

CONTRIBUTING ZONE PLAN

**LEANDER HOME DEPOT STORE #1348
LEANDER, WILLIAMSON COUNTY, TEXAS**

Prepared For:

HOME DEPOT USA, INC.

2455 Paces Ferry Road NW
Atlanta, Georgia 30339
(770) 384-2864

Prepared By:

KIMLEY-HORN AND ASSOCIATES, INC.

10814 Jollyville Road, Avallon IV, Suite 200
Austin, Texas 78759
(512) 418-1771

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***SECTION 1:
EDWARDS AQUIFER APPLICATION
COVER PAGE***

Texas Commission on Environmental Quality

Edwards Aquifer Application Cover Page

Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with [30 TAC 213](#).

Administrative Review

1. [Edwards Aquifer applications](#) must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains “possibly sensitive” features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited.**
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a “Mid-Review Modification”. Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ’s Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ’s San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

1. Regulated Entity Name: Leander Home Depot Store #1348					2. Regulated Entity No.:				
3. Customer Name: Home Depot USA, Inc.					4. Customer No.:				
5. Project Type: (Please circle/check one)	<input checked="" type="radio"/> New	Modification			Extension		Exception		
6. Plan Type: (Please circle/check one)	WPAP	<input checked="" type="radio"/> CZP	SCS	UST	AST	EXP	EXT	Technical Clarification	Optional Enhanced Measures
7. Land Use: (Please circle/check one)	Residential	<input checked="" type="radio"/> Non-residential			8. Site (acres):		15.26		
9. Application Fee:	\$6,500		10. Permanent BMP(s):			N/A			
11. SCS (Linear Ft.):	N/A		12. AST/UST (No. Tanks):			N/A			
13. County:	Williamson		14. Watershed:			Upper Brushy Creek			

Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the “Texas Groundwater Conservation Districts within the EAPP Boundaries” map found at:

http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	Hays	Travis	Williamson
Original (1 req.)	—	—	<u>X</u>
Region (1 req.)	—	—	<u>X</u>
County(ies)	—	—	<u>X</u>
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Barton Springs/ Edwards Aquifer <input type="checkbox"/> Hays Trinity <input type="checkbox"/> Plum Creek	<input type="checkbox"/> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<input type="checkbox"/> Austin <input type="checkbox"/> Buda <input type="checkbox"/> Dripping Springs <input type="checkbox"/> Kyle <input type="checkbox"/> Mountain City <input type="checkbox"/> San Marcos <input type="checkbox"/> Wimberley <input type="checkbox"/> Woodcreek	<input type="checkbox"/> Austin <input type="checkbox"/> Bee Cave <input type="checkbox"/> Pflugerville <input type="checkbox"/> Rollingwood <input type="checkbox"/> Round Rock <input type="checkbox"/> Sunset Valley <input type="checkbox"/> West Lake Hills	<input type="checkbox"/> Austin <input type="checkbox"/> Cedar Park <input type="checkbox"/> Florence <input type="checkbox"/> Georgetown <input type="checkbox"/> Jerrell <input checked="" type="checkbox"/> Leander <input type="checkbox"/> Liberty Hill <input type="checkbox"/> Pflugerville <input type="checkbox"/> Round Rock

San Antonio Region					
County:	Bexar	Comal	Kinney	Medina	Uvalde
Original (1 req.)	—	—	—	—	—
Region (1 req.)	—	—	—	—	—
County(ies)	—	—	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Trinity-Glen Rose	<input type="checkbox"/> Edwards Aquifer Authority	<input type="checkbox"/> Kinney	<input type="checkbox"/> EAA <input type="checkbox"/> Medina	<input type="checkbox"/> EAA <input type="checkbox"/> Uvalde
City(ies) Jurisdiction	<input type="checkbox"/> Castle Hills <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Helotes <input type="checkbox"/> Hill Country Village <input type="checkbox"/> Hollywood Park <input type="checkbox"/> San Antonio (SAWS) <input type="checkbox"/> Shavano Park	<input type="checkbox"/> Bulverde <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Garden Ridge <input type="checkbox"/> New Braunfels <input type="checkbox"/> Schertz	NA	<input type="checkbox"/> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

Justin Landry, P.E.

Print Name of Customer/Authorized Agent

09/11/2024

Signature of Customer/Authorized Agent

Date

****FOR TCEQ INTERNAL USE ONLY****

Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):

***SECTION 2:
CONTRIBUTING ZONE PLAN
APPLICATION***

Contributing Zone Plan Application

Texas Commission on Environmental Quality for Regulated Activities on the Contributing Zone to the Edwards Aquifer and Relating to 30 TAC §213.24(1), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Contributing Zone Plan Application** is hereby submitted for TCEQ review and Executive Director approval. The application was prepared by:

Print Name of Customer/Agent: Justin Landry, P.E.

Date: 09/11/2024

Signature of Customer/Agent:



Regulated Entity Name: Leander Home Depot Store #1348

Project Information

1. County: Williamson
2. Stream Basin: Brushy Creek
3. Groundwater Conservation District (if applicable): N/A
4. Customer (Applicant):

Contact Person: Jessica Borgert

Entity: Home Depot USA, Inc.

Mailing Address: 2455 Paces Ferry Road NW

City, State: Atlanta, Georgia

Telephone: (770) 384-2864

Email Address: jessica_borgert@homedepot.com

Zip: 30339

Fax: N/A

5. Agent/Representative (If any):
 Contact Person: Justin Landry, P.E.
 Entity: Kimley-Horn and Associates, Inc.
 Mailing Address: 10814 Jollyville Road, Building 4, Suite 200
 City, State: Austin, Texas Zip: 78759
 Telephone: 512-418-1771 Fax: N/A
 Email Address: justin.landry@kimley-horn.com
6. Project Location:
 The project site is located inside the city limits of Leander.
 The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of _____.
 The project site is not located within any city's limits or ETJ.
7. The location of the project site is described below. Sufficient detail and clarity has been provided so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.
Located at the northwest corner of Hero Way and SB US Hwy 183A FR.
8. **Attachment A - Road Map.** A road map showing directions to and the location of the project site is attached. The map clearly shows the boundary of the project site.
9. **Attachment B - USGS Quadrangle Map.** A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000') is attached. The map(s) clearly show:
 Project site boundaries.
 USGS Quadrangle Name(s).
10. **Attachment C - Project Narrative.** A detailed narrative description of the proposed project is attached. The project description is consistent throughout the application and contains, at a minimum, the following details:
 Area of the site
 Offsite areas
 Impervious cover
 Permanent BMP(s)
 Proposed site use
 Site history
 Previous development
 Area(s) to be demolished
11. Existing project site conditions are noted below:
 Existing commercial site
 Existing industrial site

- Existing residential site
- Existing paved and/or unpaved roads
- Undeveloped (Cleared)
- Undeveloped (Undisturbed/Not cleared)
- Other: _____

12. The type of project is:

- Residential: # of Lots: _____
- Residential: # of Living Unit Equivalents: _____
- Commercial
- Industrial
- Other: _____

13. Total project area (size of site): 15.26 Acres

Total disturbed area: 15.26 Acres

14. Estimated projected population: N/A

15. The amount and type of impervious cover expected after construction is complete is shown below:

1. Table 1 – Impervious Cover

<i>Impervious Cover of Proposed Project</i>	<i>Sq. Ft.</i>	<i>Sq. Ft./Acre</i>	<i>Acres</i>
Structures/Rooftops	0.00	÷ 43,560 =	0.00
Parking	0.00	÷ 43,560 =	0.00
Other paved surfaces	0.00	÷ 43,560 =	0.00
Total Impervious Cover	0.00	÷ 43,560 =	0.00

Total Impervious Cover 0.00 ÷ Total Acreage 15.26 X 100 = 0.00% Impervious Cover

16. **Attachment D - Factors Affecting Surface Water Quality.** A detailed description of all factors that could affect surface water quality is attached. If applicable, this includes the location and description of any discharge associated with industrial activity other than construction.
17. Only inert materials as defined by 30 TAC 330.2 will be used as fill material.

For Road Projects Only

Complete questions 18 - 23 if this application is exclusively for a road project.

N/A

18. Type of project:

- TXDOT road project.
- County road or roads built to county specifications.
- City thoroughfare or roads to be dedicated to a municipality.
- Street or road providing access to private driveways.

19. Type of pavement or road surface to be used:

- Concrete
- Asphalt concrete pavement
- Other: _____

20. Right of Way (R.O.W.):

Length of R.O.W.: ___ feet.

Width of R.O.W.: ___ feet.

$L \times W = \text{_____ Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} = \text{___ acres.}$

21. Pavement Area:

Length of R.O.W.: ___ feet.

Width of R.O.W.: ___ feet.

$L \times W = \text{_____ Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} = \text{___ acres.}$

Pavement area ___ acres \div R.O.W. area ___ acres $\times 100 = \text{___ \% impervious cover.}$

22. A rest stop will be included in this project.

A rest stop will not be included in this project.

23. Maintenance and repair of existing roadways that do not require approval from the TCEQ Executive Director. Modifications to existing roadways such as widening roads/adding shoulders totaling more than one-half (1/2) the width of one (1) existing lane require prior approval from the TCEQ.

Stormwater to be generated by the Proposed Project

24. **Attachment E - Volume and Character of Stormwater.** A detailed description of the volume (quantity) and character (quality) of the stormwater runoff which is expected to occur from the proposed project is attached. The estimates of stormwater runoff quality and quantity are based on area and type of impervious cover. Include the runoff coefficient of the site for both pre-construction and post-construction conditions.

Wastewater to be generated by the Proposed Project

25. Wastewater is to be discharged in the contributing zone. Requirements under 30 TAC§213.6(c) relating to Wastewater Treatment and Disposal Systems have been satisfied.

N/A

26. Wastewater will be disposed of by:

On-Site Sewage Facility (OSSF/Septic Tank):

Attachment F - Suitability Letter from Authorized Agent. An on-site sewage facility will be used to treat and dispose of the wastewater from this site. The appropriate licensing authority's (authorized agent) written approval is attached. It states that the land is suitable for the use of private sewage facilities and will meet or exceed the requirements for on-site sewage facilities as specified under 30 TAC Chapter 285 relating to On-site Sewage Facilities.

Each lot in this project/development is at least one (1) acre (43,560 square feet) in size. The system will be designed by a licensed professional engineer or registered sanitarian and installed by a licensed installer in compliance with 30 TAC Chapter 285.

Sewage Collection System (Sewer Lines):

The sewage collection system will convey the wastewater to the City of Leander Wastewater (name) Treatment Plant. The treatment facility is:

Existing.

Proposed.

N/A

Permanent Aboveground Storage Tanks (ASTs) ≥ 500 Gallons

Complete questions 27 - 33 if this project includes the installation of AST(s) with volume(s) greater than or equal to 500 gallons.

N/A

27. Tanks and substance stored:

Table 2 - Tanks and Substance Storage

<i>AST Number</i>	<i>Size (Gallons)</i>	<i>Substance to be Stored</i>	<i>Tank Material</i>
1			
2			
3			
4			
5			

Total x 1.5 = _____ Gallons

28. The AST will be placed within a containment structure that is sized to capture one and one-half (1 1/2) times the storage capacity of the system. For facilities with more than one tank system, the containment structure is sized to capture one and one-half (1 1/2) times the cumulative storage capacity of all systems.

