



**Southwest
Engineers**

WWW.SWENGINEERS.COM | TBPE NO. F-1909

BUDA

205 CIMARRON PARK LOOP
BUDA, TX 78610
512-312-4336

CONTRIBUTING ZONE PLAN (CZP) MODIFICATION

FOR

JWLP PARKING ADDITION SITE PLAN

249 SPORTSPLEX DRIVE,
DRIPPING SPRINGS, HAYS COUNTY, TEXAS 78620

PREPARED FOR:

**INTREPID COMMERCIAL PROPERTIES, LLC
100 COMMONS ROAD, SUITE 7, #339
DRIPPING SPRINGS, TX 78620**

PREPARED BY:

SOUTHWEST ENGINEERS, INC

205 CIMARRON PARK LOOP, SUITE B
BUDA, TX 78610

P: 512.312.4336 | F: 830.672.2034

www.swengineers.com | TBPE NO. F-1909

JULY 2024

Project #: 1182-001-24

TABLE OF CONTENTS

- I. Edwards Aquifer Application Cover Page (TCEQ-20705)**

- II. Modification of a Previously Approved Contributing Zone Plan Application (TCEQ-10259)**
 - Attachment A - Original Approval Letter
 - Attachment B - Narrative of Proposed Modification
 - Attachment C - Current Site Plan of the Approved Project

- III. Contributing Zone Plan Application (TCEQ-10257)**
 - Attachment A - Road Map
 - Attachment B - USGS / Edwards Recharge Zone Map
 - Attachment C - Project Narrative
 - Attachment D - Factors Affecting Surface Water Quality
 - Attachment E - Volume and Character of Stormwater
 - Attachment F - Suitability Letter from Authorized Agent (if OSSF is proposed)
 - Attachment G - Alternative Secondary Containment Methods (if AST with an alternative method of secondary containment is proposed)
 - Attachment H - AST Containment Structure Drawings (if AST is proposed)
 - Attachment I - 20% or Less Impervious Cover Declaration (if project is multi-family residential, a school, or a small business and 20% or less impervious cover is proposed for the site)
 - Attachment J - BMPs for Upgradient Stormwater
 - Attachment K - BMPs for On-site Stormwater
 - Attachment L - BMPs for Surface Streams
 - Attachment M - Construction Plans
 - Attachment N - Inspection, Maintenance, Repair and Retrofit Plan
 - Attachment O - Pilot-Scale Field Testing Plan, if BMPs not based on Complying with the Edwards Aquifer Rules: Technical Guidance for BMPs
 - Attachment P - Measures for Minimizing Surface Stream Contamination

IV. Temporary Stormwater Section (TCEQ-0602)

Attachment A - Spill Response Actions
Attachment B - Potential Sources of Contamination
Attachment C - Sequence of Major Activities
Attachment D - Temporary Best Management Practices and Measures
Attachment E - Request to Temporarily Seal a Feature, if sealing a feature
Attachment F - Structural Practices
Attachment G - Drainage Area Map
Attachment H - Temporary Sediment Pond(s) Plans and Calculations
Attachment I - Inspection and Maintenance for BMPs
Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices

V. Copy of Notice of Intent (NOI)

VI. Agent Authorization Form (TCEQ-0599), if application submitted by agent

VII. Application Fee Form (TCEQ-0574)

VIII. Check Payable to the "Texas Commission on Environmental Quality"

IX. Core Data Form (TCEQ-10400)

I.

EDWARDS AQUIFER APPLICATION COVER PAGE
(TCEQ-20705)

Texas Commission on Environmental Quality

Edwards Aquifer Application Cover Page

Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with 30 TAC 213.

Administrative Review

1. Edwards Aquifer applications must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains "possibly sensitive" features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited.**
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a "Mid-Review Modification". Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ's Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ's San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

1. Regulated Entity Name: Intrepid Commercial Properties, LLC					2. Regulated Entity No.: RN110668845				
3. Customer Name: Intrepid Commercial Properties, LLC					4. Customer No.: CN605623669				
5. Project Type: (Please circle/check one)	New	<u>Modification</u>			Extension	Exception			
6. Plan Type: (Please circle/check one)	WPAP	<u>CZP</u>	SCS	UST	AST	EXP	EXT	Technical Clarification	Optional Enhanced Measures
7. Land Use: (Please circle/check one)	Residential	<u>Non-residential</u>				8. Site (acres):		+/- 1.045	
9. Application Fee:	\$3,000	10. Permanent BMP(s):				Vegetative Filter Strip			
11. SCS (Linear Ft.):	n/a	12. AST/UST (No. Tanks):				n/a			
13. County:	Hays	14. Watershed:				Onion Creek - Colorado River			

Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the "Texas Groundwater Conservation Districts within the EAPP Boundaries" map found at:

http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	Hays	Travis	Williamson
Original (1 req.)	<u> X </u>	—	—
Region (1 req.)	<u> X </u>	—	—
County(ies)	<u> X </u>	—	—
Groundwater Conservation District(s)	<u> </u> Edwards Aquifer Authority <u> </u> Barton Springs/ Edwards Aquifer <u> X </u> Hays Trinity <u> </u> Plum Creek	<u> </u> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<u> </u> Austin <u> </u> Buda <u> X </u> Dripping Springs <u> </u> Kyle <u> </u> Mountain City <u> </u> San Marcos <u> </u> Wimberley <u> </u> Woodcreek	<u> </u> Austin <u> </u> Bee Cave <u> </u> Pflugerville <u> </u> Rollingwood <u> </u> Round Rock <u> </u> Sunset Valley <u> </u> West Lake Hills	<u> </u> Austin <u> X </u> Cedar Park <u> </u> Florence <u> </u> Georgetown <u> </u> Jerrell <u> </u> Leander <u> </u> Liberty Hill <u> </u> Pflugerville <u> </u> Round Rock

San Antonio Region					
County:	Bexar	Comal	Kinney	Medina	Uvalde
Original (1 req.)	—	—	—	—	—
Region (1 req.)	—	—	—	—	—
County(ies)	—	—	—	—	—
Groundwater Conservation District(s)	<u> </u> Edwards Aquifer Authority <u> </u> Trinity-Glen Rose	<u> </u> Edwards Aquifer Authority	<u> </u> Kinney	<u> </u> EAA <u> </u> Medina	<u> </u> EAA <u> </u> Uvalde
City(ies) Jurisdiction	<u> </u> Castle Hills <u> </u> Fair Oaks Ranch <u> </u> Helotes <u> </u> Hill Country Village <u> </u> Hollywood Park <u> </u> San Antonio (SAWS) <u> </u> Shavano Park	<u> </u> Bulverde <u> </u> Fair Oaks Ranch <u> </u> Garden Ridge <u> </u> New Braunfels <u> </u> Schertz	NA	<u> </u> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

Alberto Gutierrez

Print Name of Customer/Authorized Agent

6/17/24

Signature of Customer/Authorized Agent

Date

****FOR TCEQ INTERNAL USE ONLY****

Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):

II.

MODIFICATION OF A PREVIOUSLY APPROVED CONTRIBUTING ZONE PLAN APPLICATION (TCEQ-10259)

Modification of a Previously Approved Contributing Zone Plan

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Transition Zone and
Relating to 30 TAC 213.4(j), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

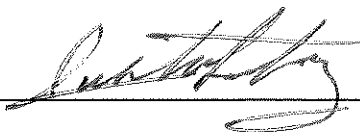
Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Modification of a Previously Approved Contributing Zone Plan** is hereby submitted for TCEQ review and executive director approval. The request was prepared by:

Print Name of Customer/Agent: Alberto Gutierrez

Date: 06/17/2024

Signature of Customer/Agent:



Project Information

1. Current Regulated Entity Name: JWLP Lot 6
Original Regulated Entity Name: JWLP Lot 6
Assigned Regulated Entity Number(s) (RN): RN110668845
Edwards Aquifer Protection Program ID Number(s): 11001441
☒ The applicant has not changed and the Customer Number (CN) is: 605623669
☐ The applicant or Regulated Entity has changed. A new Core Data Form has been provided.
2. ☒ **Attachment A: Original Approval Letter and Approved Modification Letters.** A copy of the original approval letter and copies of any modification approval letters are attached.
3. A modification of a previously approved plan is requested for (check all that apply):

- ☐ Any physical or operational modification of any best management practices or structure(s), including but not limited to temporary or permanent ponds, dams, berms, silt fences, and diversionary structures;
- ☐ Any change in the nature or character of the regulated activity from that which was originally approved;
- ☐ A change that would significantly impact the ability to prevent pollution of the Edwards Aquifer and hydrologically connected surface water; or
- ☒ Any development of land previously identified in a contributing zone plan as undeveloped.

4. ☒ Summary of Proposed Modifications (select plan type being modified). If the approved plan has been modified more than once, copy the appropriate table below, as necessary, and complete the information for each additional modification.

<i>CZP Modification</i>	<i>Approved Project</i>	<i>Proposed Modification</i>
<i>Summary</i>		
Acres	<u>1.293 Acres</u>	<u>1.045 Acres</u>
Type of Development	<u>Commercial</u>	<u>Commercial</u>
Number of Residential Lots	<u>N/A</u>	<u>N/A</u>
Impervious Cover (acres)	<u>0.882 acres</u>	<u>0.172 acres</u>
Impervious Cover (%)	<u>68.3%</u>	<u>16.5%</u>
Permanent BMPs	<u>Sand Filtration Basin</u>	<u>Vegetative Filter Strip</u>
Other	<u>N/A</u>	<u>N/A</u>
<i>AST Modification</i>	<i>Approved Project</i>	<i>Proposed Modification</i>
<i>Summary</i>		
Number of ASTs	<u>N/A</u>	<u>N/A</u>
Other	<u>N/A</u>	<u>N/A</u>
<i>UST Modification</i>	<i>Approved Project</i>	<i>Proposed Modification</i>
<i>Summary</i>		
Number of USTs	<u>N/A</u>	<u>N/A</u>
Other	<u>N/A</u>	<u>N/A</u>

5. ☒ Attachment B: Narrative of Proposed Modification. A detailed narrative description of the nature of the proposed modification is attached. It discusses what was approved,

including previous modifications, and how this proposed modification will change the approved plan.

6. ☒ **Attachment C: Current Site Plan of the Approved Project.** A current site plan showing the existing site development (i.e., current site layout) at the time this application for modification is attached. A site plan detailing the changes proposed in the submitted modification is required elsewhere.
- ☐ The approved construction has not commenced. The original approval letter and any subsequent modification approval letters are included as Attachment A to document that the approval has not expired.
- ☒ The approved construction has commenced and has been completed. Attachment C illustrates that the site was constructed as approved.
- ☐ The approved construction has commenced and has been completed. Attachment C illustrates that the site was **not** constructed as approved.
- ☐ The approved construction has commenced and has **not** been completed. Attachment C illustrates that, thus far, the site was constructed as approved.
- ☐ The approved construction has commenced and has **not** been completed. Attachment C illustrates that, thus far, the site was **not** constructed as approved.
7. ☒ Acreage has not been added to or removed from the approved plan.
- ☐ Acreage has been added to or removed from the approved plan and is discussed in *Attachment B: Narrative of Proposed Modification*.
8. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

MODIFICATION OF A PREVIOUSLY APPROVED CONTRIBUTING ZONE PLAN
ATTACHMENT A

ORIGINAL APPROVAL LETTER

Please refer to attached original TCEQ Approval Letter for JWLP Lot 6 dated March 24, 2023.

Jon Niermann, *Chairman*
Emily Lindley, *Commissioner*
Bobby Janecka, *Commissioner*
Erin E. Chancellor, *Interim Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

March 24, 2023

Mr. Chris Nygard
Intrepid Commercial Properties, LLC
100 Commons Rd, Ste 7, #399
Dripping Springs, Texas 78620

Re: Edwards Aquifer, Hays County
NAME OF PROJECT: JWLP Lot 6; Located at 249 Sportsplex Dr.; Dripping Springs, Texas
TYPE OF PLAN: Request for Modification of an Approved Contributing Zone Plan (CZP); 30
Texas Administrative Code (TAC) Chapter 213 Subchapter B Edwards Aquifer
Regulated Entity No. RN110668845; Additional ID No. 11003476

Dear Mr. Nygard:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZP Modification for the above-referenced project submitted to the Austin Regional Office by Doucet & Associates, Inc. on behalf of Intrepid Commercial Properties, LLC on February 2, 2023. Final review of the CZP Modification was completed after additional material was received on March 15, 2023 and March 20, 2023. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) were selected and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

BACKGROUND

The original CZP was approved by letter dated May 6, 2019 (11001441) for a 1.293-acre commercial site with 0.778 acres of impervious cover to be treated by a partial sedimentation/filtration basin.

PROJECT DESCRIPTION

The proposed modification for the 1.293-acre commercial site will include the addition of an elevated parking structure and modifying the approved basin design to increase the available capacity to account for the increase in impervious cover. The impervious cover on site shall increase to 0.882 acres (68.3 percent). Project wastewater will be disposed of by conveyance to the existing City of Dripping Springs wastewater treatment plant.

PERMANENT POLLUTION ABATEMENT MEASURES

To prevent the pollution of stormwater runoff originating on-site or upgradient of the site and potentially flowing across and off the site after construction, the partial sedimentation/filtration basin (11001441), designed using the TCEQ technical guidance document, Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices (2005), will be utilized to treat stormwater runoff. The required total suspended solids (TSS) treatment for this project is 793 pounds of TSS generated from the 0.882 acres of impervious cover. The approved measures meet the required 80 percent removal of the increased load in TSS caused by the project.

SPECIAL CONDITIONS

- I. This modification is subject to all Special and Standard Conditions listed in the CZP approval letter dated May 6, 2019.
- II. The modified permanent pollution abatement measures shall be operational prior to use of the new parking structure.
- III. All sediment and/or media removed from the water quality basin during maintenance activities shall be properly disposed of according to 30 TAC 330 or 30 TAC 335, as applicable.

STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

Prior to Commencement of Construction:

4. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project location until all regulated activities are completed.
5. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.

6. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the Austin Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and file number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.
7. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

8. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
9. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
10. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.
11. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
12. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.
13. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 5, above.

After Completion of Construction:

14. Owners of permanent BMPs and measures must insure that the BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the Austin Regional Office within 30 days of site completion.

Mr. Chris Nygard

Page 4

March 24, 2023

15. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through the Austin Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.
16. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
17. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the Austin Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
18. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

This action is taken under authority delegated by the Executive Director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact the Edwards Aquifer Protection Program of the Austin Regional Office at 512-339-2929.

Sincerely,



Lillian Butler, Section Manager
Edwards Aquifer Protection Program
Texas Commission on Environmental Quality

LIB/jv

Enclosures: Change in Responsibility for Maintenance of Permanent BMPs, Form TCEQ-10263

cc: Mr. Andrew Dodsen, P.E., Doucet & Associates, Inc.

**Change in Responsibility for Maintenance
on Permanent Best Management Practices and Measures**

The applicant is no longer responsible for maintaining the permanent best management practice (BMP) and other measures. The project information and the new entity responsible for maintenance is listed below.

Customer: _____

Regulated Entity Name: _____

Site Address: _____

City, Texas, Zip: _____

County: _____

Approval Letter Date: _____

BMPs for the project: _____

New Responsible Party: _____

Name of contact: _____

Mailing Address: _____

City, State: _____ Zip: _____

Telephone: _____ FAX: _____

Signature of New Responsible Party Date

I acknowledge and understand that I am assuming full responsibility for maintaining all permanent best management practices and measures approved by the TCEQ for the site, until another entity assumes such obligations in writing or ownership is transferred.

If you have questions on how to fill out this form or about the Edwards Aquifer protection program, please contact us at 210/490-3096 for projects located in the San Antonio Region or 512/339-2929 for projects located in the Austin Region.

Individuals are entitled to request and review their personal information that the agency gathers on its forms. They may also have any errors in their information corrected. To review such information, contact us at 512/239-3282.

MODIFICATION OF A PREVIOUSLY APPROVED CONTRIBUTING ZONE PLAN ATTACHMENT B

NARRATIVE OF PROPOSED MODIFICATION

A Contributing Zone Plan (CZP) was approved for the existing development on March 24, 2023, in which the developer, Intrepid Commercial Properties, LLC proposed improvements for JWLP Lot 6 consisting of a 1.293 acre commercial project to develop one (1) commercial building along with surface parking, access drives, and on-site utility improvements resulting in a sedimentation-filtration pond as the Permanent Best Management Practice (BMP) for treatment of stormwater runoff.

The impervious cover (IC) proposed for the JWLP Parking Addition as part of this modification is ± 0.172 acres (16.5% IC), covering a drainage area of ± 1.01 acres. This IC is less than the existing developments impervious cover of 68% (approximately ± 0.882 acres) for the ± 1.293 -acres lot outlined in the previously approved CZP. Therefore, the proposed IC of the parking addition falls within the limits specified in this CZP modification and corresponds with the parameters of the original CZP.

The intent of this proposed modification is to update the construction from the original CZP application and the impervious cover/drainage area for the subject site only. The existing sedimentation filtration pond is to still serve as the primary BMP for the existing development. For the proposed improvements, we will include a Vegetative Filter Strip as the Permanent BMP for treatment of stormwater runoff. The Water Quality requirements for this project was calculated using TCEQ RG-348 and has a TSS removal efficiency of 85%.

MODIFICATION OF A PREVIOUSLY APPROVED CONTRIBUTING ZONE PLAN
ATTACHMENT C

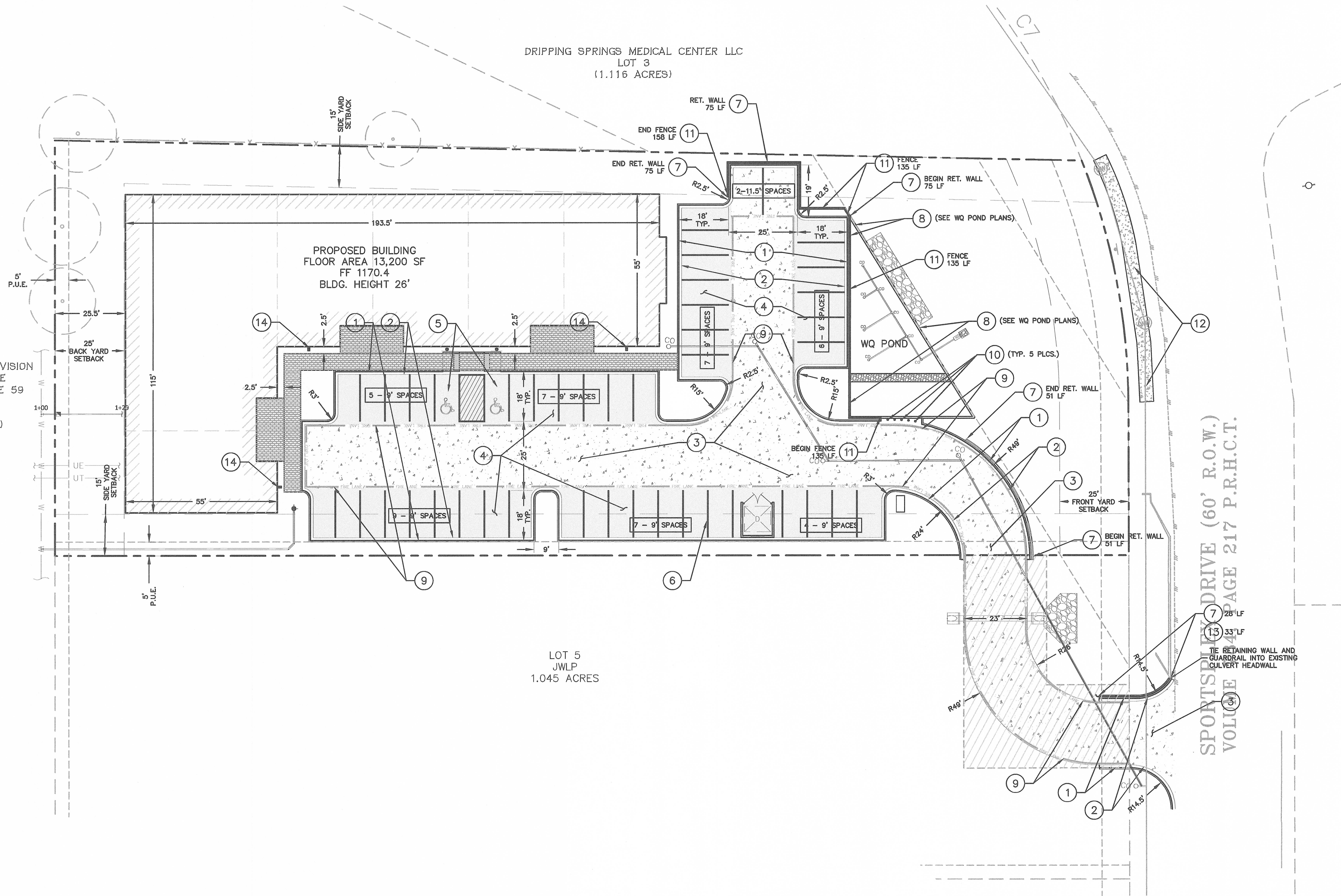
CURRENT SITE PLAN OF THE APPROVED PROJECT

Please refer to the previously approved plans provided herein as follows:

- Site Development Plan for JWLP Lot 6

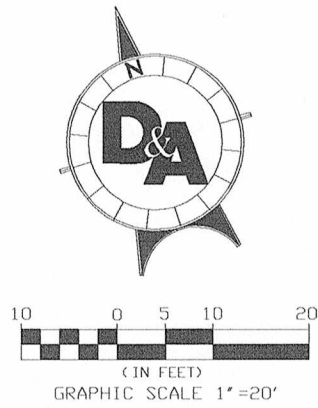
Drawing: P:\1770-002\CD\DWG\Working Drawings\1770002_CD_SP.dwg
User: GPABSONS
Last Modified: May 01, 19 - 16:57
Plot Date/Time: May 01, 19 - 16:57:50

SPORTSPLEX SUBDIVISION
NUMBER THREE
VOLUME 12, PAGE 59
D.P.R.H.C.T.
LOT 7
(2.274 ACRES)



DRIPPING SPRINGS MEDICAL CENTER LLC
LOT 3
(1.116 ACRES)

LOT 5
JWLP
1.045 ACRES



LEGEND	
	EXISTING CURB INLET
	EXISTING WASTEWATER MANHOLE
	PROPOSED PARKING BUMPER
	EXISTING FIRE HYDRANT
	EXISTING TRANSFORMER PAD
	PROPOSED SIGN
	EXISTING TREE TO REMAIN
	ELECTRIC METER
	PROPOSED ADA PARKING SYMBOL
	EXISTING FENCE
	PROPERTY BOUNDARY
	LOT BOUNDARY
	EXISTING EDGE OF PAVEMENT
	EXISTING RETAINING WALL
	EXISTING FIRE LANE STRIPING
	PROPOSED FIRE LANE STRIPING
	PROPOSED SPEED HUMP

SITE LEGEND	
1	CONSTRUCT CURB & GUTTER (SEE DETAIL ON SITE DETAIL SHEET)
2	EDGE OF CONCRETE PAVEMENT
3	HEAVY-DUTY CONCRETE PAVEMENT
4	LIGHT-DUTY CONCRETE PAVEMENT
5	VAN-ACCESSIBLE A.D.A. PARKING
6	DUMPSTER PAD WITH 6'-HIGH ENCLOSURE WALL AND GATE. (SEE DETAIL ON SITE DETAIL SHEET)
7	8"-THICK CONCRETE RETAINING WALL
8	8"-THICK CONCRETE POND WALL (SEE WQ POND PLANS FOR WALL ELEVATIONS)
9	INSTALL FIRE LANE STRIPING, PAINTED 4" WHITE LETTERS ON RED BACKGROUND "FIRE LANE - NO PARKING" AT 25' INTERVALS.
10	INSTALL CONCRETE PARKING BOLLARDS AT 2.5' SPACING, CENTER-TO-CENTER
11	INSTALL 5'-HIGH WROUGHT IRON FENCE AT TOP OF WALL
12	INSTALL APPROX. 105 LF OF 5'-WIDE CONCRETE SIDEWALK
13	INSTALL APPROX. 33 LF OF GUARDRAIL ALONG TOP OF RETAINING WALL
14	INSTALL ROOF DRAIN WITH SPLASH BLOCK

PAVING LEGEND	
	PLACE HEAVY DUTY CONCRETE PAVEMENT. (7" PORTLAND CEMENT CONCRETE, 8" COMPACTED SUBGRADE) SEE DETAIL.
	PLACE LIGHT DUTY CONCRETE PAVEMENT. (5" REINFORCED CONCRETE, 8" COMPACTED SUBGRADE) SEE DETAIL.
	PLACE CONCRETE SIDEWALK PAVEMENT (ON-SITE) PER COA DETAIL 432S-1 (SEE DETAIL SHEET DT1)
	PLACE CONCRETE SIDEWALK PAVEMENT (OFF-SITE) PER COA DETAIL 432S-1 (SEE DETAIL SHEET DT1)

IMPERVIOUS COVER CALCULATIONS	
AREA	(SF)
BUILDING	13,200
PAVEMENT	18,680
SIDEWALK	1,780
TOTAL	33,660

ZONING

CS - COMMERCIAL SERVICES

IMPERVIOUS COVER REQUIREMENTS:

MAXIMUM IMPERVIOUS COVER (%) x NET SITE AREA (sq ft) =
TOTAL ALLOWABLE IMPERVIOUS COVER (sq ft)

MAXIMUM IMPERVIOUS COVER %, CS: 70%
NET SITE AREA: 56192.4 sq ft 1.29 ac
TOTAL SEPTIC AREA: N/A
TOTAL ALLOWABLE IMPERVIOUS COVER: 39,334.68 sq ft 0.90 ac

PROPOSED IMPERVIOUS COVER: 33,660 sq ft 0.773 ac
PROPOSED IMPERVIOUS COVER %: 59.90%

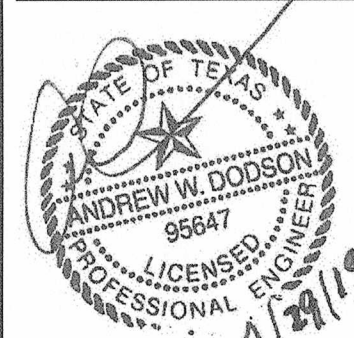
OFF-STREET PARKING REQUIREMENTS:

OFFICE: ONE (1) SPACE PER THREE HUNDRED (300) SQUARE FEET OF GROSS FLOOR AREA IN ADDITION TO ANY REQUIRED STACKING SPACES FOR DRIVE-THROUGH FACILITIES.

GROSS FLOOR AREA: 13,200 sf
REQUIRED PARKING (1 SPACE/300 sf): 44
STANDARD PARKING SPACES PROVIDED: 45
(ACCESSIBLE PARKING SPACES PROVIDED:): 2
TOTAL PARKING SPACES PROVIDED: 47

**JWLP LOT 6
CONSTRUCTION PLAN
DRIPPING SPRINGS, TEXAS**

THESE PLANS ARE RELEASED UNDER THE AUTHORITY OF ANDREW DODSON, P.E. TBPE#95647, ON APR. 29, 2019, FOR THE PURPOSES OF REVIEW AND ARE NOT TO BE USED FOR CONSTRUCTION PRIOR TO APPROVAL BY THE CITY OF DRIPPING SPRINGS.



Designed: SK
Drawn: GP
Reviewed: AD
Date: APRIL 2019
SHEET

9
OF 23
Project No: 1770-002

SITE PLAN

D&A DOUCET & ASSOCIATES
Civil Engineering - Entitlements - Surveying/Mapping
7401 B. Highway 71 W, Suite 160
Austin, Texas 78735, Phone: (512)-583-2600
www.doucetengineers.com
Firm Registration Number: 3937

III.

CONTRIBUTING ZONE APPLICATION (TCEQ-10257)

Contributing Zone Plan Application

Texas Commission on Environmental Quality

for Regulated Activities on the Contributing Zone to the Edwards Aquifer and Relating to 30 TAC §213.24(1), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Contributing Zone Plan Application** is hereby submitted for TCEQ review and Executive Director approval. The application was prepared by:

Print Name of Customer/Agent: Alberto Gutierrez

Date: 06/17/2024

Signature of Customer/Agent:



Regulated Entity Name: JWLP-Lot 6

Project Information

1. County: Hays
2. Stream Basin: Onion Creek
3. Groundwater Conservation District (if applicable): Hays Trinity
4. Customer (Applicant):

Contact Person: Chris Nygard

Entity: Intrepid Commercial Properties, LLC

Mailing Address: 100 Commons Road, Suite 7, #339

City, State: Dripping Springs, Texas

Zip: 78620

Telephone: 512-844-6871

Fax: N/A

Email Address: chris@nygardandcompany.com

5. Agent/Representative (If any):

Contact Person: Alberto Gutierrez

Entity: Southwest Engineers, Inc.

Mailing Address: 205 Cimarron Park Loop, Suite B

City, State: Buda, TX

Zip: 78610

Telephone: 512-312-4336

Fax: _____

Email Address: alberto.gutierrez@swengineers.com

6. Project Location:

- ☒ The project site is located inside the city limits of Dripping Springs.
☐ The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of _____.
☐ The project site is not located within any city's limits or ETJ.

7. ☒ The location of the project site is described below. Sufficient detail and clarity has been provided so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

249 Sportsplex Drive, Dripping Springs, Texas 78620

8. ☒ **Attachment A - Road Map.** A road map showing directions to and the location of the project site is attached. The map clearly shows the boundary of the project site.

9. ☒ **Attachment B - USGS Quadrangle Map.** A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000') is attached. The map(s) clearly show:

- ☒ Project site boundaries.
☒ USGS Quadrangle Name(s).

10. ☒ **Attachment C - Project Narrative.** A detailed narrative description of the proposed project is attached. The project description is consistent throughout the application and contains, at a minimum, the following details:

- ☒ Area of the site
☒ Offsite areas
☒ Impervious cover
☒ Permanent BMP(s)
☒ Proposed site use
☒ Site history
☒ Previous development
☒ Area(s) to be demolished

11. Existing project site conditions are noted below:

- ☒ Existing commercial site
☐ Existing industrial site
☐ Existing residential site

- ☒ Existing paved and/or unpaved roads
☐ Undeveloped (Cleared)
☒ Undeveloped (Undisturbed/Not cleared)
☐ Other: _____

12. The type of project is:

- ☐ Residential: # of Lots: _____
☐ Residential: # of Living Unit Equivalents: _____
☒ Commercial
☐ Industrial
☐ Other: _____

13. Total project area (size of site): 1.045 Acres

Total disturbed area: 0.87 Acres

14. Estimated projected population: N/A

15. The amount and type of impervious cover expected after construction is complete is shown below:

Table 1 - Impervious Cover

<i>Impervious Cover of Proposed Project</i>	<i>Sq. Ft.</i>	<i>Sq. Ft./Acre</i>	<i>Acres</i>
Structures/Rooftops	0	÷ 43,560 =	0
Parking	3588	÷ 43,560 =	0.082
Other paved surfaces	3891	÷ 43,560 =	0.090
Total Impervious Cover	7479	÷ 43,560 =	0.172

Total Impervious Cover 0.172 ÷ Total Acreage 1.045 AC X 100 = 16.5% Impervious Cover

16. ☒ **Attachment D - Factors Affecting Surface Water Quality.** A detailed description of all factors that could affect surface water quality is attached. If applicable, this includes the location and description of any discharge associated with industrial activity other than construction.

17. ☒ Only inert materials as defined by 30 TAC 330.2 will be used as fill material.

For Road Projects Only

Complete questions 18 - 23 if this application is exclusively for a road project.

☒ N/A

18. Type of project:

- ☐ TXDOT road project.
- ☐ County road or roads built to county specifications.
- ☐ City thoroughfare or roads to be dedicated to a municipality.
- ☐ Street or road providing access to private driveways.

19. Type of pavement or road surface to be used:

- ☐ Concrete
- ☐ Asphaltic concrete pavement
- ☐ Other: _____

20. Right of Way (R.O.W.):

Length of R.O.W.: _____ feet.

Width of R.O.W.: _____ feet.

$L \times W = \text{_____ Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} = \text{_____ acres.}$

21. Pavement Area:

Length of pavement area: _____ feet.

Width of pavement area: _____ feet.

$L \times W = \text{_____ Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} = \text{_____ acres.}$

Pavement area _____ acres \div R.O.W. area _____ acres $\times 100 = \text{_____ \%}$ impervious cover.

22. ☐ A rest stop will be included in this project.

☐ A rest stop will not be included in this project.

23. ☐ Maintenance and repair of existing roadways that do not require approval from the TCEQ Executive Director. Modifications to existing roadways such as widening roads/adding shoulders totaling more than one-half (1/2) the width of one (1) existing lane require prior approval from the TCEQ.

Stormwater to be generated by the Proposed Project

24. ☒ **Attachment E - Volume and Character of Stormwater.** A detailed description of the volume (quantity) and character (quality) of the stormwater runoff which is expected to occur from the proposed project is attached. The estimates of stormwater runoff quality and quantity are based on area and type of impervious cover. Include the runoff coefficient of the site for both pre-construction and post-construction conditions.

Wastewater to be generated by the Proposed Project

25. ☐ Wastewater is to be discharged in the contributing zone. Requirements under 30 TAC §213.6(c) relating to Wastewater Treatment and Disposal Systems have been satisfied.

