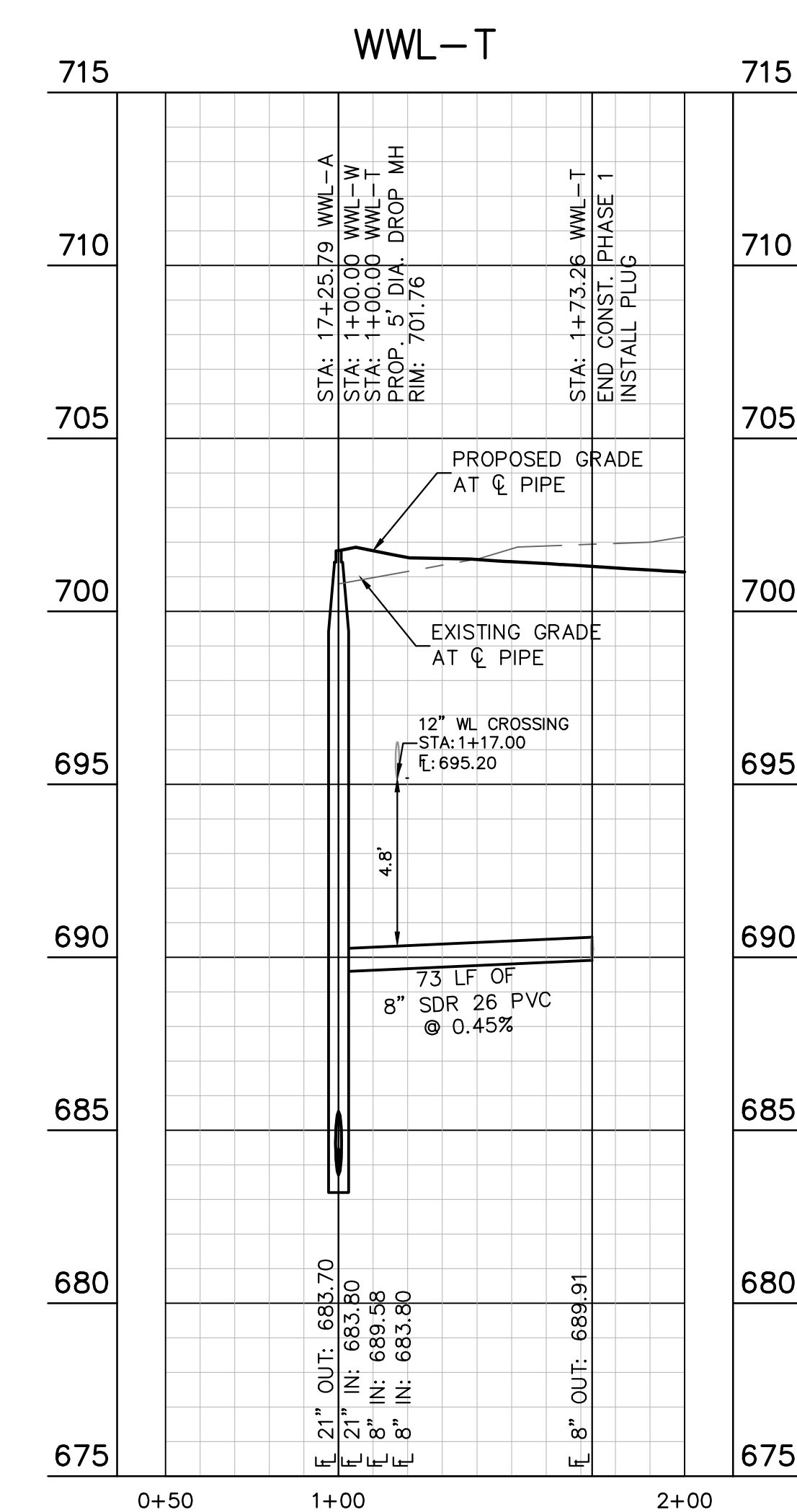
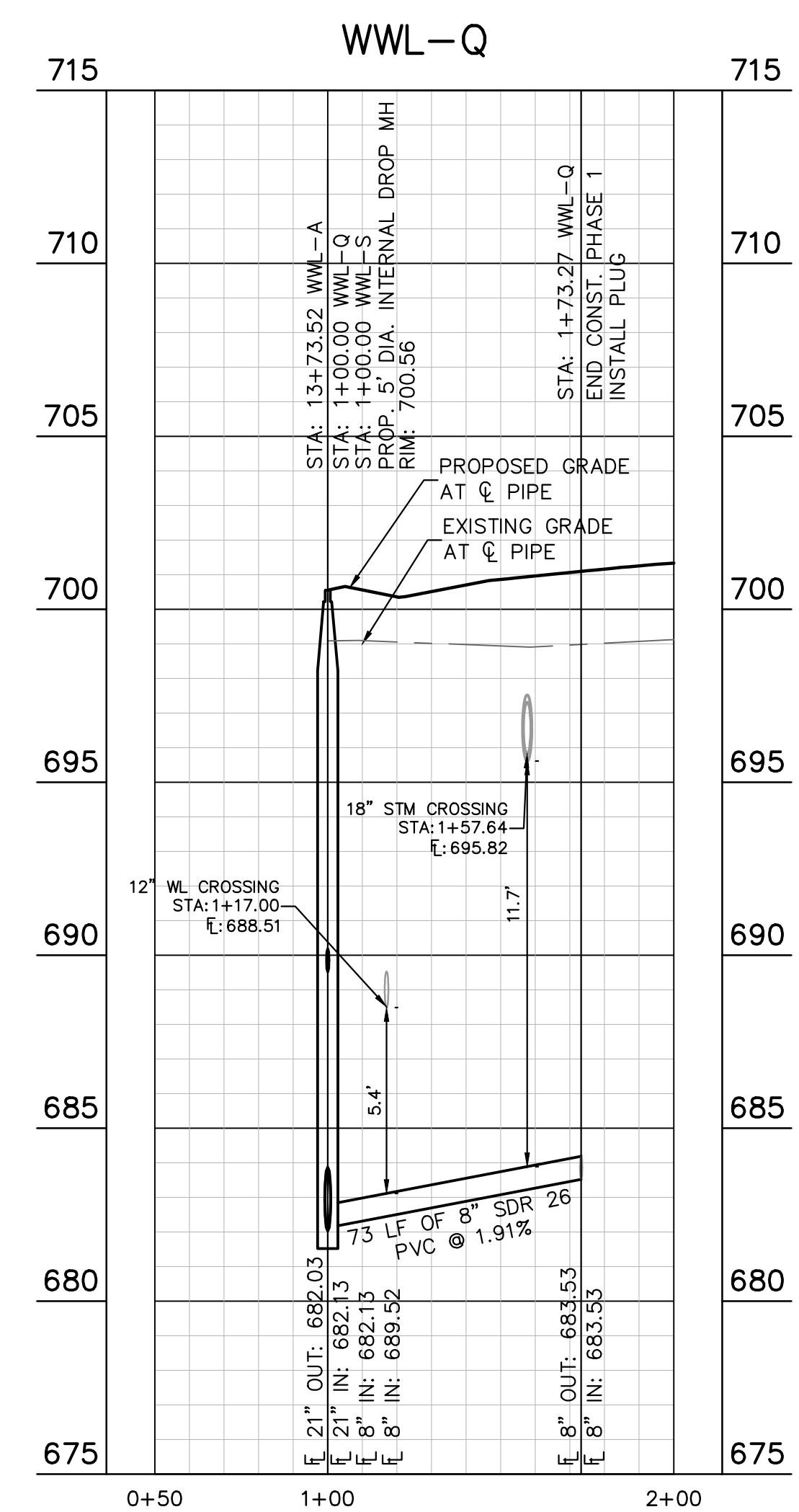
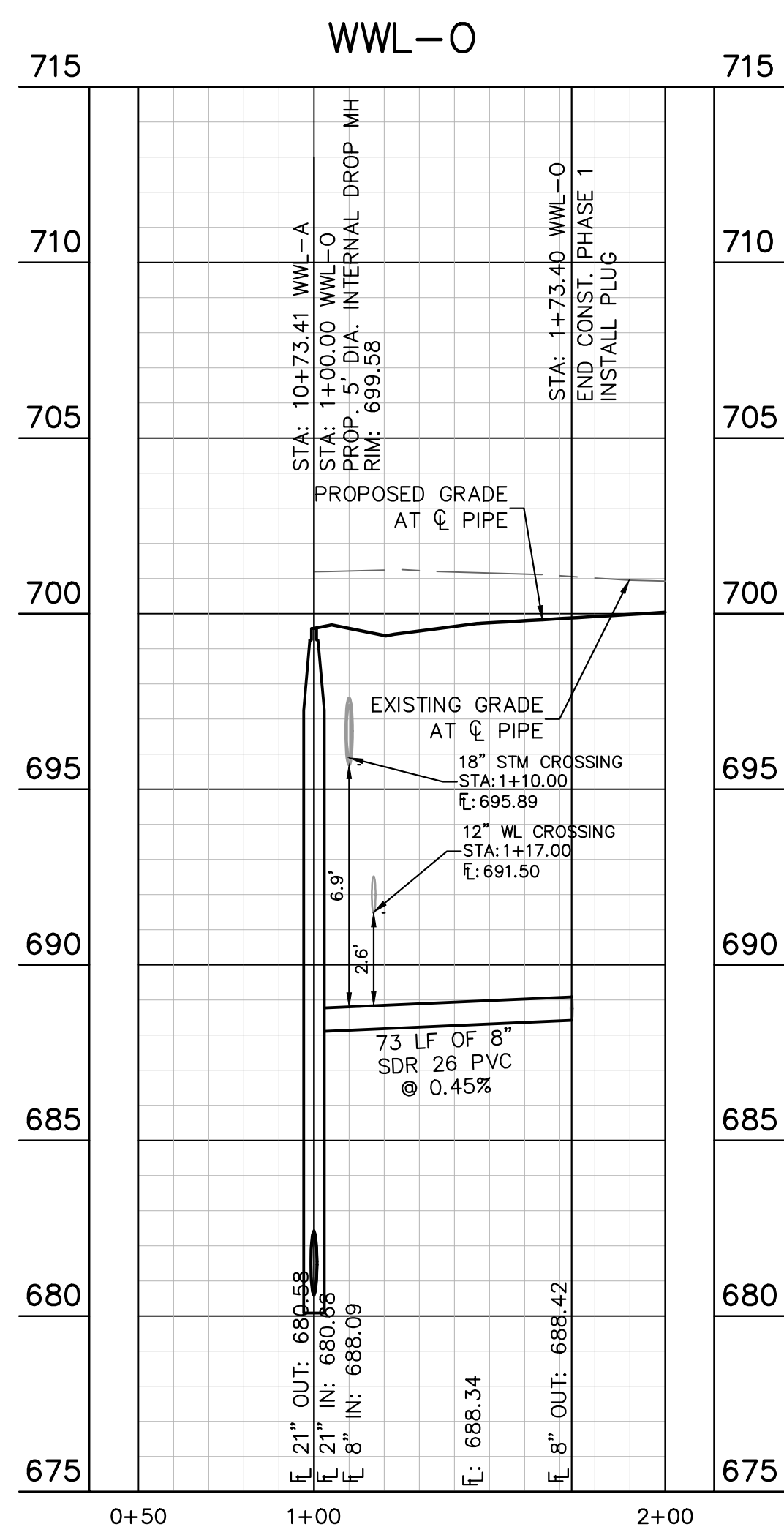
PERMIT NUMBER: 2021-737

Plotted by: Alvarado, Alex Date: July 17, 2023 11:28:47am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\C-Wastewater P&P - WWL BB, O, Q, T, Y.dwg  
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**KEY MAP**  
 SCALE: 1:1000

NOTE:  
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 Know what's below.  
 Call before you dig.

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BENCHMARKS:  
 BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77.4 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=711.04 (NAVD 88)  
 BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW ON THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD 88)  
 BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLLEGE COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

A. KENNEDY  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
 Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
 Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley & Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
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 TBE Firm No. 928

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,MM,MDM  
 CHECKED BY: AEC

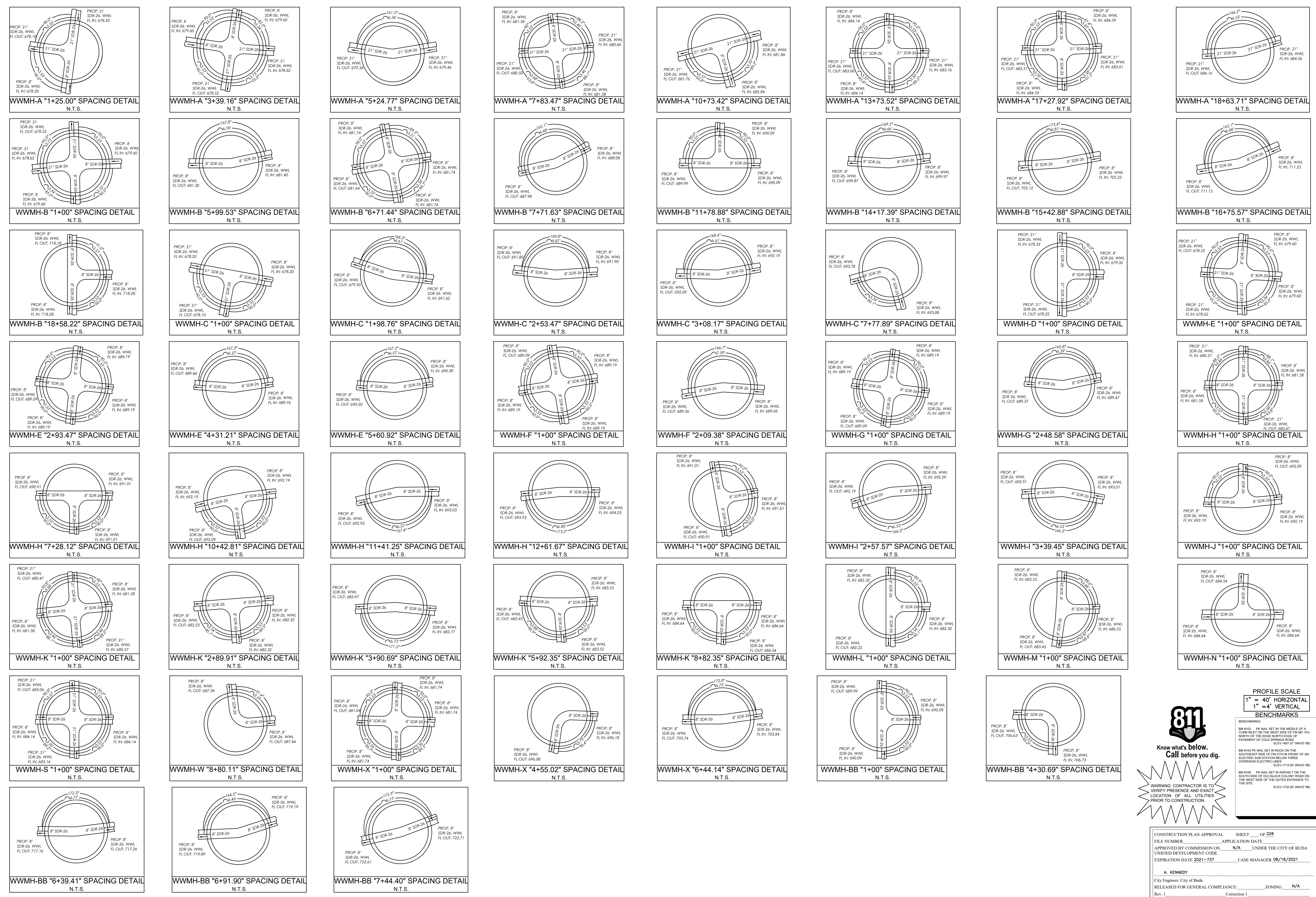
**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SANITARY SEWER PLAN AND PROFILE - LINE O Q T Y

SHEET NUMBER **208**  
 OF 226

REVISIONS  
 No. \_\_\_\_\_ DATE \_\_\_\_\_ BY \_\_\_\_\_

Plotted by: Lee, David Date: July 17, 2023 09:06:14am File Path: K:\SAL\_Civil\067783115 Meritage Budd Assemblies\Cad\PlanSheets\196 SANITARY SEWER MANHOLE INVERT DETAILS.dwg  
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**811**  
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WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**PROFILE SCALE**  
 1" = 40' HORIZONTAL  
 1" = 4' VERTICAL

**BENCHMARKS**

BM #100 1/4" PK NAIL SET IN THE MIDDLE OF A CURB IN SET ON THE WEST SIDE OF FM 897.794 NORTH OF THE SDR-NORTH SIDE OF PAVEMENT OF SOLE SPRINGS ROAD. ELEV=722.56 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)

BM #106 1/4" PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF GULF ROAD CROSSING ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=732.56 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET **226** OF **226**

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building project is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

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 AUSTIN, TX 78745-5757  
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 TBE Firm No. 928

DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

NO. \_\_\_\_\_

BY \_\_\_\_\_

7/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13050  
 Aljame E. Granados

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,MM,MH,DM  
 CHECKED BY: AEG

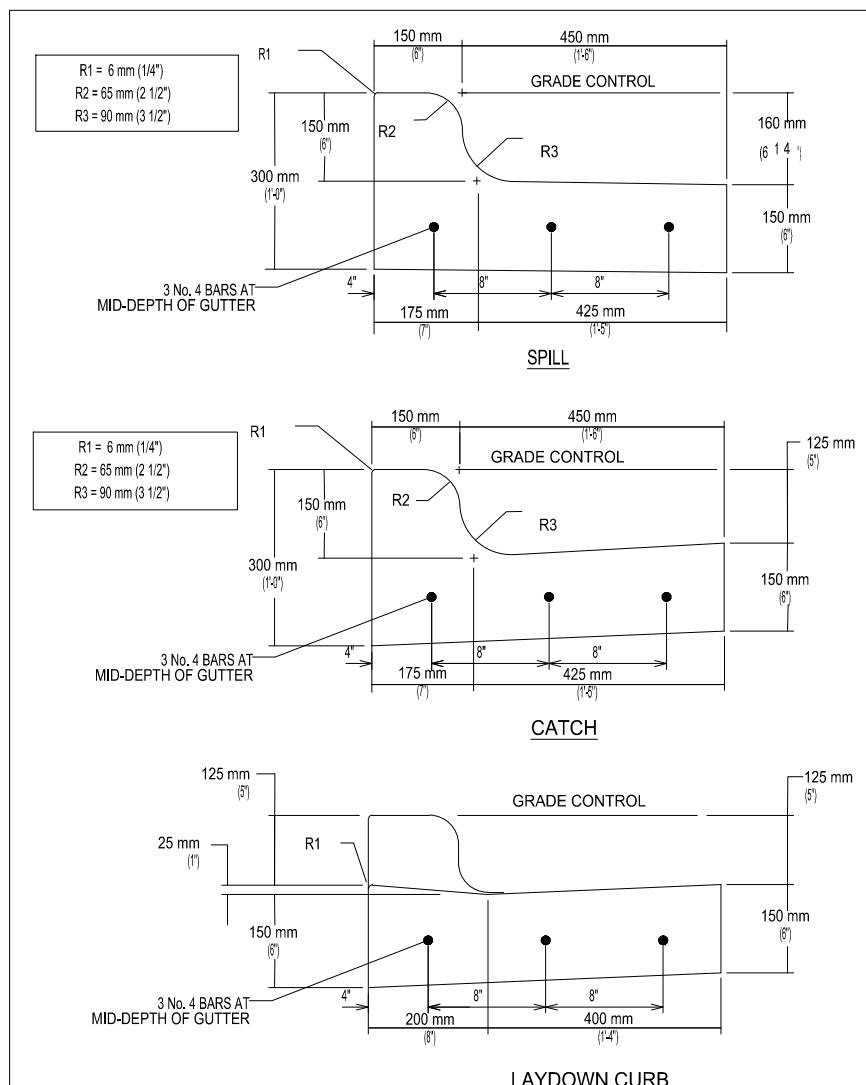
**SANITARY SEWER MANHOLE INVERT DETAILS**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

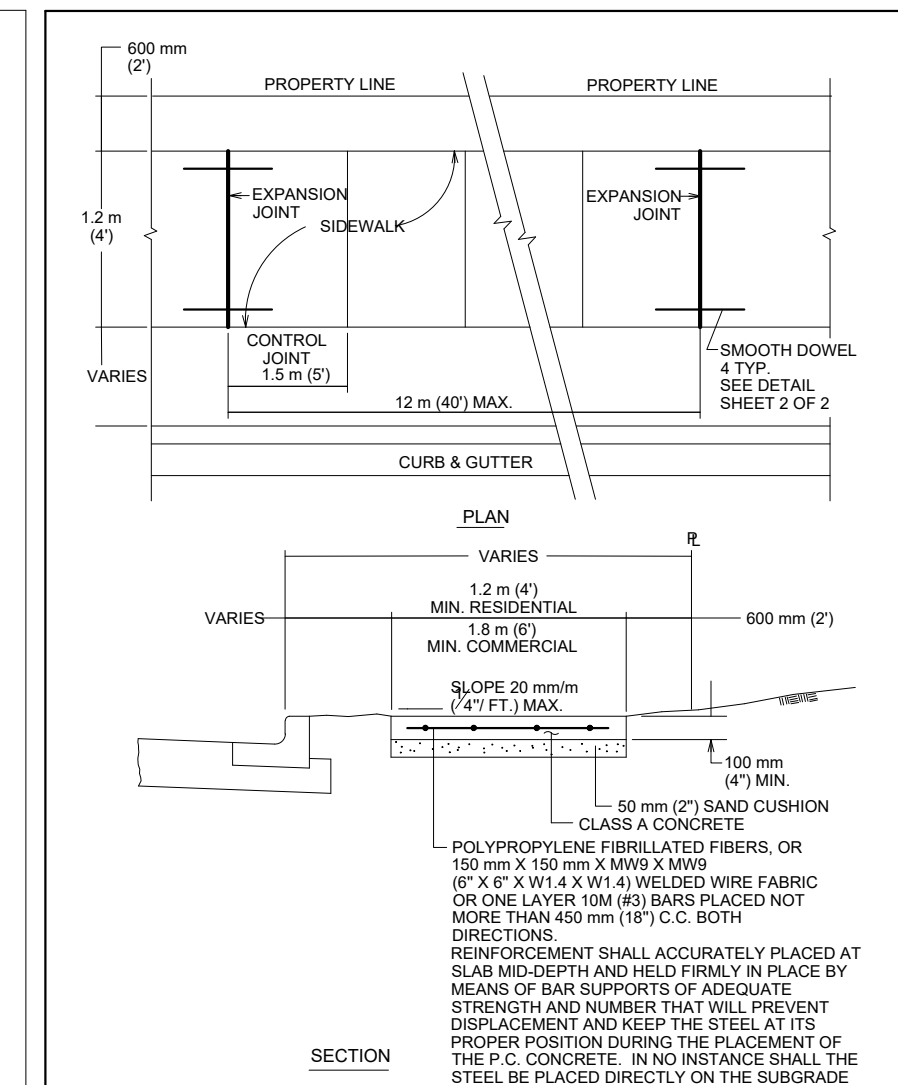
SHEET NUMBER **209**  
 OF 226



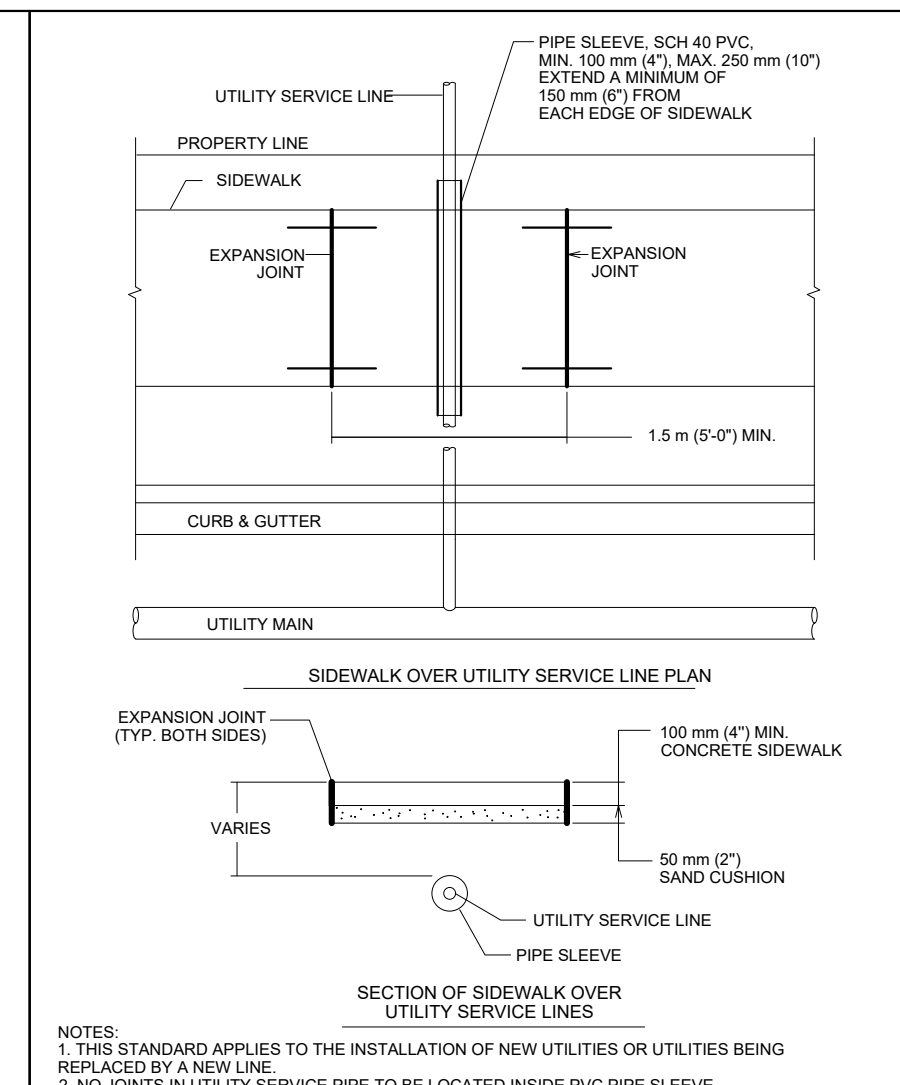
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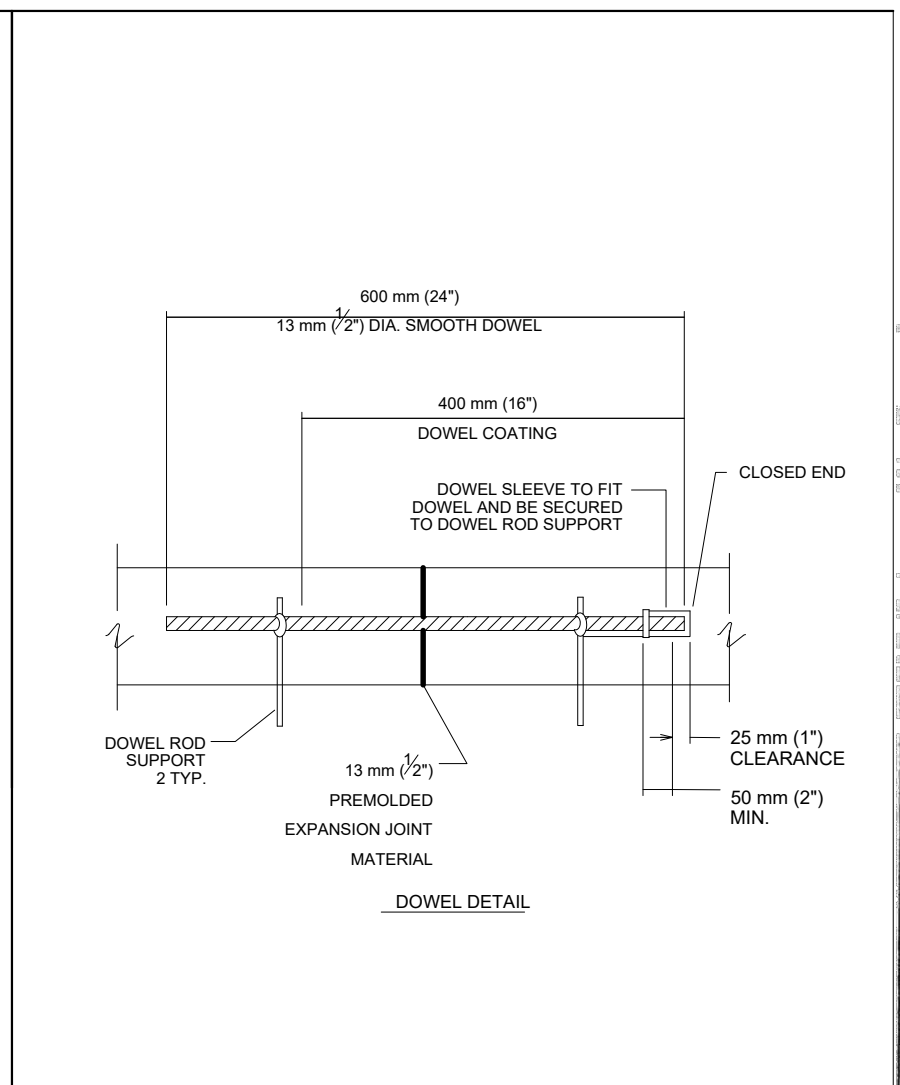
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RECORD COPY SIGNED BY SAM ANDOCH	6/16/2019 ADOPTED	430S-2



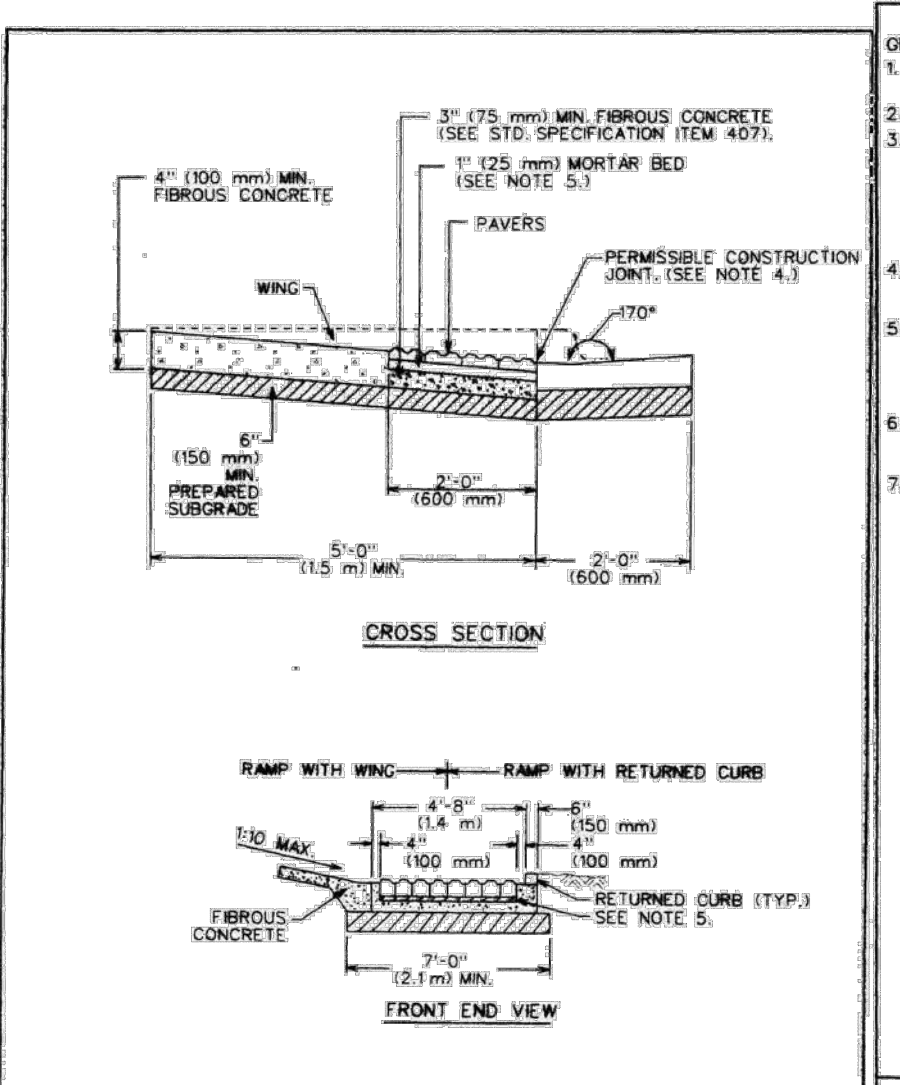
CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	SIDEWALK	STANDARD NO.
RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	432S-1



CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	SIDEWALK	STANDARD NO.
RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	432S-1



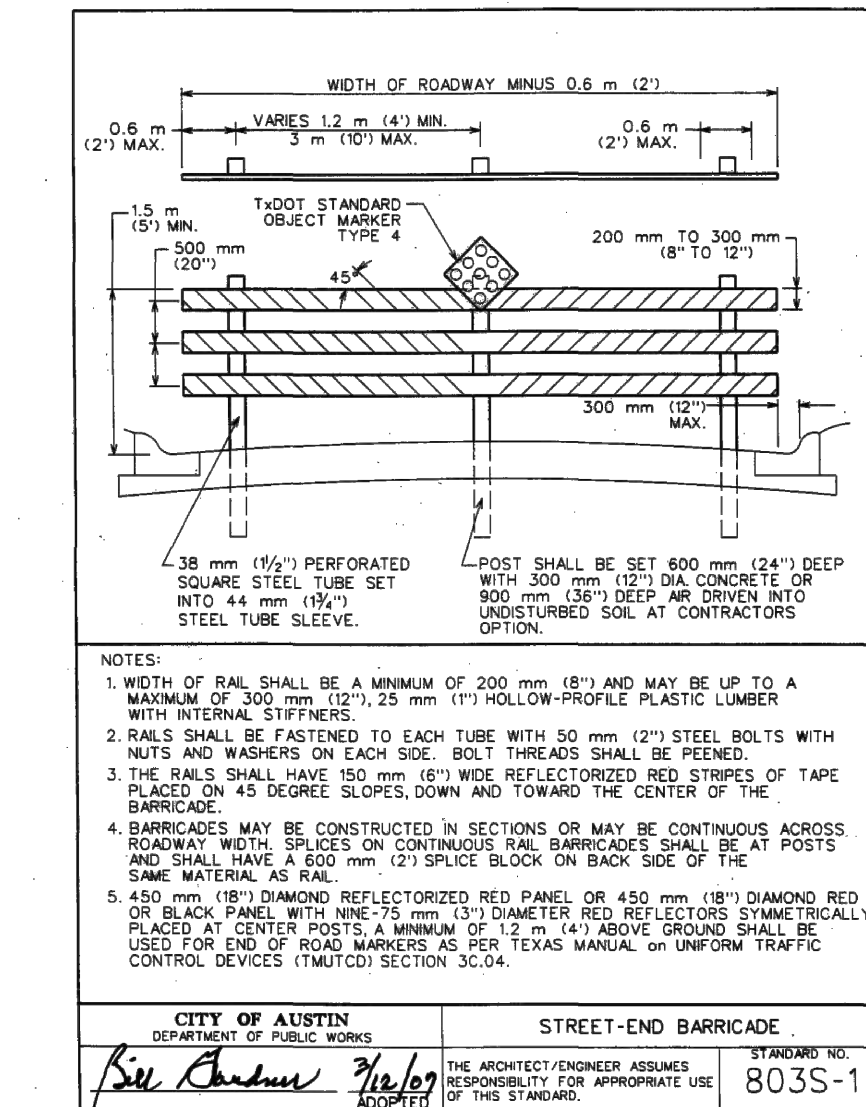
CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	DETECTABLE WARNING-PAVER (CITY PROPERTY/EASEMENTS)	STANDARD NO.
RECORD COPY SIGNED BY BILL GARDNER	6/16/19 ADOPTED	432S-2A



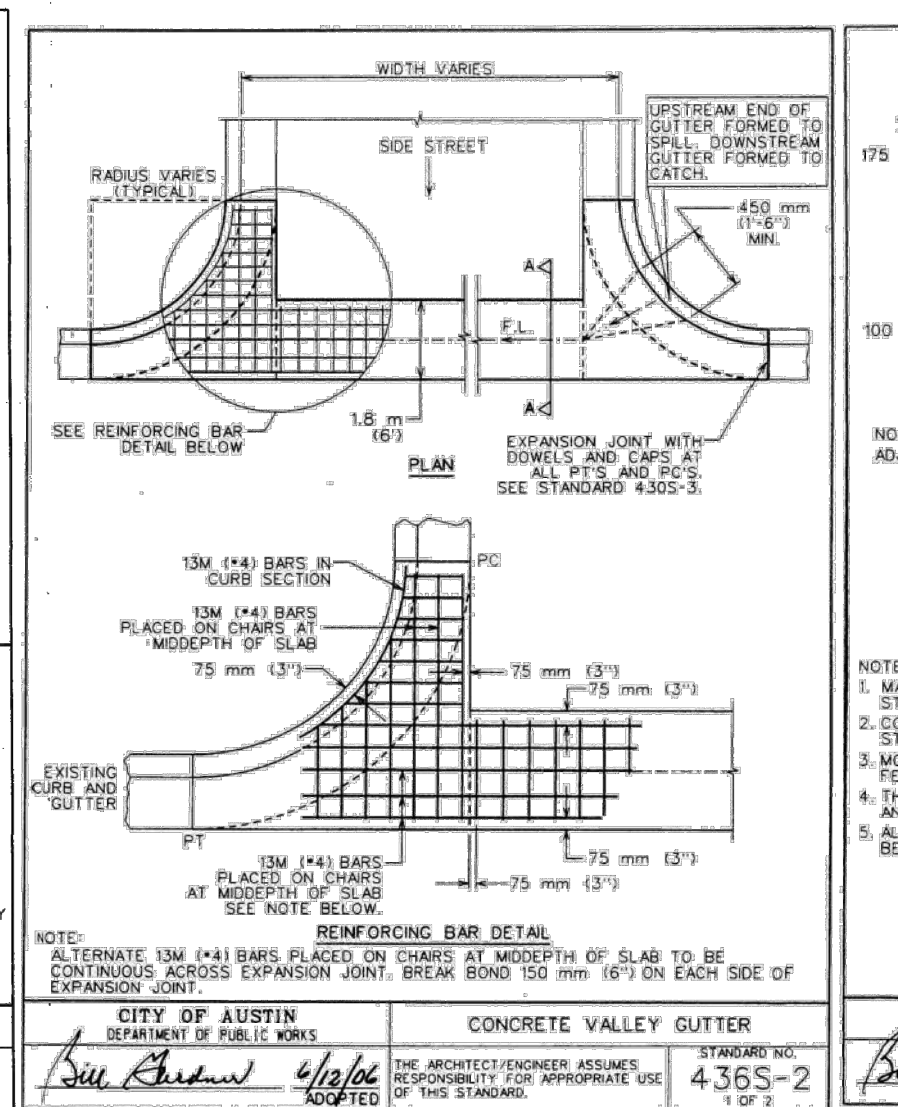
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RECORD COPY SIGNED BY BILL GARDNER	6/16/19 ADOPTED	432S-2A

GENERAL NOTES:  
1. THIS STANDARD IS APPLICABLE FOR RAMP CONSTRUCTION ON CITY PROPERTY AND EASEMENT AREAS ONLY.  
2. PAVERS ARE REQUIRED FOR ALL CURB RAMP INSTALLATIONS.  
3. PAVERS WILL HAVE DETECTABLE WARNING THAT CONSISTS OF RAISED TRUNCATED DOMES WITH A DIAMETER OF 0.9" (23 mm), A NOMINAL HEIGHT OF 0.2" (5 mm) AND A NOMINAL CENTER TO CENTER SPACING OF 2.31" (58 mm) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT (PER ADAAG SECTION 4.08.2). MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTERLOCKING, NON-SLIP, DURABLE, WEAR RESISTANT, AND NON-ABRASIVE. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL BE IN INCHES.  
4. ALL CURB RAMP CONSTRUCTION SHALL BE CONSTRUCTED WITH THE SLOPE OF THE UNDERLYING SURFACE. THE SLOPE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.  
5. TYPICAL SIDEWALK WIDTHS AND CURB RADII ARE SHOWN FOR ILLUSTRATION ONLY. REFER TO TRANSPORTATION CRITERIA MANUAL FOR SIDEWALK WIDTHS, CURB RADI AND CURB BASIS.  
6. THE PERMISSIBLE CONSTRUCTION JOINT BETWEEN THE PAVERS AND THE ADJOINING SURFACE SHALL BE LIMITED TO 1/2" (12.5 mm) LONG. GAPS LARGER THAN 1/2" SHALL BE FILLED WITH A MORTAR OR CONCRETE MATCHING THE ADJOINING SURFACE. UNLESS OTHERWISE SPECIFIED, ALL JOINTS SHALL BE FILLERED WITH A MORTAR OR CONCRETE MATCHING THE ADJOINING SURFACE.  
7. CURB RAMP WITH RETURNED CURB MAY ONLY BE USED WHERE PEDESTRIANS WOULD NOT NORMALLY WALK DIAGONALLY ACROSS THE RAMP.

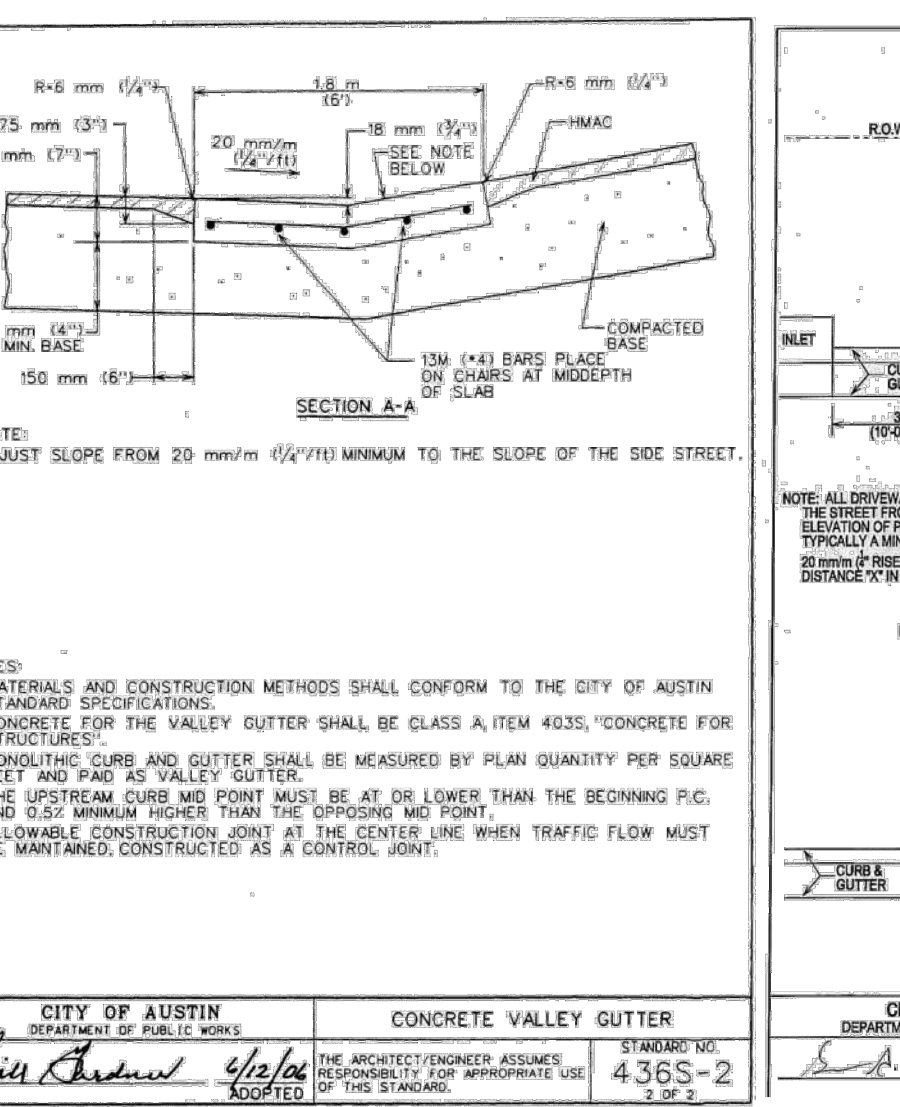
CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	DETECTABLE WARNING-PAVER (CITY PROPERTY/EASEMENTS)	STANDARD NO.
RECORD COPY SIGNED BY BILL GARDNER	6/16/19 ADOPTED	432S-2A



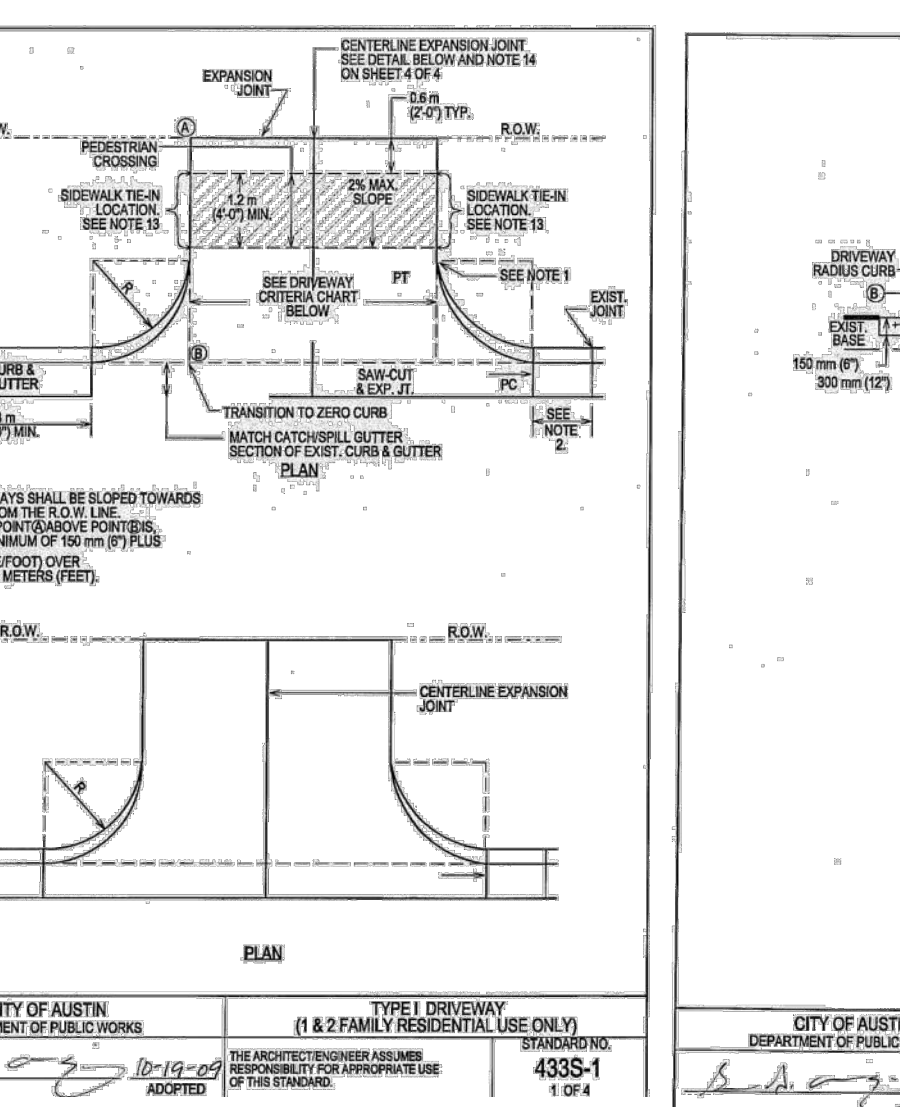
CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	STREET-END BARRICADE	STANDARD NO.
RECORD COPY SIGNED BY SAM ANDOCH	6/16/19 ADOPTED	803S-1



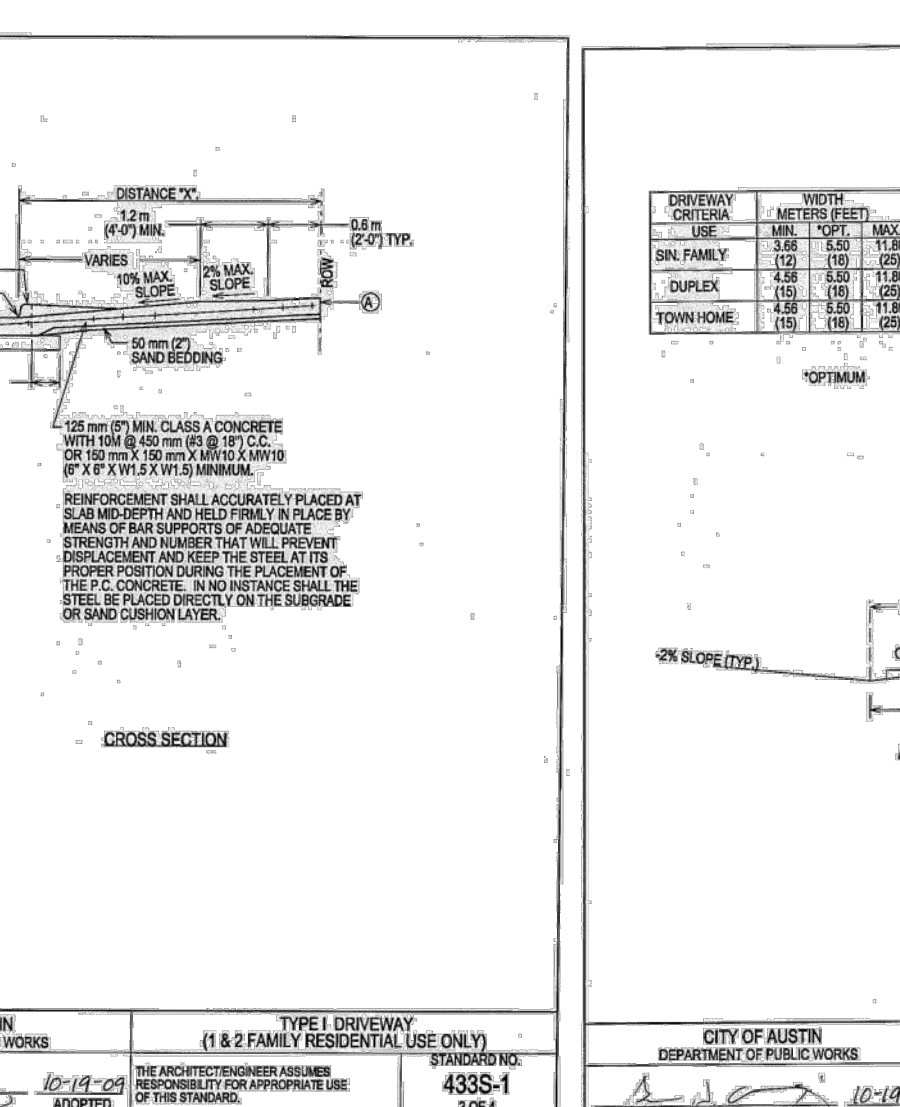
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RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	436S-2



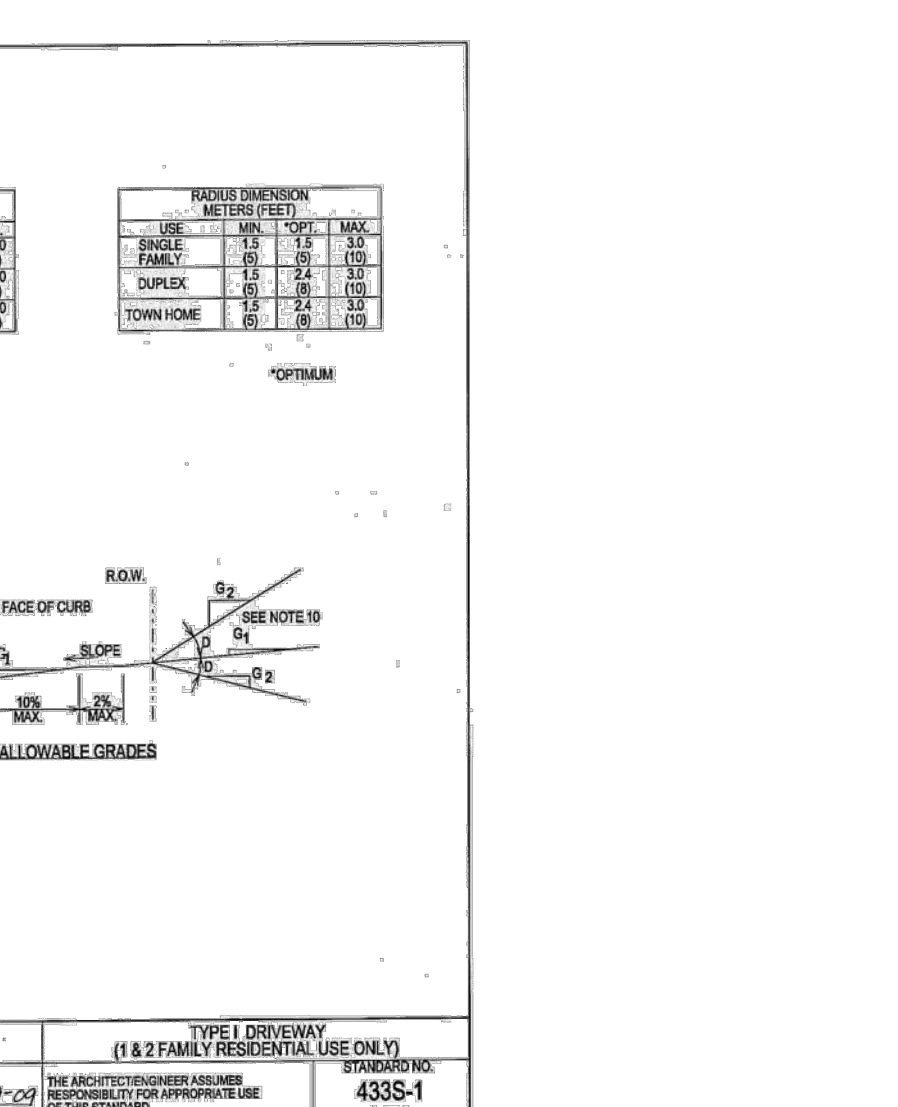
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RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	436S-2



CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	CONCRETE VALLEY GUTTER	STANDARD NO.
RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	436S-2

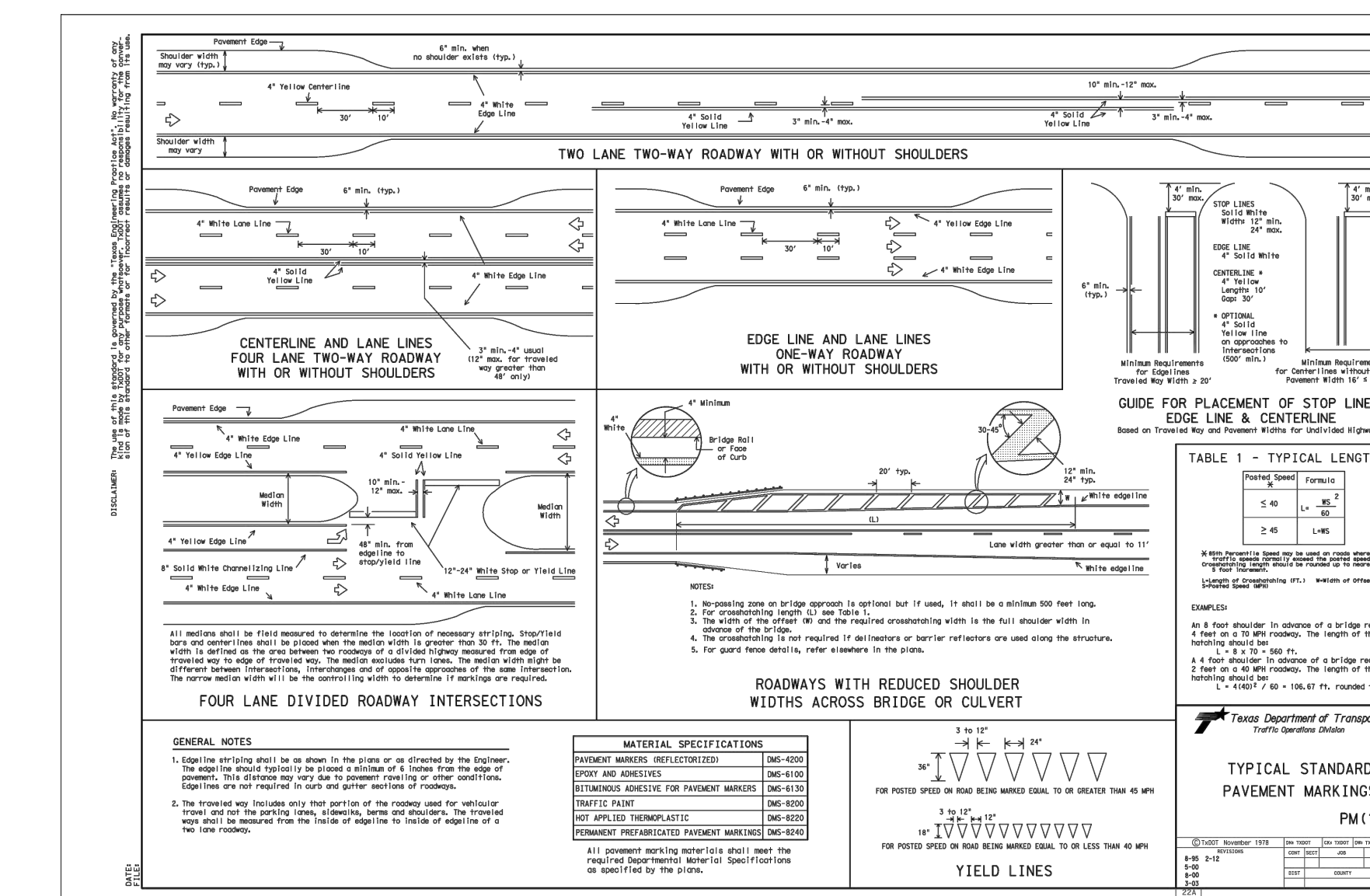


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RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	436S-2

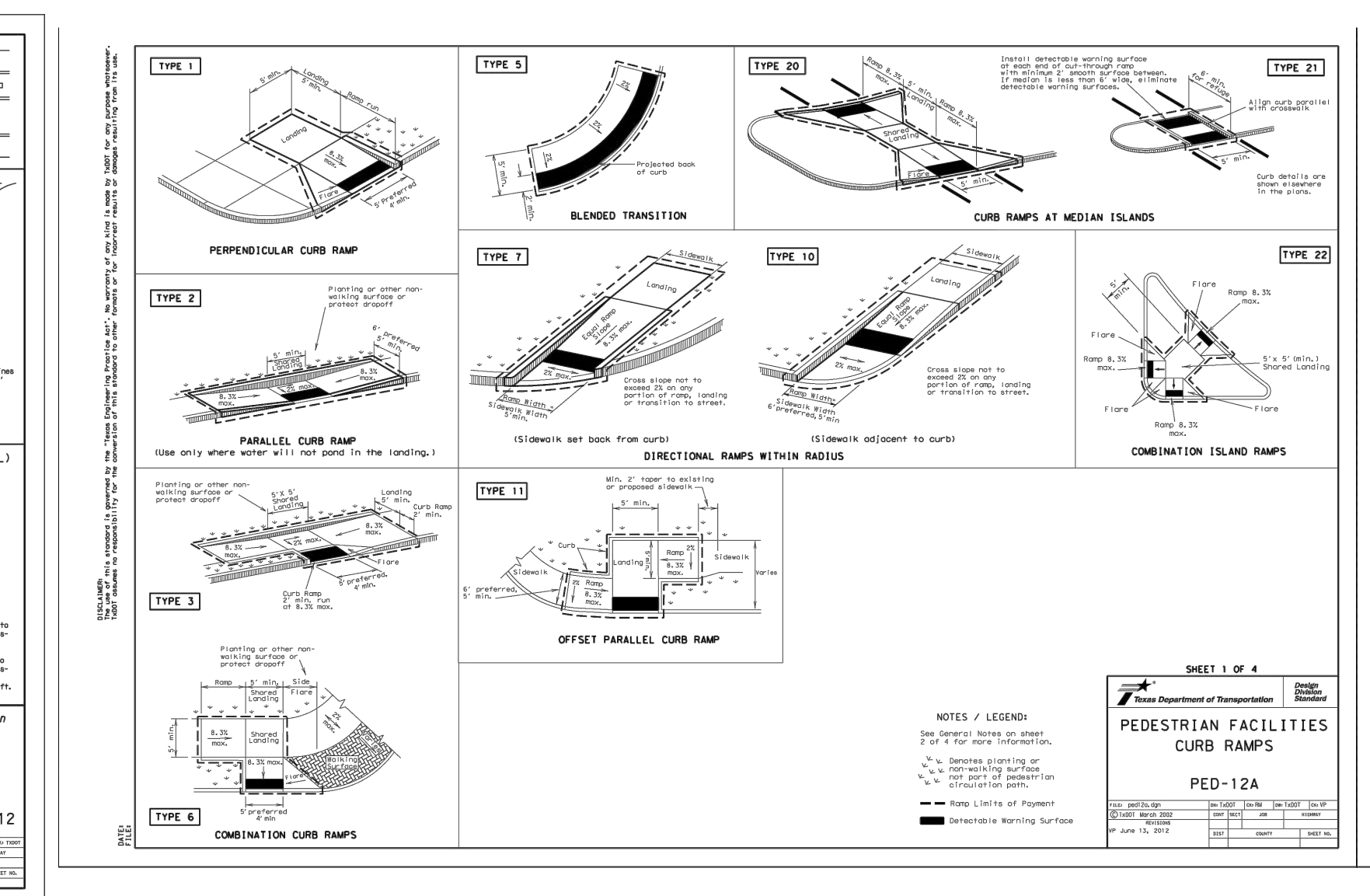


CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	CONCRETE VALLEY GUTTER	STANDARD NO.
RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	436S-2

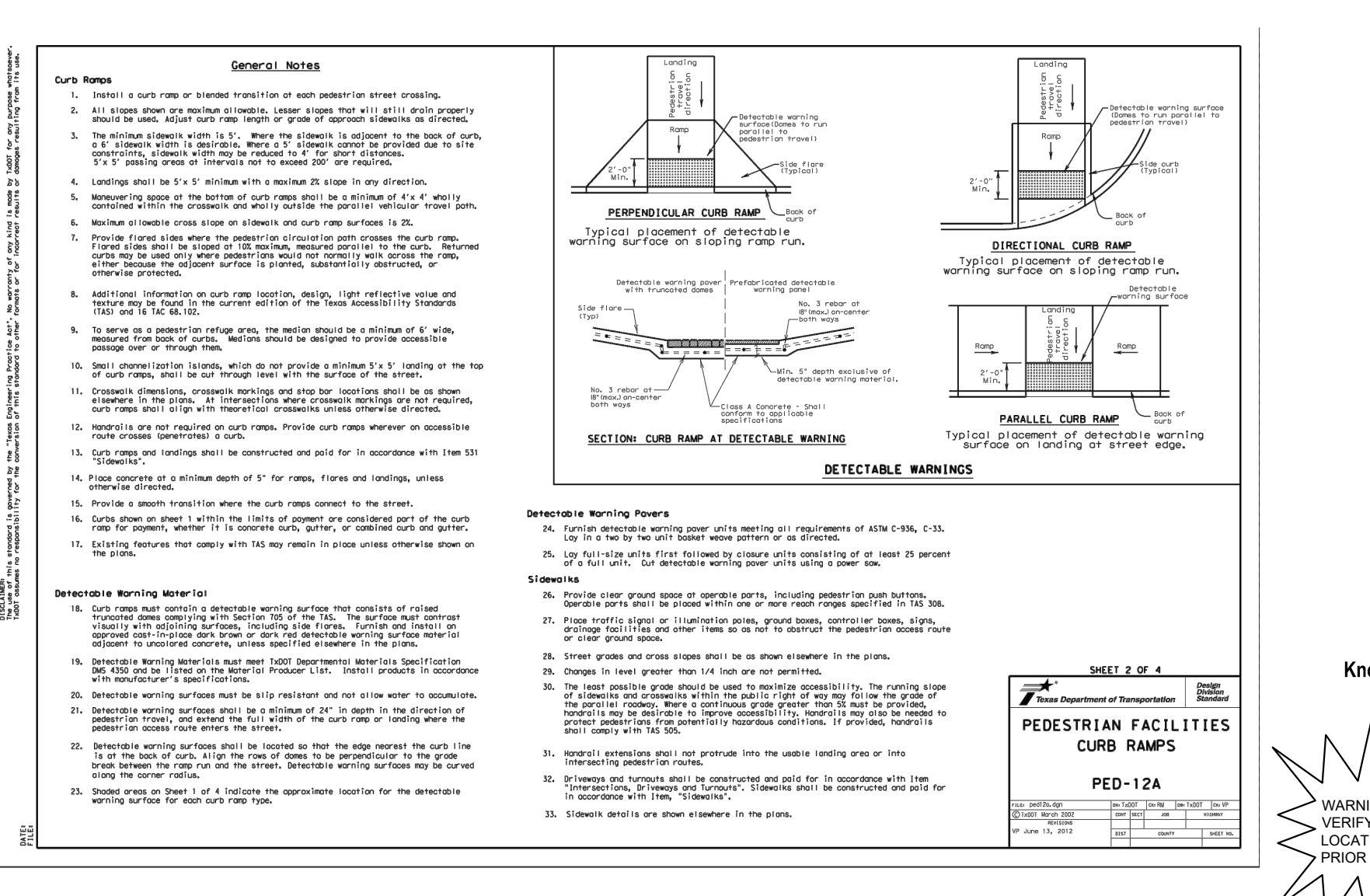
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RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	436S-2



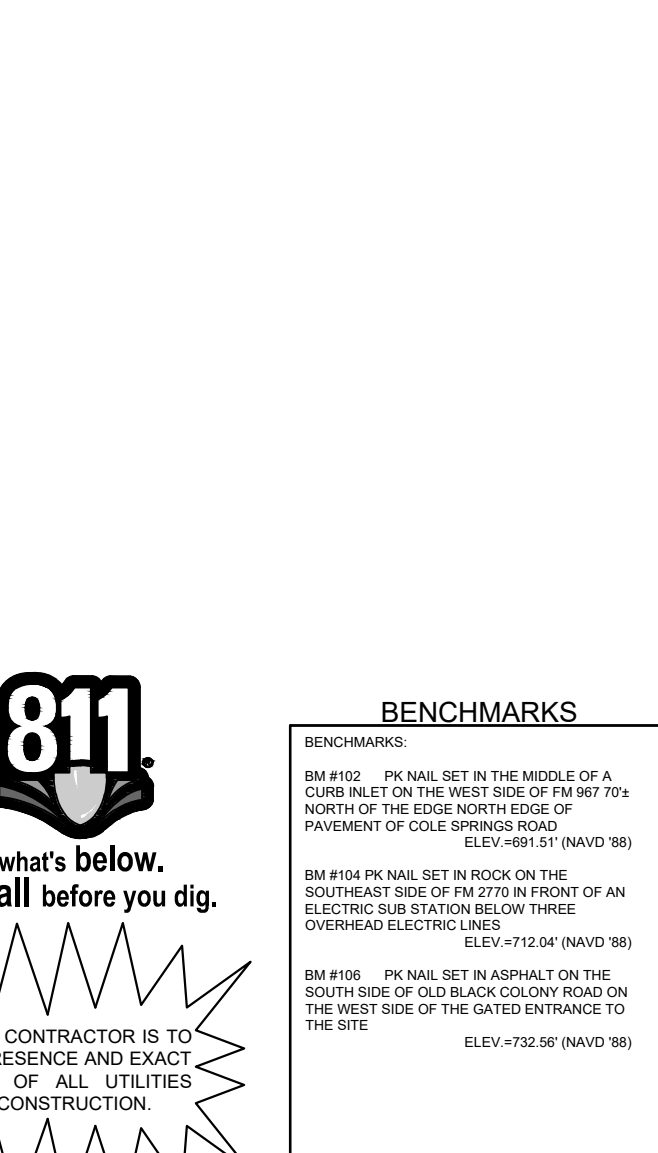
CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	ROADWAYS WITH REDUCED SHOULDER WIDTHS ACROSS BRIDGE OR CULVERT	STANDARD NO.
RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	PM(1)-12



CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	PEDESTRIAN FACILITIES CURB RAMP	STANDARD NO.
RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	PEP-12A



CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	PEDESTRIAN FACILITIES CURB RAMP	STANDARD NO.
RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	PEP-12A



CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	PEDESTRIAN FACILITIES CURB RAMP	STANDARD NO.
RECORD COPY SIGNED BY BILL GARDNER	03/26/08 ADOPTED	PEP-12A

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AUSTIN, TX 78745  
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TBE Firm

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

**PAVING DETAILS**  
(1 OF 3)

**811**  
Know what's below.  
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**BENCHMARKS**  
BM 400: 1/4" NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 877.4 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=72.50 (NAVD 88)  
BM 404: 1/4" NAIL SET IN ROCK ON THE SOUTH SIDE OF FM 277.0 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=72.04 (NAVD 88)  
BM 406: 1/4" NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=72.50 (NAVD 88)