Attachment G - Alternative Secondary Containment Methods. Alternative methods for providing secondary containment are proposed. Specifications showing equivalent protection for the Edwards Aquifer are attached.

29. Inside dimensions and capacity of containment structure(s):

2. Table 3 - Secondary Containment

<i>Length (L)(Ft.)</i>	<i>Width(W)(Ft.)</i>	<i>Height (H)(Ft.)</i>	<i>L x W x H = (Ft3)</i>	<i>Gallons</i>

Total: _____ Gallons

30. Piping:

- All piping, hoses, and dispensers will be located inside the containment structure.
- Some of the piping to dispensers or equipment will extend outside the containment structure.
- The piping will be aboveground
- The piping will be underground

31. The containment area must be constructed of and in a material impervious to the substance(s) being stored. The proposed containment structure will be constructed of: _____.

32. **Attachment H - AST Containment Structure Drawings.** A scaled drawing of the containment structure is attached that shows the following:

- Interior dimensions (length, width, depth and wall and floor thickness).
- Internal drainage to a point convenient for the collection of any spillage.
- Tanks clearly labeled
- Piping clearly labeled
- Dispenser clearly labeled

33. Any spills must be directed to a point convenient for collection and recovery. Spills from storage tank facilities must be removed from the controlled drainage area for disposal within 24 hours of the spill.

- In the event of a spill, any spillage will be removed from the containment structure within 24 hours of the spill and disposed of properly.
- In the event of a spill, any spillage will be drained from the containment structure through a drain and valve within 24 hours of the spill and disposed of properly. The drain and valve system are shown in detail on the scaled drawing.

Site Plan Requirements

Items 34 - 46 must be included on the Site Plan.

- 34. The Site Plan must have a minimum scale of 1" = 400'.
Site Plan Scale: 1" = 80'.
- 35. 100-year floodplain boundaries:
 - Some part(s) of the project site is located within the 100-year floodplain. The floodplain is shown and labeled. The 100-year floodplain boundaries are based on the following specific (including date of material) sources(s):
 - No part of the project site is located within the 100-year floodplain. The 100-year floodplain boundaries are based on the following specific (including date of material) sources(s): Firm Panel No. 48491C0455F, Williamson County, Texas and Incorporated Areas (effective date December 20, 2019.)
- 36. The layout of the development is shown with existing and finished contours at appropriate, but not greater than ten-foot contour intervals. Lots, recreation centers, buildings, roads, etc. are shown on the site plan.
 - The layout of the development is shown with existing contours at appropriate, but not greater than ten-foot contour intervals. Finished topographic contours will not differ from the existing topographic configuration and are not shown. Lots, recreation centers, buildings, roads, etc. are shown on the site plan.
- 37. A drainage plan showing all paths of drainage from the site to surface streams.
- 38. The drainage patterns and approximate slopes anticipated after major grading activities.
- 39. Areas of soil disturbance and areas which will not be disturbed.
- 40. Locations of major structural and nonstructural controls. These are the temporary and permanent best management practices.
- 41. Locations where soil stabilization practices are expected to occur.
- 42. Surface waters (including wetlands).
 - N/A
- 43. Locations where stormwater discharges to surface water.
 - There will be no discharges to surface water.

44. Temporary aboveground storage tank facilities.
 Temporary aboveground storage tank facilities will not be located on this site.
45. Permanent aboveground storage tank facilities.
 Permanent aboveground storage tank facilities will not be located on this site.
46. Legal boundaries of the site are shown.

Permanent Best Management Practices (BMPs)

Practices and measures that will be used during and after construction is completed.

47. Permanent BMPs and measures must be implemented to control the discharge of pollution from regulated activities after the completion of construction.
 N/A
48. These practices and measures have been designed, and will be constructed, operated, and maintained to insure that 80% of the incremental increase in the annual mass loading of total suspended solids (TSS) from the site caused by the regulated activity is removed. These quantities have been calculated in accordance with technical guidance prepared or accepted by the executive director.
 The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site.
 A technical guidance other than the TCEQ TGM was used to design permanent BMPs and measures for this site. The complete citation for the technical guidance that was used is:
 N/A
49. Owners must insure that permanent BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the appropriate regional office within 30 days of site completion.
 N/A
50. Where a site is used for low density single-family residential development and has 20 % or less impervious cover, other permanent BMPs are not required. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.
 The site will be used for low density single-family residential development and has 20% or less impervious cover.
 The site will be used for low density single-family residential development but has more than 20% impervious cover.

- The site will not be used for low density single-family residential development.
51. The executive director may waive the requirement for other permanent BMPs for multi-family residential developments, schools, or small business sites where 20% or less impervious cover is used at the site. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.
- Attachment I - 20% or Less Impervious Cover Waiver.** The site will be used for multi-family residential developments, schools, or small business sites and has 20% or less impervious cover. A request to waive the requirements for other permanent BMPs and measures is attached.
- The site will be used for multi-family residential developments, schools, or small business sites but has more than 20% impervious cover.
- The site will not be used for multi-family residential developments, schools, or small business sites.
52. **Attachment J - BMPs for Upgradient Stormwater.**
- A description of the BMPs and measures that will be used to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site is attached.
- No surface water, groundwater or stormwater originates upgradient from the site and flows across the site, and an explanation is attached.
- Permanent BMPs or measures are not required to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site, and an explanation is attached.
53. **Attachment K - BMPs for On-site Stormwater.**
- A description of the BMPs and measures that will be used to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff from the site is attached.
- Permanent BMPs or measures are not required to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff, and an explanation is attached.
54. **Attachment L - BMPs for Surface Streams.** A description of the BMPs and measures that prevent pollutants from entering surface streams is attached.
- N/A
55. **Attachment M - Construction Plans.** Construction plans and design calculations for the proposed permanent BMPs and measures have been prepared by or under the direct

supervision of a Texas Licensed Professional Engineer, and are signed, sealed, and dated. Construction plans for the proposed permanent BMPs and measures are attached and include: Design calculations, TCEQ Construction Notes, all proposed structural plans and specifications, and appropriate details.

N/A

56. **Attachment N - Inspection, Maintenance, Repair and Retrofit Plan.** A site and BMP specific plan for the inspection, maintenance, repair, and, if necessary, retrofit of the permanent BMPs and measures is attached. The plan fulfills all of the following:

Prepared and certified by the engineer designing the permanent BMPs and measures

Signed by the owner or responsible party

Outlines specific procedures for documenting inspections, maintenance, repairs, and, if necessary, retrofit.

Contains a discussion of record keeping procedures

N/A

57. **Attachment O - Pilot-Scale Field Testing Plan.** Pilot studies for BMPs that are not recognized by the Executive Director require prior approval from the TCEQ. A plan for pilot-scale field testing is attached.

N/A

58. **Attachment P - Measures for Minimizing Surface Stream Contamination.** A description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is attached. The measures address increased stream flashing, the creation of stronger flows and in-stream velocities, and other in-stream effects caused by the regulated activity, which increase erosion that result in water quality degradation.

N/A

Responsibility for Maintenance of Permanent BMPs and Measures after Construction is Complete.

59. The applicant is responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred.

60. A copy of the transfer of responsibility must be filed with the executive director at the appropriate regional office within 30 days of the transfer if the site is for use as a multiple single-family residential development, a multi-family residential development,

or a non-residential development such as commercial, industrial, institutional, schools, and other sites where regulated activities occur.

Administrative Information

- 61. Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions.
- 62. Any modification of this Contributing Zone Plan may require TCEQ review and Executive Director approval prior to construction, and may require submission of a revised application, with appropriate fees.
- 63. The site description, controls, maintenance, and inspection requirements for the storm water pollution prevention plan (SWPPP) developed under the EPA NPDES general permits for stormwater discharges have been submitted to fulfill paragraphs 30 TAC §213.24(1-5) of the technical report. All requirements of 30 TAC §213.24(1-5) have been met by the SWPPP document.
- The Temporary Stormwater Section (TCEQ-0602) is included with the application.

ROAD MAP



NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT THE BENEFIT OF A SURVEY, TOPOGRAPHY, UTILITIES, CONTACT WITH THE CITY, ETC.

HENDRICKS, SAMUEL, 9/5/2024 4:25 PM
 D:\CADD\2024\183A\183A02-HOME DEPOT LEANDERROAD - AUSTIN NORTH DSEXHIBIT\PLANSHEETS\20240906 - ROAD MAP.DWG
 9/5/2024 4:18 PM



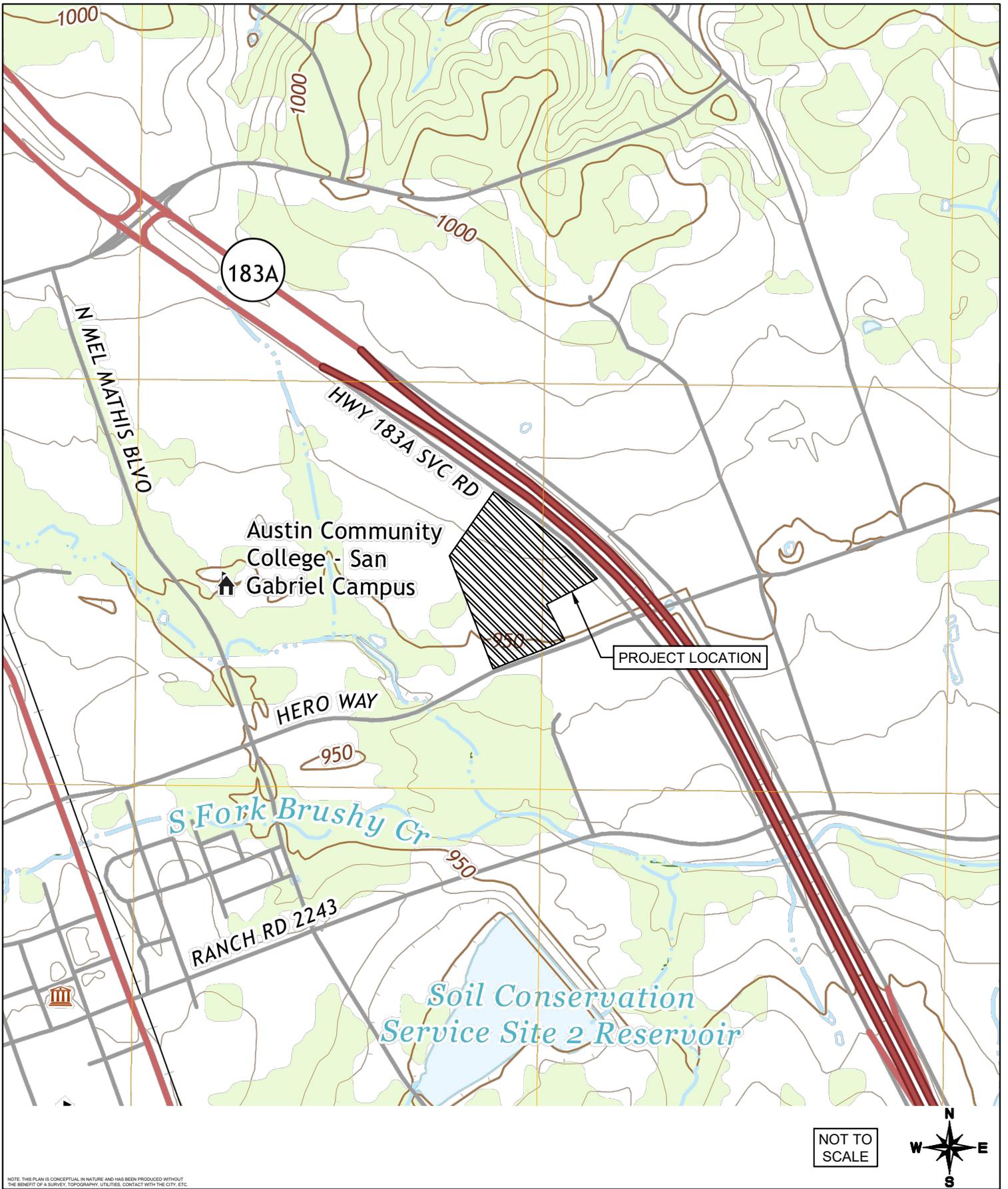
LEANDER HOME DEPOT STORE #1348
ROAD MAP
 LEANDER, WILLIAMSON COUNTY, TEXAS
 SEPTEMBER 2024