☒ N/A

26. Wastewater will be disposed of by:

☐ On-Site Sewage Facility (OSSF/Septic Tank):

☐ **Attachment F - Suitability Letter from Authorized Agent.** An on-site sewage facility will be used to treat and dispose of the wastewater from this site. The appropriate licensing authority's (authorized agent) written approval is attached. It states that the land is suitable for the use of private sewage facilities and will meet or exceed the requirements for on-site sewage facilities as specified under 30 TAC Chapter 285 relating to On-site Sewage Facilities.

☐ Each lot in this project/development is at least one (1) acre (43,560 square feet) in size. The system will be designed by a licensed professional engineer or registered sanitarian and installed by a licensed installer in compliance with 30 TAC Chapter 285.

☐ Sewage Collection System (Sewer Lines):

The sewage collection system will convey the wastewater to the _____ (name) Treatment Plant. The treatment facility is:

☐ Existing.

☐ Proposed.

☒ N/A

Permanent Aboveground Storage Tanks(ASTs) \geq 500 Gallons

Complete questions 27 - 33 if this project includes the installation of AST(s) with volume(s) greater than or equal to 500 gallons.

☒ N/A

27. Tanks and substance stored:

Table 2 - Tanks and Substance Storage

<i>AST Number</i>	<i>Size (Gallons)</i>	<i>Substance to be Stored</i>	<i>Tank Material</i>
1			
2			
3			
4			
5			

Total x 1.5 = _____ Gallons

28. ☐ The AST will be placed within a containment structure that is sized to capture one and one-half (1 1/2) times the storage capacity of the system. For facilities with more than

5 of 11

one tank system, the containment structure is sized to capture one and one-half (1 1/2) times the cumulative storage capacity of all systems.

- ☐ **Attachment G - Alternative Secondary Containment Methods.** Alternative methods for providing secondary containment are proposed. Specifications showing equivalent protection for the Edwards Aquifer are attached.

29. Inside dimensions and capacity of containment structure(s):

Table 3 - Secondary Containment

<i>Length (L)(Ft.)</i>	<i>Width(W)(Ft.)</i>	<i>Height (H)(Ft.)</i>	<i>L x W x H = (Ft3)</i>	<i>Gallons</i>

Total: _____ Gallons

30. Piping:

- ☐ All piping, hoses, and dispensers will be located inside the containment structure.
- ☐ Some of the piping to dispensers or equipment will extend outside the containment structure.
- ☐ The piping will be aboveground
- ☐ The piping will be underground

31. ☐ The containment area must be constructed of and in a material impervious to the substance(s) being stored. The proposed containment structure will be constructed of: _____.

32. ☐ **Attachment H - AST Containment Structure Drawings.** A scaled drawing of the containment structure is attached that shows the following:

- ☐ Interior dimensions (length, width, depth and wall and floor thickness).
- ☐ Internal drainage to a point convenient for the collection of any spillage.
- ☐ Tanks clearly labeled
- ☐ Piping clearly labeled
- ☐ Dispenser clearly labeled

33. ☐ Any spills must be directed to a point convenient for collection and recovery. Spills from storage tank facilities must be removed from the controlled drainage area for disposal within 24 hours of the spill.

- ☐ In the event of a spill, any spillage will be removed from the containment structure within 24 hours of the spill and disposed of properly.

- ☐ In the event of a spill, any spillage will be drained from the containment structure through a drain and valve within 24 hours of the spill and disposed of properly. The drain and valve system are shown in detail on the scaled drawing.

Site Plan Requirements

Items 34 - 46 must be included on the Site Plan.

34. ☒ The Site Plan must have a minimum scale of 1" = 400'.
Site Plan Scale: 1" = 20'.
35. 100-year floodplain boundaries:
- ☐ Some part(s) of the project site is located within the 100-year floodplain. The floodplain is shown and labeled.
- ☒ No part of the project site is located within the 100-year floodplain.
The 100-year floodplain boundaries are based on the following specific (including date of material) source(s): FEMA FIRM MAP No. 48209C01055, dated September 2, 2005.
36. ☒ The layout of the development is shown with existing and finished contours at appropriate, but not greater than ten-foot contour intervals. Lots, recreation centers, buildings, roads, etc. are shown on the site plan.
- ☐ The layout of the development is shown with existing contours at appropriate, but not greater than ten-foot contour intervals. Finished topographic contours will not differ from the existing topographic configuration and are not shown. Lots, recreation centers, buildings, roads, etc. are shown on the site plan.
37. ☒ A drainage plan showing all paths of drainage from the site to surface streams.
38. ☒ The drainage patterns and approximate slopes anticipated after major grading activities.
39. ☒ Areas of soil disturbance and areas which will not be disturbed.
40. ☒ Locations of major structural and nonstructural controls. These are the temporary and permanent best management practices.
41. ☒ Locations where soil stabilization practices are expected to occur.
42. ☐ Surface waters (including wetlands).
☒ N/A
43. ☐ Locations where stormwater discharges to surface water.
☒ There will be no discharges to surface water.
44. ☐ Temporary aboveground storage tank facilities.
☒ Temporary aboveground storage tank facilities will not be located on this site.

45. ☐ Permanent aboveground storage tank facilities.
☒ Permanent aboveground storage tank facilities will not be located on this site.
46. ☒ Legal boundaries of the site are shown.

Permanent Best Management Practices (BMPs)

Practices and measures that will be used during and after construction is completed.

47. ☒ Permanent BMPs and measures must be implemented to control the discharge of pollution from regulated activities after the completion of construction.
☐ N/A
48. ☒ These practices and measures have been designed, and will be constructed, operated, and maintained to insure that 80% of the incremental increase in the annual mass loading of total suspended solids (TSS) from the site caused by the regulated activity is removed. These quantities have been calculated in accordance with technical guidance prepared or accepted by the executive director.
☒ The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site.
☐ A technical guidance other than the TCEQ TGM was used to design permanent BMPs and measures for this site. The complete citation for the technical guidance that was used is: _____.
☐ N/A
49. ☒ Owners must insure that permanent BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the appropriate regional office within 30 days of site completion.
☐ N/A
50. Where a site is used for low density single-family residential development and has 20 % or less impervious cover, other permanent BMPs are not required. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.
☐ The site will be used for low density single-family residential development and has 20% or less impervious cover.
☐ The site will be used for low density single-family residential development but has more than 20% impervious cover.
☒ The site will not be used for low density single-family residential development.

51. The executive director may waive the requirement for other permanent BMPs for multi-family residential developments, schools, or small business sites where 20% or less impervious cover is used at the site. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

- ☐ **Attachment I - 20% or Less Impervious Cover Waiver.** The site will be used for multi-family residential developments, schools, or small business sites and has 20% or less impervious cover. A request to waive the requirements for other permanent BMPs and measures is attached.
- ☐ The site will be used for multi-family residential developments, schools, or small business sites but has more than 20% impervious cover.
- ☒ The site will not be used for multi-family residential developments, schools, or small business sites.

52. ☒ **Attachment J - BMPs for Upgradient Stormwater.**

- ☐ A description of the BMPs and measures that will be used to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site is attached.
- ☒ No surface water, groundwater or stormwater originates upgradient from the site and flows across the site, and an explanation is attached.
- ☐ Permanent BMPs or measures are not required to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site, and an explanation is attached.

53. ☒ **Attachment K - BMPs for On-site Stormwater.**

- ☒ A description of the BMPs and measures that will be used to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff from the site is attached.
- ☐ Permanent BMPs or measures are not required to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff, and an explanation is attached.

54. ☒ **Attachment L - BMPs for Surface Streams.** A description of the BMPs and measures that prevent pollutants from entering surface streams is attached.

☐ N/A

55. ☒ **Attachment M - Construction Plans.** Construction plans and design calculations for the proposed permanent BMPs and measures have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer, and are signed, sealed, and dated. Construction plans for the proposed permanent BMPs and measures are

attached and include: Design calculations, TCEQ Construction Notes, all proposed structural plans and specifications, and appropriate details.

☐ N/A

56. ☒ **Attachment N - Inspection, Maintenance, Repair and Retrofit Plan.** A site and BMP specific plan for the inspection, maintenance, repair, and, if necessary, retrofit of the permanent BMPs and measures is attached. The plan fulfills all of the following:

- ☒ Prepared and certified by the engineer designing the permanent BMPs and measures
- ☒ Signed by the owner or responsible party
- ☒ Outlines specific procedures for documenting inspections, maintenance, repairs, and, if necessary, retrofit.
- ☒ Contains a discussion of record keeping procedures

☐ N/A

57. ☐ **Attachment O - Pilot-Scale Field Testing Plan.** Pilot studies for BMPs that are not recognized by the Executive Director require prior approval from the TCEQ. A plan for pilot-scale field testing is attached.

☒ N/A

58. ☒ **Attachment P - Measures for Minimizing Surface Stream Contamination.** A description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is attached. The measures address increased stream flashing, the creation of stronger flows and in-stream velocities, and other in-stream effects caused by the regulated activity, which increase erosion that result in water quality degradation.

☐ N/A

Responsibility for Maintenance of Permanent BMPs and Measures after Construction is Complete.

59. ☒ The applicant is responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred.
60. ☒ A copy of the transfer of responsibility must be filed with the executive director at the appropriate regional office within 30 days of the transfer if the site is for use as a multiple single-family residential development, a multi-family residential development,

or a non-residential development such as commercial, industrial, institutional, schools, and other sites where regulated activities occur.

Administrative Information

61. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions.
62. ☒ Any modification of this Contributing Zone Plan may require TCEQ review and Executive Director approval prior to construction, and may require submission of a revised application, with appropriate fees.
63. ☐ The site description, controls, maintenance, and inspection requirements for the storm water pollution prevention plan (SWPPP) developed under the EPA NPDES general permits for stormwater discharges have been submitted to fulfill paragraphs 30 TAC §213.24(1-5) of the technical report. All requirements of 30 TAC §213.24(1-5) have been met by the SWPPP document.
- ☒ The Temporary Stormwater Section (TCEQ-0602) is included with the application.



**Southwest
Engineers**

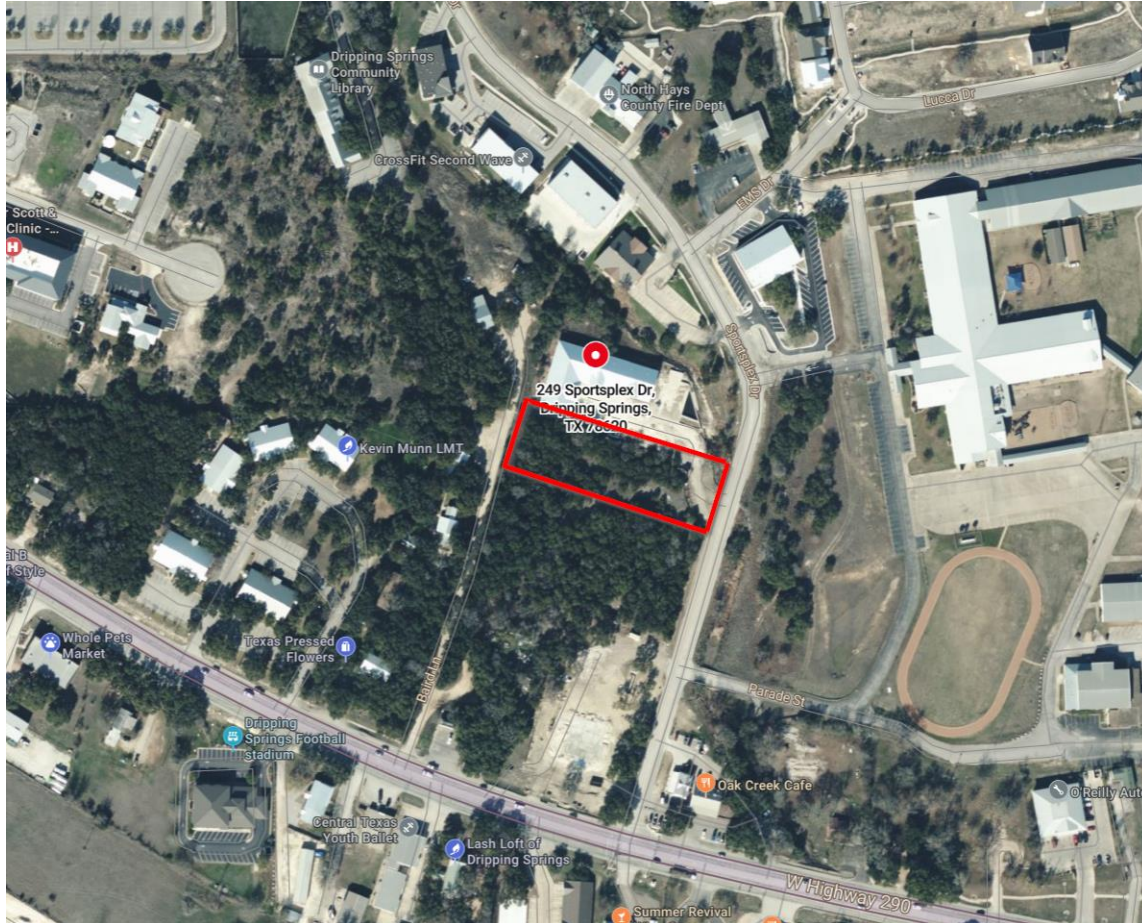
WWW.SWENGINEERS.COM | TBPE NO. F-1909

BUDA

205 CIMARRON PARK LOOP
BUDA, TX 78610
512-312-4336

CONTRIBUTING ZONE PLAN ATTACHMENT A

ROAD/LOCATION MAP



Location Map

*249 Sportsplex Drive,
Dripping Springs, Texas 78620*

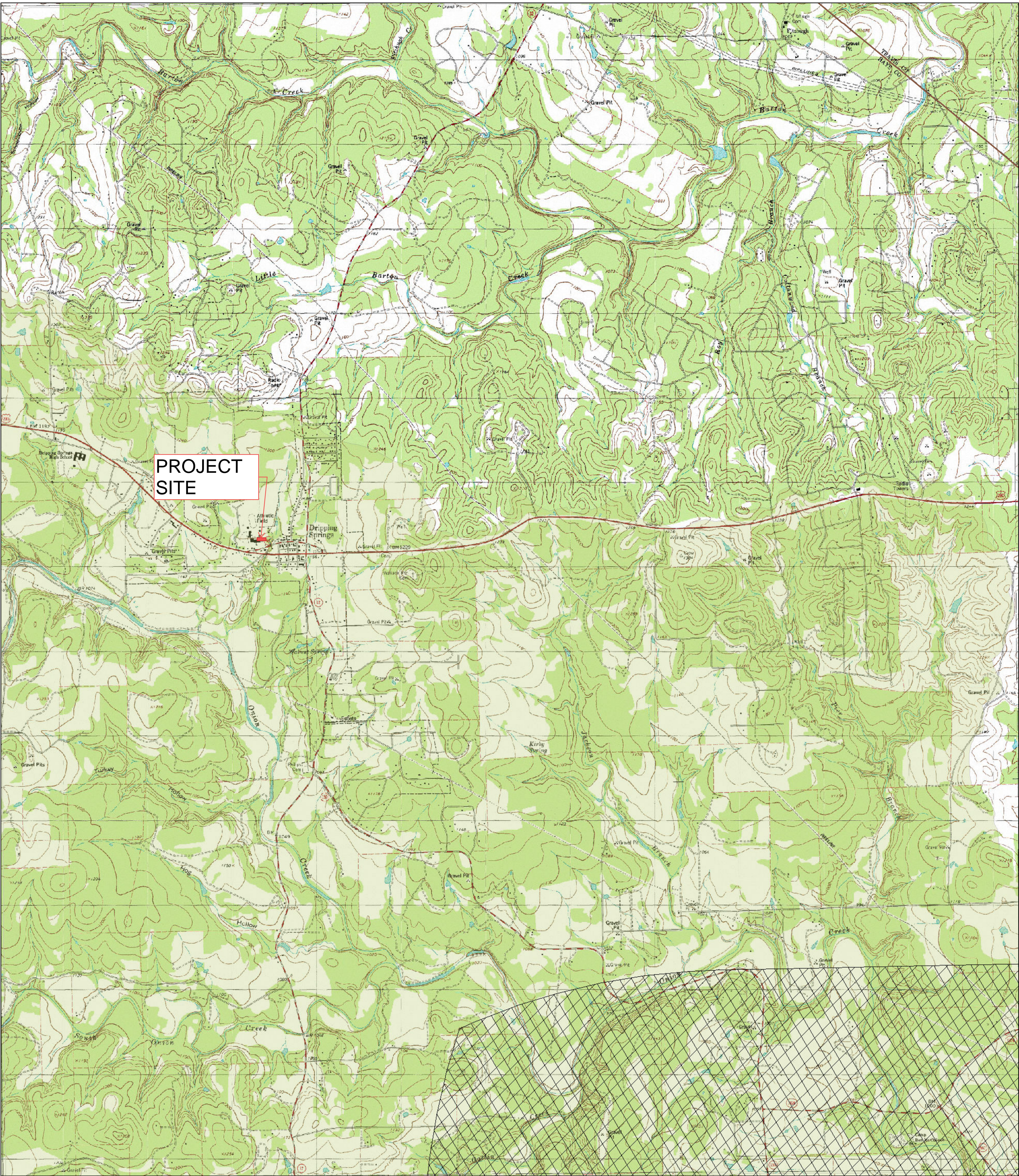
CONTRIBUTING ZONE PLAN
ATTACHMENT B

USGS/EDWARDS RECHARGE ZONE MAP

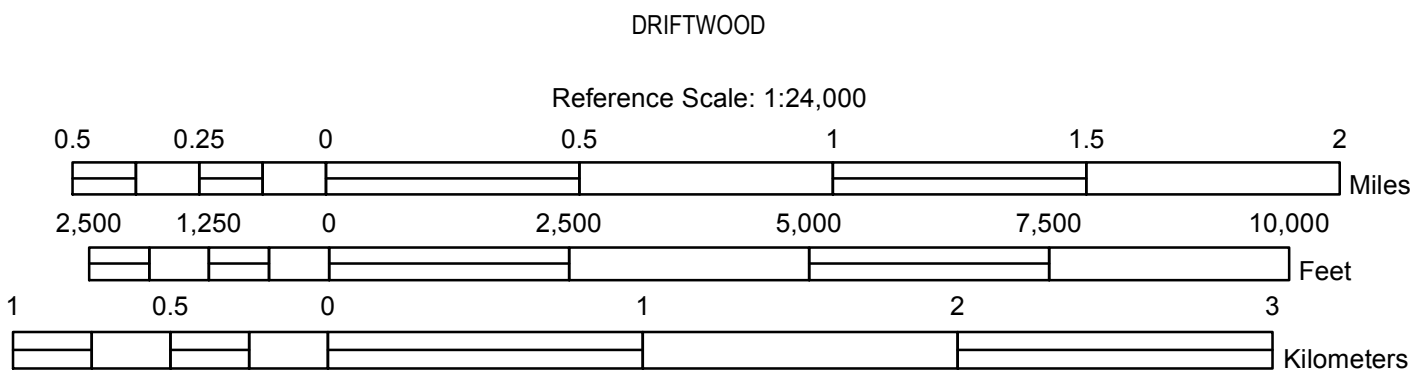
Please refer to attached USGS/Edwards Recharge Zone Map.

Edwards Aquifer Recharge Zone and Contributing Zone Map
Edwards Aquifer Authority Rule Chapter 713
STATE OF TEXAS
TEXAS WATER DEVELOPMENT BOARD
SHINGLE HILLS

DRIPPING SPRINGS
QUADRANGLE
TEXAS
7.5 MINUTE SERIES (TOPOGRAPHIC)



Digital Raster Graphic Enhanced (DRGE) produced through an Innovative partnership agreement between The Land Information Technology Company, Ltd., of Aurora, CO and the USGS.
DRGE is a scanned image of a USGS standard series 7.5 minute topographic map:
Mapped, edited and published by the Geological Survey.
Control by USGS and NCS/NCAA
Topography by photogrammetric methods from aerial photographs taken and field checked between 1950 and 1990.
Polyconic projection, 1927 North American datum.
10,000-foot grid based on Texas coordinate system, south central zone (Lambert conformal conic)
1000-meter Universal Transverse Mercator grid ticks, zone 14.



ROAD CLASSIFICATION

Primary highway, hard surface Light-duty road, hard or improved surface

Secondary highway, hard surface Unimproved road

Interstate Route U. S. Route State Route

Drainage Area
Recharge Zone
Contributing Zone within the Transition Zone
Artesian Zone

This area regulated by EDWARDS AQUIFER AUTHORITY RULES, ch. 713, (Water Quality), subchs. E (Spill Reporting) and F (Regulated Materials Registration, Storage, and Planning).

This area in Hays and Comal Counties regulated by EDWARDS AQUIFER AUTHORITY RULES, ch. 713, (Water Quality), subch. H (Prohibitions).

CONTRIBUTING ZONE PLAN ATTACHMENT C

PROJECT NARRATIVE

The JWLP Parking Addition project site is a ± 1.05 -acres tract, part of JWLP Family Subdivision, located at 249 Sportsplex Drive, Dripping Springs, Texas. The project site is currently situated within the city limit jurisdiction of Dripping Springs in the Liberty Hill 7.5 Minute Quadrangle Grid, the Onion Creek watershed, and Edwards Aquifer Contributing Zone as defined by the Texas Commission on Environmental Quality (TCEQ). The property is surrounded by commercial lots to the north, west, and south, as well as Little Barton Creek and R.O.W. to the east of it. No portion of this site is located within Zone "A" of the U.S. Federal Emergency Management Agency (FEMA) Floodplain as denoted on FEMA Flood Insurance Agency Map (FIRM) Panel No. 48209C01055, effective date September 2, 2005, for Hays County.

Currently, the existing conditions consists of a predominantly undeveloped lot with natural vegetation. The proposed development includes tying into the existing drive of the adjacent lot to include additional parking and a driveway. Access to the proposed site is provided from Sportsplex Drive.

Sand filtration basin is already built onsite of the adjacent lot as Permanent Best Management Practices (BMPs) as a part of earlier development with JWLP Lot 6. For the proposed improvements of the subject development, we will include a Vegetative Filter Strip. The BMPs have been designed in accordance with TCEQ's Technical Guidance Manual on Best Management Practices RG-348 (Section 3.2.17) to treat stormwater generated from the added small parking lot/impervious cover.

The drainage area contributing to the primary BMP (vegetative filter strip) equals ± 1.01 acres with ± 0.172 acres ($\pm 16.5\%$ IC) of assumed impervious cover (maximum 68%) from the subject site. Design calculations for the water quality system are provided as reference sheets within the JWLP Parking Addition Plan Set, provided with this CZP Modification Application.

CONTRIBUTING ZONE PLAN ATTACHMENT D

FACTORS AFFECTING WATER QUALITY

DURING CONSTRUCTION

Non-Storm Water Discharges - The following non-storm water discharges may occur from the site during the construction period:

- Non-point discharge of paint and solvents
- Water used to wash vehicles or control dust
- Water from utility line flushing during initial line testing
- Petroleum drippings from vehicle movement
- Pavement wash waters (where no spills or leaks of toxic or hazardous materials have occurred)
- Groundwater (from dewatering of excavation)
- Silt Runoff from soil disturbance
- Trash and Debris (Litter) and discarded Food and Tobacco Products

All non-storm water discharge will be directed to the Erosion and Sedimentation Controls (Best Management Practices) to remove any suspended solids contained therein. Material management practices will be utilized to reduce the risk of spills, or other accidental exposure of the materials listed above to storm water runoff. These and any other sources of pollutants that may affect storm water quality will be screened and filtered by temporary BMPs, which will be installed prior to the commencement of site clearing.

POST CONSTRUCTION

Non-Storm Water Discharges after construction has been completed which can affect water quality include:

- Lawn fertilizer and pesticides
- Petroleum drippings from vehicle movement
- Cleaning products used out-of-doors not captured in sanitary sewer
- Landscape Maintenance

Post-construction storm water discharges typically will transport sediment in the form of dirt and dust accumulated on streets and other impervious flatwork, rooftops and sediment from erosion of grassy areas. That material will be conveyed to the existing sand filtration basin (where most pollutants will be removed), and finally into the Blockhouse Creek.

CONTRIBUTING ZONE PLAN ATTACHMENT E

VOLUME AND CHARACTER OF STORMWATER

In pre-development conditions, the JWLP Lot 6 is defined by existing drainage areas, runoff ultimately drains from the west towards the southeast across the property into the existing downstream culvert and eventually into Onion Creek. Stormwater runoff is conveyed primarily by overland sheet and shallow concentrated flows as shown on the existing drainage area maps (Sheets 10) within the JWLP Parking Addition Site Plan.

In proposed conditions, stormwater runoff will continue to drain from the subject site in a similar manner as in existing conditions with flows being diverted to the on-site Vegetative Filter Strip. The BMP has been designed in accordance with TCEQ's Technical Guidance Manual on Best Management Practices RG-348 (Section 3.2.17) to treat stormwater generated from the added small parking lot/impervious cover. Please refer to the Proposed Drainage Area Map (Sheet 11) provided within the JWLP Parking Addition Plan for further details and calculations.

Erosion Controls will be installed to decrease and/or prevent sediment runoff during construction. Refer to Erosion and Sedimentation Control Plan (Sheet 6) and Erosion and Sedimentation Control Details (Sheet 7) of the accompanying construction plan set for further details.

CONTRIBUTING ZONE PLAN
ATTACHMENT F

OSSF SUITABILITY LETTER

This section is Not Applicable (N/A) for this project.

CONTRIBUTING ZONE PLAN ATTACHMENT G

ALTERNATIVE SECONDARY CONTAINMENT METHODS

This section is Not Applicable (N/A) for this project.

CONTRIBUTING ZONE PLAN
ATTACHMENT H

ALTERNATIVE CONTAINMENT STRUCTURAL DRAWING

This section is Not Applicable (N/A) for this project.

CONTRIBUTING ZONE PLAN
ATTACHMENT I

20% OR LESS IMPERVIOUS COVER DECLARATION

This section is Not Applicable (N/A) for this project.

CONTRIBUTING ZONE PLAN ATTACHMENT J

BMPS FOR UPGRADIENT STORMWATER

Upgradient stormwater runoff that runs through the proposed development is accounted for in the design of the vegetative filter strip. Please refer to Attachment K for further information about the proposed Permanent Best Management Practice (BMP).

CONTRIBUTING ZONE PLAN ATTACHMENT K

BMPS FOR ON-SITE STORMWATER

The vegetative filter strip was designed in accordance with the Edwards Aquifer Rules - TCEQ Technical Guidance on Best Management Practices Manual RG-348 Section 3.2.4.

CONTRIBUTING ZONE PLAN
ATTACHMENT L

BMPS FOR SURFACE STREAM

Please refer to the previous attachment for a description of the proposed treatment method.

CONTRIBUTING ZONE PLAN
ATTACHMENT M

CONSTRUCTION PLANS

The set of construction plans for JWLP Parking Addition Site Plan are provided with this application.

CIVIL ENGINEER
SOUTHWEST ENGINEERS, INC.
205 CIMMARON PARK LOOP, SUITE B
BUDA, TX 78610
CONTACT: ALBERTO GUTIERREZ
PHONE: (512) 312-4336
EMAIL: ALBERTO.GUTIERREZ@SWENGINEERS.COM

OWNER/DEVELOPER INFORMATION
INTREPID COMMERCIAL PROPERTIES LLC
100 COMMONS ROAD, STE 7-339
DRIPPING SPRINGS, TX 78620
CONTACT: CHRIS NYGARD
PHONE:(512) 844-6871
EMAIL: CHRIS@NYGARDANDCOMPANY.COM

SURVEYOR INFORMATION
WHITECAP SURVEY COMPANY
PO BOX 1225
DRIPPING SPRINGS, TEXAS 78620
PHONE:(512) 808-0102
INFO@WHITECAPSURVEY.COM

FLOODPLAIN STATUS
NO PORTION OF THIS 17.38 ACRE TRACT IS WITHIN THE 100 YEAR FLOODPLAIN PER THE FEDERAL FLOOD INSURANCE ADMINISTRATION FIRM MAP NO. 48209C0280F, PANEL 260 OF 495 FOR HAYS COUNTY-TEXAS, DATED SEPTEMBER 2, 2005.

EDWARDS AQUIFER
THE ENTIRETY OF THIS TRACT IS LOCATED WITHIN THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) EDWARDS AQUIFER CONTRIBUTING ZONE.

LEGAL DESCRIPTION
JWLP FAMILY, LOT 5, ACRES 1.045

LAND USE SUMMARY: GROSS ACREAGE 1.04 ACRES

ZONING CATEGORY: CITY OF DRIPPING SPRINGS FULL PURPOSE - COMMERCIAL SERVICES (CS)

JURISDICTION:
CITY OF DRIPPING SPRINGS: SITE PLAN
NORTH HAYS COUNTY ESD #6: FIRE
CITY OF DRIPPING SPRINGS WATER SUPPLY CORP: WATER
CITY OF DRIPPING SPRINGS: WASTEWATER

WATERSHED NOTE:
THIS PROJECT IS LOCATED IN THE JACKSON BRANCH OF ONION CREEK WATERSHED.

NOTES:

- CONTRACTOR IS FULLY RESPONSIBLE FOR FIELD LOCATING ALL EXISTING UTILITIES, PRIVATE AND PUBLIC, WITHIN THE WORK AREA. NEITHER OWNER NOR ENGINEER HAS AS-BUILT INFORMATION FOR UNDERGROUND UTILITIES AND MAKES NO GUARANTEE AS TO THEIR LOCATION. CONTRACTOR WILL EMPLOY CONSTRUCTION METHODS NECESSARY TO ENSURE UNDERGROUND UTILITIES ARE NOT DAMAGED (IE. HAND DIGGING ETC.) THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES, PRIVATE OR PUBLIC, AND SHALL REPAIR ANY UTILITIES DAMAGED TO THE OWNER'S SPECIFICATIONS AT NO COST TO HIM.
- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF DRIPPING SPRINGS RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. PEDERNALES ELECTRIC COMPANY WILL NOT RENDER ELECTRIC SERVICES UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
- THIS NOTE IS BEING PLACED ON THE PLAN SET IN PLACE OF A TEMPORARY TRAFFIC CONTROL STRATEGY WITH THE FULL UNDERSTANDING THAT, AT A MINIMUM OF 6 WEEKS PRIOR TO THE START OF CONSTRUCTION, A TEMPORARY TRAFFIC CONTROL PLAN MUST BE REVIEWED AND APPROVED BY THE RIGHT OF WAY MANAGEMENT DIVISION. THE OWNER/ REPRESENTATIVE FURTHER RECOGNIZES THAT A REVIEW FEE, AS PRESCRIBED BY THE MOST CURRENT VERSION OF THE CITY'S FEE ORDINANCE, SHALL BE PAID EACH TIME A PLAN OR PLAN REVISION IS SUBMITTED TO RIGHT OF WAY MANAGEMENT DIVISION FOR REVIEW. THE FOLLOWING MUST BE TAKEN INTO CONSIDERATION WHEN DEVELOPING FUTURE TRAFFIC CONTROL STRATEGIES:
 - PEDESTRIAN AND BICYCLE TRAFFIC ACCESS MUST BE MAINTAINED AT ALL TIMES, UNLESS OTHERWISE AUTHORIZED BY RIGHT OF WAY MANAGEMENT.
 - NO LONG-TERM LANE CLOSURES WILL BE AUTHORIZED, UNLESS RIGHT OF WAY MANAGEMENT DETERMINES THAT ADEQUATE ACCOMMODATIONS HAVE BEEN MADE TO MINIMIZE TRAFFIC IMPACT.
 - PROJECT SHOULD BE PHASED SO THAT UTILITY INSTALLATION MINIMALLY IMPACTS EXISTING OR TEMPORARY PEDESTRIAN FACILITIES.
- RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY MUST RELY UPON THE ADEQUACY OF THE DESIGN ENGINEER.
- ALL ELECTRICAL EASEMENTS MUST BE SHOWN ON ALL PLAN SHEETS, LEFT CLEAR FOR ELECTRIC USE AND MAINTENANCE ON A $\frac{3}{4}$ BASIS IN PERPETUITY AND MAINTAIN NECESSARY CLEARANCES FROM ANY PROPOSED STRUCTURES, VEGETATION, ETC AT ALL TIMES. NECESSARY CLEARANCE INFORMATION (AE, OSHA, NESC & NEC) MAY BE FOUND IN AUSTIN ENERGY'S DESIGN CRITERIA MANUAL - SECTION 1.5.3.9. THE MANUAL IS AVAILABLE ON AUSTIN ENERGY'S WEBSITE UNDER CONTRACTORS/ELECTRIC SERVICE DESIGN & PLANNING.
- APPROVAL OF THESE PLANS BY THE CITY OF DRIPPING SPRINGS INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.