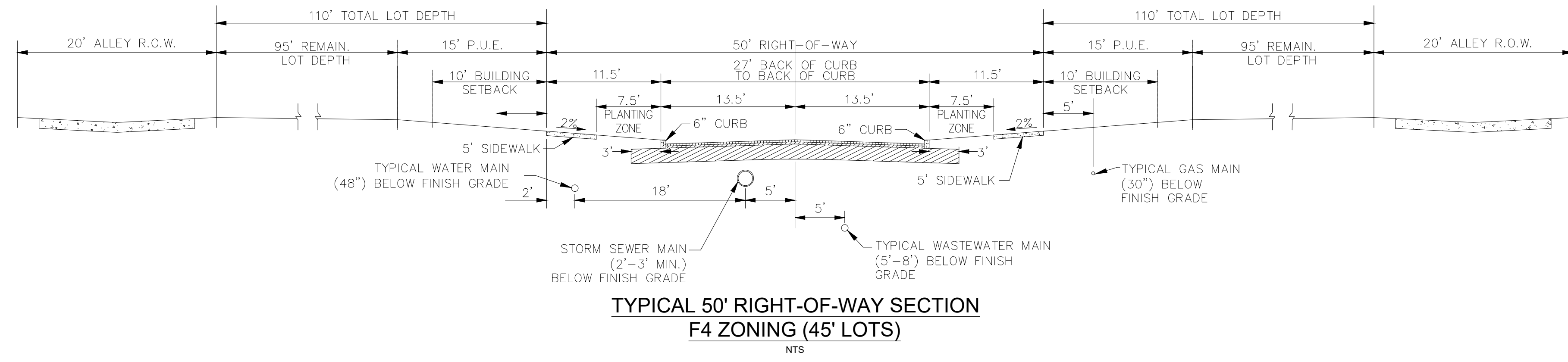
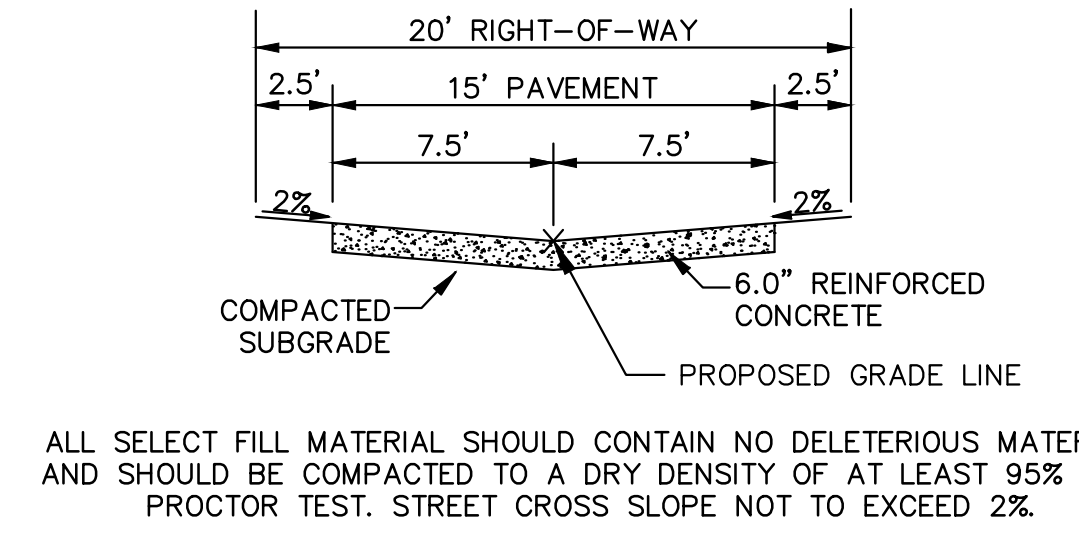
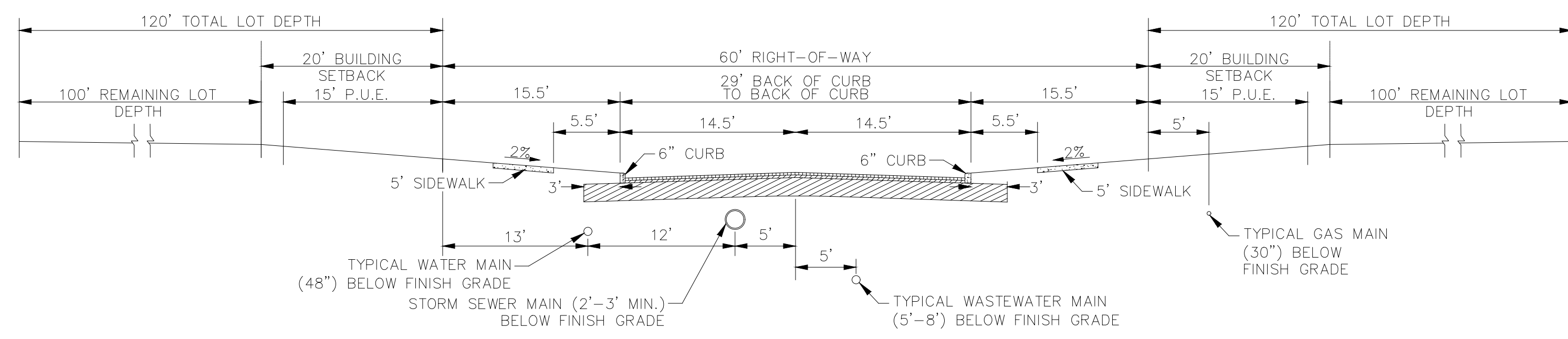
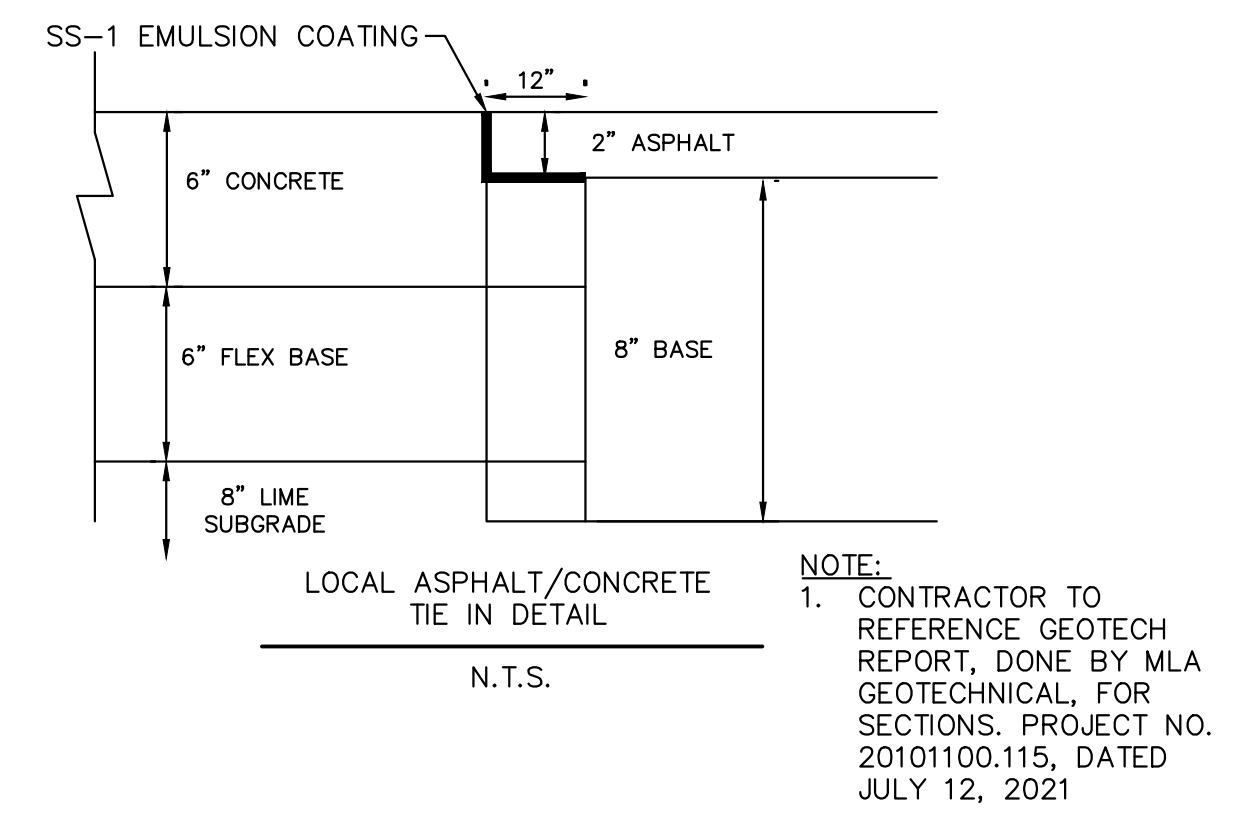
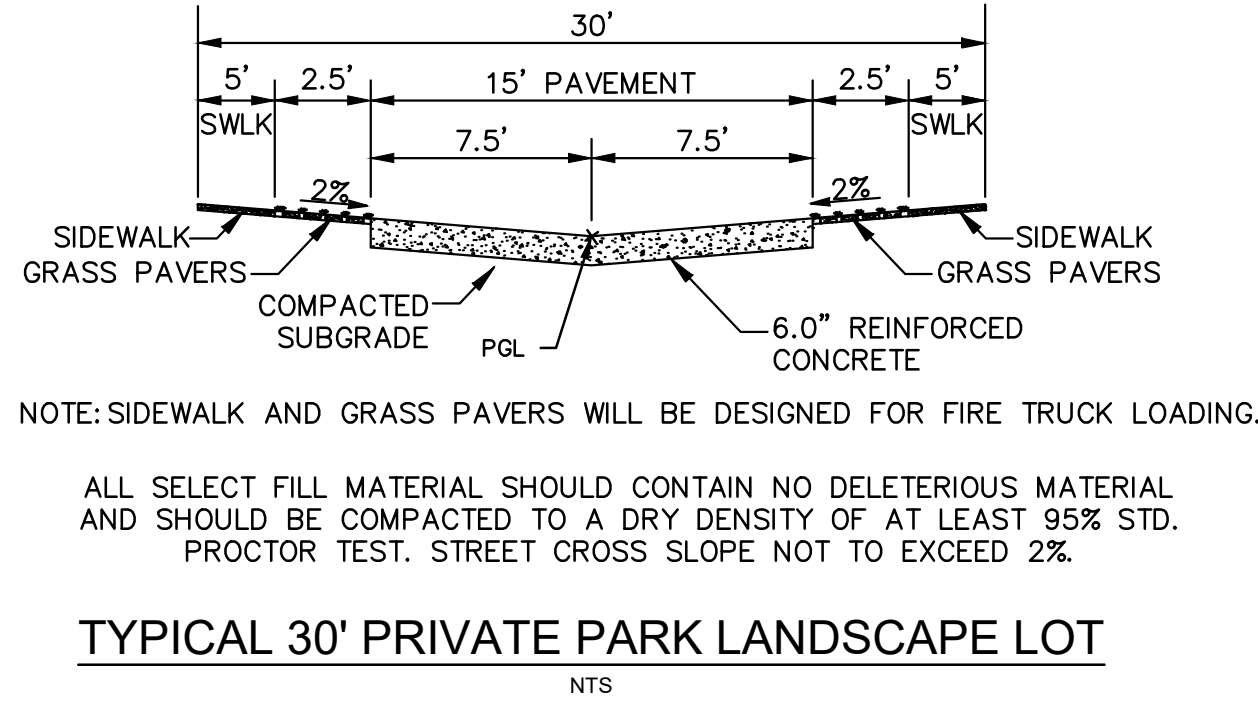
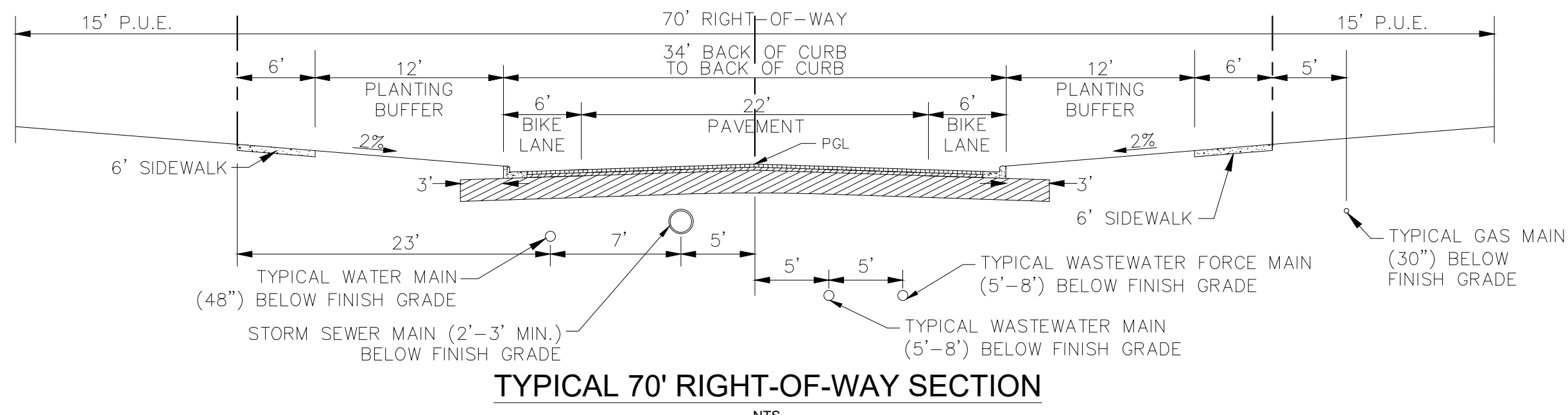
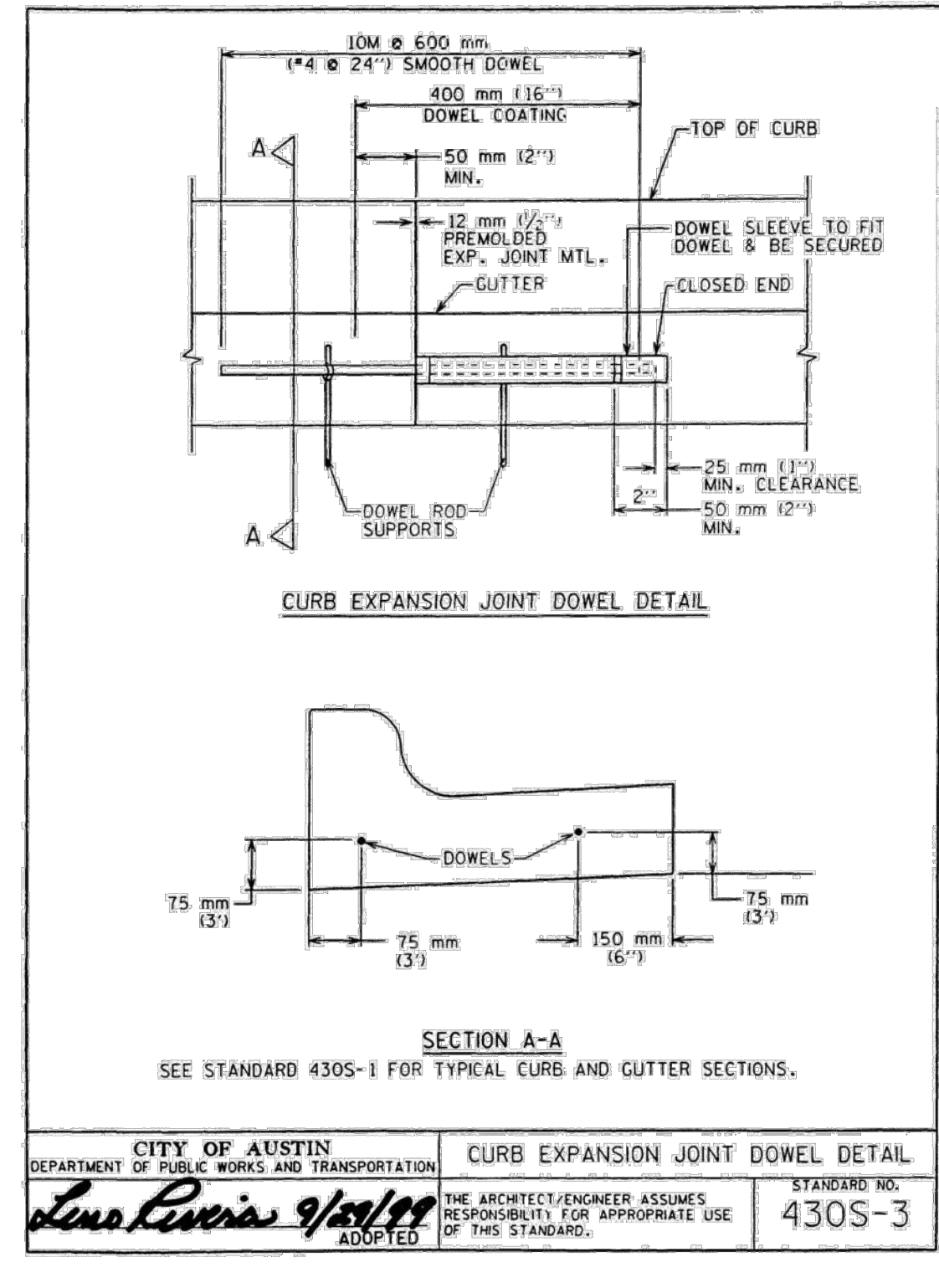
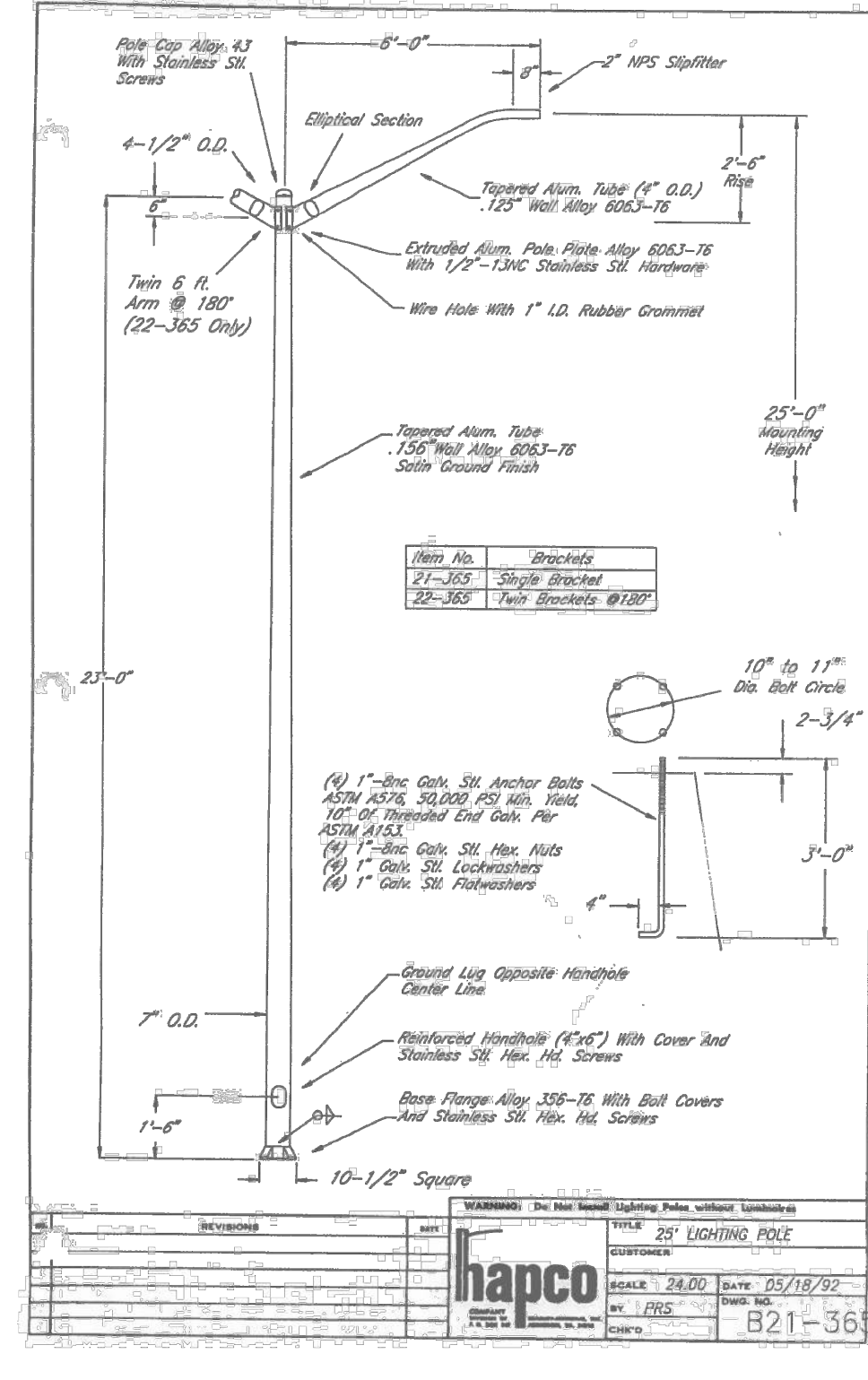
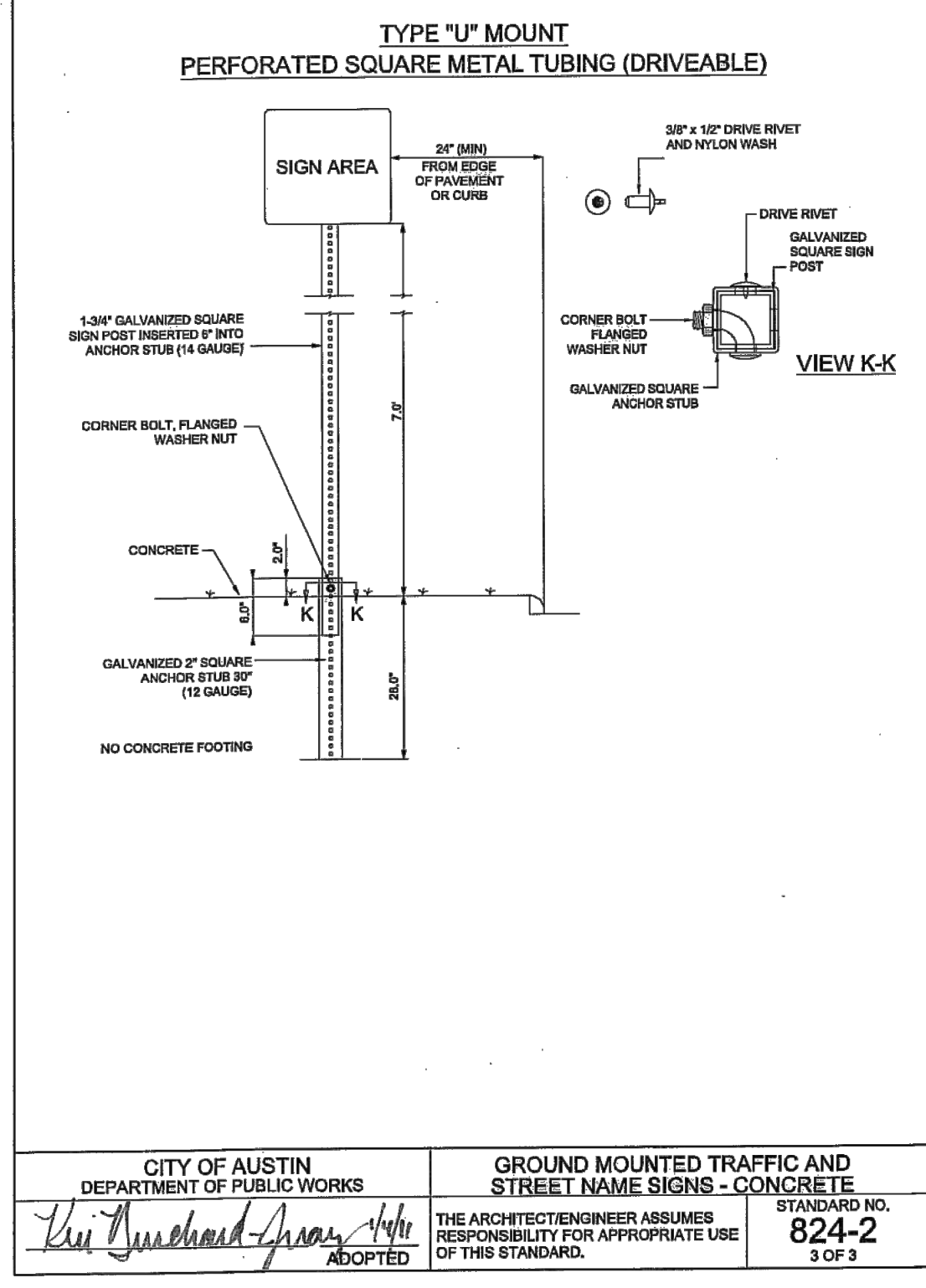
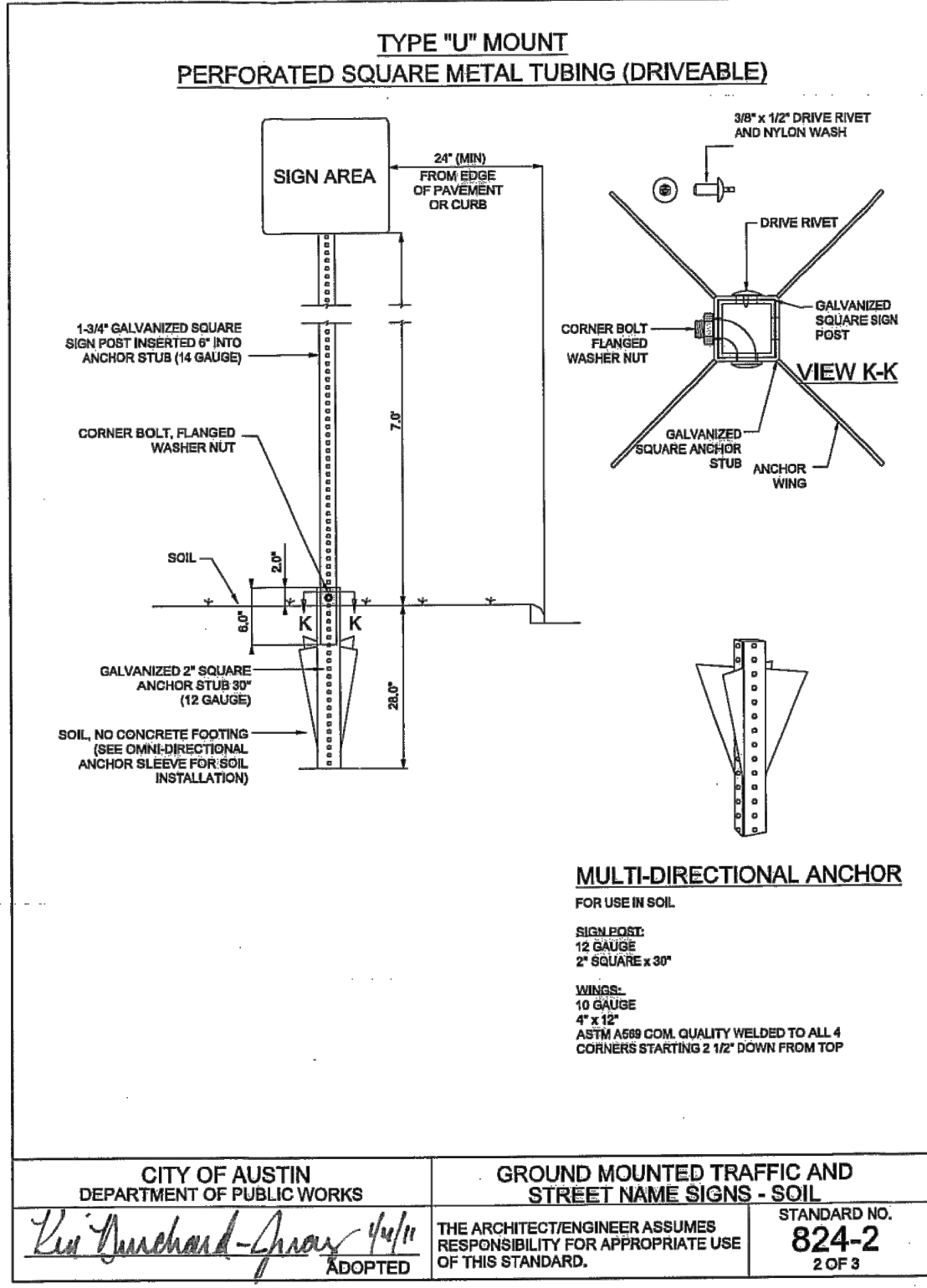
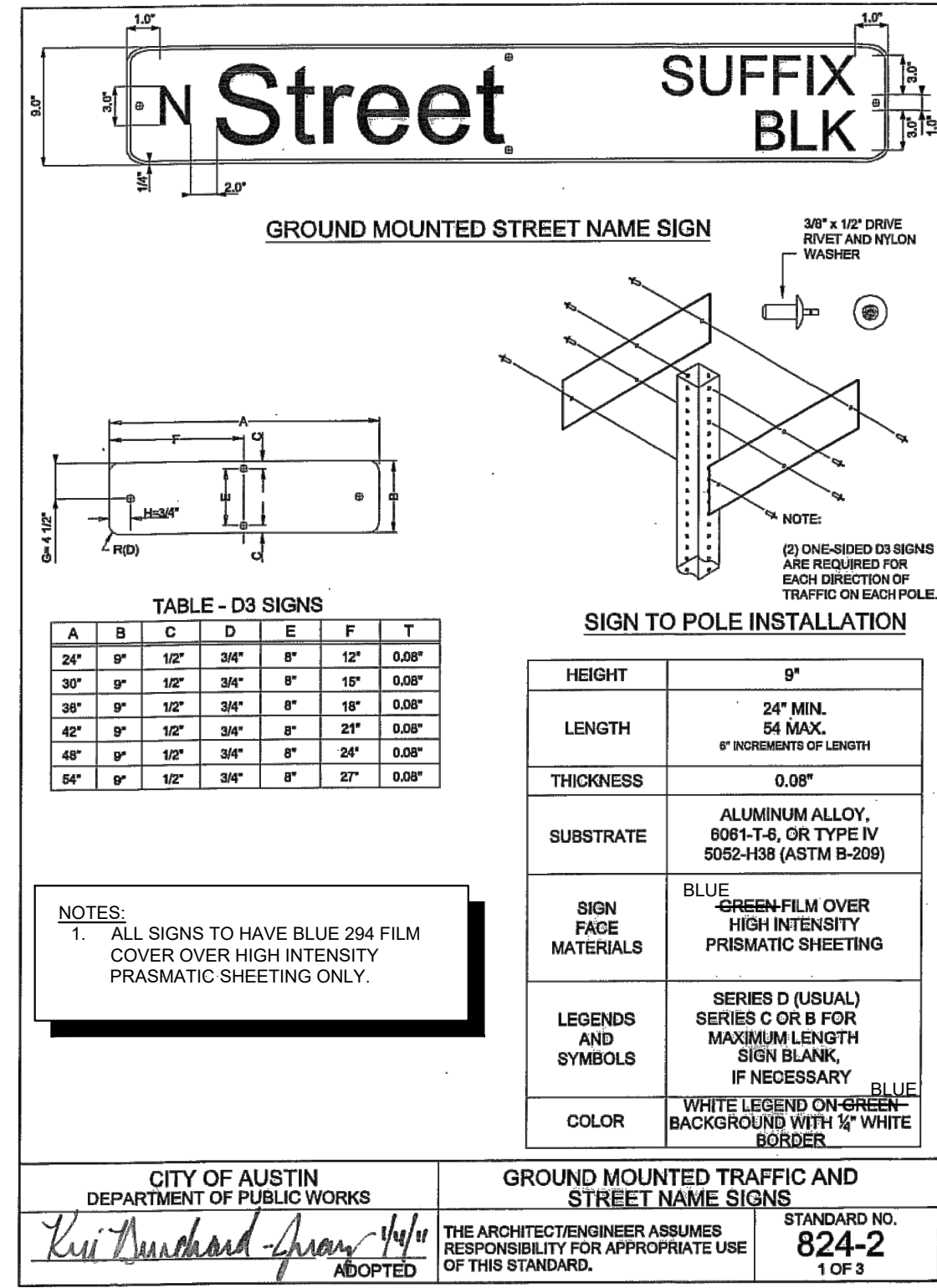
**CONSTRUCTION PLAN APPROVAL SHEET OF 226**  
FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
APPROVED BY COMMISSION ON: \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A  
Rev. 1: \_\_\_\_\_ Correction 1  
Rev. 2: \_\_\_\_\_ Correction 2  
Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building project is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

SHEET NUMBER: 213 OF 226



**811**

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**BENCHMARKS**

BM #102 - 1/2" DIA. IRON PIPE SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 2770 N. FRONT OF THE SOUTH SIDE OF COLE SPRINGS ROAD. ELEV: 712.50 (NAVD 88)

BM #104 - 1/2" DIA. IRON PIPE SET IN ROCK ON THE SOUTH-EAST SIDE OF FM 2770 N. FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV: 712.04 (NAVD 88)

BM #106 - 1/2" DIA. IRON PIPE SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV: 712.50 (NAVD 88)

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**

City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1: \_\_\_\_\_ Correction 1

Rev. 2: \_\_\_\_\_ Correction 2

Rev. 3: \_\_\_\_\_ Correction 3

*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.*

PERMIT NUMBER: 2021-737

**Kimley-Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78745  
PH: 512.454.6444  
WWW.KIMLEY-HORN.COM

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TBE Firm No. 928

07/17/2023

**STATE OF TEXAS**

ALEJANDRO E. GRANADOS RICO  
1330304  
LICENSED PROFESSIONAL ENGINEER  
In Public Works

**Aljano E. Rico**

KHA PROJECT: 06/783315  
DATE: JULY 2023  
SCALE: AS SHOWN  
DESIGNED BY: WB/DW  
DRAWN BY: WB/HM/MH/LDM  
CHECKED BY: AEC

**PAVING DETAILS (2 OF 3)**

**THE COLONY - PHASE 1**

**CITY OF BUDA**

**HAYS COUNTY, TEXAS**

SHEET NUMBER: **214**

OF 226

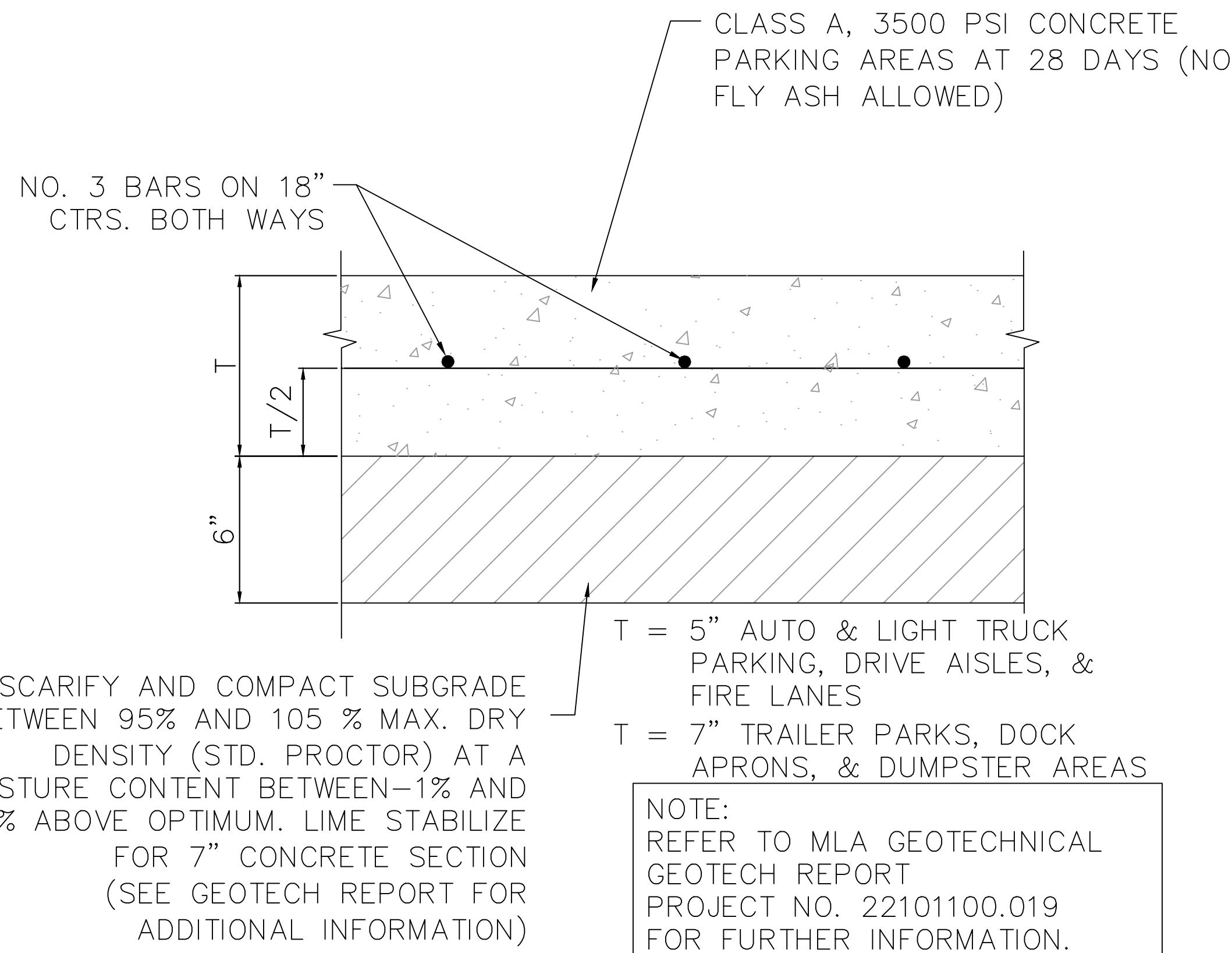
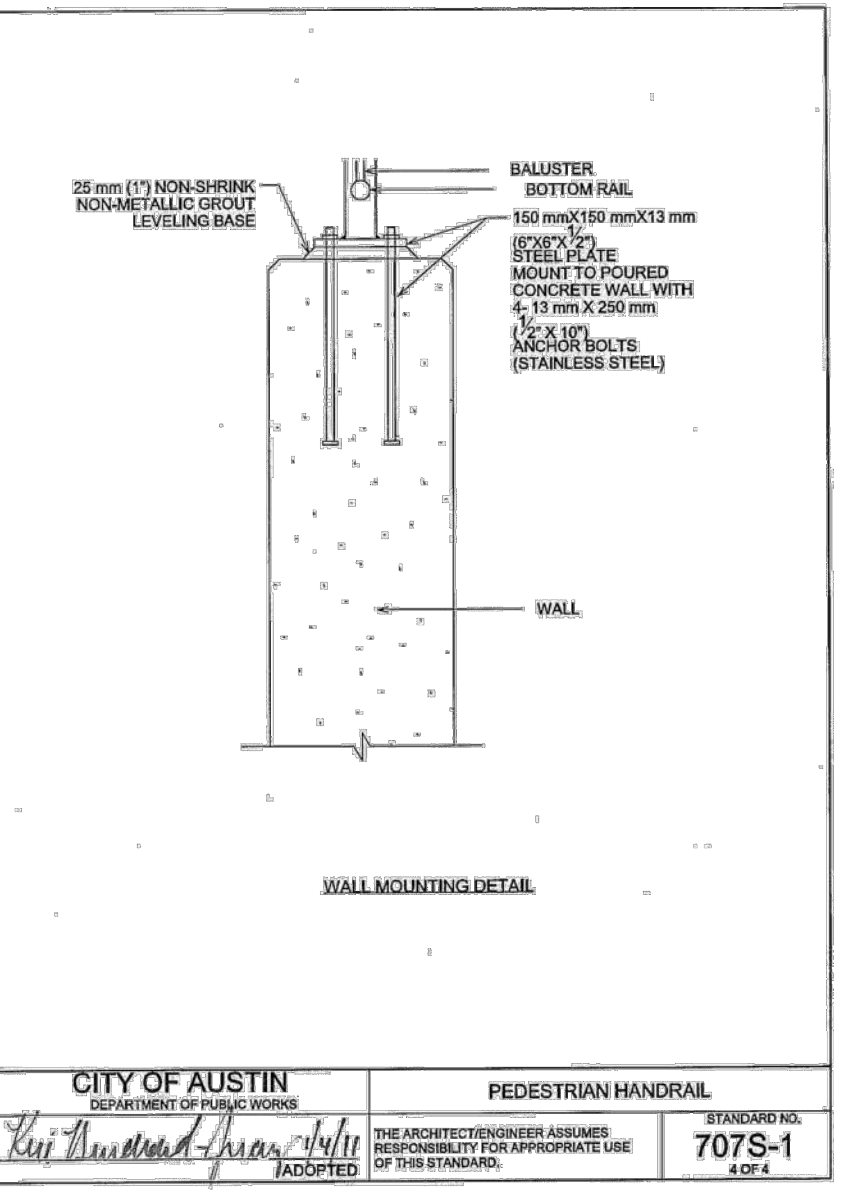
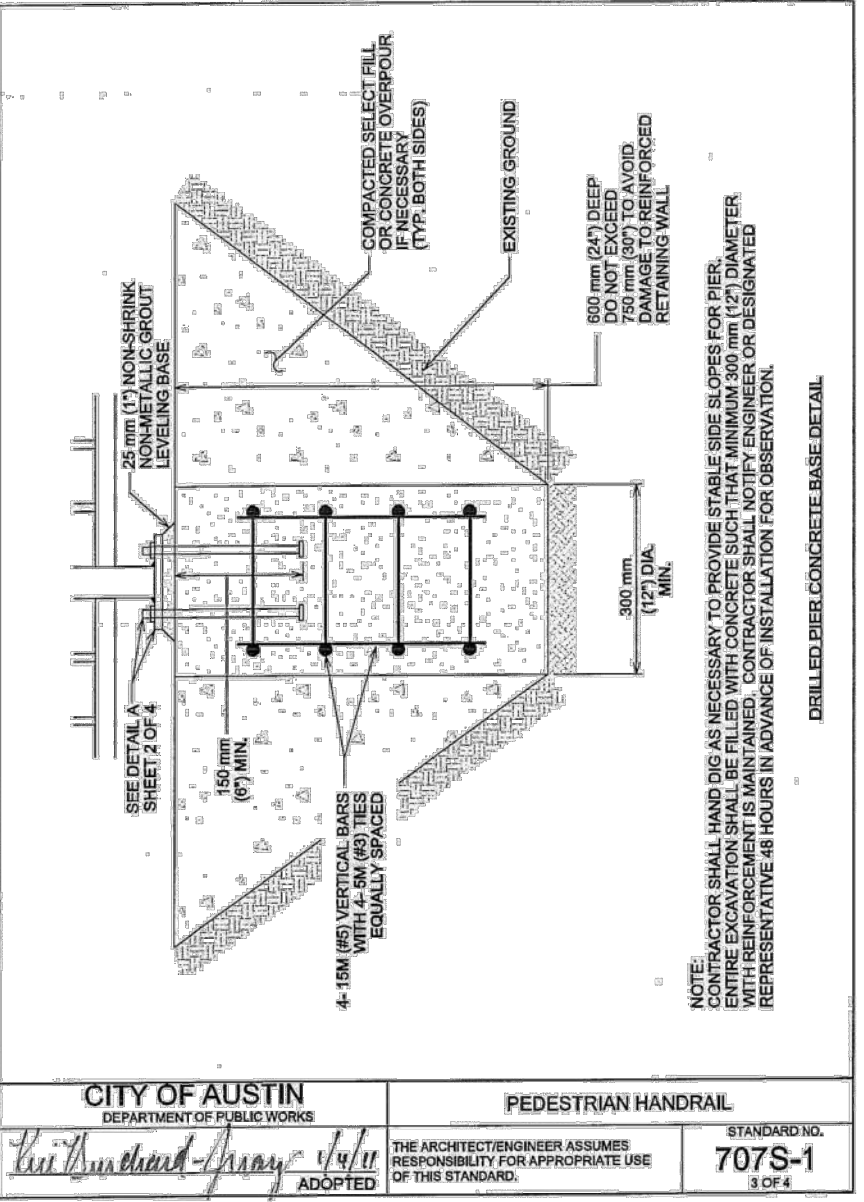
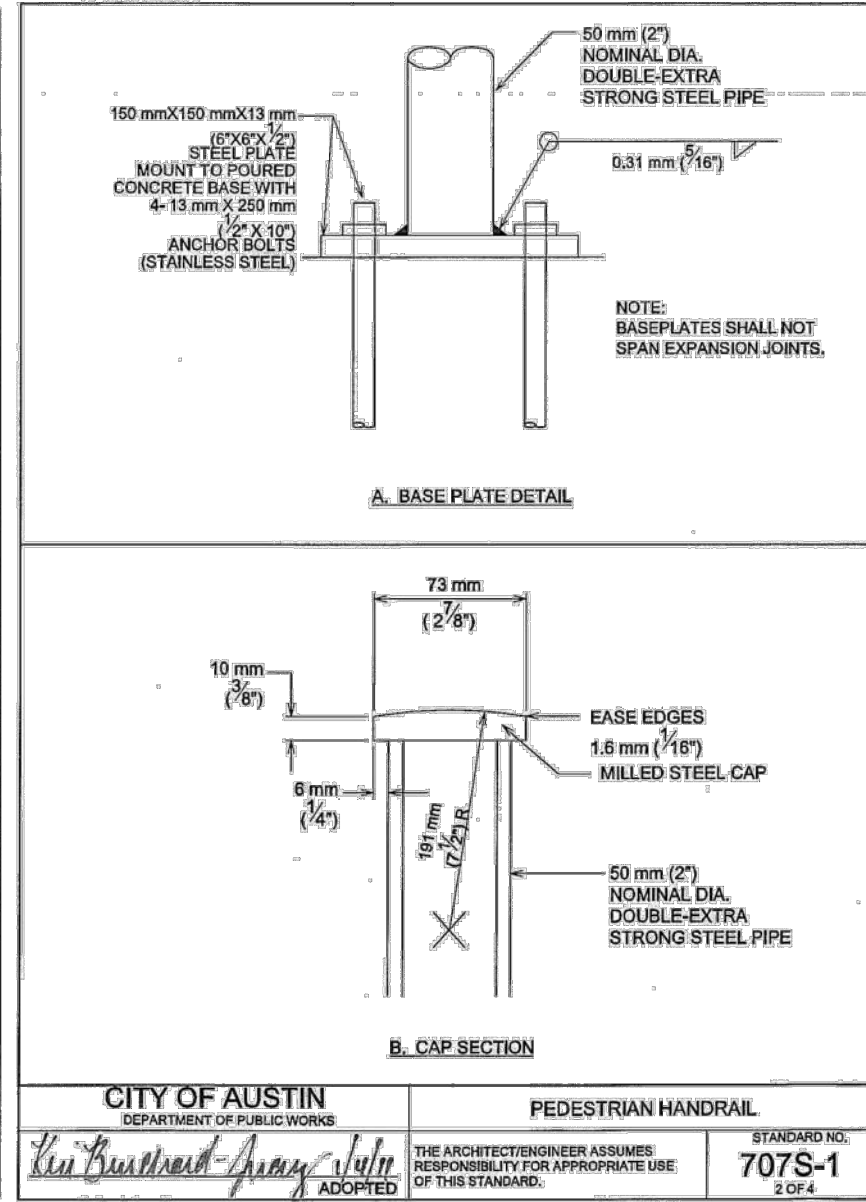
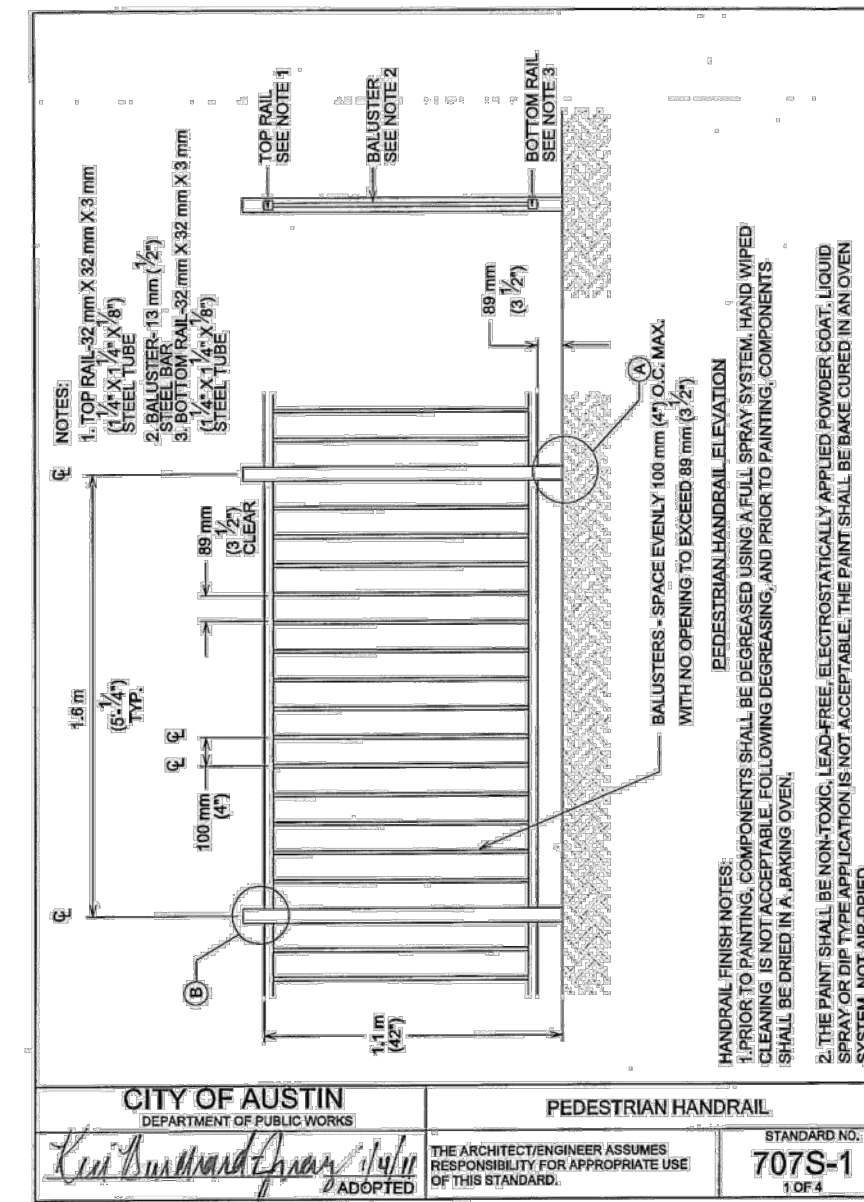
**RECOMMENDATIONS - PAVEMENT THICKNESS SECTIONS**

Street Classification	Subgrade Material	Hot Mix Asphalt Concrete, in	Crushed Limestone Bases, in	Subgrade Improvements Required
Local Streets and Alleys	More than 2 feet of expansive subgrade PI > 25	2.0	8	X*
	Less than 2 feet of expansive subgrade PI > 25	2.0	8	-
Residential Collectors	More than 2 feet of expansive subgrade PI > 25	2.0	12	X*
	Less than 2 feet of expansive subgrade PI > 25	2.0	12	-
Neighborhood Collectors	More than 2 feet of expansive subgrade PI > 25	3.0	14	X*
	Less than 2 feet of expansive subgrade PI > 25	3.0	14	-
Primary Collector	More than 2 feet of expansive subgrade PI > 25	4.0	18	X*
	Less than 2 feet of expansive subgrade PI > 25	4.0	18	-

- Notes:**
- Where more than 2 feet of expansive subgrade exists after rough cut of the streets, two of the four following options must be employed.
    - Option 1:** A single layer of Tensar TX-130S or equivalent to be reviewed by the Geotechnical Engineer should be placed below the crushed limestone base layer.
    - Option 2:** A moisture barrier should extend vertically from the back of the curb in accordance with the Hays County Standard Detail.
    - Option 3:** Replace 18 inches of the subgrade with approved material with a PI less than 15 and more than 4 and provide for appropriate edge drainage.
    - Option 4:** Use lime to stabilize 8 inches of the subgrade. The surface clay must first be tested for sulfate reaction and a mix design should be completed to determine the proper lime content, lime type, mixing procedure and curing conditions required.
  - The northern portion of this site was once used as a gravel pit. Localized areas of undocumented fill will likely be encountered during construction. Additional borings/test pits may be required to investigate the extent of this fill. Where undocumented fill is encountered, the fill will need to be remediated as outlined in Item 1 on page 8 of this report. The final grading plan should be reviewed by the Geotechnical Engineer prior to street or lot construction.
  - French drains may be required if seeping ground water is encountered during construction. Please see the **Ground Water** note on the following page.
  - The subgrade improvement should be extended 3 feet beyond the back of the curb line.
  - These pavement thickness designs are intended to transfer the load from the anticipated traffic conditions.
  - The responsibility of assigning street classification to the streets in this project is left to the civil engineer.
  - If pavement designs other than those listed above are desired, please contact MLA Geotechnical.
  - See Geotechnical Report for pavement thicknesses.

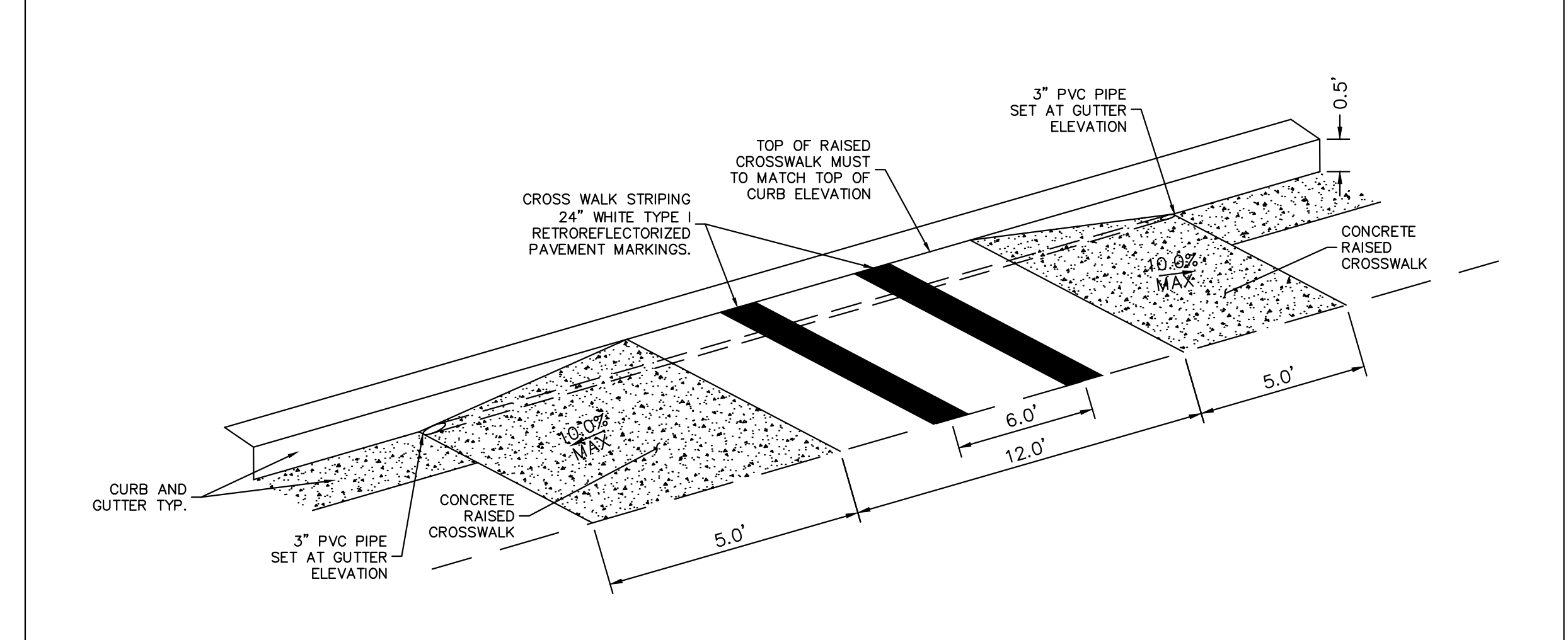
-7-

MLA Geotechnical Dallas/Fort Worth Austin San Antonio Houston Bryan/College Station Killeen "put us to the test"



**CONCRETE PAVEMENT SECTION**

N.T.S.



**RAISED CROSSWALK DETAIL**

- NOTE:**
- CONTRACTOR TO REFERENCE GEOTECH REPORT, DONE BY MLA GEOTECHNICAL, FOR SECTIONS. PROJECT NO. 22101100.019, DATED MAY 3, 2022

**811**  
 Know what's below.  
 Call before you dig.

**BENCHMARKS**

BM #100 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=98.07 (NAVD 88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE AND COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=722.56 (NAVD 88)

**WARNING:** CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

CONSTRUCTION PLAN APPROVAL SHEET 226 OF 226

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_

APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.

EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**

City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.*

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745  
 PH: 512.454.5577  
 WWW.KIMLEY-HORN.COM