10814 JOLLYVILLE RD
 BLDG IV, STE 200
 AUSTIN, TEXAS 78759
 State of Texas Registration No. F-928

PLOTTED BY
 LAST SAVED

**LEANDER HOME DEPOT STORE #1348
CONTRIBUTING ZONE PLAN**

USGS QUADRANGLE MAP



HENDRICKS, SAMUEL 9/5/2024 5:40 PM
 C:\PROJECTS\2024\183A\183A02-HOME DEPOT LEANDERCAD - AUSTIN NORTH DSEXHIBIT\PLANSHEETS\20240906 - USGS MAP.DWG
 9/5/2024 3:08 PM

Kimley»Horn

LEANDER HOME DEPOT STORE #1348
USGS EXHIBIT
 LEANDER, WILLIAMSON COUNTY, TEXAS
 SEPTEMBER 2024

10814 JOLLYVILLE RD
 BLDG IV, STE 200
 AUSTIN, TEXAS 78759
 State of Texas Registration No. F-928

PLOTTED BY
 DUSTY SAWED

PROJECT NARRATIVE

Leander Home Depot Store #1348 is located at the northwest corner of Hero Way and SB 183A Frontage Road in the city of Leander, Williamson County, Texas on approximately 15.26 acres. The amount of disturbed area is approximately 15.26 acres. In the existing condition, the site is currently undeveloped with an impervious cover of 0%. This project proposes grading and earthwork improvements that will occur before future development of the site. No impervious cover is proposed with this project.

The site is located in the Upper Brushy Creek Watershed. The site is located in the Edwards Aquifer Contributing Zone. No portion of this site is located within the 100-year floodplain as shown on FIRM Panel No. 48491C0455F, Williamson County, dated December 20, 2019.

FACTORS AFFECTING SURFACE WATER QUALITY

Surface water quality can be affected by disturbance during construction and by development after construction. Soil disturbance from clearing and grubbing as well as cut and fill operations can lead to discharge of sediment unless adequate temporary erosion control measures are in place. For this project, the use of silt fences and rock berms will prevent sediment from leaving the site. Siltation collected by the control measures will be cleaned from fences, berms, etc. on a routine schedule.

During construction, surface water quality may also be affected by a spill of hydrocarbons or other hazardous substances used in construction. The most likely instances of a spill of hydrocarbons and hazardous substance area:

1. Refueling construction equipment.
2. Performing operator-level maintenance, including adding petroleum, oils, or lubricants.
3. Unscheduled or emergency repairs, such as hydraulic fluid leaks.

Every effort will be taken to be cautious and prevent spills. In the event of a fuel or hazardous substance spill, the contractor is required to clean up the spill and notify the TCEQ. During business hours report spills to TCEQ's Austin Regional Office at (512) 339-2929, after business hours call 1-800-832-8224.

After construction is complete, impervious cover for the tract of land is the major reason for degradation of water quality. Impervious cover includes building, parking, driveways, and courtyards. Oil and fuel discharges from vehicles is anticipated.

VOLUME AND CHARACTER OF STORMWATER

Leander Home Depot Store #1348 is located at the corner of Hero Way and SB US Hwy 183A Frontage Road in the city of Leander, Williamson County, Texas on approximately 15.26 acres. The amount of disturbed area is approximately 15.26 acres. In the existing condition, the site is currently undeveloped with an impervious cover of 0%. This project proposes grading and earthwork improvements that will occur before future development of the site. No impervious cover is proposed, and drainage patterns will be maintained; therefore, flows are not expected to increase.

SUITABILITY LETTER FROM AUTHORIZED AGENT

(Not Applicable)

ALTERNATIVE SECONDARY CONTAINMENT METHODS

(Not Applicable)

AST CONTAINMENT STRUCTURE DRAWINGS

(Not Applicable)

20% OR LESS IMPERVIOUS COVER WAIVER

(Not Applicable)

BMPs FOR UPGRADIENT STORMWATER

(Not Applicable)

BMPs FOR ON-SITE STORMWATER

(Not Applicable)

BMPs FOR SURFACE STREAMS

(Not Applicable)

**LEANDER HOME DEPOT STORE #1348
CONTRIBUTING ZONE PLAN**

CONSTRUCTION PLANS



LEANDER HOME DEPOT STORE #1348 GRADING ONLY PERMIT

LEGAL DESCRIPTION

BEING A DESCRIPTION OF A TRACT OF LAND CONTAINING 15.2626 ACRES (664,837 SQUARE FEET) OUT OF THE TALBOT CHAMBERS SURVEY, ABSTRACT NO. 125, IN WILLIAMSON COUNTY, TEXAS, BEING A PORTION OF THE REMAINDER OF A CALLED 269.836 ACRE TRACT CONVEYED TO RB 270 PARTNERSHIP IN DOCUMENT NO. 2004036768 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS (O.P.R.W.C.T.), SAID 15.2626 ACRES BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, AT A 1/2-INCH IRON ROD WITH "MWM" CAP FOUND IN THE NORTH RIGHT-OF-WAY LINE OF HERO WAY (RIGHT-OF-WAY VARIES, THIS PORTION OF HERO WAY HAVING BEEN RECORDED IN DOCUMENT NO. 2009071332, O.P.R.W.C.T.), BEING AN ANGLE POINT IN THE SOUTH LINE OF THE REMAINDER OF A CALLED 100 ACRES CONVEYED TO AUSTIN COMMUNITY COLLEGE DISTRICT IN DOCUMENT NO. 2010030836 (O.P.R.W.C.T.), FOR THE SOUTHWEST CORNER AND POINT OF BEGINNING HEREOF, FROM WHICH A 1/2-INCH IRON ROD WITH "PAPE-DAWSON" CAP FOUND FOR AN ANGLE POINT IN THE NORTH RIGHT-OF-WAY LINE OF SAID HERO WAY, BEING AN ANGLE POINT IN THE SOUTH LINE OF SAID 100 ACRE REMAINDER TRACT, BEARS, S68°54'47"W, A DISTANCE OF 198.58 FEET;

THENCE, LEAVING THE NORTH RIGHT-OF-WAY LINE OF SAID HERO WAY, OVER AND ACROSS SAID 269.836 ACRE TRACT, AND WITH THE EAST LINE OF SAID 100 ACRE REMAINDER TRACT, THE FOLLOWING TWO (2) COURSES AND DISTANCES:

- N21°04'23"W, A DISTANCE OF 833.43 FEET TO A 1/2-INCH IRON ROD FOUND FOR AN ANGLE POINT HEREOF, AND
- N34°43'35"E, A DISTANCE OF 538.32 FEET TO A 1/2-INCH IRON ROD WITH "MWM" CAP FOUND FOR THE NORTH CORNER HEREOF, SAID POINT BEING IN THE WEST RIGHT-OF-WAY LINE OF US HIGHWAY 183-A TOLL ROAD (RIGHT-OF-WAY VARIES, THIS PORTION OF US HIGHWAY 183 TOLL ROAD HAVING BEEN RECORDED IN DOCUMENT NO. 2004088731, O.P.R.W.C.T.), AND BEING AN ANGLE POINT IN THE EAST LINE OF SAID 100 ACRE REMAINDER TRACT, FROM WHICH A TXDOT TYPE II BRASS DISC MONUMENT FOUND IN THE WEST RIGHT-OF-WAY LINE OF SAID US HIGHWAY 183-A TOLL ROAD, BEING IN THE EAST LINE OF SAID 100 ACRE REMAINDER TRACT, BEARS, ALONG A CURVE TO THE LEFT, WHOSE RADIUS IS 5,529.58 FEET, WHOSE ARC LENGTH IS 80.06 FEET, AND WHOSE CHORD BEARS N55°38'59"W, A DISTANCE OF 80.06 FEET;

THENCE, WITH THE WEST RIGHT-OF-WAY LINE OF SAID US HIGHWAY 183-A TOLL ROAD AND OVER AND ACROSS SAID 269.836 ACRE TRACT, THE FOLLOWING TWO (2) COURSES AND DISTANCES:

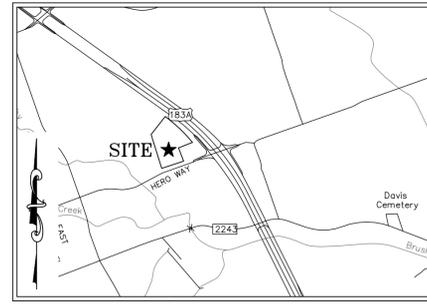
- ALONG A CURVE TO THE RIGHT, WHOSE RADIUS IS 5,529.58 FEET, WHOSE ARC LENGTH IS 613.08 FEET AND WHOSE CHORD BEARS S51°53'36"E, A DISTANCE OF 612.76 FEET TO A 1/2-INCH IRON ROD FOUND FOR A POINT OF COMPOUND CURVATURE HEREOF, AND
- ALONG A CURVE TO THE RIGHT, WHOSE RADIUS IS 2,844.79 FEET, WHOSE ARC LENGTH IS 316.83 FEET, AND WHOSE CHORD BEARS S45°58'50"E, A DISTANCE OF 316.87 FEET TO A 1/2-INCH IRON ROD WITH "RPLS 2099" CAP FOUND FOR AN ANGLE POINT HEREOF, SAID POINT BEING THE NORTHEAST CORNER OF A CALLED 2.686 ACRE TRACT CONVEYED TO QT SOUTH, LLC IN DOCUMENT NO. 2020047271 (O.P.R.W.C.T.), FROM WHICH AN 80D NAIL FOUND IN THE WEST RIGHT-OF-WAY LINE OF SAID US HIGHWAY 183-A TOLL ROAD, BEING IN THE EAST LINE OF SAID 2.686 ACRE TRACT, BEARS, ALONG A CURVE TO THE RIGHT, WHOSE RADIUS IS 2,844.79 FEET, WHOSE ARC LENGTH IS 109.35 FEET, AND WHOSE CHORD BEARS, S41°25'25"E, A DISTANCE OF 109.34 FEET;