LANDSCAPE ARCHITECT:
ECOLAND DESIGN GROUP
11183 CIRCLE DRIVE, SUITE A
AUSTIN, TX 78736
CONTACT: BRADLEY JONES
PHONE: 512-344-9204
EMAIL:BJONES@ECOLANDDESIGNGROUP.COM

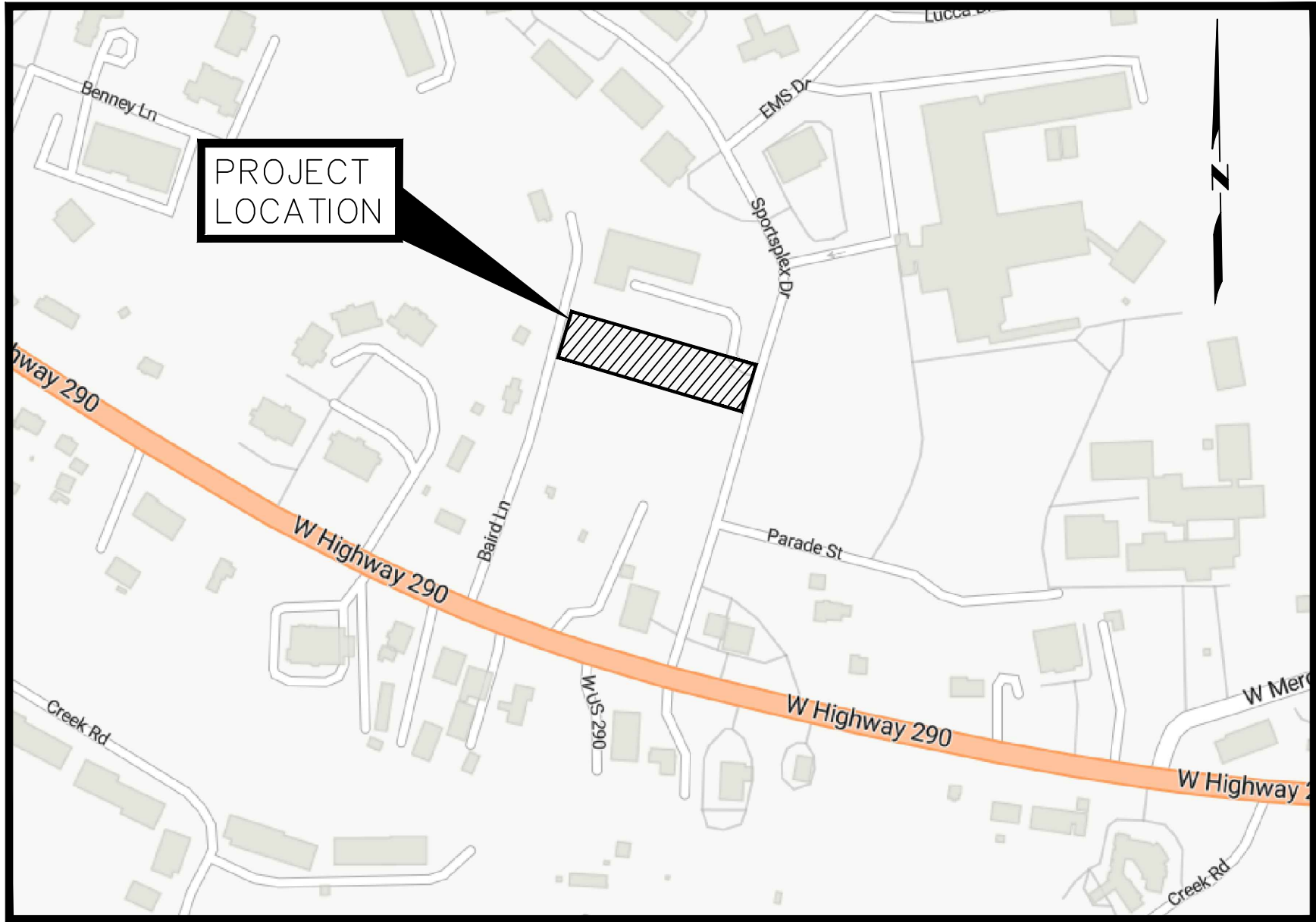
CONSTRUCTION PLANS FOR JWLP PARKING ADDITION

249 SPORTSPLEX DRIVE

DRIPPING SPRINGS, HAYS COUNTY, TEXAS 78620

JUNE 2024

SWE PROJECT # 1182-001



LOCATION MAP
N.T.S.



06/13/2024

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JENNIFER SAYERS, P.E. # 109825 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

SUBMITTED BY: SOUTHWEST ENGINEERS, INC.
DATE: JUNE 18, 2024

APPROVED BY: _____
CITY OF DRIPPING SPRINGS (CODS) DATE
DEVELOPMENT SERVICES DEPARTMENT (DSD)

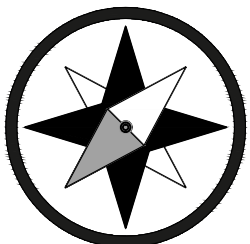
CITY OF DRIPPING SPRINGS DEVELOPMENT
PERMIT NO. _____

CORRECTION / REVISION

NO.	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NO.'S	TOTAL SHEETS IN PLAN SET	NET CHANGE IMP COVER	SITE IMP. COVER	% SITE IMP COVER	APPROVED DATE	IMAGED DATE
NO.	DESCRIPTION							

NOTE: APPROVAL OF THESE PLANS BY THE CITY OF DRIPPING SPRINGS INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEER.



**Southwest
Engineers**

TBPE NO. F-1909
www.swengineers.com

HEADQUARTERS
307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS
205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4336

C:\CompanyData\Clients\1182 - Nygard & Company, LLC\001-24_JWP Lot 6 Parking Addition\CAD\Sheets\1182-001_NOTES.dwg -- Men, Jun 17, 2024, 10:04am By: jacob.hernandez

CITY OF DRIPPING SPRINGS GENERAL CONSTRUCTION NOTES

- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF DRIPPING SPRINGS MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
- THESE PLANS, PREPARED BY THE DESIGN ENGINEER DO NOT EXTEND TO OR INCLUDE DESIGNS OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE REGISTERED ENGINEER(S) HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS HAT MAY NOR OR HEREAFTER BE INCORPORATED INTO THESE PLANS.
- CONTRACTOR SHALL CONTACT THE CITY OF DRIPPING SPRINGS ENGINEER A MINIMUM OF TWO WORKING DAYS IN ADVANCE OF BLOCKING TRAFFIC LANES AND A MINIMUM OF SIX WORKING DAYS IN ADVANCE OF SCHEDULED DETOURING OF TRAFFIC LANES.
- CONTRACTOR TO GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR TO ASSURE HIMSELF THAT ALL CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF WORK. REQUIRED PERMITS THAT CAN BE ISSUED TO CONTRACTOR TO BE OBTAINED AT HIS EXPENSE.
- CONTRACTOR TO COORDINATE INTERRUPTIONS OF ALL UTILITIES AND SERVICES. ALL WORK TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY COMPANY OR AGENCY INVOLVED.
- CONTRACTOR TO LOCATE, PROTECT, AND MAINTAIN BENCHMARKS, MONUMENTS, CONTROL POINTS, AND PROJECT ENGINEERING REFERENCE POINT, REESTABLISH DISTURBED OR DESTROYED ITEMS BY REGISTERED PUBLIC LAND SURVEYOR IN THE STATE OF TEXAS, AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR TO CONTROL DUST CAUSED BY THE WORK AND COMPLY WITH POLLUTION CONTROL REGULATIONS OF GOVERNING AUTHORITIES. DUST CONTROL SHALL BE ACHIEVED BY THE APPLICATION OF WATER BY AN APPROVED SPRINKLER IN AMOUNTS SUFFICIENT TO CONTROL THE DUST TO THE SATISFACTION OF THE ENGINEER (NO SEPARATE PAY).
- BURNING IS NOT ALLOWED ON THIS PROJECT.
- DEMOLITION PERMITS (IF NEEDED) ARE TO BE OBTAINED BY THE CONTRACTOR.
- THE CONTRACTOR IS TO OBTAIN PERMIT PRIOR TO PERFORMING ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL REPAIR ALL STREET CROSSINGS, DRIVEWAYS AND DITCHES TO THEIR ORIGINAL CONDITION OR BETTER. STREET CROSSINGS SHALL BE REPAIRED WITHIN 10 WORKING DAYS AFTER CROSSING IS MADE, UNLESS PRIOR APPROVAL IS OBTAINED TO THE CONTRARY.
- ALL DAMAGE CAUSED DIRECTLY OR INDIRECTLY TO THE STREET SURFACE OR SUBSURFACE OUTSIDE OF THE PAVEMENT CUT AREA SHALL BE REGARDED AS PART OF THE STREET CUT REPAIR. THIS INCLUDES ANY SCAPES, GOUGES, CUTS, CRACKING, DEPRESSIONS AND/OR ANY OTHER DAMAGE CAUSED BY THE CONTRACTOR DURING THE EXECUTION OF THE WORK. THESE AREAS WILL BE INCLUDED IN THE TOTAL AREA OF REPAIR. THE AREAS OF REPAIR SHALL BE SAW CUT IN STRAIGHT, NEAT LINES PARALLEL TO THE UTILITY TRENCH. ALL REPAIRS SHALL BE AT THE CONTRACTOR'S EXPENSE AND SHALL MEET ALL CITY TESTING REQUIREMENTS AND SPECIFICATIONS.
- ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATION OF THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA STANDARDS MAY BE PURCHASED FROM THE GOVERNMENTS PRINTING OFFICE; INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, 611 EAST 6TH STREET, AUSTIN, TX.)
- ALL SITE WORK MUST ALSO COMPLY WITH ENVIRONMENTAL REQUIREMENTS.
- THROUGHOUT THE CONSTRUCTION, AND AT THE COMPLETION OF THE CONSTRUCTION, THE CONTRACTOR IS TO ENSURE THAT DRAINAGE OF STORM WATER RUNOFF IS NOT BLOCKED.
- ALL EXCESS EXCAVATED MATERIAL AND SOIL IS TO BECOME PROPERTY OF CONTRACTOR AND TO BE REMOVED FROM SITE. (NO SEPARATE PAY.)
- ALL CULVERTS REMOVED FROM CONSTRUCTION SHALL BE REPLACED TO ORIGINAL GRADE; ROAD DITCH SHALL BE GRADED TO PROVIDE FOR AN EVEN GRADE AND SECTION BETWEEN EXISTING CULVERTS. ALL CULVERTS SHALL BE CLEAN AND FREE OF DEBRIS DURING AND AFTER CONSTRUCTION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE CITY OF BUDA AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AND TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO PRIVATE PROPERTY, WHICH OCCURRED AS A RESULT OF ANY PORTION OF THIS PROJECT. ANY DAMAGE TO PRIVATE PROPERTY SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION. THE CONTRACTOR SHALL COORDINATE ALL REPAIRS TO PRIVATE PROPERTY WITH THE PROPERTY OWNER. CONTRACTOR SHALL PAY AND/OR SETTLE WITH PRIVATE PROPERTY OWNER FOR ALL COSTS RELATED TO ANY DAMAGE. THE CITY OF BUDA WILL NOT PROVIDE SEPARATE PAY FOR REPAIR OF ANY DAMAGES, REIMBURSEMENTS OR SETTLEMENTS.

SEQUENCE OF CONSTRUCTION

- COORDINATE ALL START-UP WORK WITH THE CITY OF DRIPPING SPRINGS, BURGESS AND NIPLE, MUNICIPAL OPERATIONS AND CONSULTING, INC., & TxDOT IF APPLICABLE IN THEIR R.O.W.
- INSTALL AND MAINTAIN TEMPORARY EROSION AND SEDIMENTATION CONTROLS PER APPROVED PLANS. (SILT AND SEDIMENT SHALL BE REMOVED AFTER SIGNIFICANT RAINFALL OR WHEN THE DEPTH OF SILT/SEDIMENT IS 0"-6" AT ANY ROCK BERM OR SILT FENCE.). INSTALL TREE AND NATURAL AREA PROTECTIVE FENCING.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR OR HIS REPRESENTATIVE SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE BETWEEN THE CITY OF DRIPPING SPRINGS, BURGESS AND NIPLE, MUNICIPAL OPERATIONS AND CONSULTING, INC., DESIGN ENGINEER, CONTRACTOR(S)/SUBCONTRACTOR(S), ALL UTILITY SERVICE PROVIDERS, AND ANY OTHER AFFECTED PARTIES. ALL PARTIES SHALL BE NOTIFIED AT LEAST 3 BUSINESS DAYS PRIOR TO THE PROPOSED MEETING TIME.
- POND TO BE GRADED AT 100% PROPOSED CAPACITY.
- BEGIN ANY NECESSARY DEMOLITION AND SITE STRIPPING.
- BEGIN ROUGH SITE GRADING.
- COMPLETE ALL UTILITY IMPROVEMENTS INCLUDING PUBLIC & PRIVATE WATER AND WASTEWATER SERVICE LINES.
- COMPLETE SITE IMPROVEMENTS INCLUDING PAVING, PARKING, AND BUILDING.
- HYDROMULCH OR SOD ALL DISTURBED AREAS AND CLEAN UP SITE.
- DISPOSE OF ALL CONSTRUCTION DEBRIS AND TRASH. HYDROMULCH ANY DISTURBED AREAS FOLLOWING SITE CLEANUP.
- COMPLETE PERMANENT EROSION CONTROL AND SITE RESTORATION INCLUDING ANY OFF-SITE AREAS.
- UPON COMPLETION OF SITE IMPROVEMENTS, CONTRACTOR SHALL SCHEDULE FINAL INSPECTION WHEN SITE IS STABILIZED AND VEGETATION ESTABLISHED WITH THE ENGINEER PRIOR TO REMOVAL OF EROSION CONTROLS.
- FINAL CLEANING OF EROSION AND SEDIMENTATION CONTROLS AND STORM DRAIN STRUCTURES. THIS SHALL OCCUR PRIOR TO FINAL PAYMENT AND/OR CONCURRENCE AND ACCEPTANCE.
- REMOVE TEMPORARY EROSION AND SEDIMENTATION CONTROLS. RESTORE ANY AREAS DISTURBED DURING REMOVAL OR EROSION AND SEDIMENTATION CONTROLS.

CITY OF DRIPPING SPRINGS EROSION AND SEDIMENTATION CONTROL NOTES:

- THE CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS AND TREE/NATURAL AREA PROTECTIVE FENCING PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR EXCAVATION).
- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE CITY OF AUSTIN'S ENVIRONMENTAL CRITERIA MANUAL AS ADOPTED BY THE CITY OF DRIPPING SPRINGS.
- THE PLACEMENT OF TREE PROTECTIVE FENCING SHALL BE ION ACCORDANCE WITH THE CITY OF AUSTIN NOTES FOR TREE AND NATURAL AREA PROTECTION AND THE APPROVED GRADING/TREE AND NATURAL AREA PLAN.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE CONTRACTOR, DESIGN ENGINEER/PERMIT APPLICANT AND INSPECTOR AFTER INSTALLATION OF THE EROSION/SEDIMENTATION CONTROLS AND TREE/NATURAL AREA PROTECTION MEASURES AND PRIOR TO BEGINNING ANY SITE PREPARATION WORK. THE CONTRACTOR SHALL NOTIFY THE CITY OF DRIPPING SPRINGS ENGINEERING DEPARTMENT, AT LEAST THREE DAYS PRIOR TO THE MEETING DATE.
- ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST OR CITY ARBORIST AS APPROPRIATE. MINOR CHANGES TO BE MADE AS FIELD REVISIONS TO THE PLAN MAY BE REQUIRED BY THE INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES.
- THE CONTRACTOR IS REQUIRED TO INSPECT THE CONTROLS AND FENCES AT WEEKLY INTERVALS AND AFTER SIGNIFICANT RAINFALL EVENTS TO INSURE THAT THEY ARE FUNCTIONING PROPERLY. THE PERSON(S) RESPONSIBLE FOR THE MAINTENANCE OF CONTROLS AND FENCES SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHED SIX (6) INCHES.

PERMANENT EROSION CONTROL:

ALL DISTURBED AREAS SHALL BE RESTORED AS NOTED BELOW. A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE PLACED IN ALL DRAINAGE CHANNELS (EXCEPT ROCK) AND BETWEEN THE CURB AND RIGHT-OF-WAY LINE.

THE SEEDING FOR PERMANENT EROSION CONTROL SHALL BE AS SPECIFIED IN THE CITY OF AUSTIN STANDARD SPECIFICATION 604S, AS ADOPTED BY THE CITY OF DRIPPING SPRINGS.

DUST CONTROL:

DUST CONTROL METHODS ARE REQUIRED AS PER CITY OF AUSTIN'S ENVIRONMENTAL CRITERIA MANUAL SECTION 14.5.D AS ADOPTED BY THE CITY OF DRIPPING SPRINGS.

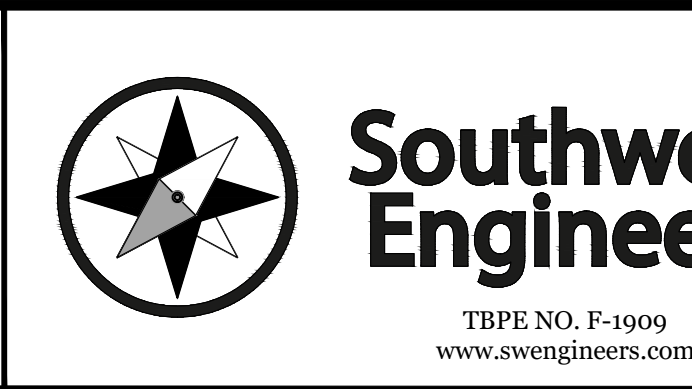
GENERAL NOTES:

- SAW CUT AND MATCH ALL EXISTING PAVEMENT
- NO BLASTING IS ALLOWED.
- ALL AREAS DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE CITY OF DRIPPING SPRINGS STANDARD SPECIFICATION 602S FOR SODDING OR 604S FOR SEEDING, AT THE CONTRACTOR'S DISCRETION. HOWEVER, THE TYPE OF REVEGETATION MUST EQUAL OR EXCEED THE TYPE OF VEGETATION PRESENT BEFORE CONSTRUCTION UNLESS OTHERWISE REQUESTED BY THE PROPERTY OWNER.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF DRIPPING SPRINGS, HIMSELF, THE ENGINEER, OTHER UTILITY COMPANIES, ANY AFFECTED PARTIES AND ANY OTHER ENTITY THE CITY OR THE ENGINEER MAY REQUIRE.
- PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL APPLY FOR AND SECURE PROPER PERMITS FROM THE APPROPRIATE AUTHORITIES.
- DENSITY TESTING FOR TRENCH BACKFILL IS TO BE DONE IN 12" LIFTS AT ONE TEST PER 500' OR EACH LINE SEGMENT.
- A STABILIZED CONSTRUCTION ENTRANCE IS REQUIRED AT ALL POINTS WHERE CONSTRUCTION TRAFFIC IS EXITING TH EPROJECT ONTO EXISTING PAVEMENT.
- THE ATTENTION OF THE CONTRATOR IS DIRECTED TO THE STATE LAW (VERNON'S ANNOTATED TEXAS STATUTES, ARTICLE1436-C) AND THE NEED FOR EFFECTIV E PRECAUTIONARY MEASURES WHEN OPERATING EQUIPMENT IN THE VICINITY OF ELECTRICAL LINES. IF THE CONTRACTOR CHOOSES TO USE EQUIPMENT WITH THE POTENTIAL OF COMING WITHIN THE DISTANCE PRESCRIBED BY THE STATUTE, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE WORK WITH THE APPROPRIATE ELECTRIC UTILITY COMPANY.
- CONTRACTOR SHALL NOTIFY THE CITY OF DRIPPING SPRINGS ENGINEERING INSPECTION DEPARTMENT AT 512-858-4699 PRIOR TO CONSTRUCTING DRAINAGE IMPROVEMENTS IN EASEMENTS OR RIGHTS-OF-WAY. THE METHOD OF PLACEMENT AND COMPACTION OF BACKFILL IN THE CITY'S ROW MUST BE APPROVED PRIOR TO THE START OF BACKFILL OPERATIONS.
- A STOP BAR SHALL BE PLACED AT ALL STOP SIGN LOCATIONS.
- ALL STRIPING, WITH THE EXECEPTION OF STOP BARS, IS TO BE TYPE II (WATER BASED). STOP BARS REQUIRE TYPE I THERMOPLASTIC.
- THIS DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE ITEMS REGARDING THE 2012 INTERNATIONAL FIRE CODE (IFC) AND AS AMENDED BY THE CITY OF DRIPPING SPRINGS DEVELOPMENTAL ORDINANCE.

NO.	REVISION	DATE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JENNIFER SAYERS, P.E.
#109825 ON
THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



HEADQUARTERS
307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS
205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4330

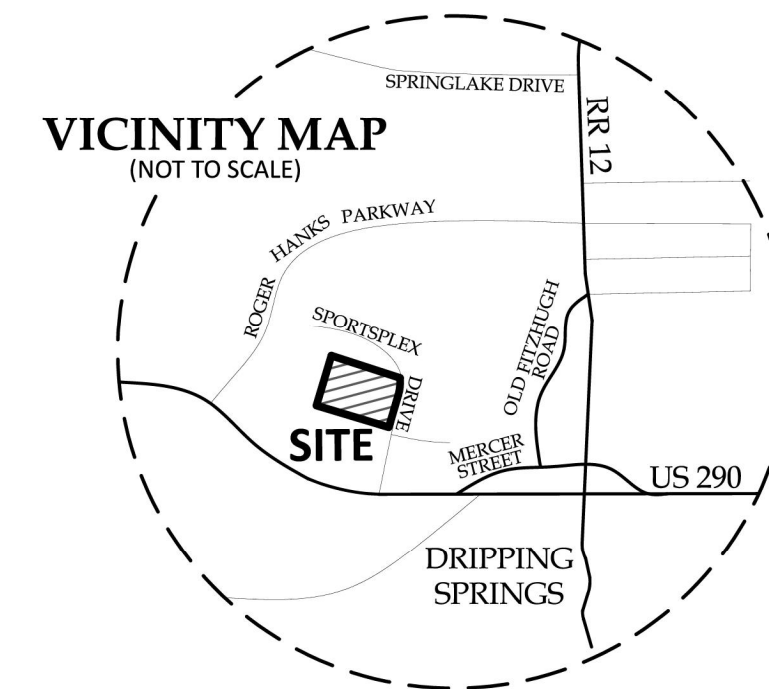
WARNING

IF THIS BAR DOES NOT MEASURE 1" THE DRAWING IS NOT TO SCALE

DRAWN BY: C.O.

CHECKED BY: A.G.



GENERAL NOTES	
JWLP PARKING ADDITION 249 SPORTSPLEX DRIVE, DRIPPING SPRINGS, TEXAS, 78620	
PROJECT NO. <u>1182-001</u>	DRAWING NO. _____
SHEET <u>2</u> OF <u>14</u>	



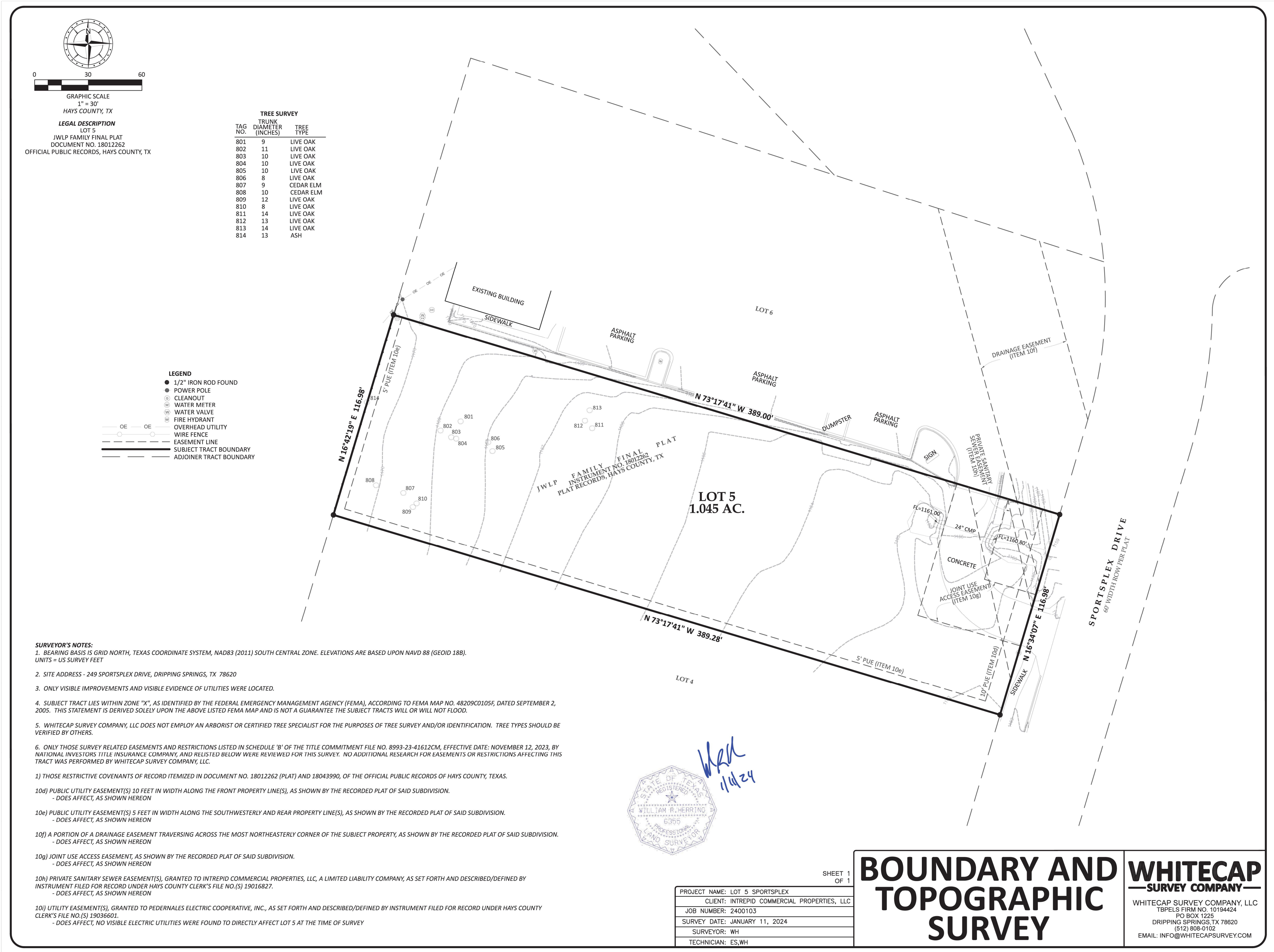
WHITECAP
— SURVEY COMPANY —

WHITECAP SURVEY COMPANY, LLC
TBPELS FIRM NO. 10194424
PO BOX 1225
DRIPPING SPRINGS, TX 78620
(512) 808-0102
EMAIL: INFO@WHITECAPSURVEY.COM

FOR REFERENCE ONLY

NO.	REVISION	DATE	 <p>THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JENNIFER SAYERS, P.E. #109825 ON</p> <p>THE DATE INDICATED ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.</p> <p>06/13/2024</p>	 <p>Southwest Engineers</p> <p>TBPE NO. F-1909 www.swengineers.com</p>	<p>HEADQUARTERS</p> <p>307 Saint Lawrence Street, Gonzales TX 78629 P: 830.672.7546 F: 830.672.2034</p> <p>CENTRAL TEXAS</p> <p>205 Cimarron Park Loop, Ste. B, Buda TX 78610 P: 512.312-4339</p>	<p>WARNING</p> <p>IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE</p>	<p>PLAT SHEET</p> <p>JWLP PARKING ADDITION</p> <p>249 SPORTSPLEX DRIVE, DRIPPING SPRINGS, TEXAS, 78620</p>	PROJECT NO. <u>1182-001</u>
						DRAWN BY: <u>C.O.</u>		DRAWING NO. _____
						CHECKED BY: <u>A.G.</u>		SHEET <u>3</u> OF <u>14</u>

C:\CompanyData\Clients\1182 - Nysgard & Company, LLC\001-24_JMLP Lot 5 Parking Addition\CAD\Sheets\1182-001_SURVEY.dwg -- Layout: "EXISTING CONDITIONS" -- Mon, Jun 17, 2024, 10:04am, By: jacobylhernandez



NOTE: APPROVAL OF THESE PLANS BY THE CITY OF DRIPPING SPRINGS INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEER.

FOR REFERENCE ONLY

NO.	REVISION	DATE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JENNIFER SAYERS, P.E. #109825 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Southwest Engineers

TBPE NO. F-1909
www.swengineers.com

HEADQUARTERS
307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS
205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4330

WARNING

IF THIS BAR DOES NOT MEASURE 1" THE DRAWING IS NOT TO SCALE

DRAWN BY: C.O.

CHECKED BY: A.G.

EXISTING CONDITIONS

JWLP PARKING ADDITION

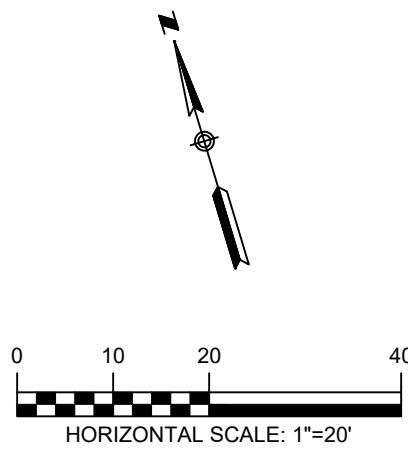
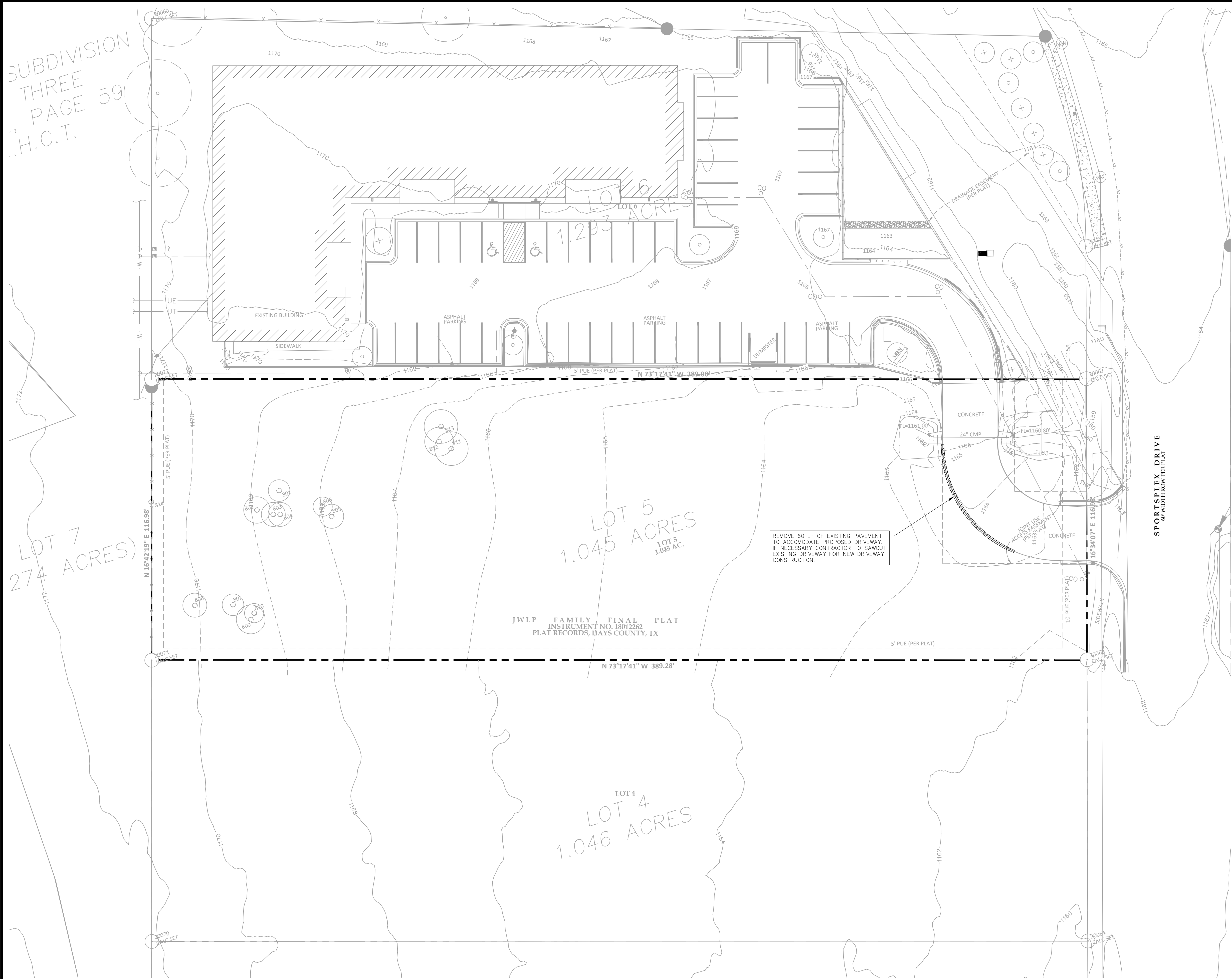
249 SPORTSPLEX DRIVE, DRIPPING SPRINGS, TEXAS, 78620

PROJECT NO. 1182-001

DRAWING NO. _____

SHEET 4 OF 14

C:\CompanyData\Clients\1182 - Nygard & Company, LLC\001-24_JWP Lot 6 Parking Addition\CAD\Sheets\1182-001_Demo.dwg -- Mon, Jun 17, 2024, 10:04am, By: jacobyserranides



LEGEND

- 700 --- EXISTING CONTOURS
- 100 (circle with dot) TREE TO BE KEPT
- 100 (circle with cross-hatch) TREE TO BE REMOVED
- 100 (circle with dot and dashed outline) PROTECTED TREE TO BE KEPT
- 100 (circle with cross-hatch and dashed outline) PROTECTED TREE TO BE REMOVED

NOTES:

- ON-SITE SURVEY TOPOGRAPHIC INFORMATION PROVIDED BY WHITECAP SURVEY CO. OBTAINED ON JANUARY 11, 2024.
- OFF-SITE TOPOGRAPHIC INFORMATION OBTAINED FROM TNRIS.