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 TBE Firm No. 928

07/17/2023

**STATE OF TEXAS**  
 ALEJANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 100004

*Alejandro E. Granados Rico*

KHA PROJECT: 06/783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

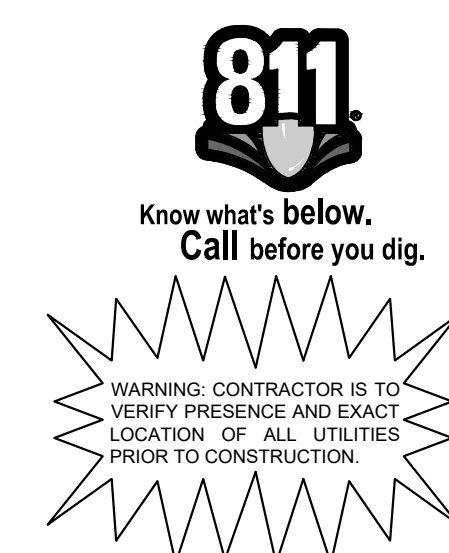
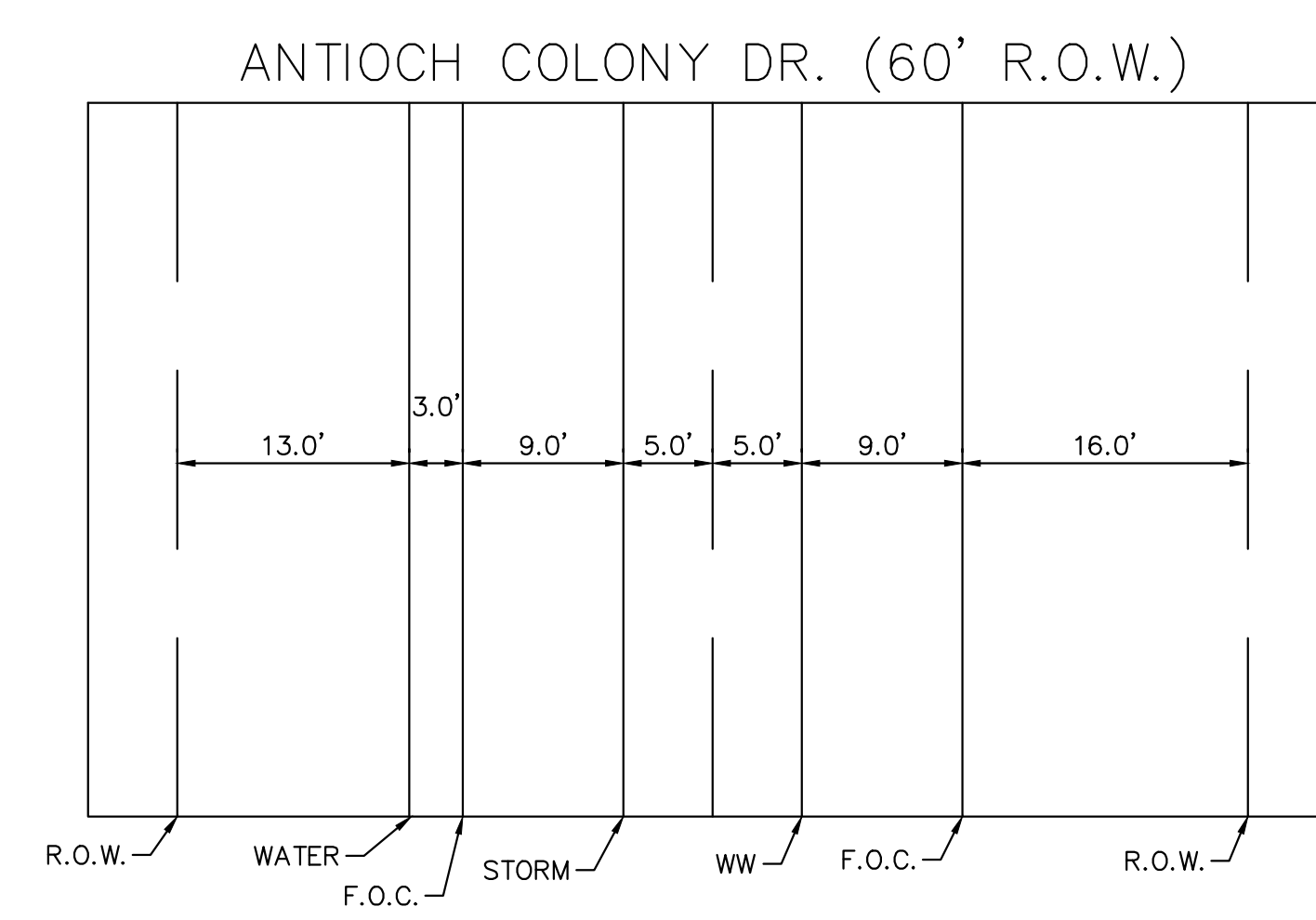
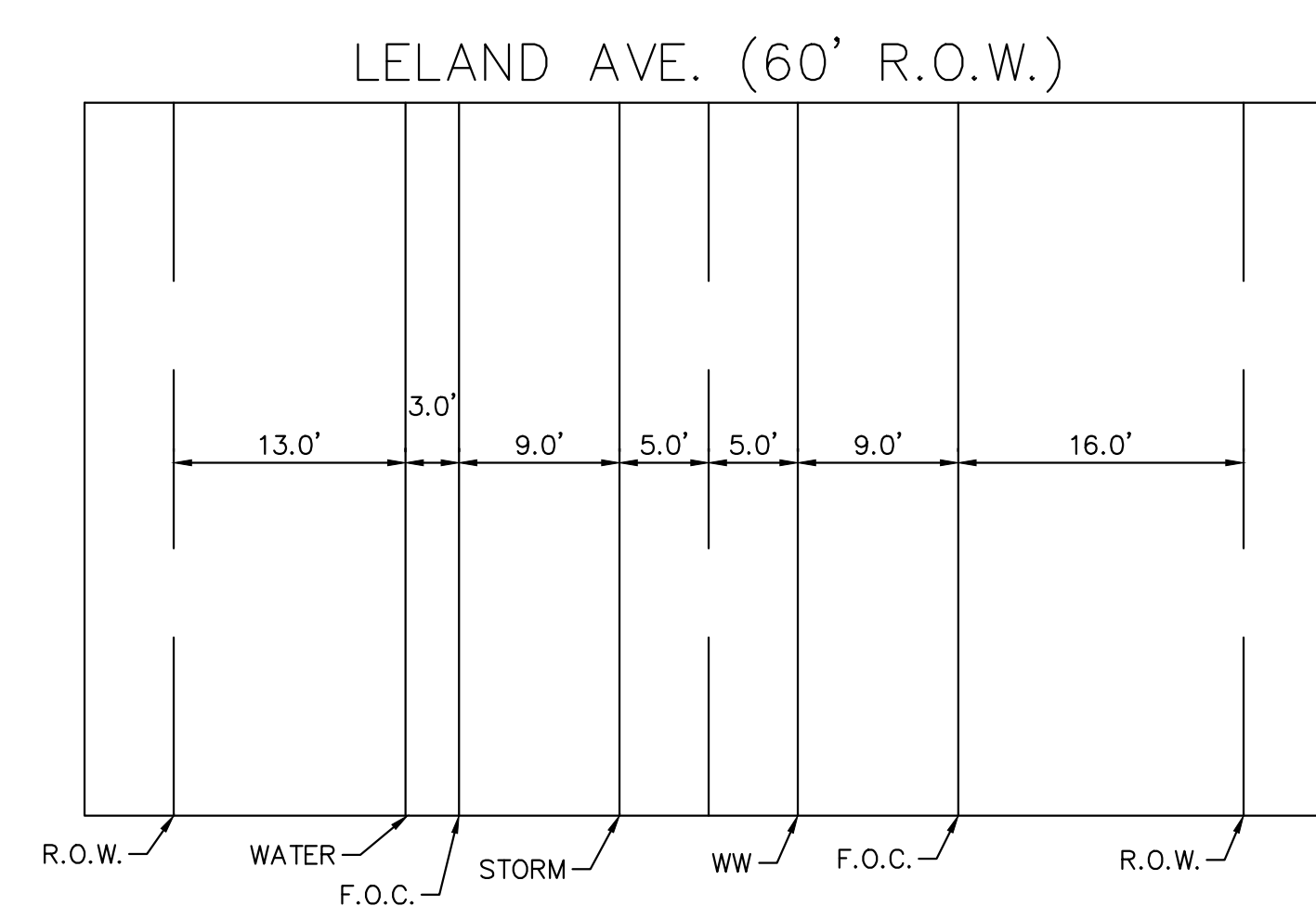
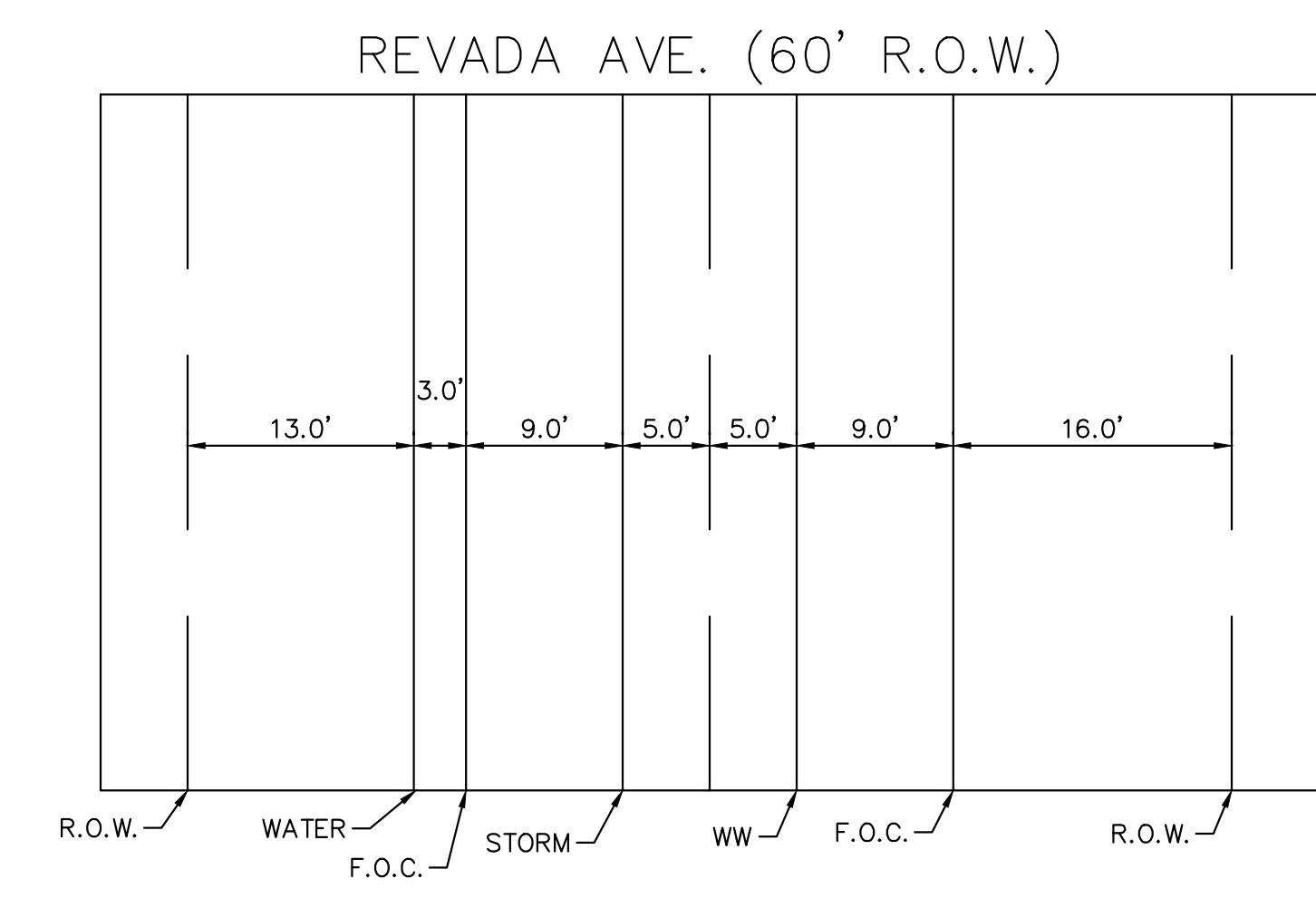
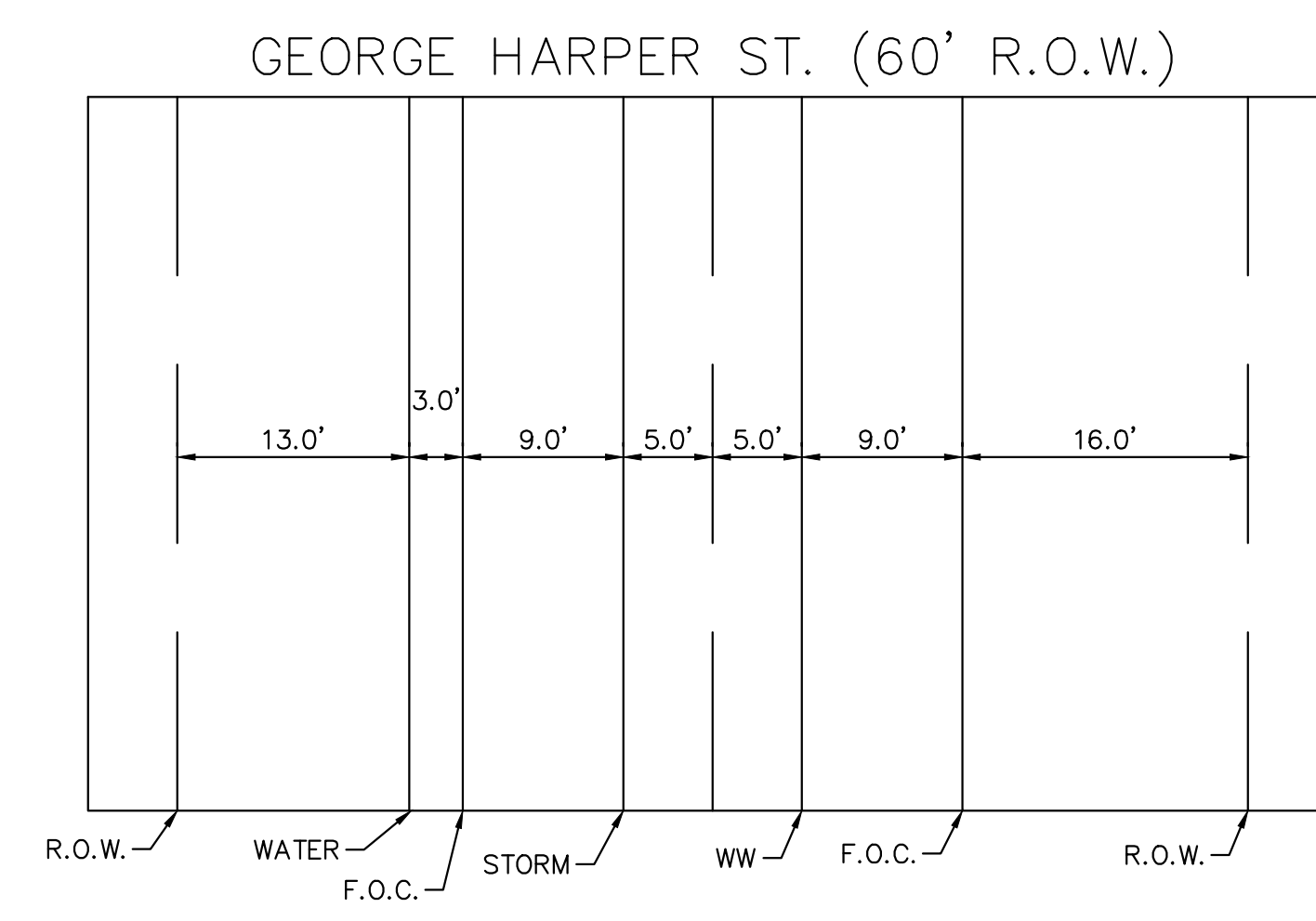
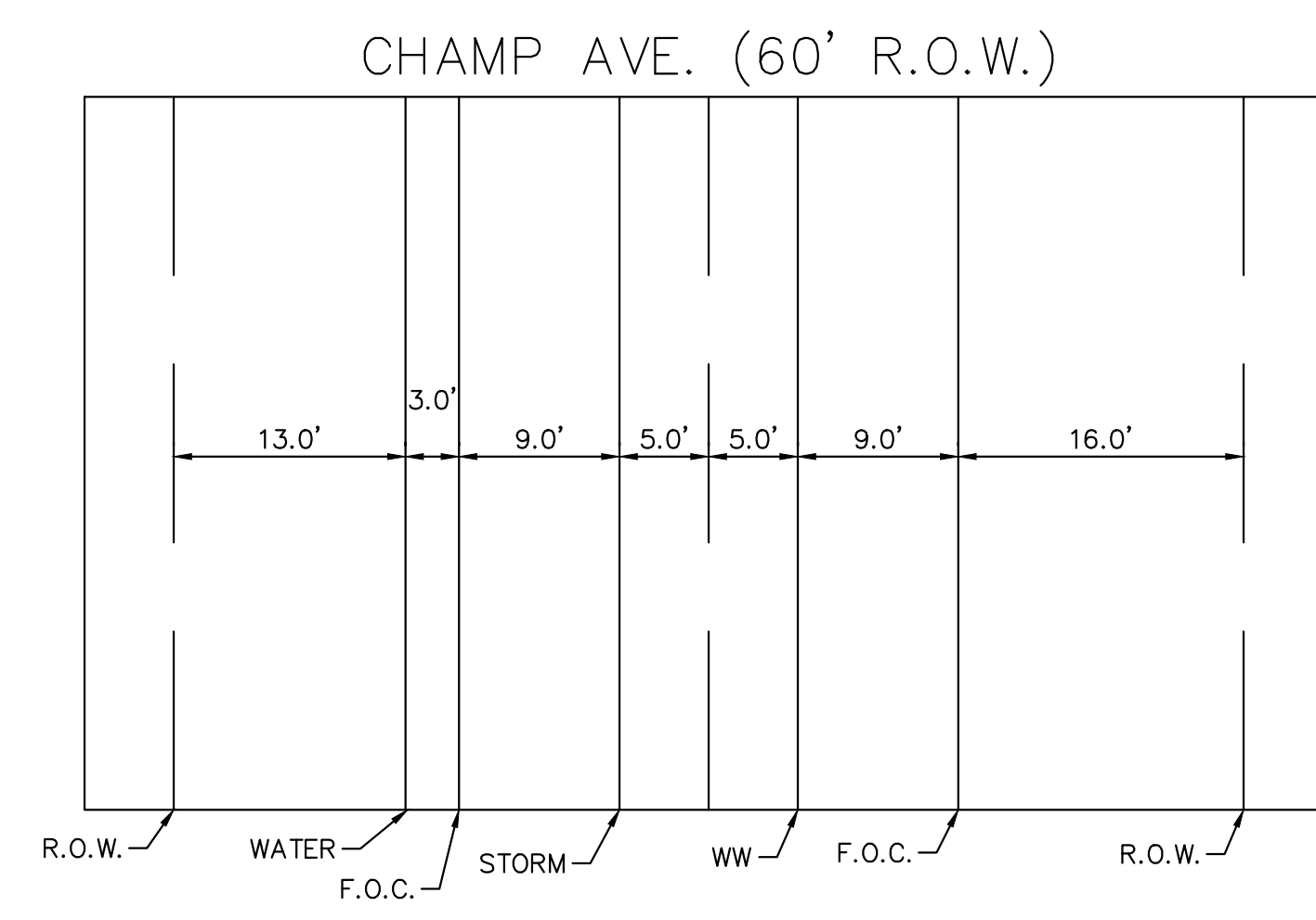
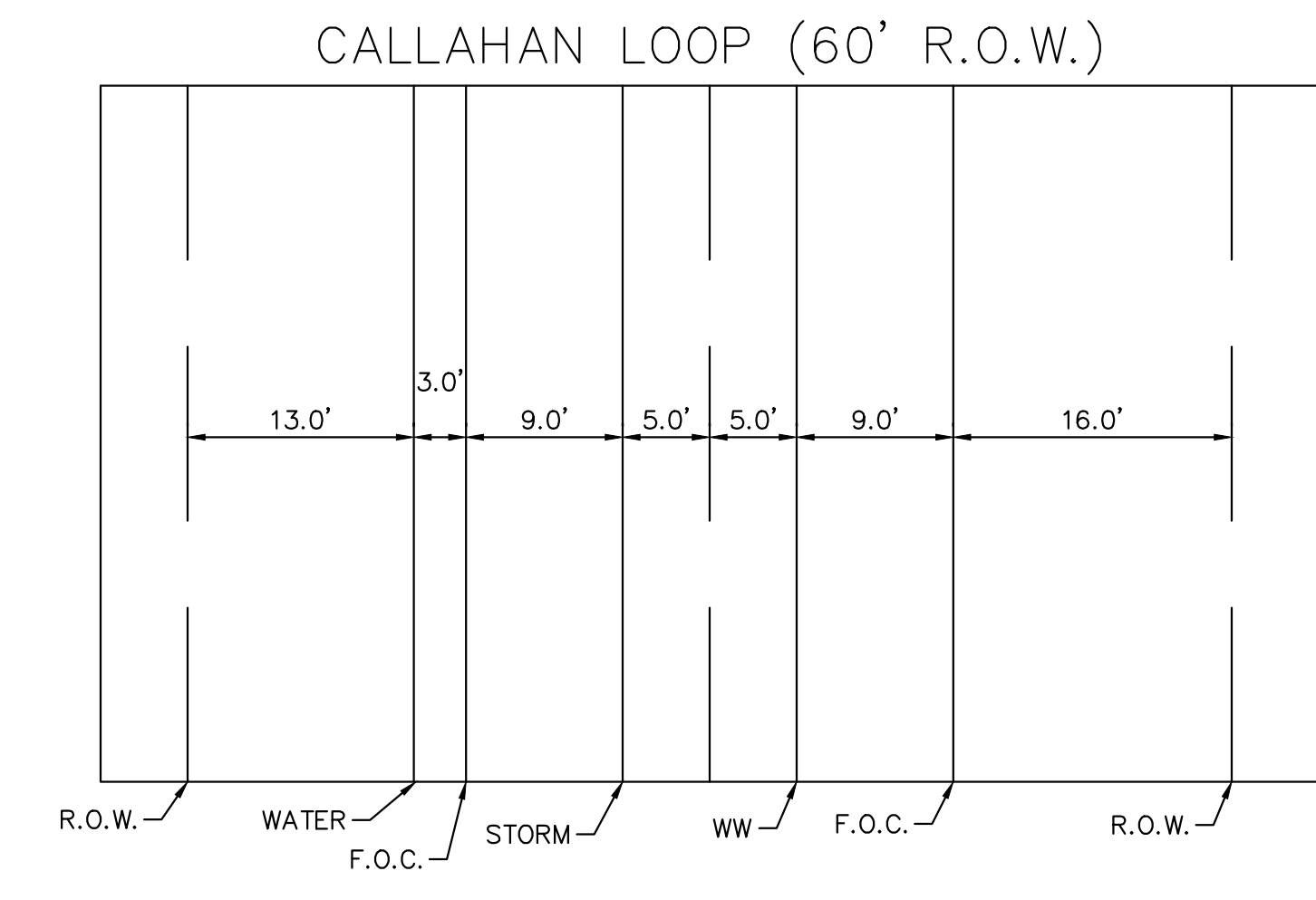
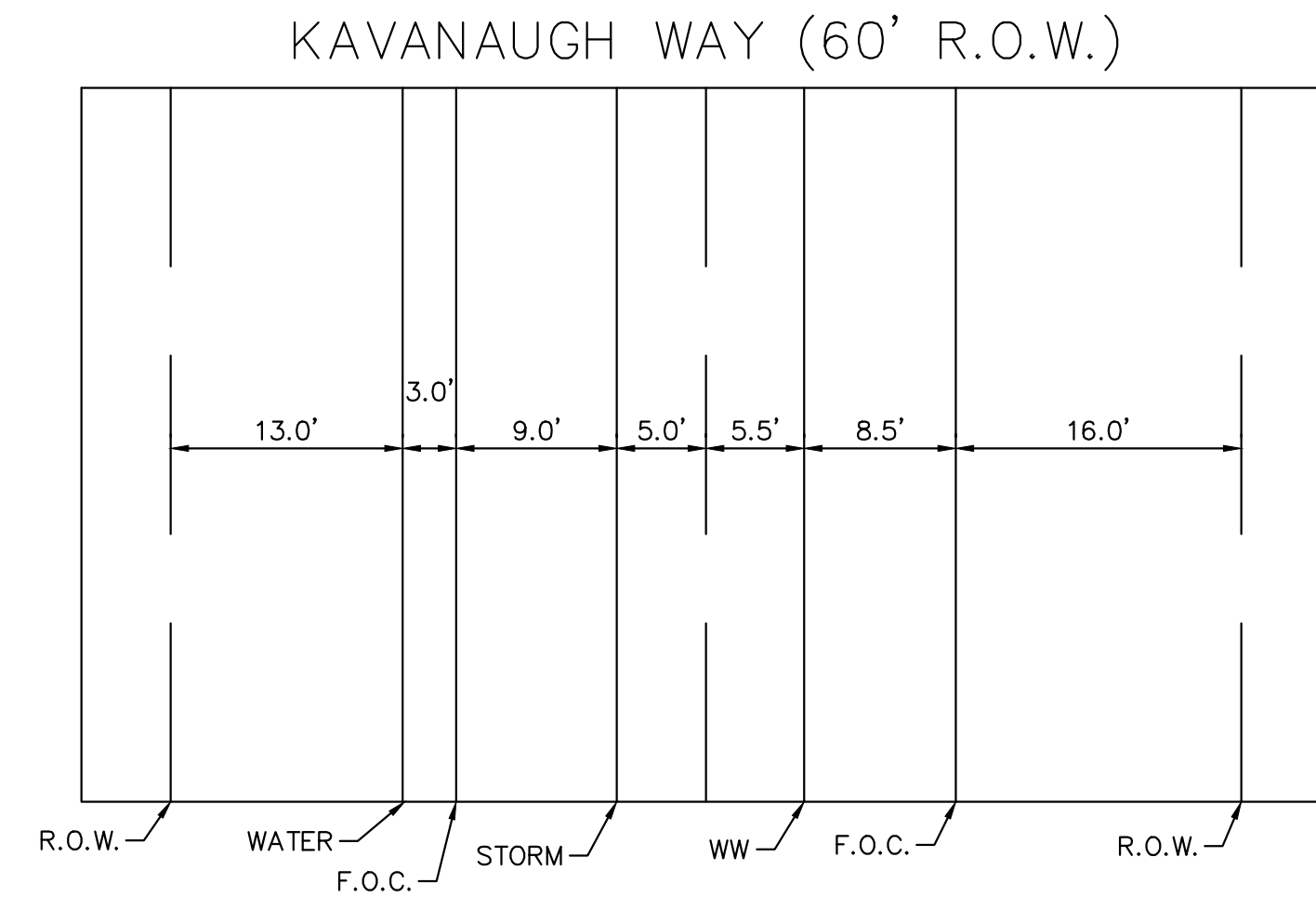
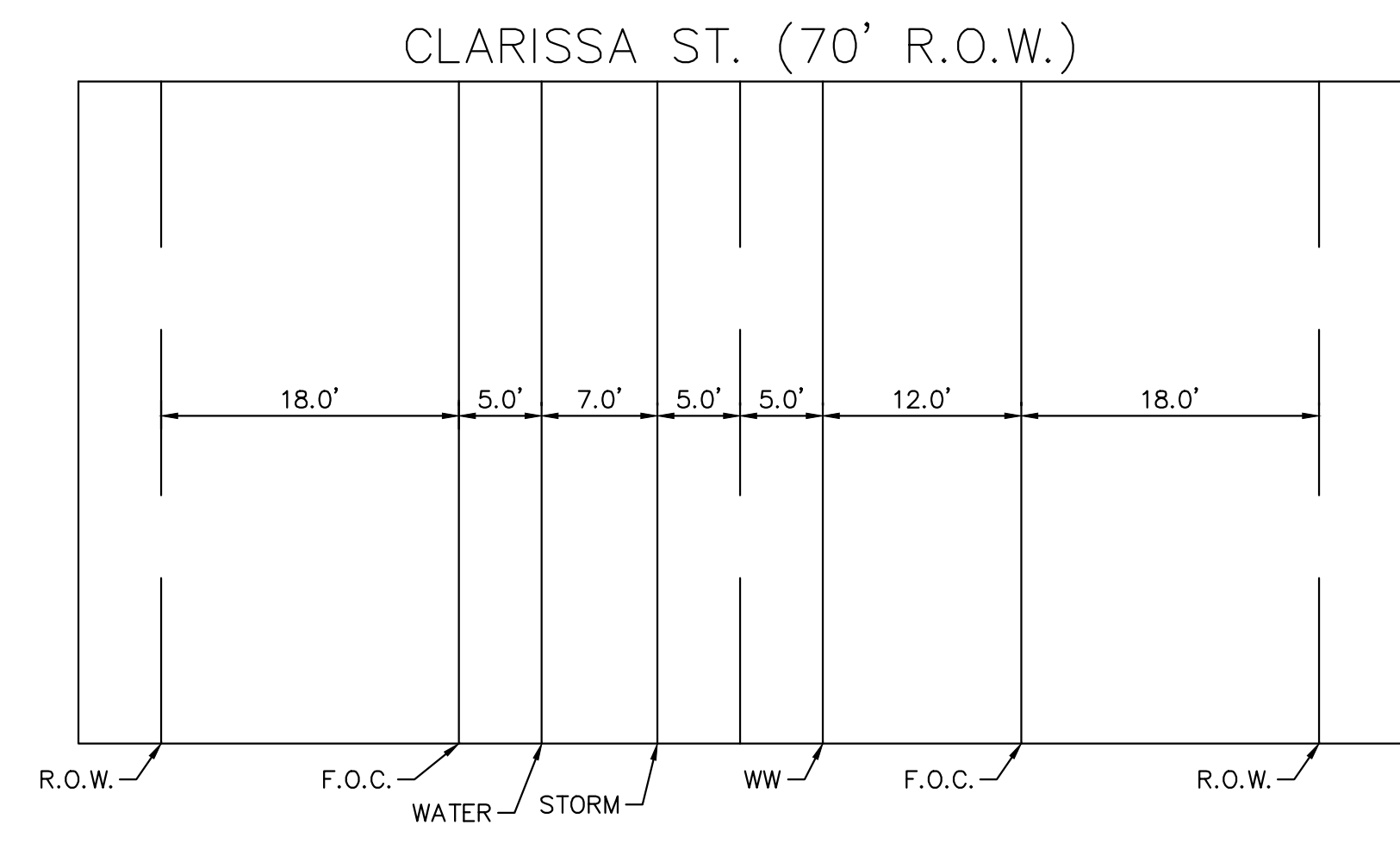
**PAVING DETAILS  
 (3 OF 3)**

**THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS**

SHEET NUMBER  
**215**  
 OF 226

Plotted by: Lee, David Date: July 17, 2023 09:11:56am File Path: K:\SALL\Civil\067783115 Heritage Buda Assemblies\01 PAVING DETAILS (2 OF 2).dwg  
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WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**BENCHMARKS**

BM #102	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 867 874 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD	ELEV=785.87 (NAVD '88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES	ELEV=712.04 (NAVD '88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF CLUBBAC COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE	ELEV=722.56 (NAVD '88)

CONSTRUCTION PLAN APPROVAL	SHEET <u>226</u> OF <u>226</u>
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON: <u>N/A</u>	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE:
EXPIRATION DATE: 2021-737	CASE MANAGER: 08/16/2021
<b>A. KENNEDY</b>	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: <u>N/A</u>	
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.	
PERMIT NUMBER: 2021-737	

NO.	REVISIONS	DATE	BY

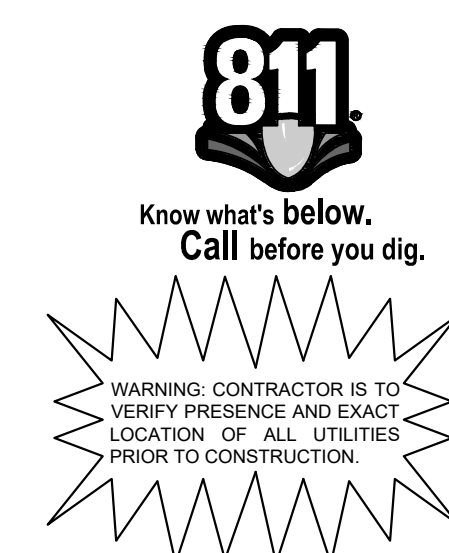
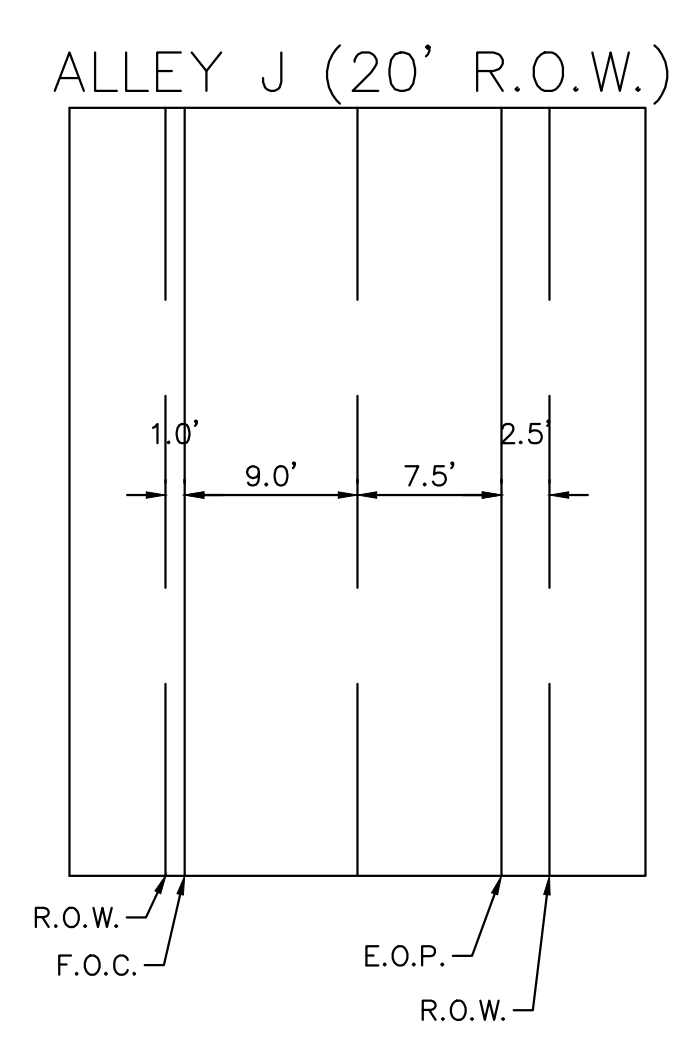
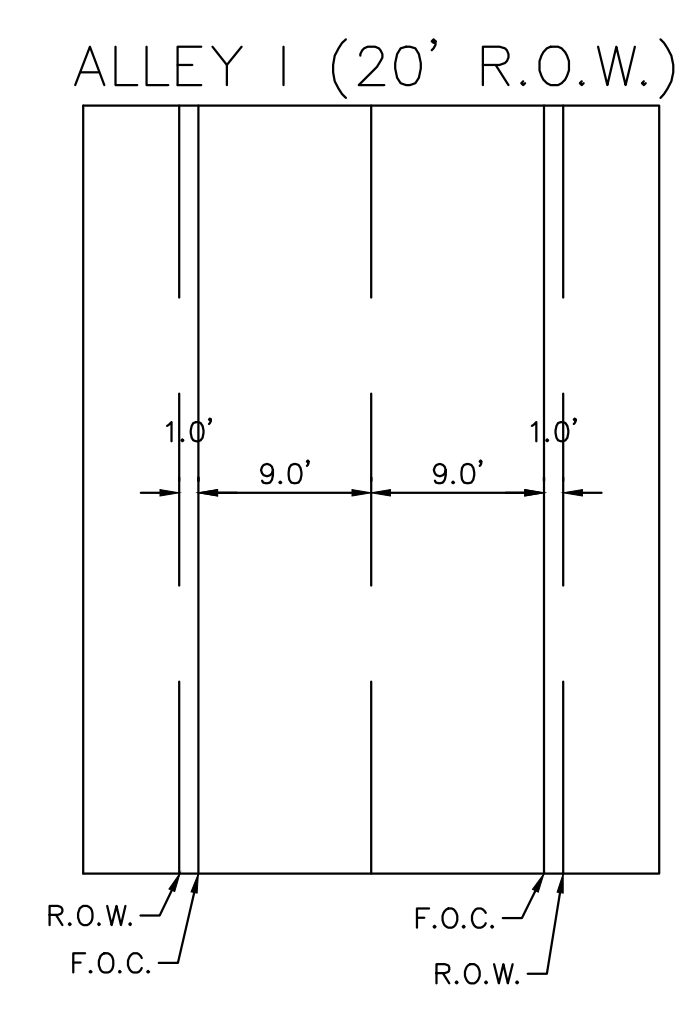
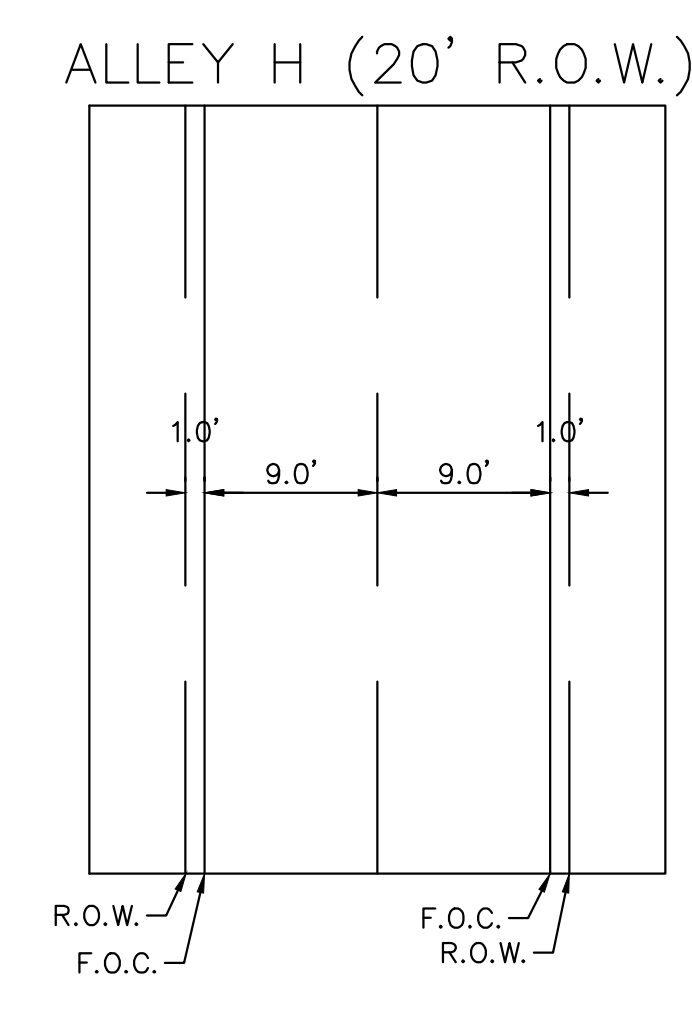
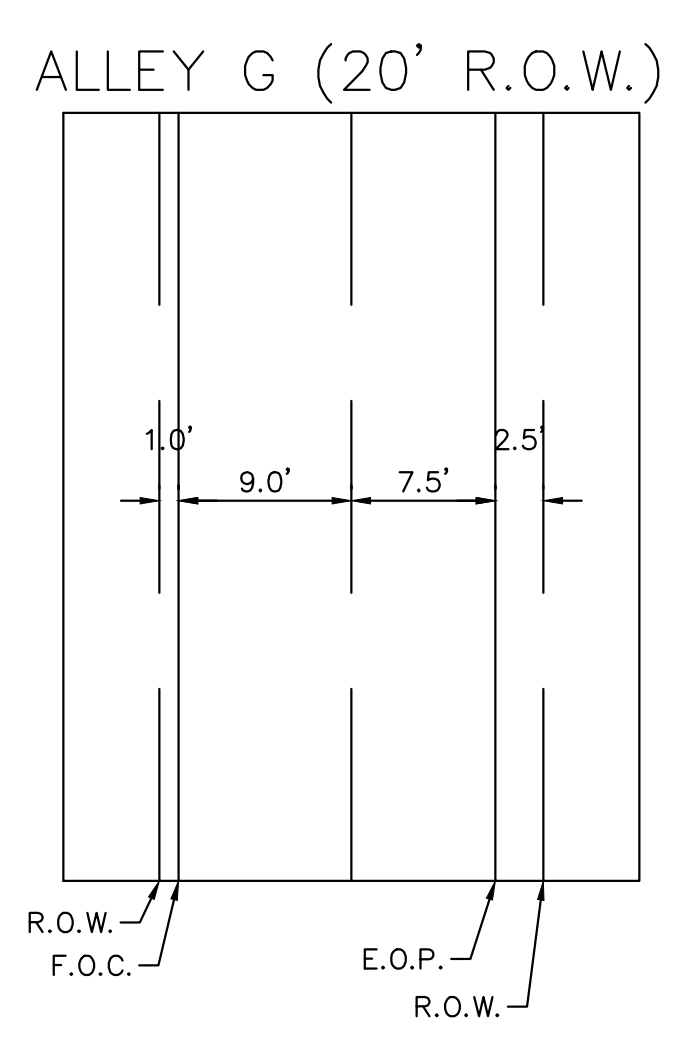
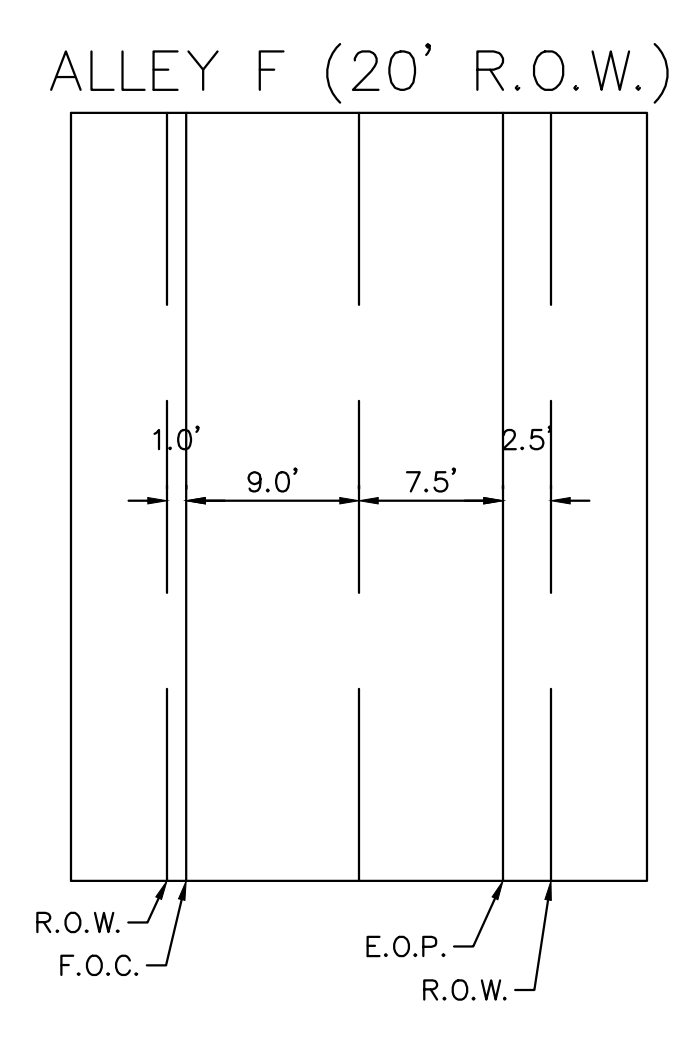
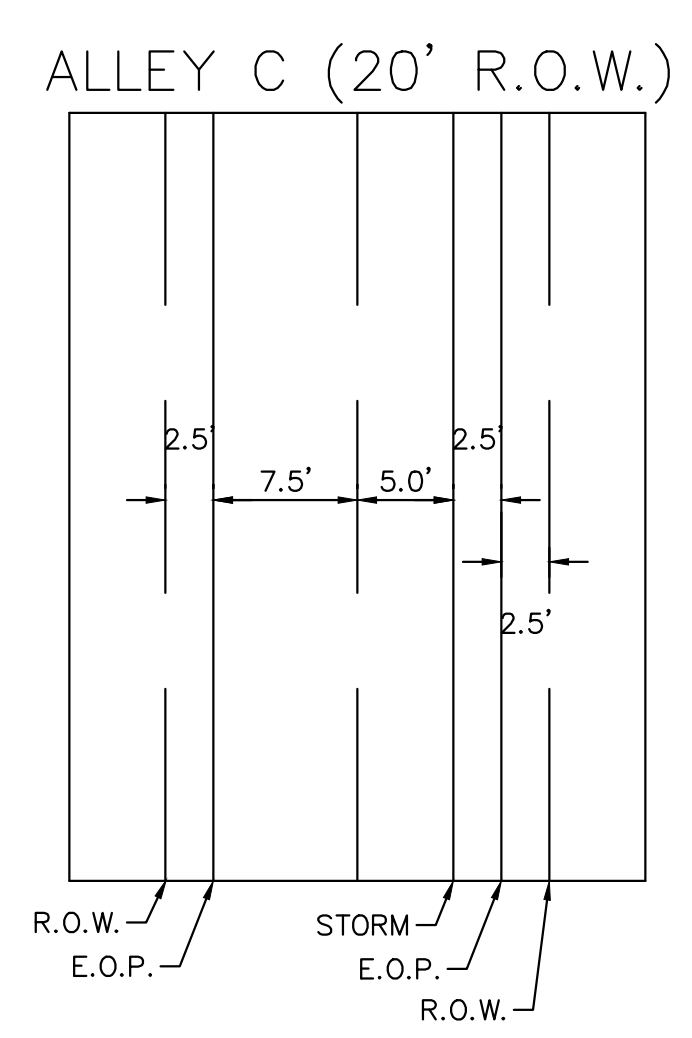
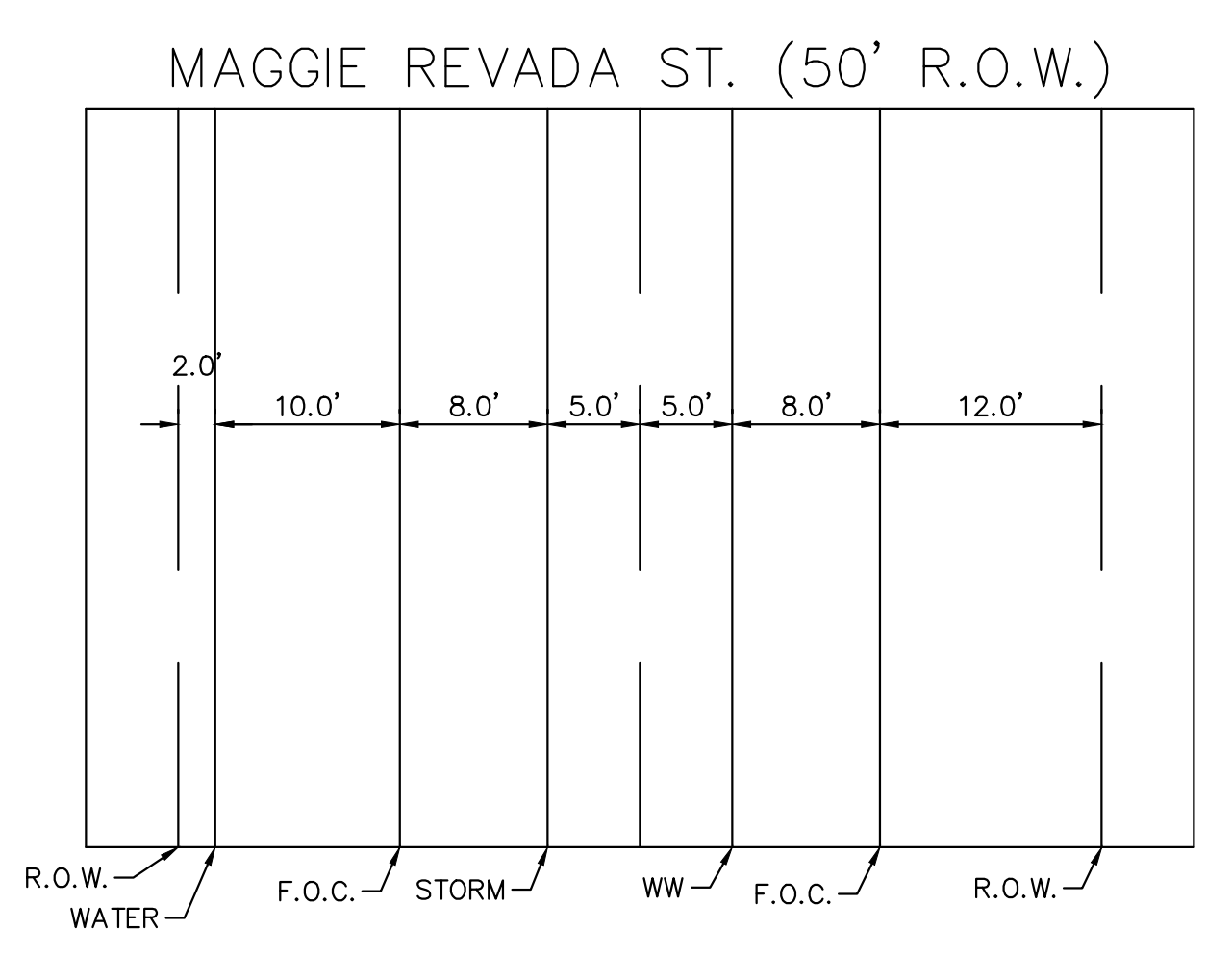
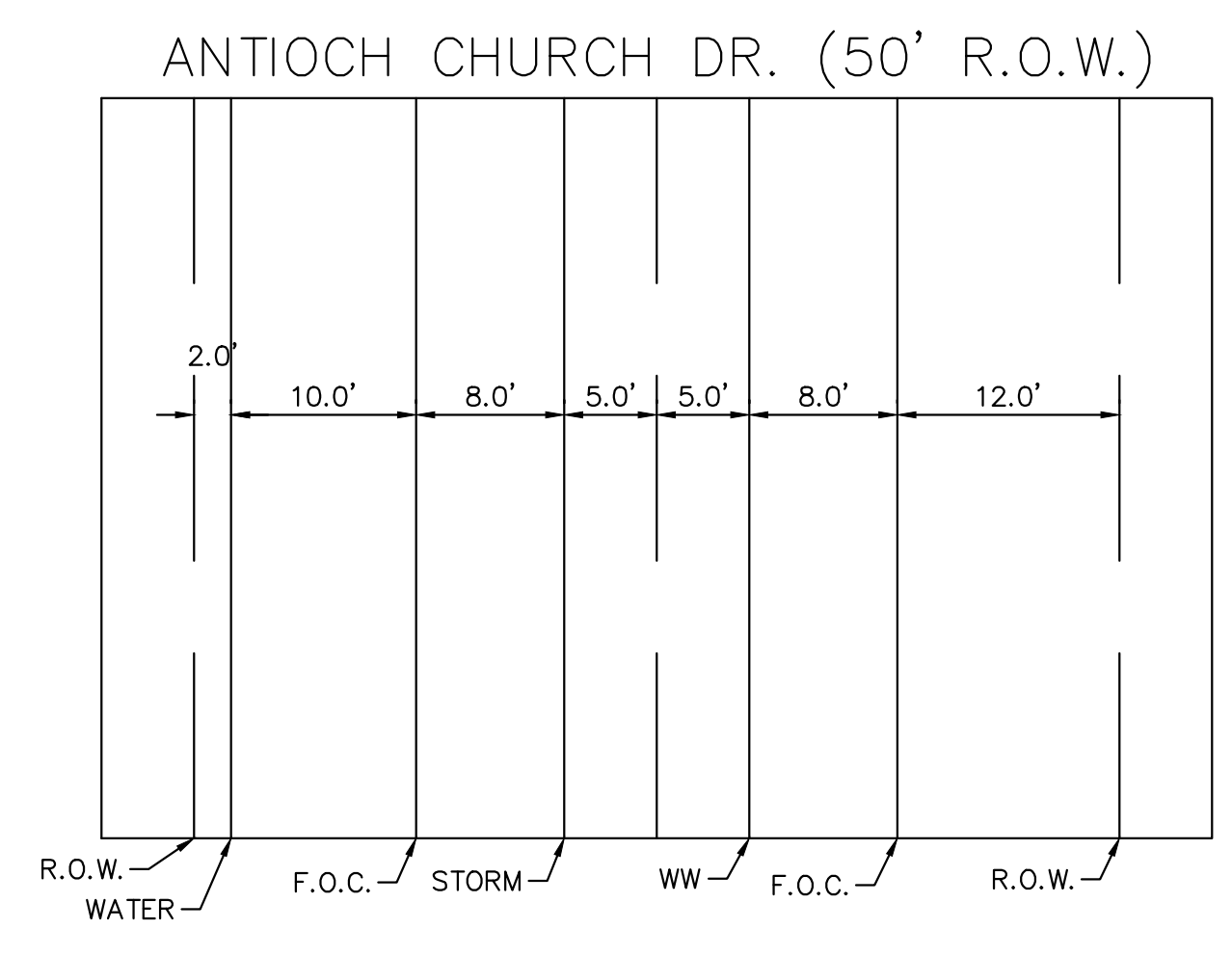
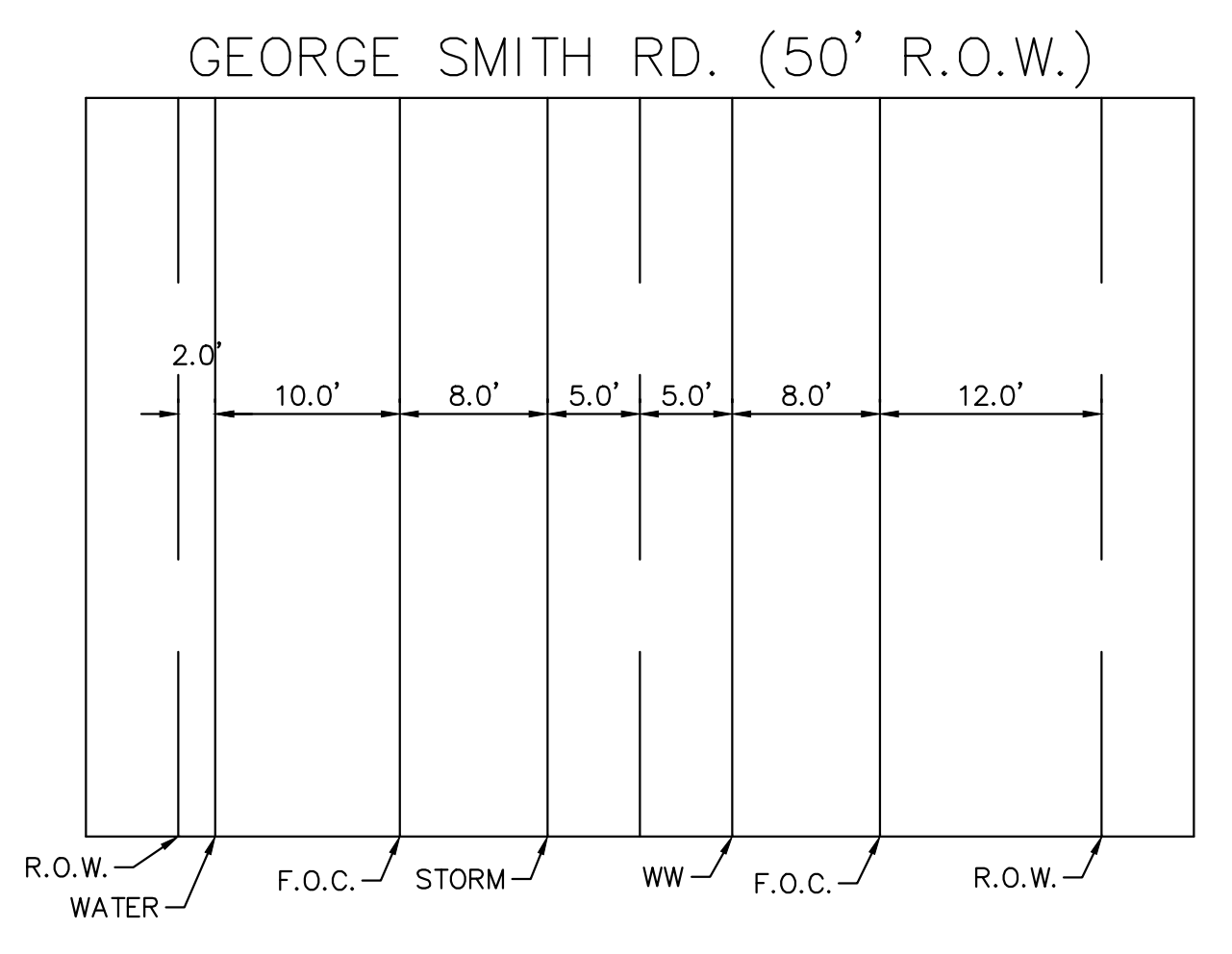
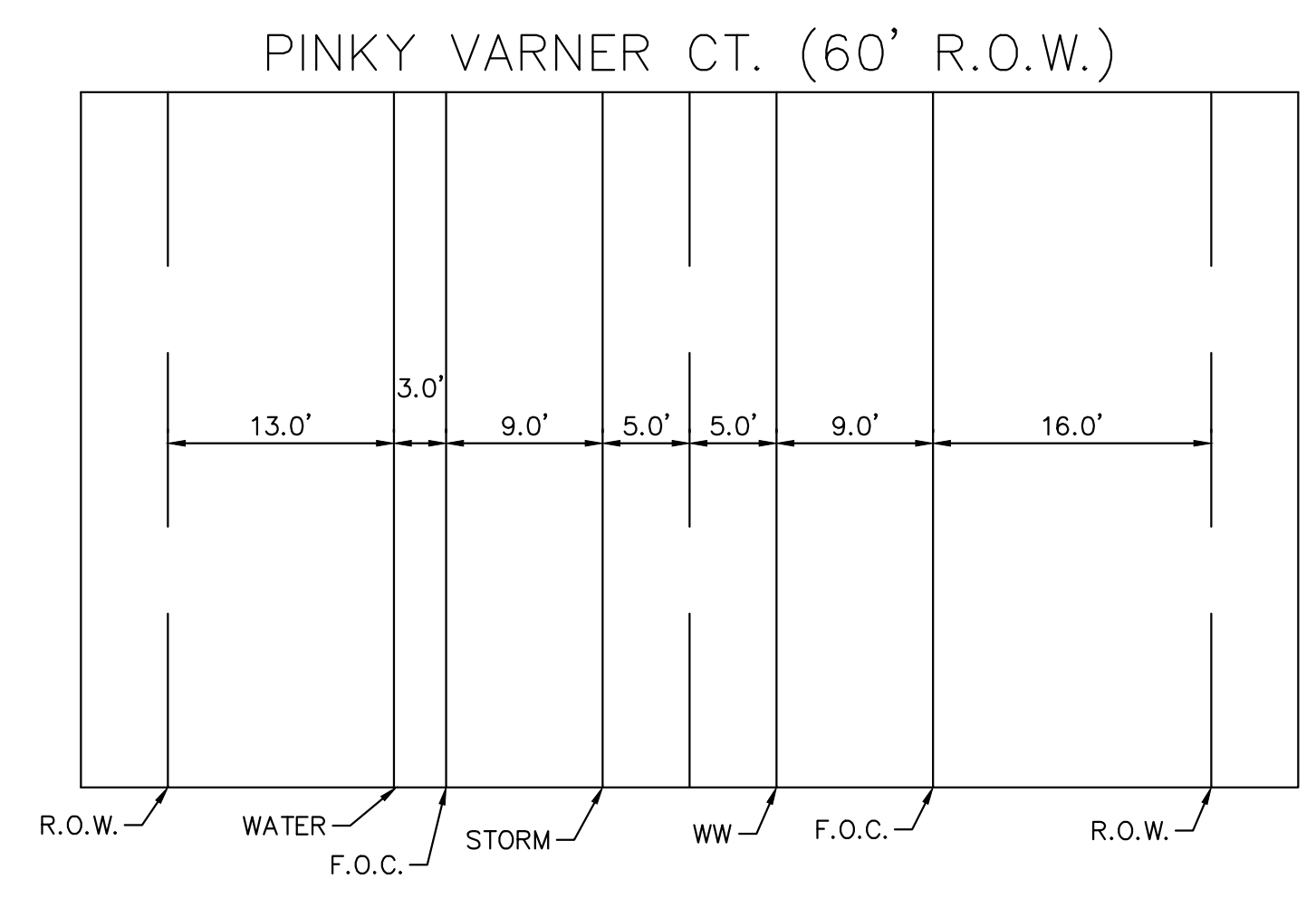
**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
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 TBPE Firm No. 928

07/17/2023  
  
 Alejandro E. Granados-Rico  
 Licensed Professional Engineer  
 State of Texas  
 KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

UTILITY CROSSING DETAILS (SHEET 1 OF 2)

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

Plotted by: Lee, David Date: July 17, 2023 09:12:08am File Path: K:\SAU\_Civil\067783115 Heritage Budd Assemblage\Cad\PlanSheets\201 PAVING DETAILS (2 OF 2).dwg  
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**BENCHMARKS**

BM #102 PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 77.4 NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=716.81 (NAVD '88)

BM #104 PK NAIL SET IN ROCK ON THE SOUTHEAST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=712.04 (NAVD '88)

BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF CLUBBAC COUNTRY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=722.56 (NAVD '88)

**CONSTRUCTION PLAN APPROVAL SHEET 226**

FILE NUMBER \_\_\_\_\_ APPLICATION DATE \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA  
 UNIFIED DEVELOPMENT CODE  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda

RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: N/A

Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.*

PERMIT NUMBER: 2021-737

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
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 TBPE Firm No. 928

07/17/2023

Alejandro E. Granados-Rico

KHA PROJECT: 067783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEG

**UTILITY CROSSING DETAILS (SHEET 2 OF 2)**

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

SHEET NUMBER  
**217**  
 OF 226

**EROSION CONTROL NOTES - APPENDIX P-1**

- THE CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS AND TREENATURAL AREA PROTECTIVE FENCING PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR EXCAVATION). THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE ENVIRONMENTAL CRITERIA MANUAL AND THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN. THE C.O.A. E.S.C. PLAN SHALL BE CONSULTED AND USED AS THE BASIS FOR A T.P.D.E.S. REQUIRED S.W.P.P. IF A S.W.P.P. IS REQUIRED, IT SHALL BE AVAILABLE FOR REVIEW BY THE CITY OF BUDA ENVIRONMENTAL INSPECTOR AT ALL TIMES DURING CONSTRUCTION, INCLUDING THE PRE-CONSTRUCTION MEETING.
- THE PLACEMENT OF TREENATURAL AREA PROTECTIVE FENCING SHALL BE IN ACCORDANCE WITH THE CITY OF AUSTIN STANDARD NOTES FOR TREE AND NATURAL AREA PROTECTION AND THE APPROVED GRADING/TREE AND NATURAL AREA PLAN. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD ON-SITE WITH THE CONTRACTOR, DESIGN ENGINEER/PERMIT APPLICANT AND ENVIRONMENTAL INSPECTOR AFTER INSTALLATION OF THE EROSION/SEDIMENTATION CONTROLS AND TREENATURAL AREA PROTECTION MEASURES AND PRIOR TO BEGINNING ANY SITE PREPARATION WORK. THE OWNER OR OWNER'S REPRESENTATIVE SHALL NOTIFY THE PLANNING AND DEVELOPMENT REVIEW DEPARTMENT, 974-2278, AT LEAST THREE DAYS PRIOR TO THE MEETING DATE. C.O.A. APPROVED E.S.C. PLAN AND T.P.D.E.S. S.W.P.P. (IF REQUIRED) SHOULD BE REVIEWED BY C.O.A. E.V. INSPECTOR AT THIS TIME.
- ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST OR CITY ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT REVIEW DEPARTMENT. MINOR CHANGES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL, MAJOR REVISIONS SHALL BE APPROVED BY CERTIFICATION TO INSPECT THE CONTROLS AND FENCES AT WEEKLY INTERVALS AND AFTER SIGNIFICANT RAINFALL EVENTS TO INSURE THAT THEY ARE FUNCTIONING PROPERLY. THE PERSON(S) RESPONSIBLE FOR MAINTENANCE OF CONTROLS AND FENCES SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHES SIX (6) INCHES.
- BEFORE CONSTRUCTION OF TEMPORARY OR PERMANENT CONTROLS, THE CONTRACTOR SHALL REMOVE EXISTING VEGETATION AND RESTORE TO ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING DEBRIS SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
- ALL WORK MUST STOP IF A VOID IN THE ROCK SUBSTRATE IS DISCOVERED WHICH IS ONE SQUARE FOOT IN TOTAL AREA. BLOWS AIR FROM WITHIN THE SUBSTRATE AND/OR CONSISTENTLY RECEIVES WATER DURING ANY RAIN EVENT. AT THIS TIME IT IS THE RESPONSIBILITY OF THE PROJECT MANAGER TO IMMEDIATELY CONTACT A CITY OF BUDA ENVIRONMENTAL INSPECTOR FOR FURTHER INVESTIGATION.
- TEMPORARY AND PERMANENT EROSION CONTROL. ALL DISTURBED AREAS SHALL BE RESTORED AS NOTED BELOW.

MATERIAL	DESCRIPTION	LONGEVITY	TYPICAL APPLICATIONS	APPLICATION RATES
BONDED FIBER MATRIX (BFM)	80% ORGANIC DEFIBRATED FIBERS 10% TACKIFIER	6 MONTHS	ON SLOPES UP TO 2:1 AND EROSION SOIL CONDITIONS	2500 TO 4000 LBS PER ACRE (SEE MANUFACTURERS RECOMMENDATIONS)
FIBER REINFORCED MATRIX (FRM)	65% ORGANIC DEFIBRATED FIBERS 25% REINFORCING FIBERS OR LESS 10% TACKIFIER	UP TO 12 MONTHS	ON SLOPES UP TO 2:1 AND EROSION SOIL CONDITIONS	3000 TO 4500 LBS PER ACRE (SEE MANUFACTURERS RECOMMENDATIONS)

**10. DEVELOPER INFORMATION:**

2428 SF PH1 LLC  
ADDRESS: 16380 ADDISON ROAD  
ADDISON, TEXAS 75001  
PHONE NO: 972-380-5900  
CONTACT: RYAN BURKHARDT

**A. OWNER'S REPRESENTATIVE RESPONSIBLE FOR PLAN ALTERATIONS:**

BRIAN J PARKER, P.E. / KIMLEY-HORN AND ASSOCIATES, INC.  
PHONE NO.: (512) 418-1771

**B. PERSON OR FIRM RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL MAINTENANCE:**

2428 SF PH1 LLC  
ADDRESS: 16380 ADDISON ROAD  
ADDISON, TEXAS 75001  
PHONE NO: 972-380-5900  
CONTACT: RYAN BURKHARDT

**C. PERSON OR FIRM RESPONSIBLE FOR TREENATURAL AREA CONTROL MAINTENANCE:**

2428 SF PH1 LLC  
ADDRESS: 16380 ADDISON ROAD  
ADDISON, TEXAS 75001  
PHONE NO: 972-380-5900  
CONTACT: RYAN BURKHARDT

- THE CONTRACTOR SHALL NOT DISPOSE OF SURPLUS EXCAVATED MATERIAL FROM THE SITE WITHOUT NOTIFYING THE CITY OF BUDA AT LEAST 48 HOURS PRIOR WITH THE LOCATION AND A COPY OF THE PERMIT ISSUED TO RECEIVE THE MATERIAL.
- ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS (CITY OF AUSTIN LDC 25-8-183)
- CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER CITY OF AUSTIN ECM 1.4.5(A), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
- CONTRACTOR SHALL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY. (CITY OF AUSTIN ECM 1.4.4.D.4.)

- ALL DISTURBED AREAS TO BE REVEGETATED ARE REQUIRED TO PLACE A MINIMUM OF SIX (6) INCHES OF TOPSOIL (SEE STANDARD SPECIFICATION ITEM NO. 6015.3(A)). DO NOT ADD TOPSOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES. THE TOPSOIL SHALL BE COMPOSED OF 3 PARTS OF SOIL MIXED WITH 1 PART COMPOST. BY VOLUME, THE COMPOST SHALL MEET THE DEFINITION OF COMPOST AS DEFINED BY TxDOT SPECIFICATION ITEM 161. THE SOIL SHALL BE LOCALLY AVAILABLE NATIVE SOIL THAT MEETS THE FOLLOWING SPECIFICATIONS:

- SHALL BE FREE OF TRASH, WEEDS, DELETERIOUS MATERIALS, ROCKS, AND DEBRIS.
- 100% SHALL PASS THROUGH A 1.5-INCH (38 mm) SCREEN.
- SOIL TO BE A LOAMY MATERIAL THAT MEETS THE REQUIREMENTS OF THE TABLE BELOW IN ACCORDANCE WITH THE USDA TEXTURAL TRIANGLE. SOIL KNOWN LOCALLY AS "RED DEATH" IS NOT AN ALLOWABLE SOIL.
- TEXTURAL COMPOSITION SHALL MEET THE FOLLOWING CRITERIA:

TEXTURE CLASS	MINIMUM	MAXIMUM
CLAY	5%	50%
SILT	10%	50%
SAND	15%	67%

- AN OWNER/ENGINEER MAY PROPOSE USE OF ON-SITE SALVAGED TOPSOIL WHICH DOES NOT MEET THE SOIL TEXTURE CLASS REQUIRED ABOVE PROVIDING A SOIL ANALYSIS AND A WRITTEN STATEMENT FROM A QUALIFIED PROFESSIONAL IN SOILS, LANDSCAPE ARCHITECTURE, OR AGRONOMY INDICATING THE ON-SITE TOPSOIL WILL PROVIDE AN EQUIVALENT GROWTH MEDIA AND SPECIFYING WHAT, IF ANY, SOIL AMENDMENTS ARE REQUIRED.
- SOIL AMENDMENTS SHALL BE WORKED INTO THE EXISTING ON-SITE TOPSOIL WITH A DISC OR TILLER TO CREATE A WELL-BLENDED MATERIAL.

TOPSOIL SALVAGED FROM THE EXISTING SITE MAY OFTEN BE USED, BUT IT SHOULD MEET THE SAME STANDARDS AS SET FORTH IN THESE STANDARDS.