THENCE, LEAVING THE WEST RIGHT-OF-WAY LINE OF SAID US HIGHWAY 183-A TOLL ROAD, OVER AND ACROSS SAID 269.836 ACRE TRACT, AND WITH THE NORTH LINE OF SAID 2.686 ACRE TRACT, S63°07'16"W, A DISTANCE OF 391.34 FEET TO A 1/2-INCH IRON ROD FOUND FOR AN INTERNAL ELL-CORNER HEREOF, SAID POINT BEING THE NORTHWEST CORNER OF SAID 2.686 ACRE TRACT;

THENCE, OVER AND ACROSS SAID 269.836 ACRE TRACT AND WITH THE WEST LINE OF SAID 2.686 ACRE TRACT, S26°52'41"E, A DISTANCE OF 278.51 FEET TO A 1/2-INCH IRON ROD WITH "PAPE-DAWSON" CAP FOUND FOR AN EXTERNAL ELL-CORNER HEREOF, SAID POINT BEING IN THE NORTH RIGHT-OF-WAY LINE OF SAID HERO WAY, ALSO BEING THE SOUTHWEST CORNER OF SAID 2.686 ACRE TRACT, FROM WHICH A 1/2-INCH IRON ROD FOUND IN THE NORTH RIGHT-OF-WAY LINE OF SAID HERO WAY, BEING AN ANGLE POINT IN THE SOUTH LINE OF SAID 2.686 ACRE TRACT, BEARS, N63°05'25"E, A DISTANCE OF 319.69 FEET;

THENCE, WITH THE NORTH RIGHT-OF-WAY LINE OF SAID HERO WAY AND OVER AND ACROSS SAID 269.836 ACRE TRACT, THE FOLLOWING THREE (3) COURSES AND DISTANCES:

- S66°13'02"W, A DISTANCE OF 99.76 FEET TO A 1/2-INCH IRON ROD WITH "PAPE-DAWSON" CAP FOUND FOR AN ANGLE POINT HEREOF,
- S67°34'22"W, A DISTANCE OF 46.44 FEET TO A 1/2-INCH IRON ROD WITH ILLEGIBLE YELLOW CAP FOUND FOR AN ANGLE POINT HEREOF, AND
- S68°54'47"W, A DISTANCE OF 385.31 FEET TO THE POINT OF BEGINNING AND CONTAINING 15.2626 ACRES (664,837 SQUARE FEET) MORE OR LESS.



VICINITY MAP
SCALE: 1" = 2000'

OWNER/DEVELOPER:
THE HOME DEPOT USA, INC.
OWNER REP: PETER MONTE
2455 PACES FERRY ROAD, C-19
ATLANTA, GA 30339
PHONE: (470) 558-4396
PETER.MONTE@HOMEDEPOT.COM

GEOTECHNICAL ENGINEER:
MOORE TWINING ASSOCIATES, INC.
READ ANDERSEN
2527 FRESNO STREET
FRESNO, CA 93721
PHONE: (559) 978-9570 (m)
READA@MOORETWINING.COM

CIVIL ENGINEER:
LARS ANDERSEN & ASSOCIATES, INC.
DARIO RAMIREZ
44694 W JACQUELYN AVENUE
FRESNO, CA 93722
PHONE: (559) 276-2790 EXT. 116
DRAMIREZ@LARSANDERSEN.COM

ARCHITECT
WD PARTNERS
CONTACT: TODD GIARRANTE
PHONE: (949) 293-7504
TODD.GIARRANTE@WDPARTNERS.COM

SURVEYOR
4WARD LAND SURVEYING
CONTACT: DREW VANDIVER
PHONE: (512) 537-2384
DVANDIVER@4WARDLS.COM

BEARING BASIS:
ALL BEARINGS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, GRID NORTH-CENTRAL ZONE, (4203), NAD83, ALL DISTANCES WERE ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.000137593247.

SURVEY CONTROL:
CONTROL FOR THIS SURVEY IS BASED ON A 1/2" IRON ROD WITH "4WARD CONTROL" CAP SET, GRID COORDINATES (STATE PLANE TEXAS CENTRAL - 4203) AND ELEVATIONS (NAVDB8) SHOWN HEREON WERE COMPUTED FROM NGS O.P.U.S. SOLUTION REPORT DERIVED FROM 4WARD STATIC DATA COLLECTED DEC. 9, 2020.

BENCHMARK NOTE:
TBM #1- SQUARE CUT ON TOP OF CONCRETE DRAINAGE INLET IN THE SOUTH MARGIN OF HERO WAY, ±146' SOUTHEAST OF A FIRE HYDRANT IN THE NORTH MARGIN OF HERO WAY, ±123' SOUTHEAST OF A POWER POLE IN THE NORTH MARGIN OF HERO WAY.
ELEVATION = 947.82'
TBM #2- SQUARE CUT ON TOP OF CONCRETE DRAINAGE INLET IN THE SOUTH MARGIN OF HERO WAY, ±68' SOUTHEAST OF A FIRE HYDRANT IN THE NORTH MARGIN OF HERO WAY, ±58' SOUTHEAST OF A STORM SEWER MANHOLE IN THE NORTH MARGIN OF HERO WAY.
ELEVATION = 949.31'

FLOODPLAIN NOTE:
THIS PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS SHOWN ON F.I.R.M. MAP NO. 48491C0455F, WILLIAMSON COUNTY, TEXAS AND INCORPORATED AREAS, MAP REVISED DECEMBER 20, 2019.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

ZONING NOTES:
THE FOLLOWING ZONING INFORMATION WAS PROVIDED IN AN EMAIL FROM TROUTMAN PEPPER ON 1/9/23:

COMPOSITE ZONING: GC - 3 - A (AS PROVIDED BY CITY IN DRAFT HOME DEPOT PUD)
GC - USE COMPONENT - GENERAL COMMERCIAL
3 - SITE COMPONENT - LIMITED OUTDOOR DISPLAY AND STORAGE
• NEEDS FURTHER DISCUSSION W/ CITY PLANNER AS TYPE 4 MAY BE A BETTER FIT - PERMITS SIGNIFICANT OUTDOOR DISPLAY AND STORAGE
A - ARCHITECTURAL COMPONENT - 85% MASONRY - HIGHEST ARCHITECTURAL STANDARD
• NEEDS FURTHER DISCUSSION W/ CITY PLANNER AS TYPE C MAY BE A BETTER FIT - 35% MASONRY AND MODERATE ARCHITECTURAL STANDARDS

SETBACK, BUFFER & YARD REQUIREMENTS FOR NON-RESIDENTIAL: USE COMPONENT GC:

	SETBACK	BUFFER	YARD
STREET (BLDG.):	35'	NONE	NONE
SIDE (BLDG.):	15'	NONE	NONE
REAR (BLDG.):	15'	NONE	NONE
PERIMETER:	NONE	NONE	NONE

FUTURE LAND USE CATEGORY AS IDENTIFIED ON THE FUTURE LAND USE MAP: LEANDER CENTRAL

PROJECT INFORMATION:
SITE ACREAGE: 15.26 ACRES (664,837 SF)
TOTAL IMPERVIOUS COVER: 10.86 ACRES (473,031.60 SF)
BUILDING IMPERVIOUS COVER: 3.38 ACRES (147,232.80 SF)

WATER:
CITY OF LEANDER UTILITIES
LEANDER CITY HALL
105 N. BRUSHY ST.
LEANDER, TX 78641
PHONE: (512) 259-1142

WASTEWATER:
CITY OF LEANDER UTILITIES
LEANDER CITY HALL
105 N. BRUSHY ST.
LEANDER, TX 78641
PHONE: (512) 259-1142

STORMWATER:
CITY OF LEANDER UTILITIES
LEANDER CITY HALL
105 N. BRUSHY ST.
LEANDER, TX 78641
PHONE: (512) 259-1142

FIRE MARSHAL:
JOSHUA DAVIS
FIRE MARSHAL
ADMINISTRATION
101 E. SONNY DRIVE
LEANDER, TX 78641
PHONE: (512) 528-2847

ELECTRICAL:
PERDERNALES
ELECTRIC
COOPERATIVE
201 SOUTH AVENUE F
JOHNSON CITY, TX 78636
(888) 554-4732

TELEPHONE:
VERIZON
1230 AUSTIN HWY, STE 102
LEANDER, TX 78209
PHONE: (210) 598-0151

GAS:
ATMOS ENERGY
3110 NORTH IH 35
ROUND ROCK, TX 78681
(512) 310-3896

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	EROSION CONTROL PLAN PHASE 1
3	ROUGH GRADING PLAN NORTH
4	ROUGH GRADING PLAN SOUTH

- TCEQ CONTRIBUTING ZONE PLAN GENERAL NOTES:**
- A written notice of construction must be submitted to the TCEQ regional office at least 48 hours prior to the start of any ground disturbance or construction activities. This notice must include:
 - the name of the approved project;
 - the activity start date; and
 - the contact information of the prime contractor.
 - All contractors conducting regulated activities associated with this project should be provided with complete copies of the approved Contributing Zone Plan (CZP) and the TCEQ letter indicating the specific conditions of its approval. During the course of these regulated activities, the contractor(s) should keep copies of the approved plan and approval letter on-site.
 - No hazardous substance storage tank shall be installed within 150 feet of a water supply source, distribution system, well, or sensitive feature.
 - Prior to beginning any construction activity, all temporary erosion and sedimentation (E&S) control measures must be properly installed and maintained in accordance with the manufacturers specifications. If inspections indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations. These controls must remain in place until the disturbed areas have been permanently stabilized.
 - Any sediment that escapes the construction site must be collected and properly disposed of before the next rain event to ensure it is not washed into surface streams, sensitive features, etc.
 - Sediment must be removed from the sediment traps or sedimentation basins when it occupies 50% of the basin's design capacity.
 - Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from being discharged offsite.
 - All excavated material that will be stored on-site must have proper E&S controls.
 - If portions of the site will have a cease in construction activity lasting longer than 14 days, soil stabilization in those areas shall be initiated as soon as possible prior to the 14th day of inactivity. If activity will resume prior to the 21st day, stabilization measures are not required. If drought conditions or inclement weather prevent action by the 14th day, stabilization measures shall be initiated as soon as possible.
 - The following records should be maintained and made available to the TCEQ upon request:
 - the dates when major grading activities occur;
 - the dates when construction activities temporarily or permanently cease on a portion of the site; and
 - the dates when stabilization measures are initiated.
 - The holder of any approved CZP must notify the appropriate regional office in writing and obtain approval from the executive director prior to initiating any of the following:
 - any physical or operational modification of any best management practices (BMPs) or structure(s), including but not limited to temporary or permanent ponds, dams, berms, silt fences, and diversionary structures;
 - any change in the nature or character of the regulated activity from that which was originally approved;
 - any change that would significantly impact the ability to prevent pollution of the Edwards Aquifer; or
 - any development of land previously identified as undeveloped in the approved contributing zone plan.

Austin Regional Office
12100 Park 35 Circle, Building A
Austin, Texas 78753-1808
Phone (512) 339-2929
Fax (512) 339-3795

San Antonio Regional Office
14250 Judson Road
San Antonio, Texas 78233-4480
Phone (210) 490-3096
Fax (210) 545-4329

DESCRIPTION:	NO:	DATE:
REVISIONS AND/OR ADDENDA		



DATE: 9/26/2024
SHEET NUMBER
1 OF 4



NOTE TO CONTRACTOR:
IN THE CASE OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND GOVERNMENTAL AGENCY REQUIREMENTS, THE MOST STRINGENT SHALL GOVERN.