TREE SURVEY		
TAG NO.	TRUNK DIAMETER (INCHES)	TREE TYPE
801	9	LIVE OAK
802	11	LIVE OAK
803	10	LIVE OAK
804	10	LIVE OAK
805	10	LIVE OAK
806	8	LIVE OAK
807	9	CEDAR ELM
808	10	CEDAR ELM
809	12	LIVE OAK
810	8	LIVE OAK
811	14	LIVE OAK
812	13	LIVE OAK
813	14	LIVE OAK
814	13	ASH

NOTE: APPROVAL OF THESE PLANS BY THE CITY OF DRIPPING SPRINGS INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEER.



TEXAS ONE CALL SYSTEM
1-800-245-4545

UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF DRIPPING SPRINGS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

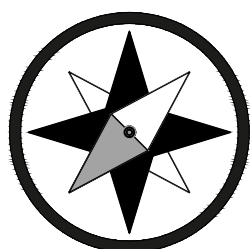
CAUTION - ELECTRICITY PRESENT

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

NO.	REVISION	DATE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JENNIFER SAYERS, P.E. #109825 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



**Southwest
Engineers**

TBPE NO. F-1909
www.swengineers.com

HEADQUARTERS

307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS

205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4330

WARNING

IF THIS BAR DOES NOT MEASURE 1",
THE DRAWING IS NOT TO SCALE

DRAWN BY: C.O.

CHECKED BY: A.G.

DEMOLITION PLANS

JWLP PARKING ADDITION

249 SPORTSPLEX DRIVE, DRIPPING SPRINGS, TEXAS, 78620

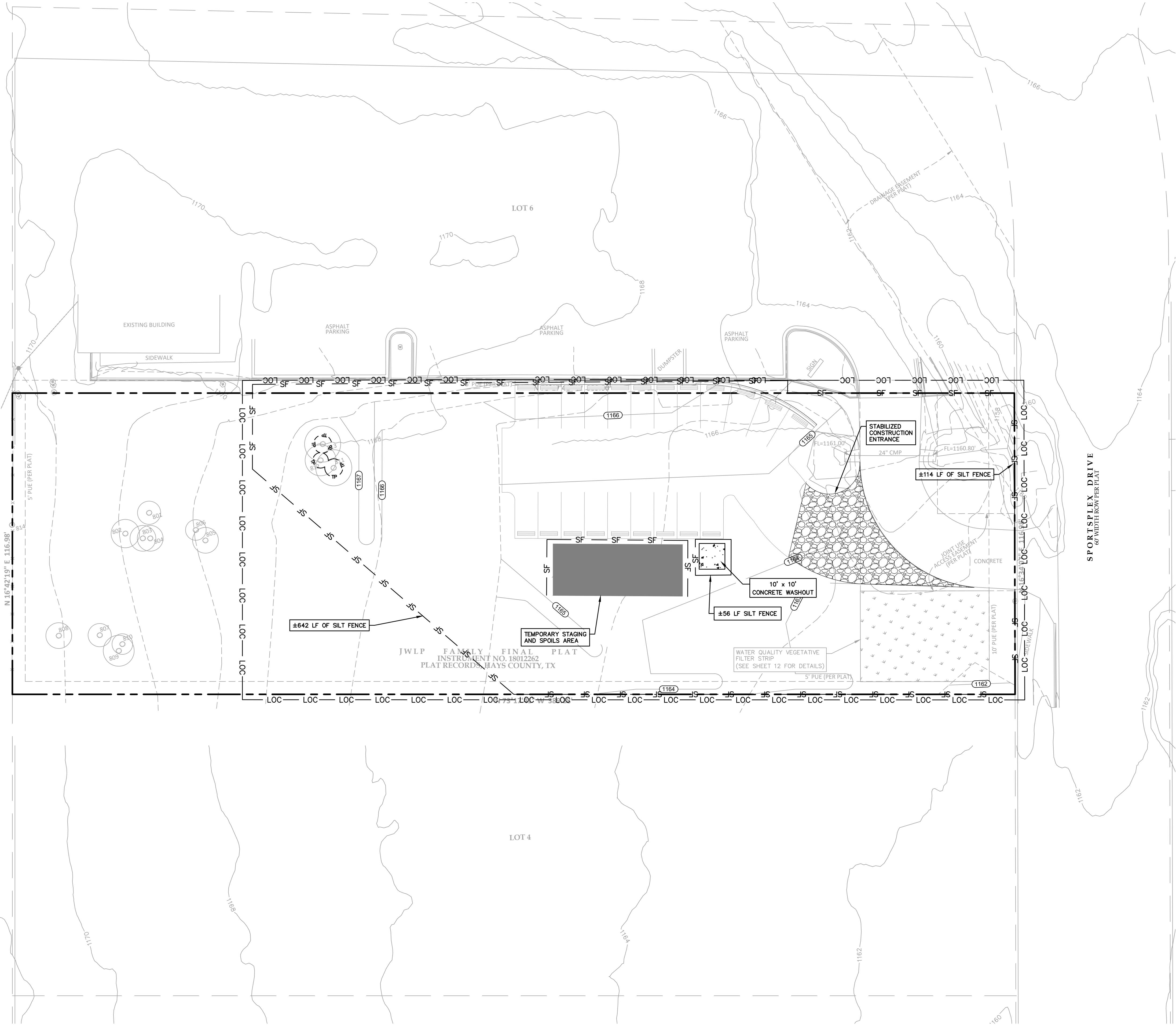
PROJECT NO. 1182-001

DRAWING NO.

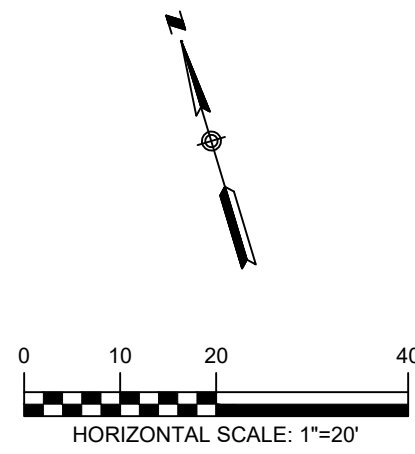
SHEET 5 OF 14

XX-####-####X

C:\CompanyData\Clients\1182 - Nysgard & Company, LLC\001-24_JWLP Lot 6 Parking Addition\CAD\Sheets\1182-001_EROS.dwg -- Layout: "EROSION AND SEDIMENTATION CONTROL PLAN" -- Mon, Jun 17, 2024, 10:05am, By: jacobyherrandez



LIMITS OF CONSTRUCTION:
±37,710 SF = ±0.87 AC



LEGEND

- 700 --- EXISTING CONTOURS
- 700 --- PROPOSED CONTOURS
- >--- DRAINAGE FLOW DIRECTION
- SF --- SF --- SILT FENCE
- LOC --- LOC --- LIMIT OF CONSTRUCTION
- [Pattern] STABILIZED CONSTRUCTION ENTRANCE

TREE SURVEY		
TAG NO.	TRUNK DIAMETER (INCHES)	TREE TYPE
801	9	LIVE OAK
802	11	LIVE OAK
803	10	LIVE OAK
804	10	LIVE OAK
805	10	LIVE OAK
806	8	LIVE OAK
807	9	CEDAR ELM
808	10	CEDAR ELM
809	12	LIVE OAK
810	8	LIVE OAK
811	14	LIVE OAK
812	13	LIVE OAK
813	14	LIVE OAK
814	13	ASH

SEQUENCE OF CONSTRUCTION

1. INSTALL EROSION CONTROLS PER APPROVED PLAN.
2. CONDUCT DEMOLITION ACTIVITIES, IF APPLICABLE.
3. CONTRACTOR TO VEGETATE ANY DISTURBED AREAS. ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN OF 70% VEGETATION PRIOR TO COMPLETION. PER TPDES REQUIREMENTS, DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.
4. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

NOTE

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENT) AND SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES IN 21 DAYS, PER TPDES REQUIREMENTS.

NOTE: APPROVAL OF THESE PLANS BY THE CITY OF DRIPPING SPRINGS INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEER.



TEXAS ONE CALL SYSTEM
1-800-245-4545

UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF DRIPPING SPRINGS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

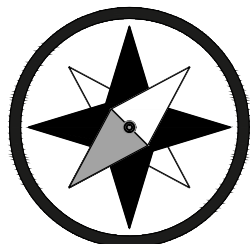
CAUTION - ELECTRICITY PRESENT

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

NO.	REVISION	DATE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JENNIFER SAYERS, P.E. #109825 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



**Southwest
Engineers**

TBPE NO. F-1909
www.swengineers.com

HEADQUARTERS

307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS

205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4330

WARNING

IF THIS BAR DOES NOT MEASURE 1" THE DRAWING IS NOT TO SCALE

DRAWN BY: C.O.

CHECKED BY: A.G.

EROSION AND SEDIMENTATION CONTROL PLAN

JWLP PARKING ADDITION
249 SPORTSPLEX DRIVE, DRIPPING SPRINGS, TEXAS, 78620

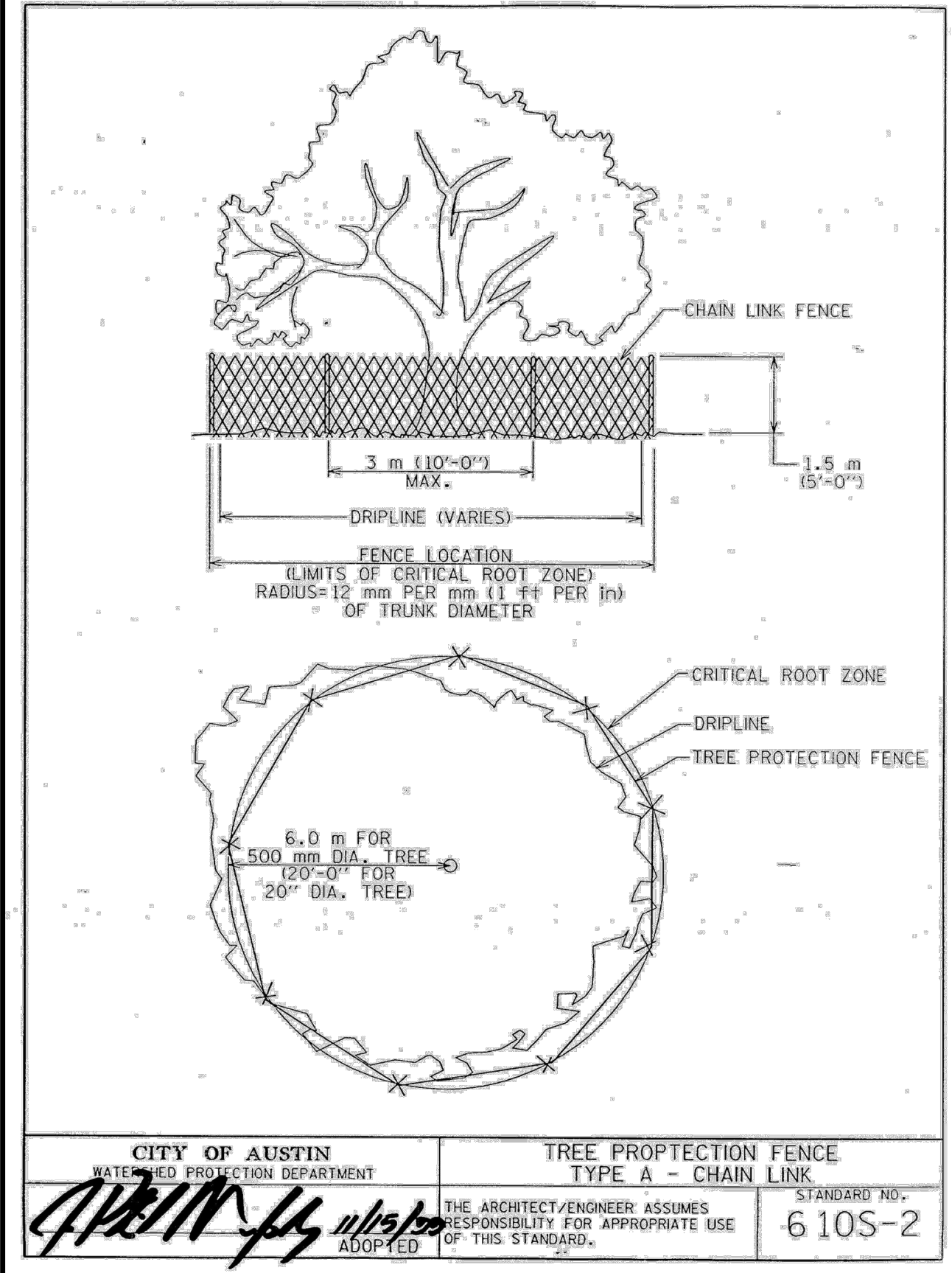
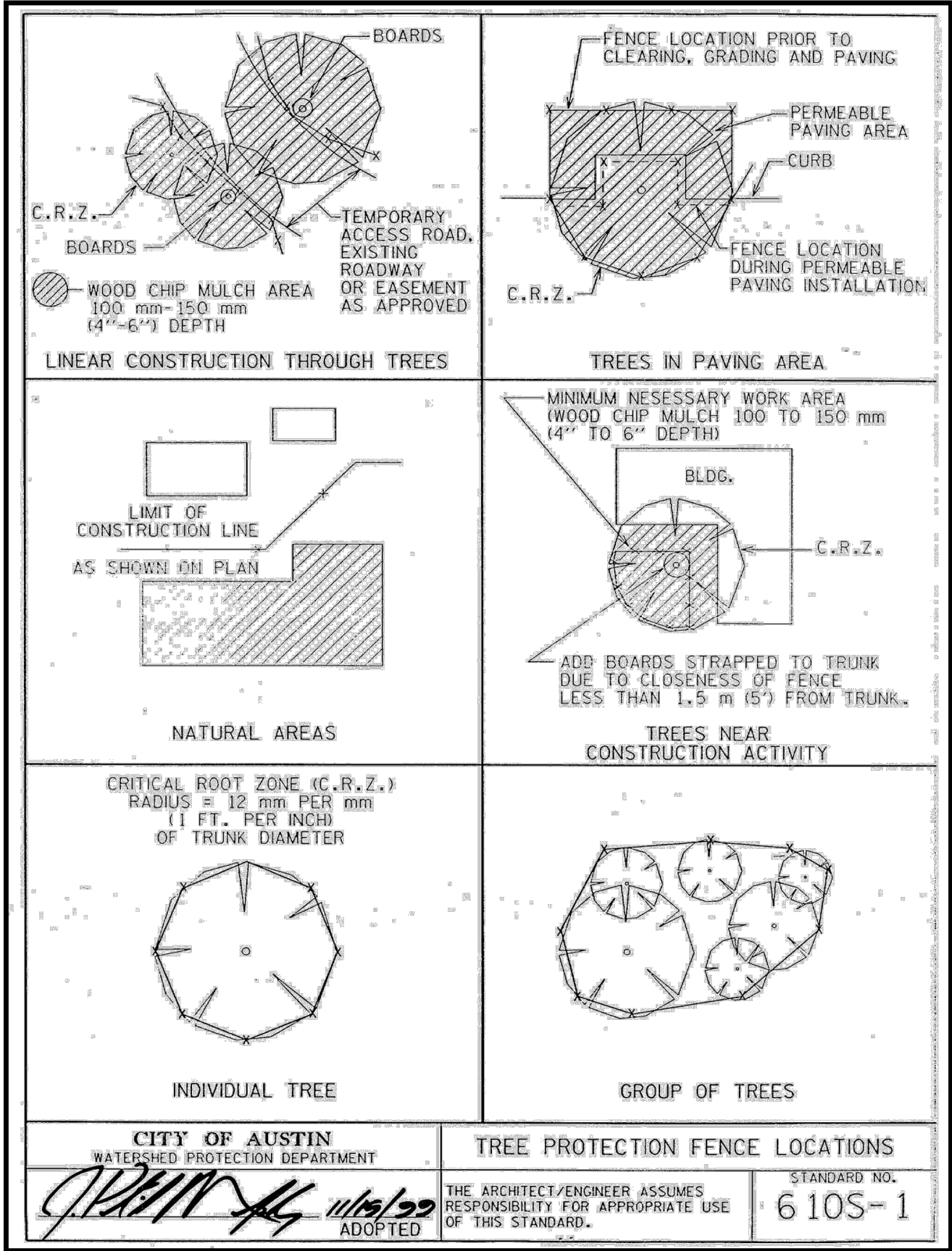
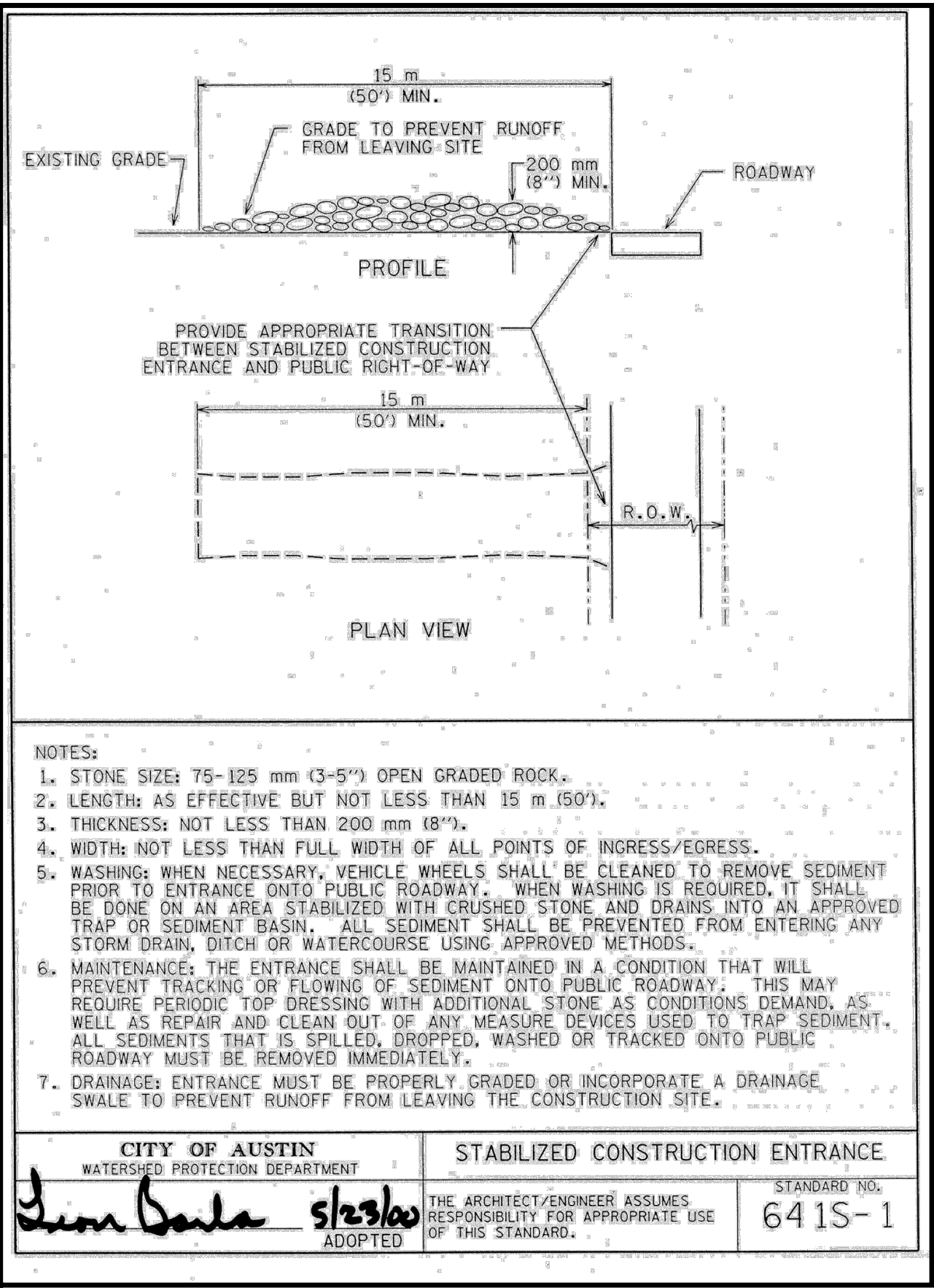
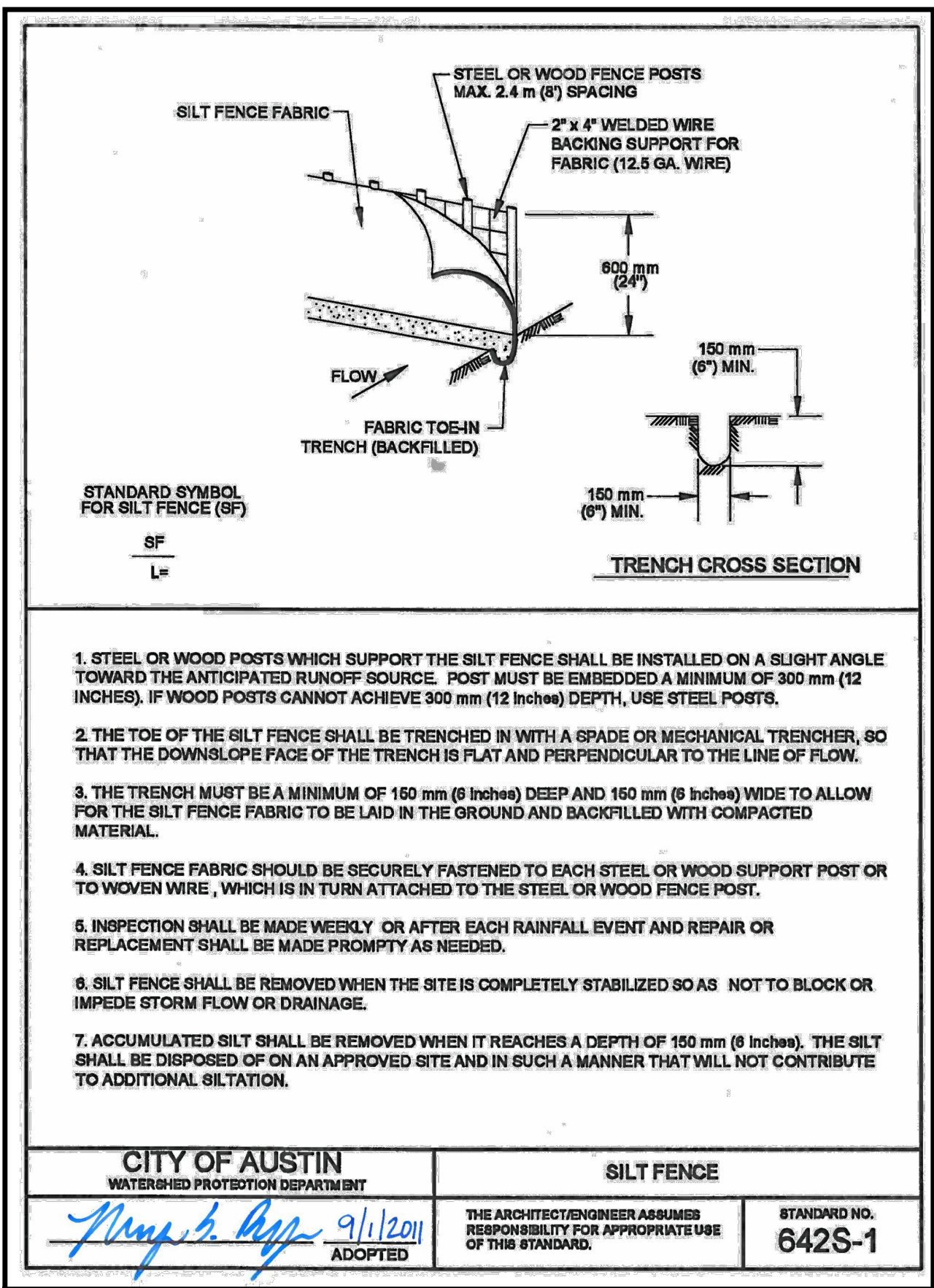
PROJECT NO. 1182-001

DRAWING NO.

SHEET 6 OF 14

XX-####-####X

C:\CompanyData\Clients\1182 - Nysper & Company, LLC\001-24_JWP Lot 6 Parking Addition\CAD\Sheets\1182-001_EROS.dwg -- Layout: "EROSION DETAILS" -- Mon, Jun 17, 2024, 10:05am By: jacob.hernandez



NOTE: APPROVAL OF THESE PLANS BY THE CITY OF DRIPPING SPRINGS INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HISHER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEER.



TEXAS ONE CALL SYSTEM
1-800-245-4545

UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF DRIPPING SPRINGS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

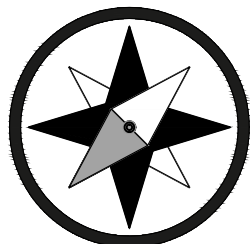
CAUTION - ELECTRICITY PRESENT

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

NO.	REVISION	DATE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JENNIFER SAYERS, P.E. #109825 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



Southwest Engineers
TBPE NO. F-1909
www.swengineers.com

HEADQUARTERS

307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS

205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4330

WARNING

IF THIS BAR DOES NOT MEASURE 1" THE DRAWING IS NOT TO SCALE

DRAWN BY: C.O.

CHECKED BY: A.G.

EROSION DETAILS

JWLP PARKING ADDITION
249 SPORTSPLEX DRIVE, DRIPPING SPRINGS, TEXAS, 78620

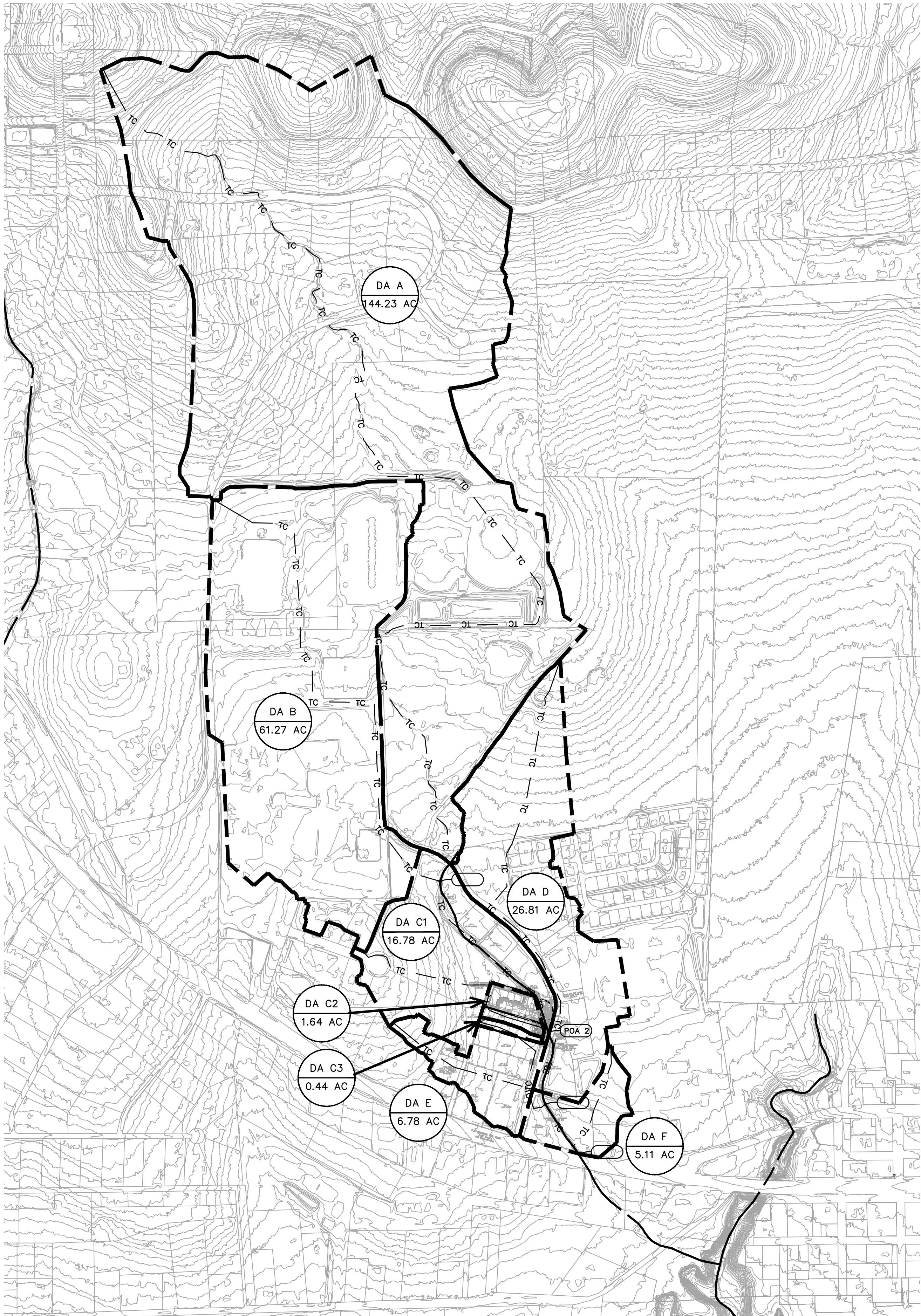
PROJECT NO. 1182-001

DRAWING NO.

SHEET 7 OF 14

XX-####-####X

O:\CompanyData\Clients\1182 - Nysgard & Company, LLC\001-24_JWP Lot 6 Parking Addition\CAD\Sheets\1182-001_DRNG.dwg -- Layout: "OVERALL DRAINAGE AREA MAP - EXISTING CONDITIONS" -- Mon, Jun 17, 2024, 10:05am, By: Jacoby Hernandez



DRAINAGE AREA	SHEET FLOW				SHALLOW CONCENTRATED FLOW				CHANNEL FLOW			HYDROLOGICAL PARAMETERS		
	Length (FT)	Slope (FT/FT)	n	T _s sheet (MIN)	Length (FT)	Slope (FT/FT)	Paved? (Y or N)	T _s Shallow (MIN)	Velocity _{avg} (FT/S)	Length (FT)	T _s Channel (MIN)	Total T _s (MIN)	(HR)	Lag Time (MIN)
DA A	92	0.109	0.240	6.0	817	0.071	N	3.2	4	6520	27.2	36.3	0.605	21.8
DA B	45	0.044	0.150	3.4	219	0.027	Y	1.1	4	2915	12.1	16.6	0.277	10.0
DA C1	50	0.005	0.400	18.9	791	0.034	N	4.4	4	523	2.2	25.5	0.425	15.3
DA C2	100	0.010	0.240	16.7	219	0.023	N	1.5	4	174	0.7	18.9	0.315	11.4
DA C3	100	0.040	0.400	14.4	252	0.020	N	1.9	4	465	1.9	18.2	0.304	10.9
DA D	172	0.023	0.150	12.6	912	0.032	N	5.3	4	1796	7.5	25.4	0.423	15.2
DA E	44	0.005	0.400	17.1	468	0.034	Y	2.1	4	594	2.5	21.6	0.360	13.0
DA F	89	0.005	0.240	20.1	289	0.017	N	2.3	4	318	1.3	23.7	0.395	14.2
Reach-1									4	1168	4.9	5.0	0.083	3.0
Reach-2									4	444	1.9	5.0	0.083	3.0
Reach-3									4	343	1.4	5.0	0.083	3.0

$T_c = T_{s(sheet)} + T_{s(shallow)} + T_{s(channel)}$
Sheet Flow: $T_s = 0.42(nL)^{0.8}/(p \cdot 2.5s^{0.4})$
Shallow Concentrated Flow: Unpaved $T_s = L/(60(16.1345)s^{0.5})$
Paved $T_s = L/(60(20.3282)s^{0.5})$
Channel/Storm Drain Flow: $T_s = z(L/60V)$

EXISTING FLOODPLAIN DRAINAGE SUMMARY TABLE (NRCS METHOD)												
AREA NAME	A	B	POA 1	C1	C2	POA 2	C3	D	E	POA 3	F	POA 4
Drainage Area (ac.)	144.23	61.27	205.50	16.78	1.64	223.92	0.44	26.81	6.80	257.97	5.11	263.08
Drainage Area (sq. mi.)	0.2254	0.0957	0.3211	0.0262	0.0026	0.3499	0.0007	0.0419	0.0106	0.4031	0.0080	0.4111
Base CN #	80	80	-	80	80	-	80	80	80	-	80	-
% Impervious Cover	38%	48%	-	71%	0%	-	0%	62%	69%	-	65%	-
T _c (mins)	36.3	16.6	-	25.5	18.9	-	18.2	25.4	21.6	-	23.7	-
T _c (hrs)	0.605	0.277	-	0.425	0.315	-	0.304	0.423	0.360	-	0.395	-
Lag Time (mins)	21.8	10.0	-	15.3	11.4	-	10.9	15.2	13.0	-	14.2	-
100 year Discharge (cfs)	873.4	515.0	1247.6	122.1	13.4	1376.6	3.4	193.8	53.8	1571.5	38.6	1598.9

THE BASE CURVE NUMBER FOR ALL DRAINAGE AREAS IS ASSIGNED A CONSERVATIVE VALUE OF 80, BASED ON FULLY DEVELOPED URBAN AREAS IN GOOD CONDITIONS AND A HYDROLOGICAL SOIL GROUP OF D. THE PERCENTAGE OF IMPERVIOUS COVER VALUES IS DERIVED FROM THE WEIGHTED MAXIMUM IMPERVIOUS COVER OF PARCELS BASED ON THE CITY OF DRIPPING SPRINGS ZONING DISTRICTS AND ROW BASED ON AN ASSUMED 90% IMPERVIOUS COVER WITHIN EACH DRAINAGE AREA. AN EXCEPTION IS MADE FOR BOTH DRAINAGE AREAS C2 AND C3, WHICH USES THE ACUTAL IMPERVIOUS COVER ON-SITE.