**B. THE VEGETATIVE STABILIZATION OF AREAS DISTURBED BY CONSTRUCTION SHALL BE AS FOLLOWS:**

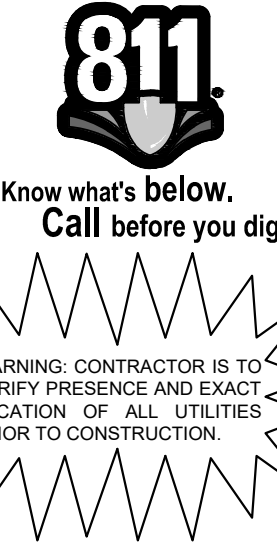
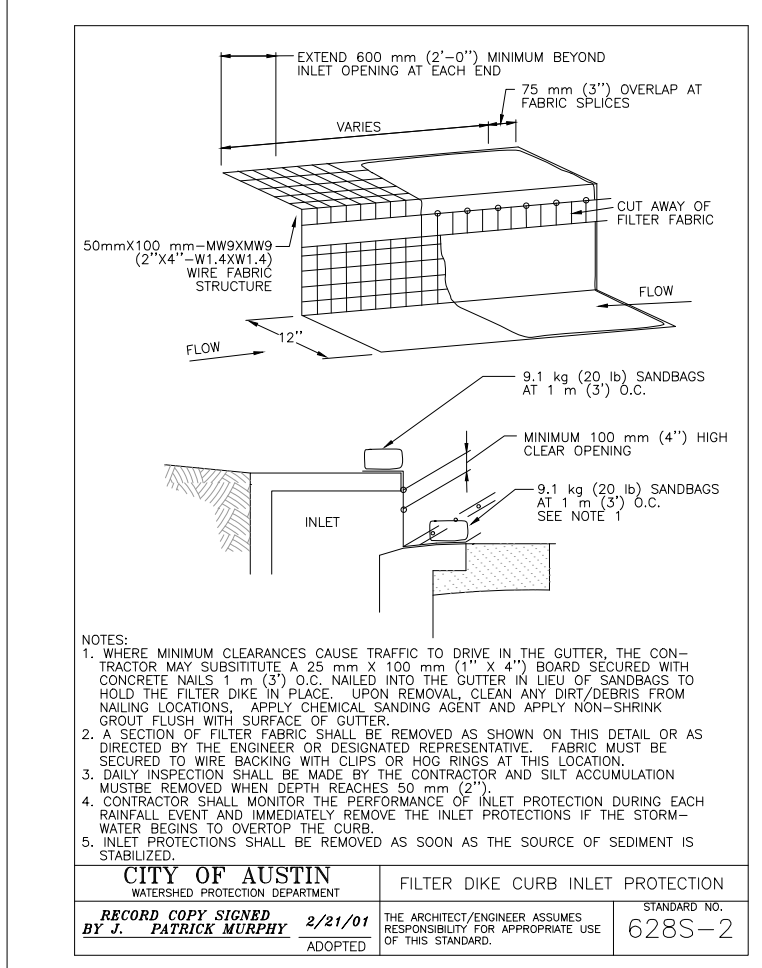
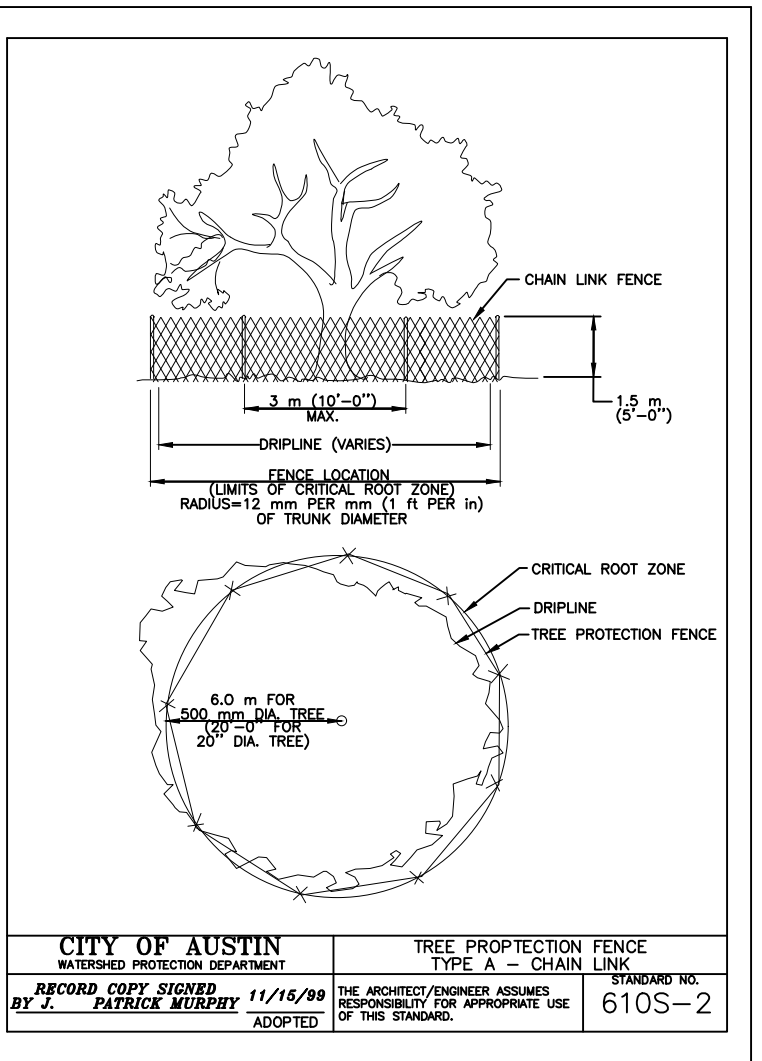
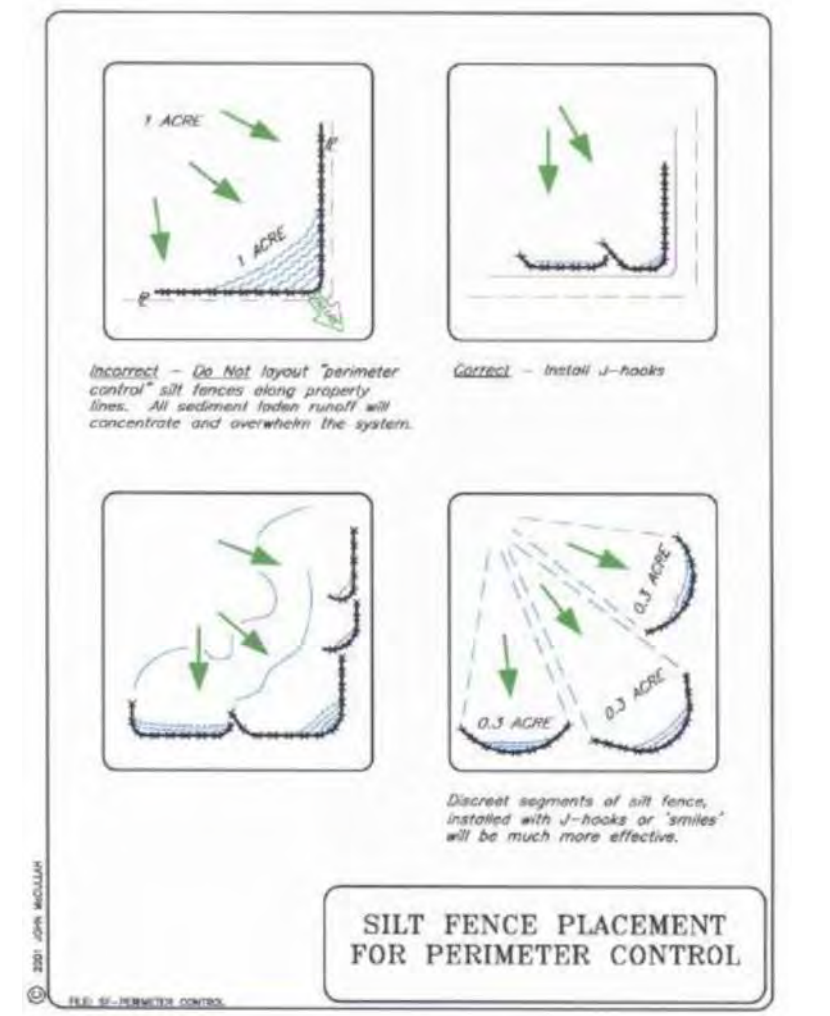
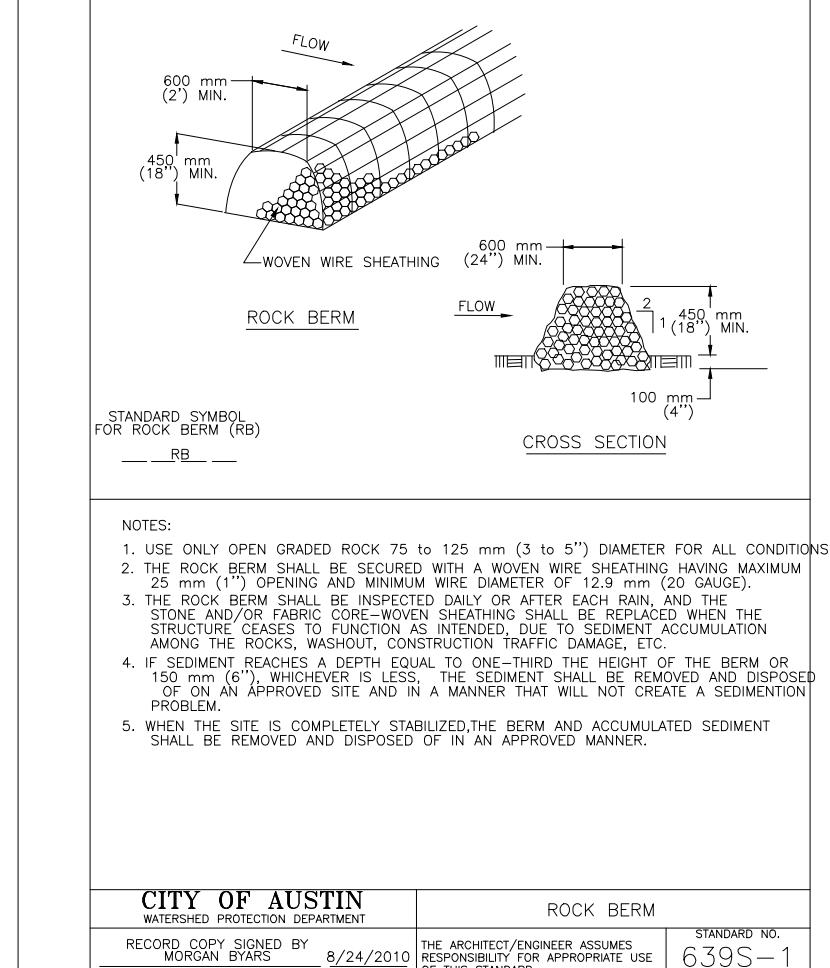
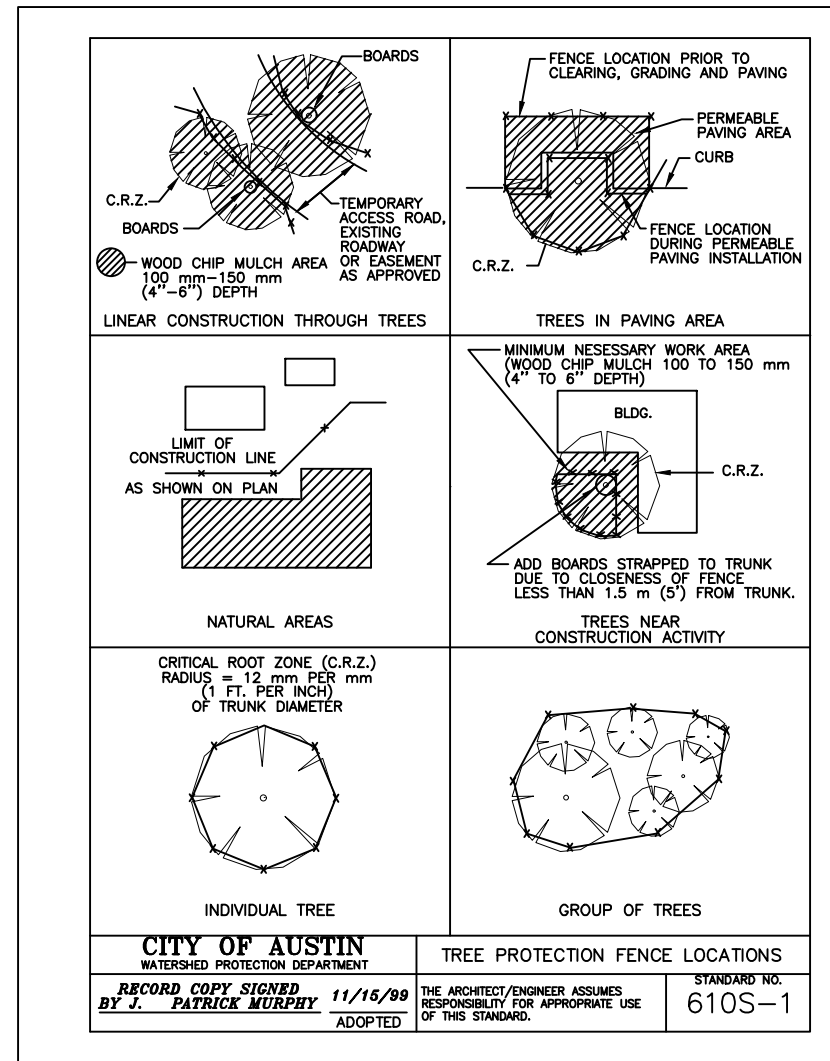
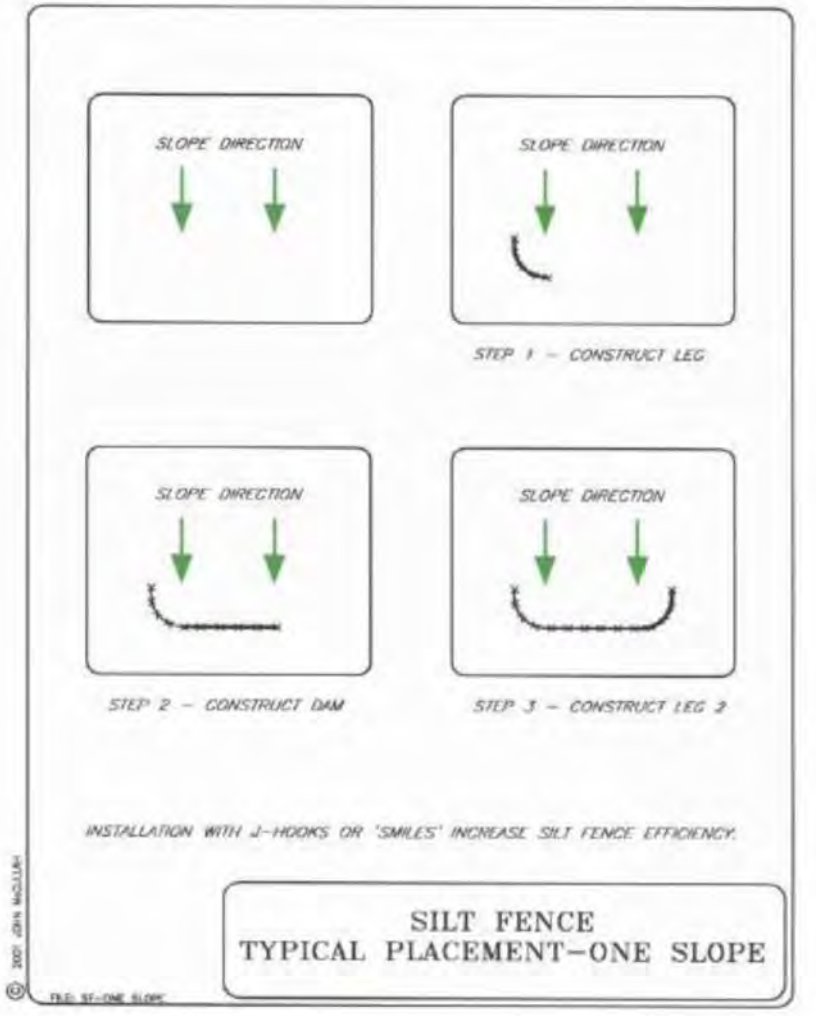
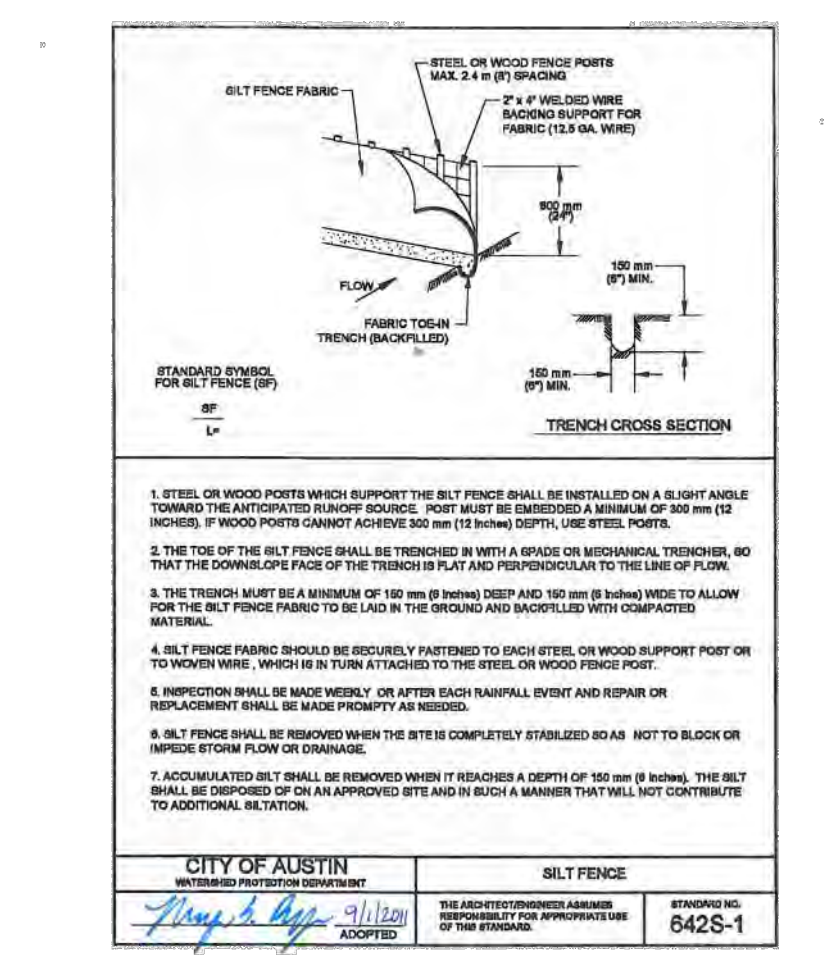
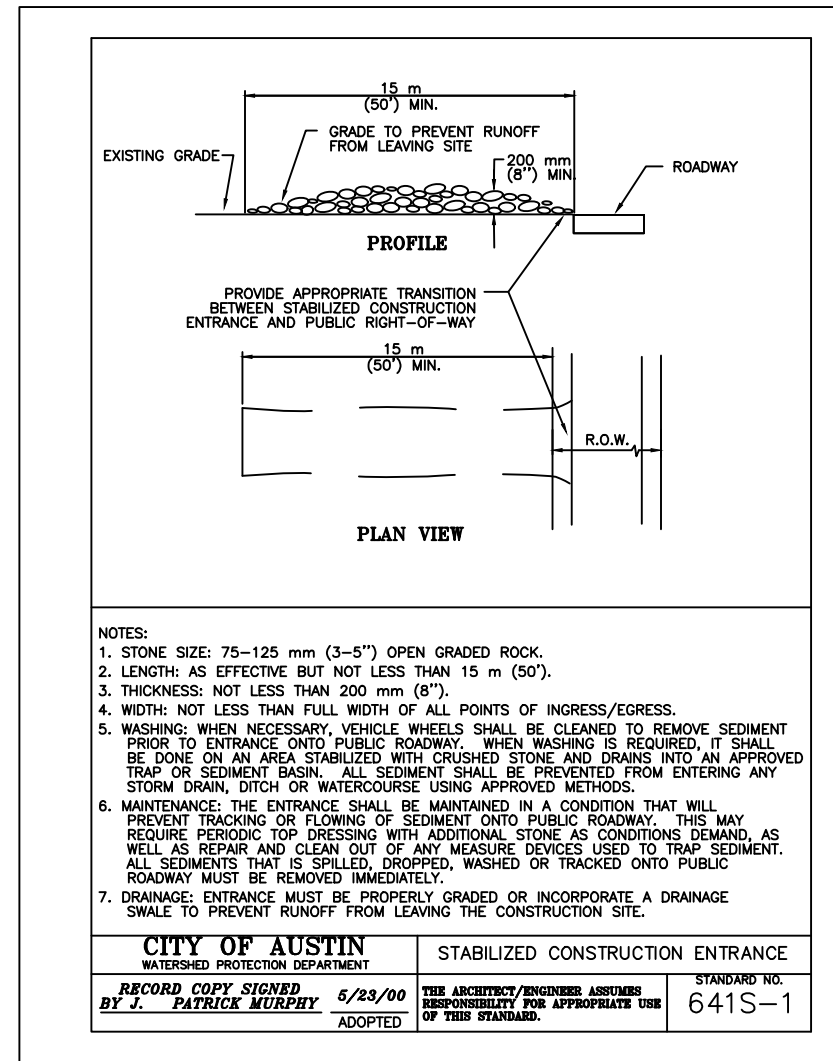
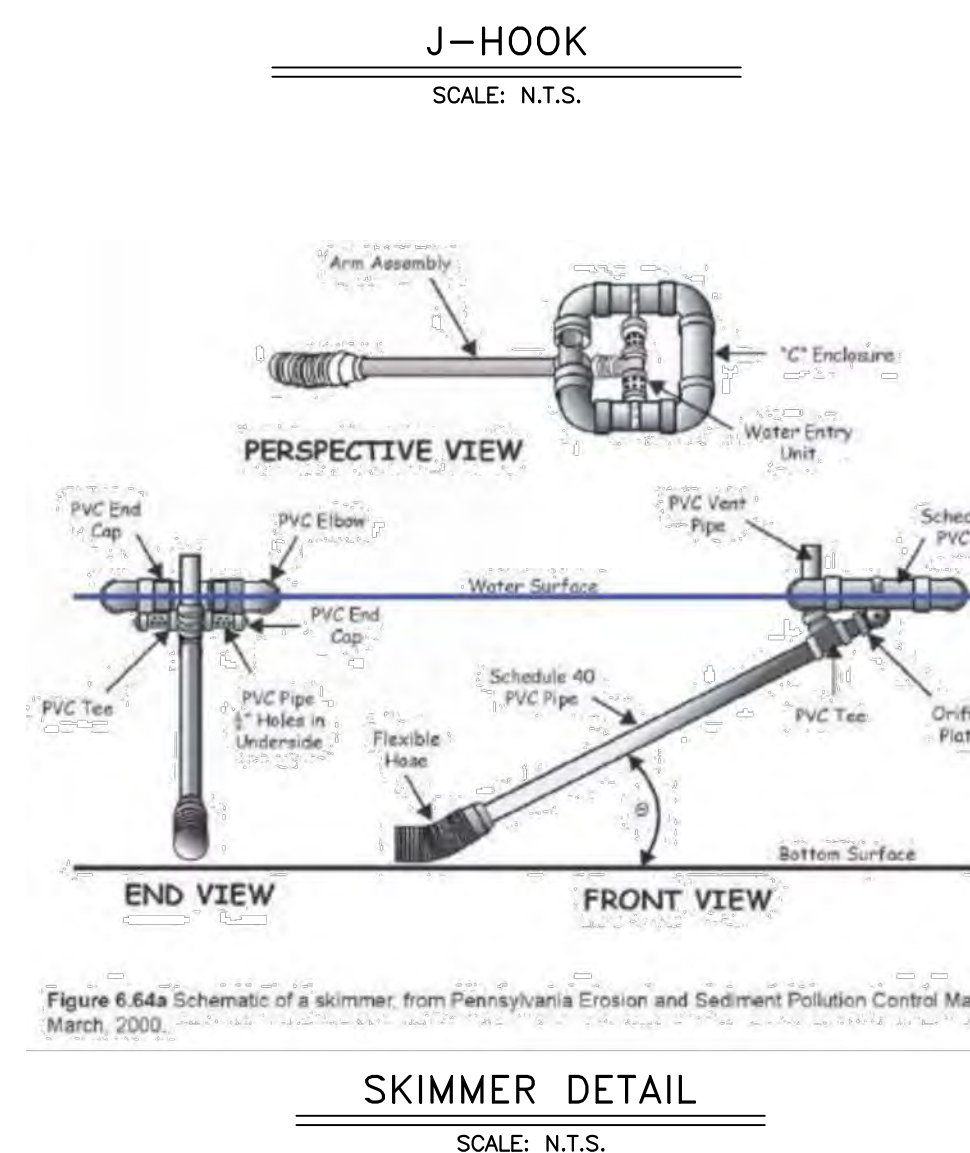
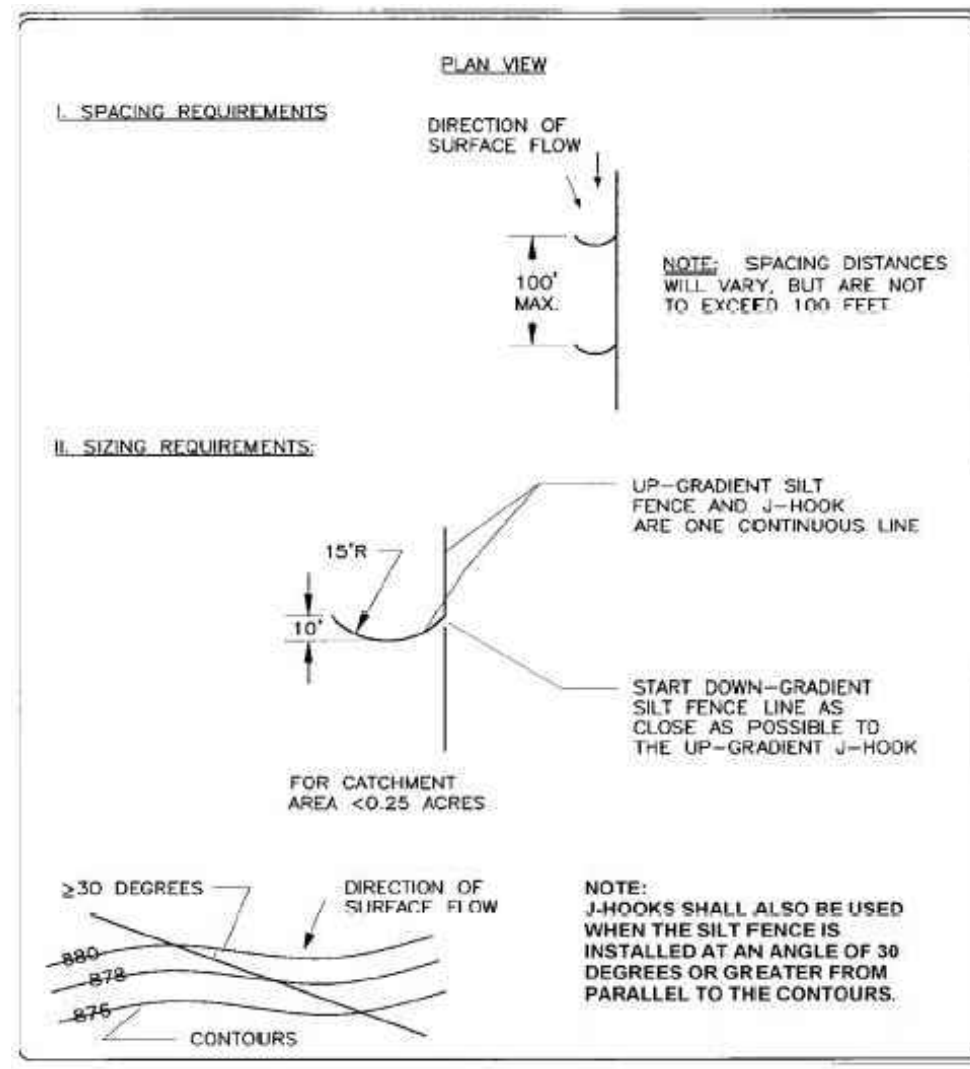
**TEMPORARY VEGETATIVE STABILIZATION**

- FROM SEPTEMBER 15 TO MARCH 1, SEEDING SHALL BE WITH COOL SEASON COVER CROPS (WHEAT AT 0.5 POUNDS PER 1000 SF, OATS AT 0.5 POUNDS PER 1000 SF, CEREAL RYE GRASS AT 0.5 POUNDS PER 1000 SF) WITH A TOTAL RATE OF 1.5 POUNDS PER 1000 SF. COOL SEASON COVER CROPS ARE NOT PERMANENT EROSION CONTROL.
- FROM MARCH 2 TO SEPTEMBER 14, SEEDING SHALL BE WITH HULLED BERBERIDA AT A RATE OF 1 POUNDS PER 1000 SF.
  - FERTILIZER SHALL BE WATER SOLUBLE WITH AN ANALYSIS OF 15-15-15 TO BE APPLIED ONCE AT PLANTING AND ONCE DURING THE PERIOD OF ESTABLISHMENT AT A RATE OF 1/2 POUND PER 1000 SF.
  - HYDROMULCH SHALL COMPLY WITH TABLE 1, BELOW.
  - TEMPORARY EROSION CONTROL SHALL BE ACCEPTABLE WHEN THE GRASS HAS GROWN AT LEAST 1 1/2 INCHES HIGH WITH 95% COVERAGE, PROVIDED NO BARE SPOTS LARGER THAN 16 SQUARE FEET EXIST.
  - WHEN REQUIRED, NATIVE GRASS SEEDING SHALL COMPLY WITH REQUIREMENTS OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL.

MATERIAL	DESCRIPTION	LONGEVITY	TYPICAL APPLICATIONS	APPLICATION RATES
100% OR ANY BLEND OF WOOD, CELLULOSE, STRAW, AND/OR COTTON PLANT MATERIAL EXCEPT NO MULCH SHALL EXCEED 30% PAPER)	70% OR GREATER WOOD/STRAW 30% OR LESS PAPER OR NATURAL FIBERS	0-3 MONTHS	MODERATE SLOPES; FROM FLAT TO 3:1	1500 TO 2000 LBS PER ACRE

**PERMANENT VEGETATIVE STABILIZATION**

- FROM SEPTEMBER 15 TO MARCH 1, SEEDING IS CONSIDERED TO BE TEMPORARY STABILIZATION ONLY. IF COOL SEASON COVER CROPS EXIST WHERE PERMANENT VEGETATIVE STABILIZATION IS DESIRED, THE GRASSES SHALL BE MOVED TO A HEIGHT OF LESS THAN ONE-HALF (1/2) INCH AND THE AREA SHALL BE RE-SEEDING IN ACCORDANCE WITH SECTION 2, BELOW.
- FROM MARCH 2 TO SEPTEMBER 14, SEEDING SHALL BE WITH HULLED BERBERIDA AT A RATE OF 1 POUND PER 1000 SF WITH A PURITY OF 95% WITH 95% GERMINATION. BERBERIDA GRASS IS A WARM SEASON GRASS AND IS CONSIDERED PERMANENT EROSION CONTROL.
  - FERTILIZER SHALL BE WATER SOLUBLE WITH AN ANALYSIS OF 15-15-15 TO BE APPLIED ONCE AT PLANTING AND ONCE DURING THE PERIOD OF ESTABLISHMENT AT A RATE OF 1/2 POUND PER 1000 SF.
  - HYDROMULCH SHALL COMPLY WITH TABLE 2, BELOW.
  - THE PLANTED AREA SHALL BE IRRIGATED OR SPRINKLED IN A MANNER THAT WILL NOT ERODE THE TOPSOIL, BUT WILL SUFFICIENTLY SOAK THE SOIL TO A DEPTH OF SIX INCHES. THE IRRIGATION SHALL OCCUR AT DAILY INTERVALS (MINIMUM) DURING THE FIRST TWO MONTHS. RAINFALL OCCURRENCES OF 1/2 INCH OR MORE SHALL POSTPONE THE WATERING SCHEDULE FOR ONE WEEK.
  - PERMANENT EROSION CONTROL SHALL BE ACCEPTABLE WHEN THE GRASS HAS GROWN AT LEAST 1 1/2 INCHES HIGH WITH 95% COVERAGE, PROVIDED NO BARE SPOTS LARGER THAN 16 SQUARE FEET EXIST.
  - WHEN REQUIRED, NATIVE GRASS SEEDING SHALL COMPLY WITH REQUIREMENTS OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL.



**BENCHMARKS**

BM #100 - 1/4\"/>

FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE	2021-7-31 CASE MANAGER 08/16/2021
<b>A. KENNEDY</b>	
City Engineer, City of Buda	RELEASED FOR GENERAL COMPLIANCE, ZONING N/A
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
Final plan must be received by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.	
PERMIT NUMBER:	2021-737

**Kimley-Horn**  
5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78745-5537  
WWW.KIMLEY-HORN.COM  
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TBE Firm No. 928

07/17/2023

STATE OF TEXAS  
ALVARADO E. GRANADOS RICO  
LICENSED PROFESSIONAL ENGINEER  
No. 13309

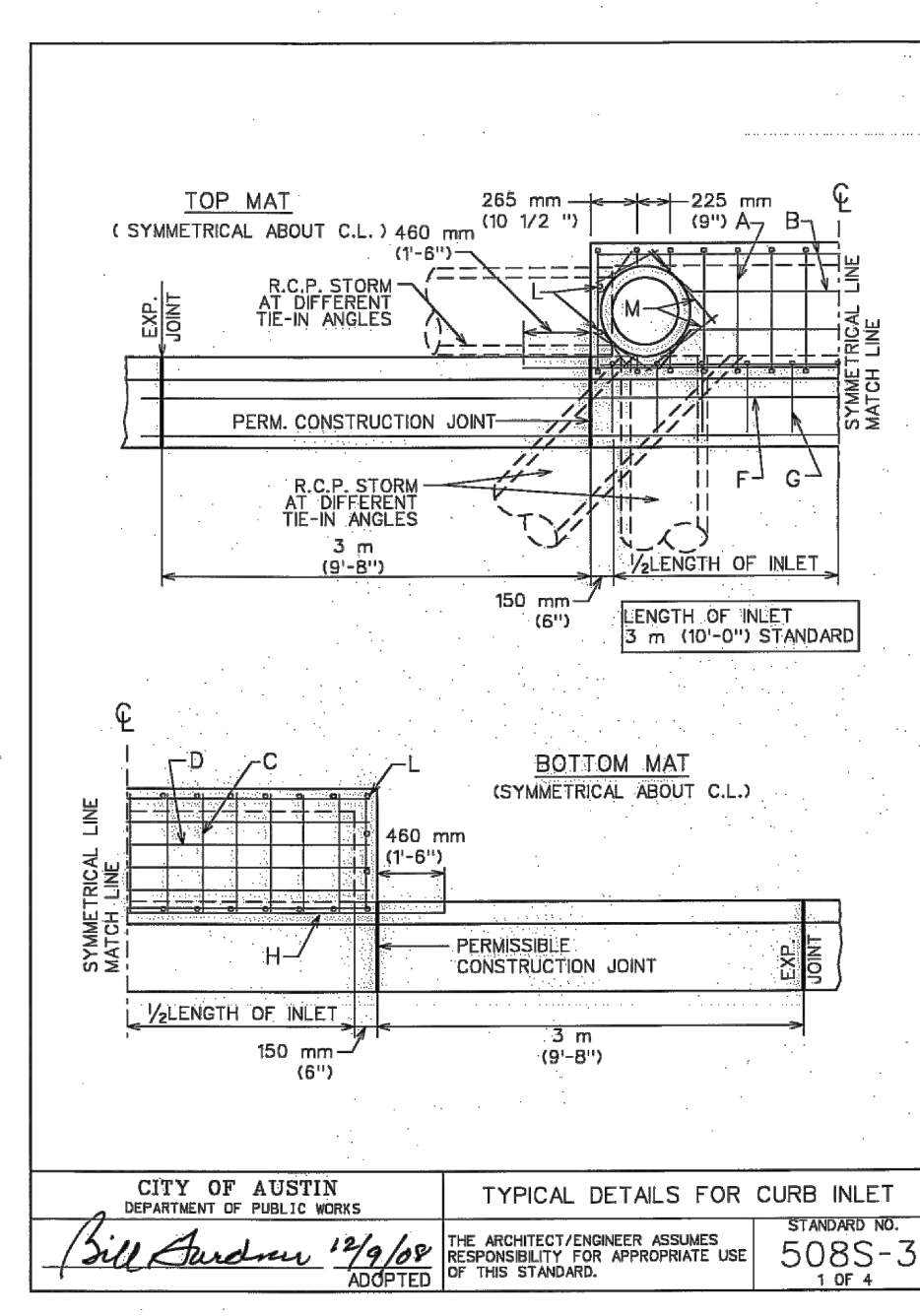
Project: KHA PROJECT 067783515  
Date: JULY 2023  
Scale: AS SHOWN  
Designed by: WB, DM  
Drawn by: WB, HM, MJD, DM  
Checked by: AEC

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

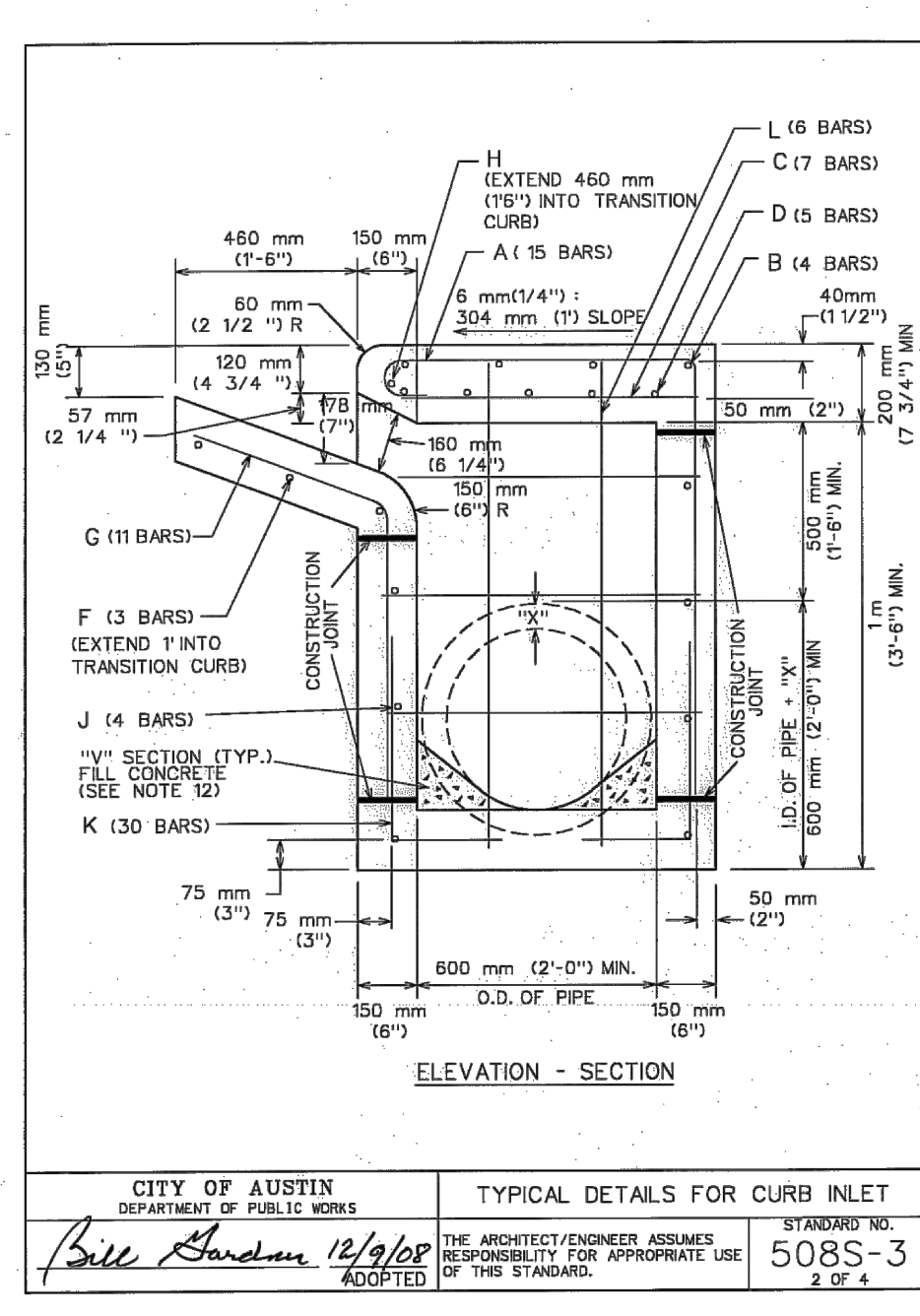
SHEET NUMBER  
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OF 226

Plotted by: Lee, David Date: July 17, 2023 09:12:21am File Path: K:\SAL\_Civil\067783515 Meritage Buda Assemblage\Coa\PlanSheets\202 EROSION CONTROL DETAILS.dwg  
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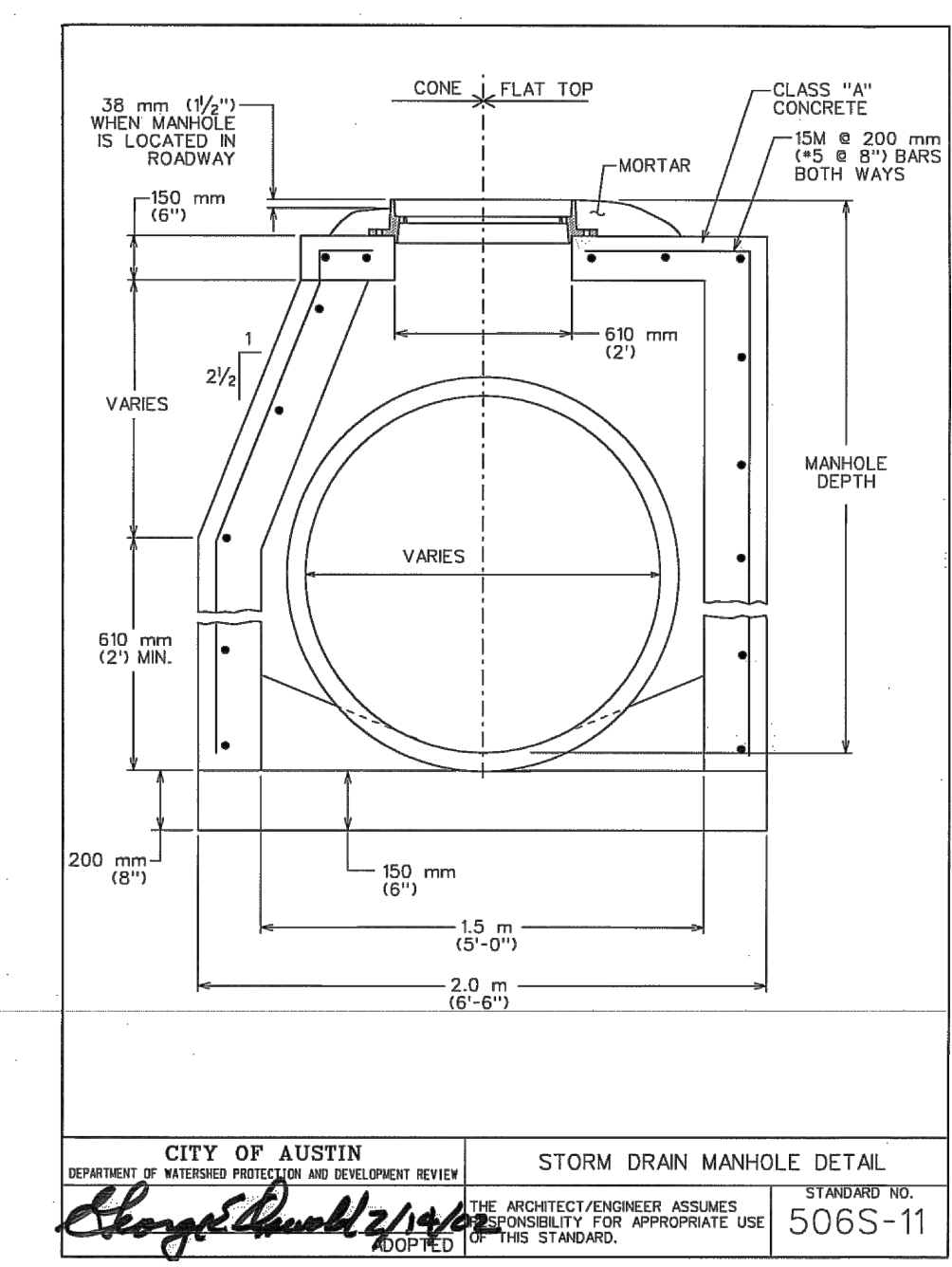
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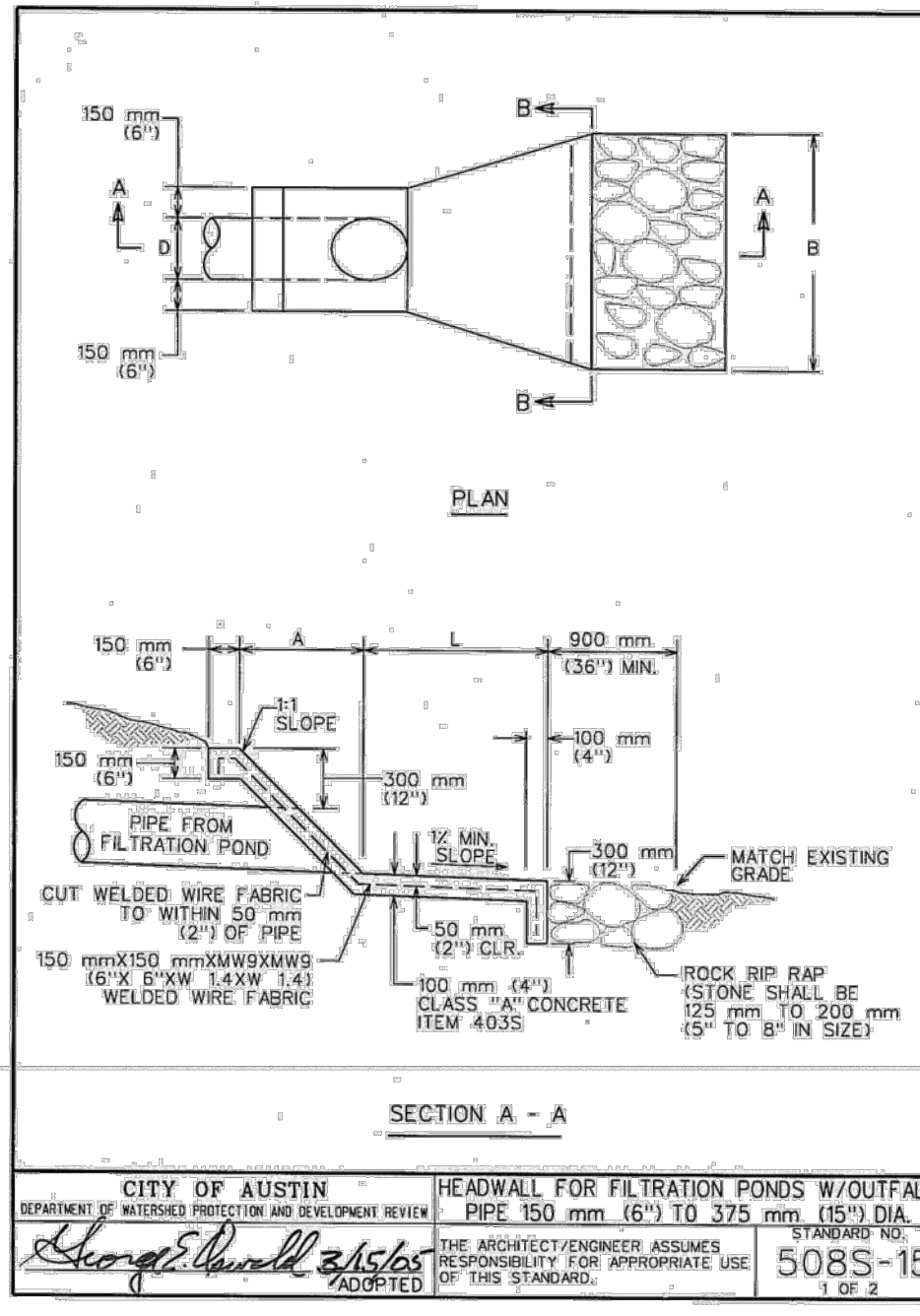
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DEPARTMENT OF PUBLIC WORKS  
RECORD COPY SIGNED BY: Bill Anderson  
DATE: 08/20/07  
STANDARD NO. 508S-3  
1 OF 4



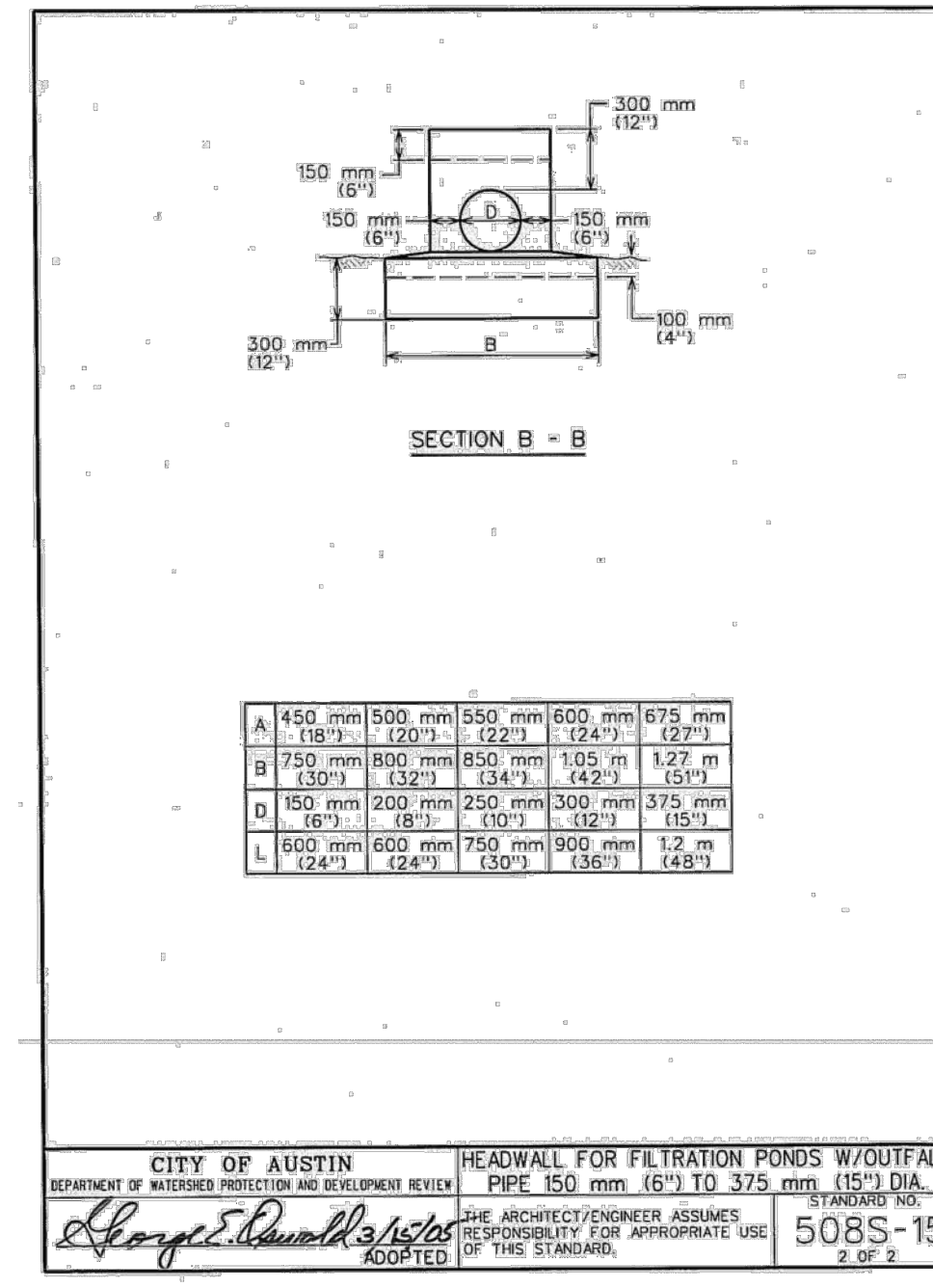
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RECORD COPY SIGNED BY: Bill Anderson  
DATE: 08/20/07  
STANDARD NO. 508S-3  
2 OF 4



CITY OF AUSTIN  
DEPARTMENT OF WATERWAYS PROTECTION AND DEVELOPMENT REVIEW  
RECORD COPY SIGNED BY: George Daulton  
DATE: 08/20/07  
STANDARD NO. 506S-11



CITY OF AUSTIN  
DEPARTMENT OF WATERWAYS PROTECTION AND DEVELOPMENT REVIEW  
RECORD COPY SIGNED BY: George Daulton  
DATE: 08/20/07  
STANDARD NO. 508S-15



CITY OF AUSTIN  
DEPARTMENT OF WATERWAYS PROTECTION AND DEVELOPMENT REVIEW  
RECORD COPY SIGNED BY: George Daulton  
DATE: 08/20/07  
STANDARD NO. 508S-15

TABLE OF DIMENSIONS & REINFORCING STEEL (Wings for One Structure End)

Dimensions	Wings	TABLE OF ESTIMATED REINFORCING QUANTITIES
1.5m x 1.5m	1.5m x 1.5m	...

WING DIMENSION CALCULATIONS:

GENERAL NOTES:

TABLE OF DIMENSIONS & REINFORCING STEEL (Wings for One Structure End)

Dimensions	Wings	TABLE OF ESTIMATED REINFORCING QUANTITIES
1.5m x 1.5m	1.5m x 1.5m	...

WING DIMENSION CALCULATIONS:

GENERAL NOTES:

TABLE OF VARIABLE DIMENSIONS AND QUANTITIES FOR ONE HEADWALL

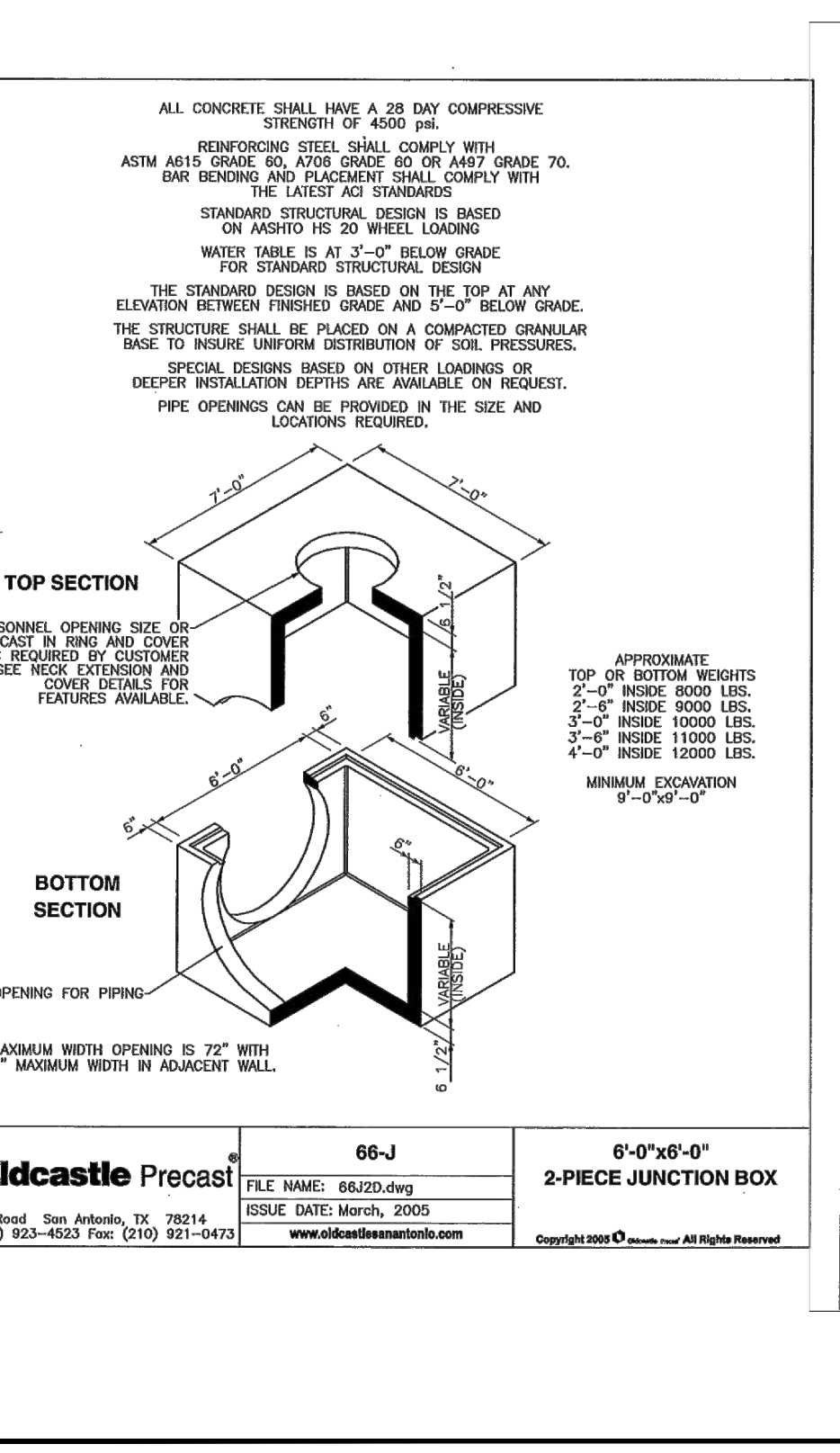
Dimensions	TABLE OF ESTIMATED REINFORCING QUANTITIES
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GENERAL NOTES:

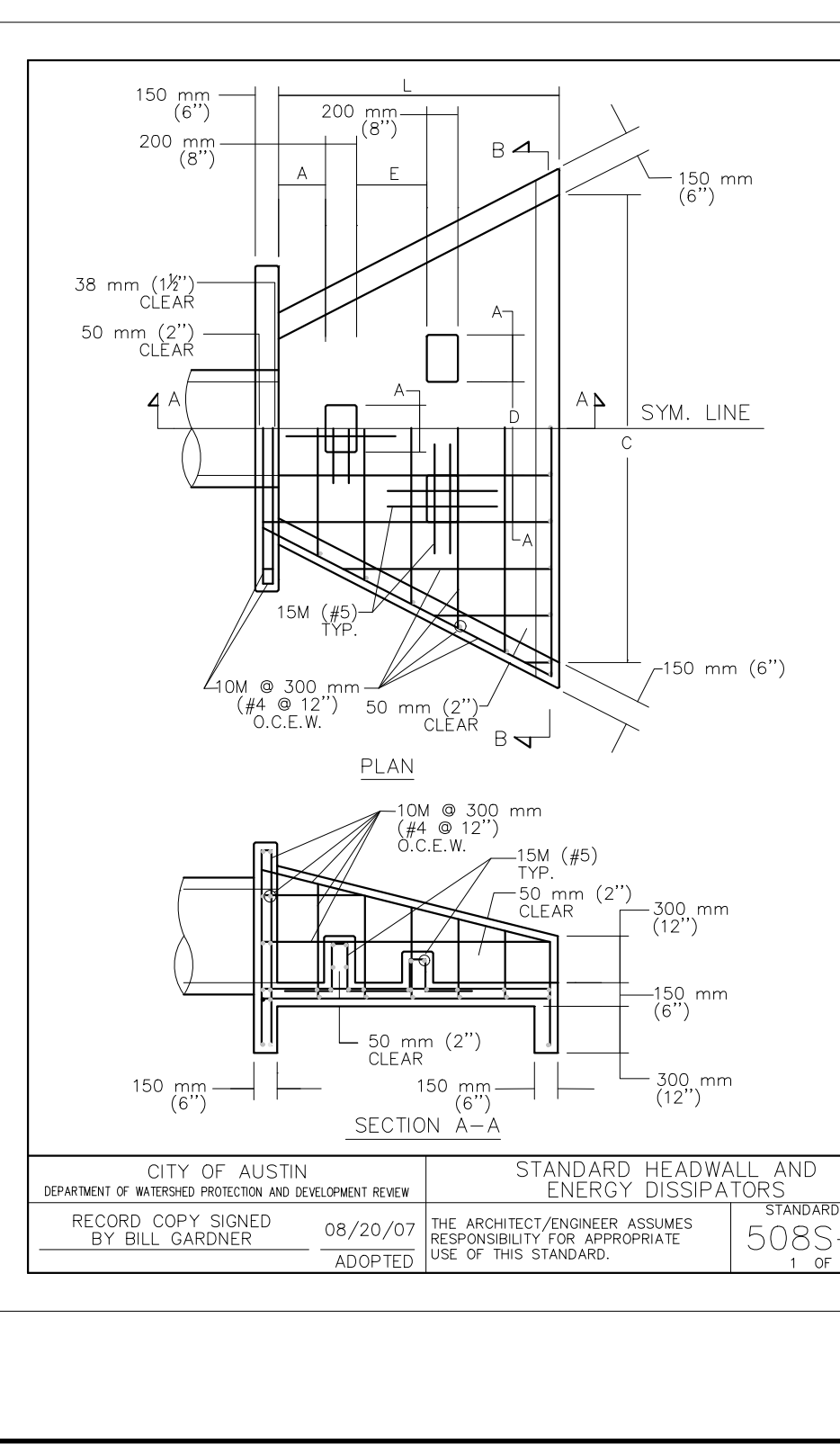
TABLE OF VARIABLE DIMENSIONS AND QUANTITIES FOR ONE HEADWALL

Dimensions	TABLE OF ESTIMATED REINFORCING QUANTITIES
1.5m x 1.5m	...

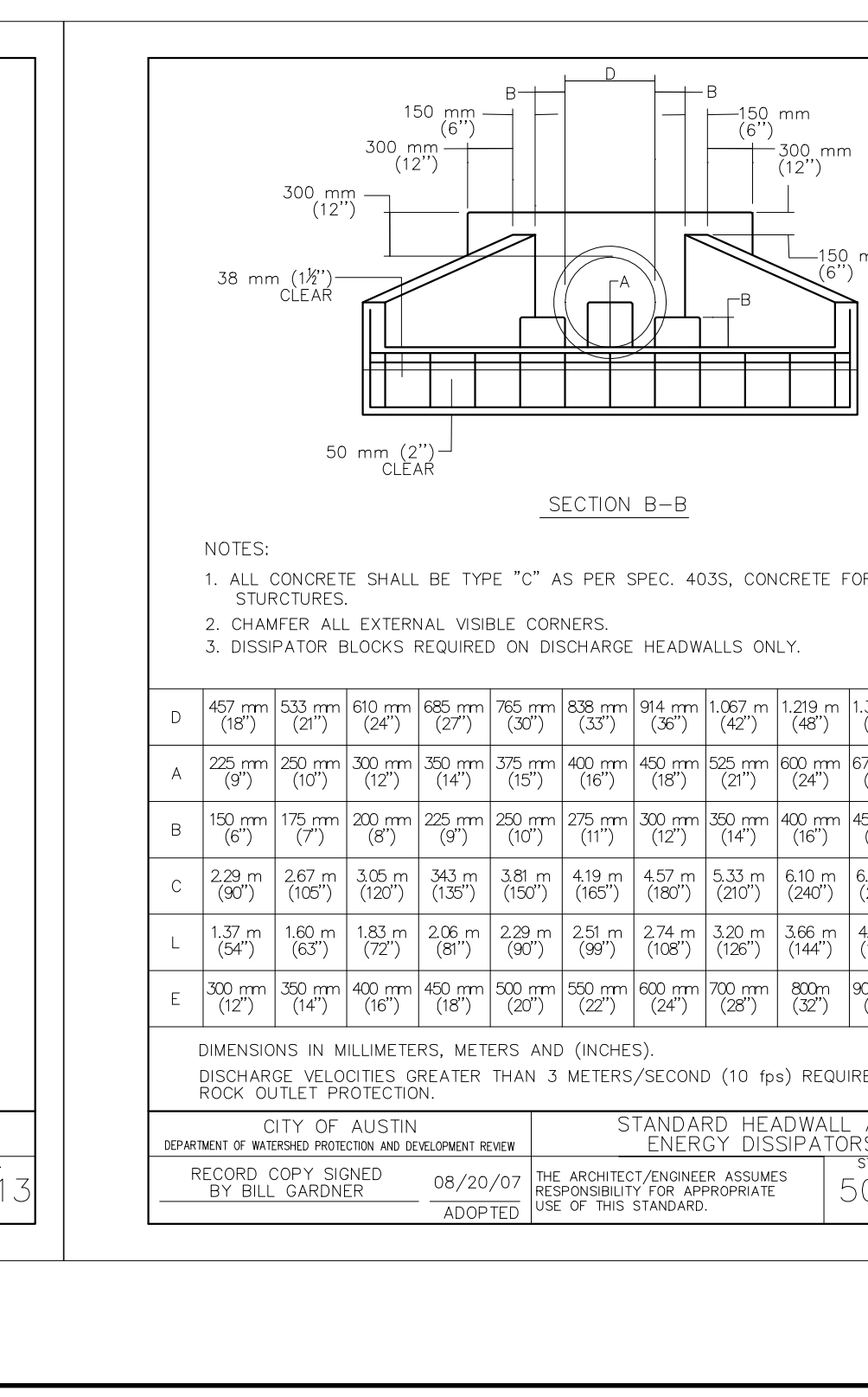
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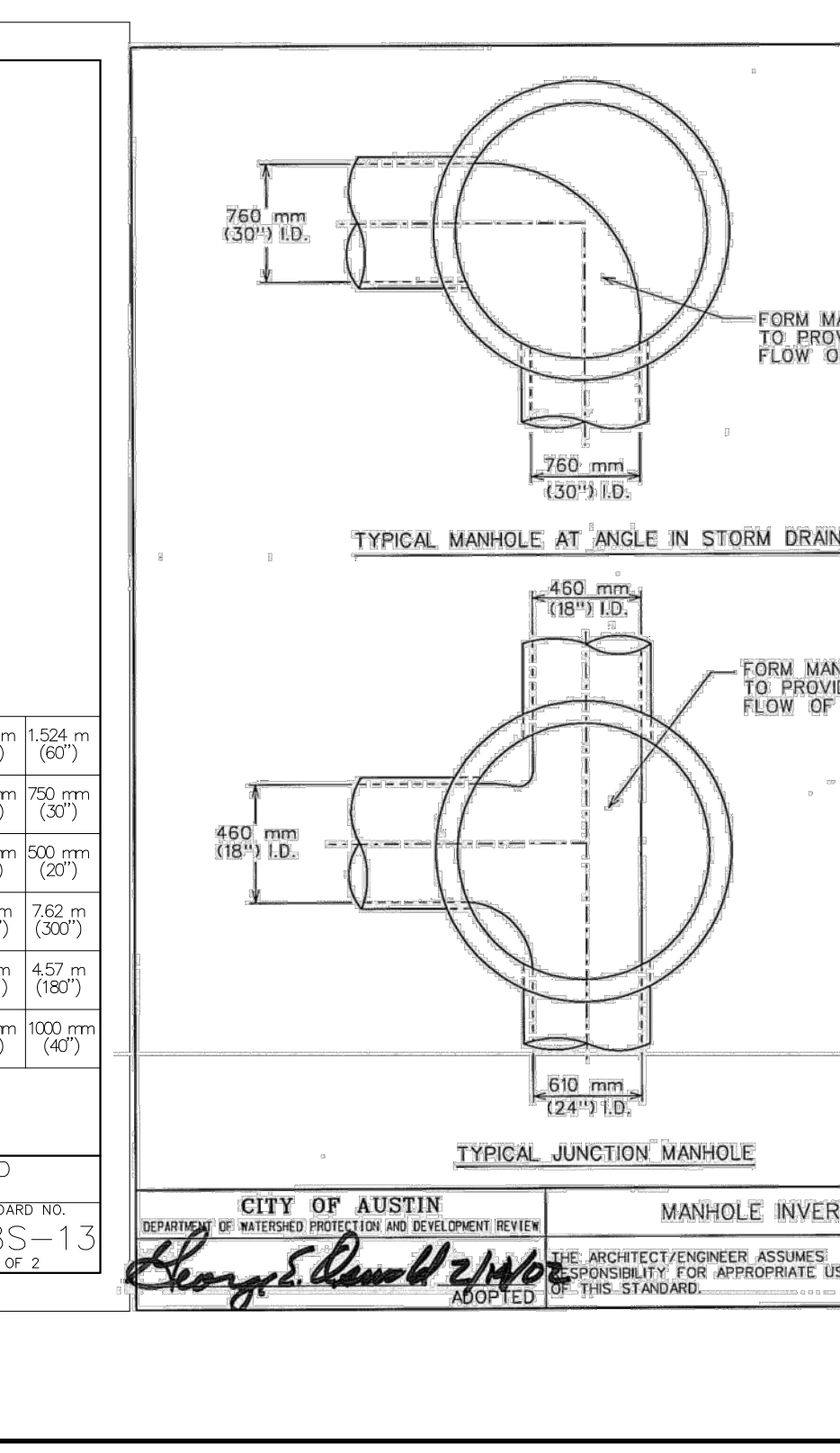
Oldcastle Precast  
FILE NAME: 06202005  
ISSUE DATE: March, 2005  
STANDARD NO. 508S-13  
1 OF 2



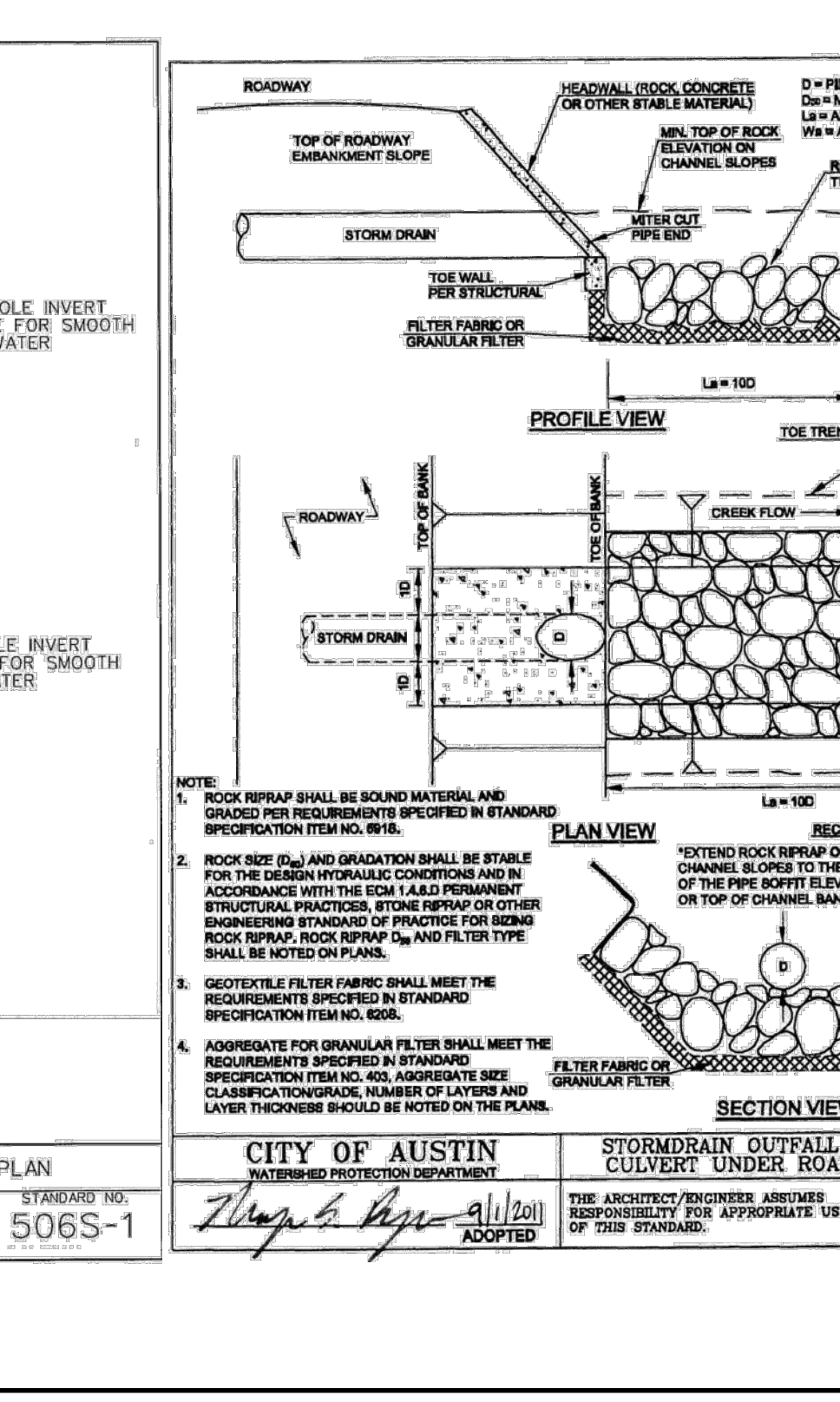
CITY OF AUSTIN  
DEPARTMENT OF WATERWAYS PROTECTION AND DEVELOPMENT REVIEW  
RECORD COPY SIGNED BY: Bill Gardner  
DATE: 08/20/07  
STANDARD NO. 508S-13  
1 OF 2



CITY OF AUSTIN  
DEPARTMENT OF WATERWAYS PROTECTION AND DEVELOPMENT REVIEW  
RECORD COPY SIGNED BY: Bill Gardner  
DATE: 08/20/07  
STANDARD NO. 508S-13  
2 OF 2



CITY OF AUSTIN  
DEPARTMENT OF WATERWAYS PROTECTION AND DEVELOPMENT REVIEW  
RECORD COPY SIGNED BY: George Daulton  
DATE: 08/20/07  
STANDARD NO. 506S-1



CITY OF AUSTIN  
DEPARTMENT OF WATERWAYS PROTECTION AND DEVELOPMENT REVIEW  
RECORD COPY SIGNED BY: George Daulton  
DATE: 08/20/07  
STANDARD NO. 506S-1

CONSTRUCTION PLAN APPROVAL SHEET 0226  
FILE NUMBER: 06202005  
APPROVED BY COMMISSION ON: N/A  
EXPIRATION DATE: 2021-737

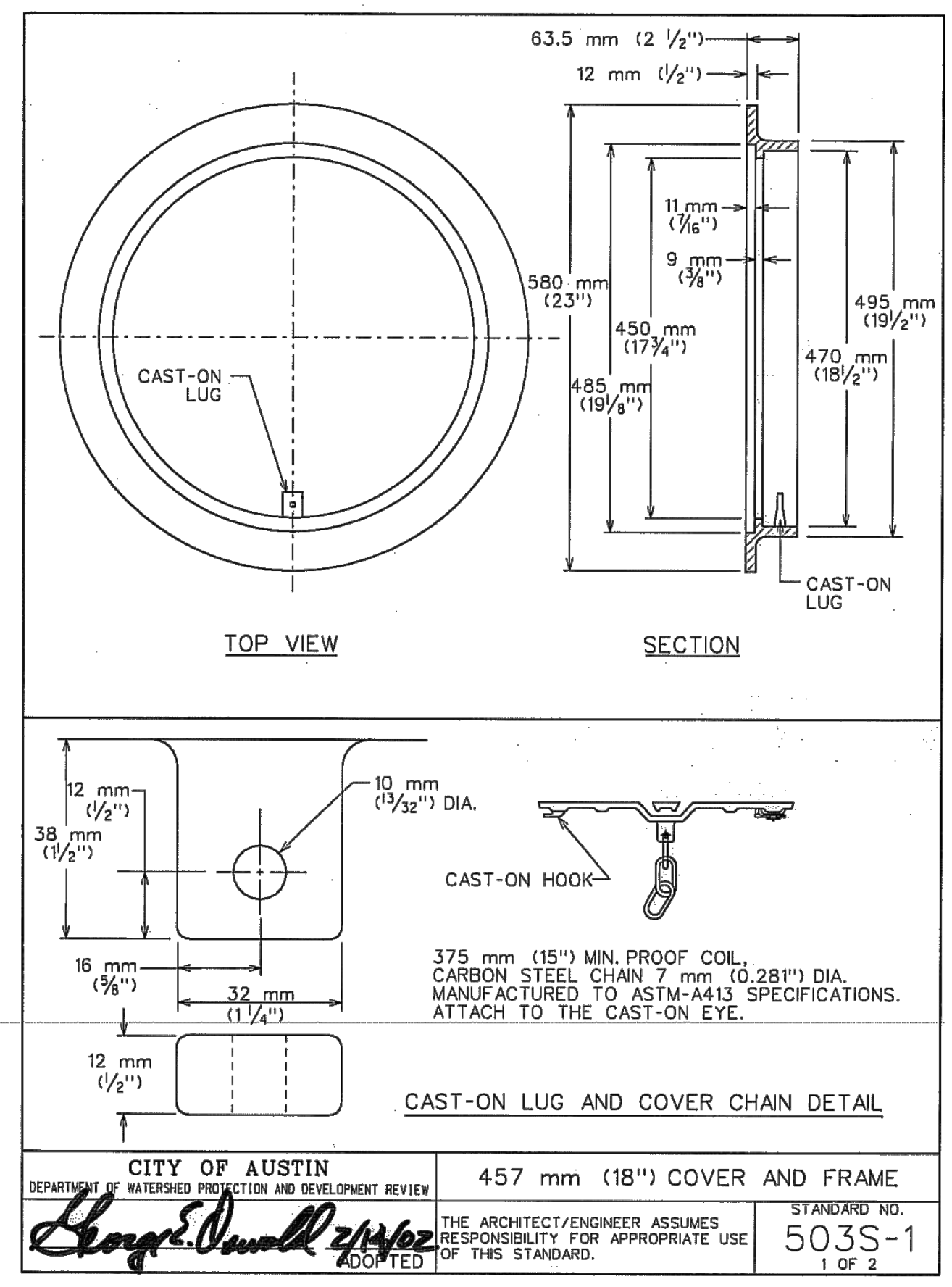
A. KENNEDY  
City Engineer, City of Buda  
RELEASSED FOR GENERAL COMPLIANCE, ZONING: N/A

Rev. 1: Correction 1  
Rev. 2: Correction 2  
Rev. 3: Correction 3

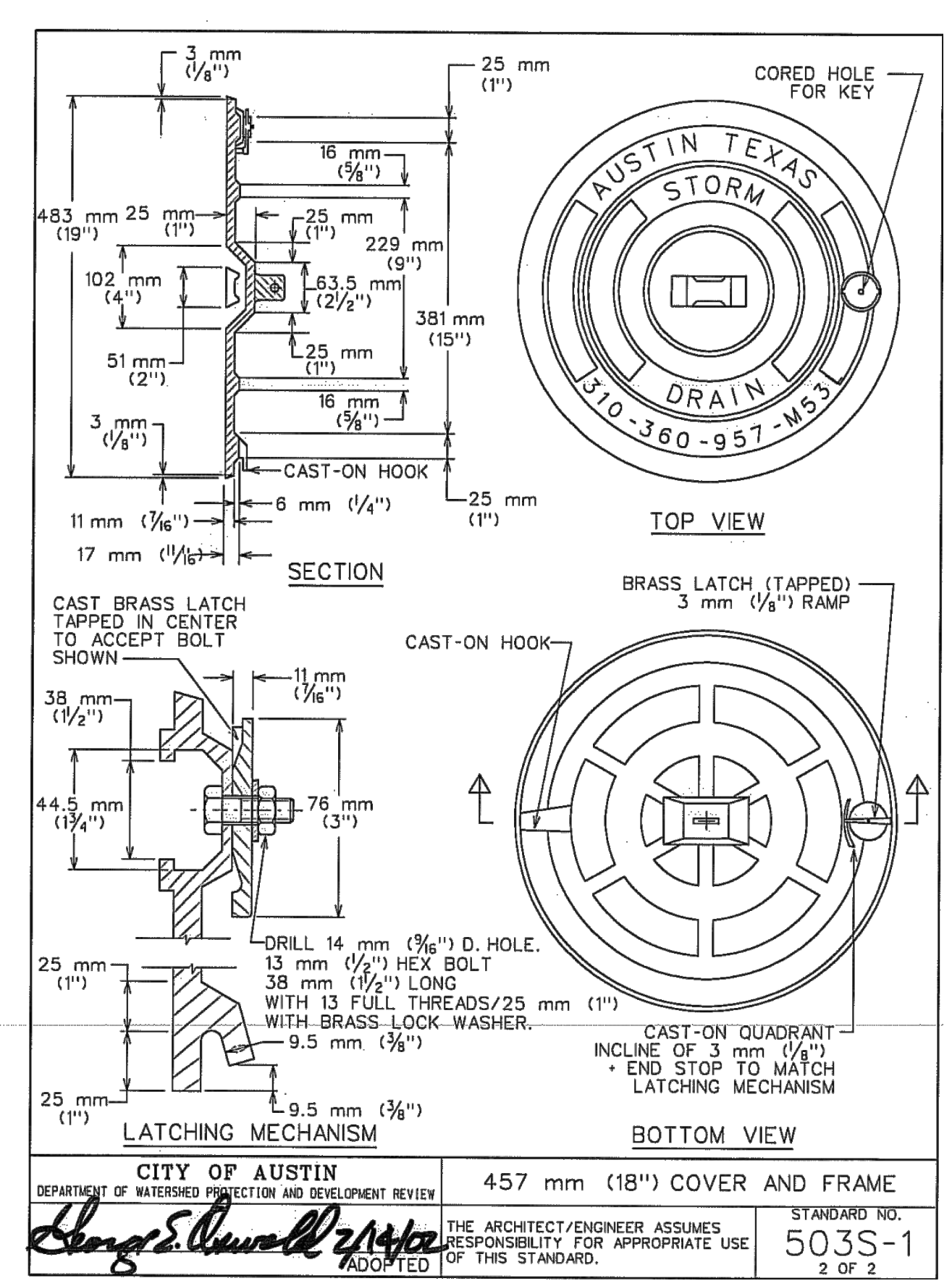
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code curate at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