COVER SHEET

prototype:
4C-2021.01.13/11/22

LEANDER HOME DEPOT STORE #1348
GRADING ONLY PERMIT



date
00/00/00
00/00/24
00/00/00

issue dates
submission:
PERMIT
BID
CONSTRUCTION

- LEGEND**
- LIMITS OF CONSTRUCTION
 - - - - - 960 - EXISTING CONTOURS
 - SF- FILTER FABRIC SILT FENCE PER DETAIL ON SHEET 27.
 - SC-1 STABILIZED CONSTRUCTION EXIT PER DETAIL ON SHEET 27.
 - CTW CONCRETE TRUCK WASHOUT PER DETAIL ON SHEET 27.

CITY OF LEANDER EROSION CONTROL NOTES

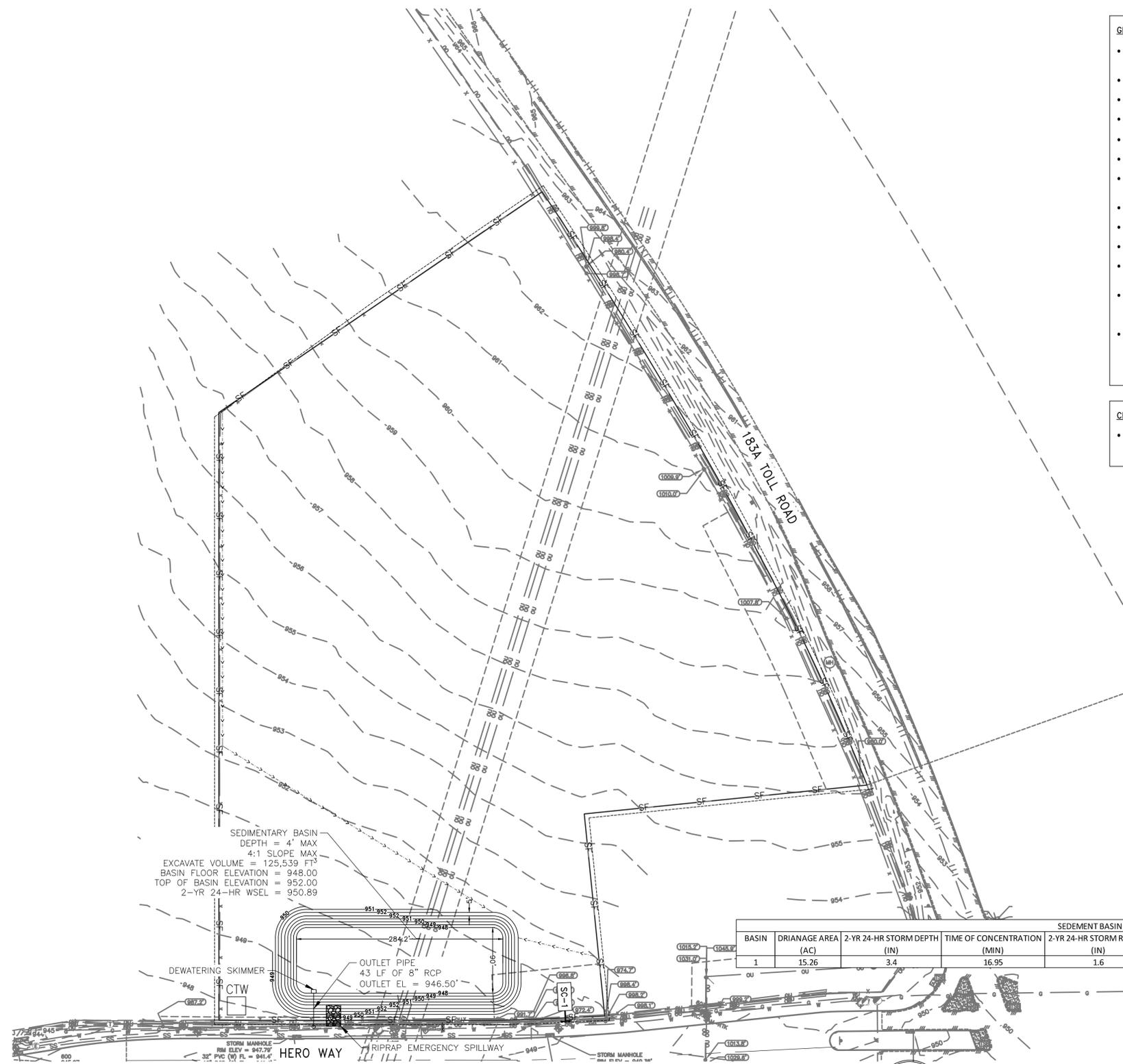
1. THE CONTRACTOR IS REQUIRED TO INSPECT THE CONTROLS AND FENCES AT WEEKLY INTERVALS AND AFTER SIGNIFICANT RAINFALL EVENTS TO ENSURE THAT THEY ARE FUNCTIONING PROPERLY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF CONTROLS AND FENCES AND SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHES SIX (6) INCHES.
2. THE TEMPORARY SPOILS DISPOSAL SITE IS TO BE SHOWN IN THE EROSION CONTROL MAP.
3. ANY ON-SITE SPOILS DISPOSAL SHALL BE REMOVED PRIOR TO ACCEPTANCE UNLESS SPECIFICALLY SHOWN ON THE PLANS. THE DEPTH OF SPOIL SHALL NOT EXCEED 10 FEET IN ANY AREA.
4. ALL AREAS DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL BE RESTORED WITH A MINIMUM OF 6 INCHES OF TOPSOIL AND COMPOST BLEND. TOPSOIL ON SINGLE FAMILY LOTS MAY BE INSTALLED WITH HOME CONSTRUCTION. THE TOPSOIL AND COMPOST BLEND SHALL CONSIST OF 75% TOPSOIL AND 25% COMPOST.
5. SEEDING FOR REESTABLISHING VEGETATION SHALL COMPLY WITH THE AUSTIN GROW GREEN GUIDE OR WILLIAMSON COUNTY'S PROTOCOL FOR SUSTAINABLE ROADSIDES (SPEC 164--WC001 SEEDING FOR EROSION CONTROL). RESEEDING VARIETIES OF BERMUDA SHALL NOT BE USED.
6. STABILIZED CONSTRUCTION ENTRANCE IS REQUIRED AT ALL POINTS WHERE CONSTRUCTION TRAFFIC IS EXITING THE PROJECT ONTO EXISTING PAVEMENT. LINEAR CONSTRUCTION PROJECTS MAY REQUIRE SPECIAL CONSIDERATION. ROADWAYS SHALL REMAIN CLEAR OF SILT AND MUD.
7. TEMPORARY STOP SIGNS SHOULD BE INSTALLED AT ALL CONSTRUCTION ENTRANCES WHERE A STOP CONDITION DOES NOT ALREADY EXIST.
8. IN THE EVENT OF INCLEMENT WEATHER THAT MAY RESULT IN A FLOODING SITUATION, THE CONTRACTOR SHALL REMOVE INLET PROTECTION MEASURES UNTIL SUCH TIME AS THE WEATHER EVENT HAS PASSED.

GENERAL CONTRACTOR REQUIREMENTS:

- PROVIDE EQUAL OR BETTER BMP'S IF ANY SUBSTITUTIONS ARE INTRODUCED. GET THE HOME DEPOT CONSTRUCTION MANAGER TO APPROVE.
- PROVIDE SWPPP BOARD AND RAIN GAUGES LOCATION.
- PROVIDE GENERAL CONTRACTOR TRAILER LOCATION.
- PROVIDE A SPILL KIT SIGN AND LOCATION NEAR THE REFUELING AREA.
- PLACE ALL PHASE 1 BMP'S ONSITE PRIOR TO ANY DEMOLITION AND LAND DISTURBANCE.
- PROVIDE LOCAL PERMITS AND THE NOI ON THE SWPPP BOARD.
- PRIOR TO CONSTRUCTION, COORDINATE WITH THE HOME DEPOT CONSTRUCTION MANAGER TO COMPLETE THE SWPPP PRE-CON REQUIREMENTS.
- SWPPP FORMS IN THE SPECS MUST BE FILLED OUT PRIOR TO THE SWPPP PRE-CON.
- POST SITE MAPS AND DETAIL SHEET ON WALL OF TRAILER.
- PROVIDE CHECK DAMS IN DIVERSION DITCHES.
- DESIGN THE SEDIMENT POND WITH A LEVEL SPREADER SO THE WATER CAN OVER FLOW TO THE OUTLET. KEEPS THE FLOW AS SHEET FLOW.
- THE SHEET FLOW SIDE OF THE OUTLET SHOULD BE CONFIRMED THAT IT HAS SOD DOWN TO ELIMINATE RUTTING ON THE EXISTING SOILS. AND THAT THE GROUND MAINTAINED AT ALL TIMES THE SEDIMENT POND IS IN PLACE.
- TRASH CONTAINERS AND ROLL OFFS COVERED WITH TARPS AT THE END OF THE DAY OR WHEN NOT IN USE.

CITY OF LEANDER NOTE:

- THE CITY OF LEANDER ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD OR MODIFY EROSION/SEDIMENT CONTROLS ON SITE THROUGHOUT THE DURATION OF PROJECT.

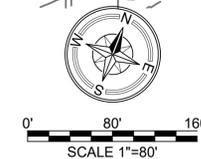


SPECIFICATIONS:
STORM WATER POLLUTION PREVENTION PLAN / TPDES

FURNISH AND INSTALL TEMPORARY AND PERMANENT STORM WATER POLLUTION PREVENTION CONTROL MEASURES SHOWN IN THE PLANS. CONSTRUCT IMPROVEMENTS IN COMPLIANCE WITH THE INTENT OF SUCH POLLUTION CONTROL MEASURES, TPDES PERMITS, OR OTHER LOCAL WATERWAY DEVELOPMENT PERMITS.

EXECUTION:

1. CONTRACTOR IS RESPONSIBLE FOR ALL POLLUTION MEASURES SHOWN IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
2. SUBMIT A STORM WATER TPDES GENERAL PERMIT NOTICE OF INTENT (NOI) AT LEAST SEVEN DAYS PRIOR TO START OF CONSTRUCTION TO THE APPROPRIATE AGENCY SHOWN ON THE SWPPP INCLUDING THE MS4.
3. POST SIGNED AND COMPLETED NOI POSTING NOTICE AND CONSTRUCTION SITE NOTICE (CSN) AT CONSTRUCTION ENTRANCE FOR PUBLIC VIEWING AND KEEP A COPY OF THE SWPPP AT THE JOB SITE AT ALL TIMES. SUBMIT A COPY OF NPO AND CSN TO LOCAL MS4.
4. INSTALL AND MAINTAIN POLLUTION CONTROL MEASURES IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND WITH PROJECT SPECIFICATIONS.
5. INSTALL EROSION CONTROL MEASURES AND CONSTRUCTION ENTRANCES AS SHOWN IN THE SWPPP PRIOR TO BEGINNING CONSTRUCTION. POLLUTION CONTROL MEASURES SHALL BE REPAIRED, REESTABLISHED, ADJUST FOR REINSTALLED WITH EACH SUBSEQUENT PHASE OF CONSTRUCTION IN ACCORDANCE WITH THE SWPPP.
6. CONTRACTOR IS RESPONSIBLE FOR AMU SEDIMENT THAT ESCAPES THE CONSTRUCTION SITE AND SHALL REMOVE THE ACCUMULATION OF OFF-SITE SEDIMENT PROMPTLY.
7. MAINTAIN SEDIMENT TRAPS OR SEDIMENTATION BASINS.
8. OFF-SITE MATERIAL STORAGE AREAS USED SOLELY BY THE PROJECT ARE CONSIDERED PART OF THE PROJECT.
9. MAINTAIN RECORDS OF PROJECT MILESTONE DATES AND FIELD CHANGES AS REQUIRED BY THE SWPPP.
10. INSPECT POLLUTION CONTROL MEASURES EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVEN GREATER THAN 0.5 INCHES OF RAINFALL AN INSPECTION REPORT SHALL BE RECORDED AS REQUIRED BY THE SWPPP.
11. DEFICIENCIES NOTED DURING THE INSPECTION WILL BE CORRECTED AND DOCUMENTED WITHIN SEVEN CALENDAR DAYS OR BEFORE THE NEXT ANTICIPATED STORM EVENT.