NOTE: APPROVAL OF THESE PLANS BY THE CITY OF DRIPPING SPRINGS INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEER.



TEXAS ONE CALL SYSTEM
1-800-245-4545

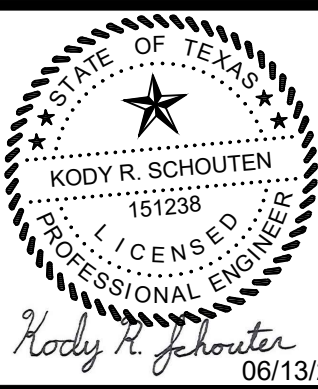
UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF DRIPPING SPRINGS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

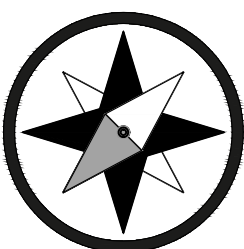
CAUTION - ELECTRICITY PRESENT

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

NO.	REVISION	DATE



THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF KODY R. SCHOLTEN, P.E. # 151238 ON 6/17/24. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.



Southwest Engineers

TBPE NO. F-1909
www.swengineers.com

HEADQUARTERS

307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS

205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4330

WARNING

IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: C.O.

CHECKED BY: A.G.

OVERALL DRAINAGE AREA MAP - EXISTING CONDITIONS

JWLP PARKING ADDITION

249 SPORTSPLEX DRIVE, DRIPPING SPRINGS, TEXAS, 78620

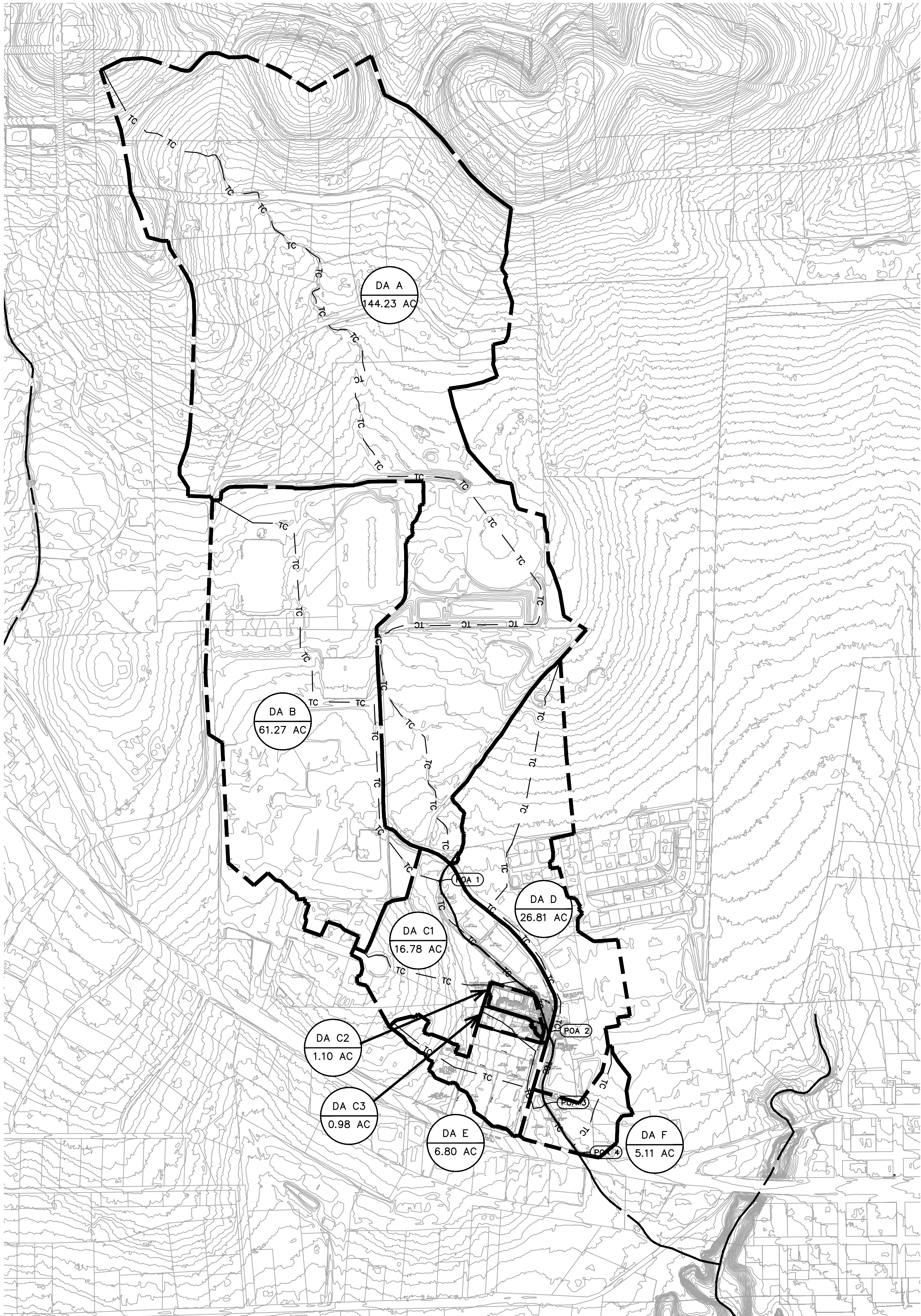
PROJECT NO. 1182-001

DRAWING NO.

SHEET 8 OF 13

XX-####-####X

C:\CompanyData\Clients\1182 - Nysgard & Company, LLC\001-24_JWLP Lot 6 Parking Addition\CAD\Sheets\1182-001_DRNG.dwg -- Layout: "OVERALL DRAINAGE AREA MAP - PROPOSED CONDITIONS" -- Mon, Jun 17, 2024, 10:05am, By: jacobyherrandez



TIME OF CONCENTRATION - PROPOSED CONDITIONS														
CITY OF DRIPPING SPRINGS ATLAS 14 24-HR/2-YR DEPTH = 4.07 INCHES														
DRAINAGE AREA	SHEET FLOW				SHALLOW CONCENTRATED FLOW				CHANNEL FLOW			HYDROLOGICAL PARAMETERS		
	Length (FT)	Slope (FT/FT)	n	T _c sheet (MIN)	Length (FT)	Slope (FT/FT)	Paved? (Y or N)	T _c Shallow (MIN)	Velocity _{avg} (FT/S)	Length (FT)	T _c Channel (MIN)	Total T _c (MIN)	(HR)	Lag Time (MIN)
DA A	92	0.109	0.240	6.0	817	0.071	N	3.2	4	6520	27.2	36.3	0.605	21.8
DA B	45	0.044	0.150	3.4	219	0.027	Y	1.1	4	2915	12.15	16.6	0.277	10.0
DA C1	50	0.005	0.400	18.9	791	0.034	N	4.4	4	523	2.18	25.5	0.425	15.3
DA C2	100	0.010	0.240	16.7	102	0.020	N	0.7	4	386	1.6	19.1	0.318	11.4
DA C3	100	0.040	0.400	14.4	94	0.021	N	0.7	4	638	2.7	17.8	0.296	10.7
DA D	172	0.023	0.150	12.6	912	0.032	N	5.3	4	1796	7.48	25.4	0.423	15.2
DA E	44	0.005	0.400	17.1	468	0.034	Y	2.1	4	594	2.48	21.6	0.360	13.0
DA F	89	0.005	0.240	20.1	289	0.017	N	2.3	4	318	1.33	23.7	0.395	14.2
Reach-1									4	1168	4.87	5.0	0.083	3.0
Reach-2									4	444	1.85	5.0	0.083	3.0
Reach-3									4	343	1.43	5.0	0.083	3.0

$T_c = T_{c(sheet)} + T_{c(shallow)} + T_{c(channel)}$
Sheet Flow: $T_c = 0.42(nL)^{0.57}/(P_s^{0.5}S^{0.4})$
Shallow Concentrated Flow: Unpaved $T_c = L/(60(16.1345)S^{0.5})$
Paved $T_c = L/(60(20.3282)S^{0.5})$
Channel/Storm Drain Flow: $T_c = L/(60V)$

PROPOSED FLOODPLAIN DRAINAGE SUMMARY TABLE (NRCS METHOD)												
AREA NAME	A	B	POA 1	C1	C2	POA 2	C3	D	E	POA 3	F	POA 4
Drainage Area (ac.)	144.23	61.27	205.50	16.78	1.08	223.36	1.01	26.81	6.80	257.98	5.11	263.09
Drainage Area (sq. mi.)	0.2254	0.0957	0.3211	0.0262	0.0017	0.3490	0.0016	0.0419	0.0106	0.4031	0.0080	0.4111
Base CN #	80	80	-	80	80	-	80	80	80	-	80	-
% Impervious Cover	38%	48%	-	71%	17%	-	17%	62%	69%	-	65%	-
T _c (mins)	36.3	16.6	-	25.5	19.1	-	17.8	25.4	21.6	-	23.7	-
T _c (hrs)	0.605	0.277	-	0.425	0.318	-	0.296	0.423	0.360	-	0.395	-
Lag Time (mins)	21.8	10.0	-	15.3	11.4	-	10.7	15.2	13.0	-	14.2	-
100 year Discharge (cfs)	873.4	515.0	1247.6	122.1	9.2	1373.0	7.9	193.8	53.8	1571.0	38.6	1598.6

THE BASE CURVE NUMBER FOR ALL DRAINAGE AREAS IS ASSIGNED A CONSERVATIVE VALUE OF 80, BASED ON FULLY DEVELOPED URBAN AREAS IN GOOD CONDITIONS AND A HYDROLOGICAL SOIL GROUP OF D. THE PERCENTAGE OF IMPERVIOUS COVER VALUES IS DERIVED FROM THE WEIGHTED MAXIMUM IMPERVIOUS COVER OF PARCELS BASED ON THE CITY OF DRIPPING SPRINGS ZONING DISTRICTS AND ROW BASED ON AN ASSUMED 90% IMPERVIOUS COVER WITHIN EACH DRAINAGE AREA. AN EXCEPTION IS MADE FOR BOTH DRAINAGE AREAS C2 AND C3, WHICH USES BOTH THE ACTUAL AND PROPOSED IMPERVIOUS COVER ON-SITE.

NOTE: APPROVAL OF THESE PLANS BY THE CITY OF DRIPPING SPRINGS INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEER.



TEXAS ONE CALL SYSTEM
1-800-245-4545

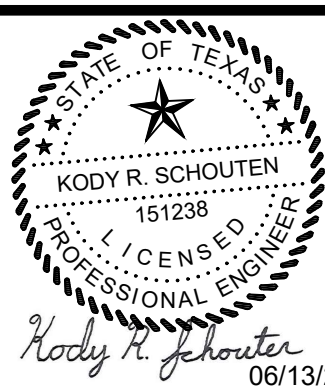
UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF DRIPPING SPRINGS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

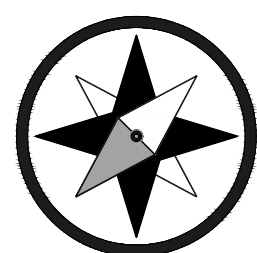
CAUTION - ELECTRICITY PRESENT

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

NO.	REVISION	DATE



THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF KODY R. SCHOLTEN, P.E. # 151238 ON 6/17/24. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.



Southwest Engineers

TBPE NO. F-1909
www.swengineers.com

HEADQUARTERS

307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS

205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4330

WARNING

IF THIS BAR DOES NOT MEASURE 1" THE DRAWING IS NOT TO SCALE

DRAWN BY: C.O.

CHECKED BY: A.G.

OVERALL DRAINAGE AREA MAP - PROPOSED CONDITIONS

JWLP PARKING ADDITION

249 SPORTSPLEX DRIVE, DRIPPING SPRINGS, TEXAS, 78620

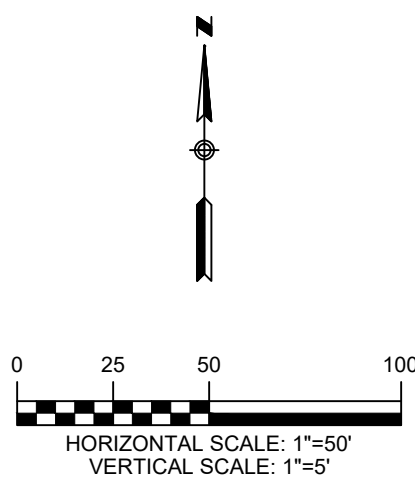
PROJECT NO. 1182-001

DRAWING NO.

SHEET 9 OF 13

XX-####-####X

C:\CompanyData\Clients\1182 - Nysgard & Company, LLC\001-24_JWP Lot 6 Parking Addition\CAD\Sheets\1182-001_DRNG.dwg -- Layout: "EXISTING DRAINAGE AREA MAP" -- Mon, Jun 17, 2024, 10:05am, By: jacob.hernandez



- LEGEND
- 700 --- EXISTING CONTOURS
 - 700 --- PROPOSED CONTOURS
 - DRAINAGE AREA
 - TC --- TIME OF CONCENTRATION
 - A-1 ○ POINT OF ANALYSIS
 - ← DRAINAGE FLOW DIRECTION
 - DA ACRES ○ DRAINAGE AREA LABEL
 - # INLET LABEL

- NOTES:
- ON-SITE SURVEY TOPOGRAPHIC INFORMATION PROVIDED BY WHITECAP SURVEY COMPANY OBTAINED ON JANUARY 11, 2024.
 - OFF-SITE TOPOGRAPHIC INFORMATION OBTAINED FROM TNRIS.

NOTE: APPROVAL OF THESE PLANS BY THE CITY OF DRIPPING SPRINGS INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEER.



TEXAS ONE CALL SYSTEM
1-800-245-4545
UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

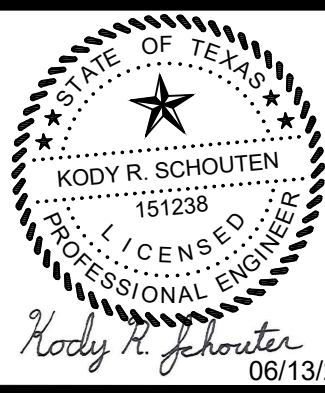
NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF DRIPPING SPRINGS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

CAUTION - ELECTRICITY PRESENT

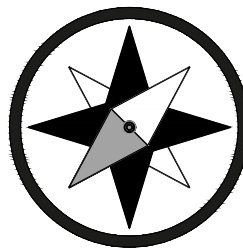
THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

DRAINAGE AREA	SHEET FLOW				SHALLOW CONCENTRATED FLOW				CHANNEL FLOW (GUTTER)			Total Tc (MIN.)	Total Tc (HRS.)
	L FT	SLOPE (FT/FT)	n	Tc sheet (MIN.)	L FT	SLOPE (FT/FT)	Paved? Y or N	Tc Shallow (MIN.)	L FT	Vavg (FT/S)	Tc Channel (MIN.)		
OS A	100.000	0.020	0.40	18.9	552	0.036	N	3.0	0	4.00	0.00	21.9	0.365
A	100.000	0.040	0.40	14.3	229	0.026	N	1.5	0	4.00	0.00	15.8	0.263
A1	0.000	0.050	0.01	0.0	0	0.026	N	0.0	60	4.00	0.25	0.3	0.004

NO.	REVISION	DATE



THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF KODY R. SCHOLTEN, P.E. # 151238 ON 6/17/24. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.



Southwest Engineers

TBPE NO. F-1909
www.swengineers.com

HEADQUARTERS

307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS

205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4330

WARNING

IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: C.O.

CHECKED BY: A.G.

EXISTING DRAINAGE AREA MAP

JWLP PARKING ADDITION

249 SPORTSPLEX DRIVE, DRIPPING SPRINGS, TEXAS, 78620

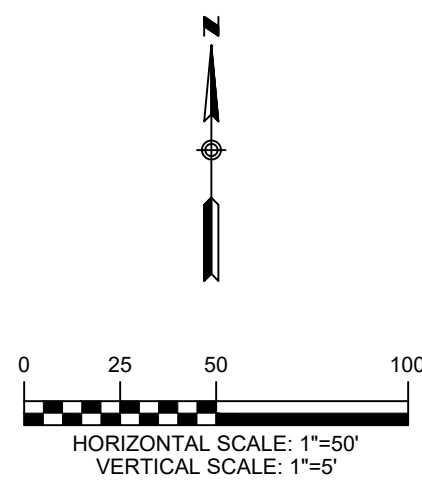
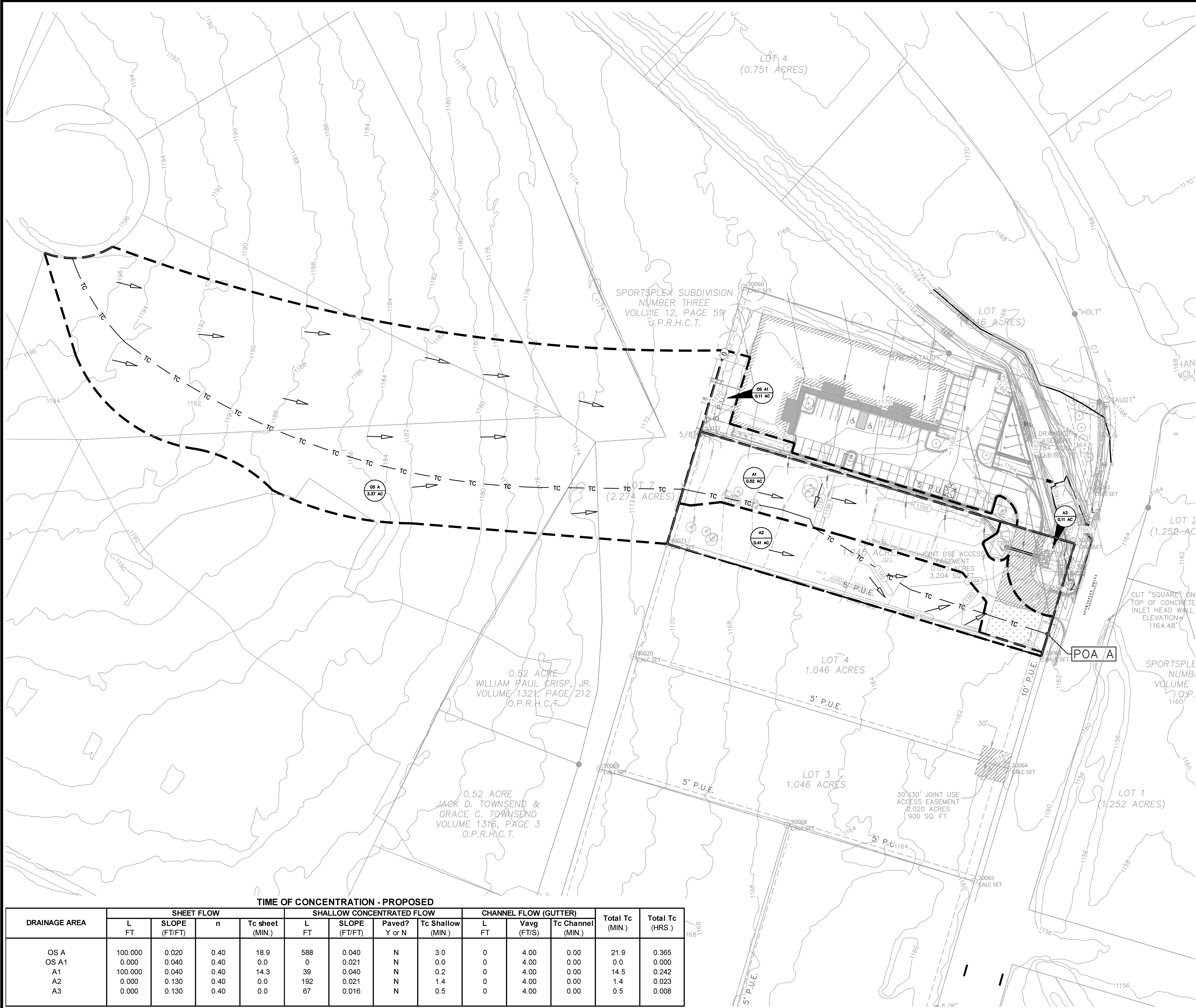
PROJECT NO. 1182-001

DRAWING NO.

SHEET 10 OF 13

XX-####-####X

C:\CompanyData\Clients\1182 - Nysgard & Company, LLC\001-24_JWP Lot 6 Parking Addition\CAD\Sheets\1182-001_DRNG.dwg -- Layout: "PROPOSED DRAINAGE AREA MAP" -- Mon, Jun 17, 2024, 10:05am, By: jacob.hernandez



- LEGEND
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - DRAINAGE AREA
 - TC TIME OF CONCENTRATION
 - POINT OF ANALYSIS
 - DRAINAGE FLOW DIRECTION
 - DRAINAGE AREA LABEL
 - INLET LABEL

- NOTES:
- ON-SITE SURVEY TOPOGRAPHIC INFORMATION PROVIDED BY WHITECAP SURVEY COMPANY OBTAINED ON JANUARY 11, 2024.
 - OFF-SITE TOPOGRAPHIC INFORMATION OBTAINED FROM TNIRIS.

NOTE: APPROVAL OF THESE PLANS BY THE CITY OF DRIPPING SPRINGS INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HISHER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEER.



TEXAS ONE CALL SYSTEM
1-800-245-4545

UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

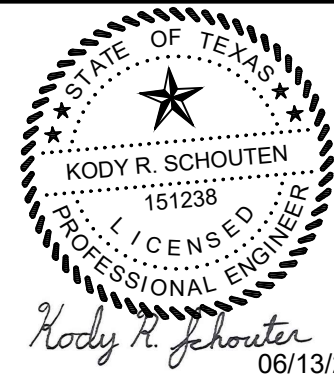
NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF DRIPPING SPRINGS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

CAUTION - ELECTRICITY PRESENT

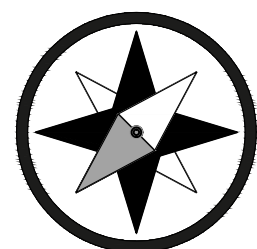
THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

TIME OF CONCENTRATION - PROPOSED													
DRAINAGE AREA	SHEET FLOW				SHALLOW CONCENTRATED FLOW				CHANNEL FLOW (GUTTER)			Total Tc (MIN.)	Total Tc (HRS.)
	L FT	SLOPE (FT/FT)	n	Tc sheet (MIN.)	L FT	SLOPE (FT/FT)	Paved? Y or N	Tc Shallow (MIN.)	L FT	Vavg (FT/S)	Tc Channel (MIN.)		
OS A	100.000	0.020	0.40	18.9	588	0.040	N	3.0	0	4.00	0.00	21.9	0.365
OS A1	0.000	0.040	0.40	0.0	0	0.021	N	0.0	0	4.00	0.00	0.0	0.000
A1	100.000	0.040	0.40	14.3	39	0.040	N	0.2	0	4.00	0.00	14.5	0.242
A2	0.000	0.130	0.40	0.0	192	0.021	N	1.4	0	4.00	0.00	1.4	0.023
A3	0.000	0.130	0.40	0.0	67	0.016	N	0.5	0	4.00	0.00	0.5	0.008

NO.	REVISION	DATE



THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF KODY R. SCHOUTEN, P.E. # 151238 ON 6/17/24. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.



Southwest Engineers

TBPE NO. F-1909
www.swengineers.com

HEADQUARTERS

307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS

205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4330

WARNING

IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: C.O.

CHECKED BY: A.G.

PROPOSED DRAINAGE AREA MAP

JWLP PARKING ADDITION

249 SPORTSPLEX DRIVE, DRIPPING SPRINGS, TEXAS, 78620

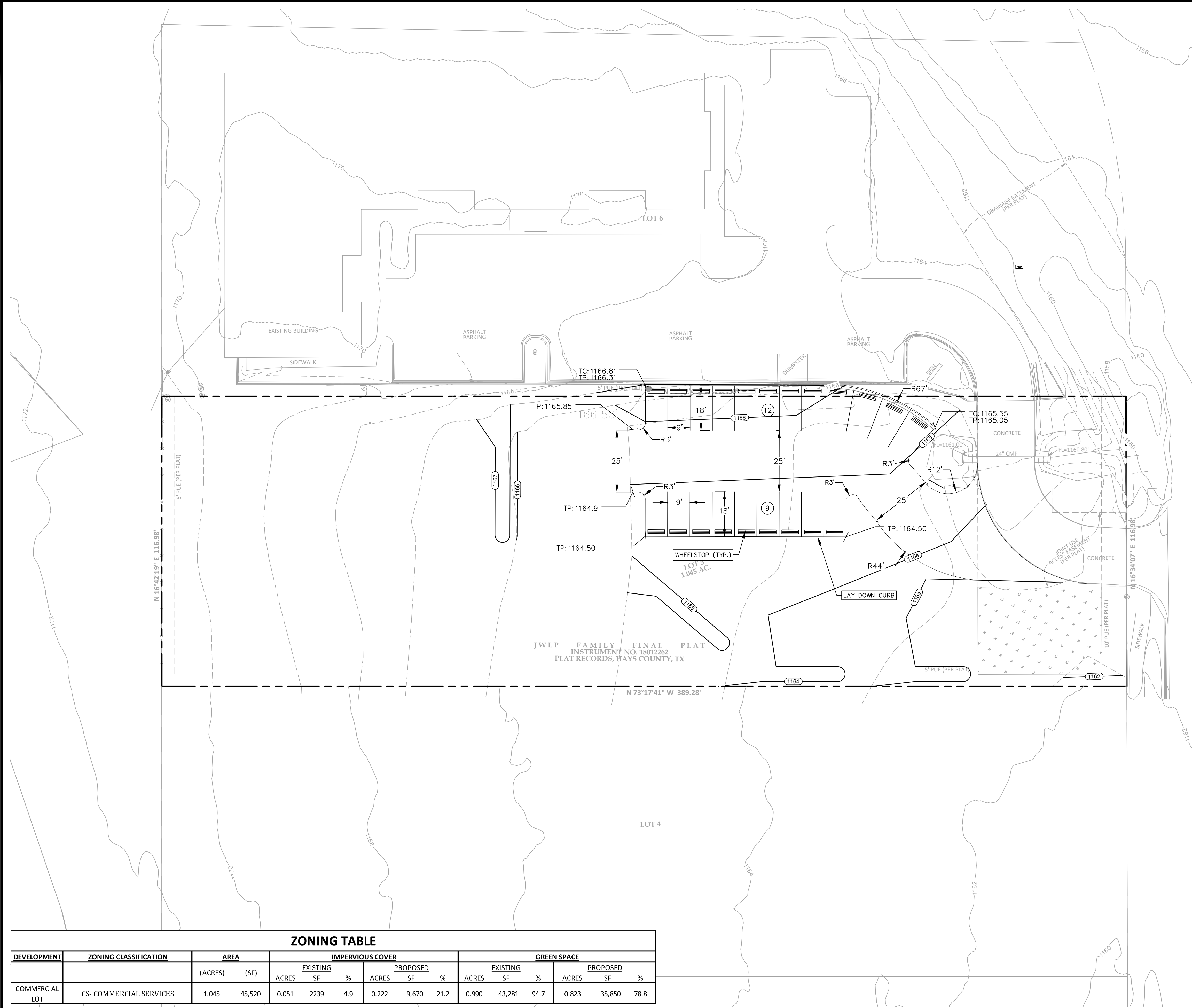
PROJECT NO. 1182-001

DRAWING NO.

SHEET 11 OF 13

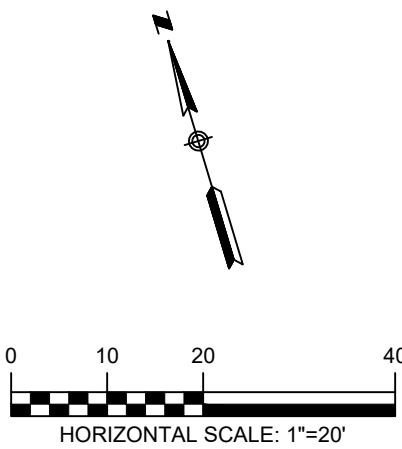
XX-####-####X

C:\CompanyData\Clients\1182 - Nysgard & Company, LLC\001-24_JWP Lot 6 Parking Addition\CAD\Sheets\1182-001_SITE.dwg -- Layout: "SITE AND DIMENSION CONTROL PLAN" -- Mon, Jun 17, 2024, 10:05am, By: jacob.hernandez



KEY NOTES

- 1 SPILL CURB
- 2 CATCH CURB
- 3 LIGHT DUTY PAVEMENT
- 4 HEAVY DUTY PAVEMENT
- 5 LANDSCAPE AREA
- 6 ACCESSIBLE PARKING SIGN
- 7 ROCK FACADE ON EXTERIOR OF POND WALL
- 8 CREEPING FIG ON INTERIOR OF POND WALL
- 9 ROCK RIP-RAP
- 10 OVERFLOW WEIR
- # PARKING COUNT



LEGEND


- PROPERTY BOUNDARY
- EASEMENT LINE
- FIRE LANE
- CURB AND GUTTER
- LOC
- LIMITS OF CONSTRUCTION
- ACCESSIBLE ROUTE
- SIGN
- TREE TO BE KEPT
- PROTECTED TREE TO BE KEPT

GENERAL NOTES:

- ALL TRAFFIC CONTROLS SHALL CONFORM WITH THE LATEST EDITION OF TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- ALL DIMENSIONS ARE TO THE FACE OF THE CURB.
- ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE PLANNING AND DEVELOPMENT REVIEW DEPARTMENT.
- APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL.
- A DEVELOPMENT PERMIT MUST BE ISSUED PRIOR TO AN APPLICATION FOR BUILDING PERMIT FOR NON-CONSOLIDATED OR PLANNING COMMISSION APPROVED SITE PLANS.
- APPROVAL OF THESE PLANS BY THE CITY OF DRIPPING SPRINGS INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
- ACCESSIBLE STREETS MUST BE CONSTRUCTED PRIOR TO THE DEVELOPMENT OF THIS SITE.

NOTE: APPROVAL OF THESE PLANS BY THE CITY OF DRIPPING SPRINGS INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEER.



TEXAS ONE CALL SYSTEM
1-800-245-4545

UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF DRIPPING SPRINGS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

CAUTION - ELECTRICITY PRESENT

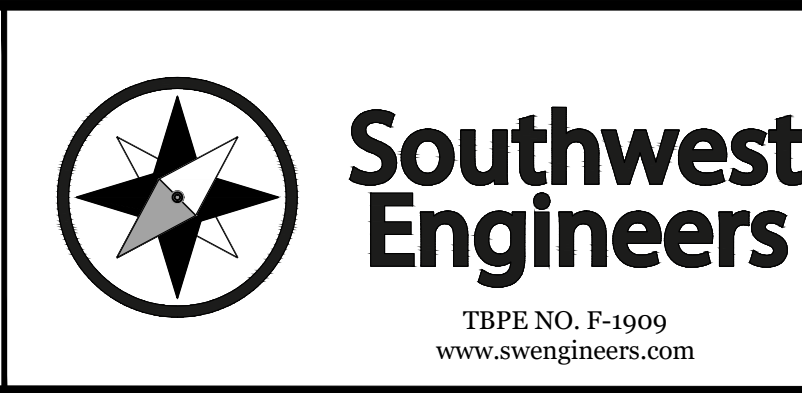
THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

ZONING TABLE											
DEVELOPMENT	ZONING CLASSIFICATION	AREA		IMPERVIOUS COVER						GREEN SPACE	
		(ACRES)	(SF)	EXISTING ACRES	SF	%	PROPOSED ACRES	SF	%	EXISTING ACRES	SF
COMMERCIAL LOT	CS- COMMERCIAL SERVICES	1.045	45,520	0.051	2239	4.9	0.222	9,670	21.2	0.990	43,281
											94.7
										0.823	35,850
											78.8

NO.	REVISION	DATE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JENNIFER SAYERS, P.E. #109825 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



HEADQUARTERS
307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS
205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4330

WARNING
IF THIS BAR DOES NOT MEASURE 1" THE DRAWING IS NOT TO SCALE

DRAWN BY: C.O.

CHECKED BY: A.G.