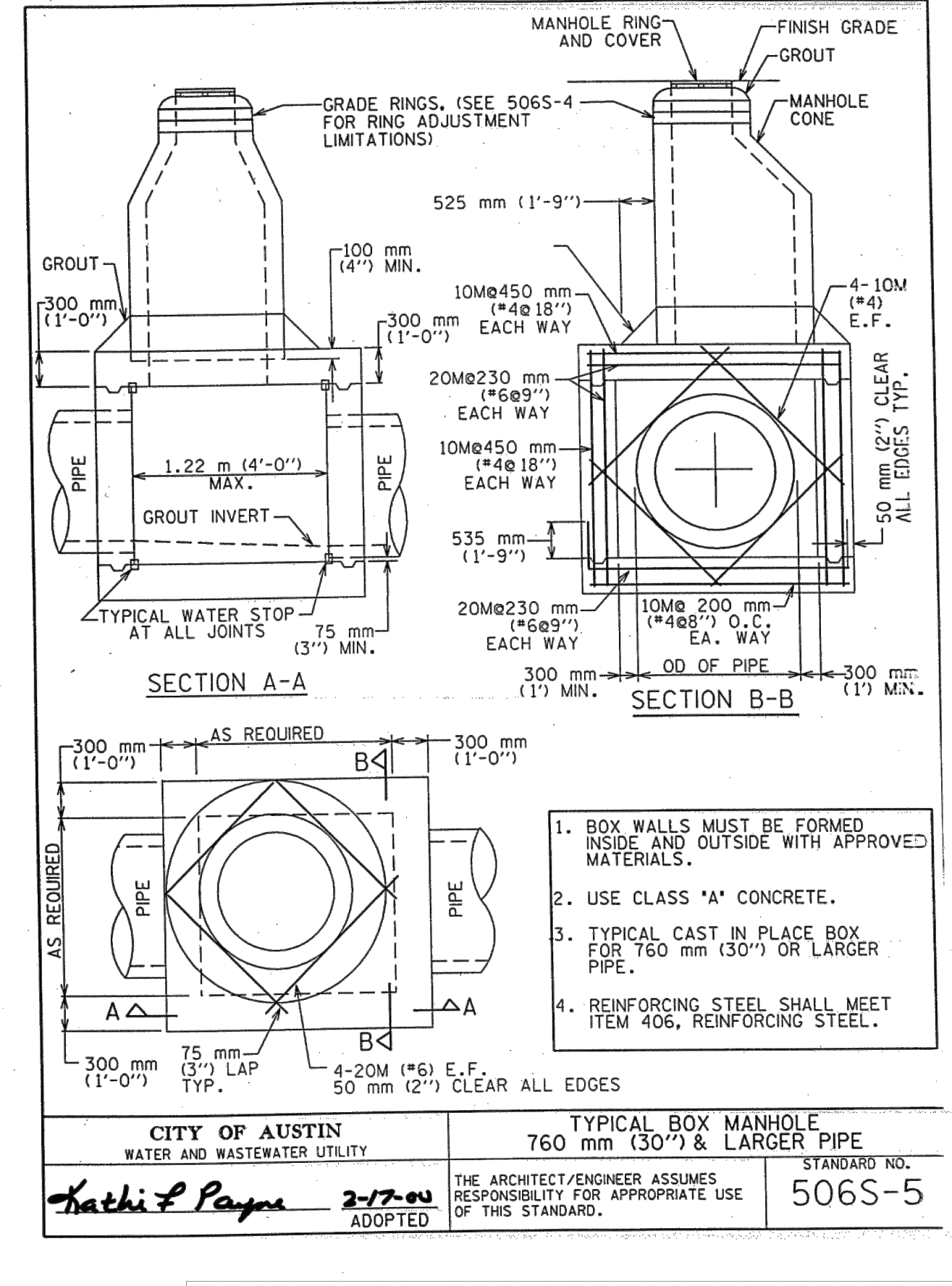
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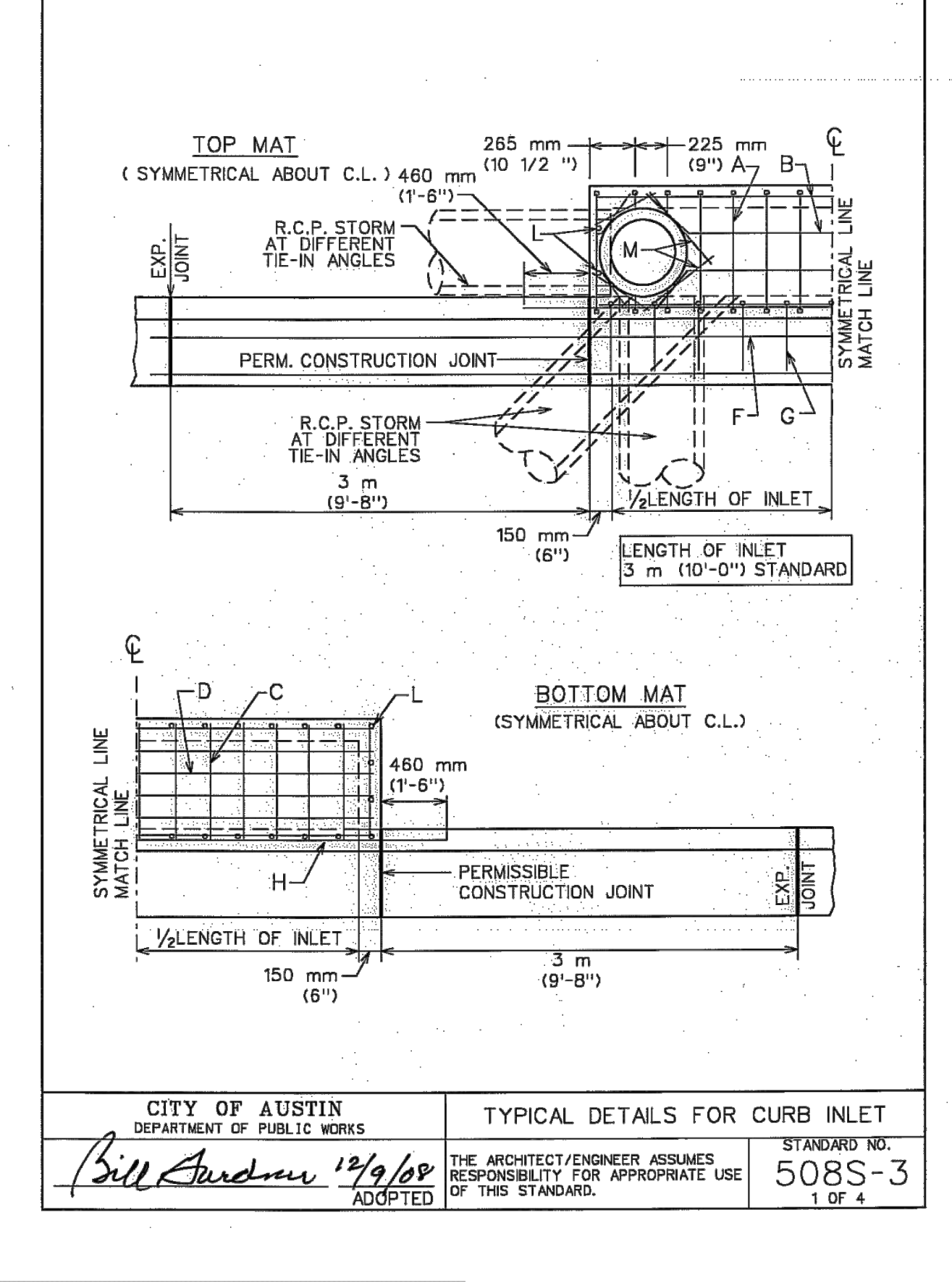
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 DEPARTMENT OF PUBLIC WORKS  
 WATER AND WASTEWATER UTILITY  
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 STANDARD NO. 503S-1  
 1 OF 2  
 THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



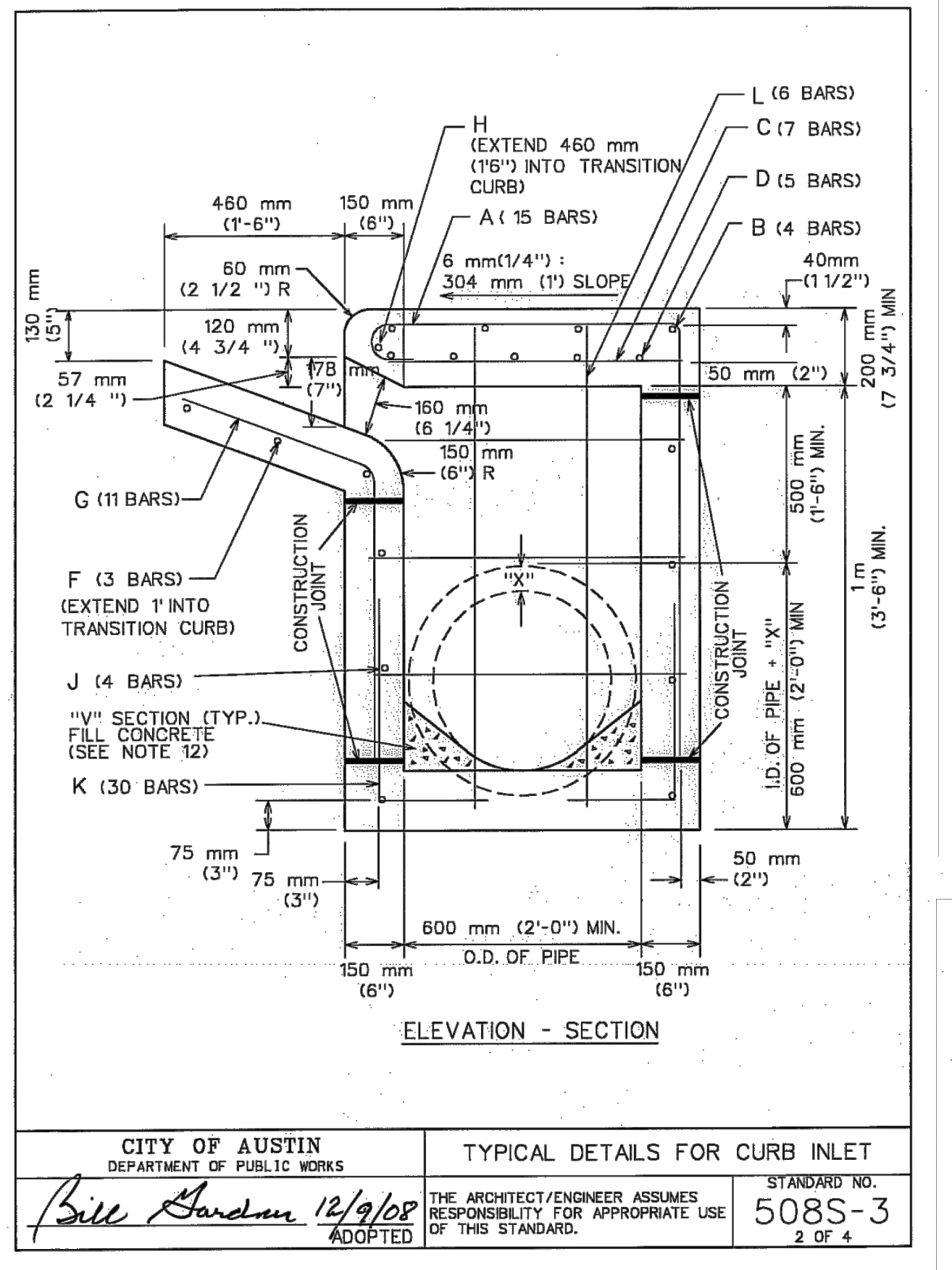
**CITY OF AUSTIN**  
 DEPARTMENT OF PUBLIC WORKS  
 WATER AND WASTEWATER UTILITY  
 457 mm (18") COVER AND FRAME  
 STANDARD NO. 503S-1  
 2 OF 2  
 THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



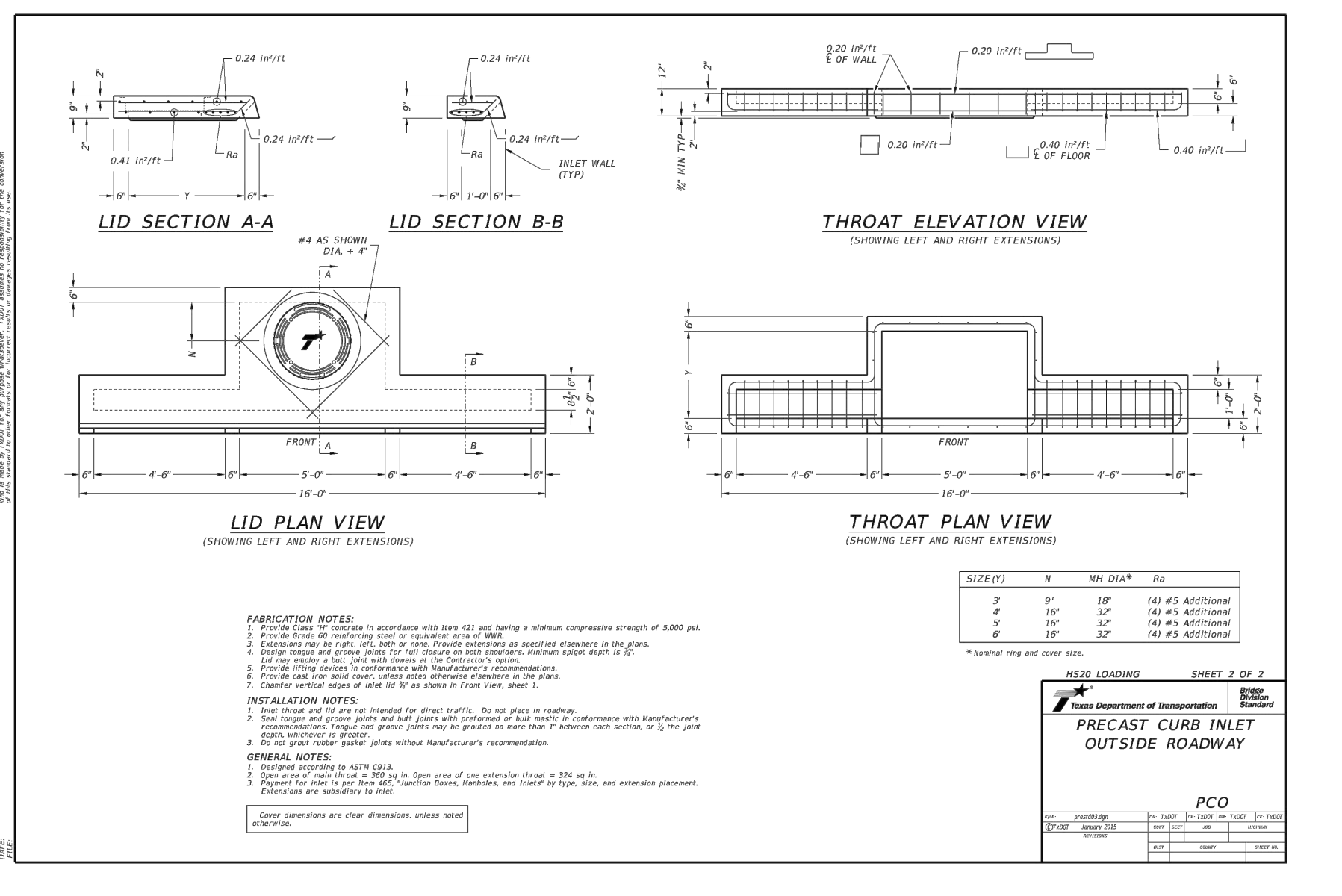
**CITY OF AUSTIN**  
 WATER AND WASTEWATER UTILITY  
 TYPICAL BOX MANHOLE  
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 STANDARD NO. 506S-5  
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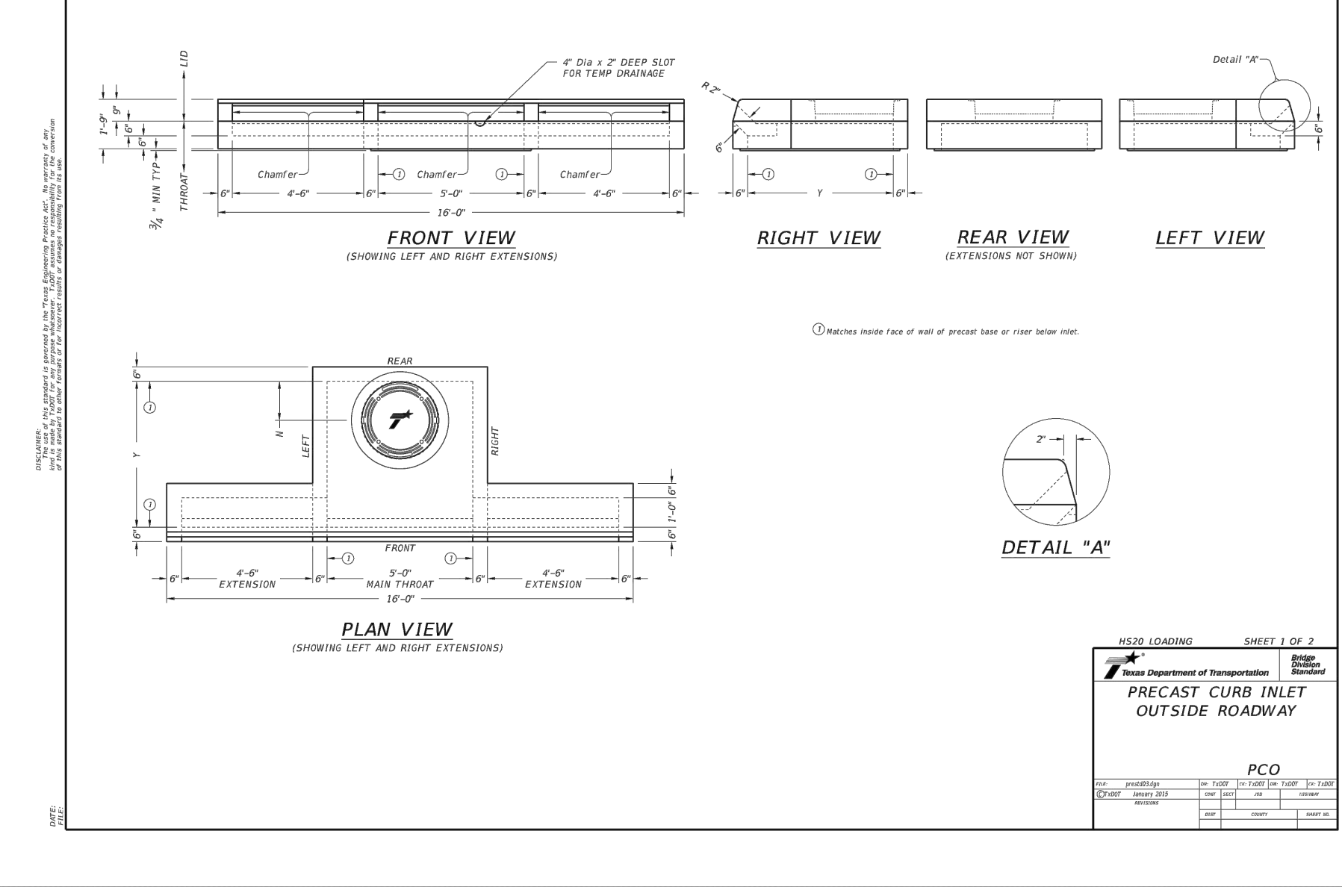
**CITY OF AUSTIN**  
 DEPARTMENT OF PUBLIC WORKS  
 TYPICAL DETAILS FOR CURB INLET  
 STANDARD NO. 508S-3  
 1 OF 4  
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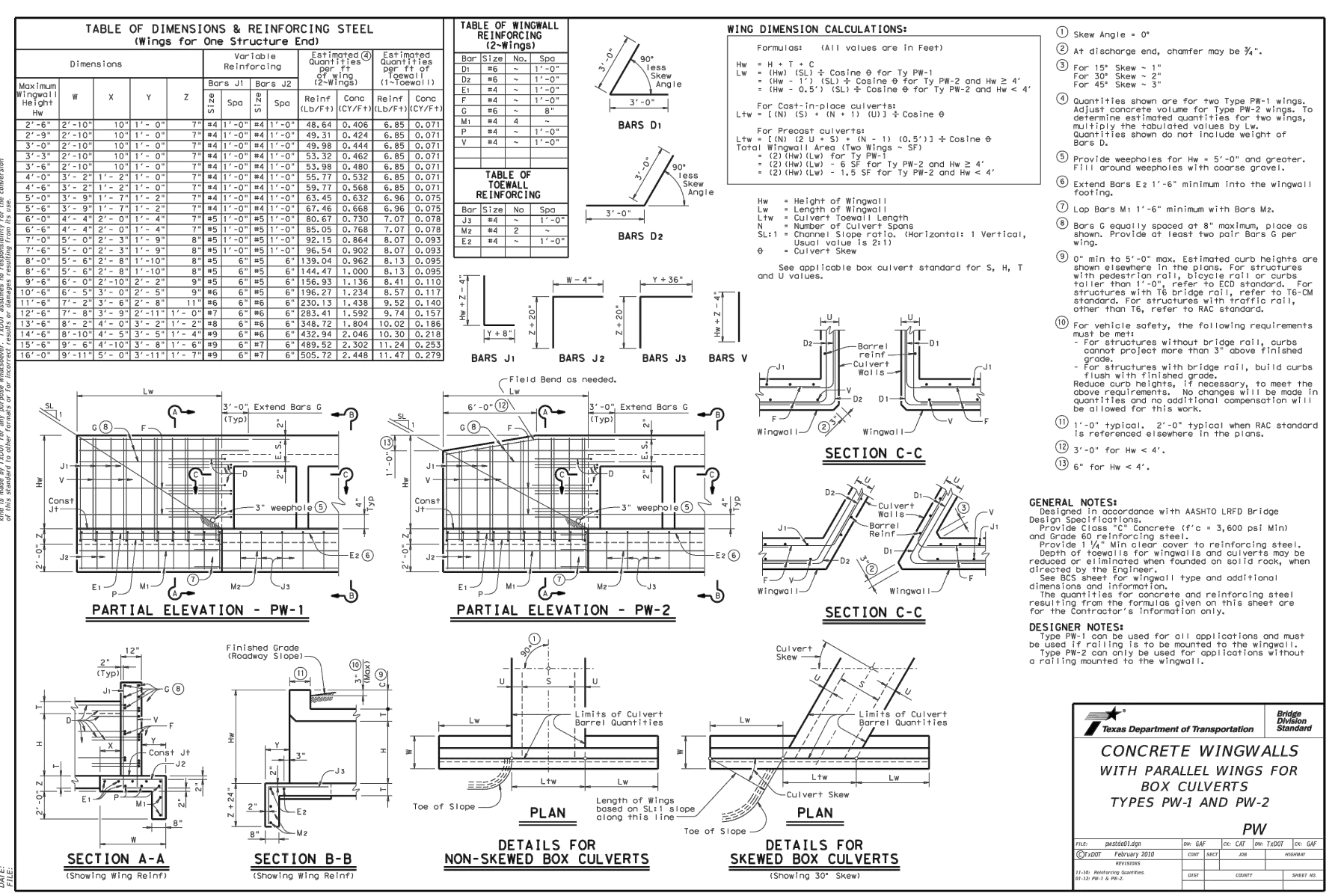
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 DEPARTMENT OF PUBLIC WORKS  
 TYPICAL DETAILS FOR CURB INLET  
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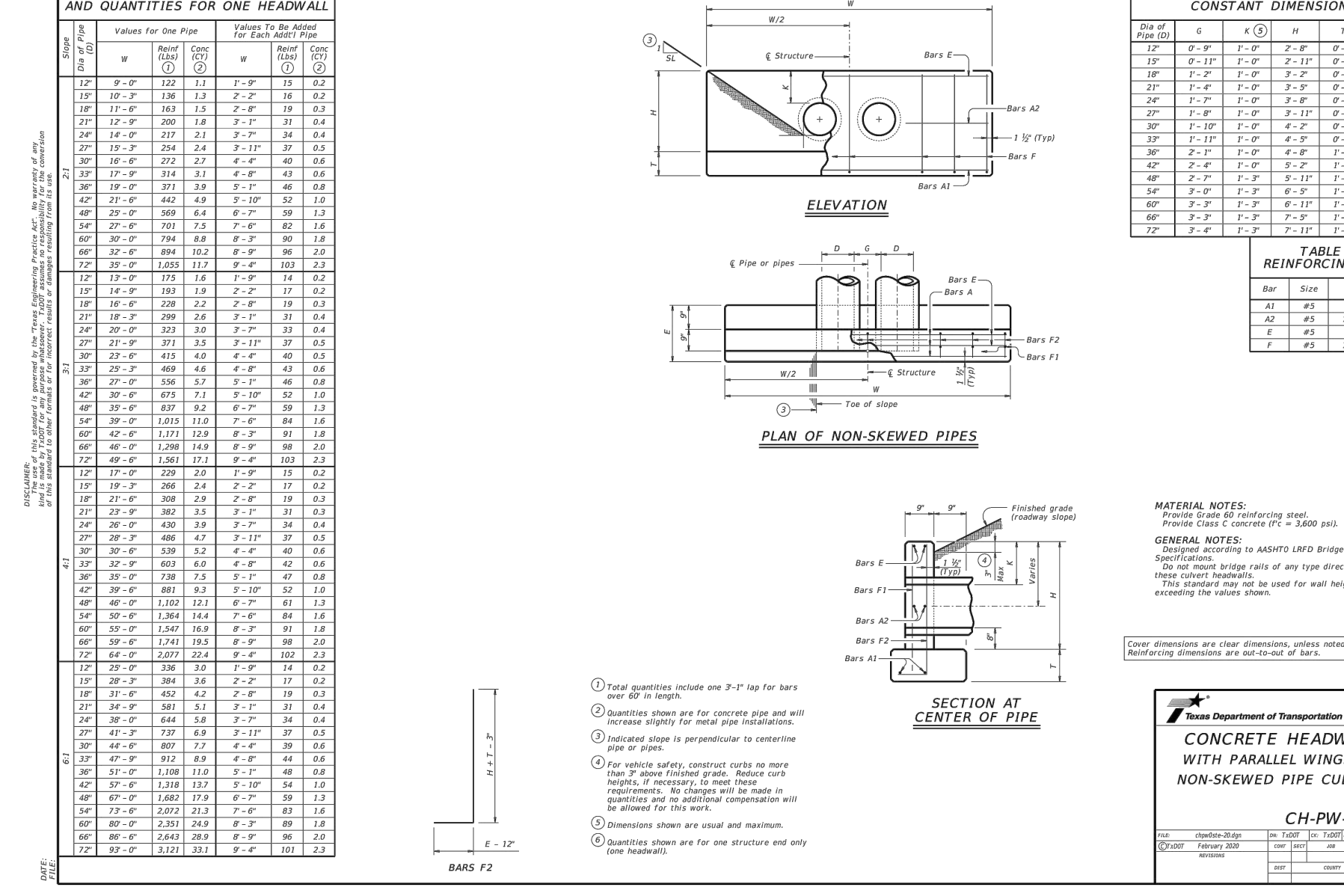
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 DEPARTMENT OF PUBLIC WORKS  
 TYPICAL DETAILS FOR CURB INLET  
 STANDARD NO. 508S-3  
 2 OF 4  
 THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



**CITY OF AUSTIN**  
 DEPARTMENT OF PUBLIC WORKS  
 TYPICAL DETAILS FOR CURB INLET  
 STANDARD NO. 508S-3  
 2 OF 4  
 THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



**CITY OF AUSTIN**  
 DEPARTMENT OF PUBLIC WORKS  
 TYPICAL DETAILS FOR CURB INLET  
 STANDARD NO. 508S-3  
 2 OF 4  
 THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



**CITY OF AUSTIN**  
 DEPARTMENT OF PUBLIC WORKS  
 TYPICAL DETAILS FOR CURB INLET  
 STANDARD NO. 508S-3  
 2 OF 4  
 THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

Know what's below.  
Call before you dig.

**WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.**

**BENCHMARKS**  
 BM #100 - 1/4" NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 897 775 NORTH OF THE SOUTH NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD. ELEV=712.04 (NAVD 88)  
 BM #104 - 1/4" NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 897 775 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES. ELEV=712.04 (NAVD 88)  
 BM #106 - 1/4" NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE. ELEV=712.50 (NAVD 88)

**CONSTRUCTION PLAN APPROVAL SHEET OF 226**  
 FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON: N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE.  
 EXPIRATION DATE: 2021-737 CASE MANAGER: 08/16/2021

**A. KENNEDY**  
 City Engineer, City of Buda  
 RELEASED FOR GENERAL COMPLIANCE. ZONING: N/A  
 Rev. 1: \_\_\_\_\_ Correction 1  
 Rev. 2: \_\_\_\_\_ Correction 2  
 Rev. 3: \_\_\_\_\_ Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

**Kimley-Horn**  
 5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78746-4537  
 WWW.KIMLEY-HORN.COM  
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 TBE Firm No. 928

**STATE OF TEXAS**  
 ALEXANDRO E. GRANADOS RICO  
 LICENSED PROFESSIONAL ENGINEER  
 No. 13003  
 Alex E. Rico, Inc.

**KHA PROJECT**  
 08/783115  
 DATE: JULY 2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WB,DM  
 DRAWN BY: WB,HM,MH,DM  
 CHECKED BY: AEC

**THE COLONY - PHASE 1**  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS  
 DRAINAGE DETAIL (2 OF 4)  
 SHEET NUMBER 220  
 OF 226

NO.	REVISIONS	DATE	BY

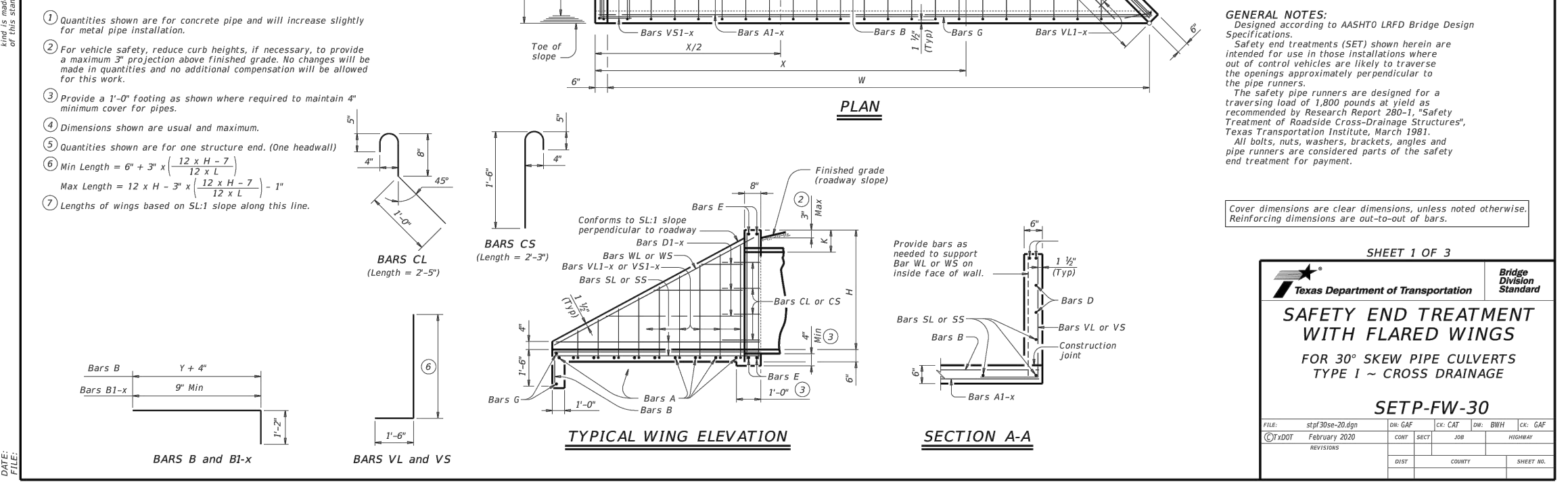




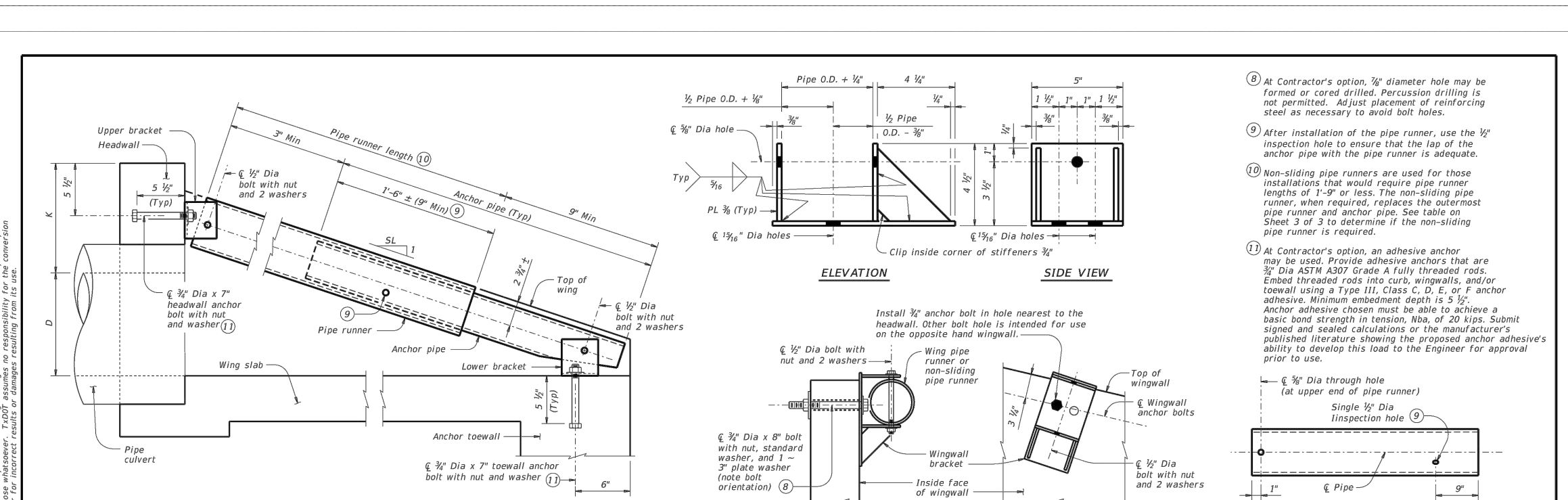
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Span	W	X	Y	L	Reinforcing Steel (sq ft)	Volume of Concrete (cu yd)
10'	4'-0"	1'-0"	1'-0"	10'-0"	10.2	10.2
12'	4'-0"	1'-0"	1'-0"	12'-0"	12.2	12.2
14'	4'-0"	1'-0"	1'-0"	14'-0"	14.2	14.2
16'	4'-0"	1'-0"	1'-0"	16'-0"	16.2	16.2
18'	4'-0"	1'-0"	1'-0"	18'-0"	18.2	18.2
20'	4'-0"	1'-0"	1'-0"	20'-0"	20.2	20.2
22'	4'-0"	1'-0"	1'-0"	22'-0"	22.2	22.2
24'	4'-0"	1'-0"	1'-0"	24'-0"	24.2	24.2
26'	4'-0"	1'-0"	1'-0"	26'-0"	26.2	26.2
28'	4'-0"	1'-0"	1'-0"	28'-0"	28.2	28.2
30'	4'-0"	1'-0"	1'-0"	30'-0"	30.2	30.2

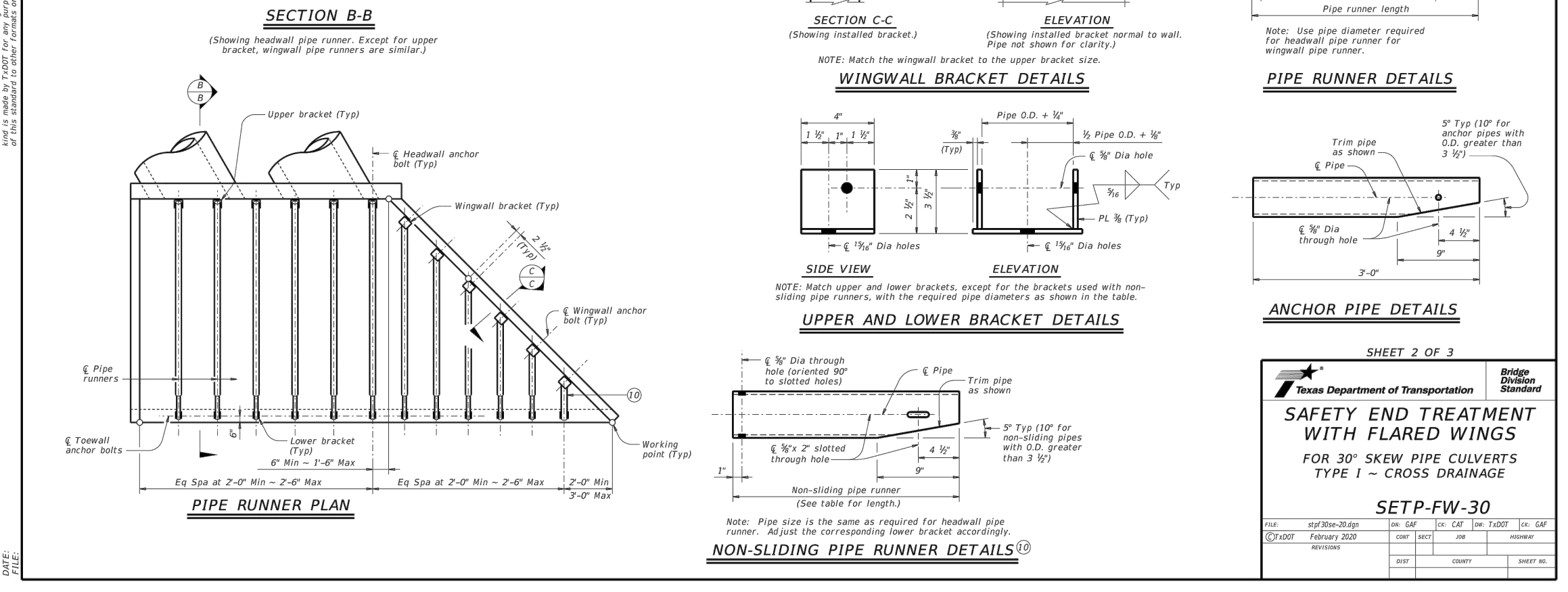
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#4	3'-0"	3	#4	3'-0"	3
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#4	5'-0"	5	#4	5'-0"	5
#4	6'-0"	6	#4	6'-0"	6
#4	7'-0"	7	#4	7'-0"	7
#4	8'-0"	8	#4	8'-0"	8
#4	9'-0"	9	#4	9'-0"	9
#4	10'-0"	10	#4	10'-0"	10



Bar Size	Spa	No.	Bar Size	Spa	No.
#4	1'-0"	1	#4	1'-0"	1
#4	2'-0"	2	#4	2'-0"	2
#4	3'-0"	3	#4	3'-0"	3
#4	4'-0"	4	#4	4'-0"	4
#4	5'-0"	5	#4	5'-0"	5
#4	6'-0"	6	#4	6'-0"	6
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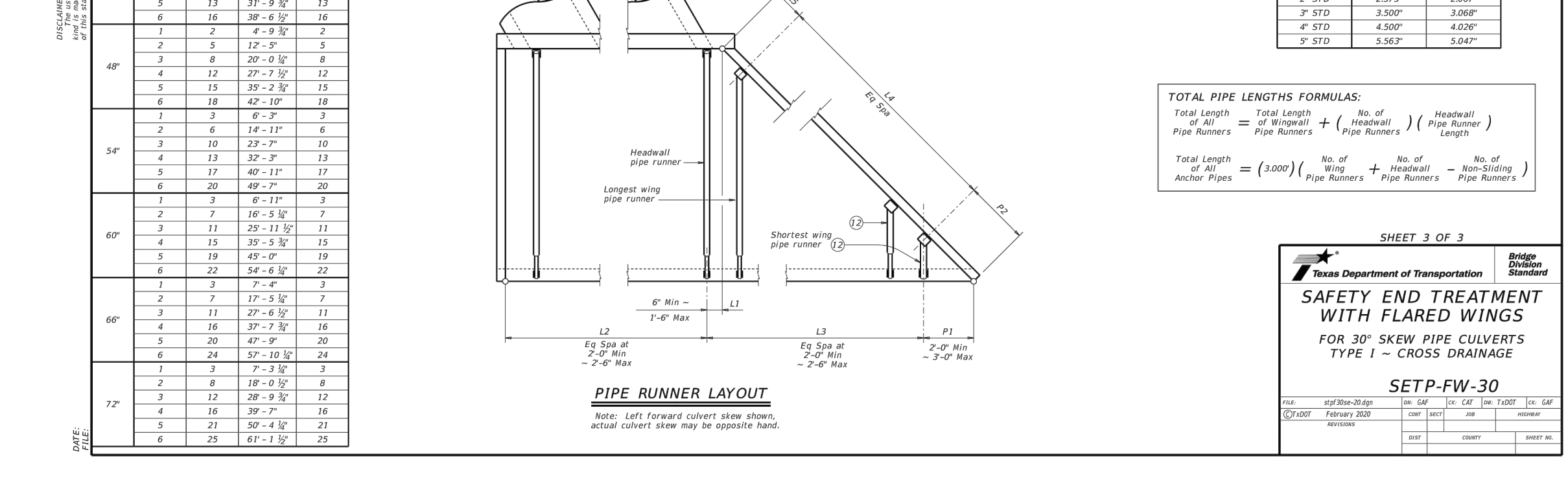


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#4	5'-0"	5	#4	5'-0"	5
#4	6'-0"	6	#4	6'-0"	6
#4	7'-0"	7	#4	7'-0"	7
#4	8'-0"	8	#4	8'-0"	8
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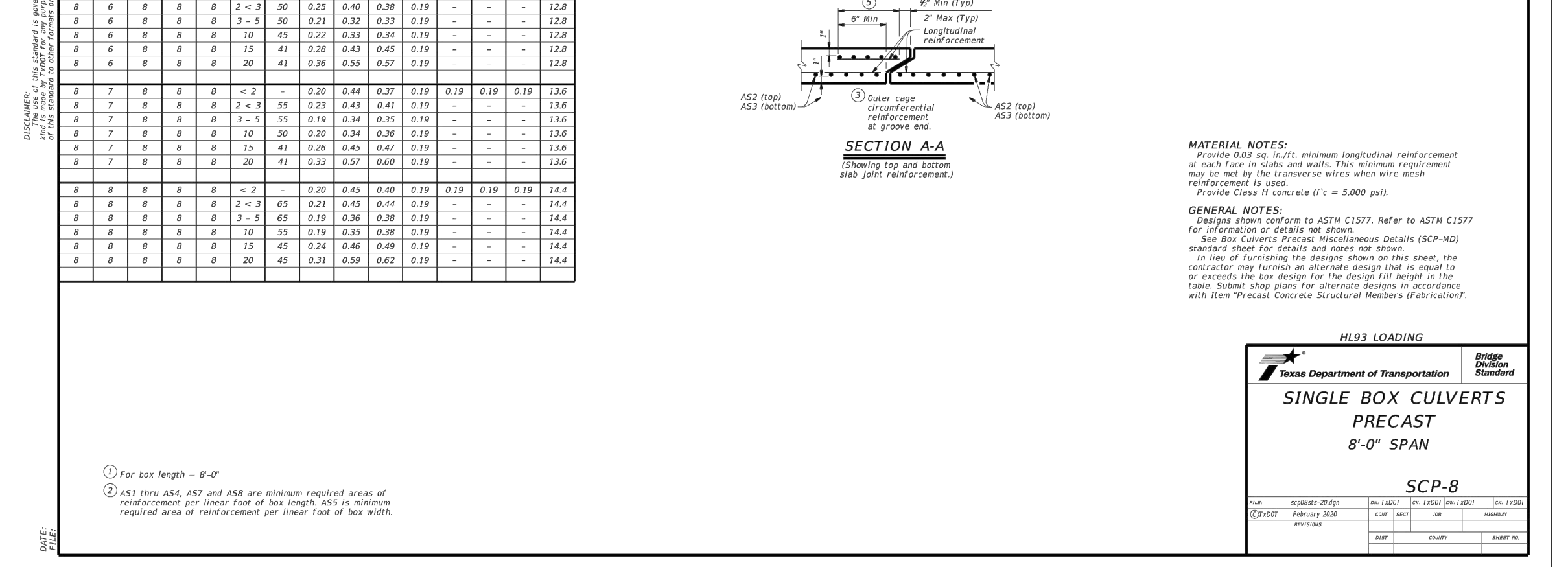


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#4	5'-0"	5	#4	5'-0"	5
#4	6'-0"	6	#4	6'-0"	6
#4	7'-0"	7	#4	7'-0"	7
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#4	10'-0"	10	#4	10'-0"	10

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#4	2'-0"	2	#4	2'-0"	2
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#4	5'-0"	5	#4	5'-0"	5
#4	6'-0"	6	#4	6'-0"	6
#4	7'-0"	7	#4	7'-0"	7
#4	8'-0"	8	#4	8'-0"	8
#4	9'-0"	9	#4	9'-0"	9
#4	10'-0"	10	#4	10'-0"	10



SECTION DIMENSIONS	REINFORCING (sq. ft.)	MINIMUM REQUIRED AREAS OF REINFORCEMENT (sq. ft.)
8' x 8' x 8'	10.2	10.2
10' x 10' x 10'	14.2	14.2
12' x 12' x 12'	18.2	18.2
14' x 14' x 14'	22.2	22.2
16' x 16' x 16'	26.2	26.2
18' x 18' x 18'	30.2	30.2
20' x 20' x 20'	34.2	34.2
22' x 22' x 22'	38.2	38.2
24' x 24' x 24'	42.2	42.2
26' x 26' x 26'	46.2	46.2
28' x 28' x 28'	50.2	50.2
30' x 30' x 30'	54.2	54.2



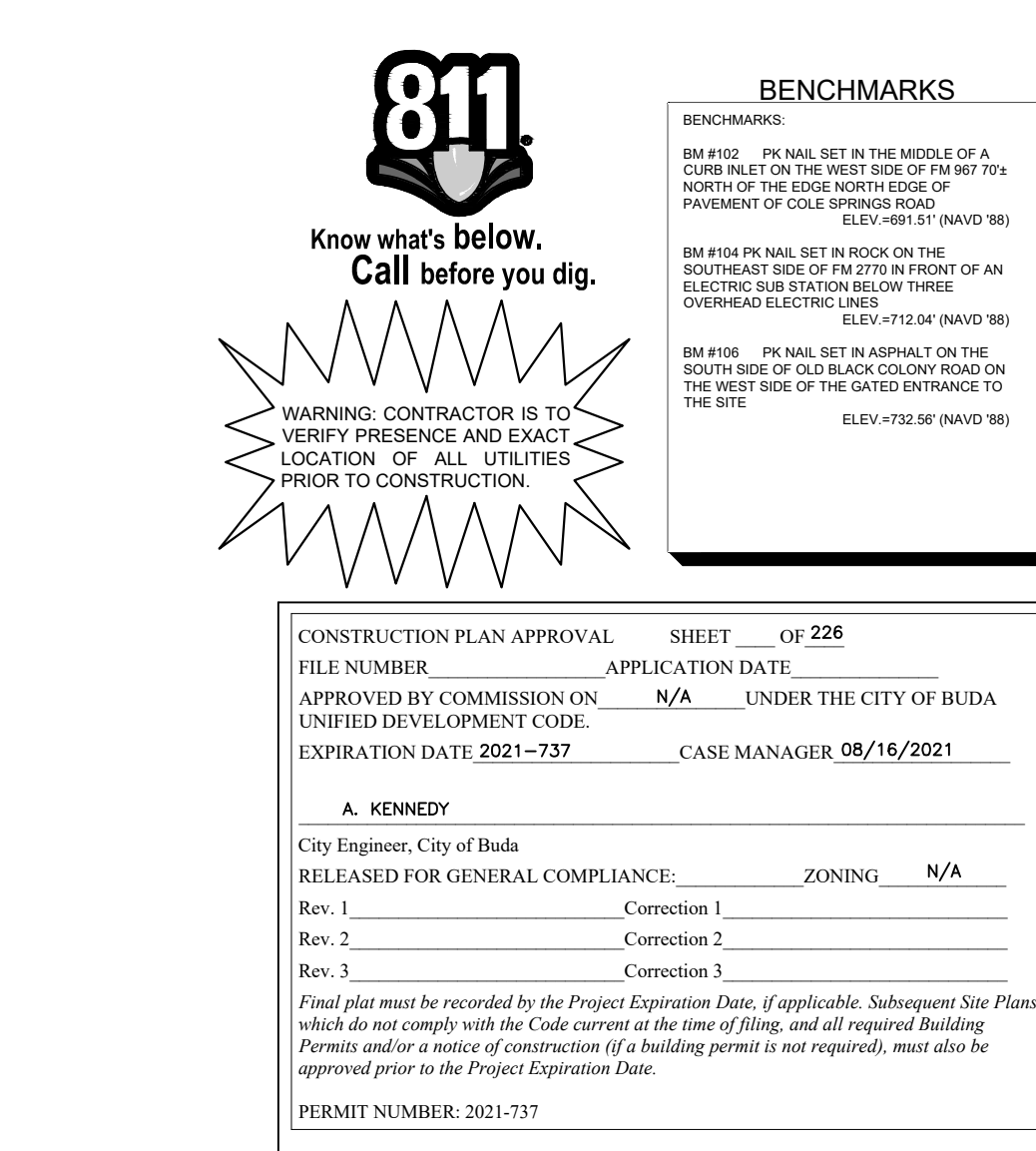
Bar Size	Spa	No.	Bar Size	Spa	No.
#4	1'-0"	1	#4	1'-0"	1
#4	2'-0"	2	#4	2'-0"	2
#4	3'-0"	3	#4	3'-0"	3
#4	4'-0"	4	#4	4'-0"	4
#4	5'-0"	5	#4	5'-0"	5
#4	6'-0"	6	#4	6'-0"	6
#4	7'-0"	7	#4	7'-0"	7
#4	8'-0"	8	#4	8'-0"	8
#4	9'-0"	9	#4	9'-0"	9
#4	10'-0"	10	#4	10'-0"	10



Bar Size	Spa	No.	Bar Size	Spa	No.
#4	1'-0"	1	#4	1'-0"	1
#4	2'-0"	2	#4	2'-0"	2
#4	3'-0"	3	#4	3'-0"	3
#4	4'-0"	4	#4	4'-0"	4
#4	5'-0"	5	#4	5'-0"	5
#4	6'-0"	6	#4	6'-0"	6
#4	7'-0"	7	#4	7'-0"	7
#4	8'-0"	8	#4	8'-0"	8
#4	9'-0"	9	#4	9'-0"	9
#4	10'-0"	10	#4	10'-0"	10



Bar Size	Spa	No.	Bar Size	Spa	No.
#4	1'-0"	1	#4	1'-0"	1
#4	2'-0"	2	#4	2'-0"	2
#4	3'-0"	3	#4	3'-0"	3
#4	4'-0"	4	#4	4'-0"	4
#4	5'-0"	5	#4	5'-0"	5
#4	6'-0"	6	#4	6'-0"	6
#4	7'-0"	7	#4	7'-0"	7
#4	8'-0"	8	#4	8'-0"	8
#4	9'-0"	9	#4	9'-0"	9
#4	10'-0"	10	#4	10'-0"	10



Bar Size	Spa	No.	Bar Size	Spa	No.
#4	1'-0"	1	#4	1'-0"	1
#4	2'-0"	2	#4	2'-0"	2
#4	3'-0"	3	#4	3'-0"	3
#4	4'-0"	4	#4	4'-0"	4
#4	5'-0"	5	#4	5'-0"	5
#4	6'-0"	6	#4	6'-0"	6
#4	7'-0"	7	#4	7'-0"	7
#4	8'-0"	8	#4	8'-0"	8
#4	9'-0"	9	#4	9'-0"	9
#4	10'-0"	10	#4	10'-0"	10

**Kimley-Horn**  
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AUSTIN, TX 78746  
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TBE Firm

**THE COLONY - PHASE 1**  
CITY OF BUDA  
HAYS COUNTY, TEXAS

**811**  
Know what's below.  
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**BENCHMARKS**  
BM #103 PK NAIL SET IN THE MIDDLE OF A CURB IN FT ON THE WEST SIDE OF FM 897 79' NORTH OF THE EDGE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD ELEV=112.04 (NAVD 88)  
BM #104 PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2710 FRONT OF AN ELECTRIC SUBSTATION BELOW THREE OVERHEAD ELECTRIC LINES ELEV=112.04 (NAVD 88)  
BM #106 PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF COLE SPRINGS ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE ELEV=112.50 (NAVD 88)

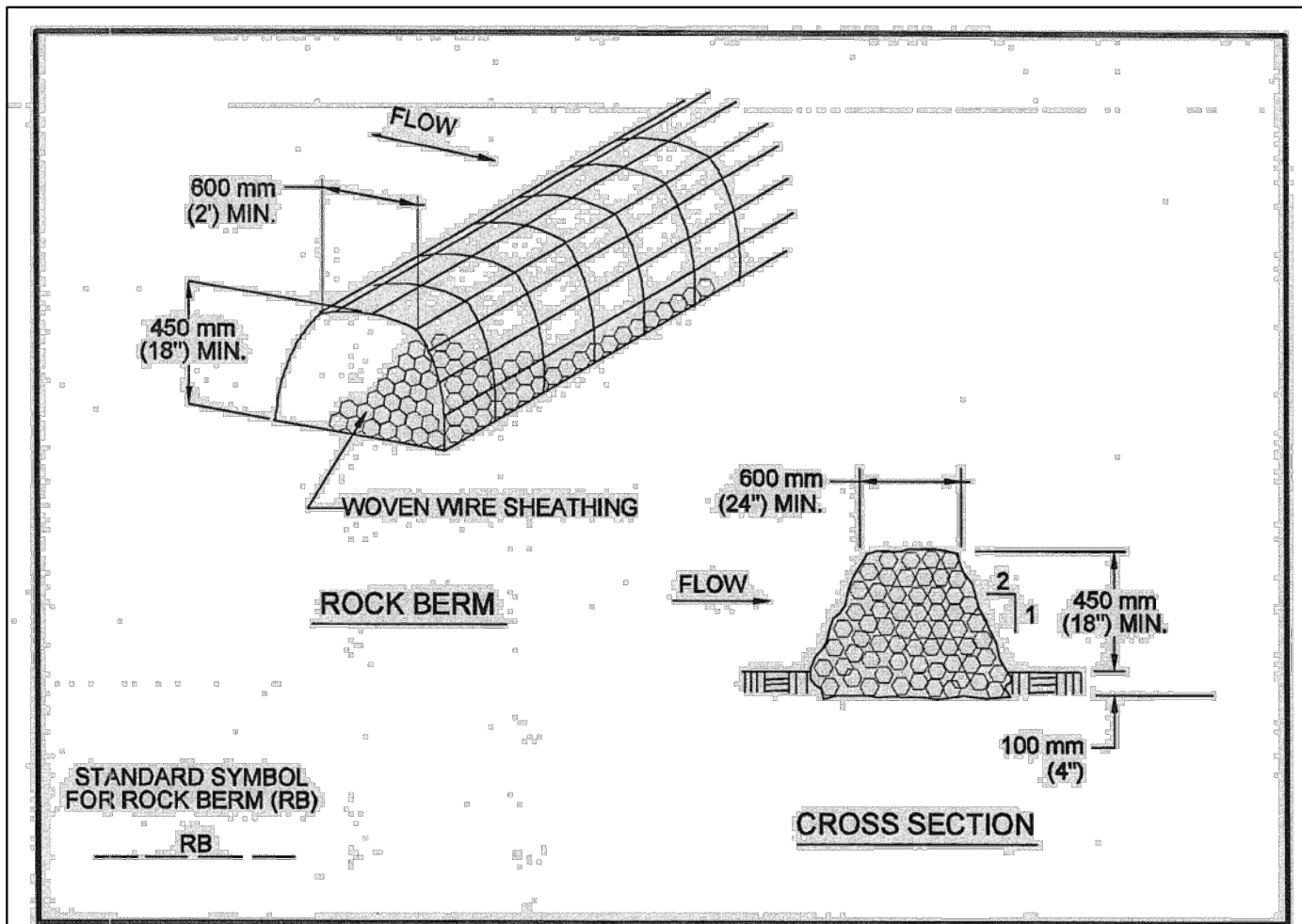
**CONSTRUCTION PLAN APPROVAL SHEET OF 226**  
FILE NUMBER APPLICATION DATE  
APPROVED BY COMMISSION N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE  
EXPIRATION DATE 2021-737 CASE MANAGER 08/16/2021

**A. KENNEDY**  
City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE, ZONING N/A  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3  
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

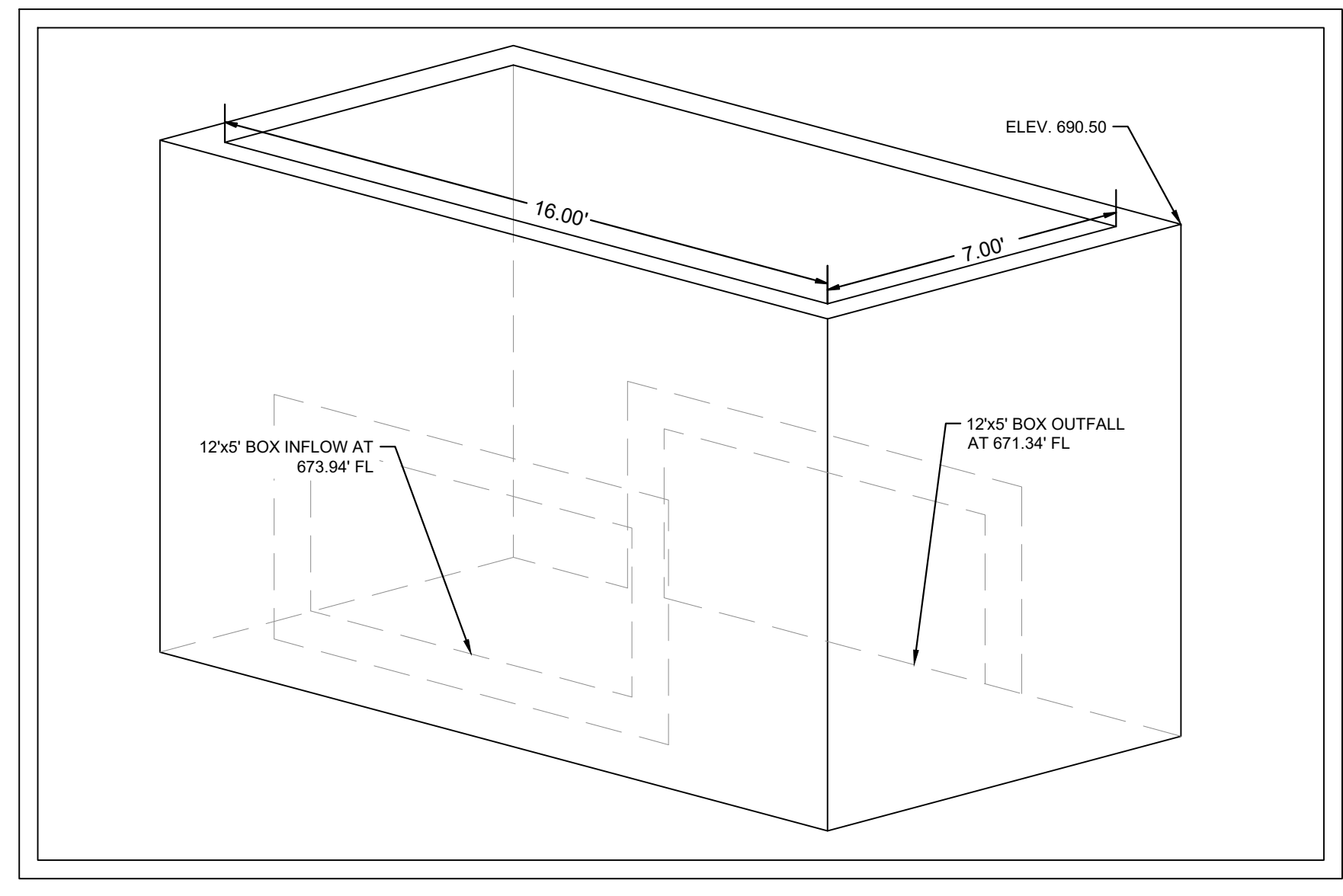
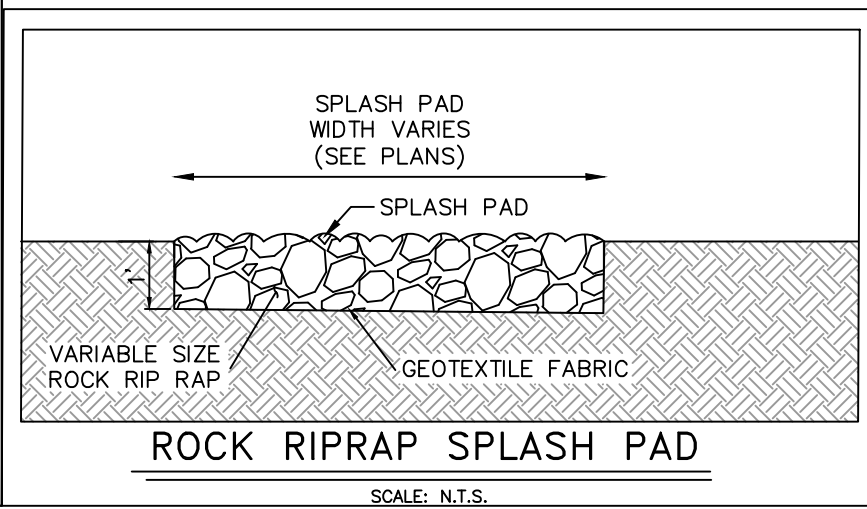
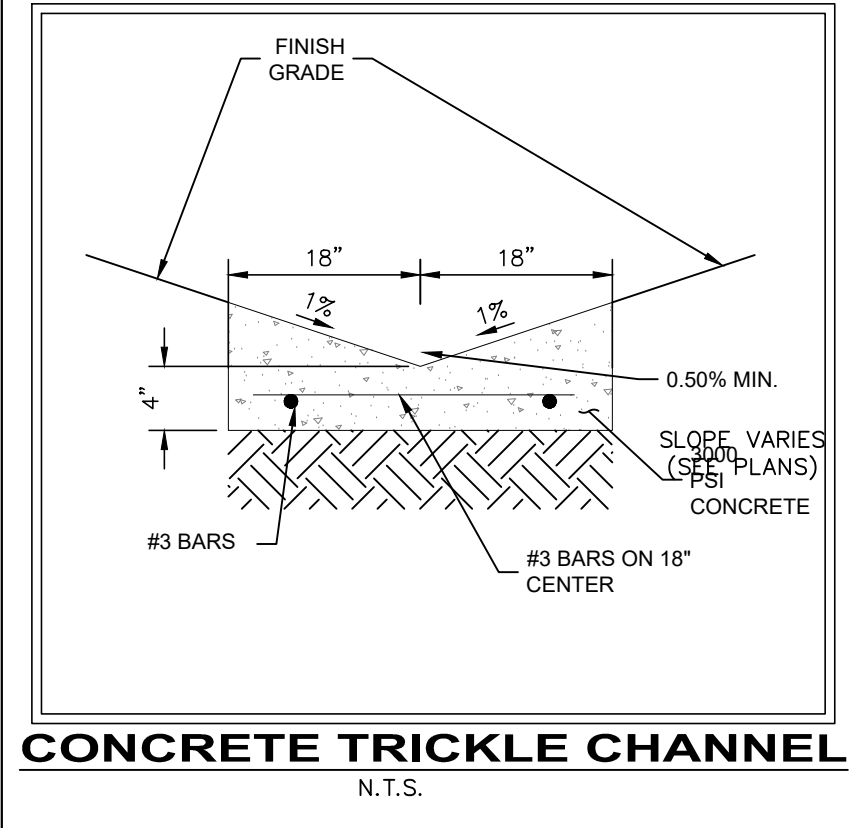
**SHEET NUMBER 222 OF 226**

Plotted By: Lee, David Date: July 17, 2023 09:14:04am File Path: K:\SAU\_Civil\067783115\_Meritage\_Buda\_Assemblies\CADD\PlanSheets\C-Pond\_Plan.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any part of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



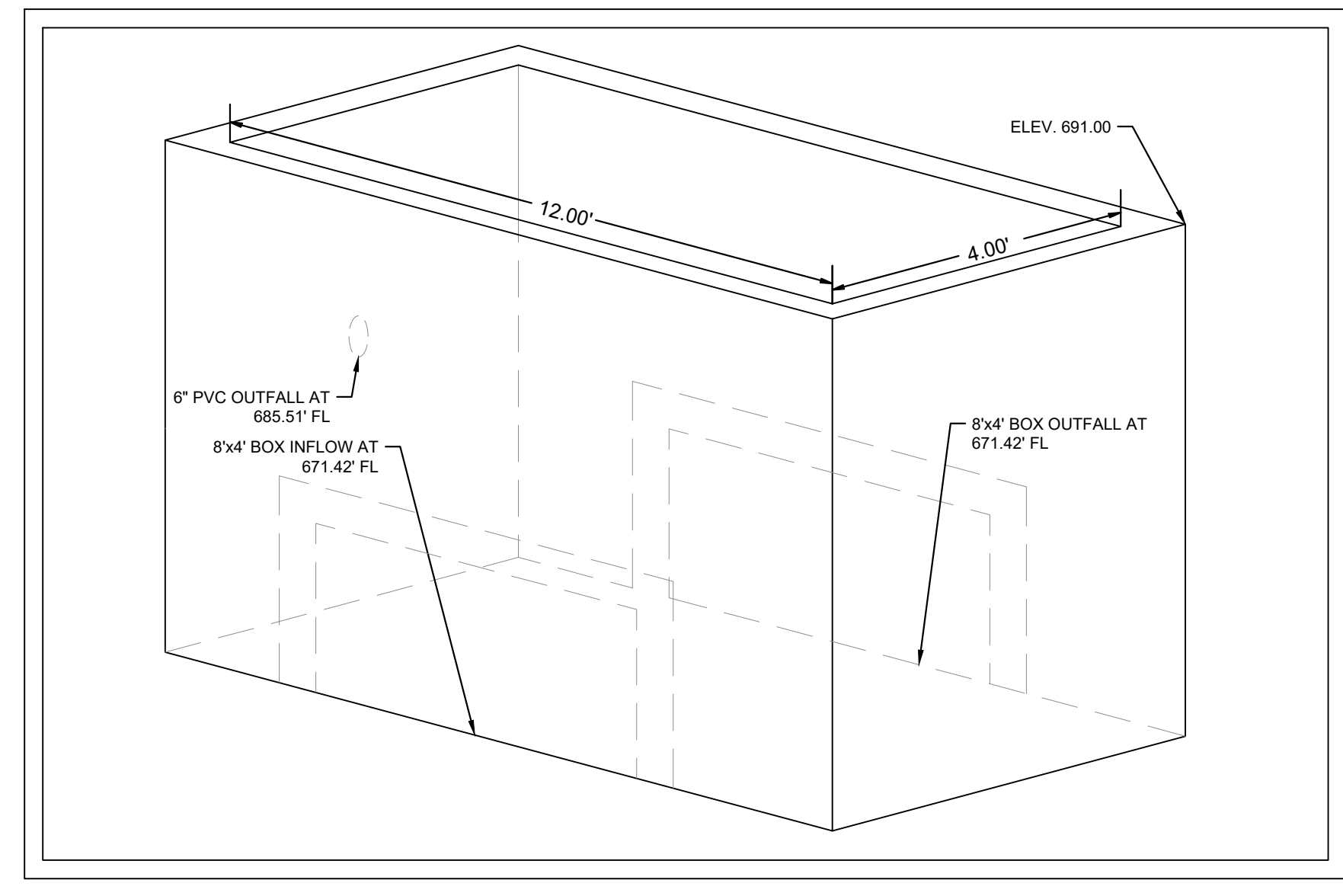
- NOTES:**
1. USE ONLY OPEN GRADED ROCK 75 to 125 mm (3 to 5") DIAMETER FOR ALL CONDITIONS.
  2. THE ROCK BERM SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM 25 mm (1") OPENING AND MINIMUM WIRE DIAMETER OF 12.9 mm (20 GAUGE).
  3. THE ROCK BERM SHALL BE INSPECTED DAILY OR AFTER EACH RAIN, AND THE STONE AND/OR FABRIC CORE-WOVEN SHEATHING SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED, DUE TO SEDIMENT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
  4. IF SEDIMENT REACHES A DEPTH EQUAL TO ONE-THIRD THE HEIGHT OF THE BERM OR 150 mm (6"), WHICHEVER IS LESS, THE SEDIMENT SHALL BE REMOVED AND DISPOSED OF ON AN APPROVED SITE AND IN A MANNER THAT WILL NOT CREATE A SEDIMENT PROBLEM.
  5. WHEN THE SITE IS COMPLETELY STABILIZED, THE BERM AND ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.

<b>CITY OF AUSTIN</b> WATERSHED PROTECTION DEPARTMENT 	<b>ROCK BERM</b> STANDARD NO. <b>639S-1</b> 8/24/2010 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
		ADOPTED



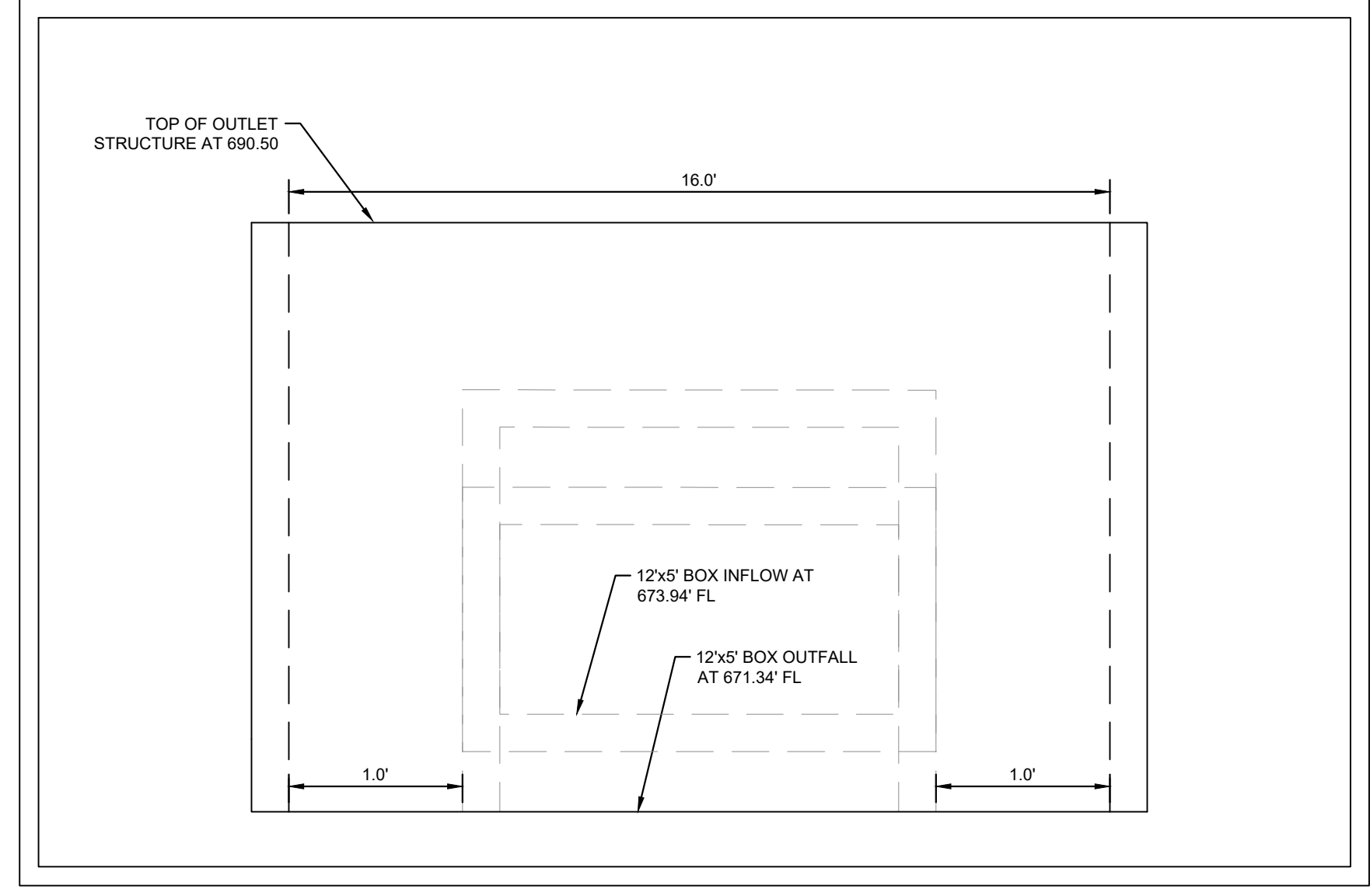
**DETENTION POND 2 OUTLET STRUCTURE**  
N.T.S.