DESCRIPTION:	NO:	DATE:



DATE: 9/26/2024
SHEET NUMBER
2 OF 4

P:\Proj-2023\23017 - HD Leander, TX DWG\Civil Plans\Grading Only Permit Set\C-601 Erosion Control Plan Phase 1.dwg 9-26-24 11:01:10 AM DRamirez

LARS ANDERSEN & ASSOCIATES, INC.
4984 WEST JACOBSON AVENUE, SUITE 100
PESCO, CALIFORNIA 93722
TEL: 509-774-7770 FAX: 509-774-8800 WWW.LARSANDERSEN.COM

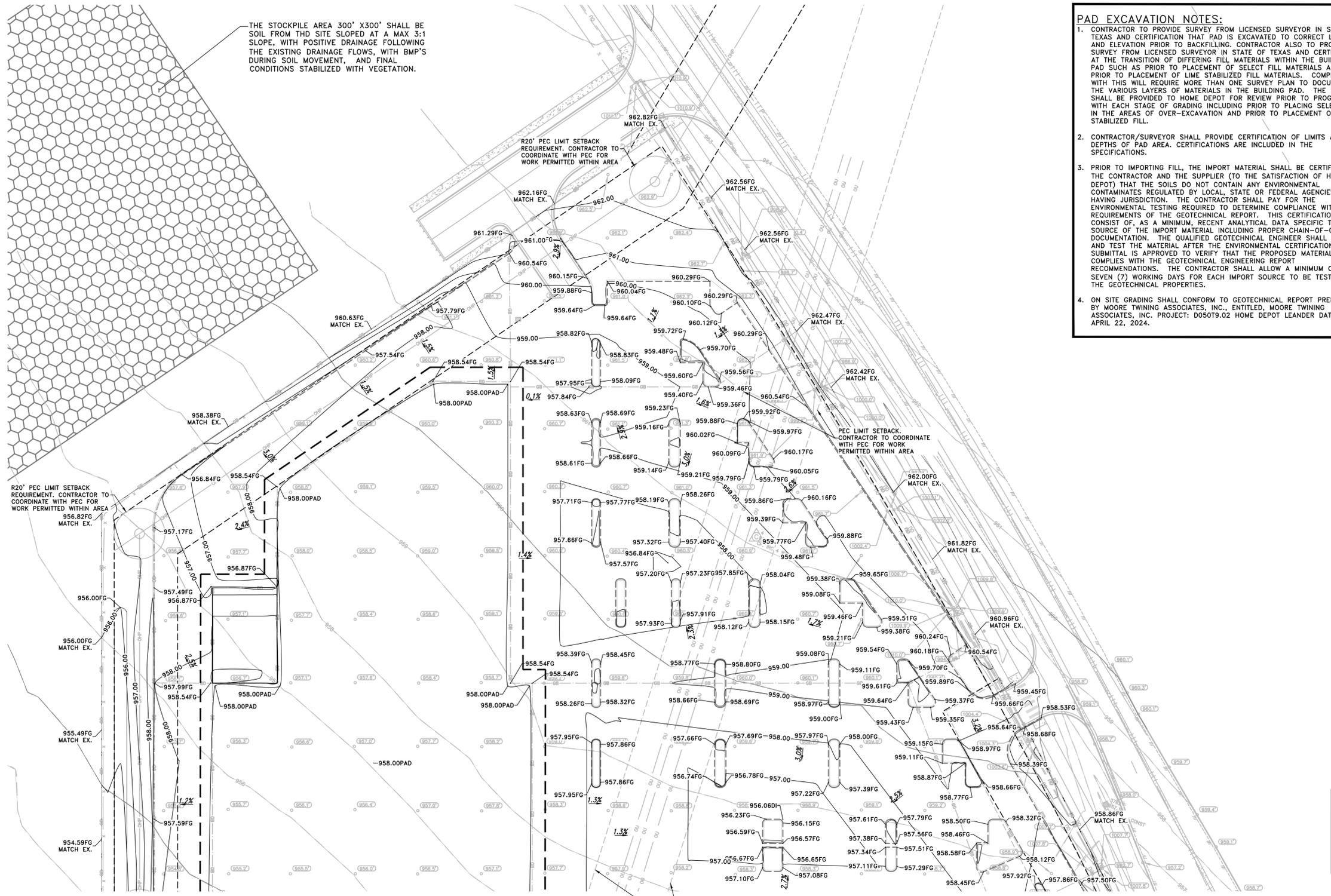
EROSION CONTROL PLAN PHASE 1

LEANDER HOME DEPOT STORE #1348
GRADING ONLY PERMIT
prototype:
4C-2021.01.13/1122



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00/00/00
09/05/24
00/00/00
issue dates
submit:
PERMIT
BID
CONSTRUCTION

L.A. PROJECT NO. 23017



THE STOCKPILE AREA 300' X300' SHALL BE SOIL FROM THE SITE SLOPED AT A MAX 3:1 SLOPE, WITH POSITIVE DRAINAGE FOLLOWING THE EXISTING DRAINAGE FLOWS, WITH BMP'S DURING SOIL MOVEMENT, AND FINAL CONDITIONS STABILIZED WITH VEGETATION.

PAD EXCAVATION NOTES:
1. CONTRACTOR TO PROVIDE SURVEY FROM LICENSED SURVEYOR IN STATE OF TEXAS AND CERTIFICATION THAT PAD IS EXCAVATED TO CORRECT LIMITS AND ELEVATION PRIOR TO BACKFILLING. CONTRACTOR ALSO TO PROVIDE SURVEY FROM LICENSED SURVEYOR IN STATE OF TEXAS AND CERTIFICATION AT THE TRANSITION OF DIFFERING FILL MATERIALS WITHIN THE BUILDING PAD SUCH AS PRIOR TO PLACEMENT OF SELECT FILL MATERIALS AND PRIOR TO PLACEMENT OF LIME STABILIZED FILL MATERIALS. COMPLIANCE WITH THIS WILL REQUIRE MORE THAN ONE SURVEY PLAN TO DOCUMENT THE VARIOUS LAYERS OF MATERIALS IN THE BUILDING PAD. THE SURVEY SHALL BE PROVIDED TO HOME DEPOT FOR REVIEW PRIOR TO PROGRESSING WITH EACH STAGE OF GRADING INCLUDING PRIOR TO PLACING SELECT FILL IN THE AREAS OF OVER-EXCAVATION AND PRIOR TO PLACEMENT OF LIME STABILIZED FILL.
2. CONTRACTOR/SURVEYOR SHALL PROVIDE CERTIFICATION OF LIMITS AND DEPTHS OF PAD AREA. CERTIFICATIONS ARE INCLUDED IN THE SPECIFICATIONS.
3. PRIOR TO IMPORTING FILL, THE IMPORT MATERIAL SHALL BE CERTIFIED BY THE CONTRACTOR AND THE SUPPLIER (TO THE SATISFACTION OF HOME DEPOT) THAT THE SOILS DO NOT CONTAIN ANY ENVIRONMENTAL CONTAMINANTS REGULATED BY LOCAL, STATE OR FEDERAL AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL PAY FOR THE ENVIRONMENTAL TESTING REQUIRED TO DETERMINE COMPLIANCE WITH THE REQUIREMENTS OF THE GEOTECHNICAL REPORT. THIS CERTIFICATION SHALL CONSIST OF, AS A MINIMUM, RECENT ANALYTICAL DATA SPECIFIC TO THE SOURCE OF THE IMPORT MATERIAL INCLUDING PROPER CHAIN-OF-CUSTODY DOCUMENTATION. THE QUALIFIED GEOTECHNICAL ENGINEER SHALL SAMPLE AND TEST THE MATERIAL AFTER THE ENVIRONMENTAL CERTIFICATION SUBMITTAL IS APPROVED TO VERIFY THAT THE PROPOSED MATERIAL COMPLIES WITH THE GEOTECHNICAL ENGINEERING REPORT RECOMMENDATIONS. THE CONTRACTOR SHALL ALLOW A MINIMUM OF SEVEN (7) WORKING DAYS FOR EACH IMPORT SOURCE TO BE TESTED FOR THE GEOTECHNICAL PROPERTIES.
4. ON SITE GRADING SHALL CONFORM TO GEOTECHNICAL REPORT PREPARED BY MOORE TWINING ASSOCIATES, INC., ENTITLED, MOORE TWINING ASSOCIATES, INC. PROJECT: D050T9.02 HOME DEPOT LEANDER DATED: APRIL 22, 2024.

LEGEND

—1250—	EXISTING CONTOUR ELEVATION LINE
—1250—	PROPOSED CONTOUR ELEVATION LINE
—08—	GRADE BREAK
—105.5FG	NEW ELEVATIONS
—	FG - FINISH GRADE
—	PAD - BUILDING PAD
—	MATCH EXISTING GRADES LINE
—	BUILDING PAD OVER-EXCAVATION LIMITS AND MINIMUM HORIZONTAL EXTENT OF SELECT FILL OUTSIDE THIS BOUNDARY LINE. THE EXCAVATION SHOULD BE LAYED BACK AT A 1.5H:1V MAXIMUM REPOSE
—	PROPOSED CURB LOCATION PER SEPARATE SITE DEVELOPMENT PLANS. SHOWN ON THIS PLAN SET FOR REFERENCE ONLY

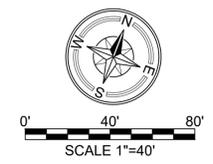
ESTIMATED QUANTITIES:
CUT: 38,300 CY FILL: 22,900 CY EXPORT: 15,400 CY
THESE QUANTITIES DO NOT INCLUDE ANY SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION, OR ANY SPECIAL CONDITIONS OR REQUIREMENTS THAT MAY BE SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT. THESE QUANTITIES IN THE AREA FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID.

NOTES
1. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT FOR DEWATERING REQUIREMENTS.

BEARING BASIS:
ALL BEARINGS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, GRID NORTH, CENTRAL ZONE, (4203), NAD83, ALL DISTANCES WERE ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.000137593247.