SITE, DIMENSION CONTROL, AND GRADING PLAN

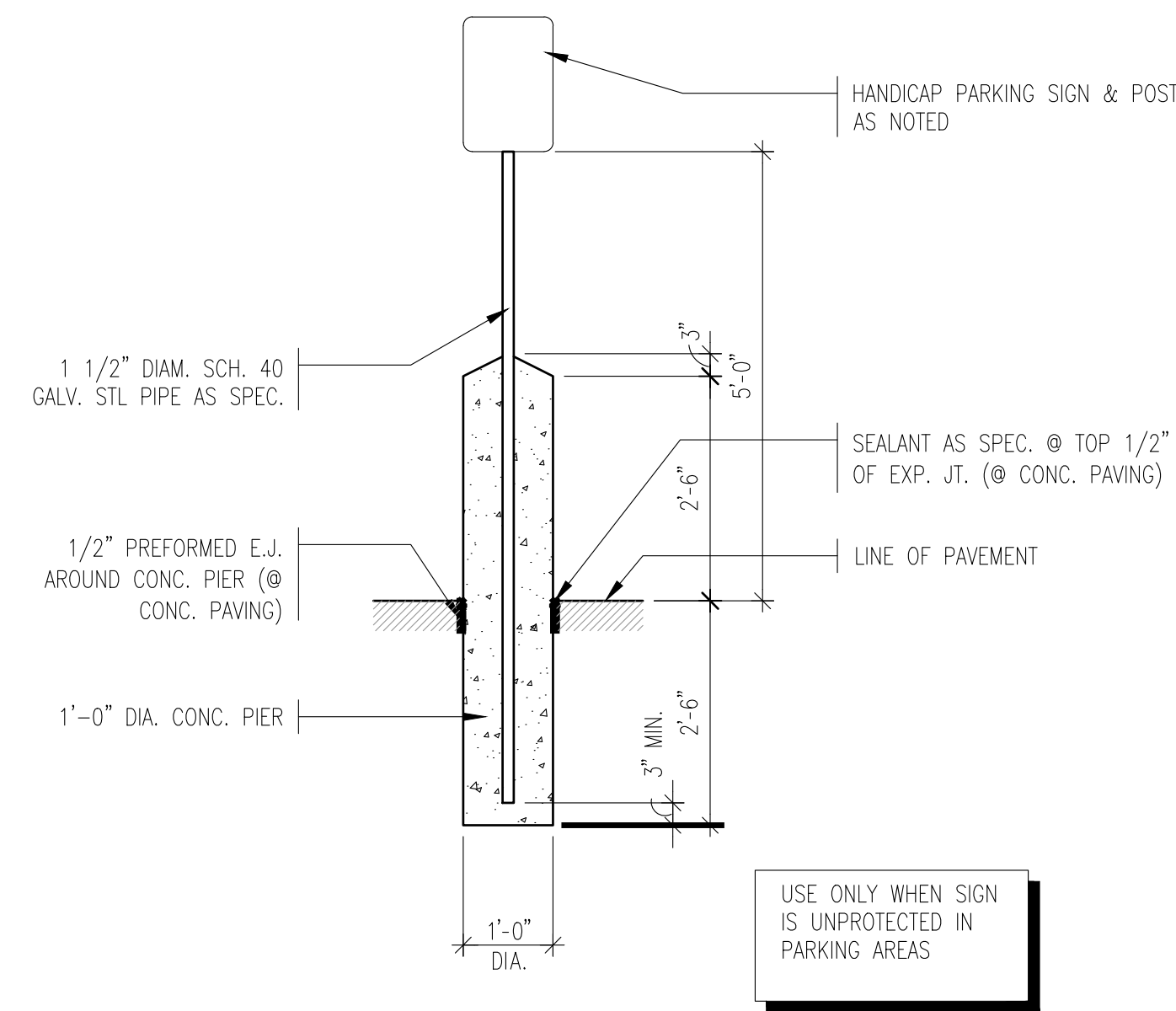
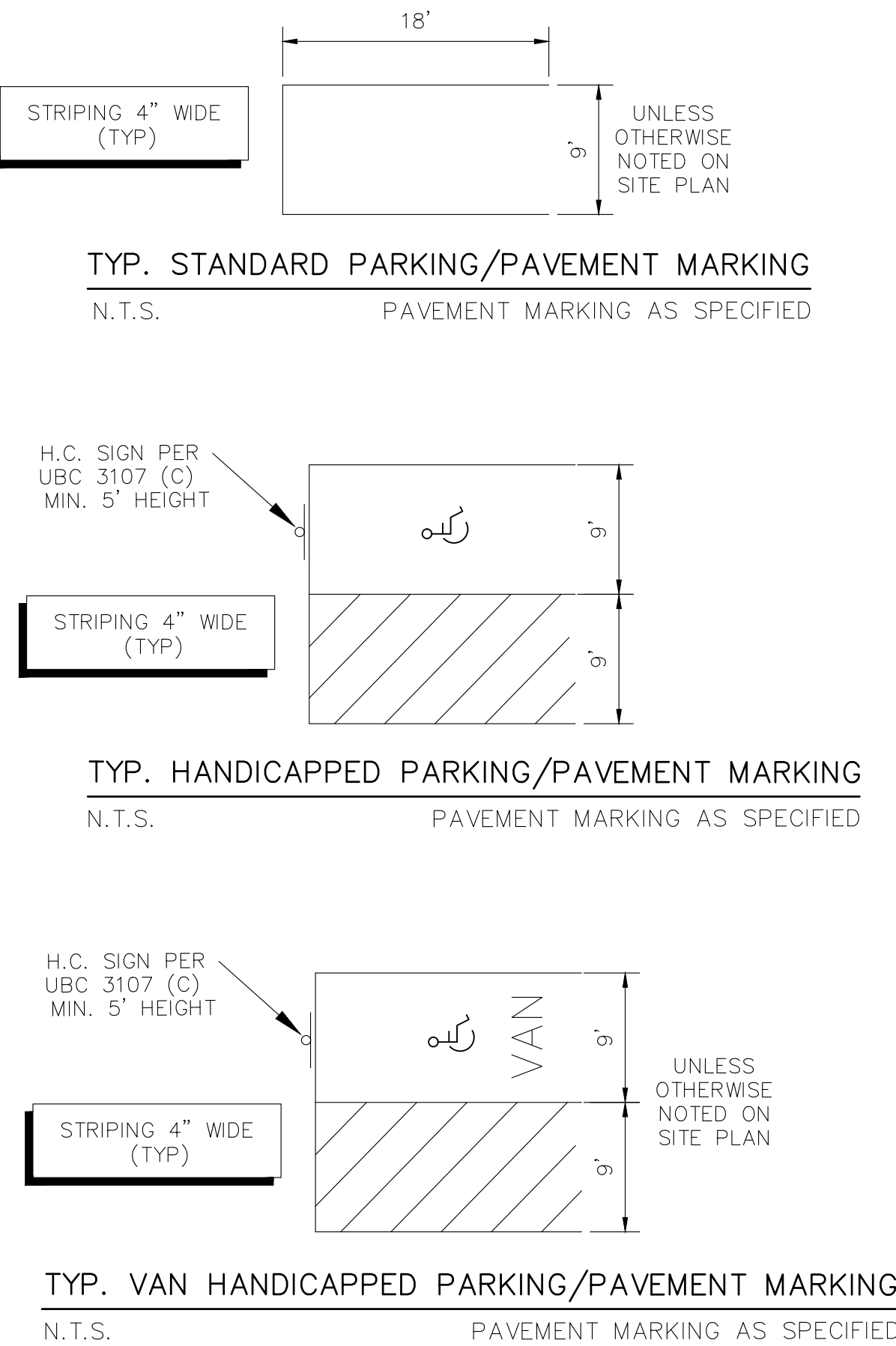
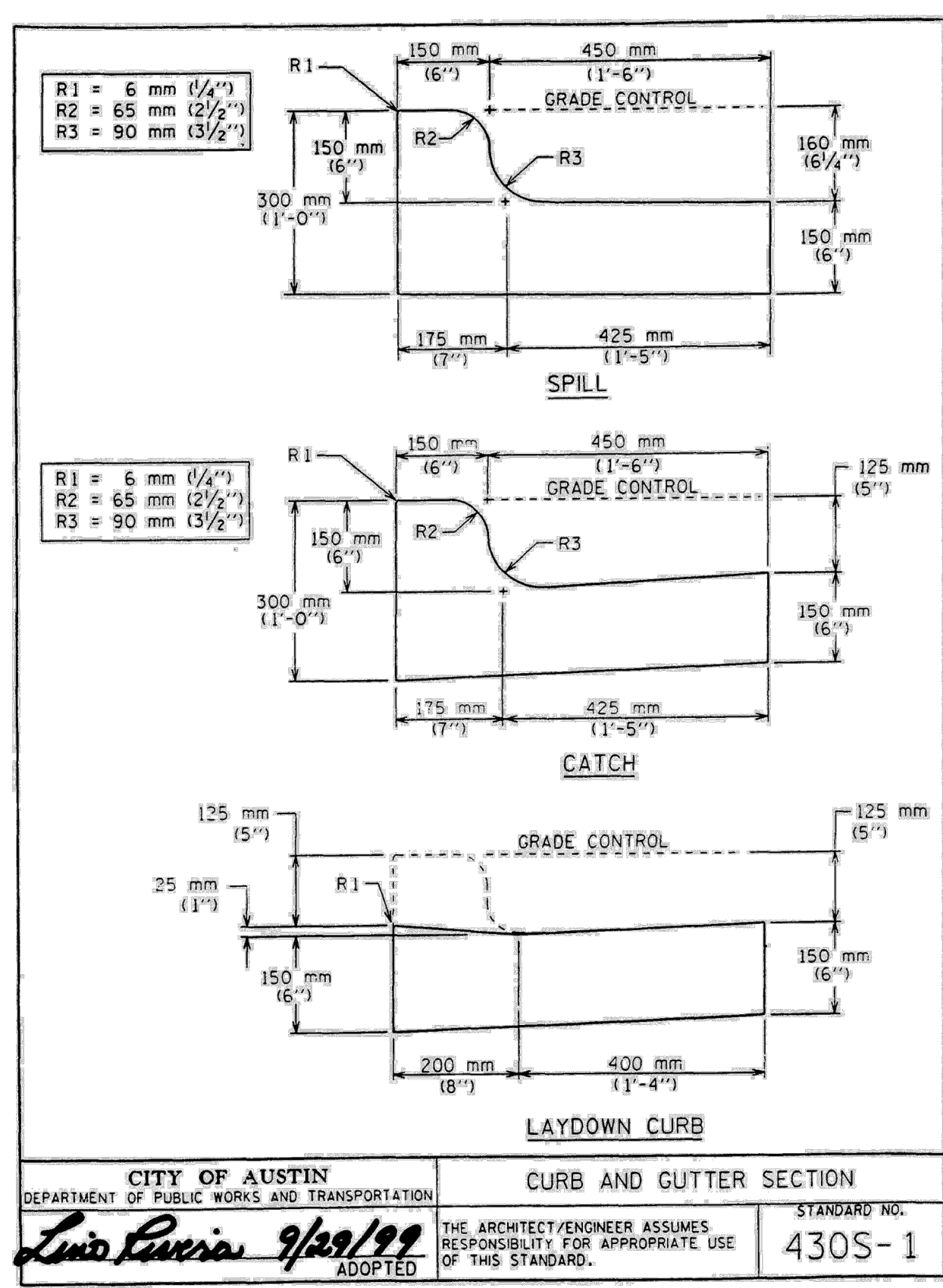
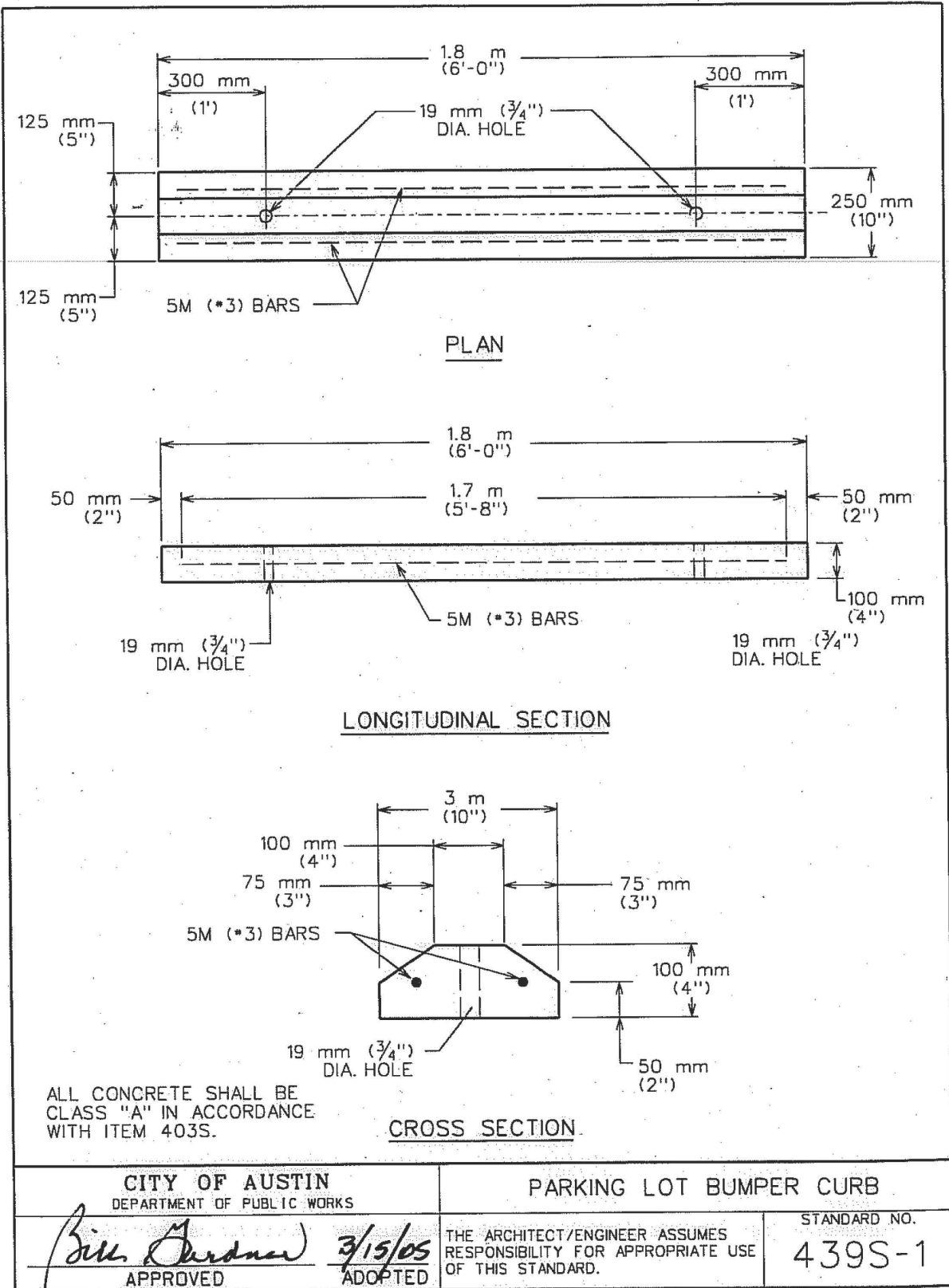
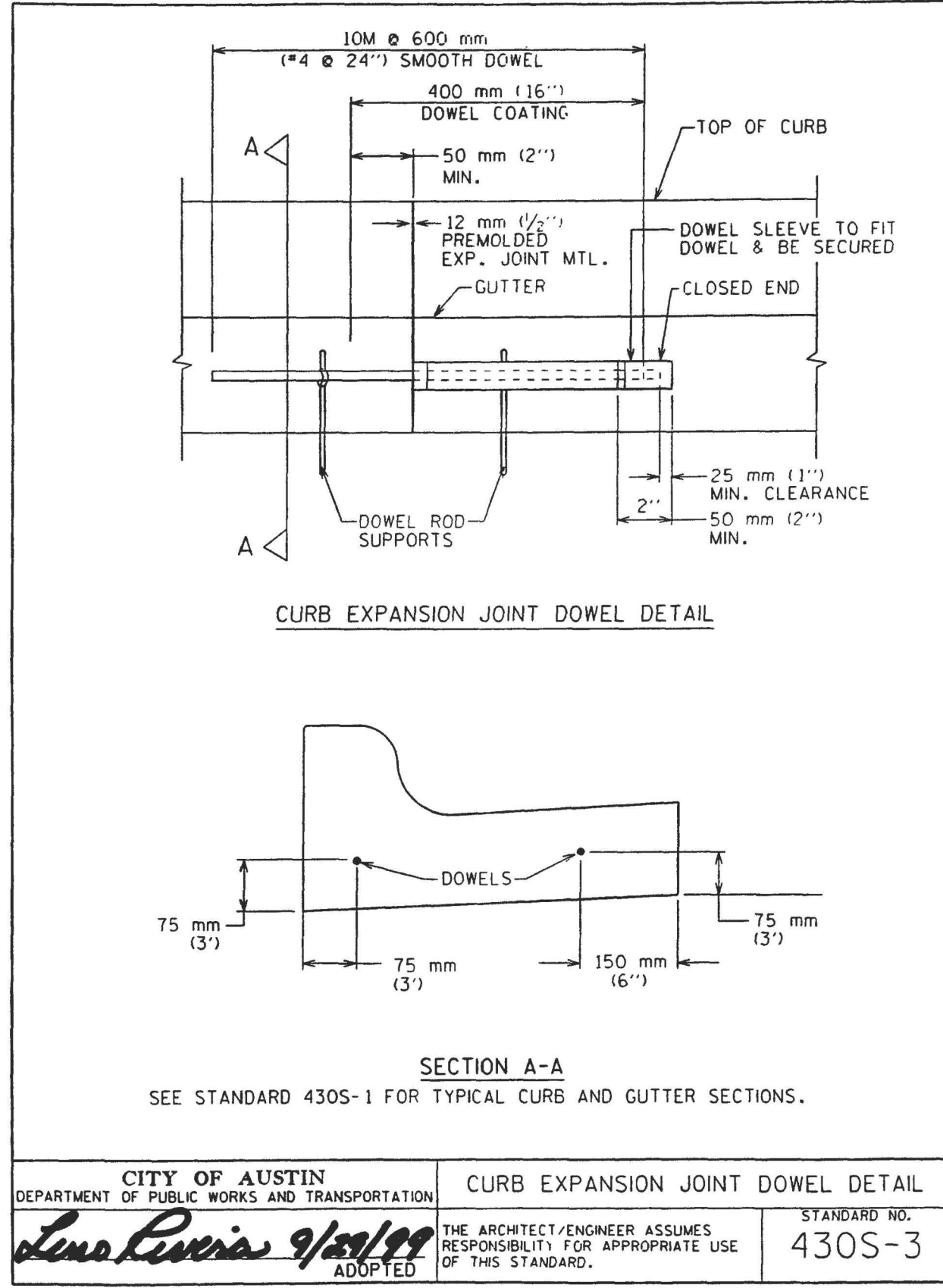
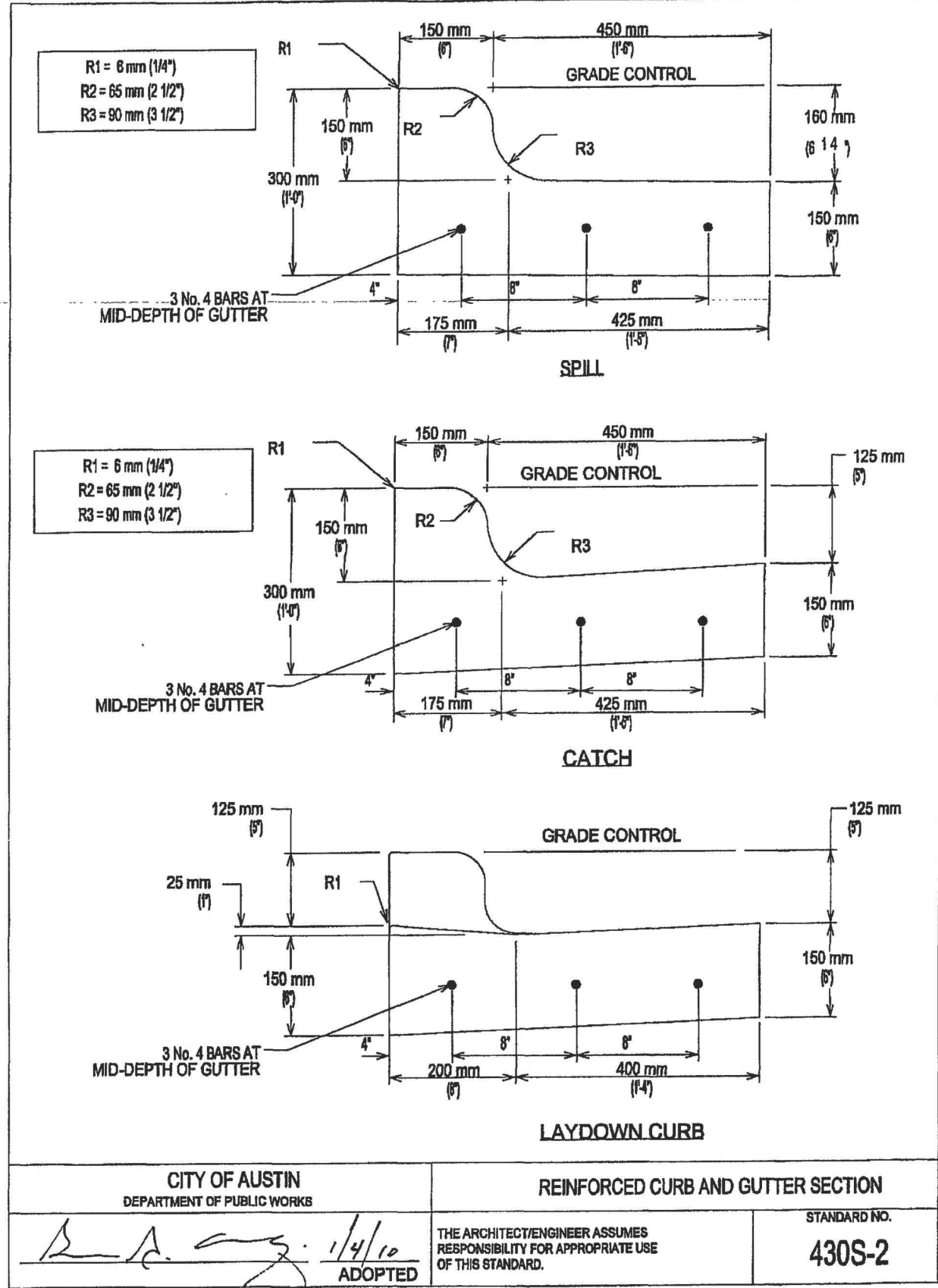
JWLP PARKING ADDITION
249 SPORTSPLEX DRIVE, DRIPPING SPRINGS, TEXAS, 78620

PROJECT NO. 1182-001

DRAWING NO.

SHEET 12 OF 14

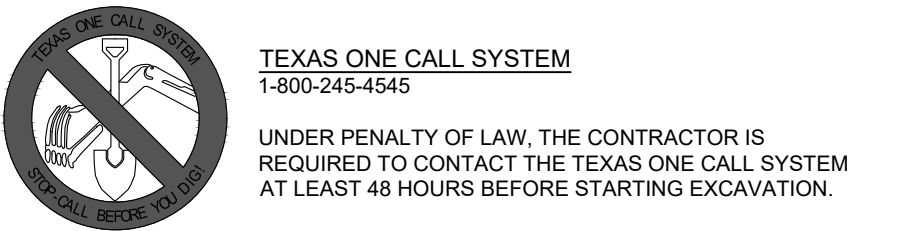
C:\CompanyData\Clients\1182 - Nysgard & Company, LLC\001-24-JWLP Lot 6 Parking Addition\CAD\Sheets\1182-001_SITe.dwg -- Layout: "SITE DETAILS" -- Mon, Jun 17, 2024, 10:05am, By: jacob@hennandez



Texas Commission on Environmental Quality		Project Name: JWLP Parking Addition
TSS Removal Calculations 04-20-2009		Date Prepared: 5/24/2024
Additional Information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell.		
Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-348.		
Characters shown in red are data entry fields.		
Characters shown in black (bold) are calculated fields. Changes to these fields will remove the equations used in the spreadsheet.		
1. The Required Load Reduction for the total project.	Calculations from RG-348	Pages 3-27 to 3-30
Page 3-29 Equation 3.3: $L_{t, reqd} = 27.2(A_u \times P)$		
where:	$L_{t, reqd}$ = Required TSS removal resulting from the proposed development = 80% of increased load	
	A_u = Total impervious area in the project	
	P = Average annual precipitation, inches	
Site Data: Determine Required Load Reduction Based on the Entire Project		
County =	1.60	acres
Predevelopment impervious area within the limits of the plan =	0.05	acres
Total post-development impervious area within the limits of the plan =	0.05	acres
Total post-development impervious cover fraction =	0.03	
$L_{t, reqd}$ =	165	lbs.
* The values entered in these fields should be for the total project area.		
Number of drainage basins / outfall areas leaving the plan area =	1	
2. Drainage Basin Parameters (This information should be provided for each basin)		
Drainage Basin/Outfall Area No. =	42	
Total drainage basin/outfall area =	0.41	acres
Predevelopment impervious area within drainage basin/outfall area =	0.00	acres
Post-development impervious area within drainage basin/outfall area =	0.17	acres
Post-development impervious fraction within drainage basin/outfall area =	0.41	
$L_{t, reqd}$ =	165	lbs.
3. Indicate the proposed BMP Code for this basin.	Proposed BMP = Vegetated Filter Strips	
	Removal efficiency = 60 percent	
4. Calculate Maximum TSS Load Removed (L_R) for this Drainage Basin by the selected BMP Type.	RG-348 Page 3-33 Equation 3.7: $L_R = (BMP \text{ efficiency}) \times P \times (A_u \times 34.6 + A_p \times 0.56)$	
where:	A_u = Total On-Site drainage area in the BMP catchment area	
	A_p = Impervious area proposed in the BMP catchment area	
	A_p = Previous area remaining in the BMP catchment area	
	L_R = TSS Load removed from this catchment area by the proposed BMP	
A_u =	0.41	acres
A_p =	0.17	acres
A_p =	0.24	acres
L_R =	166	lbs.
5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area		
Desired $L_{t, reqd}$ =	165	lbs.
F =	0.92	
6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area.	Calculations from RG-348	Pages 3-34 to 3-36
Post-Development Runoff Coefficient =	0.30	
On-Site Water Quality Volume =	924	cubic feet
Off-site area draining to BMP =	0.37	acres
Off-site impervious cover draining to BMP =	0.00	acres
Impervious fraction of off-site area =	0.00	
Off-site Runoff Coefficient =	0.11	
Off-site Water Quality Volume =	2793	cubic feet
Total Capture Volume (required water quality volume) $\times 1.20$ =	4488	cubic feet
16. Vegetated Filter Strips	Designed as Required in RG-348	Pages 3-55 to 3-57
There are no calculations required for determining the load or size of vegetative filter strips.		
The 80% removal is provided when the vegetative filter strip does not exceed 75 feet (direction of flow) and the sheet flow leaving the impervious cover is directed across 10 feet of vegetative filter strips with maximum slope of 20% or across 50 feet of natural vegetation with a maximum slope of 10%. There can be a break in grade as long as the slope exceeds 20%.		
If vegetative filter strips are proposed for an interim permanent BMP, they may be sized as described on Page 3-56 of RG-348.		
Vegetated Filter Strip dimensions		
Min Width: 10'		
Max Width: 72'		
Provised 30'x50'		

NOTE: APPROVAL OF THESE PLANS BY THE CITY OF DRIPPING SPRINGS INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEER.



NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF DRIPPING SPRINGS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

CAUTION - ELECTRICITY PRESENT

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

NO.	REVISION	DATE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JENNIFER SAYERS, P.E. #109825 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



HEADQUARTERS
307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS
205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4330

WARNING

IF THIS BAR DOES NOT MEASURE 1" THE DRAWING IS NOT TO SCALE

DRAWN BY: C.O.

CHECKED BY: A.G.

SITE DETAILS

JWLP PARKING ADDITION
249 SPORTSPLEX DRIVE, DRIPPING SPRINGS, TEXAS, 78620

PROJECT NO. 1182-001

DRAWING NO.

SHEET 13 OF 14

XX-####-####X

CONTRIBUTING ZONE PLAN ATTACHMENT N

INSPECTION, MAINTENANCE, REPAIR AND RETROFIT PLAN

PROJECT NAME: JWLP Parking Addition
ADDRESS: 249 Sportsplex Drive
CITY, STATE ZIP: Dripping Springs, TX 78620

Maintenance Guidelines for Vegetative Filter Strips:

The recommended maintenance plan for the Vegetative Filter Strip is as follows:

Little additional maintenance is generally necessary. The key to establishing a viable vegetated feature is the care and maintenance it receives in the first few months after it is planted. Once established, all vegetated BMPs require some basic maintenance to ensure the health of the plants including:

Pest Management

An Integrated Pest Management (IPM) Plan should be developed for vegetated areas. This plan should specify how problem insects and weeds will be controlled with minimal or no use of insecticides and herbicides.

Seasonal Mowing and Lawn Care

If the filter strip is made up of turf grass, it should be mowed as needed to limit vegetation height to 18 inches, using a mulching mower (or removal of clippings). If native grasses are used, the filter may require less frequent mowing, but a minimum of twice annually. Grass clippings and brush debris should not be deposited on vegetated filter strip areas. Regular mowing should also include weed control practices; however, herbicide use should be kept to a minimum (Urbonas et al., 1992). Healthy grass can be maintained without using fertilizers because runoff usually contains sufficient nutrients. Irrigation of the site can help assure a dense and healthy vegetative cover.

Inspection

Inspect filter strips at least twice annually for erosion or damage to vegetation; however, additional inspection after periods of heavy runoff is most desirable. The strip should be checked for uniformity of grass cover, debris and litter, and areas of sediment accumulation. More frequent inspections of the grass cover during the first few years after establishment will help to determine if any problems are developing, and to plan for long-term restorative maintenance needs. Bare spots and areas of erosion identified during semi-annual inspections must be replanted and 3-92 restored to meet specifications. Construction of a level spreader device may be necessary to reestablish shallow overland flow.



Debris and Litter Removal

Trash tends to accumulate in vegetated areas, particularly along highways. Any filter strip structures (i.e. level spreaders) should be kept free of obstructions to reduce floatable being flushed downstream, and for aesthetic reasons. The need for this practice is determined through periodic inspection but should be performed no less than 4 times per year.

Sediment Removal

Sediment removal is not normally required in filter strips since the vegetation normally grows through it and binds it to the soil. However, sediment may accumulate along the upstream boundary of the strip preventing uniform overland flow. Excess sediment should be removed by hand or with flat-bottomed shovels.

Grass Reseeding and Mulching

A healthy dense grass should be maintained on the filter strip. If areas are eroded, they should be filled, compacted, and reseeded so that the final grade is level. Grass damaged during the sediment removal process should be promptly replaced using the same seed mix used during filter strip establishment. If possible, flow should be diverted from the damaged areas until the grass is firmly established. Bare spots and areas of erosion identified during semi-annual inspections must be replanted and restored to meet specifications. Corrective maintenance, such as weeding or replanting should be done more frequently in the first two to three years after installation to ensure stabilization. Dense vegetation may require irrigation immediately after planting, and during particularly dry periods, particularly as the vegetation is initially established.



**Southwest
Engineers**

WWW.SWENGINEERS.COM | TBPE NO. F-1909

BUDA

205 CIMARRON PARK LOOP
BUDA, TX 78610
512-312-4336

Documenting Inspections: Inspection, maintenance, repairs, and retrofits performed per the above requirements must be documented and records thereof maintained with the CZP.

The following format may be used to document the required maintenance:

Facility Name: _____

Date of Inspection: _____

Reason of Inspection/Action: _____
(Monthly, Quarterly, Yearly, Rainfall, Other)

Vegetative Filter Strip Conditions: _____

Detailed Description of Actions Taken: _____

Owner/Responsible Party: Chris Nygard
(Name Typed)

Entity: Intrepid Commercial Properties
Mailing Address: 100 Commons Road, Suite 7-339
City, State: Dripping Springs, Texas Zip: 78620
Telephone: (512)844-6871
Fax: _____

I, CHRIS NYGARD for INTREPID / JWLP, agree to maintain the BMP's according to the above recommended maintenance plan, until such time the ownership transfers.



Signature of Owner or Responsible Party

6-19-24

Date

CONTRIBUTING ZONE PLAN
ATTACHMENT O

PILOT-SCALE FIELD TESTING PLAN

This section is Not Applicable (N/A) for this project.

CONTRIBUTING ZONE PLAN APPLICATION ATTACHMENT P

MEASURES FOR MINIMIZING SURFACE STREAM CONTAMINATION

The proposed improvements are not expected to change the way in which the water enters the stream or affects stream flashing, in-stream velocities, and other in-stream effects. Furthermore, the proposed BMP's outfall is equipped with vegetation which will help reduce the velocity of discharge from the site and eliminate any erosion problems associated with flow from the site.

IV.

TEMPORARY STORMWATER SECTION (TCEQ-0602)

Temporary Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

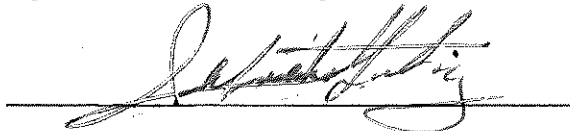
Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Alberto Gutierrez

Date: 06/17/2024

Signature of Customer/Agent:



Regulated Entity Name: JWLP Lot 5

Project Information

Potential Sources of Contamination

Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.