**NOTE:**  
-CONTRACTOR TO PROVIDE STRUCTURAL WALL DESIGN BY STRUCTURAL ENGINEER. PRIOR TO CONSTRUCTION OF THIS STRUCTURE, SHOP DRAWING MUST BE PROVIDED TO CIVIL ENGINEER FOR REVIEW AND APPROVAL.

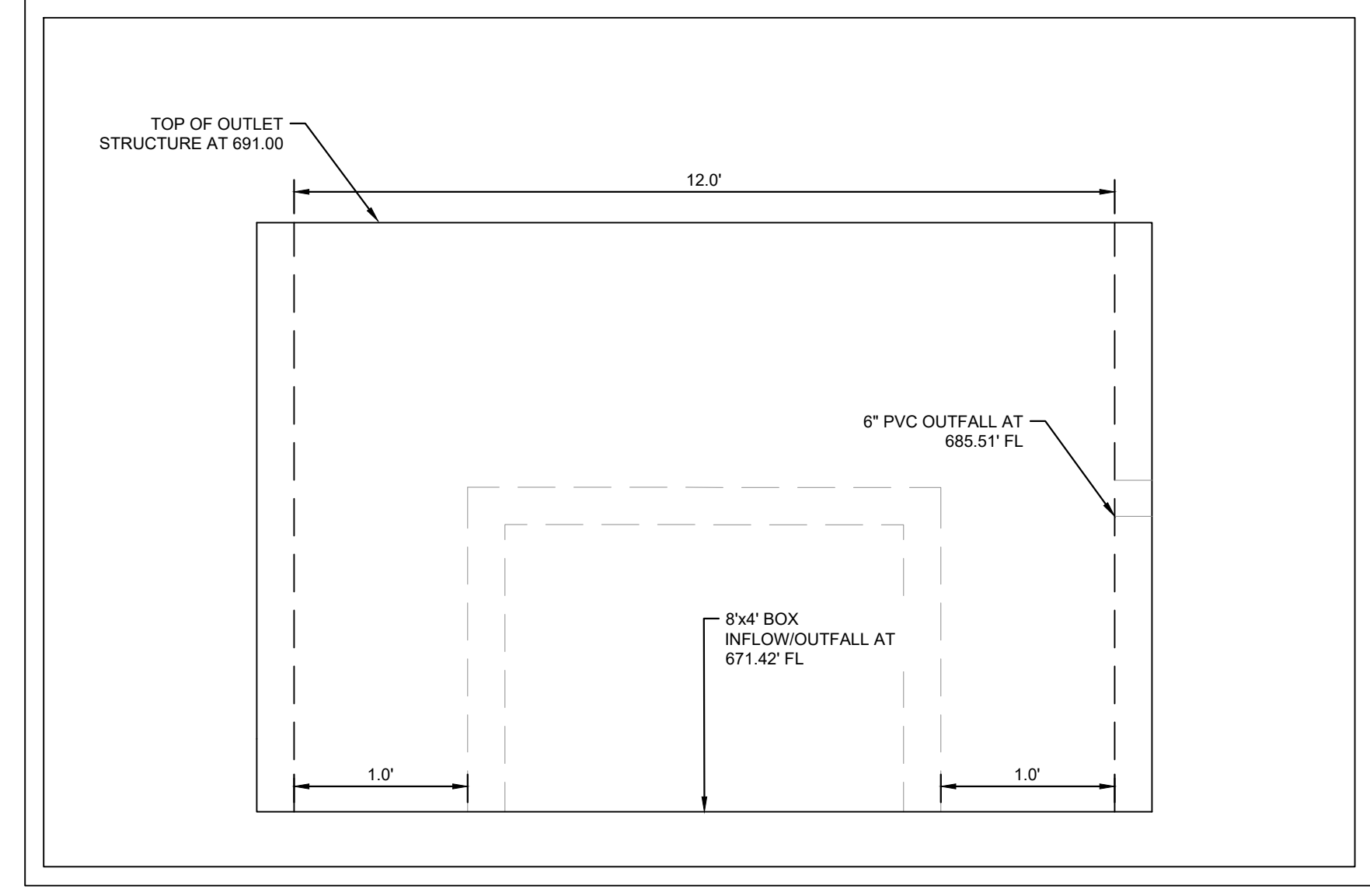


**DETENTION POND 3 OUTLET STRUCTURE**  
N.T.S.

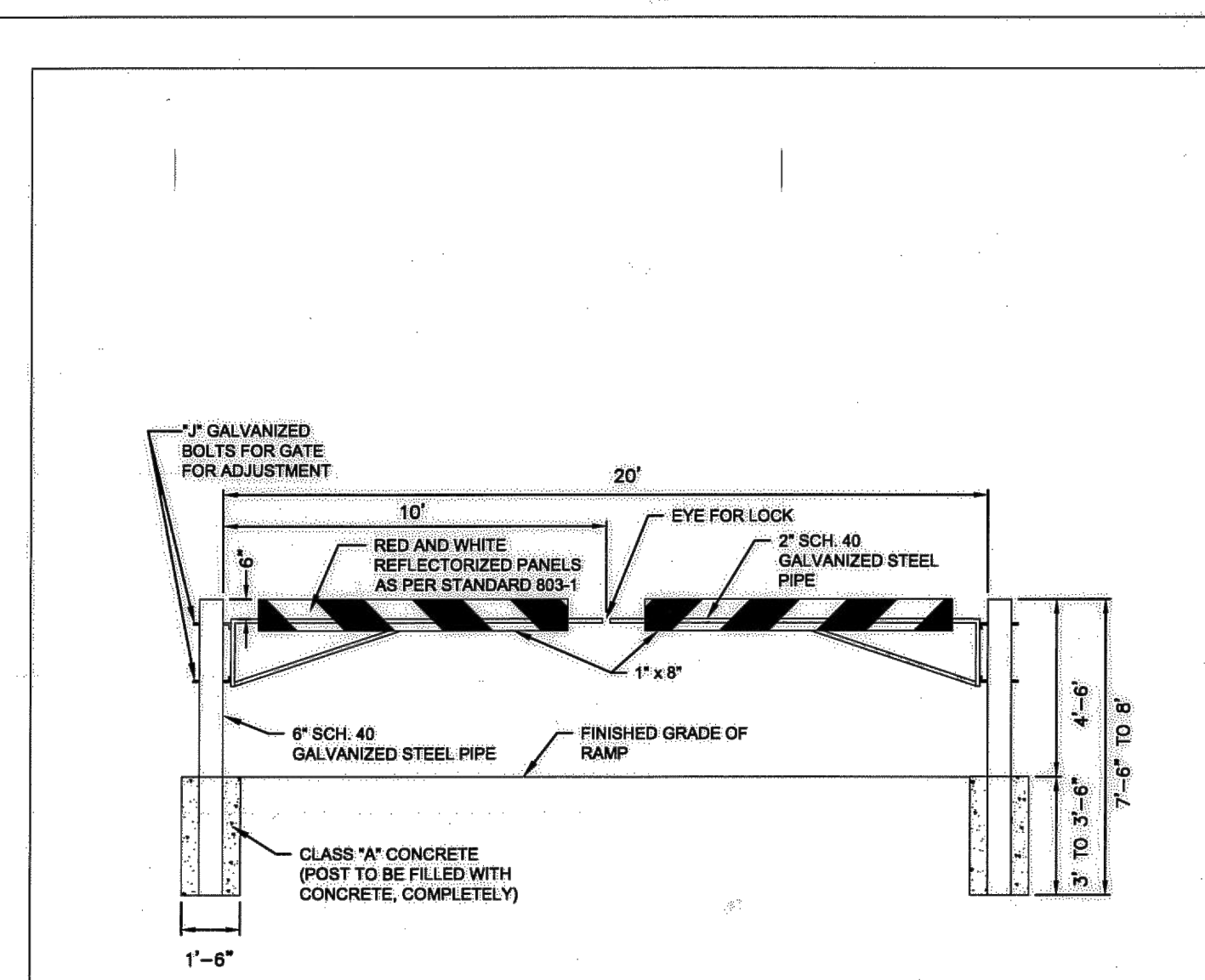
**NOTE:**  
-CONTRACTOR TO PROVIDE STRUCTURAL WALL DESIGN BY STRUCTURAL ENGINEER. PRIOR TO CONSTRUCTION OF THIS STRUCTURE, SHOP DRAWING MUST BE PROVIDED TO CIVIL ENGINEER FOR REVIEW AND APPROVAL.



**DETENTION POND 2 OUTLET STRUCTURE**  
N.T.S.

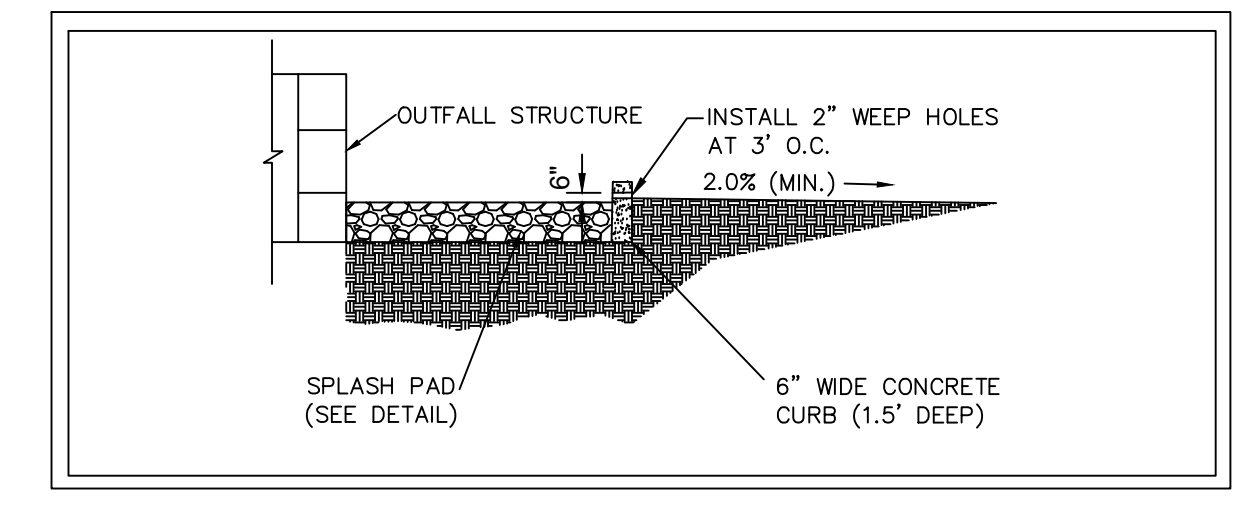


**DETENTION POND 3 OUTLET STRUCTURE**  
N.T.S.



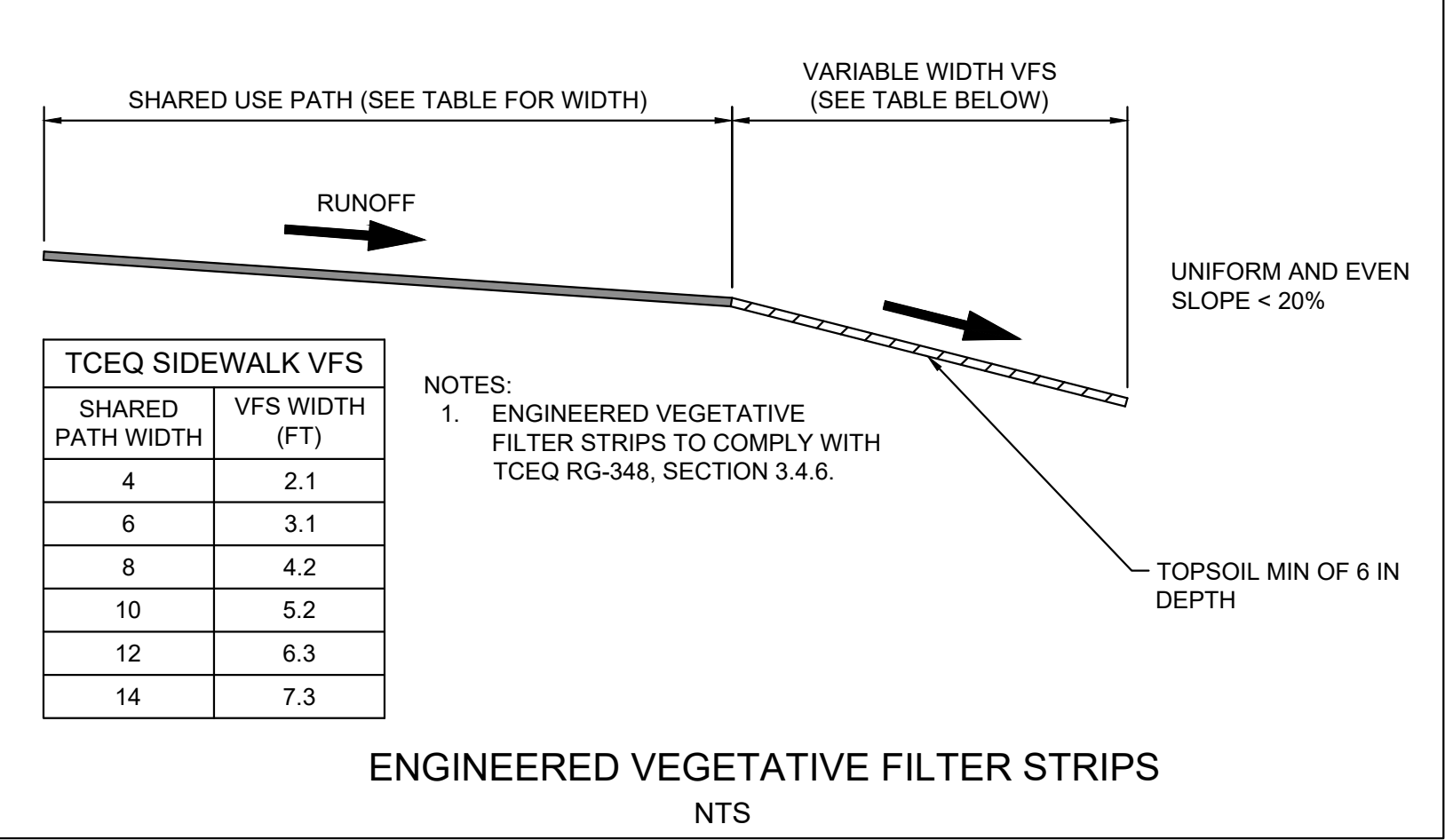
**NOTE:**  
RAMP BARRICADE SUBSIDIARY TO ITEM 403-G CONCRETE STRUCTURES

<b>CITY OF AUSTIN</b> DEPARTMENT OF PUBLIC WORKS 	<b>POND PIPE GATE AT RAMP DETAIL</b> STANDARD NO. <b>662S-1</b> 1/4/2010 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
		ADOPTED



**WQ POND LEVEL SPREADER DETAIL (TYP)**  
N.T.S.

**NOTE:**  
-CONTRACTOR TO REFERENCE RETAINING WALL PLANS FOR STRUCTURAL DETAILS. DETAILS PROVIDED FOR REFERENCE ONLY.



- NOTES:**
1. ENGINEERED VEGETATIVE FILTER STRIPS TO COMPLY WITH TCEQ RG-348, SECTION 3.4.6.

**Know what's below. Call before you dig.**

**WARNING:** CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

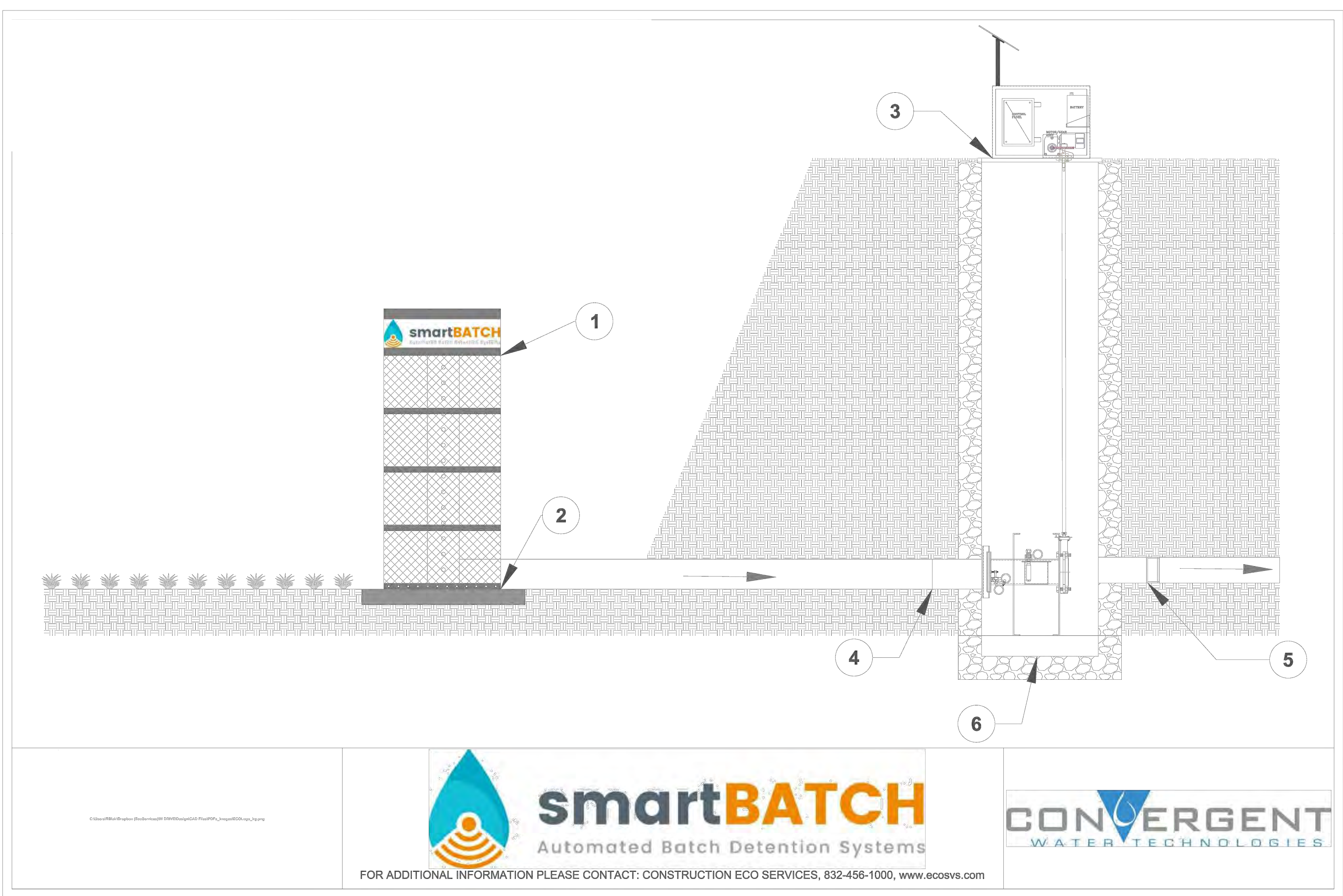
**BENCHMARKS**

BM #102	PK NAIL SET IN THE MIDDLE OF A CURB INLET ON THE WEST SIDE OF FM 967 70+ NORTH OF THE SIDE NORTH SIDE OF PAVEMENT OF COLE SPRINGS ROAD	ELEV: 691.51 (NAVD 88)
BM #104	PK NAIL SET IN ROCK ON THE SOUTHWEST SIDE OF FM 2770 IN FRONT OF AN ELECTRIC SUB STATION BELOW THREE OVERHEAD ELECTRIC LINES	ELEV: 671.04 (NAVD 88)
BM #106	PK NAIL SET IN ASPHALT ON THE SOUTH SIDE OF OLD BLACK COLONY ROAD ON THE WEST SIDE OF THE GATED ENTRANCE TO THE SITE	ELEV: 732.58 (NAVD 88)

CONSTRUCTION PLAN APPROVAL SHEET OF 226	FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON N/A	UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE	EXPIRATION DATE 2021-737
CASE MANAGER 08/16/2021		
A. KENNEDY		
City Engineer, City of Buda		
RELEASED FOR GENERAL COMPLIANCE: ZONING N/A		
Rev. 1	Correction 1	
Rev. 2	Correction 2	
Rev. 3	Correction 3	
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.		
PERMIT NUMBER: 2021-737		

<p>5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100 AUSTIN, TX 78735 PHONE: 512-646-2237 © 2016 KIMLEY-HORN AND ASSOCIATES, INC. TBPE Firm No. 928</p>	NO. _____ REVISIONS _____ DATE _____ BY _____
<p>ALEJANDRO E. GRANADOS, P.E. 130064 PROFESSIONAL ENGINEER</p>	KHA PROJECT 067783115 DATE JULY 2023 SCALE: AS SHOWN DESIGNED BY: WB,DM DRAWN BY: WB,MM,MH,DM CHECKED BY: AEG
<b>WATER QUALITY DETAILS</b>	
<b>THE COLONY - PHASE 1</b> CITY OF BUDA HAYS COUNTY, TEXAS	
SHEET NUMBER <b>223</b> OF 226	

Plotted by: Lee, David Date: July 17, 2023 09:14:09am File Path: K:\SAU\_Civil\067783115 Meritage Buda Assemblage\Cad\PlanSheets\C-Pond Plan.dwg  
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FOR ADDITIONAL INFORMATION PLEASE CONTACT: CONSTRUCTION ECO SERVICES, 832-456-1000, www.ecosvs.com

## smartPOND Valve Specification

### Continuously Monitored Automated Stormwater System with Valve

**1. Introduction**  
The following specifications describe the components, general functions, and applications of a smartPOND Continuously Monitored Automated Stormwater System (CMAS) with Valve. The system functions as an electronically controlled, solar powered stormwater management device, providing precision management capabilities and real-time data. Using sensors, solar power, an electronic actuator, and an internet-based control interface, the smartPOND valve connects to a specialized perforated riser inside the stormwater impoundment to enable managers to precisely control water retention and detention automatically or in real time.

**2. smartPOND Valve Applications in Stormwater Management**  
The smartPOND valve is a device for active stormwater management. As opposed to passive devices such as floating skimmers or stationary weirs, active water management dramatically increases the efficiency and effectiveness of a detention or retention pond. When a passive stormwater detention system allows water to leave immediately upon collection, the smartPOND valve can detain newly caught stormwater and allow it to settle for a programmed period before automatically dewatering the impoundment completely. For stormwater retention systems, it is possible to manage the treatment volume while maintaining a specified amount of capacity for flood storage or other use.

**2.1 Pre-Programmed Control**  
Many functions can be pre-programmed without any human interactions, leaving the valve to automatically receive commands based on environmental conditions and respond as programmed.

**2.1.1 Batch Detection Function for Stormwater Quality**  
The smartPOND valve meets TSS2 Batch Detection specifications for a 95% Total Suspended Solid removal rate. The function proceeds as follows. With the valve in the closed position and the impoundment dry, the system will stand by and wait for a water collection event. At the first sign of water collection, the unit will begin a 12-hour detention timer. At the end of the 12-hour detention period, the valve will open and release all of the water that has been collected. After the water level drops to 0", the valve will remain open for an additional 2 hours to facilitate final drainage, then return to the closed position to stand by for the next water collection event.

**2.1.2 Predevelopment Hydrograph Function for Flood Control**  
The smartPOND valve predevelopment hydrograph function takes in site specific variables to determine a maximum release rate based on predevelopment conditions. The valve releases water depth in the pond every 25 minutes to determine the maximum release rate desirable to ensure the impoundment neither overtops, nor exceeds its maximum release based on predevelopment flows.

**2.1.3 Hazard Function for Spill Containment**  
smartPOND when specified for Hazmat spill containment can be equipped with pollutant specific sensors that when triggered automatically close the valve until the command is overridden.

**2.2 Real Time Monitoring**  
smartPOND comes standard with telemetry available on each unit and access to the user app available at no additional cost for 1 year. This option allows for real time monitoring of the unit and the data that comes along with it. From the real time monitoring app, a user can:  
 • Control the valve, either open or close.  
 • See the water level.  
 • See if trash or debris is surrounding the inlet.  
 • Get maintenance alerts (Low Battery, Valve Failure, Etc.)  
 • Maintain specified water level!

**3. Components**  
The smartPOND valve may be implemented either above or below ground, and is comprised of the following components:

**3.1 Hardware and Configuration**  
The standard smartPOND valve features a cast 6" valve. An extended spool and mounting flange on each side of the valve allows it to be attached to the outfall pipe in various configurations. The valve is actuated with an electric motor connected by an extendable drive shaft for underground applications.  
 For above ground applications, the entire system including all necessary components for operation assemble into one kit and are housed under a single lockable steel enclosure with the solar panel mounted on top. In this configuration, the unit can be installed on a stable, level pad and be bolted onto the back of the outfall pipe with six 1/2" bolts and then switched to the "DN" position.  
 For underground applications, the valve is installed in a wall or concrete enclosure as needed. An extended drive shaft connects between the underground valve and the rest of the components, including the motor and all electronics, which are housed in the lockable steel enclosure directly above ground.

**3.2 Electronics and Software Specifications**  
 • **Main Board** - The main board of the smartPOND valve's electronics box serves as the main connection terminal for all sensors and additional control boards.  
 • **Motor Controller Board** - The motor controller board of the smartPOND valve regulates the connection between the battery and the motor and receives inputs from the main board to control motor direction. It also powers the main board.  
 • **Motor** - The smartPOND valve's motor operates on 12 volts and has two wires connecting to the motor controller board. It is mounted on a bracket and connects to the directly to the valve with a drive shaft.  
 • **Battery** - The smartPOND valve is powered by a 12-volt, 30 amp/hour gel battery. Two terminals at the top connect the power wires to the motor controller board and the solar charge controller to the battery.  
 • **Solar Panel** - The solar panel of the smartPOND valve is 12-volts with 15 watt charging capability. It connects to a solar charge controller which regulates the voltage and current before connecting with two wires to the positive and negative battery terminals.  
 • **Sensors**  
 • **Pressure Transducer** - The water level sensor is a pressure transducer sensor capable of staying submerged in water indefinitely. It mounts on the side of the smartPOND valve's center spool.  
 • **Water position sensor** - A proximity sensor senses the position of the valve's drive shaft in order to control and determine the position of the valve.  
 • **(Optional)**  
 • **Cellular data modem** - A cellular data modem will be required for real time control and alert options as well as predevelopment hydrograph functions.  
 • **Hydrocarbon Sensor** - This optional sensor may be fitted to the smartPOND valve to perform specific functions based on the presence of hydrocarbon contamination.

**4. Real Time Monitoring Interface (Optional)**  
If the real time monitoring option is selected, the smartPOND valve may be monitored in real time through the Autoflow app. Use and historical data from each unit may be viewed in the app, as well as alerts (detailed in section 5).

**4.1 Accessing unit data**  
To access live and historical data in the Autoflow app, select the unit of interest on the home page by clicking on the unit's name. From there, select the "Data" button, and the data page for that unit will be displayed.

**4.2 Sending a command**  
To send a remote-control command to the SmartPOND valve, click the "Send New Command" button on the unit's home page. The unit's current position will be displayed at the top. To change the unit's position, simply select "OPEN" or "CLOSE". Within 1-3 minutes, the unit will move to the new position and update its status in the app.

**5. Alerts**  
The smartPOND valve will indicate the following alerts by illuminating an exteriorly visible red LED light  
 • Low battery  
 • Leak of function  
 • Valve malfunction  
 • Hydrocarbon contamination (optional)  
 If the telemetry option is selected, the unit will upload the above alerts to the Autoflow app and notify the operator via text or email.

**6. In Case of Failure**  
To bypass the smartPOND valve's normal automated functions and control the valve position in case of failure:  
**6.1 Removal of motor and manual direct control**  
In case of a total electronic or motor failure, the motor and motor bracket can be uninstalled together by removing the two bolts at the bottom of the motor bracket. With the motor and motor bracket removed, the output shaft on the butterfly valve can be manually controlled with a socket wrench, or any other tool that can grip the output shaft.

**7. Additional Components List**  
**7.1 Perforated Riser**  
The smartPOND valve system includes a stackable perforated steel riser which installs on the inlet side of the outfall pipe within the impoundment area. The perforated riser features an 8-inch steel perforated square tube within a 24" round steel mesh tube. At the bottom of the 8-inch square tube, there is a female threaded fitting for a six inch PVC outfall pipe to connect. The steel tube is perforated with 3-inch holes every 4" on center to the height of the impoundment.  
**7.2 Trash Cage**  
The trash cage attaches to the perforated riser with a coupling and calder pin. The trash cage will be comprised of steel banding and a 1.5" x 1.5" mesh to prevent floatables and other contaminants from entering and clogging the perforated riser. The trash cage will sit 0.5" above the bottom of the impoundment to allow the last 0.5" out of the impoundment.  
**7.3 Valve Stem Extension**  
The drive shaft valve stem of the smartPOND system may be extended to any length necessary for instances where the valve will be in an underground vault or manhole. The valve stem will connect the valve to the above ground controls.

**8. Maintenance**  
**8.1 Grease**  
The smartPOND valve includes a grease fitting on the valve itself which should be greased twice per year. It is also recommended that a thick, mildly heat-resistant grease be used to avoid grease melting out of the groove in warmer temperatures.  
**8.2 Flange Bolts**  
There are 6 bolts connecting the smartPOND valve's flange to the outfall pipe or future. During routine maintenance intervals, these bolts should be checked for tightness. All bolts should be tightened evenly.  
**8.3 Perforated Riser**  
Silt, sediment, and debris can build up around the perforated riser with time. An annual inspection of the unit is necessary to ensure that excess debris or sediment has not limited the storage capacity of the perforated riser. To access the perforated riser for maintenance, lift the trash cage off of the riser, dig out any accumulated sediment, and clear all perforations.  
**8.4 Trash Cage**  
As part of routine maintenance, it is advisable to remove trash and debris that has accumulated on the trash cage and properly dispose.  
**8.5 Solar Panel**  
On all inspection visits, it is necessary to confirm that the solar panel is facing south and is well secured. The solar panel is commonly utilized by birds and insects. It is important to keep the surface clean of bird litter, insect nests and debris in order to maintain optimal performance.  
**8.6 Battery**  
Over time, battery terminals may corrode. Check annually for corrosion and clean as needed. The battery should be replaced every 4 to 6 years.  
**8.7 Storage**  
The smartPOND valve is shipped in a near fully assembled configuration and should be stored likewise. The systems are transported and stored on pallets and must remain secured via straps or steel bands to said pallet at all times. The solar panel is not installed at times of transport or storage and should not be installed until the unit is ready to begin operation. The battery may be stored inside the electronics box and if removed, should never be stored on a concrete surface.

**9. Installation**  
The smartPOND valve can be installed in a near-completely assembled configuration. Only the solar panel should be removed during the installation process. There are several ways to install the smartPOND valve with the key being structured support.  
**9.1 Structural Support**  
If the smartPOND valve is mounted to a steel pipe in an above ground fully assembled configuration, the weight of the unit may be supported by the steel pipe. For plastic or concrete pipes, it is recommended that the weight of the unit be supported by either a concrete pad or steel frame. For below ground installations, the upper unit (electronics and actuator) should be fastened to the surface of the concrete vault. For vault installations, see design details for standard vault design.

**10. Important Safety Information and Warnings**  
 • Always keep hands clear of the valve and motor when unit is in operation.  
 • Turn the power switch off when doing any electrical work.  
 • Do not enter the water when the device is actively draining water.  
 • Always use proper PPE and confined space protocol when servicing a valve beneath ground.

**11. PRODUCTS**  
**A. Acceptable smartPOND Valve**  
 "smartBATCH" Automated Batch Detention System  
 "smartPOND" Automated Detention System  
**B. Acceptable System Supplier**  
 Convergent Water Technologies, Inc.  
 (800)715-5438  
 www.convergentwater.com  
**C. Authorized Value Added Reseller**  
 Construction Eco Services  
 (800)456-1000  
 www.ecosvs.com

**12. Quality Assurance and Performance Specifications**  
The quality of all system components and all other appearances and their assembly process shall be subject to inspection upon delivery of the system to the work site. Installation is to be performed only by skilled work people with satisfactory record of performance on earthworks, pipe, welding, chamber, or pond/landfill construction projects of comparable size and quality.

**smartPOND Valve**  
Specifications

RESERVED FOR 0  
DATE 12/27/2021  
SHEET NO.

NOTE: ENGINEER OF RECORD TO REVIEW, APPROVE AND ENDORSE FINAL SITE SPECIFIC DESIGN.

#### PROGRAMMABLE LOGIC FLOW CHART

#### TRASH CAGE WITH PERFORATED RISER PIPE

#### Parts List

Item	smartPOND Valve Component
1	30" DIAMETER GATE WITH 1" GALVANIZED MESH SCREEN
2	8" SQUARE PERFORATED TUBING WITH 1" PERFORATION, WITH 4" VERTICAL SPACING ON CENTERS WITH WATER DEPTH MARKER
3	3 1/2" X 3 1/2" X 4" CONCRETE PAD (BY OTHERS)
4	6" PVC OUTFALL PIPE (BY OTHERS)
5	WEATHERPROOF ELECTRONIC BOX
6	CONTROL BOX
7	PEDESTAL
8	ACTUATOR
9	MOTOR
10	6" VALVE
11	LEVEL TRANSDUCER
12	SOLAR PANEL
13	OUTLET PIPE (BY OTHERS)
14	30" DRAIN BASIN
15	VALVE STEM
16	QUICK DISCONNECT VALVE CONNECTION

#### PLAN VIEW OF ENCLOSER

#### SECTION VIEW OF SMARTBATCH

#### FRONT VIEW OF SMARTBATCH

FOR ADDITIONAL INFORMATION PLEASE CONTACT: CONSTRUCTION ECO SERVICES, 832-456-1000, www.ecosvs.com

#### CONTROL CIRCUIT BLOCK DIAGRAM

**NOTE:**  
CONTRACTOR TO PROVIDE SHOP DRAWING SHOWING ELEVATIONS OF ALL PROPOSED SMARTBATCH VALVE PIPING PRIOR TO FABRICATION.

Know what's Below.  
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

CONSTRUCTION PLAN APPROVAL SHEET # OF 226	
FILE NUMBER	APPLICATION DATE
APPROVED BY COMMISSION ON	N/A UNDER THE CITY OF BUDA UNIFIED DEVELOPMENT CODE
EXPIRATION DATE	2021-737 CASE MANAGER 08/16/2021
A. KENNEDY	
City Engineer, City of Buda	
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING N/A	
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3
Final plan must be received by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.	
PERMIT NUMBER: 2021-737	

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
 AUSTIN, TX 78745-5637  
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 TBE Firm No. 928

NO. \_\_\_\_\_ DATE \_\_\_\_\_

REVISIONS \_\_\_\_\_

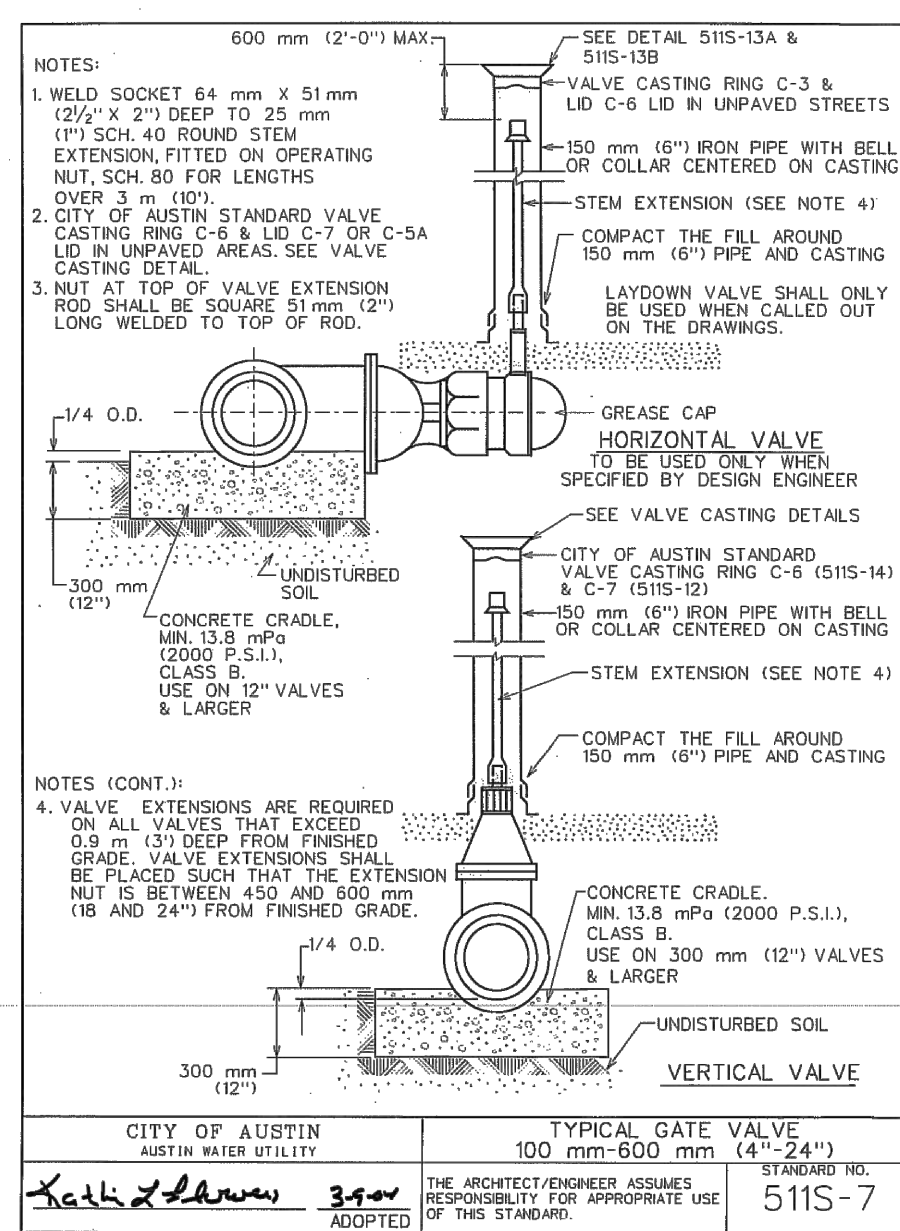
Alejandro E. Granados Rocio  
 License No. 330084  
 State of Texas

KHA PROJECT 067783115  
 DATE JULY 2023  
 SCALE AS SHOWN  
 DESIGNED BY: WB, DM  
 DRAWN BY: WB, HMB, JDM  
 CHECKED BY: AEG

## POND DETAILS

THE COLONY - PHASE 1  
 CITY OF BUDA  
 HAYS COUNTY, TEXAS

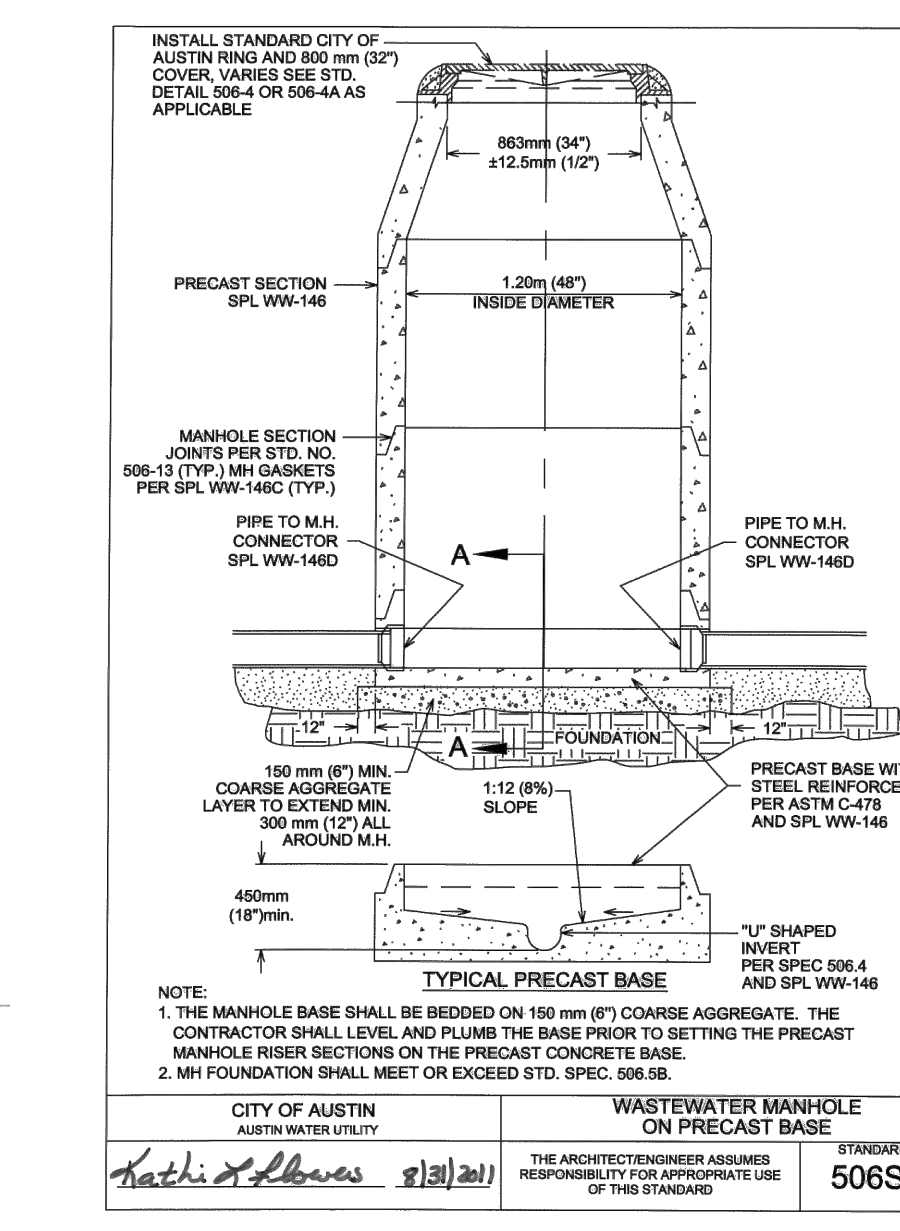
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224  
 OF 226