SURVEY CONTROL:
CONTROL FOR THIS SURVEY IS BASED ON A 1/2" IRON ROD WITH "4WARD CONTROL" CAP SET, GRID COORDINATES (STATE PLANE TEXAS CENTRAL - 4203) AND ELEVATIONS (NAVD88) SHOWN HEREON WERE COMPUTED FROM NGS O.P.U.S. SOLUTION REPORT DERIVED FROM 4WARD STATIC DATA COLLECTED DEC. 9, 2020.

BENCHMARK NOTE:
TBM #1 - SQUARE CUT ON TOP OF CONCRETE DRAINAGE INLET IN THE SOUTH MARGIN OF HERO WAY, ±146' SOUTHEAST OF A FIRE HYDRANT IN THE NORTH MARGIN OF HERO WAY, ±123' SOUTHEAST OF A POWER POLE IN THE NORTH MARGIN OF HERO WAY. ELEVATION = 947.82'.
TBM #2 - SQUARE CUT ON TOP OF CONCRETE DRAINAGE INLET IN THE SOUTH MARGIN OF HERO WAY, ±68' SOUTHEAST OF A FIRE HYDRANT IN THE NORTH MARGIN OF HERO WAY, ±58' SOUTHEAST OF A STORM SEWER MANHOLE IN THE NORTH MARGIN OF HERO WAY. ELEVATION = 949.31'.



LARS ANDERSEN & ASSOCIATES, INC.
4904 WEST JACOBSON AVENUE, PLEASANTON, CALIFORNIA 94522
TEL: 925-774-7700 FAX: 925-774-8800 WWW.LARSANDERSEN.COM

ROUGH GRADING PLAN NORTH

LEANDER HOME DEPOT STORE #1348
GRADING ONLY PERMIT

prototype:
4C-2021.01.13/1122

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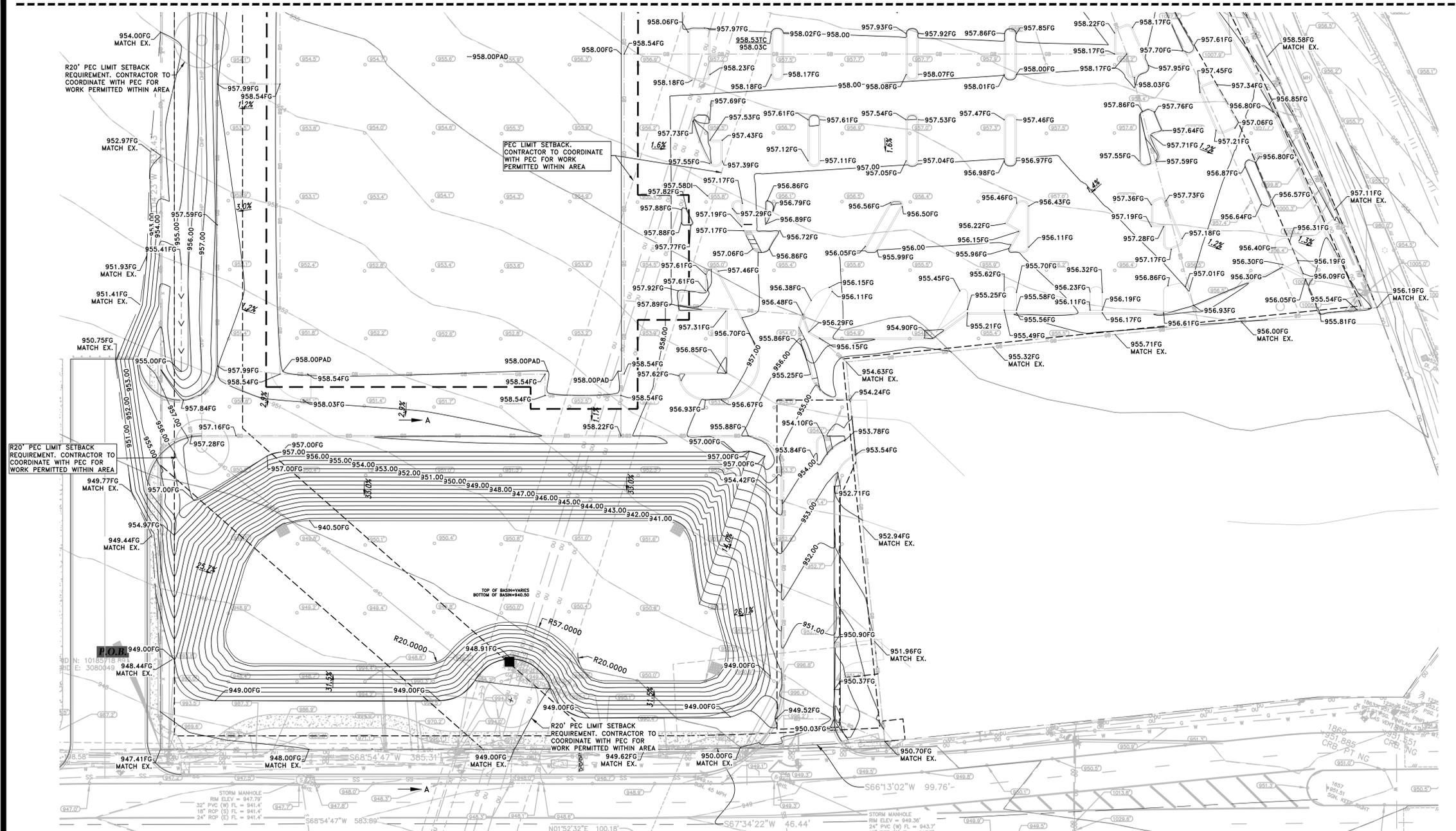
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CONSTRUCTION

STATE OF TEXAS
123921
SCOTT A. MOMMER
LICENSED PROFESSIONAL ENGINEER

DATE: 9/26/2024

SHEET NUMBER
3 OF 4

MATCH LINE



LEGEND

- 1250— EXISTING CONTOUR ELEVATION LINE
- 1250— PROPOSED CONTOUR ELEVATION LINE
- 08- GRADE BREAK
- NEW ELEVATIONS
FG - FINISH GRADE
PAD - BUILDING PAD
- - - MATCH EXISTING GRADES LINE
- BUILDING PAD OVER-EXCAVATION LIMITS AND MINIMUM HORIZONTAL EXTENT OF SELECT FILL OUTSIDE THIS BOUNDARY LINE, THE EXCAVATION SHOULD BE LAYED BACK AT A 1.5H:1V MAXIMUM REPOSE
- - - PROPOSED CURB LOCATION PER SEPARATE SITE DEVELOPMENT PLANS. SHOWN ON THIS PLAN SET FOR REFERENCE ONLY

R20' PEC LIMIT SETBACK REQUIREMENT. CONTRACTOR TO COORDINATE WITH PEC FOR WORK PERMITTED WITHIN AREA

PEC LIMIT SETBACK. CONTRACTOR TO COORDINATE WITH PEC FOR WORK PERMITTED WITHIN AREA

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ESTIMATED QUANTITIES:

CUT: 38,300 CY FILL: 22,900 CY EXPORT: 15,400 CY

THESE QUANTITIES DO NOT INCLUDE ANY SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION, OR ANY SPECIAL CONDITIONS OR REQUIREMENTS THAT MAY BE SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT. THESE QUANTITIES IN THE AREA FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID.

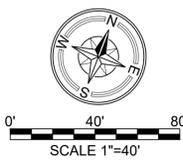
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L.A. PROJECT NO. 23017

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4494 WEST JACOBSON AVENUE, SUITE 100
DANA POINT, CALIFORNIA 92629
TEL: 949-774-7799 FAX: 949-774-8880 WWW.LARSANDERSEN.COM

ROUGH GRADING PLAN SOUTH

LEANDER HOME DEPOT STORE #1348
GRADING ONLY PERMIT

prototype:
AC-2021.01.31/1122

date
00/00/00
06/05/24
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issue dates
SUBMITTAL
PERMIT
BID
CONSTRUCTION

DATE: 9/26/2024

SHEET NUMBER
4 OF 4

DESCRIPTION: NO: DATE:

REVISIONS AND/OR ADDENDA

INSPECTION, MAINTENANCE, REPAIR AND RETROFIT PLAN

(Not Applicable)

PILOT-SCALE FIELD TESTING PLAN

(Not Applicable)

MEASURES FOR MINIMIZING SURFACE STREAM CONTAMINATION

(Not Applicable)

***SECTION 3:
TEMPORARY STORMWATER SECTION***

Temporary Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Justin Landry, P.E.

Date: 09/11/2024

Signature of Customer/Agent:

Justin Landry

Regulated Entity Name: Leander Home Depot Store #1348

Project Information

Potential Sources of Contamination

Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.

1. Fuels for construction equipment and hazardous substances which will be used during construction:

The following fuels and/or hazardous substances will be stored on the site: _____

These fuels and/or hazardous substances will be stored in:

- Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

- Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
- Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- Fuels and hazardous substances will not be stored on the site.
- 2. **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3. Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4. **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

Sequence of Construction

- 5. **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
 - For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
 - For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6. Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: Brushy Creek

Temporary Best Management Practices (TBMPs)

Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.

- 7. **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
 - A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
 - A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
 - A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8. The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
 - There will be no temporary sealing of naturally-occurring sensitive features on the site.
9. **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10. **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
 - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
 - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
 - There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

- There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.
11. **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.
- N/A
12. **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13. All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14. If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15. Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

Soil Stabilization Practices

Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.

17. **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

18. Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
19. Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

Administrative Information

20. All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
21. If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
22. Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.

SPILL RESPONSE ACTIONS

If there is an accidental spill on site, the contractor shall respond with appropriate action. The contractor will be required to contact the owner and in turn the owner will contact the TCEQ in the event of a spill on site. In addition to the following guidance, reference the latest version of TCEQ's Technical Guidance Manual (TGM) RG-348 Section 1.4.16 or online resource at Spills: Reportable Quantities - Texas

Commission on Environmental Quality - www.tceq.texas.gov.

Cleanup

- Clean up leaks and spills immediately.
- Use a rag for small spills on paved surfaces, a damp mop for general cleanup, and absorbent material for larger spills. If the spilled material is hazardous, then the used cleanup materials are also hazardous and must be disposed of as hazardous waste.
- Never hose down or bury dry material spills. Clean up as much of the material as possible and dispose of properly. See the waste management BMPs in this section for specific information.

Minor Spills

- Minor spills typically involve small quantities of oil, gasoline, paint, etc. which can be controlled by the first responder at the discovery of the spill.
- Use absorbent materials on small spills rather than hosing down or burying the spill.
- Absorbent materials should be promptly removed and disposed of properly.
- Follow the practice below for a minor spill:
 - o Contain the spread of the spill.
 - o Recover spilled materials.
 - o Clean the contaminated area and properly dispose of contaminated materials.

Semi Significant Spills

Semi-significant spills still can be controlled by the first responder along with the aid of other personnel such as laborers and the foreman, etc. This response may require the cessation of all other activities.

Spills should be cleaned up immediately:

- Contain spread of the spill.
- Notify the project foreman immediately.
- If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (absorbent materials, cat litter and/or rags). Contain the spill by encircling with absorbent materials and do not let the spill spread widely.
- If the spill occurs in dirt areas, immediately contain the spill by constructing an earthen dike. Dig up and properly dispose of contaminated soil.
- If the spill occurs during rain, cover spill with tarps or other material to prevent contaminating runoff.