1. Fuels for construction equipment and hazardous substances which will be used during construction:

☐ The following fuels and/or hazardous substances will be stored on the site: _____

These fuels and/or hazardous substances will be stored in:

- ☐ Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

- ☐ Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
- ☐ Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- ☒ Fuels and hazardous substances will not be stored on the site.
- 2. ☒ **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3. ☒ Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4. ☒ **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

Sequence of Construction

- 5. ☒ **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
 - ☒ For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
 - ☒ For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6. ☒ Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: Onion Creek

Temporary Best Management Practices (TBMPs)

Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.

- 7. ☒ **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- ☒ A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
 - ☒ A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
 - ☒ A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
 - ☒ A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8. ☒ The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- ☐ **Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
- ☒ There will be no temporary sealing of naturally-occurring sensitive features on the site.
9. ☒ **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10. ☒ **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
 - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
 - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
 - ☐ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

- ☒ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.
11. ☐ **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.
- ☒ N/A
12. ☒ **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13. ☒ All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14. ☒ If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15. ☒ Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16. ☒ Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

Soil Stabilization Practices

Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.

17. ☒ **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

- 18. ☒ Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
- 19. ☒ Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

Administrative Information

- 20. ☒ All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
- 21. ☒ If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
- 22. ☒ Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.

TEMPORARY STORMWATER SECTION ATTACHMENT A

SPILL RESPONSE ACTIONS

Responsibility for adequate cleanup of any chemical spills during construction will be placed on the owner. All spill prevention actions and spill response/cleanup actions will be per Section 1.4.16 of TCEQ RG-348. The responsible person will notify TCEQ of any chemical spills as required and outlined in 30 TAC 327.4 and 40 CFR 302.4.

General Measures

1. To the extent that the work can be accomplished safely, spills of oil, petroleum products, substances listed under 40 CFR parts 110,117, and 302, and sanitary and septic wastes should be contained and cleaned up immediately.
2. Store hazardous materials and wastes in covered containers and protect from vandalism.
3. Place a stockpile of spill cleanup materials where it will be readily accessible.
4. Train employees in spill prevention and cleanup.
5. Designate responsible individuals to oversee and enforce control measures.
6. Spills should be covered and protected from stormwater runoff during rainfall to the extent that it doesn't compromise cleanup activities.
7. Do not bury or wash spills with water.
8. Store and dispose of used clean up materials, contaminated materials, and recovered spill material that is no longer suitable for the intended purpose in conformance with the provisions in applicable BMPs.
9. Do not allow water used for cleaning and decontamination to enter storm drains or watercourses. Collect and dispose of contaminated water in accordance with applicable regulations.
10. Contain water overflow or minor water spillage and do not allow it to discharge into drainage facilities or watercourses.
11. Place Material Safety Data Sheets (MSDS), as well as proper storage, cleanup, and spill reporting instructions for hazardous materials stored or used on the project site in an open, conspicuous, and accessible location.
12. Keep waste storage areas clean, well-organized, and equipped with ample cleanup supplies as appropriate for the materials being stored. Perimeter controls, containment structures, covers, and liners should be repaired or replaced as needed to maintain proper function.

Cleanup

1. Clean up leaks and spills immediately.
2. Use a rag for small spills on paved surfaces, a damp mop for general cleanup, and absorbent material for larger spills. If the spilled material is hazardous, then the used cleanup materials are also hazardous and must be disposed of as hazardous waste.

3. Never hose down or bury dry material spills. Clean up as much of the material as possible and dispose of properly. See the waste management BMPs in this section for specific information.

Minor Spills

1. Minor spills typically involve small quantities of oil, gasoline, paint, etc. which can be controlled by the first responder at the discovery of the spill.
2. Use absorbent materials on small spills rather than hosing down or burying the spill.
3. Absorbent materials should be promptly removed and disposed of properly.
4. Follow the practice below for a minor spill:
 - i) Contain the spread of the spill.
 - ii) Recover spilled materials.
 - iii) Clean the contaminated area and properly dispose of contaminated materials.

Semi-Significant Spills

Semi-significant spills still can be controlled by the first responder along with the aid of other personnel such as laborers and the foreman, etc. This response may require the cessation of all other activities.

Spills should be cleaned up immediately:

- 1) Contain spread of the spill.
- 2) Notify the project foreman immediately.
- 3) If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (absorbent materials, cat litter and/or rags). Contain the spill by encircling with absorbent materials and do not let the spill spread widely.
- 4) If the spill occurs in dirt areas, immediately contain the spill by constructing an earthen dike. Dig up and properly dispose of contaminated soil.
- 5) If the spill occurs during rain, cover spill with tarps or other material to prevent contaminating runoff.

Significant/Hazardous Spills

For significant or hazardous spills that are in reportable quantities:

- 1) Notify the TCEQ by telephone as soon as possible and within 24 hours at 512- 339-2929 (Austin) or 210-490-3096 (San Antonio) between 8 AM and 5 PM. After hours, contact the Environmental Release Hotline at 1-800-832-8224. It is the contractor's responsibility to have all emergency phone numbers at the construction site.
- 2) For spills of federal reportable quantities, in conformance with the requirements in 40 CFR parts 110,119, and 302, the contractor should notify the National Response Center at (800) 424-8802.
- 3) Notification should first be made by telephone and followed up with a written report.

- 4) The services of a spills contractor or a Haz-Mat team should be obtained immediately. Construction personnel should not attempt to clean up until the appropriate and qualified staffs have arrived at the job site.
- 5) Other agencies which may need to be consulted include, but are not limited to, the City Police Department, County Sheriff Office, Fire Departments, etc. More information on spill rules and appropriate responses is available on the TCEQ website at: http://www.tnrcc.state.tx.us/enforcement/emergency_response.html

TEMPORARY STORMWATER SECTION ATTACHMENT B

POTENTIAL SOURCES OF CONTAMINATION

Some potential sources of contamination are as follows:

- fuel storage and use,
- chemical storage and use,
- use of asphaltic products,
- construction vehicles tracking onto public roads,
- existing solid waste,
- and other vehicular contaminants (i.e., fuel, oil, lubricants, etc.).

Refer to Attachment A for Spill Response Actions.

TEMPORARY STORMWATER SECTION ATTACHMENT C

SEQUENCE OF MAJOR ACTIVITIES

1. Construct temporary erosion control measures, including all silt fences, inlet protections, mulch socks, and tree protection fencing per approved plan. (0.87 acres)
2. Conduct pre-construction conference with city inspector, water and wastewater utility representative, owner's representative, architect, engineer, and contractor. Contact City of Dripping Springs Planning and Development Services Department (512-858-4725) a minimum of 48 hours prior to this pre-construction meeting. An esc contact name and number will be provided to the city inspector for 24/7 access in the event of erosion and sediment control breach or related problem. (N/A)
3. The Existing Sand Filtration basin will act as permanent sedimentation basin. (N/A)
4. Contractor shall contact City of Dripping Springs Public Works Department prior to utility abandonment at 512-858-4725 if appropriate. (N/A)
5. Perform clearing, demolition and rough grading. (0.87 acres)
6. Install utilities. Conduct water and wastewater utility construction and testing for city acceptance. Coordinate underground electric, telephone, cable tv, and telecommunications construction. (N/A)
7. Construct all weather access drives including asphalt, base, and curb & gutter. (0.18 acres)
8. Construct buildings. (N/A)
9. Install all sidewalks. (N/A)
10. Install streetscape and/or landscaping improvements. (0.55)
11. Prior to city final acceptance, the contractor shall have vegetative cover in place in conformance with the general construction notes and landscape plan. All adjacent areas disturbed by the work will be repaired and revegetated by the general contractor to preexisting or better conditions. Permanent controls will be cleaned out and filter media will be installed prior to/concurrently with revegetation of site. (0.64 acres)
12. Schedule site final inspection with city environmental technician and city building inspector. (N/A)
13. Remove any trapped sediment at erosion control devices and upon approval of city inspector. Remove all temporary erosion controls and tree protection. (N/A)

14. The total overall disturbed area (limits of construction) for subject site is approximately 0.87 acres. The total proposed impervious cover for Lot 5 is 0.172 acres.

TEMPORARY STORMWATER SECTION ATTACHMENT D

TEMPORARY BEST MANAGEMENT PRACTICES AND MEASURES

At the beginning of the project, Temporary Best Management Practices (BMPs) will be installed according to the Erosion and Sedimentation Notes and Details sheet and placed as shown on the Erosion and Sedimentation Control Plan sheet. Silt fences will be installed and the proposed detention pond and vegetative filter strips will be rough cut before construction begins. When full, the proposed batch detention pond overflow will sheet flow downstream through silt fence. During construction, the silt fencing, vegetative filter strips and detention pond are to be inspected weekly, and after any rainfall. There is no upgradient water from the undeveloped site upstream of the proposed development.

On-site Water

Silt fencing will be placed downwards along the boundary line of the tracts. These Temporary BMPs will be installed along the down-gradient boundary of the property to filter all runoff that originates on site. The temporary construction entrance will be installed to prevent tracking materials offsite. Additionally, a concrete truck washout area will be placed onsite and be accessible to all existing traffic leaving the site. By this, the Temporary BMPs will prevent pollution of surface water that originates on-site due to the construction of the project.

The following sections were taken from the TNCC Manual, "Complying with Edward Aquifer Rules: Technical Guidance on Best Management Practices."

- Construction Exit should be used at all designated access points.
- Silt Fence (interior) Areas of minor sheet flow. < ¼ acre/100 feet of fence < 20% slopes.
- Silt Fence (exterior) Down slope borders of site; up slope border is necessary to divert offsite drainage. For larger areas use diversion swale or berm. < ¼ acre/100 feet of fence < 20% slopes.
- Rock Berm Drainage swales and ditches with and below site. < 5 acres < 30% slopes.
- Inlet Protection Prevent sediment from entering storm drain system. < 1 acre.
- Spill Prevention Used on all sites to reduce spills.
- Concrete Washout Use on all concrete pouring operations.

- A. A description of how BMPs and measures will prevent pollution of surface water, groundwater or storm water that originates upgradient from the site and flows across the site.
1. The upgradient storm water will be directed to the previously mentioned temporary BMPs.
- B. A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated storm water runoff from the site.
1. Silt fence and stabilized construction entrances shall be used to prevent pollution of surface water, groundwater or storm water that originates on-site or flows off-site by locating the TBMPs downstream of the flows leaving the site. The TBMPs will reduce the amount of contaminated runoff leaving the site by acting as a filter for sediment before the flows are released into the existing storm sewer system. Also included is a stabilized construction entrance to reduce the amount of mud tracked onto surrounding streets by construction vehicles. Inspection and maintenance of the on-site controls shall be performed during the site clearing and rough grading process.
- All TBMPs will be maintained by the Contractor as will be described in the Contractor's Storm water Pollution Prevention Plan (SWPPP). The initial installation of Erosion and Sedimentation Controls will act as a sediment trap, and help to prevent pollution of surface waters from runoff originating on-site to the greatest extent practicable.
- C. A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
1. By locating the TBMPs downstream of the flows leaving the site, the TBMPs will reduce the amount of contaminated runoff leaving the site by acting as a filter for sediment before the flows are released. Also included is a stabilized construction entrance to reduce the amount of mud tracked onto surrounding streets by construction vehicles. Inspection and maintenance of the on-site controls shall be performed during the site clearing and rough grading process. All TBMPs will be maintained by the Contractor as will be described in the Contractor's SWPPP. The initial installation of Erosion and Sedimentation Controls will act as a sediment trap, and help to prevent pollution of surface waters from runoff originating onsite to the greatest extent practicable.

- D. A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.

Please refer to the Erosion and Sedimentation Control Plan and Erosion Control Details sheets within JWLP Parking Addition Plan Set.

TEMPORARY STORMWATER SECTION ATTACHMENT E

REQUEST TO TEMPORARILY SEAL A FEATURE

This section is Not Applicable (N/A) for this project. There will be no temporary sealing of naturally occurring sensitive features on the site.

TEMPORARY STORMWATER SECTION ATTACHMENT F

STRUCTURAL PRACTICES

Structural practices will be used to limit runoff discharge of pollutants from exposed areas of the site. Silt fencing, triangular sediment filter dikes, inlet protection devices, and stabilized construction entrances will be incorporated as temporary erosion control devices and will be removed after the permanent stabilization is established.

Silt fencing shall be incorporated throughout the construction process. The placement of the silt fencing shall be perpendicular to runoff flow. Refer to project construction documents for quantity and actual locations of these erosion control devices. In areas where silt fencing is to be situated but is non-installable, triangular filter dikes shall be incorporated.

Stabilized construction entrances will be employed during the construction of this site to help minimize vehicle tracking of sediments. Paved streets adjacent to these site entrances shall be cleaned and/or swept regularly to remove any excess mud, dirt or rock tracked from the site. Refer to the project construction documents for actual locations of these erosion control devices. Staging areas will be utilized in locations as decided by the project general contractor and validated by the civil engineer. If the contractor determines the need for additional stabilized construction entrances, construction staging areas or pits, their locations shall be agreed upon by the contractor and the engineer and annotated in the Storm Water Pollution Prevention Plan (SWPPP) posted on the site during construction.

TEMPORARY STORMWATER SECTION ATTACHMENT G

DRAINAGE AREA MAPS

Please refer to the Existing and Proposed Drainage Area Maps (Sheets 10-11) in the JWLP Parking Addition Site Plan included with this application.

TEMPORARY STORMWATER SECTION
ATTACHMENT H

TEMPORARY SEDIMENT POND(S) PLANS AND CALCULATIONS

This section is Not Applicable (N/A) for this project.

TEMPORARY STORMWATER SECTION ATTACHMENT I

INSPECTION AND MAINTENANCE FOR BMPS

INSPECTIONS

Each contractor will designate a qualified person (or persons) to perform the following inspections:

1. Disturbed areas and areas used for storage of materials that are exposed to precipitation will be inspected for evidence of, or the potential for, pollutants entering the drainage system.
2. Erosion and sediment control measures identified in the plan will be observed to ensure that they are operating correctly.
3. Where discharge locations or points are accessible, they will be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters.
4. Locations where vehicles enter or exit the site will be inspected for evidence of offsite sediment tracking.

The inspection shall be conducted by the responsible person at least once every seven (7) calendar days and within 24 hours after a storm providing 1/2 inches of rainfall or greater. If one or more of the following conditions apply, the frequency of inspections shall be conducted at least once every month:

1. The site has been temporarily stabilized.
2. Where runoff is unlikely due to winter conditions (i.e. site is covered with snow, ice, or where frozen ground exists).
3. During seasonal arid periods in arid areas (areas with an average annual rainfall of 0 to 10 inches) and semi-arid areas (areas with an average annual rainfall of 10 to 20 inches).

The information required within an inspection and maintenance report are as follows:

1. Summary of the scope of the inspection.
2. Name(s) and qualifications of personnel making the inspection.

3. The date(s) of the inspection.
4. Major observations relating to the implementation of the storm water pollution prevention plan.
5. Changes required to correct damages or deficiencies in the control measures.

In addition to the required routine inspections, the following record of information will also be maintained:

1. The dates when selective clearing activities occur.
2. The dates when selective clearing activities permanently cease on a portion of the site.

Inspection and maintenance reports, as well as all records required by a Storm Water Pollution Prevention Plan (SWPPP), shall be included in the onsite SWPPP as part of the Texas Pollution Discharge Elimination System (TPDES) Report. Copies of example forms to be used for the inspection and maintenance reports along with their related records, will be included in the onsite SWPPP and are provided for reference.

MAINTENANCE

Based on the results of the inspection, any changes required to correct damages or deficiencies in the control measures shall be made within seven (7) calendar days after the inspection. If existing erosion controls need modification or additional erosion controls are necessary, implementation shall be achieved prior to the next anticipated storm event. If, however, the execution of this requirement becomes impractical, then the implementation will occur as soon as possible, with the incident duly noted with an explanation of the impracticality, in the inspection report.

Sediment accumulation at each control will be removed and properly disposed when the depth of accumulation equals or exceeds six (6) inches. If sediment accumulation is found to be contaminated, its disposal shall be off-site in a manner which conforms to the appropriate applicable regulations.



JWLP Parking Addition Site Plan
249 Sportsplex Drive, Dripping Springs, TX 78620

Inspection Report

Prevention Pollution Measure	Inspected in Compliance (Y/N)	Corrective Action Required	
		Description (use additional sheet if necessary)	Date Completed
BEST MANAGEMENT PRACTICES			
Silt fences			
Rock berms			
Drain inlet protection			
Gravel filter bags			
Vehicle exits (offsite tracking)			
Concrete washout pit (leaks, failure)			
Temporary vegetation			
Permanent vegetation			
Sediment control basin			
Other structural controls			
Material storage areas (leakage)			
Equipment areas (leaks, spills)			
Construction debris			
General site cleanliness			
Trash receptacles			
Natural vegetation buffer strips			
EVIDENCE OF EROSION			
Site preparation			
Roadway or Parking Lot Construction			
Utility Construction			
Drainage Construction			
Building Construction			
MAJOR OBSERVATIONS			
Sediment discharges from site			
BMPs requiring maintenance			
BMPs requiring modification			
Additional BMPs required			

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Inspector's Name (Superintendent)

Inspector's Signature

Date

Name of Owner/Operator (Firm)

Authorized Signature

Date

Note: If there is a "NO" answer in the second column, the right columns will need to be completed and action is required within 7 days.
Use additional sheets if necessary.



BUDA

205 CIMARRON PARK LOOP
BUDA, TX 78610
512-312-4336

Responsible Party Form and Schedule

Prevention Pollution Measure	Responsible Party Company Name:										
	Start Date	Estimated Days									
BEST MANAGEMENT PRACTICES											
Silt fences											
Rock berms											
Drain inlet protection											
Gravel filter bags											
Vehicle exits (offsite tracking)											
Concrete washout pit (leaks, failure)											
Temporary vegetation											
Permanent vegetation											
Sediment control basin											
Other structural controls											
Material storage areas (leakage)											
Equipment areas (leaks, spills)											
Construction debris											
General site cleanliness											
Trash receptacles											
Natural vegetation buffer strips											
Inspections											
SWP3 Modification & Records											
POTENTIAL EROSION SOURCES											
Clearing											
Grading											
Excavation											
Drainage Construction											
Utility Construction											
Roadway or Parking Lot Construction											
Foundation Construction											
Building Construction											
Landscaping Activities											
Identify responsible parties and indicate responsible party for each pollution prevention item listed above by marking an X under the Responsible Party Name.											

TEMPORARY STORMWATER SECTION ATTACHMENT J

SCHEDULE OF INTERIM AND PERMANENT SOIL STABILIZATION PRACTICES

DURING CONSTRUCTION:

The methodology for handling pollution of on-site or up-gradient storm water during construction will include the following:

1. Silt fencing and rock berms will be used as a temporary erosion and sedimentation controls.
2. Stabilized construction entrances/exits will be put into place to reduce the dispersion of sediment from the site, and to aid in accessibility to the site.
3. A construction staging area will also be put into place for material stockpiles, machinery storage, and machinery maintenance.
4. Concrete truck washout pits will be put into place to prevent contamination of storm water runoff and to aid in the removal of sediments from the site.
5. As required by the TCEQ General Permit, disturbed areas on which construction activity has ceased (temporarily or permanently) and which will be exposed for more than 21 days shall be stabilized within 14 days. Areas receiving less than 20 inches of annual rainfall should be stabilized as soon as practicable and only to pre-project conditions.
6. If construction stops for more than 14 days, hydro-seeding, sod or other TCEQ approved method will be applied to re-stabilize vegetation.

AFTER CONSTRUCTION:

This site will provide the following permanent pollution abatement measures to prevent the pollution of storm water originating on-site or upgradient from the project site:

1. Storm water will be directed and conveyed via curbing and grading and discharged into the vegetative filter strip. The vegetative filter strip has been designed to capture the required runoff from the individual watersheds. The vegetative filter strip has been designed in accordance with the TCEQ Technical Guidance Manual.

2. Native grasses will be used on-site to help reduce the use of fertilizers and this will in turn reduce the levels of phosphates present in the storm water runoff.

PERMANENT EROSION CONTROL:

1. All disturbed areas shall be restored as noted below:
 - A minimum of 4" of topsoil shall be placed in all drainage channels (except rock) and between the curb and R.O.W. property lines.
2. Broadcast Seeding:
 - From September 15 to March 1, seeding shall be with a combination of 2 pounds per 1,000 SF of unhulled Bermuda and 7 pounds per 1000 SF of Winter Rye with a purity of 95% with 90% germination.
 - From March 2 to September 14, seeding shall be with hulled Bermuda at a rate of 2 pounds per 1000 SF with a purity of 95% with 85% germination.
3. Fertilizer shall be a pelleted or granular slow release with an analysis of 15-15-15 to be applied once at planting and once during the period of establishment at a rate of 1 pound per 1,000 SF.

SEEDING:

- 1) The seeding for permanent erosion control shall be applied over areas disturbed by construction as follows:
 - a) From September 15 to March 1, seeding shall be with a combination of 2 pounds per 1,000 square feet of unhulled Bermuda and 7 pounds per 1,000 square feet of Winter rye with a purity of 95% with 90% germination.
 - b) From March 2 to September 14, seeding shall be with hulled Bermuda at a rate of 3 pounds per 1,000 square feet with a purity of 95% with 85% germination.
- 2) Fertilizer shall be slow release granular or pelleted type and shall have an analysis of 15-15-15 and shall be applied at the rate of 23 pounds per acre, once at the time of planting and again once during the time of establishment.



- 3) The planted area shall be irrigated or sprinkled in a manner that will not erode the topsoil but will sufficiently soak the soil to a depth of six inches. The irrigation shall occur at ten-day intervals during the first two months. Rainfall occurrences of an inch or more shall postpone the watering schedule for one week.
- 4) Mulch type used shall be Prairie hay, applied at a rate of 4,000 pounds per acre.
- 5) Restoration shall be acceptable when the grass has grown at least one inch high with 70% coverage, provided no bare spots larger than 18 square feet exist.

V.

COPY OF NOTICE OF INTENT (NOI) WITHIN STORM WATER
POLLUTION PREVENTION PLAN (SWPPP)



Notice of Intent (NOI) for an Authorization for Stormwater Discharges Associated with Construction Activity under TPDES General Permit TXR150000

IMPORTANT INFORMATION

Please read and use the General Information and Instructions prior to filling out each question in the NOI form.

Use the NOI Checklist to ensure all required information is completed correctly.
Incomplete applications delay approval or result in automatic denial.

Once processed your permit authorization can be viewed by entering the following link into your internet browser: http://www2.tceq.texas.gov/wq_dpa/index.cfm or you can contact TCEQ Stormwater Processing Center at 512-239-3700.

ePERMITS

Effective September 1, 2018, this paper form must be submitted to TCEQ with a completed electronic reporting waiver form (TCEQ-20754).

To submit an NOI electronically, enter the following web address into your internet browser and follow the instructions: <https://www3.tceq.texas.gov/steers/index.cfm>

APPLICATION FEE AND PAYMENT

The application fee for submitting a paper NOI is \$325. The application fee for electronic submittal of a NOI through the TCEQ ePermits system (STEERS) is \$225.

Payment of the application fee can be submitted by mail or through the TCEQ ePay system. The payment and the NOI must be mailed to separate addresses. To access the TCEQ ePay system enter the following web address into your internet browser:
<http://www.tceq.texas.gov/epay>.

Provide your payment information for verification of payment:

- If payment was mailed to TCEQ, provide the following:
 - Check/Money Order Number:
 - Name printed on Check:
- If payment was made via ePay, provide the following:
 - Voucher Number:
 - A copy of the payment voucher is attached to this paper NOI form.

- e) Is the applicant an independent operator? ☐ Yes ☒ No
(If a governmental entity, a subsidiary, or part of a larger corporation, check No.)
- f) Number of Employees. Select the range applicable to your company.
- ☒ 0-20 ☐ 251-500
☐ 21-100 ☐ 501 or higher
☐ 101-250
- g) Customer Business Tax and Filing Numbers: (**Required** for Corporations and Limited Partnerships. **Not Required** for Individuals, Government, or Sole Proprietors.)
- State Franchise Tax ID Number: 32067212038
Federal Tax ID: 830595590
Texas Secretary of State Charter (filing) Number: 0803020511
DUNS Number (if known): XXXXXXXXXXXXXXX

SECTION 2. APPLICATION CONTACT

Is the application contact the same as the applicant identified above?

- ☐ Yes, go to Section 3
☒ No, complete this section

Prefix (Mr. Ms. Miss): Mr.

First and Last Name: Alberto Gutierrez Suffix: XXXXXXXXXXXXXXX

Title: Project Manager Credential: XXXXXXXXXXXXXXX

Organization Name: Southwest Engineers, Inc.

Phone Number: (512) 312-4336 Fax Number: XXXXXXXXXXXXXXX

E-mail: alberto.gutierrez@swengineers.com

Mailing Address: 205 Cimarron Park Loop, Suite B

Internal Routing (Mail Code, Etc.): XXXXXXXXXXXXXXX

City, State, and Zip Code: Buda, Texas 78610

Mailing information if outside USA:

Territory: XXXXXXXXXXXXXXX

Country Code: XXXXXXXXXXXXXXX Postal Code: XXXXXXXXXXXXXXX

SECTION 3. REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE

- a) If this is an existing permitted site, what is the Regulated Entity Number (RN) issued to this site? RN 110668845

(Refer to Section 3.a) of the Instructions)

- b) Name of project or site (the name known by the community where it's located): JWLP Parking Addition Site Plan
- c) In your own words, briefly describe the type of construction occurring at the regulated site (residential, industrial, commercial, or other): Commercial
- d) County or Counties (if located in more than one): Hays
- e) Latitude: 30.194612 (N) Longitude: -98.096705 (W)
- f) Site Address/Location

If the site has a physical address such as 12100 Park 35 Circle, Austin, TX 78753, complete *Section A*.

If the site does not have a physical address, provide a location description in *Section B*.
Example: located on the north side of FM 123, 2 miles west of the intersection of FM 123 and Highway 1.

Section A:

Street Number and Name: 249 Sportsplex Drive

City, State, and Zip Code: Dripping Springs, Texas 78620

Section B:

Location Description: *****

City (or city nearest to) where the site is located:

Zip Code where the site is located:

SECTION 4. GENERAL CHARACTERISTICS

- a) Is the project or site located on Indian Country Lands?
- ☐ Yes, do not submit this form. You must obtain authorization through EPA Region 6.
- ☒ No
- b) Is your construction activity associated with a facility that, when completed, would be associated with the exploration, development, or production of oil or gas or geothermal resources?
- ☐ Yes. Note: The construction stormwater runoff may be under jurisdiction of the Railroad Commission of Texas and may need to obtain authorization through EPA Region 6.
- ☒ No
- c) What is the Primary Standard Industrial Classification (SIC) Code that best describes the construction activity being conducted at the site? 9111
- d) What is the Secondary SIC Code(s), if applicable? *****
- e) What is the total number of acres to be disturbed? 0.87
- f) Is the project part of a larger common plan of development or sale?

☒ Yes

☐ No. The total number of acres disturbed, provided in e) above, must be 5 or more.
If the total number of acres disturbed is less than 5, do not submit this form. See
the requirements in the general permit for small construction sites.

g) What is the estimated start date of the project? August 1, 2024

h) What is the estimated end date of the project? December 31, 2024

i) Will concrete truck washout be performed at the site? ☒ Yes ☐ No

j) What is the name of the first water body(ies) to receive the stormwater runoff or
potential runoff from the site? Onion Creek

k) What is the segment number(s) of the classified water body(ies) that the discharge will
eventually reach? 1427 – Onion Creek

l) Is the discharge into a Municipal Separate Storm Sewer System (MS4)?

☐ Yes ☒ No

If Yes, provide the name of the MS4 operator: N/A

Note: The general permit requires you to send a copy of this NOI form to the MS4
operator.

m) Is the discharge or potential discharge from the site within the Recharge Zone,
Contributing Zone, or Contributing Zone within the Transition Zone of the
Edwards Aquifer, as defined in 30 TAC Chapter 213?

☒ Yes, complete the certification below.

☐ No, go to Section 5

I certify that the copy of the TCEQ-approved Plan required by the Edwards Aquifer Rule
(30 TAC Chapter 213) that is included or referenced in the Stormwater Pollution
Prevention Plan will be implemented. ☐ Yes

SECTION 5. NOI CERTIFICATION

a) I certify that I have obtained a copy and understand the terms and conditions of the
Construction General Permit (TXR150000). ☒ Yes

b) I certify that the full legal name of the entity applying for this permit has been provided
and is legally authorized to do business in Texas. ☒ Yes

c) I understand that a Notice of Termination (NOT) must be submitted when this
authorization is no longer needed. ☒ Yes

d) I certify that a Stormwater Pollution Prevention Plan has been developed, will be
implemented prior to construction and to the best of my knowledge and belief is
compliant with any applicable local sediment and erosion control plans, as required in
the Construction General Permit (TXR150000). ☒ Yes

Note: For multiple operators who prepare a shared SWP3, the confirmation of an
operator may be limited to its obligations under the SWP3, provided all obligations are
confirmed by at least one operator.

SECTION 6. APPLICANT CERTIFICATION SIGNATURE

Operator Signatory Name: Alberto Gutierrez

Operator Signatory Title: Project Manager

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

I further certify that I am authorized under 30 Texas Administrative Code §305.44 to sign and submit this document, and can provide documentation in proof of such authorization upon request.

Signature (use blue ink):  Date: 06/17/2024

NOTICE OF INTENT CHECKLIST (TXR150000)

Did you complete everything? Use this checklist to be sure!

Are you ready to mail your form to TCEQ? Go to the General Information Section of the Instructions for mailing addresses.

Confirm each item (or applicable item) in this form is complete. This checklist is for use by the applicant to ensure a complete application is being submitted. **Missing information may result in denial of coverage under the general permit.** (See NOI process description in the General Information and Instructions.)

APPLICATION FEE

If paying by check:

- ☐ Check was mailed **separately** to the TCEQs Cashier's Office. (See Instructions for Cashier's address and Application address.)
- ☐ Check number and name on check is provided in this application.

If using ePay:

- ☐ The voucher number is provided in this application and a copy of the voucher is attached.

RENEWAL

- ☐ If this application is for renewal of an existing authorization, the authorization number is provided.

OPERATOR INFORMATION

- ☒ Customer Number (CN) issued by TCEQ Central Registry
- ☒ Legal name as filed to do business in Texas. (Call TX SOS 512-463-5555 to verify.)
- ☒ Name and title of responsible authority signing the application.
- ☒ Phone number and e-mail address
- ☒ Mailing address is complete & verifiable with USPS. www.usps.com
- ☒ Type of operator (entity type). Is applicant an independent operator?
- ☒ Number of employees.
- ☒ For corporations or limited partnerships – Tax ID and SOS filing numbers.
- ☒ Application contact and address is complete & verifiable with USPS.
<http://www.usps.com>

REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE

- ☒ Regulated Entity Number (RN) (if site is already regulated by TCEQ)
- ☒ Site/project name and construction activity description
- ☒ County
- ☒ Latitude and longitude <http://www.tceq.texas.gov/gis/sqmapview.html>

- ☒ Site Address/Location. Do not use a rural route or post office box.

GENERAL CHARACTERISTICS

- ☒ Indian Country Lands -the facility is not on Indian Country Lands.
- ☒ Construction activity related to facility associated to oil, gas, or geothermal resources
- ☒ Primary SIC Code that best describes the construction activity being conducted at the site. www.osha.gov/oshstats/sicser.html
- ☒ Estimated starting and ending dates of the project.
- ☒ Confirmation of concrete truck washout.
- ☒ Acres disturbed is provided and qualifies for coverage through a NOI.
- ☒ Common plan of development or sale.
- ☒ Receiving water body or water bodies.
- ☒ Segment number or numbers.
- ☒ MS4 operator.
- ☒ Edwards Aquifer rule.

CERTIFICATION

- ☒ Certification statements have been checked indicating Yes.
- ☒ Signature meets 30 Texas Administrative Code (TAC) §305.44 and is original.

Instructions for Notice of Intent (NOI) for Stormwater Discharges Associated with Construction Activity under TPDES General Permit (TXR150000)

GENERAL INFORMATION

Where to Send the Notice of Intent (NOI):

By Regular Mail:

TCEQ
Stormwater Processing Center (MC228)
P.O. Box 13087
Austin, Texas 78711-3087

By Overnight or Express Mail:

TCEQ
Stormwater Processing Center (MC228)
12100 Park 35 Circle
Austin, TX

Application Fee:

The application fee of \$325 is required to be paid at the time the NOI is submitted. Failure to submit payment at the time the application is filed will cause delays in acknowledgment or denial of coverage under the general permit. Payment of the fee may be made by check or money order, payable to TCEQ, or through EPAY (electronic payment through the web).

Mailed Payments:

Use the attached General Permit Payment Submittal Form. The application fee is submitted to a different address than the NOI. Read the General Permit Payment Submittal Form for further instructions, including the address to send the payment.

ePAY Electronic Payment: <http://www.tceq.texas.gov/epay>

When making the payment you must select Water Quality, and then select the fee category "General Permit Construction Storm Water Discharge NOI Application". You must include a copy of the payment voucher with your NOI. Your NOI will not be considered complete without the payment voucher.

TCEQ Contact List:

Application - status and form questions:	512-239-3700, swpermit@tceq.texas.gov
Technical questions:	512-239-4671, swgp@tceq.texas.gov
Environmental Law Division:	512-239-0600
Records Management - obtain copies of forms:	512-239-0900
Reports from databases (as available):	512-239-DATA (3282)
Cashier's office:	512-239-0357 or 512-239-0187

Notice of Intent Process:

When your NOI is received by the program, the form will be processed as follows:

- **Administrative Review:** Each item on the form will be reviewed for a complete response. In addition, the operator's legal name must be verified with Texas Secretary of State as valid and active (if applicable). The address(es) on the form must be verified with the US Postal service as receiving regular mail delivery. Do not give an overnight/express mailing address.