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AUSTIN WATER UTILITY

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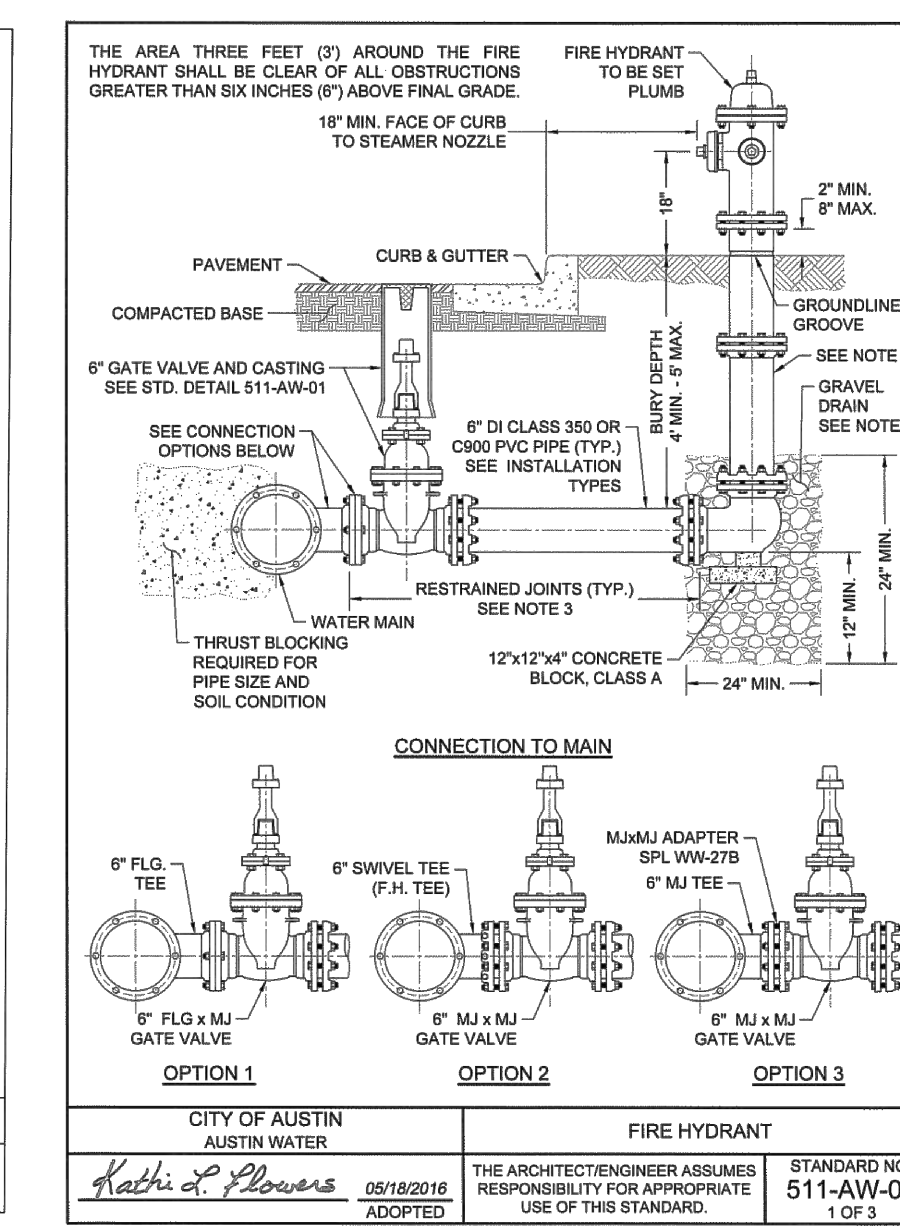
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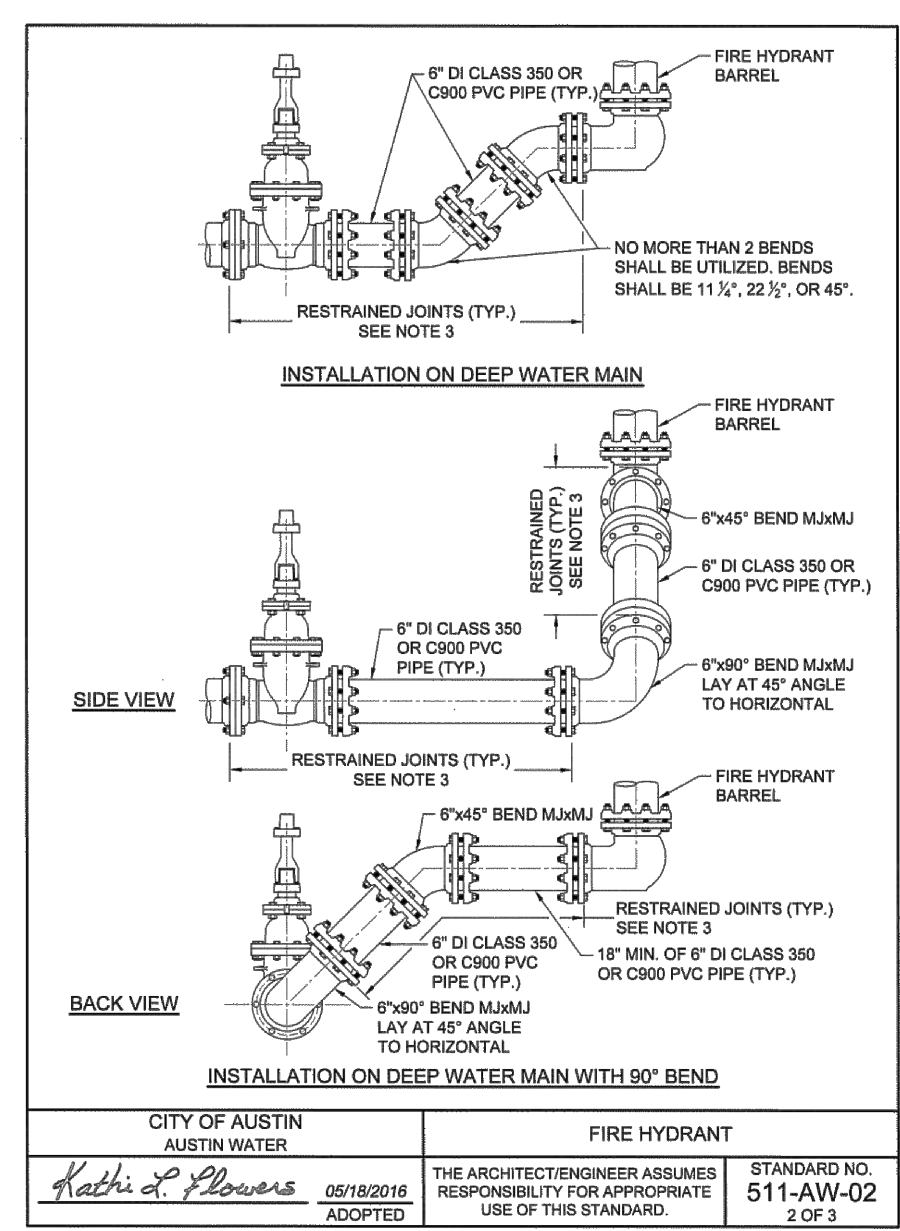
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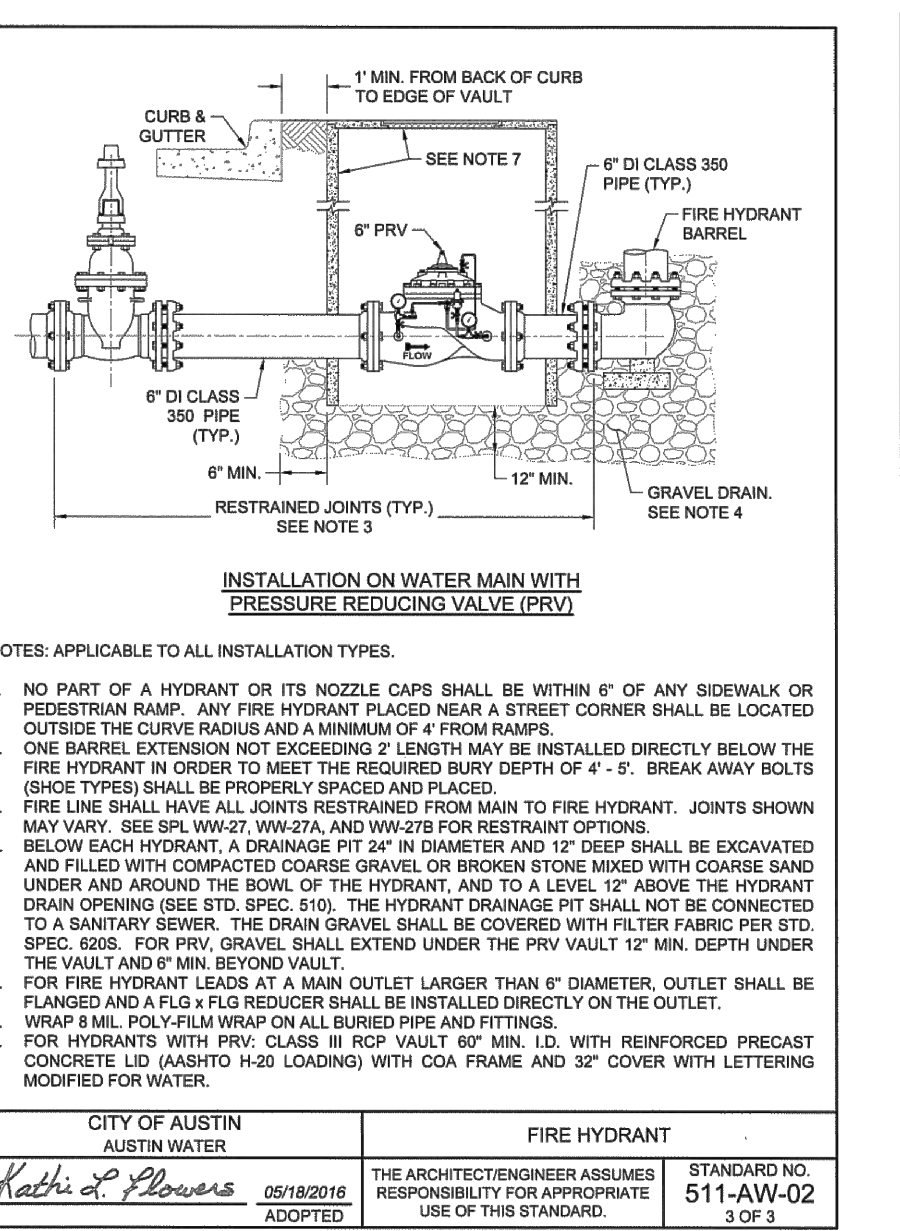
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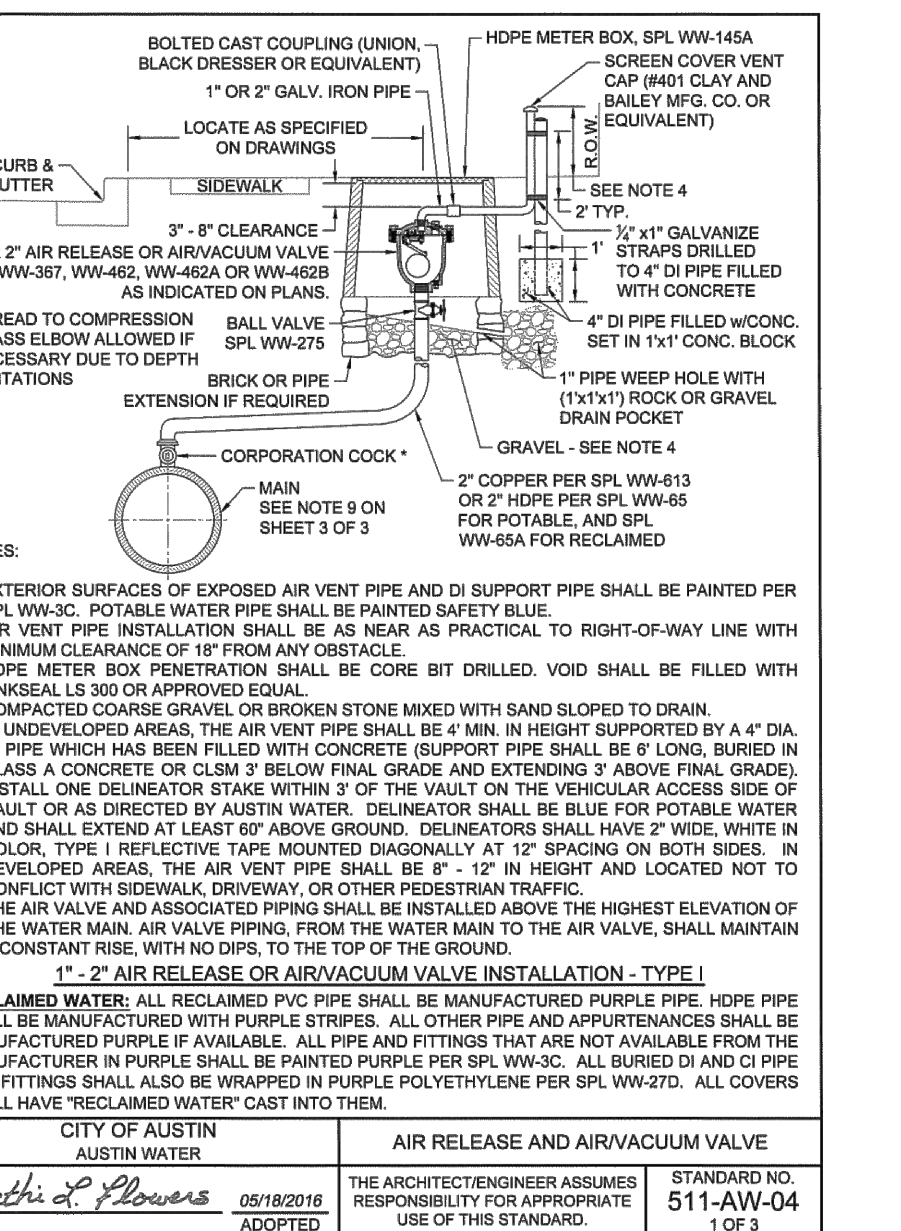
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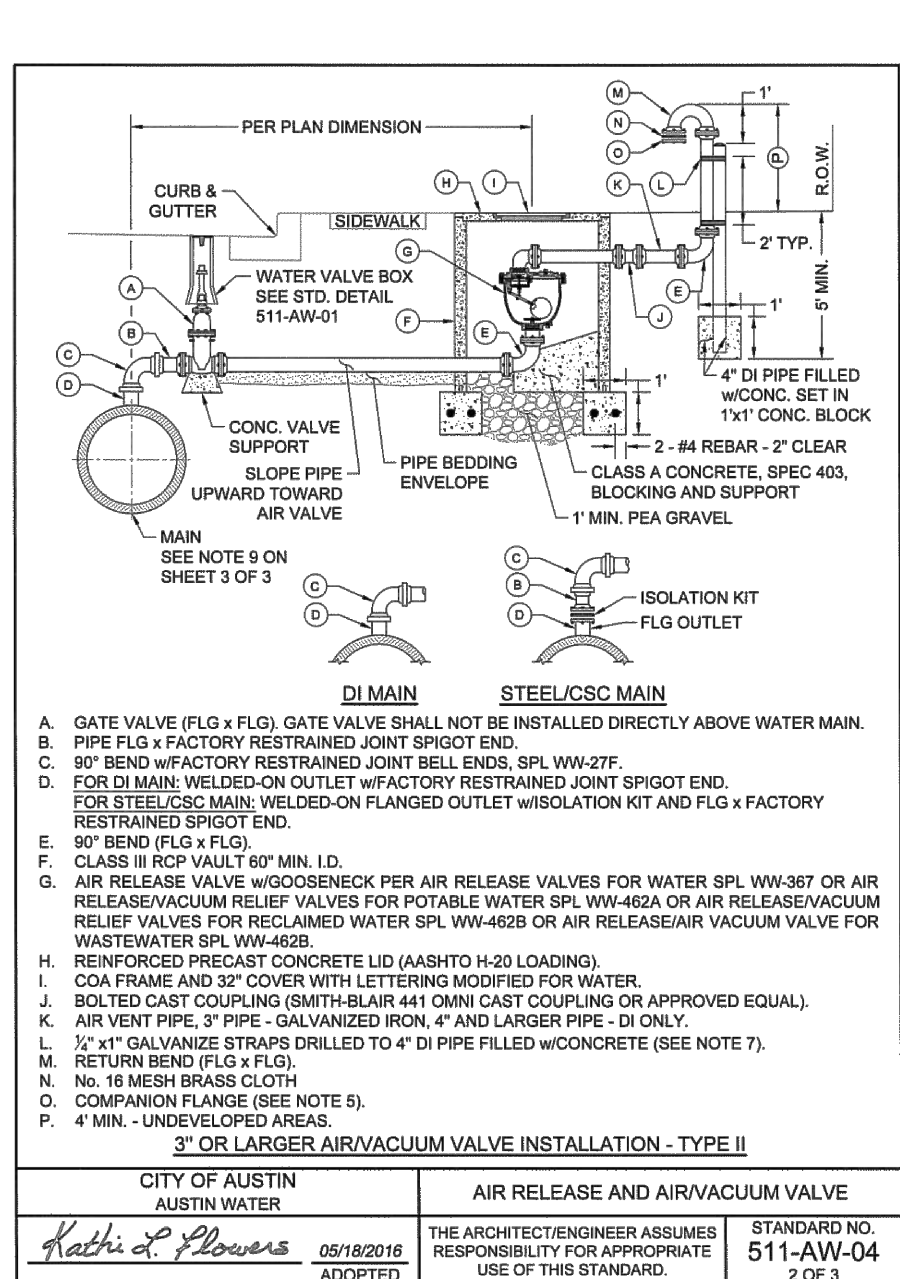
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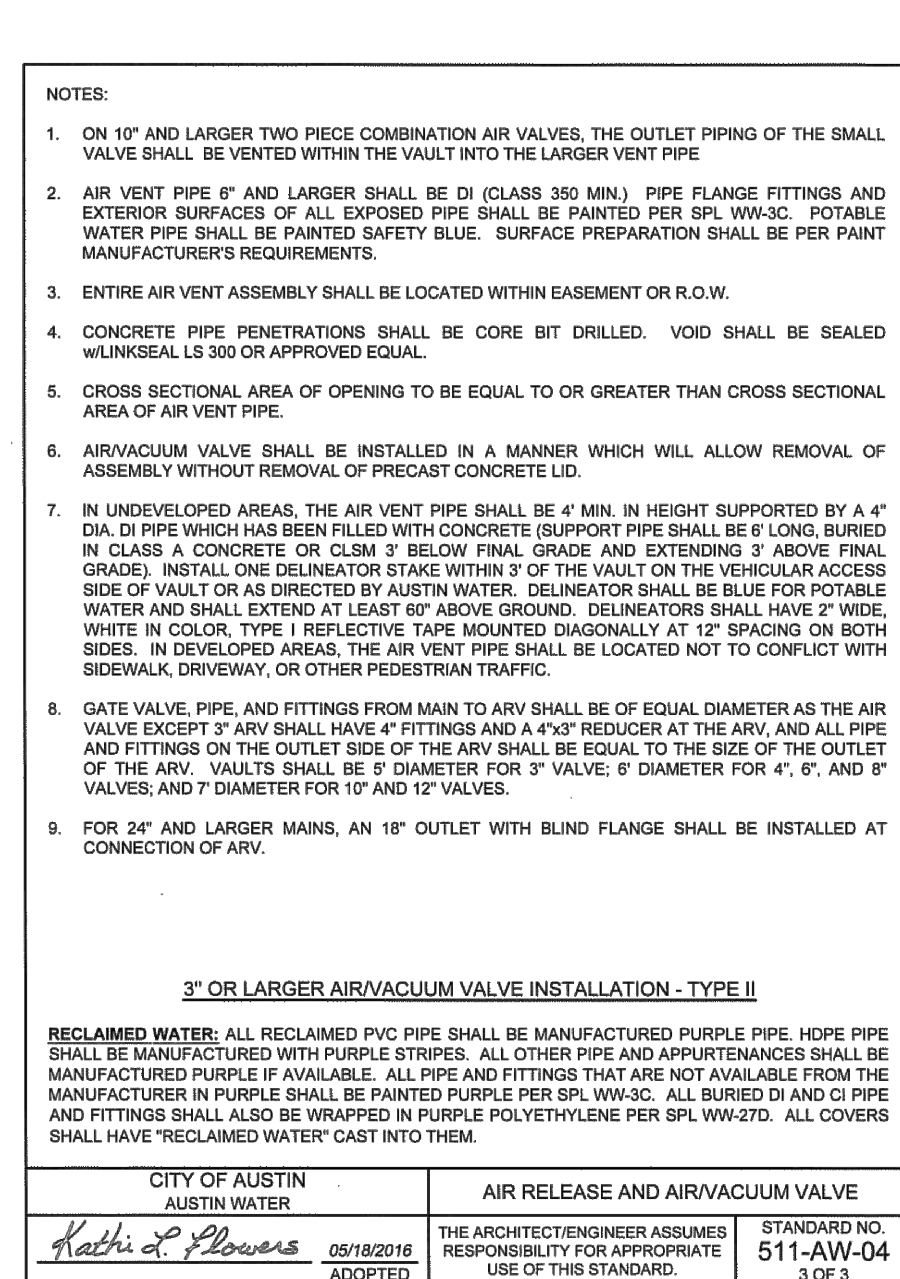
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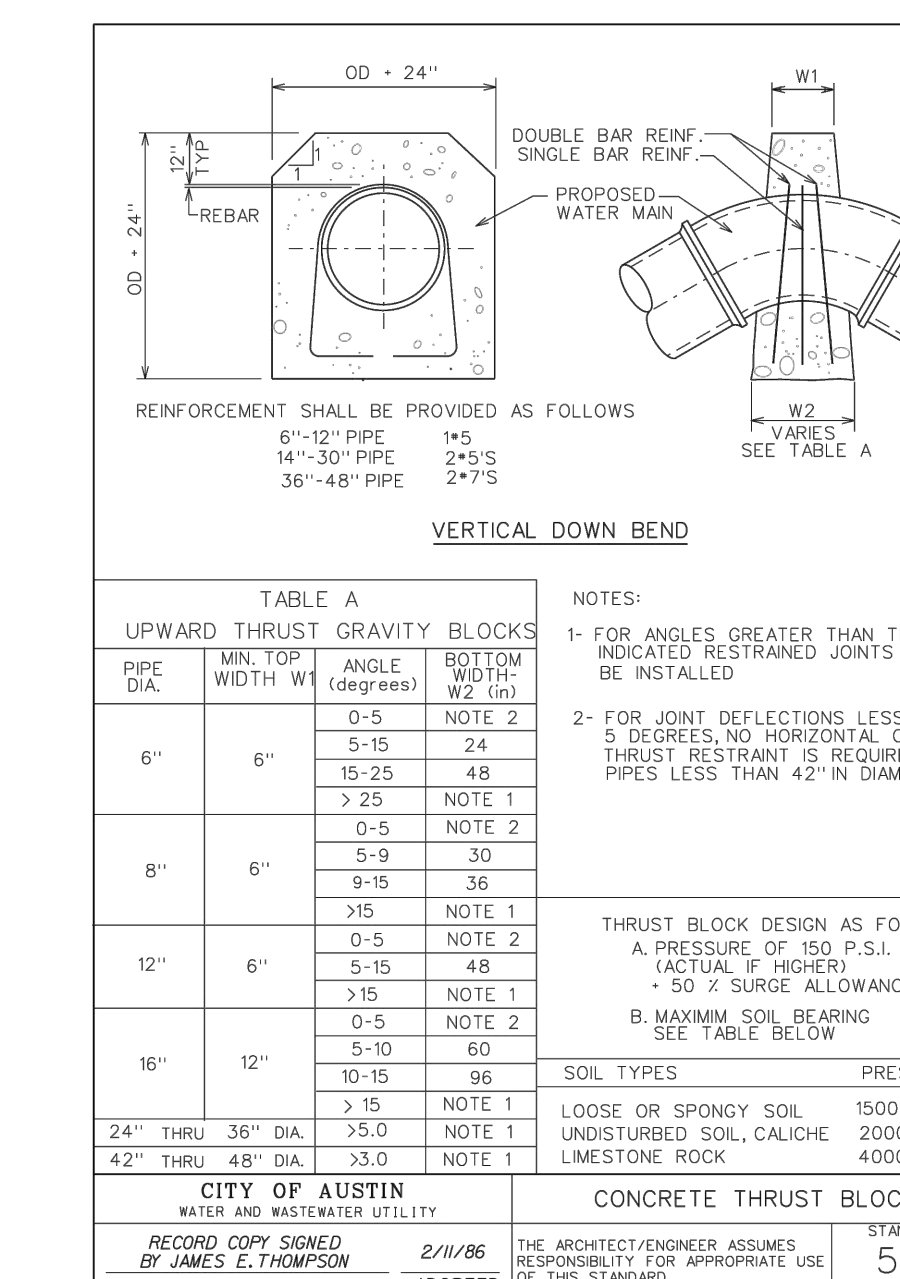
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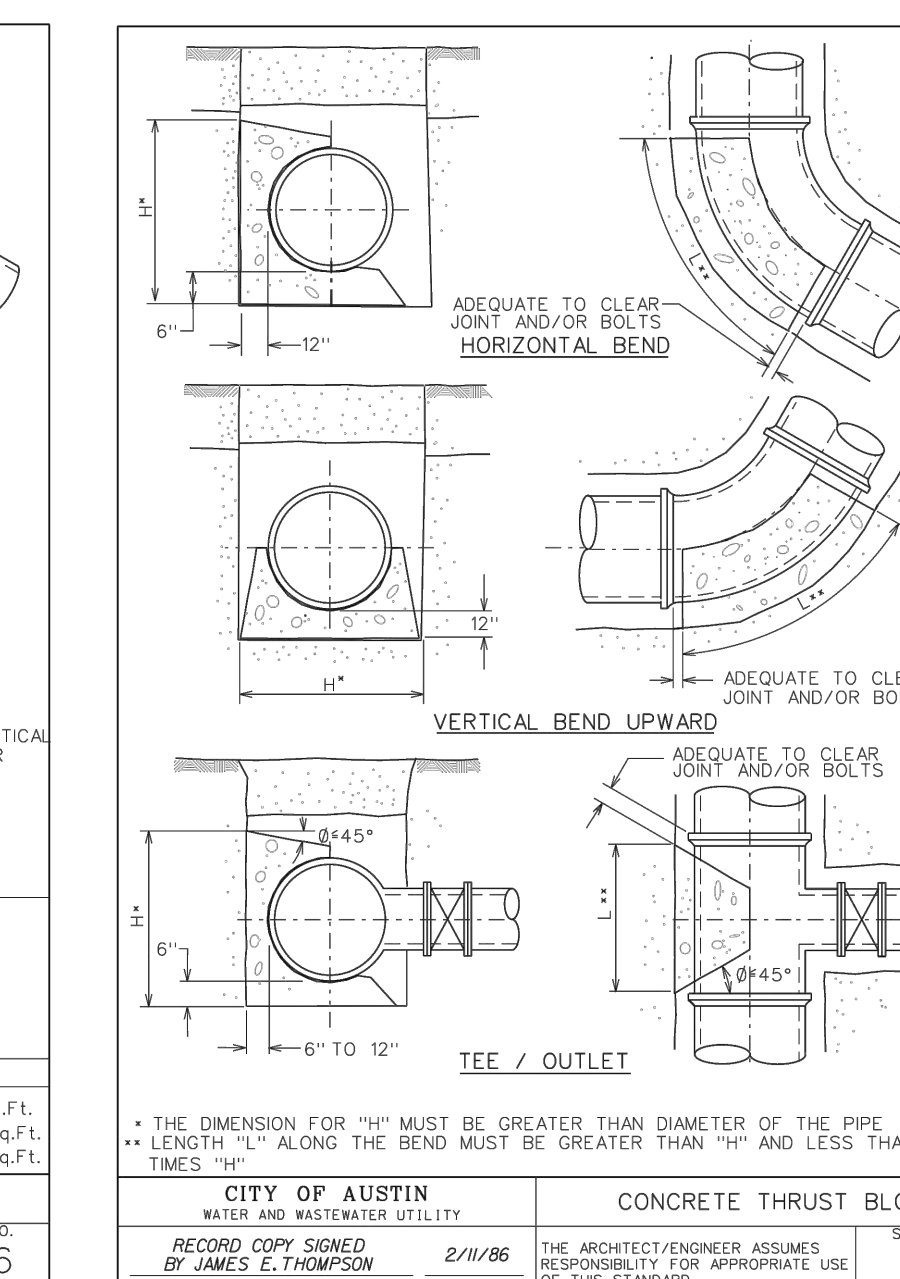
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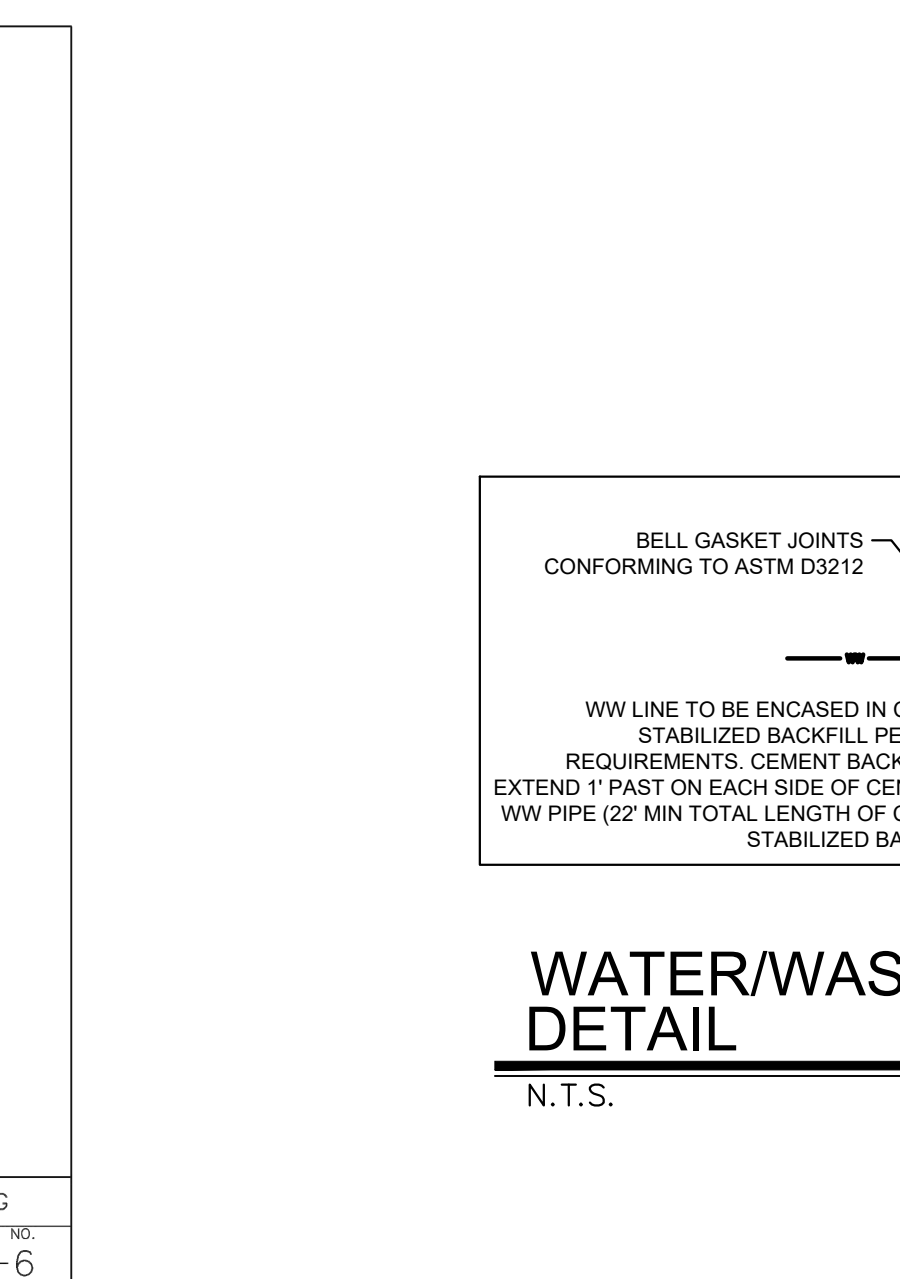
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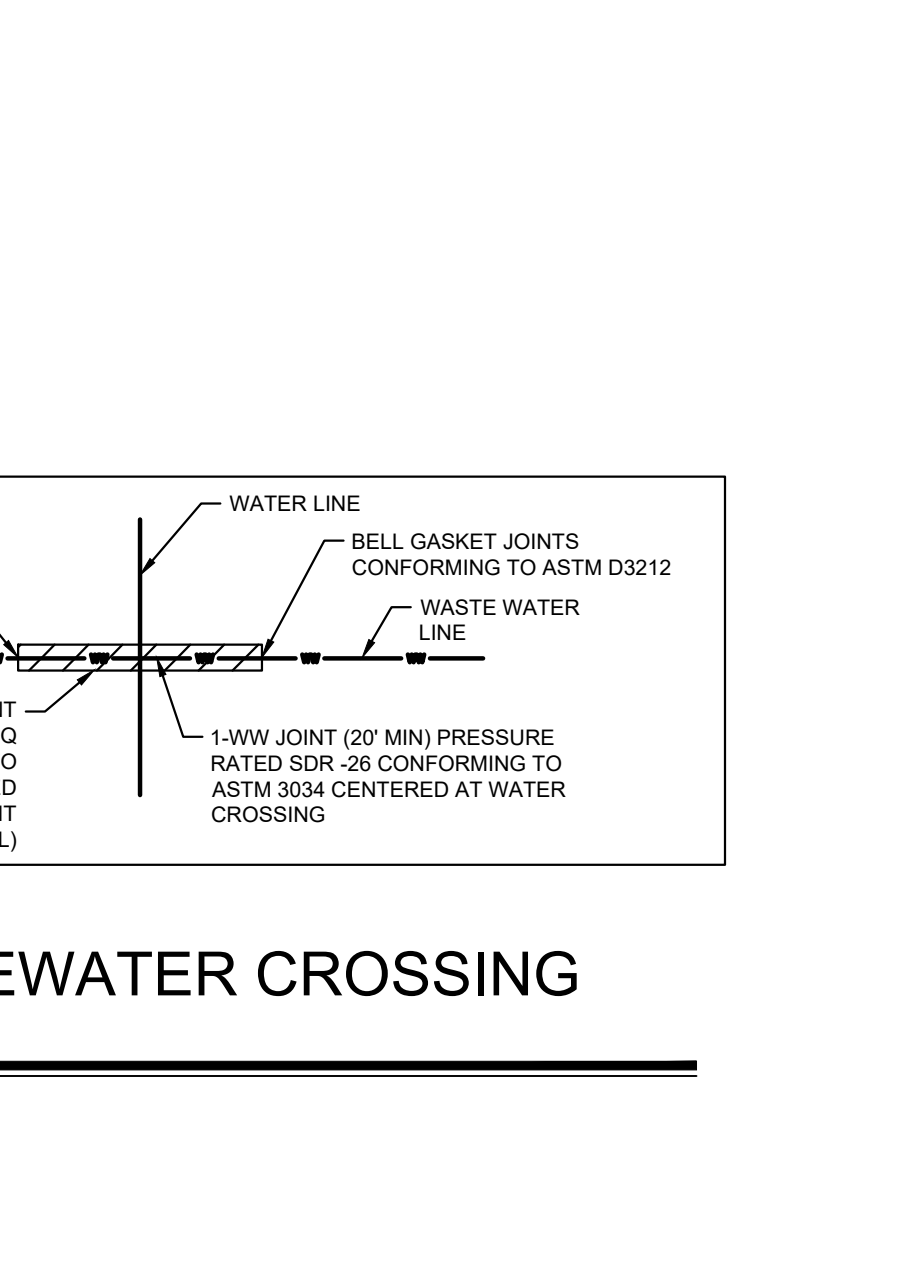
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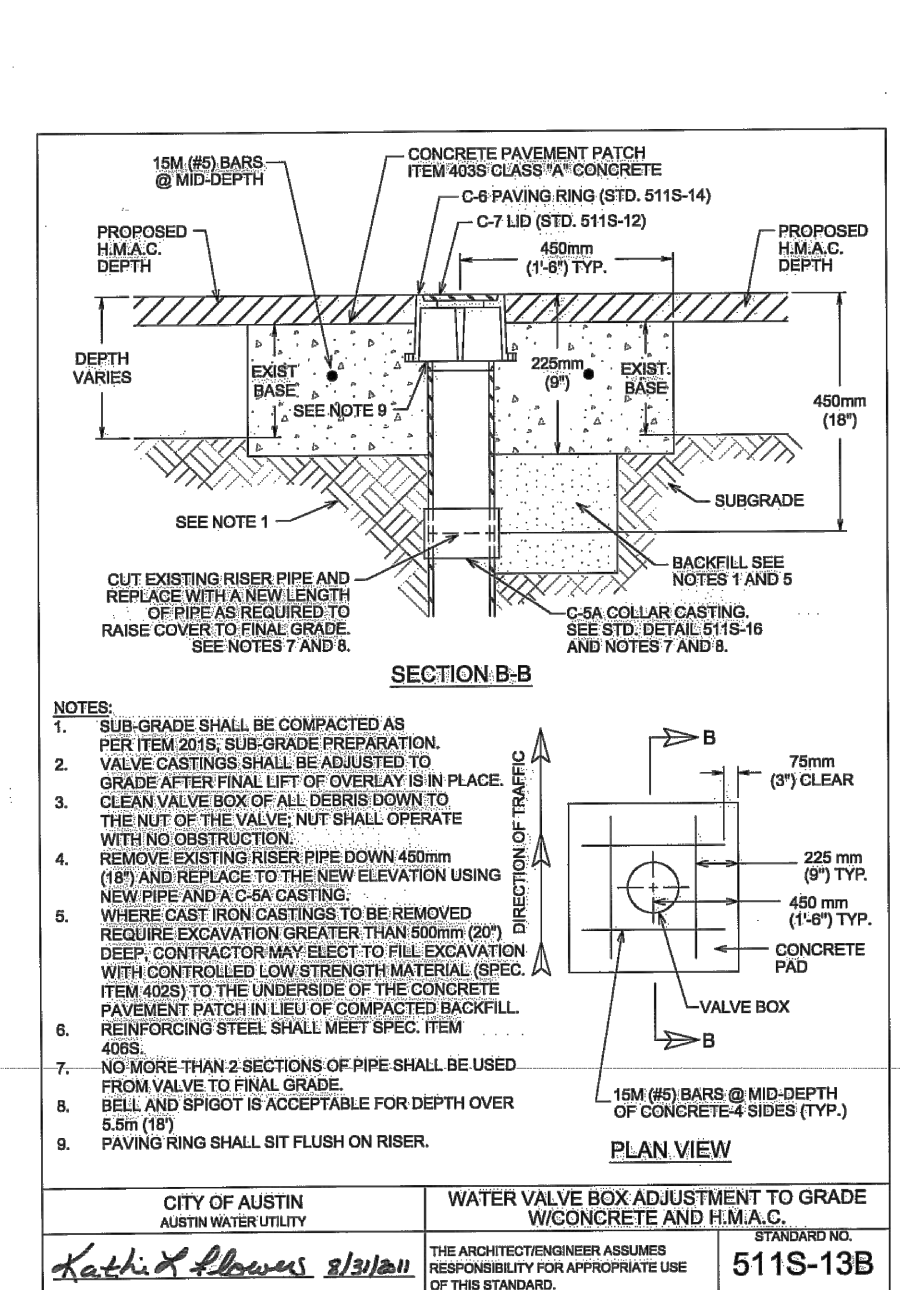
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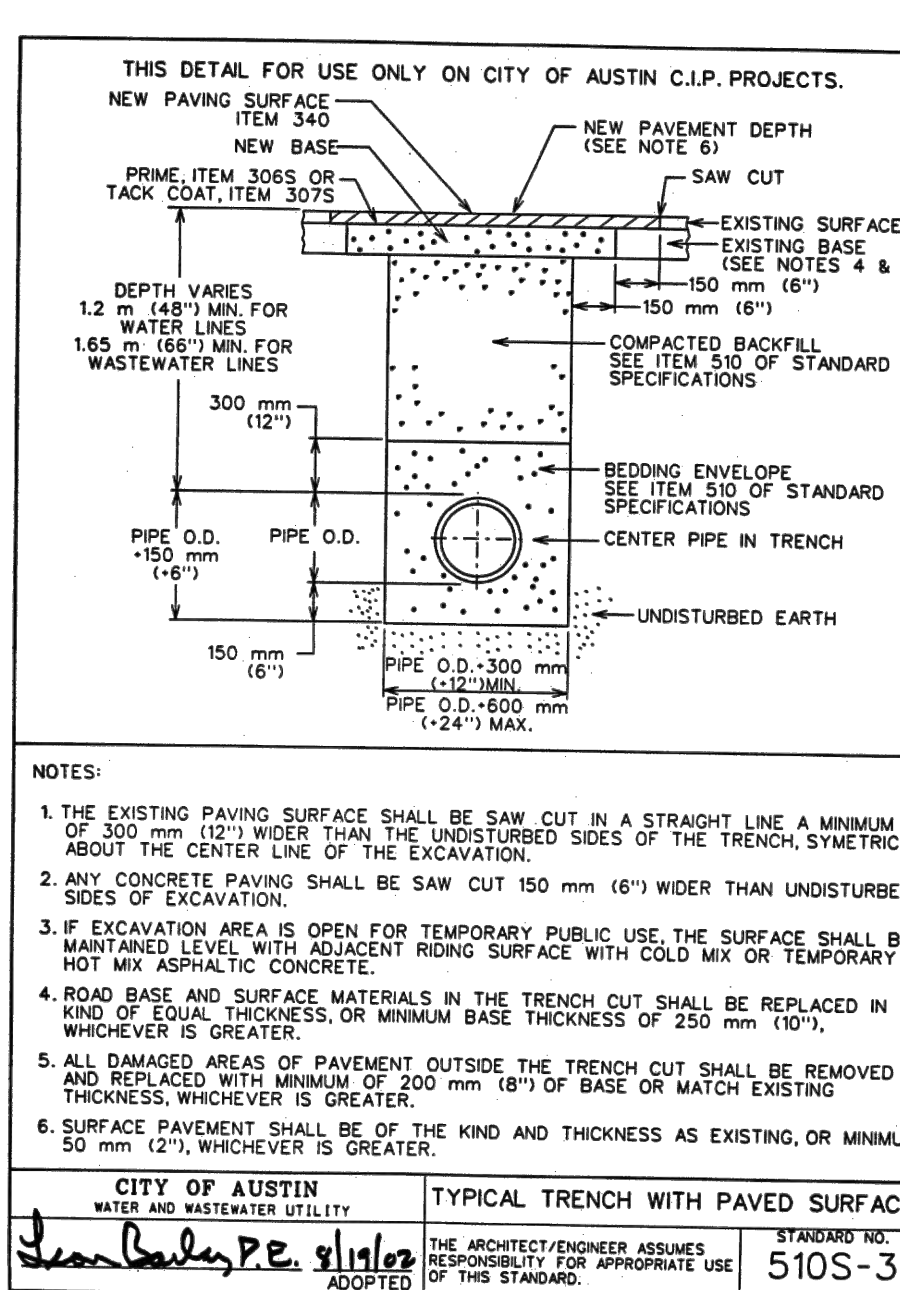
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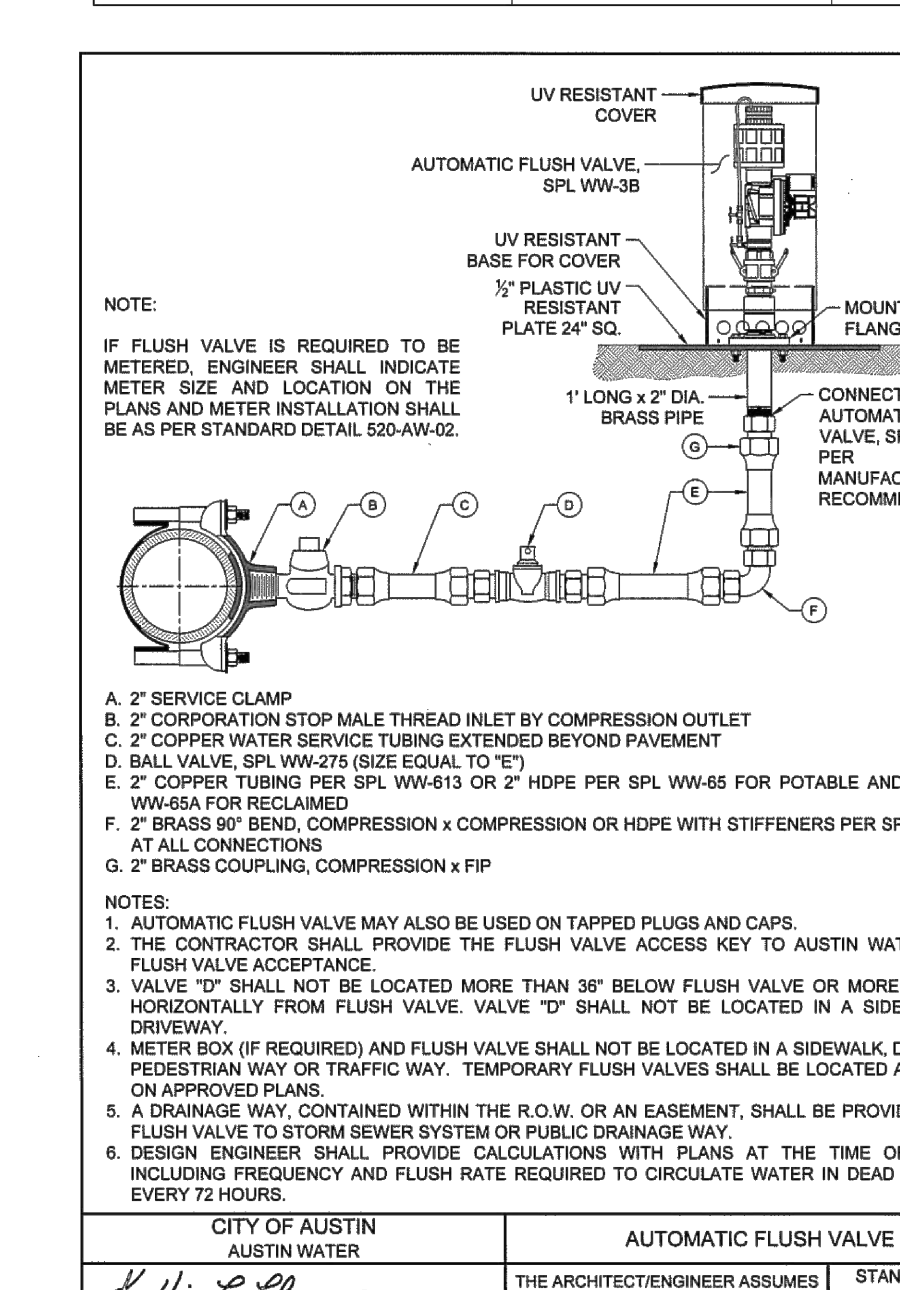
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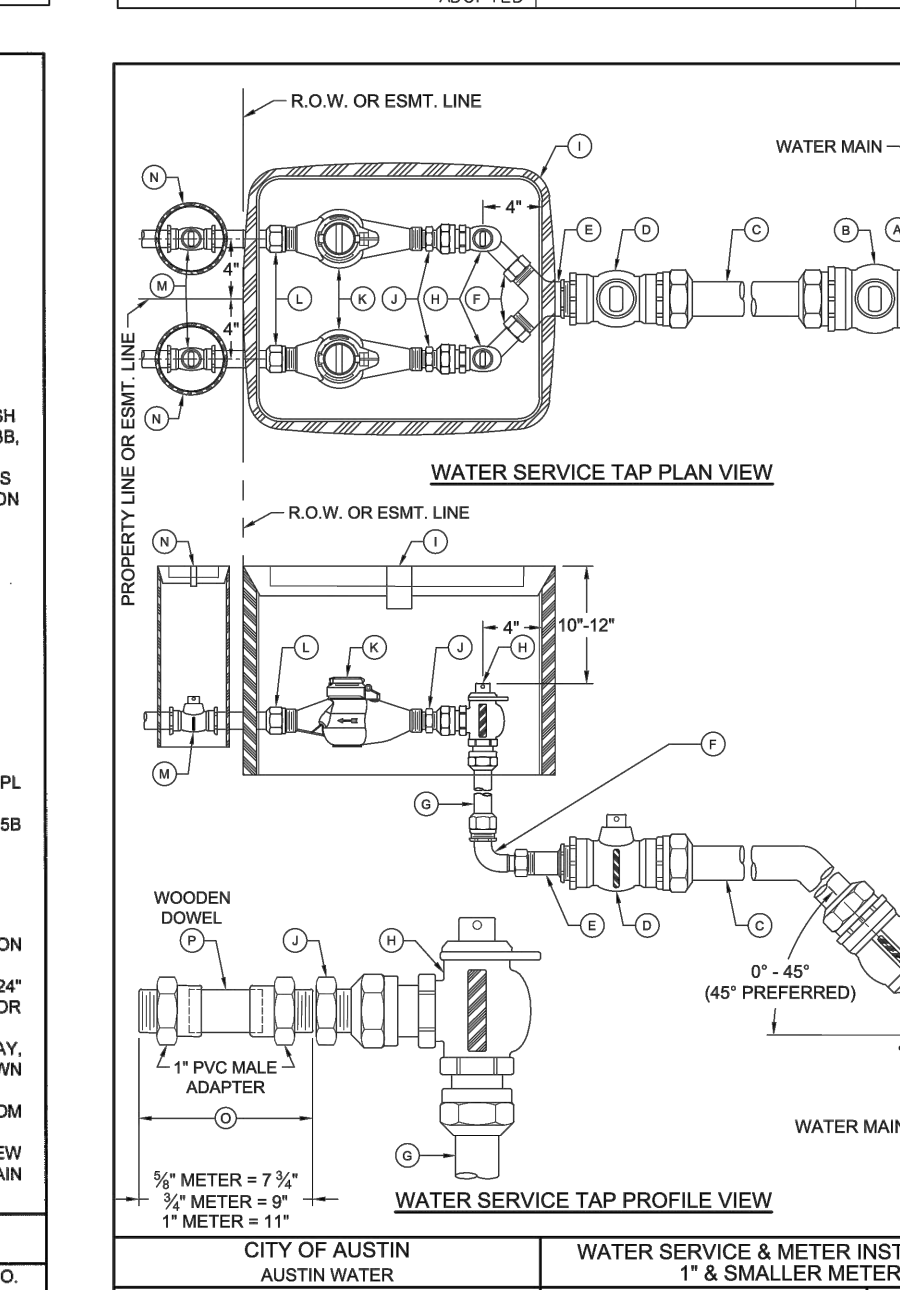
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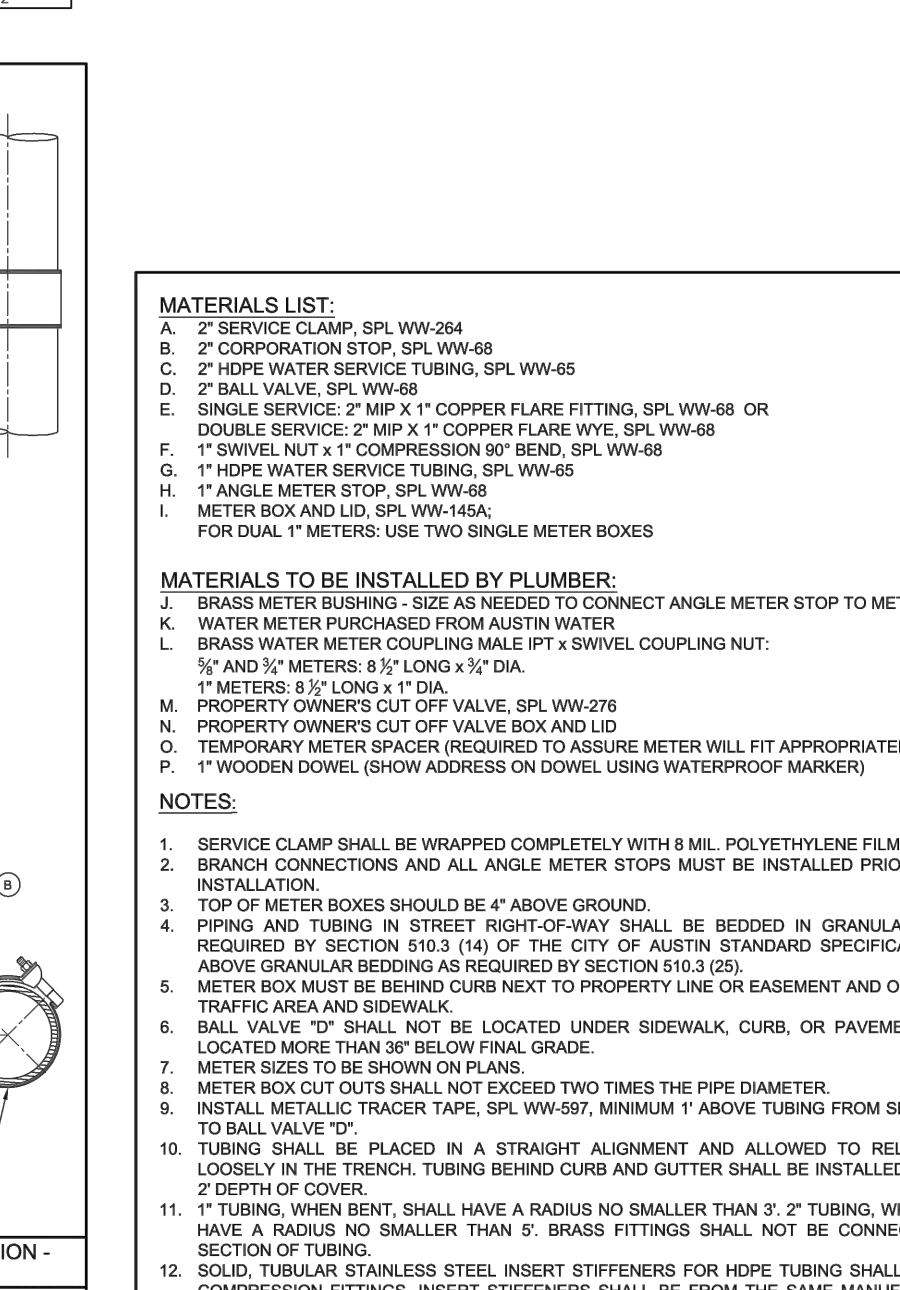
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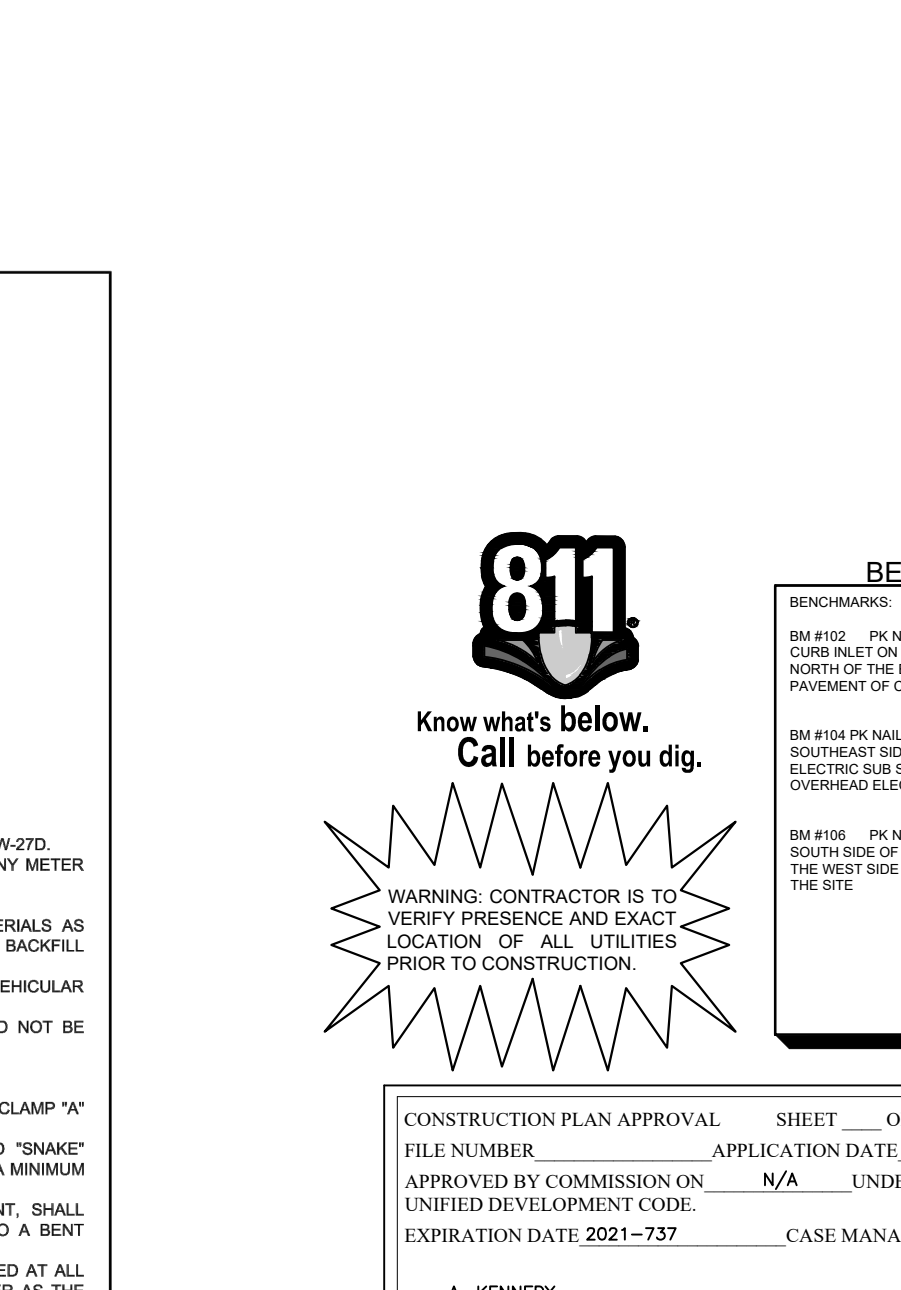
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CITY OF AUSTIN  
AUSTIN WATER UTILITY

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STANDARD NO. 520-AW-01B



CITY OF AUSTIN  
AUSTIN WATER UTILITY

THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

STANDARD NO. 520-AW-01B

NO.	REVISIONS	DATE	BY

**Kimley»Horn**

5301 SOUTHWEST PARKWAY, BLDG. 3, SUITE 100  
AUSTIN, TX 78746-5537  
PH: 512.424.6677  
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07/17/2023

ALVARADO E. GRANADOS RICO  
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ALVARADO E. GRANADOS RICO  
ALVARADO E. GRANADOS RICO  
ALVARADO E. GRANADOS RICO

KHA PROJECT 08778315

DATE: JULY 2023

SCALE: AS SHOWN

DESIGNED BY: WB-DW

DRAWN BY: WB-MH/MH/DM

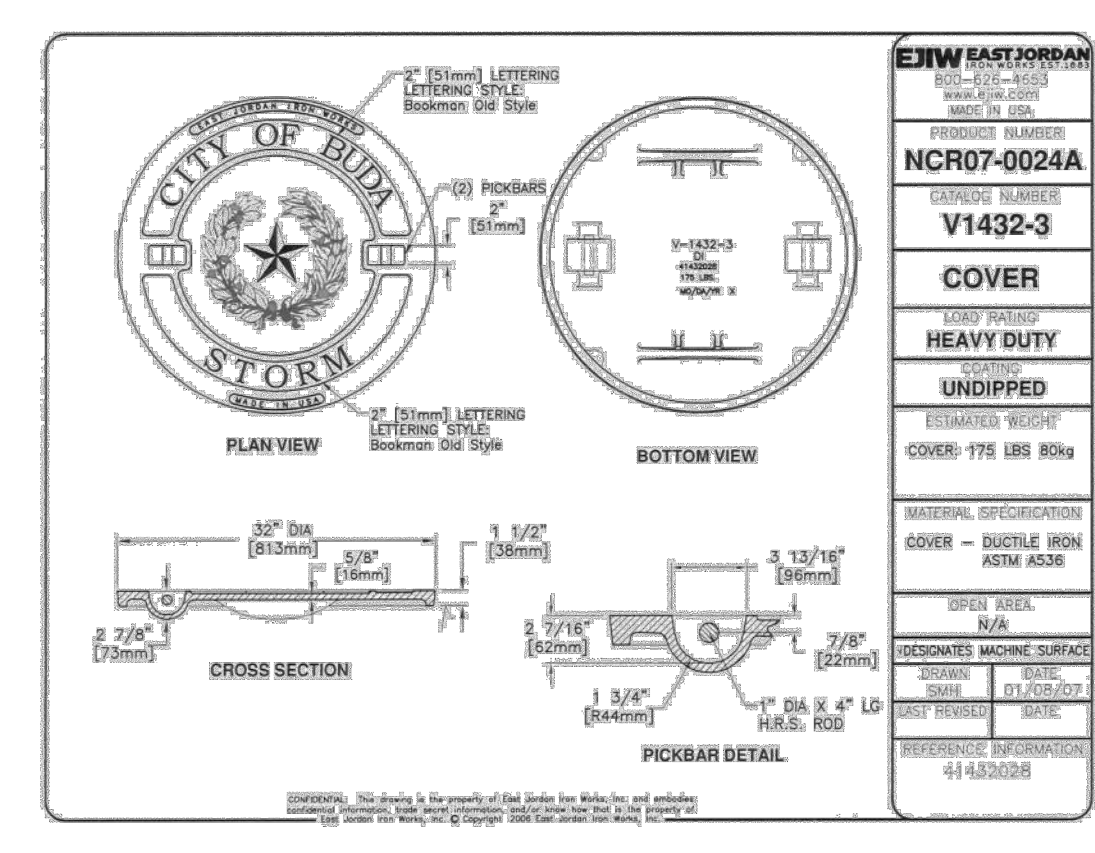
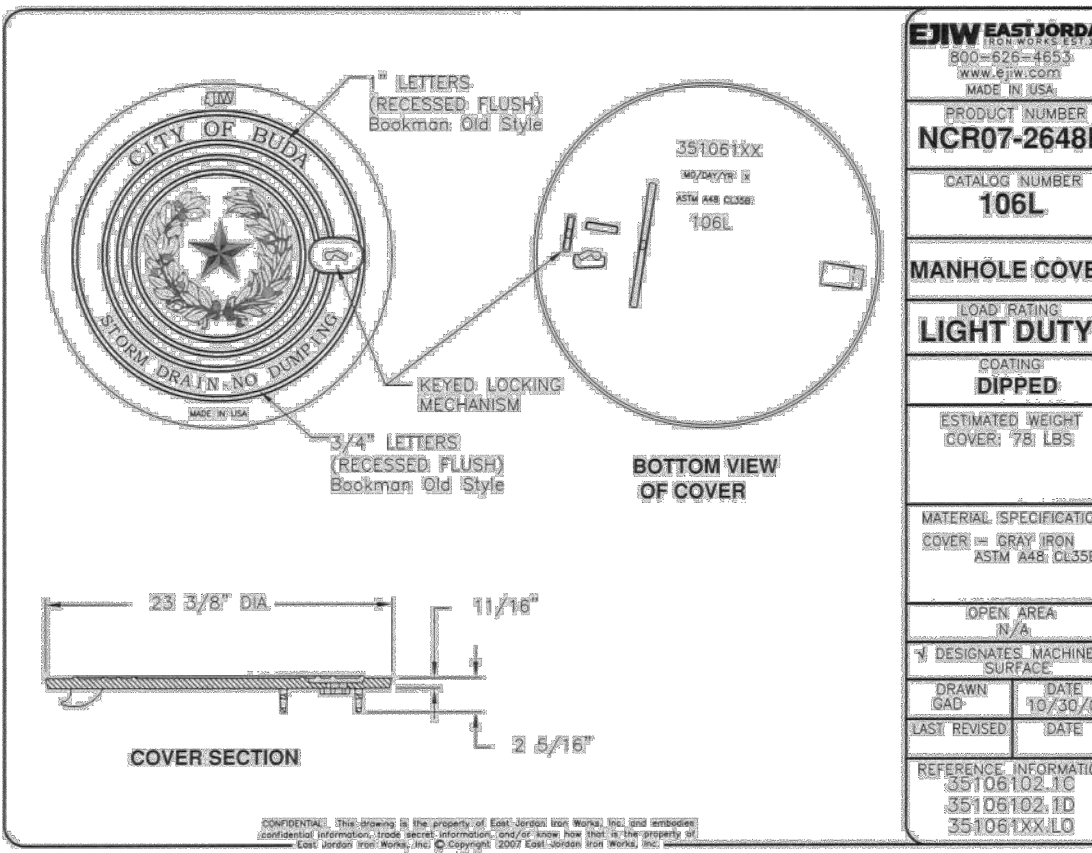
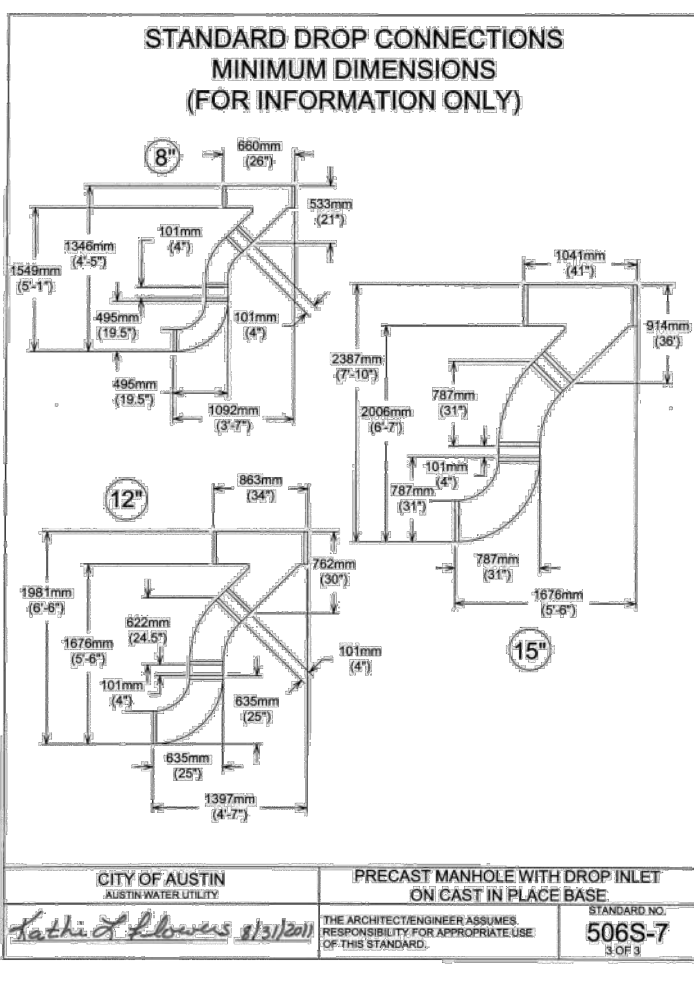
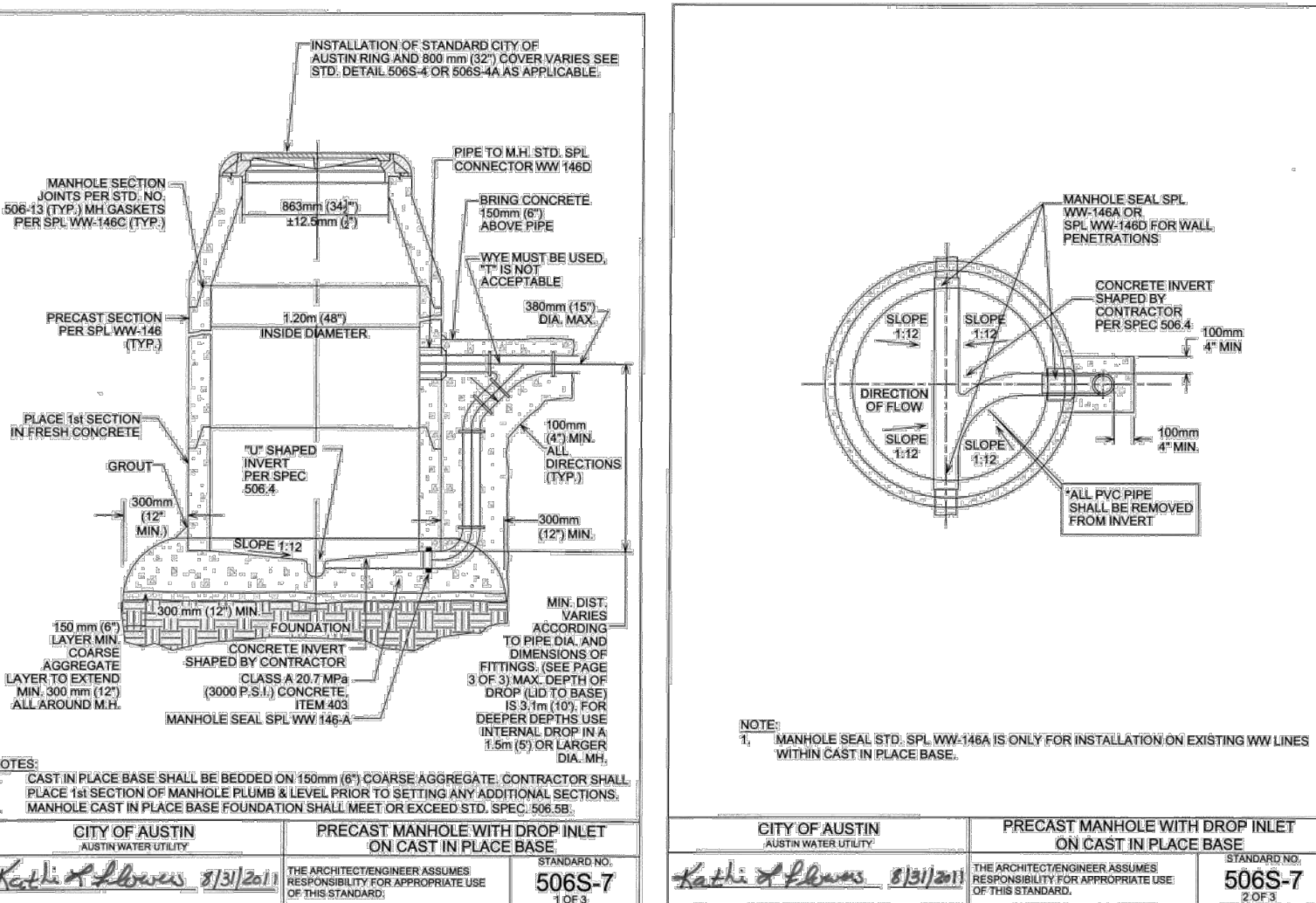
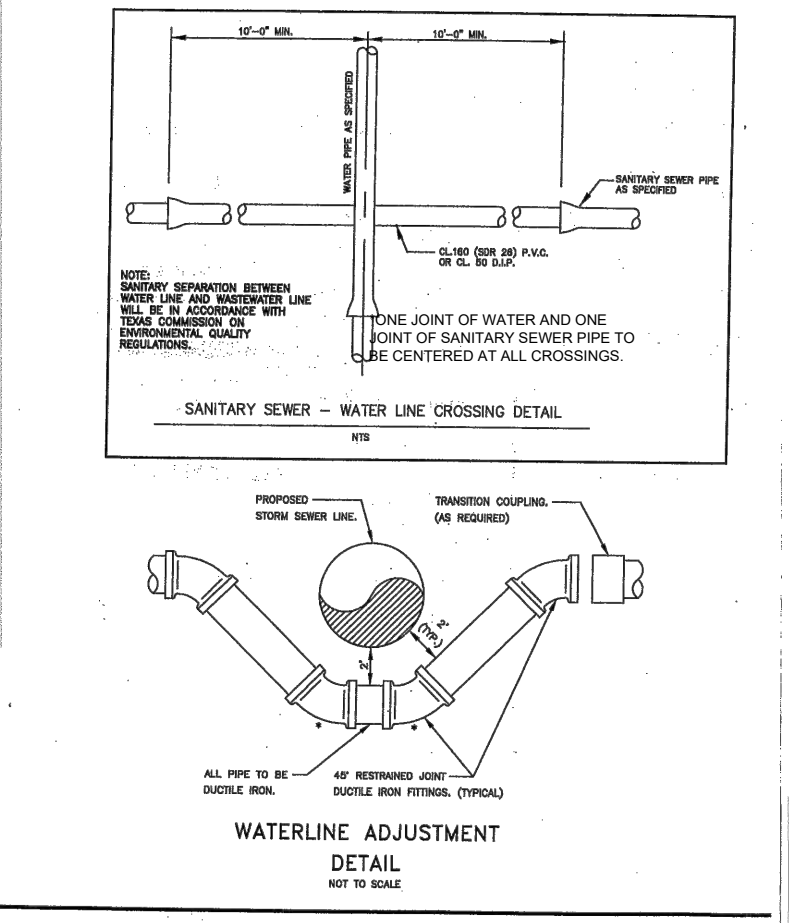
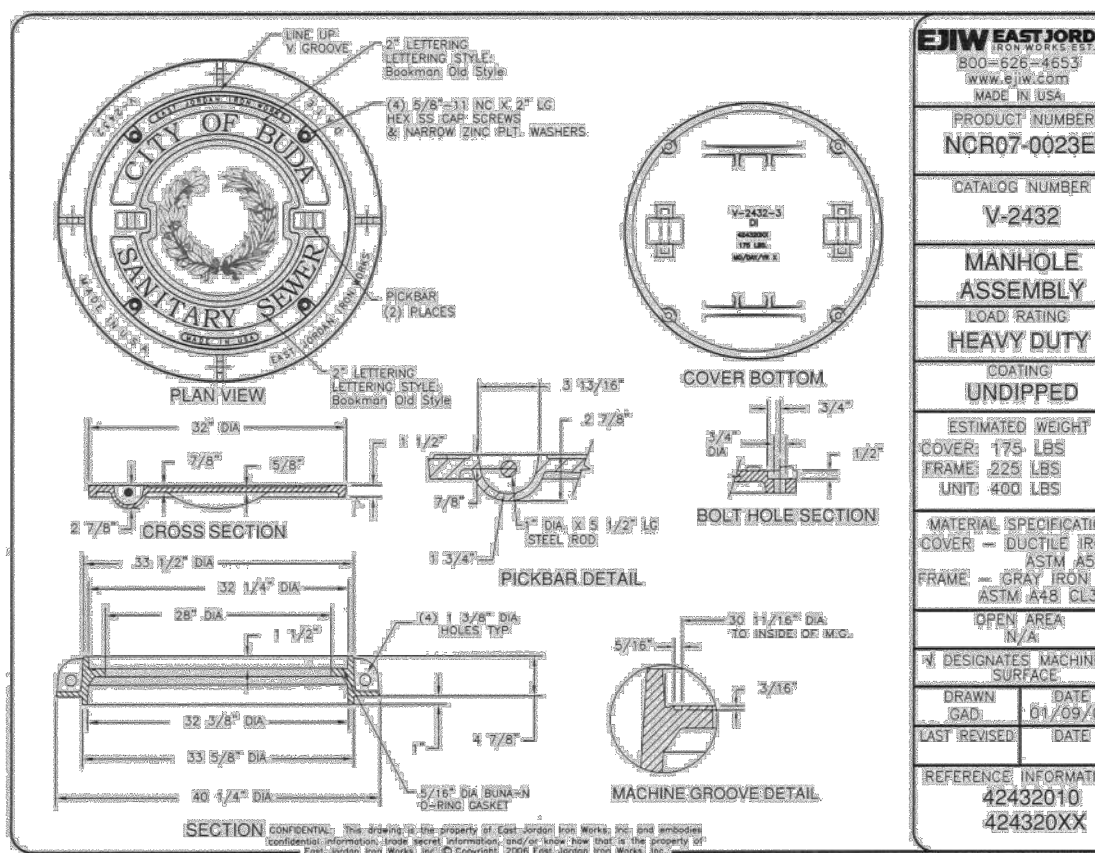
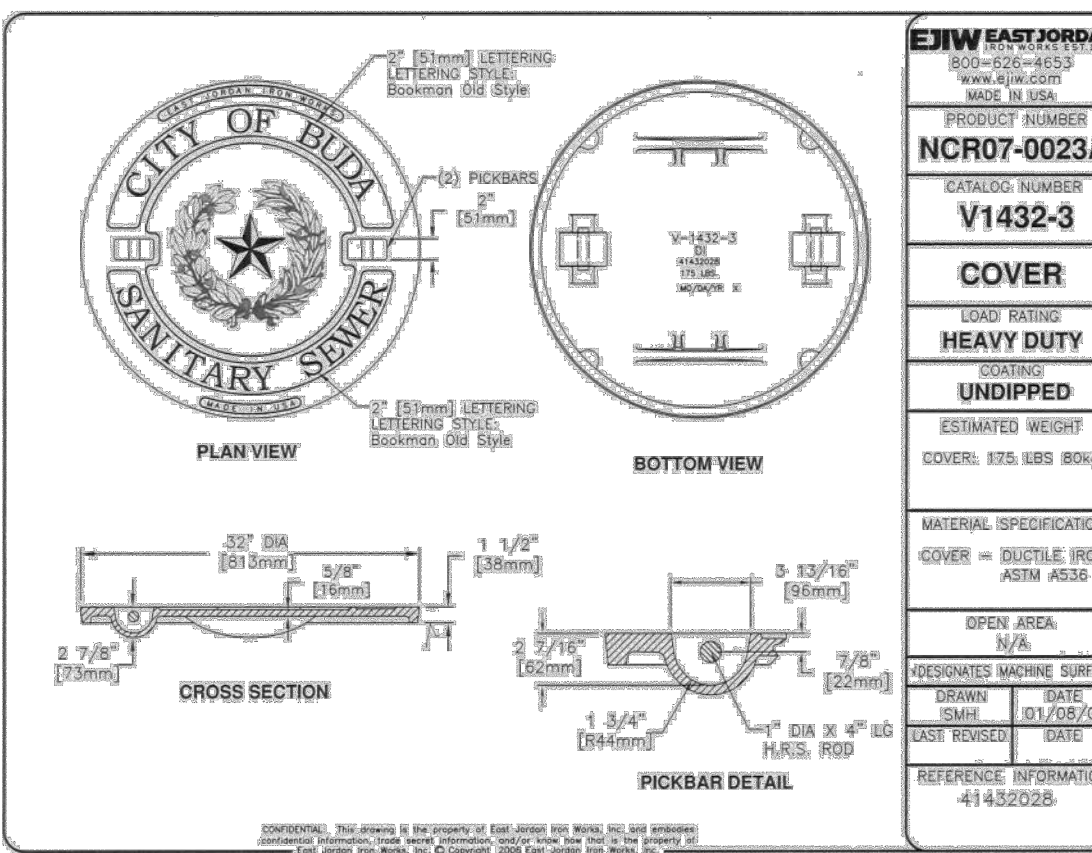
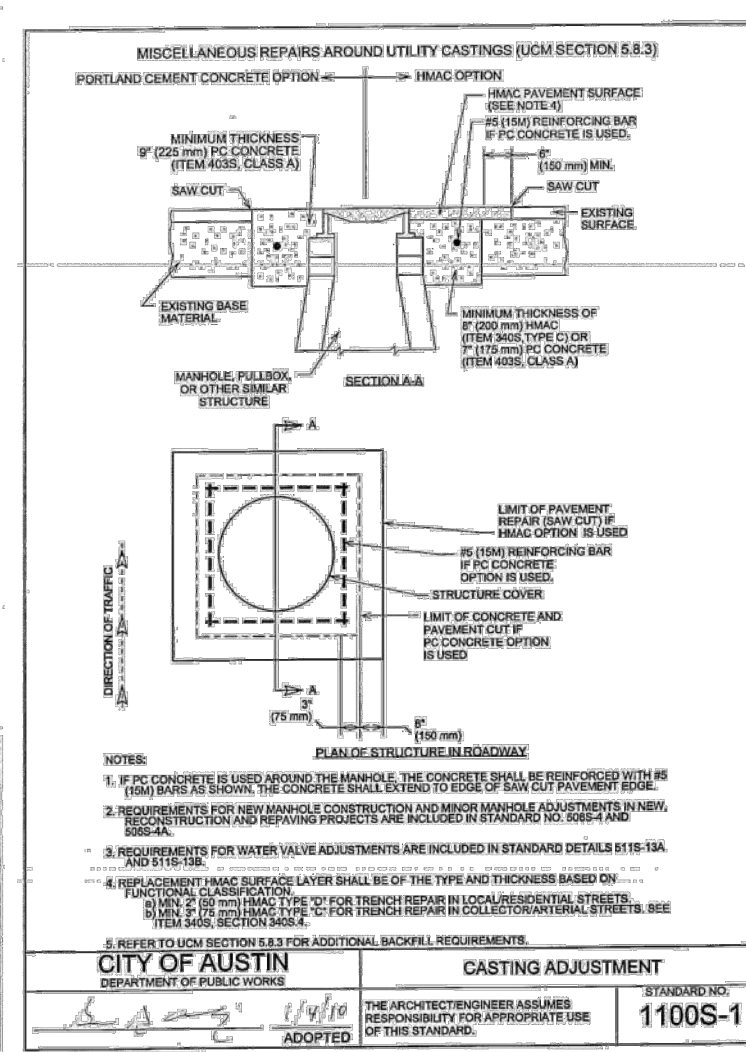
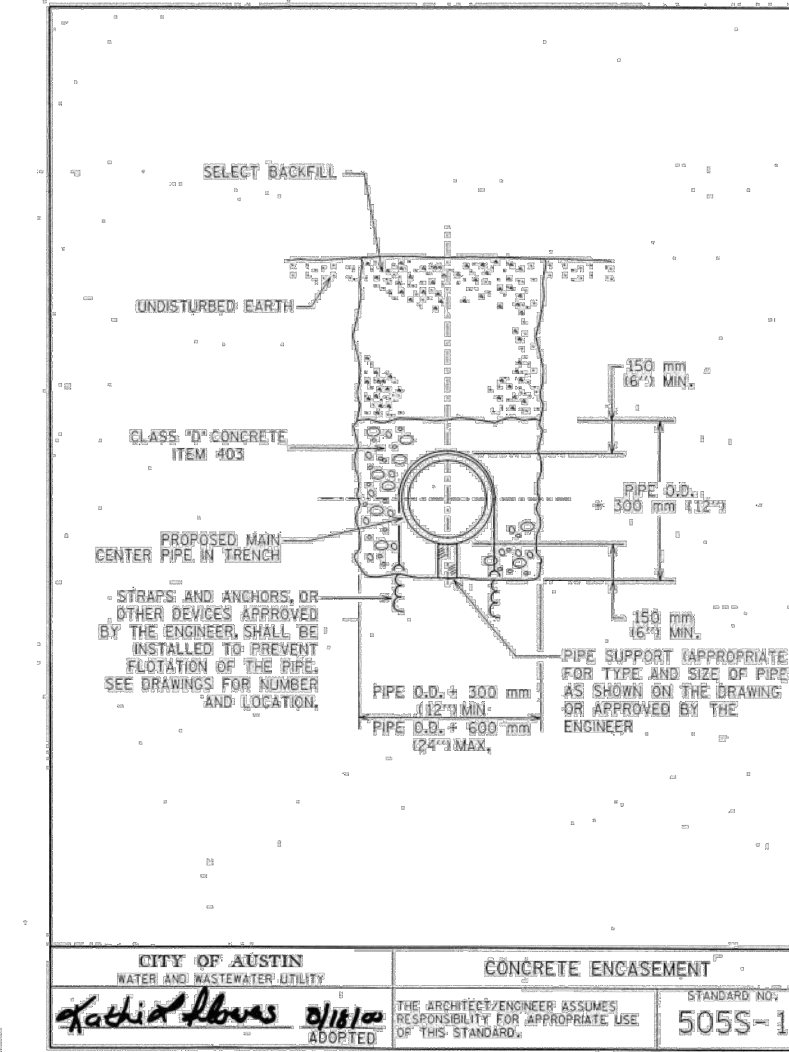
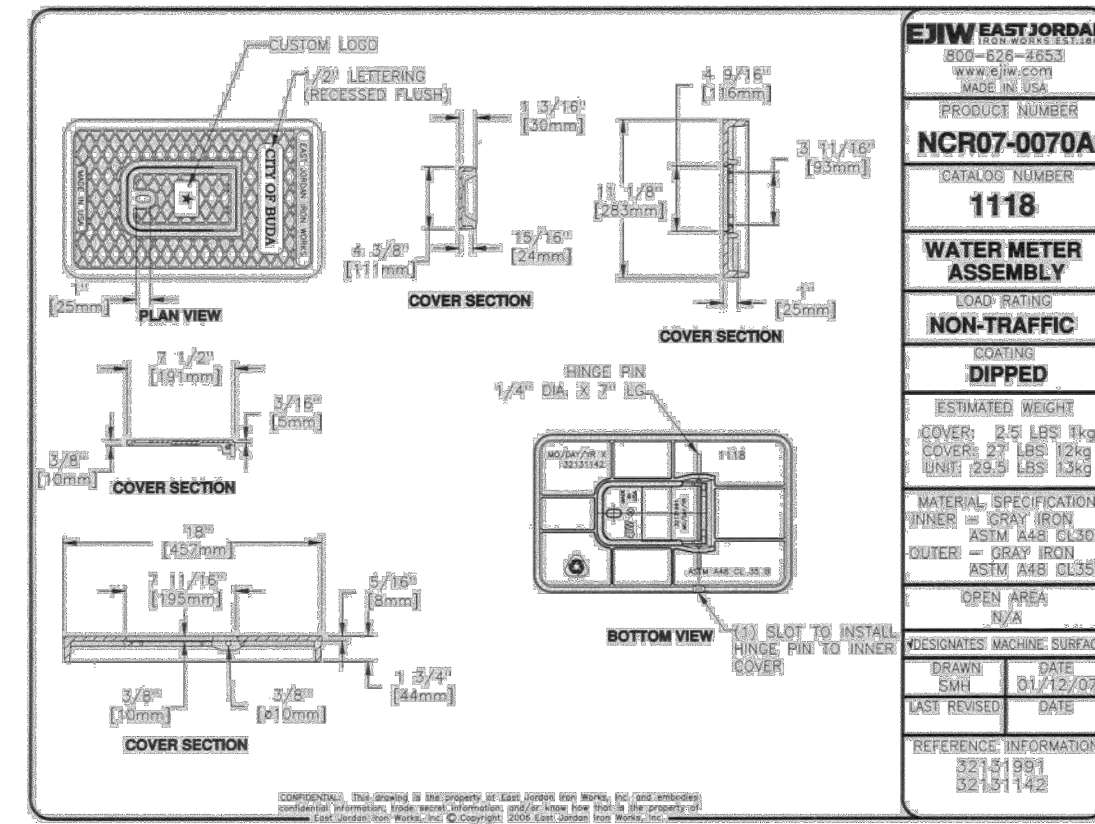
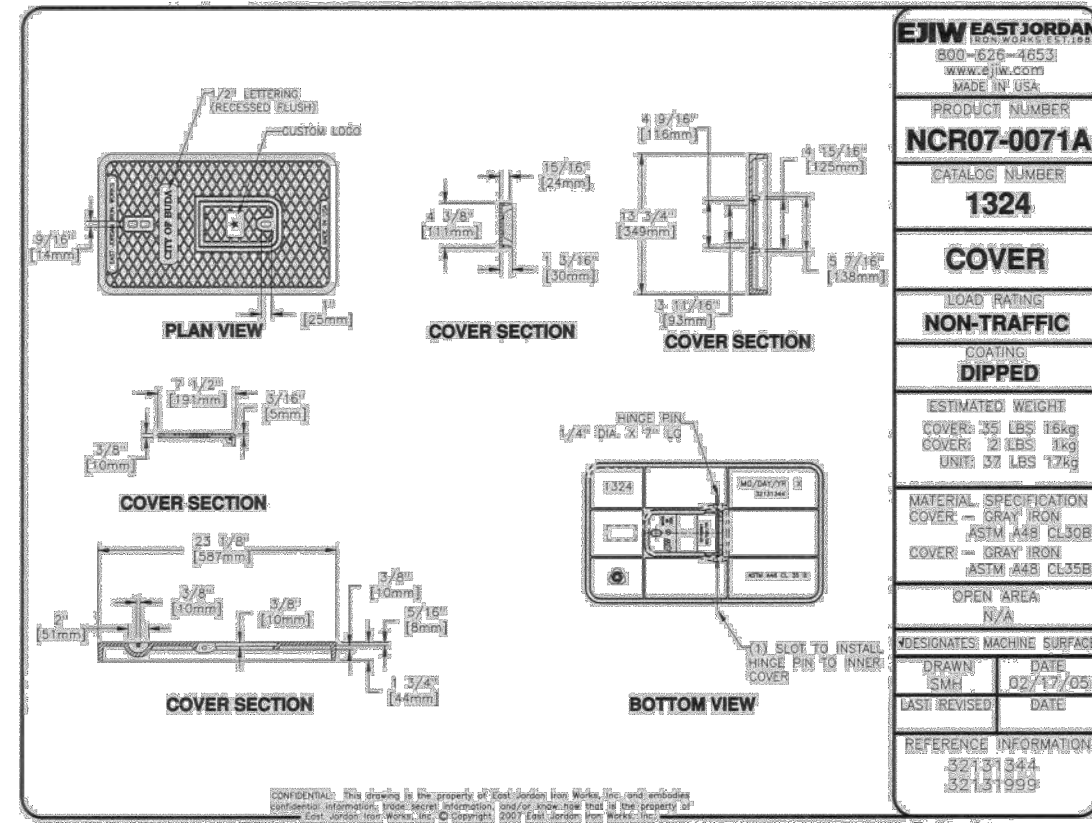
CHECKED BY: AEC

UTILITY DETAIL (1 OF 2)