- **Notice of Deficiency:** If an item is incomplete or not verifiable as indicated above, a notice of deficiency (NOD) will be mailed to the operator. The operator will have 30 days to respond to the NOD. The response will be reviewed for completeness.
- **Acknowledgment of Coverage:** An Acknowledgment Certificate will be mailed to the operator. This certificate acknowledges coverage under the general permit.

or

Denial of Coverage: If the operator fails to respond to the NOD or the response is inadequate, coverage under the general permit may be denied. If coverage is denied, the operator will be notified.

General Permit (Your Permit)

For NOIs submitted **electronically** through ePermits, provisional coverage under the general permit begins immediately following confirmation of receipt of the NOI form by the TCEQ.

For **paper** NOIs, provisional coverage under the general permit begins **7 days after a completed NOI is postmarked for delivery** to the TCEQ.

You should have a copy of your general permit when submitting your application. You may view and print your permit for which you are seeking coverage, on the TCEQ web site <http://www.tceq.texas.gov>. Search using keyword TXR150000.

Change in Operator

An authorization under the general permit is not transferable. If the operator of the regulated project or site changes, the present permittee must submit a Notice of Termination and the new operator must submit a Notice of Intent. The NOT and NOI must be submitted no later than 10 days prior to the change in Operator status.

TCEQ Central Registry Core Data Form

The Core Data Form has been incorporated into this form. Do not send a Core Data Form to TCEQ. After final acknowledgment of coverage under the general permit, the program will assign a Customer Number and Regulated Entity Number, if one has not already been assigned to this customer or site.

For existing customers and sites, you can find the Customer Number and Regulated Entity Number by entering the following web address into your internet browser: <http://www15.tceq.texas.gov/crpub/> or you can contact the TCEQ Stormwater Processing Center at 512-239-3700 for assistance. On the website, you can search by your permit number, the Regulated Entity (RN) number, or the Customer Number (CN). If you do not know these numbers, you can select "Advanced Search" to search by permittee name, site address, etc.

The Customer (Permittee) is responsible for providing consistent information to the TCEQ, and for updating all CN and RN data for all authorizations as changes occur. For this permit, a Notice of Change form must be submitted to the program area.

INSTRUCTIONS FOR FILLING OUT THE NOI FORM

Renewal of General Permit. Dischargers holding active authorizations under the expired General Permit are required to submit a NOI to continue coverage. The existing permit number is required. If the permit number is not provided or has been terminated, expired, or denied, a new permit number will be issued.

Section 1. OPERATOR (APPLICANT)

a) Customer Number (CN)

TCEQ's Central Registry will assign each customer a number that begins with CN, followed by nine digits. **This is not a permit number, registration number, or license number.**

If the applicant is an existing TCEQ customer, the Customer Number is available at the following website: <http://www15.tceq.texas.gov/crpub/>. If the applicant is not an existing TCEQ customer, leave the space for CN blank.

b) Legal Name of Applicant

Provide the current legal name of the applicant. The name must be provided exactly as filed with the Texas Secretary of State (SOS), or on other legal documents forming the entity, as filed in the county. You may contact the SOS at 512-463-5555, for more information related to filing in Texas. If filed in the county, provide a copy of the legal documents showing the legal name.

c) Contact Information for the Applicant (Responsible Authority)

Provide information for the person signing the application in the Certification section. This person is also referred to as the Responsible Authority.

Provide a complete mailing address for receiving mail from the TCEQ. The mailing address must be recognized by the US Postal Service. You may verify the address on the following website: <https://tools.usps.com/go/ZipLookupAction!input.action>.

The phone number should provide contact to the applicant.

The fax number and e-mail address are optional and should correspond to the applicant.

d) Type of Customer (Entity Type)

Check only one box that identifies the type of entity. Use the descriptions below to identify the appropriate entity type. Note that the selected entity type also indicates the name that must be provided as an applicant for an authorization.

Individual

An individual is a customer who has not established a business, but conducts an activity that needs to be regulated by the TCEQ.

Partnership

A customer that is established as a partnership as defined by the Texas Secretary of State Office (TX SOS). If the customer is a 'General Partnership' or 'Joint Venture' filed in the county (not filed with TX SOS), the legal name of each partner forming the 'General Partnership' or 'Joint Venture' must be provided. Each 'legal entity' must apply as a co-applicant.

Trust or Estate

A trust and an estate are fiduciary relationships governing the trustee/executor with respect to the trust/estate property.

Sole Proprietorship (DBA)

A sole proprietorship is a customer that is owned by only one person and has not been incorporated. This business may:

1. be under the person's name
2. have its own name (doing business as or DBA)
3. have any number of employees.

If the customer is a Sole Proprietorship or DBA, the 'legal name' of the individual business 'owner' must be provided. The DBA name is not recognized as the 'legal name' of the entity. The DBA name may be used for the site name (regulated entity).

Corporation

A customer that meets all of these conditions:

1. is a legally incorporated entity under the laws of any state or country
2. is recognized as a corporation by the Texas Secretary of State
3. has proper operating authority to operate in Texas

The corporation's 'legal name' as filed with the Texas Secretary of State must be provided as applicant. An 'assumed' name of a corporation is not recognized as the 'legal name' of the entity.

Government

Federal, state, county, or city government (as appropriate)

The customer is either an agency of one of these levels of government or the governmental body itself. The government agency's 'legal name' must be provided as the applicant. A department name or other description of the organization is not recognized as the 'legal name'.

Other

This may include a utility district, water district, tribal government, college district, council of governments, or river authority. Provide the specific type of government.

e) Independent Entity

Check No if this customer is a subsidiary, part of a larger company, or is a governmental entity. Otherwise, check Yes.

f) Number of Employees

Check one box to show the number of employees for this customer's entire company, at all locations. This is not necessarily the number of employees at the site named in the application.

g) Customer Business Tax and Filing Numbers

These are required for Corporations and Limited Partnerships. These are not required for Individuals, Government, and Sole Proprietors.

State Franchise Tax ID Number

Corporations and limited liability companies that operate in Texas are issued a franchise tax identification number. If this customer is a corporation or limited liability company, enter the Tax ID number.

Federal Tax ID

All businesses, except for some small sole proprietors, individuals, or general partnerships should have a federal taxpayer identification number (TIN). Enter this number here. Use no prefixes, dashes, or hyphens. Sole proprietors, individuals, or general partnerships do not need to provide a federal tax ID.

TX SOS Charter (filing) Number

Corporations and Limited Partnerships required to register with the Texas Secretary of State are issued a charter or filing number. You may obtain further information by calling SOS at 512-463-5555.

DUNS Number

Most businesses have a DUNS (Data Universal Numbering System) number issued by Dun and Bradstreet Corp. If this customer has one, enter it here.

Section 2. APPLICATION CONTACT

Provide the name and contact information for the person that TCEQ can contact for additional information regarding this application.

Section 3. REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE

a) Regulated Entity Number (RN)

The RN is issued by TCEQ's Central Registry to sites where an activity is regulated by TCEQ. This is not a permit number, registration number, or license number. Search TCEQ's Central Registry to see if the site has an assigned RN at <http://www15.tceq.texas.gov/crpub/>. If this regulated entity has not been assigned an RN, leave this space blank.

If the site of your business is part of a larger business site, an RN may already be assigned for the larger site. Use the RN assigned for the larger site.

If the site is found, provide the assigned RN and provide the information for the site to be authorized through this application. The site information for this authorization may vary from the larger site information.

An example is a chemical plant where a unit is owned or operated by a separate corporation that is accessible by the same physical address of your unit or facility. Other examples include industrial parks identified by one common address but different corporations have control of defined areas within the site. In both cases, an RN would be assigned for the physical address location and the permitted sites would be identified separately under the same RN.

b) Name of the Project or Site

Provide the name of the site or project as known by the public in the area where the site is located. The name you provide on this application will be used in the TCEQ Central Registry as the Regulated Entity name.

c) Description of Activity Regulated

In your own words, briefly describe the primary business that you are doing that requires this authorization. Do not repeat the SIC Code description.

d) County

Provide the name of the county where the site or project is located. If the site or project is located in more than one county, provide the county names as secondary.

e) Latitude and Longitude

Enter the latitude and longitude of the site in degrees, minutes, and seconds or decimal form. For help obtaining the latitude and longitude, go to:
<http://www.tceq.texas.gov/gis/sqmapview.html>.

f) Site Address/Location

If a site has an address that includes a street number and street name, enter the complete address for the site in *Section A*. If the physical address is not recognized as a USPS delivery address, you may need to validate the address with your local police (911 service) or through an online map site used to locate a site. Please confirm this to be a complete and valid address. Do not use a rural route or post office box for a site location.

If a site does not have an address that includes a street number and street name, provide a complete written location description in *Section B*. For example: "The site is located on the north side of FM 123, 2 miles west of the intersection of FM 123 and Highway 1."

Provide the city (or nearest city) and zip code of the site location.

Section 4. GENERAL CHARACTERISTICS

a) Indian Country Lands

If your site is located on Indian Country Lands, the TCEQ does not have authority to process your application. You must obtain authorization through EPA Region 6, Dallas. Do not submit this form to TCEQ.

b) Construction activity associated with facility associated with exploration, development, or production of oil, gas, or geothermal resources

If your activity is associated with oil and gas exploration, development, or production, you may be under jurisdiction of the Railroad Commission of Texas (RRC) and may need to obtain authorization from EPA Region 6.

Construction activities associated with a facility related to oil, gas or geothermal resources may include the construction of a well site; treatment or storage facility; underground hydrocarbon or natural gas storage facility; reclamation plant; gas processing facility; compressor station; terminal facility where crude oil is stored prior to refining and at which refined products are stored solely for use at the facility; a

carbon dioxide geologic storage facility; and a gathering, transmission, or distribution pipeline that will transport crude oil or natural gas, including natural gas liquids, prior to refining of such oil or the use of the natural gas in any manufacturing process or as a residential or industrial fuel.

Where required by federal law, discharges of stormwater associated with construction activities under the RRC's jurisdiction must be authorized by the EPA and the RRC, as applicable. Activities under RRC jurisdiction include construction of a facility that, when completed, would be associated with the exploration, development, or production of oil or gas or geothermal resources, such as a well site; treatment or storage facility; underground hydrocarbon or natural gas storage facility; reclamation plant; gas processing facility; compressor station; terminal facility where crude oil is stored prior to refining and at which refined products are stored solely for use at the facility; a carbon dioxide geologic storage facility under the jurisdiction of the RRC; and a gathering, transmission, or distribution pipeline that will transport crude oil or natural gas, including natural gas liquids, prior to refining of such oil or the use of the natural gas in any manufacturing process or as a residential or industrial fuel. The RRC also has jurisdiction over stormwater from land disturbance associated with a site survey that is conducted prior to construction of a facility that would be regulated by the RRC. Under 33 U.S.C. §1342(l)(2) and §1362(24), EPA cannot require a permit for discharges of stormwater from field activities or operations associated with {oil and gas} exploration, production, processing, or treatment operations, or transmission facilities, including activities necessary to prepare a site for drilling and for the movement and placement of drilling equipment, whether or not such field activities or operations may be considered to be construction activities unless the discharge is contaminated by contact with any overburden, raw material, intermediate product, finished product, byproduct, or waste product located on the site of the facility. Under §3.8 of this title (relating to Water Protection), the RRC prohibits operators from causing or allowing pollution of surface or subsurface water. Operators are encouraged to implement and maintain best management practices (BMPs) to minimize discharges of pollutants, including sediment, in stormwater during construction activities to help ensure protection of surface water quality during storm events.

For more information about the jurisdictions of the RRC and the TCEQ, read the Memorandum of Understanding (MOU) between the RRC and TCEQ at 16 Texas Administrative Code, Part 1, Chapter 3, Rule 3.30, by entering the following link into an internet browser:

[http://texreg.sos.state.tx.us/public/readtac\\$ext.TacPage?sl=R&app=9&p_dir=&p_rloc=&p_tloc=&p_ploc=&pg=1&p_tac=&ti=16&pt=1&ch=3&rl=30](http://texreg.sos.state.tx.us/public/readtac$ext.TacPage?sl=R&app=9&p_dir=&p_rloc=&p_tloc=&p_ploc=&pg=1&p_tac=&ti=16&pt=1&ch=3&rl=30) or contact the TCEQ Stormwater Team at 512-239-4671 for additional information.

c) Primary Standard Industrial Classification (SIC) Code

Provide the SIC Code that best describes the construction activity being conducted at this site.

Common SIC Codes related to construction activities include:

- 1521 - Construction of Single Family Homes
- 1522 - Construction of Residential Buildings Other than Single Family Homes
- 1541 - Construction of Industrial Buildings and Warehouses

- 1542 - Construction of Non-residential Buildings, other than Industrial Buildings and Warehouses
- 1611 - Highway and Street Construction, except Highway Construction
- 1622 - Bridge, Tunnel, and Elevated Highway Construction
- 1623 - Water, Sewer, Pipeline and Communications, and Power Line Construction

For help with SIC Codes, enter the following link into your internet browser: <http://www.osha.gov/pls/imis/sicsearch.html> or you can contact the TCEQ Small Business and Local Government Assistance Section at 800-447-2827 for assistance.

d) Secondary SIC Code

Secondary SIC Code(s) may be provided. Leave this blank if not applicable. For help with SIC Codes, enter the following link into your internet browser: <http://www.osha.gov/pls/imis/sicsearch.html> or you can contact the TCEQ Small Business and Environmental Assistance Section at 800-447-2827 for assistance.

e) Total Number of Acres Disturbed

Provide the approximate number of acres that the construction site will disturb. Construction activities that disturb less than one acre, unless they are part of a larger common plan that disturbs more than one acre, do not require permit coverage. Construction activities that disturb between one and five acres, unless they are part of a common plan that disturbs more than five acres, do not require submission of an NOI. Therefore, the estimated area of land disturbed should not be less than five, unless the project is part of a larger common plan that disturbs five or more acres. Disturbed means any clearing, grading, excavating, or other similar activities.

If you have any questions about this item, please contact the stormwater technical staff by phone at 512-239-4671 or by email at swgp@tceq.texas.gov.

f) Common Plan of Development

Construction activities that disturb less than five acres do not require submission of an NOI unless they are part of a common plan of development or for sale where the area disturbed is five or more acres. Therefore, the estimated area of land disturbed should not be less than five, unless the project is part of a larger common plan that disturbs five or more acres. Disturbed means any clearing, grading, excavating, or other similar activities.

For more information on what a common plan of development is, refer to the definition of "Common Plan of Development" in the Definitions section of the general permit or enter the following link into your internet browser: www.tceq.texas.gov/permitting/stormwater/common_plan_of_development_steps.html

For further information, go to the TCEQ stormwater construction webpage enter the following link into your internet browser: www.tceq.texas.gov/goto/construction and search for "Additional Guidance and Quick Links". If you have any further questions about the Common Plan of Development you can contact the TCEQ Stormwater Team at 512-239-4671 or the TCEQ Small Business and Environmental Assistance at 800-447-2827.

g) Estimated Start Date of the Project

This is the date that any construction activity or construction support activity is initiated at the site. If renewing the permit provide the original start date of when construction activity for this project began.

h) Estimated End Date of the Project

This is the date that any construction activity or construction support activity will end and final stabilization will be achieved at the site.

i) Will concrete truck washout be performed at the site?

Indicate if you expect that operators of concrete trucks will washout concrete trucks at the construction site.

j) Identify the water body(s) receiving stormwater runoff

The stormwater may be discharged directly to a receiving stream or through a MS4 from your site. It eventually reaches a receiving water body such as a local stream or lake, possibly via a drainage ditch. You must provide the name of the water body that receives the discharge from the site (a local stream or lake).

If your site has more than one outfall you need to include the name of the first water body for each outfall, if they are different.

k) Identify the segment number(s) of the classified water body(s)

Identify the classified segment number(s) receiving a discharge directly or indirectly. Enter the following link into your internet browser to find the segment number of the classified water body where stormwater will flow from the site:

www.tceq.texas.gov/waterquality/monitoring/viewer.html or by contacting the TCEQ Water Quality Division at (512) 239-4671 for assistance.

You may also find the segment number in TCEQ publication GI-316 by entering the following link into your internet browser: www.tceq.texas.gov/publications/gi/gi-316 or by contacting the TCEQ Water Quality Division at (512) 239-4671 for assistance.

If the discharge is into an unclassified receiving water and then crosses state lines prior to entering a classified segment, select the appropriate watershed:

- 0100 (Canadian River Basin)
- 0200 (Red River Basin)
- 0300 (Sulfur River Basin)
- 0400 (Cypress Creek Basin)
- 0500 (Sabine River Basin)

Call the Water Quality Assessments section at 512-239-4671 for further assistance.

l) Discharge into MS4 – Identify the MS4 Operator

The discharge may initially be into a municipal separate storm sewer system (MS4). If the stormwater discharge is into an MS4, provide the name of the entity that operates the MS4 where the stormwater discharges. An MS4 operator is often a city, town, county, or utility district, but possibly can be another form of government. Please note that the Construction General Permit requires the Operator to supply the MS4 with a

copy of the NOI submitted to TCEQ. For assistance, you may call the technical staff at 512-239-4671.

m) Discharges to the Edwards Aquifer Recharge Zone and Certification

The general permit requires the approved Contributing Zone Plan or Water Pollution Abatement Plan to be included or referenced as a part of the Stormwater Pollution Prevention Plan.

See maps on the TCEQ website to determine if the site is located within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer by entering the following link into an internet browser: www.tceq.texas.gov/field/eapp/viewer.html or by contacting the TCEQ Water Quality Division at 512-239-4671 for assistance.

If the discharge or potential discharge is within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer, a site-specific authorization approved by the Executive Director under the Edwards Aquifer Protection Program (30 TAC Chapter 213) is required before construction can begin.

For questions regarding the Edwards Aquifer Protection Program, contact the appropriate TCEQ Regional Office. For projects in Hays, Travis and Williamson Counties: Austin Regional Office, 12100 Park 35 Circle, Austin, TX 78753, 512-339-2929. For Projects in Bexar, Comal, Kinney, Medina and Uvalde Counties: TCEQ San Antonio Regional Office, 14250 Judson Rd., San Antonio, TX 78233-4480, 210-490-3096.

Section 5. NOI CERTIFICATION

Note: Failure to indicate Yes to all of the certification items may result in denial of coverage under the general permit.

a) Certification of Understanding the Terms and Conditions of Construction General Permit (TXR150000)

Provisional coverage under the Construction General Permit (TXR150000) begins 7 days after the completed paper NOI is postmarked for delivery to the TCEQ. Electronic applications submitted through ePermits have immediate provisional coverage. You must obtain a copy and read the Construction General Permit before submitting your application. You may view and print the Construction General Permit for which you are seeking coverage at the TCEQ web site by entering the following link into an internet browser: www.tceq.texas.gov/goto/construction or you may contact the TCEQ Stormwater processing Center at 512-239-3700 for assistance.

b) Certification of Legal Name

The full legal name of the applicant as authorized to do business in Texas is required. The name must be provided exactly as filed with the Texas Secretary of State (SOS), or on other legal documents forming the entity, that is filed in the county where doing business. You may contact the SOS at 512-463 5555, for more information related to filing in Texas.

c) Understanding of Notice of Termination

A permittee shall terminate coverage under the Construction General Permit through the submittal of a NOT when the operator of the facility changes, final stabilization has

been reached, the discharge becomes authorized under an individual permit, or the construction activity never began at this site.

d) Certification of Stormwater Pollution Prevention Plan

The SWP3 identifies the areas and activities that could produce contaminated runoff at your site and then tells how you will ensure that this contamination is mitigated. For example, in describing your mitigation measures, your site's plan might identify the devices that collect and filter stormwater, tell how those devices are to be maintained, and tell how frequently that maintenance is to be carried out. You must develop this plan in accordance with the TCEQ general permit requirements. This plan must be developed and implemented before you complete this NOI. The SWP3 must be available for a TCEQ investigator to review on request.

Section 6. APPLICANT CERTIFICATION SIGNATURE

The certification must bear an original signature of a person meeting the signatory requirements specified under 30 Texas Administrative Code (TAC) §305.44.

If you are a corporation:

The regulation that controls who may sign an NOI or similar form is 30 Texas Administrative Code §305.44(a)(1) (see below). According to this code provision, any corporate representative may sign an NOI or similar form so long as the authority to sign such a document has been delegated to that person in accordance with corporate procedures. By signing the NOI or similar form, you are certifying that such authority has been delegated to you. The TCEQ may request documentation evidencing such authority.

If you are a municipality or other government entity:

The regulation that controls who may sign an NOI or similar form is 30 Texas Administrative Code §305.44(a)(3) (see below). According to this code provision, only a ranking elected official or principal executive officer may sign an NOI or similar form. Persons such as the City Mayor or County Commissioner will be considered ranking elected officials. In order to identify the principal executive officer of your government entity, it may be beneficial to consult your city charter, county or city ordinances, or the Texas statute(s) under which your government entity was formed. An NOI or similar document that is signed by a government official who is not a ranking elected official or principal executive officer does not conform to §305.44(a)(3). The signatory requirement may not be delegated to a government representative other than those identified in the regulation. By signing the NOI or similar form, you are certifying that you are either a ranking elected official or principal executive officer as required by the administrative code. Documentation demonstrating your position as a ranking elected official or principal executive officer may be requested by the TCEQ.

If you have any questions or need additional information concerning the signatory requirements discussed above, please contact the TCEQ's Environmental Law Division at 512-239-0600.

30 Texas Administrative Code

§305.44. Signatories to Applications

(a) All applications shall be signed as follows.

(1) For a corporation, the application shall be signed by a responsible corporate officer. For purposes of this paragraph, a responsible corporate officer means a president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function, or any other person who performs similar policy or decision-making functions for the

corporation; or the manager of one or more manufacturing, production, or operating facilities employing more than 250 persons or having gross annual sales or expenditures exceeding \$25 million (in second-quarter 1980 dollars), if authority to sign documents has been assigned or delegated to the manager in accordance with corporate procedures. Corporate procedures governing authority to sign permit or post-closure order applications may provide for assignment or delegation to applicable corporate positions rather than to specific individuals.

(2) For a partnership or sole proprietorship, the application shall be signed by a general partner or the proprietor, respectively.

(3) For a municipality, state, federal, or other public agency, the application shall be signed by either a principal executive officer or a ranking elected official. For purposes of this paragraph, a principal executive officer of a federal agency includes the chief executive officer of the agency, or a senior executive officer having responsibility for the overall operations of a principal geographic unit of the agency (e.g., regional administrator of the EPA).

Texas Commission on Environmental Quality General Permit Payment Submittal Form

Use this form to submit your Application Fee only if you are mailing your payment.

Instructions:

- Complete items 1 through 5 below:
- Staple your check in the space provided at the bottom of this document.
- *Do not mail this form with your NOI form.*
- *Do not mail this form to the same address as your NOI.*

Mail this form and your check to either of the following:

By Regular U.S. Mail

Texas Commission on Environmental Quality
Financial Administration Division
Cashier's Office, MC-214
P.O. Box 13088
Austin, TX 78711-3088

By Overnight or Express Mail

Texas Commission on Environmental Quality
Financial Administration Division
Cashier's Office, MC-214
12100 Park 35 Circle
Austin, TX 78753

Fee Code: ☐ GPA **General Permit:** ☒ **TXR150000**

1. Check or Money Order No:

2. Amount of Check/Money Order:

3. Date of Check or Money Order:

4. Name on Check or Money Order:

5. NOI Information:

If the check is for more than one NOI, list each Project or Site (RE) Name and Physical Address exactly as provided on the NOI. **Do not submit a copy of the NOI with this form, as it could cause duplicate permit application entries!**

If there is not enough space on the form to list all of the projects or sites the authorization will cover, then attach a list of the additional sites.

Project/Site (RE) Name:

Project/Site (RE) Physical Address:

Staple the check or money order to this form in this space.

VI.

AGENT AUTHORIZATION FORM
(TCEQ-0599)

Agent Authorization Form
For Required Signature
Edwards Aquifer Protection Program
Relating to 30 TAC Chapter 213
Effective June 1, 1999

I Chris Nygard,
Print Name

Co-Owner
Title - Owner/President/Other

of Intrepid Commercial properties, LLC.,
Corporation/Partnership/Entity Name

have authorized Alberto Gutierrez
Print Name of Agent/Engineer

of Southwest Engineers, Inc.
Print Name of Firm

to represent and act on the behalf of the above-named Corporation, Partnership, or Entity for the purpose of preparing and submitting this plan application to the Texas Commission on Environmental Quality (TCEQ) for the review and approval consideration of regulated activities.

I also understand that:

1. The applicant is responsible for compliance with 30 Texas Administrative Code Chapter 213 and any condition of the TCEQ's approval letter. The TCEQ is authorized to assess administrative penalties of up to \$10,000 per day per violation.
2. For those submitting an application who are not the property owner, but who have the right to control and possess the property, additional authorization is required from the owner.
3. Application fees are due and payable at the time the application is submitted. The application fee must be sent to the TCEQ cashier or to the appropriate regional office. The application will not be considered until the correct fee is received by the commission.
4. A notarized copy of the Agent Authorization Form must be provided for the person preparing the application, and this form must accompany the completed application.
5. No person shall commence any regulated activity on the Edwards Aquifer Recharge Zone, Contributing Zone or Transition Zone until the appropriate application for the activity has been filed with and approved by the Executive Director.

SIGNATURE PAGE:


Applicant's Signature
Chris Nygard – Co-Owner
Intrepid Commercial Properties, LLC

6-19-24
Date

THE STATE OF TEXAS §

County of HAYS §

BEFORE ME, the undersigned authority, on this day personally appeared CHRIS NYGARD known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 19 day of JUNE, 2024.


NOTARY PUBLIC

JENNIFER SAYERS
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: 8/10/26

VII.

APPLICATION FEE FORM
(TCEQ-0574)

Application Fee Form

Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: JWLP Lot 6

Regulated Entity Location: 249 Sportsplex, Dripping Springs, TX 78620

Name of Customer: Intrepid Commercial Properties

Contact Person: Chris Nygard

Phone: 512-844-6871

Customer Reference Number (if issued): CN 605623669

Regulated Entity Reference Number (if issued): RN 110668845

Austin Regional Office (3373)

☒ Hays

☐ Travis

☐ Williamson

San Antonio Regional Office (3362)

☐ Bexar

☐ Medina

☐ Uvalde

☐ Comal

☐ Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

☒ Austin Regional Office

☐ San Antonio Regional Office

☒ Mailed to: TCEQ - Cashier

☐ Overnight Delivery to: TCEQ - Cashier

Revenues Section

Mail Code 214

P.O. Box 13088

Austin, TX 78711-3088

12100 Park 35 Circle

Building A, 3rd Floor

Austin, TX 78753

(512)239-0357

Site Location (Check All That Apply):

☐ Recharge Zone

☒ Contributing Zone

☐ Transition Zone

<i>Type of Plan</i>	<i>Size</i>	<i>Fee Due</i>
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	1.045 Acres	\$ 4,000
Sewage Collection System	L.F.	\$
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	Each	\$
Extension of Time	Each	\$

Signature: 

Date: 07/08/2024

Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

Water Pollution Abatement Plans and Modifications

Contributing Zone Plans and Modifications

<i>Project</i>	<i>Project Area in Acres</i>	<i>Fee</i>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

Organized Sewage Collection Systems and Modifications

<i>Project</i>	<i>Cost per Linear Foot</i>	<i>Minimum Fee- Maximum Fee</i>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

Underground and Aboveground Storage Tank System Facility Plans and Modifications

<i>Project</i>	<i>Cost per Tank or Piping System</i>	<i>Minimum Fee- Maximum Fee</i>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

Exception Requests

<i>Project</i>	<i>Fee</i>
Exception Request	\$500

Extension of Time Requests

<i>Project</i>	<i>Fee</i>
Extension of Time Request	\$150

VIII.

CHECK PAYABLE TO TCEQ

IX.

CORE DATA FORM (TCEQ-10400)



TCEQ Use Only

TCEQ Core Data Form

For detailed instructions regarding completion of this form, please read the Core Data Form Instructions or call 512-239-5175.

SECTION I: General Information

1. Reason for Submission (If other is checked please describe in space provided.)		
<input checked="" type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)	<input checked="" type="checkbox"/> Other	
2. Customer Reference Number (if issued)	Follow this link to search for CN or RN numbers in Central Registry**	3. Regulated Entity Reference Number (if issued)
CN 605623669		RN 110668845

SECTION II: Customer Information

4. General Customer Information		5. Effective Date for Customer Information Updates (mm/dd/yyyy)		5/23/2024	
<input type="checkbox"/> New Customer <input type="checkbox"/> Update to Customer Information <input type="checkbox"/> Change in Regulated Entity Ownership					
<input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)					
The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).					
6. Customer Legal Name (If an individual, print last name first: eg: Doe, John) <i>If new Customer, enter previous Customer below:</i>					
Intrepid Commercial Properties					
7. TX SOS/CPA Filing Number		8. TX State Tax ID (11 digits)		9. Federal Tax ID (9 digits)	
0803020511		32067212038		830595590	
10. DUNS Number (if applicable)		N/A			
11. Type of Customer:		<input checked="" type="checkbox"/> Corporation		<input type="checkbox"/> Individual	
Government: <input type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> State <input type="checkbox"/> Other		<input type="checkbox"/> Sole Proprietorship		Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited	
12. Number of Employees		<input checked="" type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input type="checkbox"/> 501 and higher		13. Independently Owned and Operated?	
				<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
14. Customer Role (Proposed or Actual) -- as it relates to the Regulated Entity listed on this form. Please check one of the following					
<input type="checkbox"/> Owner <input type="checkbox"/> Operator <input checked="" type="checkbox"/> Owner & Operator					
<input type="checkbox"/> Occupational Licensee <input type="checkbox"/> Responsible Party <input type="checkbox"/> Voluntary Cleanup Applicant <input type="checkbox"/> Other:					
15. Mailing Address:					
100 Commons Road					
City		Dripping Springs		State TX	
ZIP		78620		ZIP + 4	
16. Country Mailing Information (if outside USA)				17. E-Mail Address (if applicable)	
				chris@nygardandcompany.com	
18. Telephone Number		19. Extension or Code		20. Fax Number (if applicable)	
(512) 844-6871				() -	

SECTION III: Regulated Entity Information

21. General Regulated Entity Information (If 'New Regulated Entity' is selected below this form should be accompanied by a permit application)		
<input type="checkbox"/> New Regulated Entity <input type="checkbox"/> Update to Regulated Entity Name <input checked="" type="checkbox"/> Update to Regulated Entity Information		
The Regulated Entity Name submitted may be updated in order to meet TCEQ Agency Data Standards (removal of organizational endings such as Inc, LP, or LLC).		
22. Regulated Entity Name (Enter name of the site where the regulated action is taking place.)		
JWLP Parking Addition Site Plan		

23. Street Address of the Regulated Entity: (No PO Boxes)	249 Sportsplex Drive						
	Suite 100						
	City	Dripping Springs	State	TX	ZIP	78620	ZIP + 4
24. County	Hays						

Enter Physical Location Description if no street address is provided.

25. Description to Physical Location:	See address above					
26. Nearest City	State			Nearest ZIP Code		
Dripping Springs	TX			78620		
27. Latitude (N) In Decimal:	30.194318		28. Longitude (W) In Decimal:	-98.097210		
Degrees	Minutes	Seconds	Degrees	Minutes	Seconds	
30	11	39.5	-98	05	50	
29. Primary SIC Code (4 digits)	30. Secondary SIC Code (4 digits)	31. Primary NAICS Code (5 or 6 digits)	32. Secondary NAICS Code (5 or 6 digits)			
9111	N/A	921110	N/A			
33. What is the Primary Business of this entity? (Do not repeat the SIC or NAICS description.)						
Commercial Services						
34. Mailing Address:	100 Commons Road					
	Suite 7, #339					
	City	Dripping Springs	State	TX	ZIP	78620
35. E-Mail Address:	chris@nygardandcompany.com					
36. Telephone Number	37. Extension or Code		38. Fax Number (if applicable)			
(512) 884-6871			() -			

39. TCEQ Programs and ID Numbers Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.

<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
		11001441		
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Waste Water	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

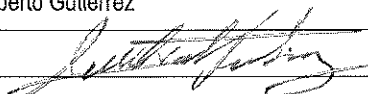
SECTION IV: Preparer Information

40. Name:	Alberto Gutierrez	41. Title:	Project Manager
42. Telephone Number	43. Ext./Code	44. Fax Number	45. E-Mail Address
(512) 312-4336		() -	alberto.gutierrez@swengineers.com

SECTION V: Authorized Signature

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

Company:	Southwest Engineers, Inc.	Job Title:	Project Manager
----------	---------------------------	------------	-----------------

Name (In Print):	Alberto Gutierrez	Phone:	(512) 312- 4336
Signature:		Date:	06/17/2024



Southwest Engineers

Civil | Environmental | Land Development

SOUTHWEST ENGINEERS, INC

205 CIMARRON PARK LOOP, SUITE B
BUDA, TX 78610

P: 512.312.4336 | F: 830.672.2034

www.swengineers.com | TBPE NO. F-1909