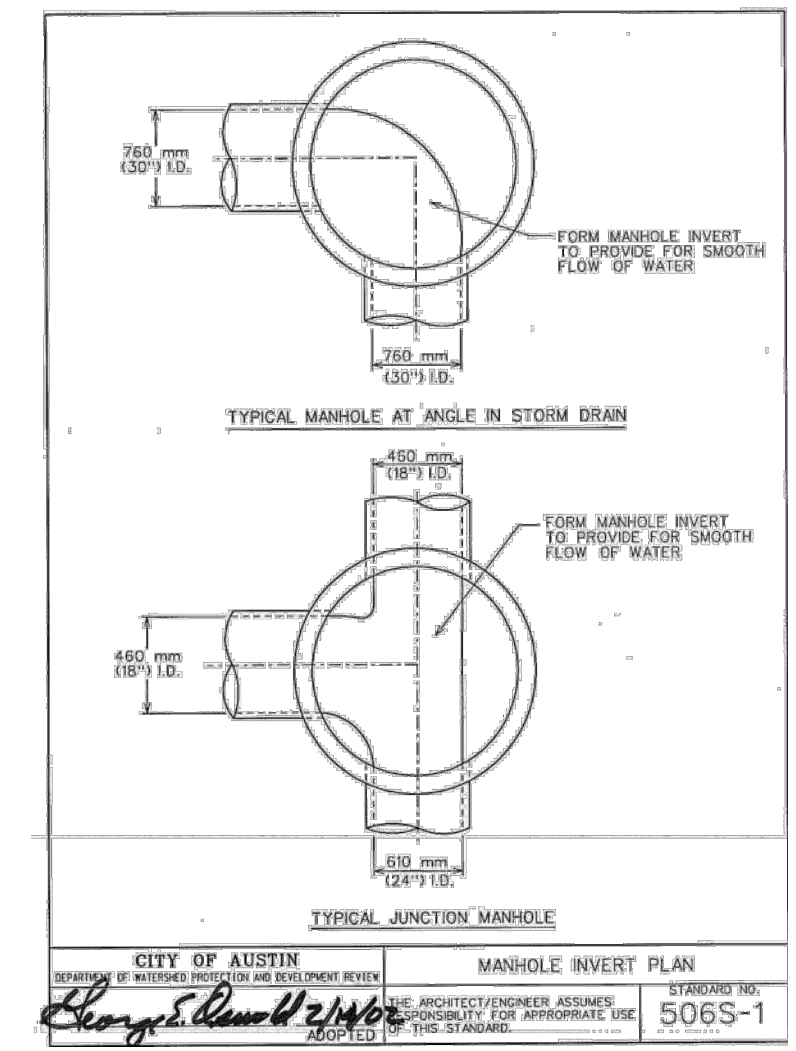
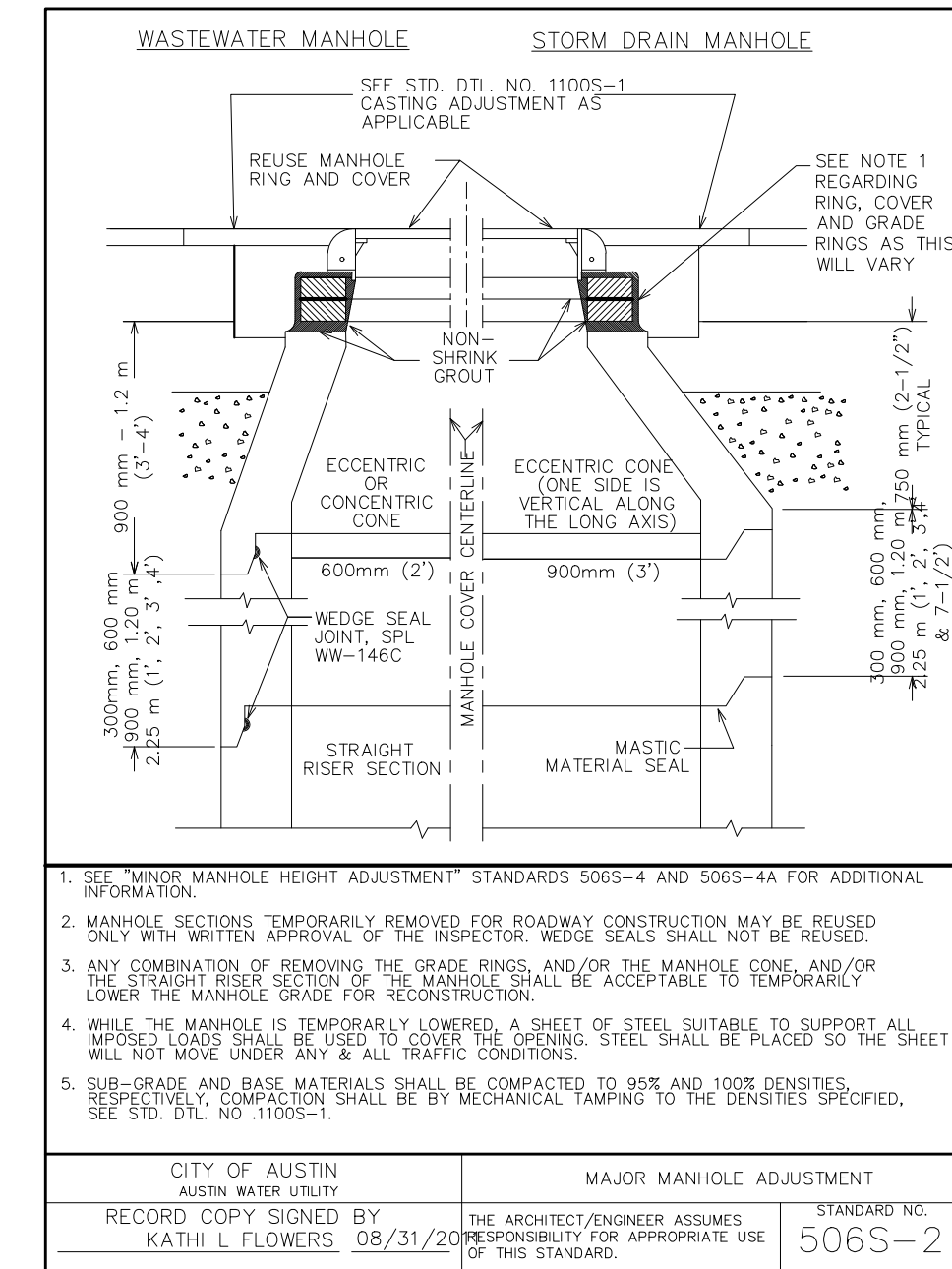
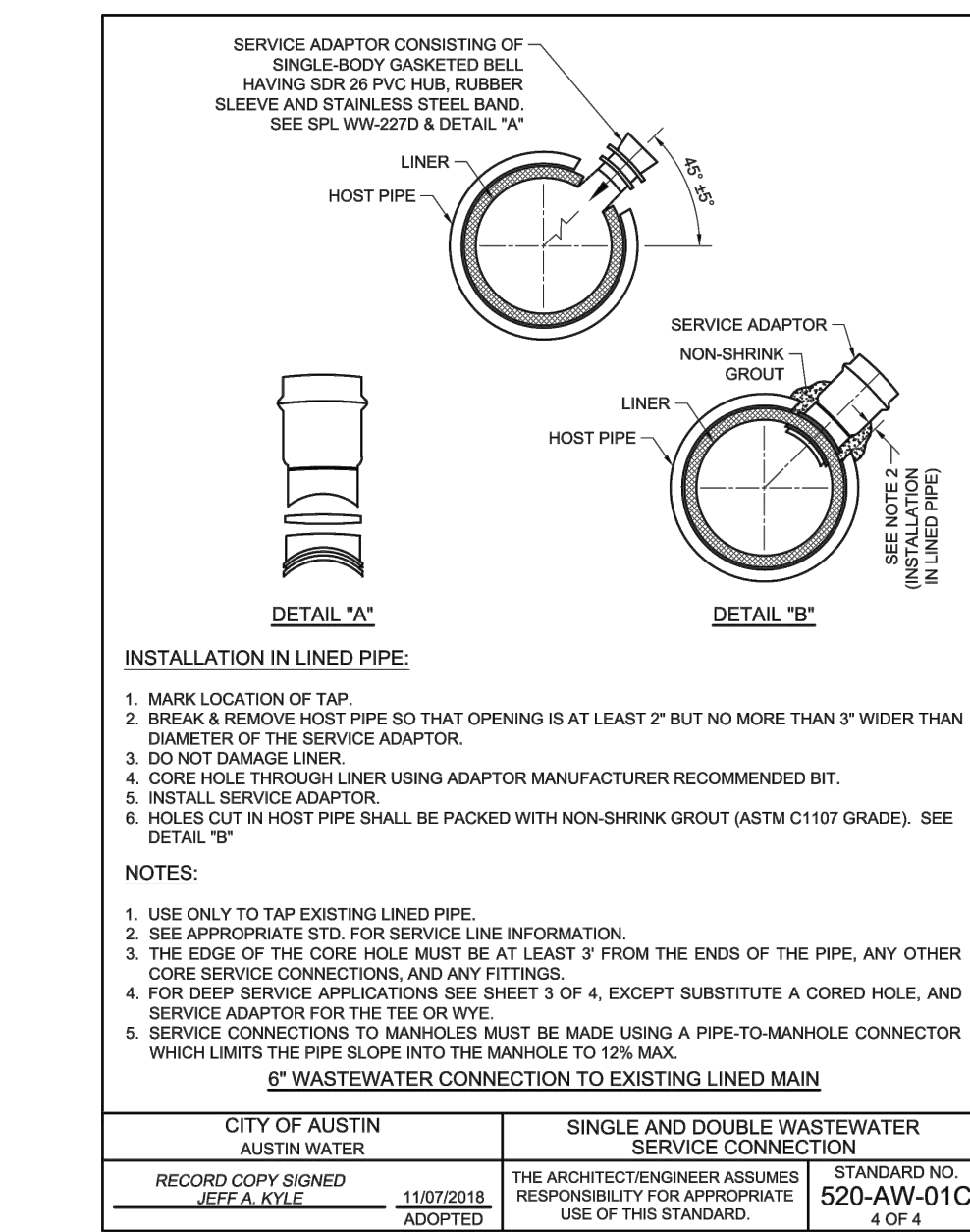
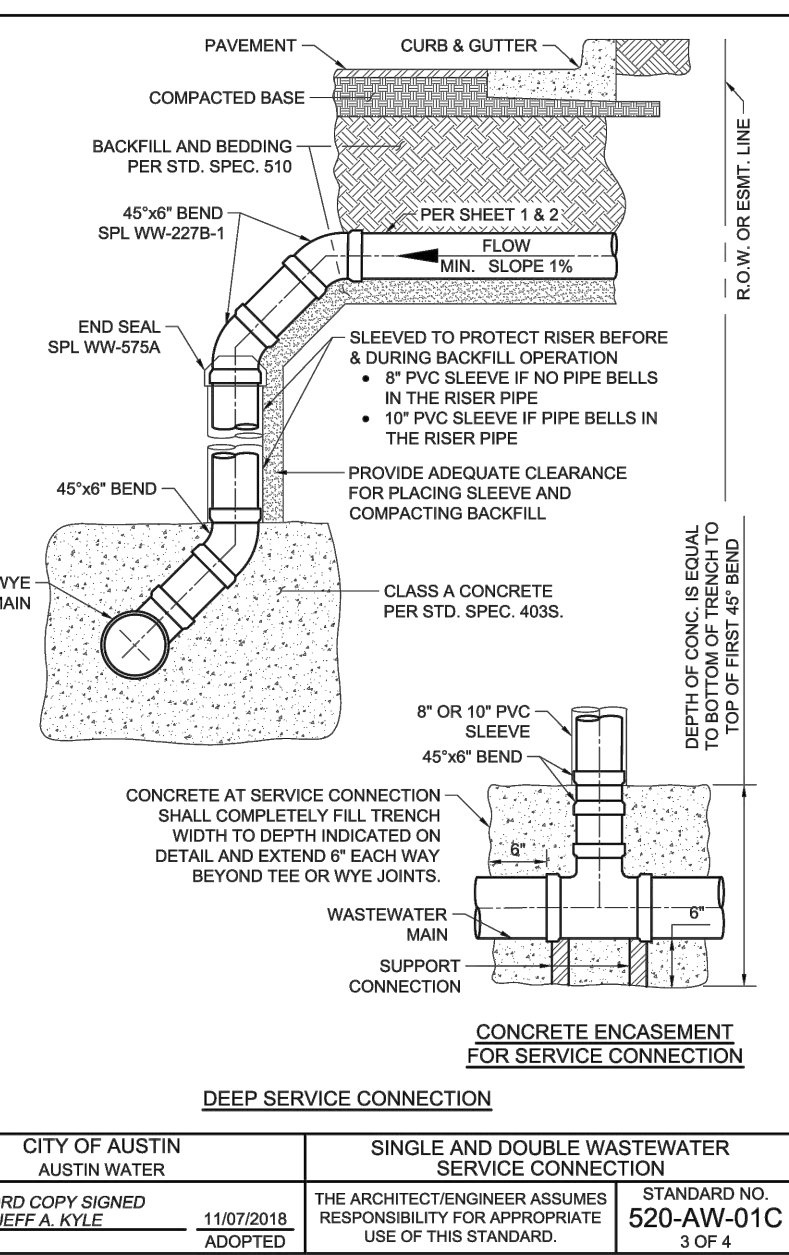
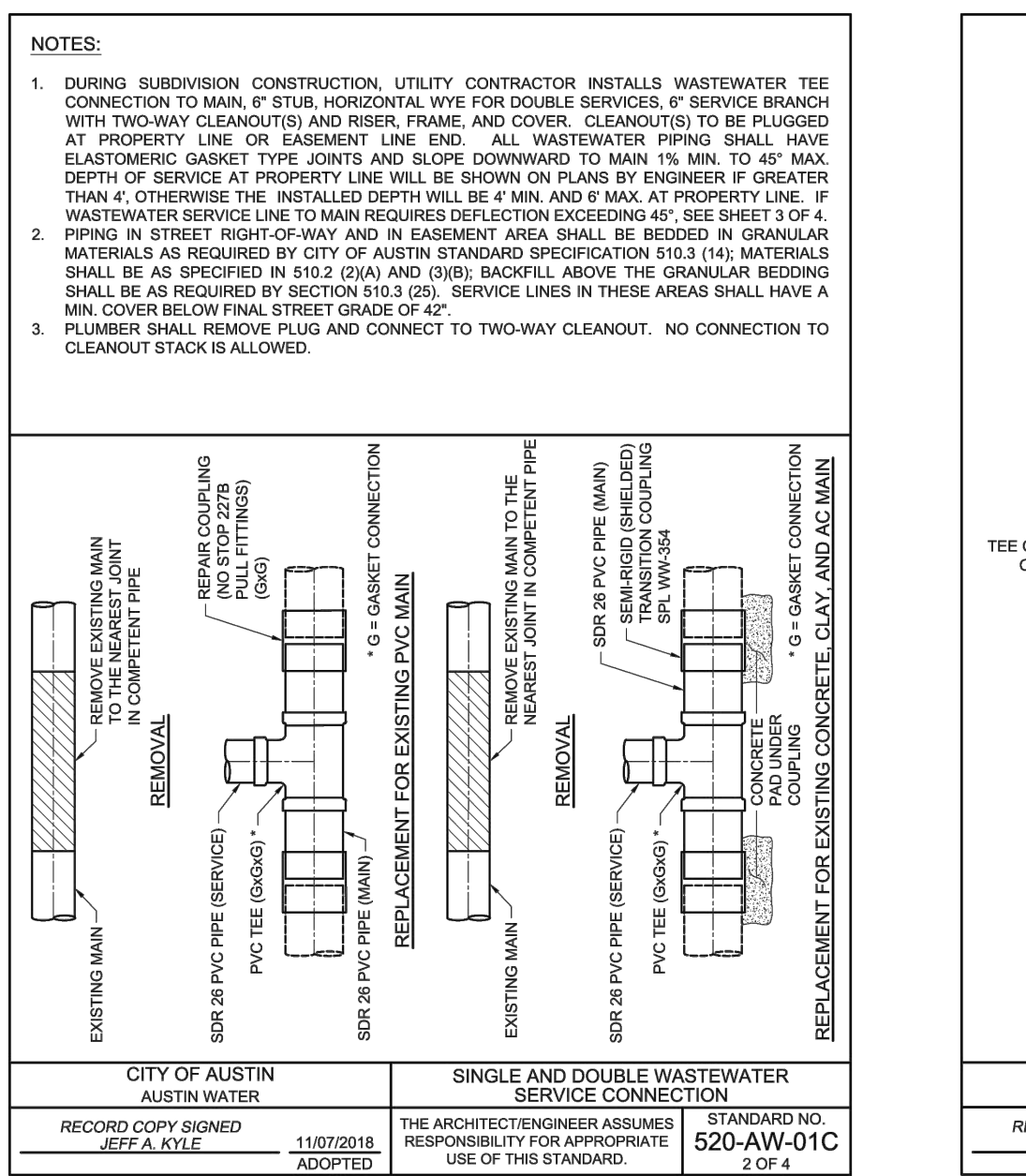
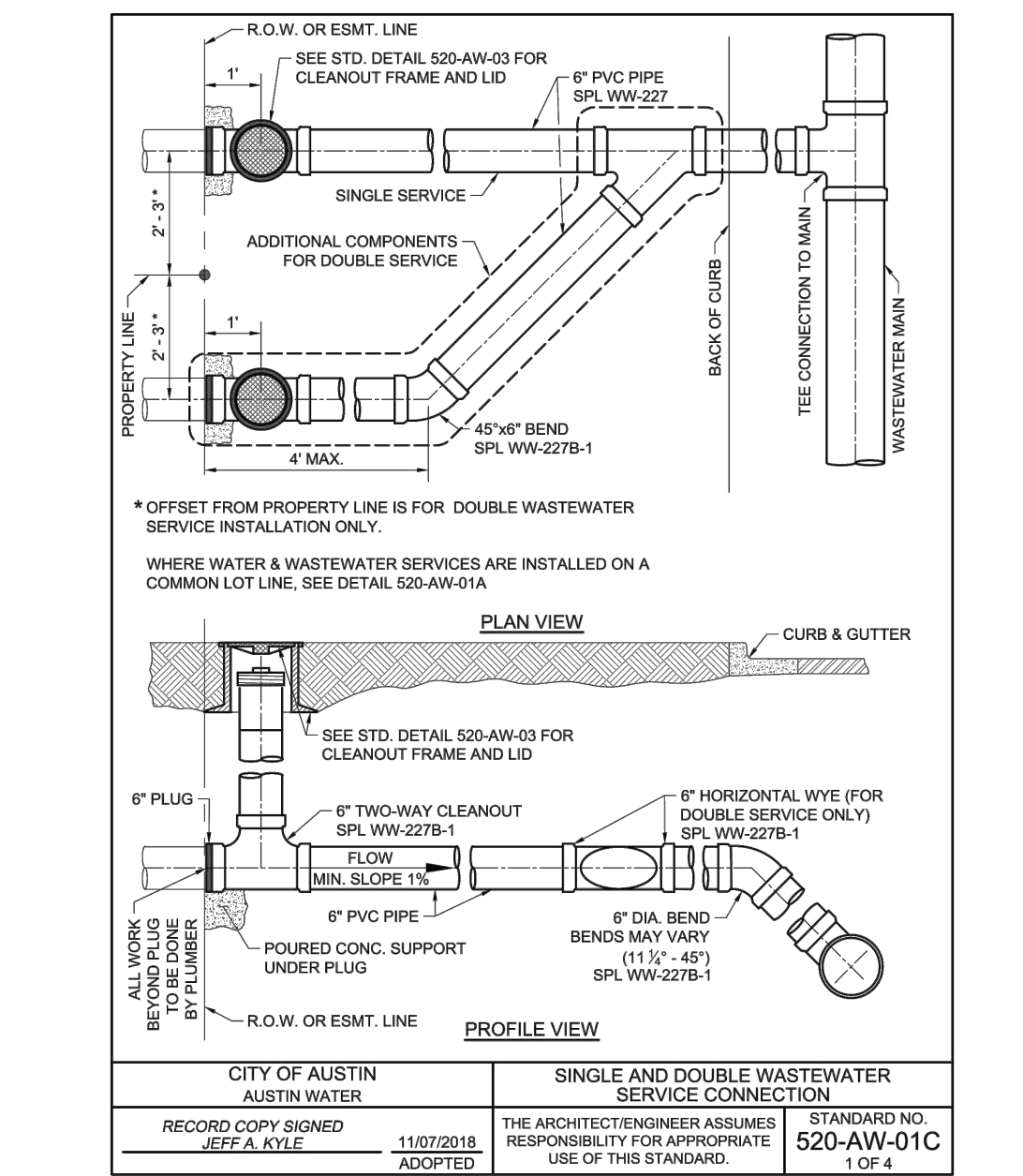
THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

SHEET NUMBER 225 OF 226

Plotted by: Lee, David Date: July 17, 2023 09:14:33am File Path: K:\SAL\_Civil\06778315 Meritage Budo Assemblies\Coa\PlanSheets\210 UTILITY DETAIL (2 OF 2).dwg  
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STORM DRAIN WATERWAY MARKER DETAIL



CONSTRUCTION PLAN APPROVAL SHEET OF 226  
FILE NUMBER APPLICATION DATE  
APPROVED BY COMMISSION ON N/A UNDER THE CITY OF BUDA  
UNIFIED BY VOLUMETRIC CODE  
EXPIRATION DATE 2021-737 CASE NUMBER 08/16/2021

A. KENNEDY  
City Engineer, City of Buda  
RELEASED FOR GENERAL COMPLIANCE, ZONING N/A

Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit is not required, must also be approved prior to the Project Expiration Date.

PERMIT NUMBER: 2021-737

UTILITY DETAIL (2 OF 2)  
THE COLONY - PHASE 1  
CITY OF BUDA  
HAYS COUNTY, TEXAS

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AUSTIN, TX 78745-5737  
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TBE Firm

7/17/2023  
ALEJANDRO E. GRANADOS ROCIO  
LICENSED PROFESSIONAL ENGINEER  
No. DATE BY

KHA PROJECT 067783115  
DATE JULY 2023  
SCALE AS SHOWN  
DESIGNED BY: WB-DM  
DRAWN BY: WB-HM, MH-LDM  
CHECKED BY: AEC

GENERAL NOTES:

1. RETAINING WALL DESIGN:
  - 1.1. STRUCTURAL DESIGN HEREIN REPRESENTS A FINISHED STRUCTURE. THE GENERAL CONTRACTOR/OWNER SHALL PROVIDE ALL INTERIM BRACINGS, SHORING, INTERIM DRAINAGE PROVISIONS, DRAINAGE DIVERSION AND EROSION PROTECTION REQUIRED UNTIL FINAL CAPPING, PAVING, CURBING AND COMPLETION OF FINAL STORM DRAIN SYSTEM IS COMPLETE.
    - 1.1.1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER TO ENSURE THAT THE FINISHED SITE DRAINAGE IS DIRECTED AWAY FROM THE RETAINING WALL SYSTEM.
    - 1.1.2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER TO ENSURE THAT THE SURFACE WATER RUNOFF FROM ADJACENT CONSTRUCTION AREAS IS NOT ALLOWED TO ENTER THE RETAINING WALL AREA OF THE CONSTRUCTION SITE.
  - 1.2. THE DESIGN OF THE RETAINING WALLS IS IN ACCORDANCE WITH ACCEPTED SOIL MECHANICS PRINCIPLES AND PROCEDURES AS WELL AS ACI 530.1-02 SPECIFICATION FOR MASONRY STRUCTURES AND INCLUDES EXTERNAL STABILITY, SLIDING AND OVERTURNING. THE APPLIED BEARING PRESSURES ARE LISTED IN THE DETAILS.
  - 1.3. THE DESIGN OF THE RETAINING WALLS IS BASED ON THE FOLLOWING DOCUMENTS:
    - DRAWINGS 25 - 36 & 142 & 144 OF 217 DATED 6/15/2022 PREPARED BY KIMLEY-HORN & ASSOCIATES, INC.
    - GEOTECHNICAL REPORT DATED 5/3/2022 PREPARED BY MLA GEOTECHNICAL ENGINEER'S JOB # 22101100.019
  - 1.4. THE DESIGN OF THE RETAINING WALL IS BASED ON THE INDIVIDUAL SOIL PROPERTIES AS LISTED ON THE DETAILS AS WELL AS THE FOLLOWING CRITERIA:
    - SEISMIC ACCELERATION = N/A
    - HYDROSTATIC LOADING = NONE
    - SURCHARGE LOADING = 100 PSF LOCATED 2'-0" FROM FACE OF WALL UNO IN DETAIL 1/D1.
2. MATERIAL PROPERTIES:
  - 2.1. PORTLAND CEMENT MORTAR:
    - 2.1.1. PORTLAND CEMENT MORTAR SHALL HAVE THE FOLLOWING PROPORTIONS PER CUBIC YARD OF MORTAR. THE PORTLAND CEMENT MORTAR SUPPLIER SHALL PROVIDE BATCH TICKETS CLEARLY INDICATING THE APPROPRIATE AMOUNT OF MATERIAL ARE PROVIDED IN EACH LOAD. THE BATCH TICKETS SHALL CLEARLY INDICATE THE AMOUNT BATCHED, THE DATE, THE PROJECT NAME AND SHALL BE PROVIDED TO ROSCH ENGINEERING FOR REVIEW.
 

MATERIAL	AMOUNT PER CUBIC YARD
TYPE 1 PORTLAND CEMENT	376 LBS
TYPE F FLY ASH	94 LBS
FINE AGGREGATE	3,250 LBS
POTABLE WATER	235 LBS
RETARDER (BASED ON EUCON 100)	48 OZ AVERAGE
    - 2.1.2. CONCRETE RETARDERS SUCH AS EUCON 100 MAY BE USED AT THE DISCRETION OF THE WALL CONTRACTOR. DURING HOT WEATHER A GREATER AMOUNT OF RETARDER IS TYPICALLY NECESSARY AND DURING COLD WEATHER A LESSOR AMOUNT IF TYPICALLY NECESSARY. FOLLOW MANUFACTURERS RECOMMENDATIONS.
    - 2.1.3. THE ABOVE PROPORTIONS WILL PROVIDE A PORTLAND CEMENT MORTAR WITH A COMPRESSIVE STRENGTH OF APPROXIMATELY 1,500 PSI. ROSCH ENGINEERING DOES NOT REQUIRE ANY TESTING OF THE MORTAR PROVIDED THE ABOVE PROPORTIONS ARE VERIFIED BY WAY OF THE BATCH TICKETS.
  - 2.2. DRAINAGE ROCK SHALL BE A CLEAN CRUSHED STONE OR GRANULAR FILL SUCH AS 1" CLEAN MEETING THE FOLLOWING GRADATION AS DETERMINED IN ACCORDANCE WITH ASTM D 422:
 

SIEVE SIZE	PERCENT PASSING
1/2 INCH	100
NO. 4	75-100
NO. 40	0-60
NO. 200	0-50
- 2.3. LOW PERMEABLE SOIL SHALL CONSIST OF MATERIAL HAVING A MINIMUM PLASTICITY INDEX OF 1.0. NO MORE THAN 10% SHALL BE RETAINED ON A NO. 4 SIEVE AND NO LESS THAN 35% SHALL PASS A NO. 200 SIEVE. MATERIAL WITH A USC DESIGNATION OF ML, CL, OR OL ARE ACCEPTABLE FOR USE AS LOW PERMEABLE SOIL.
- 2.4. GEOTEXTILE FILTER FABRIC SHALL BE A NONWOVEN GEOTEXTILE COMPOSED OF POLYPROPYLENE FIBERS WITH A MINIMUM FLOW RATE OF 140 GPM/FT<sup>2</sup> WHEN TESTED ACCORDING TO ASTM D 4491.
- 2.5. DRAINAGE PIPE SHALL BE A 4" PERFORATED, SLOTTED OR SMOOTH PVC OR CORRUGATED HDPE PIPE. DRAINAGE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM F 405 OR ASTM F 759.

CONDITION	REQUIRED FS	MIN CALCULATED FS
OVERTURNING	1.5	1.54
SLIDING	1.5	1.56
GLOBAL STABILITY	1.3	1.32
GLOBAL STABILITY @ BLDG	1.5	1.52

DESIGN TYPE 3: ON FAT CLAY  
 FOUNDATION SOIL: FAT CLAY (25° FRICTION ANGLE 120 PCF UNIT WEIGHT c=50 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 100 PSF LIVE LOAD @ 2' FROM FACE OF WALL  
 TOE SLOPE: 3H:1V (18.4°) MAX SLOPE

H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.5'	0'	0.5'	2.17'	1,000 PSF
>4' TO 6'	1.5'	0.5'	1.50'	4.00'	1,100 PSF
>6' TO 8'	2.5'	1.0'	2.50'	5.83'	1,500 PSF
>8' TO 10'	3.5'	1.25'	3.50'	7.42'	1,900 PSF
>10' TO 12'	4.0'	1.75'	4.00'	8.75'	2,300 PSF
>12' TO 14'	4.5'	1.75'	5.00'	10.08'	2,600 PSF
>14' TO 18'	6.0'	2.00'	6.00'	12.00'	3,600 PSF

DESIGN TYPE 4: ON FAT CLAY  
 FOUNDATION SOIL: FAT CLAY (25° FRICTION ANGLE 120 PCF UNIT WEIGHT c=50 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 100 PSF LIVE LOAD @ 2' FROM FACE OF WALL  
 BACKSLOPE: 10H:1V (5.7°) MAX SLOPE

H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.5'	0'	0.5'	2.17'	1,000 PSF

DESIGN TYPE 4: ON INTACT LIMESTONE  
 FOUNDATION SOIL: INTACT LIMESTONE (0° FRICTION ANGLE 140 PCF UNIT WEIGHT c=10,000 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 100 PSF LIVE LOAD @ 2' FROM FACE OF WALL  
 BACKSLOPE: 10H:1V (5.7°) MAX SLOPE

H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.5'	0'	0'	1.67'	1,000 PSF
>4' TO 6'	0.5'	0.3'	0'	2.30'	1,500 PSF
>6' TO 8'	0.5'	0.6'	0'	2.93'	1,900 PSF
>8' TO 10'	0.5'	0.9'	0'	3.57'	2,300 PSF
>10' TO 12'	0.5'	1.1'	0'	4.10'	2,900 PSF
>12' TO 14'	0.5'	1.5'	0'	4.83'	3,200 PSF
>14' TO 16'	0.5'	1.7'	0'	5.37'	3,700 PSF
>16' TO 18'	0.5'	2.0'	0'	6.00'	4,000 PSF
>18' TO 20'	0.5'	2.3'	0'	6.63'	4,400 PSF

DESIGN TYPE 5: ON FAT CLAY  
 FOUNDATION SOIL: FAT CLAY (25° FRICTION ANGLE 120 PCF UNIT WEIGHT c=50 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 100 PSF LIVE LOAD @ 2' FROM FACE OF WALL  
 BACKSLOPE: 10H:1V (5.7°) MAX SLOPE  
 TOE SLOPE: 3H:1V (18.4°) MAX SLOPE

H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.5'	0'	0.5'	2.17'	1,000 PSF

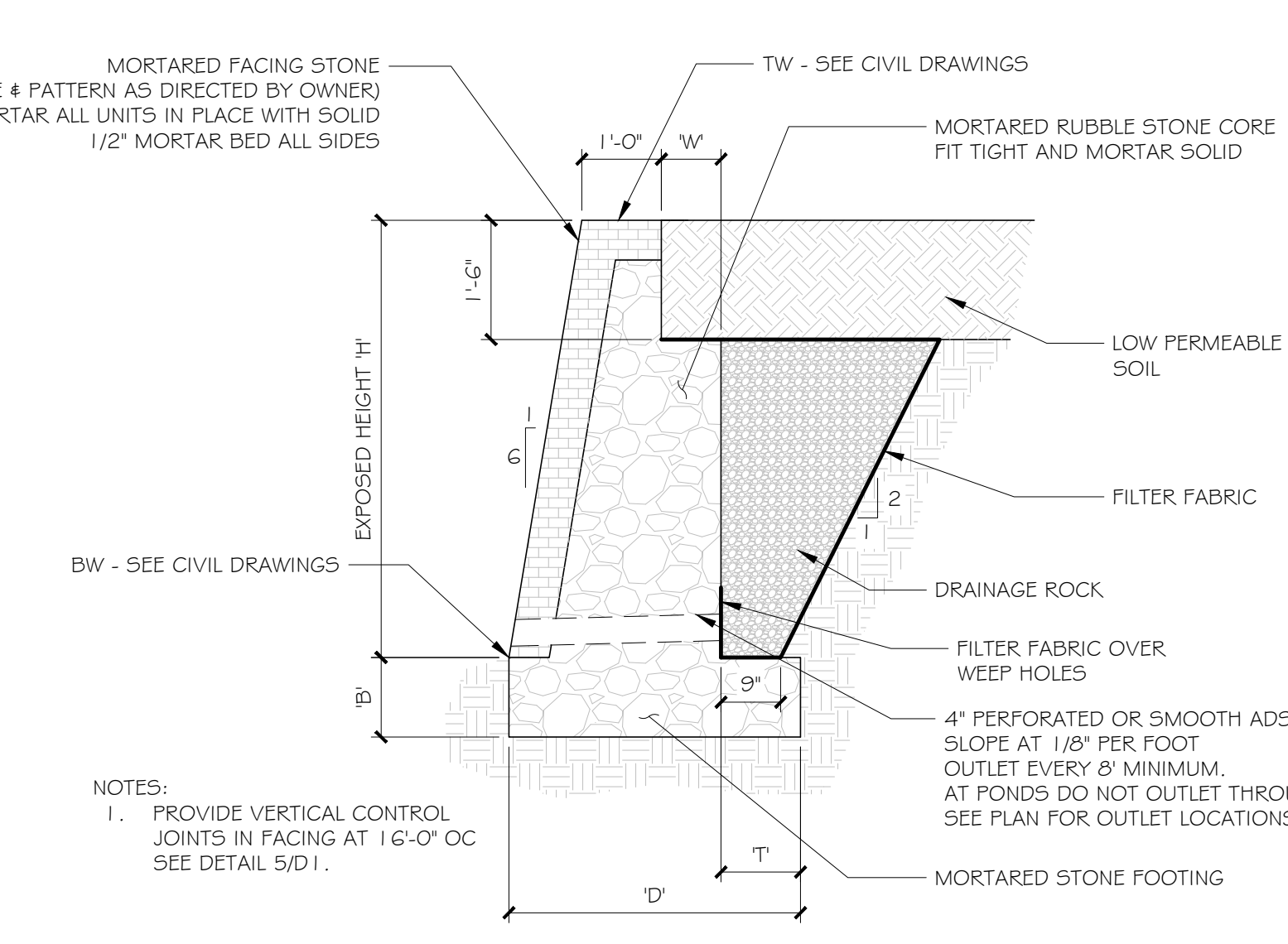
DESIGN TYPE 6: ON FAT CLAY  
 FOUNDATION SOIL: FAT CLAY (25° FRICTION ANGLE 120 PCF UNIT WEIGHT c=50 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 400 PSF DEAD LOAD @ 5' FROM FACE OF WALL

H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.7'	0'	1.0'	2.67'	1,000 PSF

DESIGN TYPE 6: ON INTACT LIMESTONE  
 FOUNDATION SOIL: INTACT LIMESTONE (0° FRICTION ANGLE 140 PCF UNIT WEIGHT c=10,000 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 400 PSF DEAD LOAD @ 5' FROM FACE OF WALL

H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.5'	0'	0'	1.67'	1,000 PSF

3. EXCAVATION:
  - 3.1. THE CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MINIMIZE OVER-EXCAVATION.
  - 3.2. EXCAVATION SUPPORT, INCLUDING THE STABILITY OF THE EXCAVATION AND ITS INFLUENCE ON ADJACENT PROPERTY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
4. FOUNDATION SOIL PREPARATION:
  - 4.1. FOLLOWING EXCAVATION FOR THE FOOTING, FOUNDATION SOIL SHALL BE EXAMINED BY THE OWNER'S GEOTECHNICAL ENGINEER TO ASSURE THE ACTUAL FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS THE ASSUMED DESIGN BEARING STRENGTH. SOIL NOT MEETING THE REQUIRED STRENGTH SHALL BE REMOVED AND REPLACED WITH SOIL MEETING THE DESIGN CRITERIA, AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
  - 4.2. FOUNDATION SOIL IS DEFINED AS THE SOIL UNDER THE FOOTING.
  - 4.3. FOUNDATION SOIL IS ASSUMED TO BE INTACT NATIVE LIMESTONE, NATIVE SOIL OR COMPACTED SELECT FILL.
5. BACKFILL PLACEMENT:
  - 5.1. DRAINAGE ROCK SHALL BE CONSOLIDATED WITH A MINIMUM OF 2 PASSES OF A VIBRATORY COMPACTOR. FIELD DENSITY TESTING WILL NOT BE REQUIRED FOR DRAINAGE ROCK.
  - 5.2. AT THE END OF EACH DAY'S OPERATION, SLOPE THE LAST LEVEL OF BACKFILL AWAY FROM THE INTERIOR (CONCEALED) FACE OF THE WALL TO DIRECT SURFACE WATER AWAY FROM THE WALL.
    - 5.2.1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE FINISHED SITE DRAINAGE IS DIRECTED AWAY FROM ALL RETAINING WALLS.
    - 5.2.2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE SURFACE WATER RUNOFF FROM ADJACENT CONSTRUCTION AREAS IS NOT ALLOWED TO ENTER THE RETAINING WALL AREA OF THE CONSTRUCTION SITE.
6. DRAIN PIPE INSTALLATION:
  - 6.1. DRAINAGE COLLECTION PIPES SHALL BE INSTALLED TO MAINTAIN GRAVITY FLOW OF WATER OUTSIDE OF THE DRAINAGE ROCK ZONE. THE DRAINAGE COLLECTION PIPE SHOULD CONNECT INTO A STORM SEWER MANHOLE OR DAYLIGHT THROUGH THE FACE OF THE WALL AS SHOWN IN THE DETAILS.
7. FIELD QUALITY CONTROL:
  - 7.1. THE OWNER OR OWNER'S REPRESENTATIVE IS RESPONSIBLE FOR ENGAGING THE SERVICES OF AN INDEPENDENT THIRD PARTY INSPECTOR TO OBSERVE AND VERIFY ALL SOIL PROPERTIES AS WELL AS VERIFY CORRECT INSTALLATION OF ALL SYSTEM COMPONENTS TO MEET THE REQUIREMENTS OF THESE GENERAL NOTES AND DRAWINGS.
  - 7.2. TESTING METHODS, FREQUENCY AND VERIFICATION OF MATERIAL SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE INDEPENDENT THIRD PARTY INSPECTOR.
8. ABBREVIATIONS:
  - FGE FINISHED GRADE EXTERIOR
  - FGI FINISHED GRADE INTERIOR
  - FL FLOW LINE
  - FS FACTOR OF SAFETY
  - MIN MINIMUM
  - OC ON CENTER
  - PL PROPERTY LINE
  - STA STATION
  - TF TOP OF FOOTING ELEVATION
  - TW TOP OF WALL ELEVATION
  - TYP TYPICAL
  - UNO UNLESS NOTED OTHERWISE



## GRAVITY WALL SECTION

DESIGN TYPE 1: ON FAT CLAY  
 FOUNDATION SOIL: FAT CLAY (25° FRICTION ANGLE 120 PCF UNIT WEIGHT c=50 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 100 PSF LIVE LOAD @ 2' FROM FACE OF WALL

H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.5'	0'	0.5'	2.17'	1,000 PSF
>4' TO 6'	0.75'	0.5'	0.75'	3.25'	1,100 PSF
>6' TO 8'	1.0'	1.0'	1.25'	4.58'	1,300 PSF
>8' TO 10'	1.5'	1.25'	2.0'	5.92'	1,700 PSF
>10' TO 12'	2.0'	1.75'	2.25'	7.00'	2,100 PSF
>12' TO 14'	3.0'	1.75'	3.0'	8.08'	2,600 PSF
>14' TO 16'	3.5'	2.0'	3.25'	8.92'	3,100 PSF
>16' TO 18'	4.0'	2.5'	3.5'	10.0'	3,400 PSF

DESIGN TYPE 2: ON FAT CLAY  
 FOUNDATION SOIL: FAT CLAY (25° FRICTION ANGLE 120 PCF UNIT WEIGHT c=50 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 100 PSF LIVE LOAD @ 2' FROM FACE OF WALL  
 TOE SLOPE: 10H:1V (5.7°) MAX SLOPE

H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.5'	0'	0.5'	2.17'	1,000 PSF
>4' TO 6'	0.75'	0.5'	0.75'	3.25'	1,100 PSF

DESIGN TYPE 7: ON FAT CLAY  
 FOUNDATION SOIL: FAT CLAY (25° FRICTION ANGLE 120 PCF UNIT WEIGHT c=50 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 25 PSF LIVE LOAD @ 2' FROM FACE OF WALL  
 BACK SLOPE: 3H:1V (18.4°) MAX SLOPE EXTENDING 12' BACK

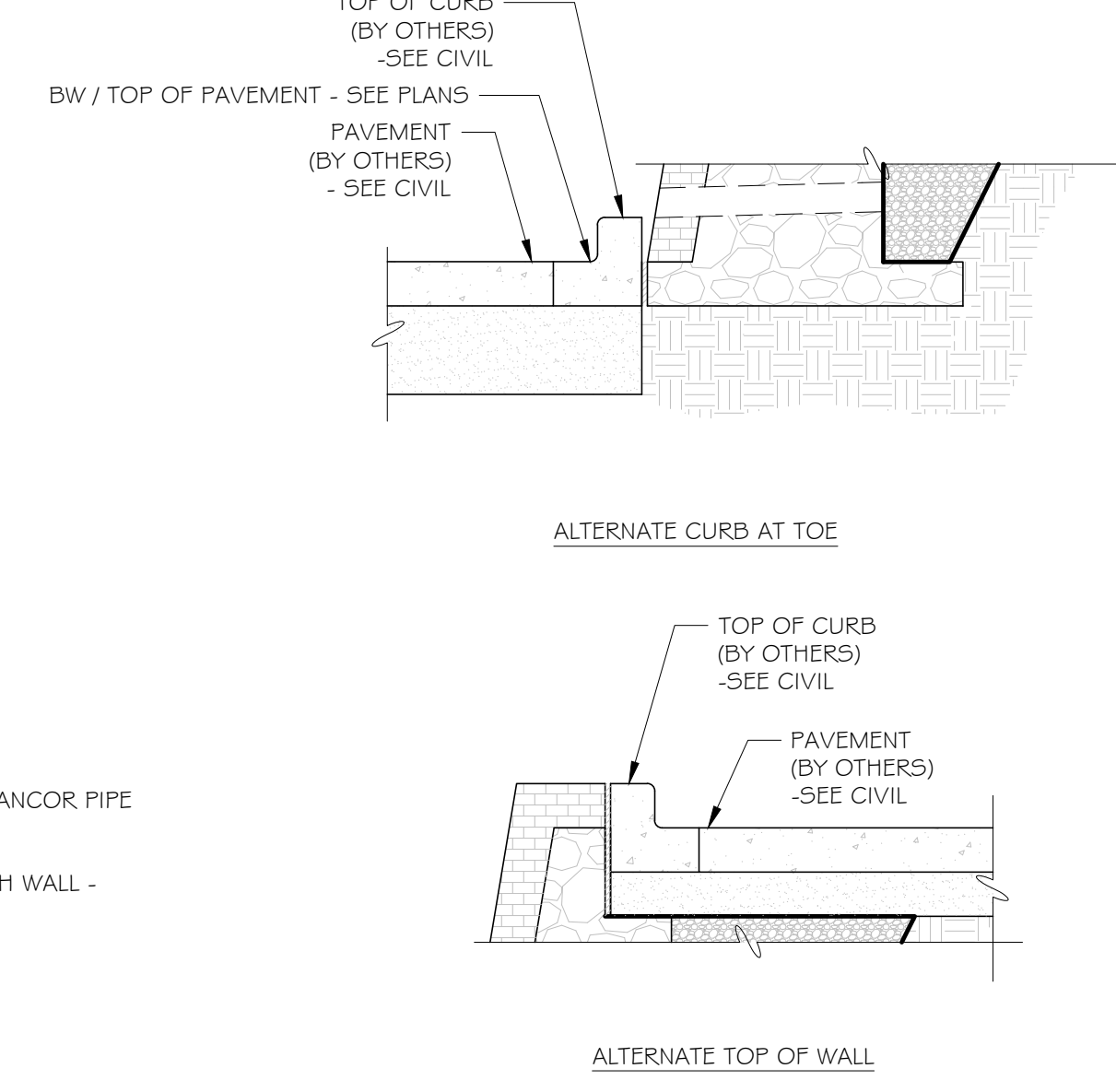
H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.5'	0'	0.5'	2.17'	1,000 PSF
>4' TO 6'	0.75'	0.5'	0.75'	3.25'	1,100 PSF
>6' TO 8'	1.0'	1.0'	1.25'	4.58'	1,500 PSF

DESIGN TYPE 8: ON FAT CLAY  
 FOUNDATION SOIL: FAT CLAY (25° FRICTION ANGLE 120 PCF UNIT WEIGHT c=50 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 250 PSF LIVE LOAD @ 5' FROM FACE OF WALL  
 TOE SLOPE: 10H:1V (5.7°) MAX SLOPE

H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.75'	0'	0.75'	2.42'	1,000 PSF
>4' TO 6'	1.25'	0.75'	1.00'	3.75'	1,200 PSF
>6' TO 8'	1.75'	1.25'	1.50'	5.08'	1,600 PSF
>8' TO 10'	2.25'	1.50'	2.00'	6.17'	2,000 PSF
>10' TO 12'	2.50'	2.00'	2.75'	7.75'	2,200 PSF
>12' TO 14'	3.50'	2.00'	3.00'	8.33'	2,900 PSF

DESIGN TYPE 10: ON FAT CLAY  
 FOUNDATION SOIL: FAT CLAY (25° FRICTION ANGLE 120 PCF UNIT WEIGHT c=50 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 40 PSF LIVE LOAD @ 2' FROM FACE OF WALL  
 BACK SLOPE: 4H:1V (18°) MAX SLOPE  
 TOE SLOPE: 3H:1V (18.4°) MAX SLOPE

H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.70'	0'	0.70'	2.37'	1,000 PSF
>4' TO 6'	2.50'	0'	3.25'	5.25'	1,300 PSF



DESIGN TYPE 1: ON INTACT LIMESTONE  
 FOUNDATION SOIL: INTACT LIMESTONE (0° FRICTION ANGLE 140 PCF UNIT WEIGHT c=10,000 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 100 PSF LIVE LOAD @ 2' FROM FACE OF WALL

H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.5'	0'	0'	1.67'	1,000 PSF
>4' TO 6'	0.5'	0.2'	0'	2.20'	1,500 PSF
>6' TO 8'	0.5'	0.5'	0'	2.83'	1,900 PSF
>8' TO 10'	0.5'	0.8'	0'	3.47'	2,200 PSF
>10' TO 12'	0.5'	1.0'	0'	4.00'	2,800 PSF
>12' TO 14'	0.5'	1.4'	0'	4.73'	3,000 PSF
>14' TO 16'	0.5'	1.7'	0'	5.37'	3,300 PSF
>16' TO 18'	0.5'	2.0'	0'	6.00'	3,700 PSF
>18' TO 20'	0.5'	2.3'	0'	6.63'	4,000 PSF

DESIGN TYPE 2: ON INTACT LIMESTONE  
 FOUNDATION SOIL: INTACT LIMESTONE (0° FRICTION ANGLE 140 PCF UNIT WEIGHT c=10,000 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 100 PSF LIVE LOAD @ 2' FROM FACE OF WALL  
 TOE SLOPE: 10H:1V (5.7°) MAX SLOPE

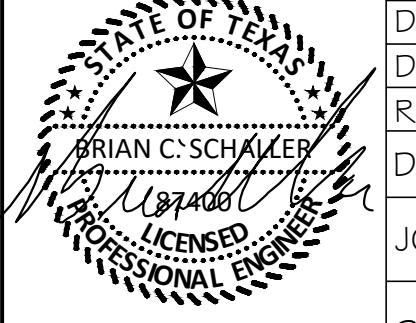
H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.5'	0'	0'	1.67'	1,000 PSF
>4' TO 6'	0.5'	0.2'	0'	2.20'	1,500 PSF
>6' TO 8'	0.5'	0.5'	0'	2.83'	1,900 PSF

DESIGN TYPE 8: ON INTACT LIMESTONE  
 FOUNDATION SOIL: INTACT LIMESTONE (0° FRICTION ANGLE 140 PCF UNIT WEIGHT c=10,000 PSF)  
 RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)  
 SURCHARGE: 250 PSF LIVE LOAD @ 5' FROM FACE OF WALL  
 TOE SLOPE: 10H:1V (5.7°) MAX SLOPE

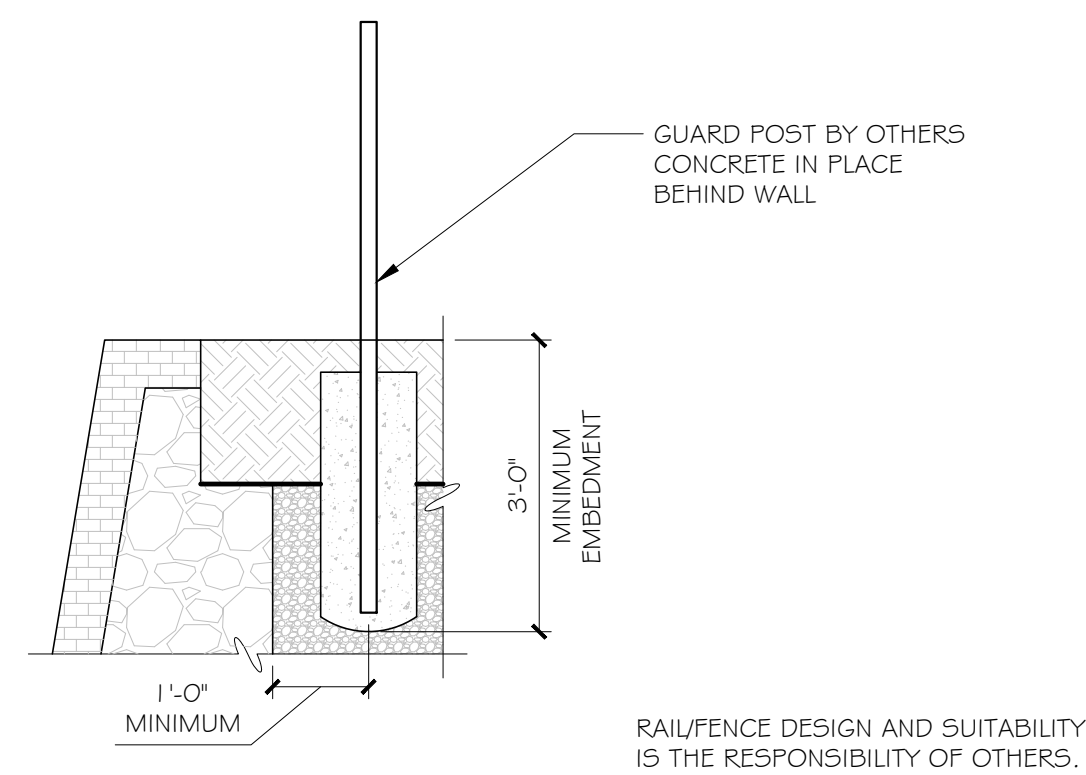
H'	B'	W	T'	D'	REQUIRED BEARING
0 TO 4'	0.5'	0'	0'	1.67'	1,100 PSF
>4' TO 6'	0.5'	0.5'	0'	2.50'	1,500 PSF

REV	DATE	DESCRIPTION
<b>ROSCH ENGINEERING</b> 3000 JOE DIMAGGIO BLVD., SUITE 28 ROUND ROCK, TX 78664 PHONE: 512-828-4167 FAX: 512-233-0540		
THE COLONY AT COLE SPRINGS BUDA, TX RETAINING WALL NOTES & DETAILS		
DESIGNED:	BCS	
DRAWN:	JTM	
DESIGN ENGINEER:	LFB	
REVIEWED:	RMJ	
DATE:	7-26-22	
JOB NO.:	22-0361	
SHEET:	D1	

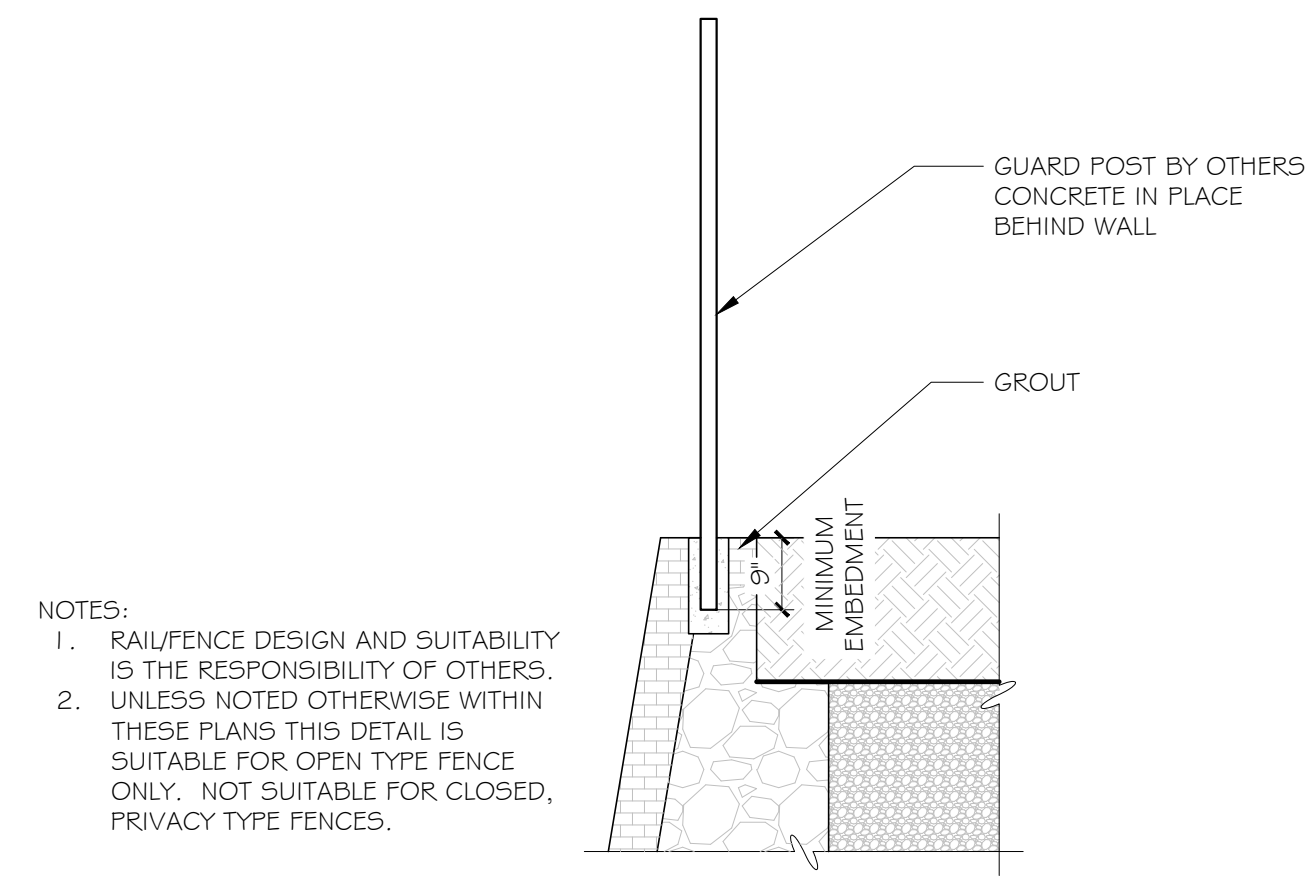
STRUCTURAL DESIGN HEREIN REPRESENTS A FINISHED STRUCTURE. THE GENERAL CONTRACTOR/OWNER SHALL PROVIDE ALL INTERIM BRACING, SHORING, INTERIM DRAINAGE PROVISIONS, DRAINAGE DIVERSION AND EROSION PROTECTION REQUIRED UNTIL FINAL CAPPING, PAVING, CURBING AND COMPLETION OF FINAL STORM DRAIN SYSTEM IS COMPLETE.



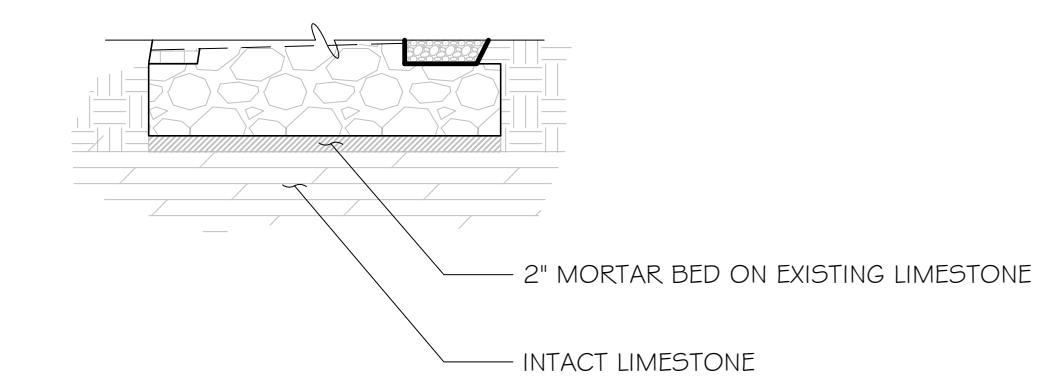
7-26-2022



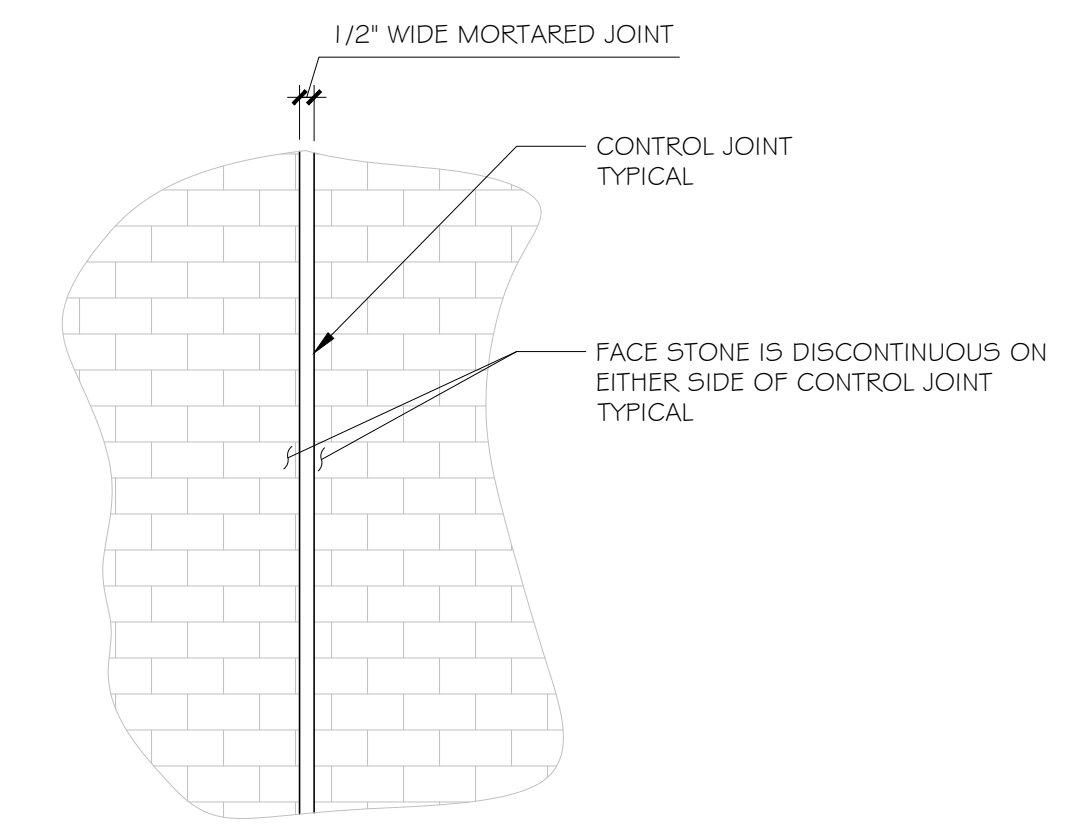
1 TYPICAL POST AT WALL  
D2 NTS



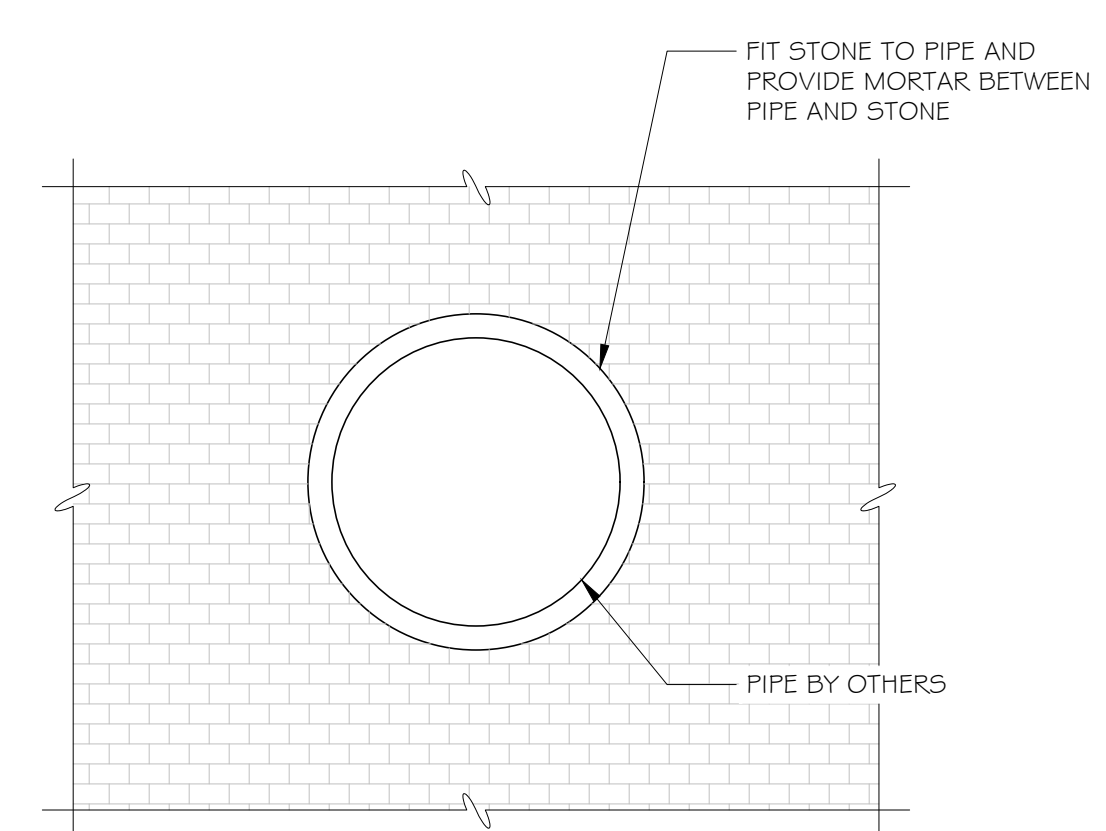
2 TYPICAL OPEN POST AT WALL  
D2 NTS



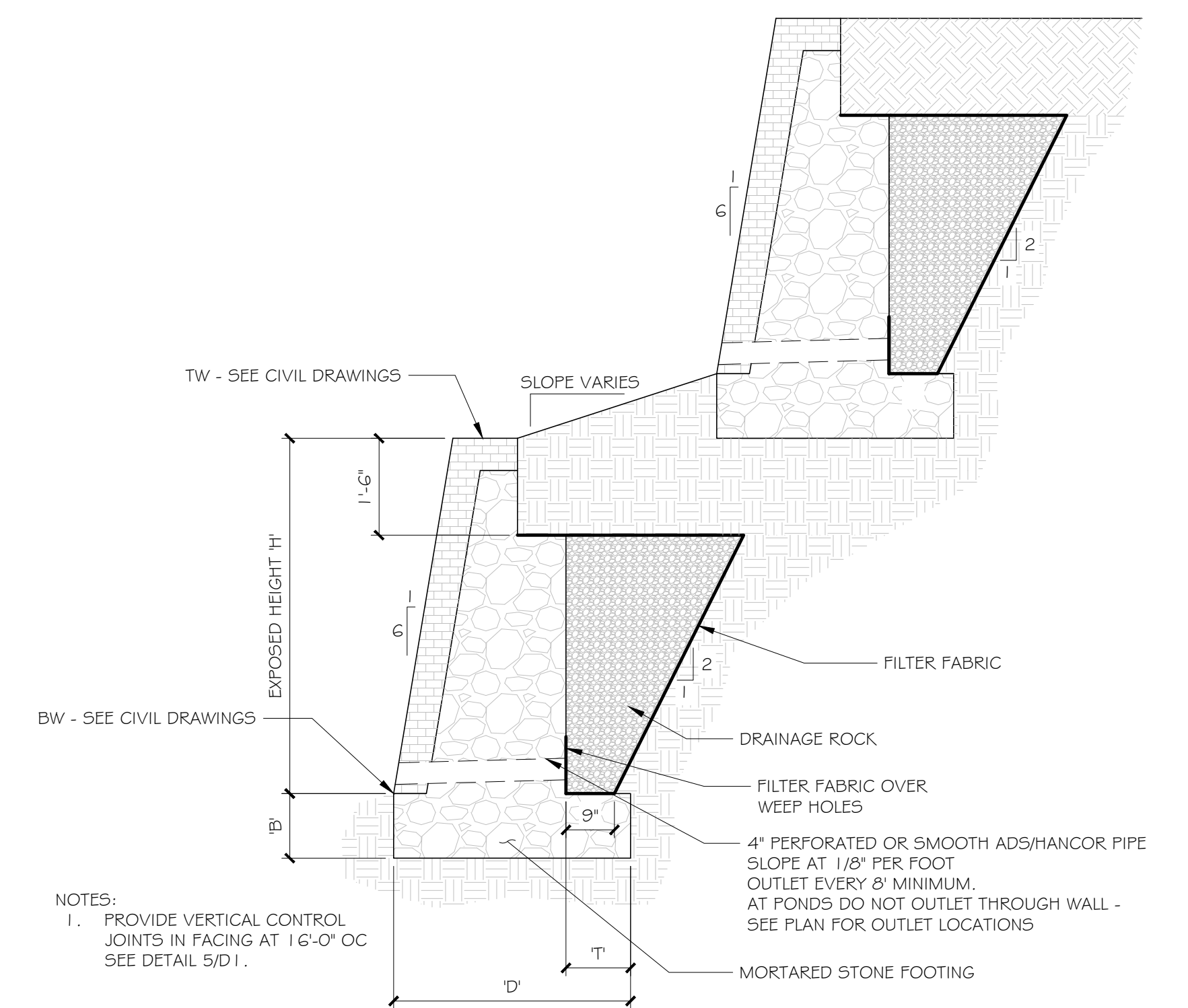
3 LIMESTONE FOUNDATION DETAIL  
D2 NTS



4 CONTROL JOINT DETAIL  
D2 NTS



5 PIPE PENETRATION DETAIL  
D2 NTS



6 TIER GRAVITY WALL SECTION  
D2 NTS SEE DETAIL 1/D1 FOR ADDITIONAL INFORMATION

DESIGN TYPE 9: LOWER TIERED WALL 2 - ON INTACT LIMESTONE

FOUNDATION SOIL: INTACT LIMESTONE (0° FRICTION ANGLE 140 PCF UNIT WEIGHT c=10,000 PSF)

RETAINED SOIL: DRAINAGE ROCK (34° FRICTION ANGLE 105 PCF UNIT WEIGHT)

SURCHARGE: 1900 PSF DEAD LOAD @ 4' FROM FACE OF WALL

H'	B'	W	T	D'	REQUIRED BEARING
>0' TO 8'	0.5'	2.75'	0'	5.08'	2,500 PSF
>8' TO 10'	0.5'	3.25'	0'	5.92'	3,200 PSF
>10' TO 12'	0.5'	3.75'	0'	6.75'	3,800 PSF
>12' TO 14'	0.5'	4.25'	0'	7.58'	4,100 PSF

STRUCTURAL DESIGN HEREIN REPRESENTS A FINISHED STRUCTURE. THE GENERAL CONTRACTOR/OWNER SHALL PROVIDE ALL INTERIM BRACING, SHORING, INTERIM DRAINAGE PROVISIONS, DRAINAGE DIVERSION AND EROSION PROTECTION REQUIRED UNTIL FINAL CAPPING, PAVING, CURBING AND COMPLETION OF FINAL STORM DRAIN SYSTEM IS COMPLETE.

REV	DATE	DESCRIPTION

**ROSCH ENGINEERING**  
3000 JOE DIMAGGIO BLVD., SUITE 28  
ROUND ROCK, TX 78664  
PHONE: 512-828-4167  
FAX: 512-233-0540

THE COLONY AT COLE SPRINGS  
BUDA, TX  
RETAINING WALL  
DETAILS

DESIGNED:	BCS
DRAWN:	JTM
DESIGN ENGINEER:	LFB
REVIEWED:	RMJ
DATE:	7-26-22
JOB NO.:	22-0361
SHEET:	D2



7-26-2022

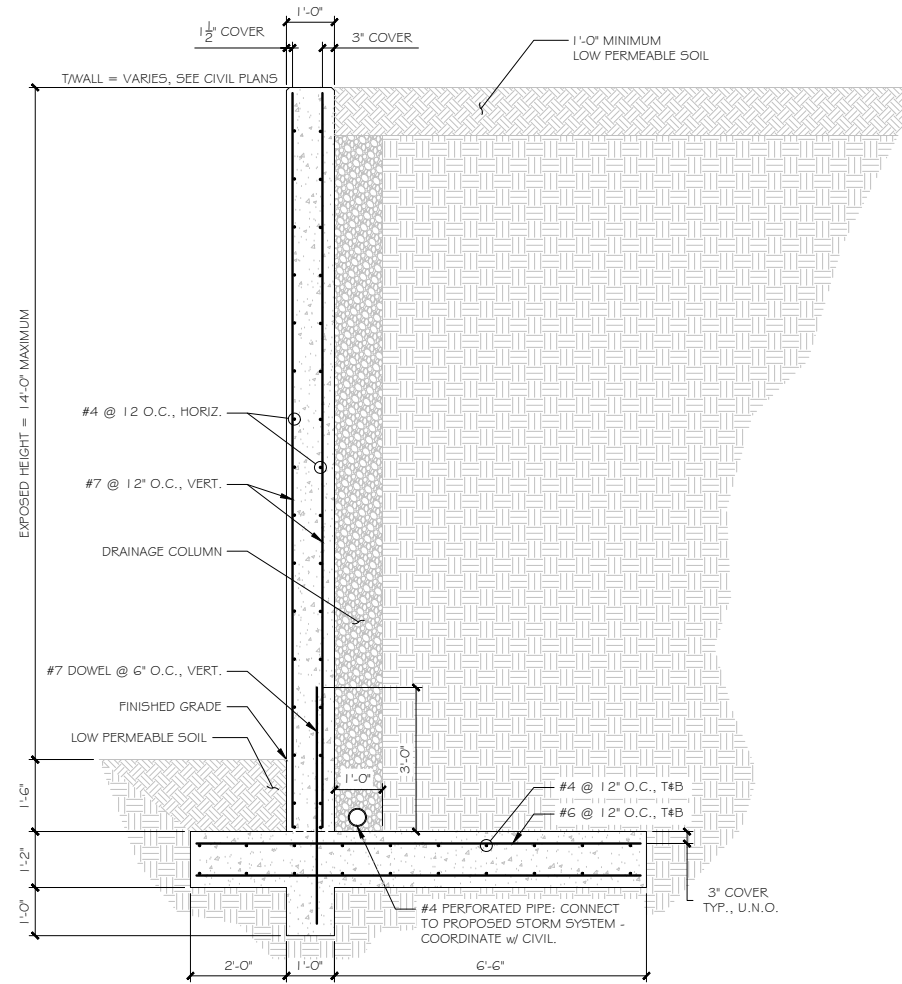


**STRUCTURAL NOTES:**

THE DESIGN OF THE RETAINING WALLS IS BASED ON THE FOLLOWING DOCUMENTS:

GEOTECHNICAL REPORT DATED 5/3/2022 PREPARED BY MLA GEOTECHNICAL ENGINEERS JOB # 22101100.019

1. FOUNDATIONS:
  - 1.1. SHALLOW FOOTINGS ARE DESIGNED TO BEAR ON MATERIAL WITH A BEARING CAPACITY OF 2,500 PSF
  - 1.2. A REGISTERED SOILS ENGINEER SHALL INSPECT BEARING MATERIALS BEFORE CONCRETE IS POURED. BACKFILL AGAINST ANY WALLS OR CONSTRUCTION SHALL NOT BE PLACED UNLESS THE WALLS ARE ADEQUATELY BRACED TO WITHSTAND THE LOADS IMPOSED DUE TO BACKFILLING. ALL COMPACTED FILL INSTALLATION SHALL BE INSPECTED AND APPROVED BY A REGISTERED SOILS ENGINEER.
  - 1.3. SEE GEOTECHNICAL REPORT FOR ANY ADDITIONAL OVEREXCAVATION AND SUBGRADE PREPARATION REQUIREMENTS. ALL RECOMMENDATIONS IN THE GEOTECHNICAL REPORT SHALL BE FOLLOWED UNLESS NOTED OTHERWISE.
2. CONCRETE:
  - 2.1. ALL CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS:
    - 2.1.1. FOOTINGS: 4,000 PSI
    - 2.1.2. EXTERIOR CONCRETE (AIR ENTRAINED): 4,000 PSI
    - 2.1.3. ALL CONCRETE EXPOSED TO FREEZING SHALL HAVE BETWEEN 5% AND 7% AIR ENTRAINMENT. NO ALUMINUM ITEMS SHALL BE EMBEDDED IN ANY CONCRETE. CHLORIDES IN ANY FORM OR CONCENTRATION SHALL NOT BE ADDED TO ANY CONCRETE.
  - 2.2. MAXIMUM WATER/CEMENT RATIOS:
    - 2.2.1. AIR ENTRAINED CONCRETE = 0.44
    - 2.2.2. NON AIR ENTRAINED CONCRETE = 0.50
  - 2.3. CHEMICAL ADMIXTURES
    - 2.3.1. WATER-REDUCING ADMIXTURE: ASTM C 494/C 494M, TYPE A.
    - 2.3.2. HIGH-RANGE, WATER REDUCING ADMIXTURE: ASTM C 494/C 494M, TYPE F.
3. REINFORCING STEEL:
  - 3.1. ALL REINFORCING STEEL SHALL BE ASTM A 615, GRADE 60, DEFORMED.
  - 3.2. ALL SMOOTH DOWELS SHALL BE ASTM A 615 GRADE 60, PLAIN-STEEL BARS.
  - 3.3. UNLESS NOTED OTHERWISE, STANDARD COVERAGE OF BARS SHALL BE:
    - 3.3.1. WHERE EARTH FORMED ..... 3 INCHES
    - 3.3.2. CONCRETE EXPOSED TO EARTH OR WEATHER
      - 3.3.3.1. NO. 6 AND LARGER ..... 2 INCHES
      - 3.3.3.2. NO. 5 AND SMALLER ..... 1½ INCHES
    - 3.3.4. CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR IN CONTACT WITH GROUND
      - 3.3.4.1. NO. 14 AND NO. 18 ..... 1½ INCHES
      - 3.3.4.2. NO. 11 AND SMALLER ..... ¾ INCHES
  - 3.4. BARS MARKED CONTINUOUS AND ALL VERTICAL STEEL SHALL BE LAPPED OR EMBEDDED TO DEVELOP THE FULL TENSILE CAPACITY OF THE BAR. LAPS SHALL BE CLASS B. UNLESS SHOWN OTHERWISE, SPLICE TOP BARS NEAR MIDSPAN AND SPLICE BOTTOM BARS OVER SUPPORTS.
  - 3.5. AT CORNERS OF ALL WALLS AND GRADE BEAMS, SUPPLY CORNER BARS 4'-0" LONG MIN. (2'-0" IN EACH DIRECTION, OR 30 BAR DIAMETERS) IN OUTSIDE FACE OF WALL MATCHING SIZE AND SPACING OF HORIZONTAL BARS. WHERE THERE ARE NO VERTICAL BARS IN OUTSIDE FACE OF WALL, SUPPLY THREE #4 VERTICAL SUPPORT BARS FOR CORNER BARS.
  - 3.6. ALL CONCRETE IS REINFORCED CONCRETE UNLESS SPECIFICALLY CALLED OUT AS UNREINFORCED. REINFORCE ALL CONCRETE NOT OTHERWISE SHOWN WITH THE SAME STEEL AS IN SIMILAR SECTIONS OR AREAS. REFER TO ACI 318-05 FOR ANY DETAILS NOT SHOWN.
  - 3.7. ACCESSORIES SHALL BE AS SPECIFIED IN LATEST EDITION OF CRSI DESIGN HANDBOOK. MAXIMUM ACCESSORY SPACING SHALL BE 4'-0" O.C.



NOTE: MAXIMUM REQUIRED BEARING PRESSURE IS 3,000 PSF

FOUNDATION SOIL	FAT CLAY (25° FRICTION ANGLE 120 PCF UNIT WEIGHT c=50 PSF)
RETAINED SOIL	FAT CLAY (25° FRICTION ANGLE 120 PCF UNIT WEIGHT)
SURCHARGE	100 PSF LIVE LOAD @ 2' FROM FACE OF WALL

1 CONCRETE HEADWALL SECTION  
S1 1/2" = 1'-0"



REV	DATE	DESCRIPTION



9-22-22

**THE COLONY**  
**AT COLE SPRINGS**  
**BUDA, TX**

DESIGNED: EC/S  
DRAWN: JVT  
DESIGN ENGINEER: JVT  
REVIEWED: RMJ  
PROJECT NO: 22-0361  
DATE: 9-22-22