Significant/Hazardous Spills

For significant or hazardous spills that are in reportable quantities:

- Notify the TCEQ by telephone as soon as possible and within 24 hours at (512)339-2929 (Austin) or 210-490-3096 (San Antonio) between 8 AM and 5 PM. After hours, contact the Environmental Release Hotline at 1-800-832-8224. It is the contractor's responsibility to have all emergency phone numbers at the construction site.
- For spills of federal reportable quantities, in conformance with the requirements in 40 CFR parts 110, 119, and 302, the contractor should notify the National Response Center at (800) 424-8802.
- Notification should first be made by telephone and followed up with a written report.
- The services of a spills contractor or a Haz-Mat team should be obtained immediately. Construction personnel should not attempt to clean up until the appropriate and qualified staffs have arrived at the job site.

**LEANDER HOME DEPOT STORE #1348
CONTRIBUTING ZONE PLAN**

- Other agencies which may need to be consulted include, but not limited to, the City Police Department, County Sheriff Office, Fire Departments, etc.

POTENTIAL SOURCES OF CONTAMINATION

Potential Source: Oil, grease, fuel, and hydraulic fluid contamination from construction equipment and vehicle dripping.

Preventative Measures: Vehicle maintenance will be performed within the construction staging area or a local maintenance shop.

Potential Source: Miscellaneous trash and litter from construction workers and material wrappings.

Preventative Measures: Trash containers will be placed throughout the site to encourage proper disposal of trash.

Potential Source: Silt leaving the site.

Preventative Measures: Contractor will install all temporary best management practices prior to start of construction including the stabilized construction entrance to prevent tracking onto adjoining streets.

Potential Source: Construction Debris.

Preventative Measures: Construction debris will be monitored daily by contractor. Debris will be collected weekly and placed in disposal bins. Situations requiring immediate attention will be addressed on a case-by-case basis.

Potential Source: Soil and Mud from Construction Vehicle tires as they leave the site.

Preventative Measures: A stabilized construction exit shall be utilized as vehicles leave the site. Any soil, mud, etc. carried from the project onto public roads shall be cleaned up within 24 hours.

Potential Source: Sediment from soil, sand, gravel and excavated materials stock piled on site.

Preventative Measures: Silt fence shall be installed on the down gradient side of the stock piled materials.

Potential Source: Portable toilet spill.

Preventative Measures: Toilets on the site will be emptied on a regular basis by the contracted toilet company.

SEQUENCE OF MAJOR ACTIVITIES

1. Construct Access (0.05 Acres)
2. Installation of Temporary BMPs (15.26 Acres)
3. Initiate Grubbing and Topsoil Stripping of Site (15.26 Acres)
4. Rough Subgrade Preparation (earthwork, grading) (15.26 Acres)
5. Final Subgrade Preparation (15.26 Acres)
6. Topsoil, Irrigation and Landscaping (15.26 Acres)
7. Site cleanup and Removal of Temporary BMPs (15.26 Acres)

TEMPORARY BEST MANAGEMENT PRACTICES AND MEASURES (TBMPS)

- A. Temporary BMPs will be installed prior to soil disturbing construction activity. Silt fencing will be placed along the down-gradient sides of the property to prevent silt from escaping the construction area. A temporary construction entrance will be placed on site to reduce vehicle "tracking" onto adjoining streets. A concrete washout pit will be used to collect all excess concrete during construction. BMPs for this project will protect surface water or groundwater from turbid water, phosphorus, sediment, oil, and other contaminants, which may mobilize in storm water flows by slowing the flow of runoff to allow sediment and suspended solids to settle out of the runoff. Practices may also be implemented on site for interim and permanent stabilization. Stabilization practices may include but are not limited to: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of existing trees and vegetation, and other similar measures.
- B. The temporary onsite BMPs will be used to treat stormwater runoff before it leaves the project and prevent pollutants from entering into surface streams or any sensitive features down-gradient of the site.

REQUEST TO TEMPORARILY SEAL A FEATURE

(Not Applicable)

STRUCTURAL PRACTICES

(Not Applicable)

DRAINAGE AREA MAP

LEGEND

	LIMITS OF CONSTRUCTION
	960 - EXISTING CONTOURS
	FILTER FABRIC SILT FENCE PER DETAIL ON SHEET 27.
	STABILIZED CONSTRUCTION EXIT PER DETAIL ON SHEET 27.
	CONCRETE TRUCK WASHOUT PER DETAIL ON SHEET 27.

CITY OF LEANDER EROSION CONTROL NOTES

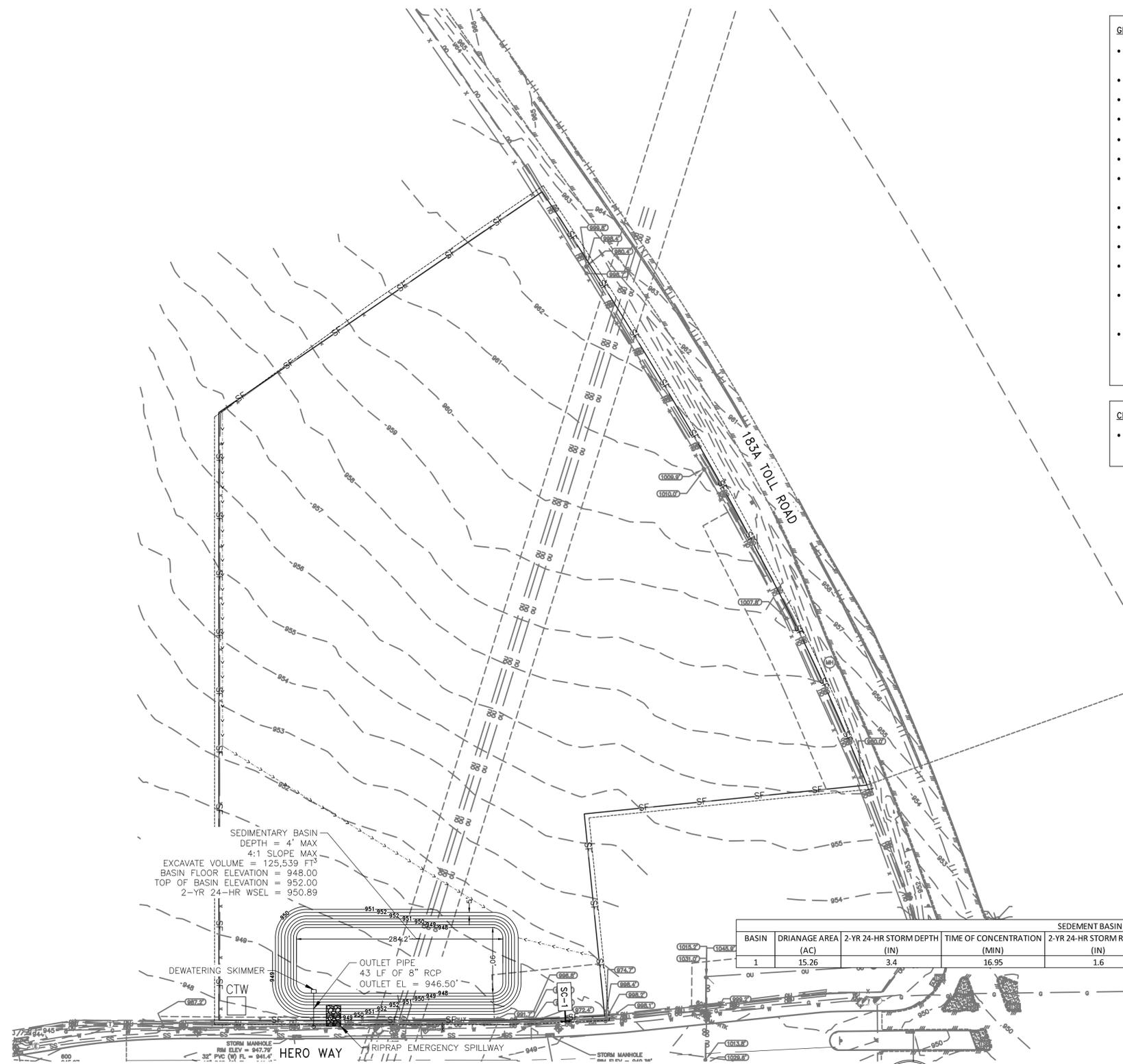
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6. STABILIZED CONSTRUCTION ENTRANCE IS REQUIRED AT ALL POINTS WHERE CONSTRUCTION TRAFFIC IS EXITING THE PROJECT ONTO EXISTING PAVEMENT. LINEAR CONSTRUCTION PROJECTS MAY REQUIRE SPECIAL CONSIDERATION. ROADWAYS SHALL REMAIN CLEAR OF SILT AND MUD.
7. TEMPORARY STOP SIGNS SHOULD BE INSTALLED AT ALL CONSTRUCTION ENTRANCES WHERE A STOP CONDITION DOES NOT ALREADY EXIST.
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GENERAL CONTRACTOR REQUIREMENTS:

- PROVIDE EQUAL OR BETTER BMP'S IF ANY SUBSTITUTIONS ARE INTRODUCED. GET THE HOME DEPOT CONSTRUCTION MANAGER TO APPROVE.
- PROVIDE SWPPP BOARD AND RAIN GAUGES LOCATION.
- PROVIDE GENERAL CONTRACTOR TRAILER LOCATION.
- PROVIDE A SPILL KIT SIGN AND LOCATION NEAR THE REFUELING AREA.
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CITY OF LEANDER NOTE:

- THE CITY OF LEANDER ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD OR MODIFY EROSION/SEDIMENT CONTROLS ON SITE THROUGHOUT THE DURATION OF PROJECT.



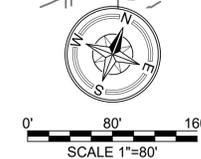
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STORM WATER POLLUTION PREVENTION PLAN / TPDES

FURNISH AND INSTALL TEMPORARY AND PERMANENT STORM WATER POLLUTION PREVENTION CONTROL MEASURES SHOWN IN THE PLANS. CONSTRUCT IMPROVEMENTS IN COMPLIANCE WITH THE INTENT OF SUCH POLLUTION CONTROL MEASURES, TPDES PERMITS, OR OTHER LOCAL WATERWAY DEVELOPMENT PERMITS.

EXECUTION:

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DESCRIPTION:	NO:	DATE:



DATE: 9/26/2024
SHEET NUMBER
2 OF 4

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L.A. PROJECT NO. 23017

EROSION CONTROL PLAN PHASE 1

LEANDER HOME DEPOT STORE #1348
GRADING ONLY PERMIT

prototype:
4C-2021.01.13/1122

date
00/00/00
09/05/24
00/00/00

issue dates
submit:
PERMIT
BID
CONSTRUCTION

TEMPORARY SEDIMENT POND(S) PLANS AND CALCULATIONS

- LEGEND**
- LIMITS OF CONSTRUCTION
 - - - - - 960 - EXISTING CONTOURS
 - SF- FILTER FABRIC SILT FENCE PER DETAIL ON SHEET 27.
 - SC-1 STABILIZED CONSTRUCTION EXIT PER DETAIL ON SHEET 27.
 - CTW CONCRETE TRUCK WASHOUT PER DETAIL ON SHEET 27.

CITY OF LEANDER EROSION CONTROL NOTES

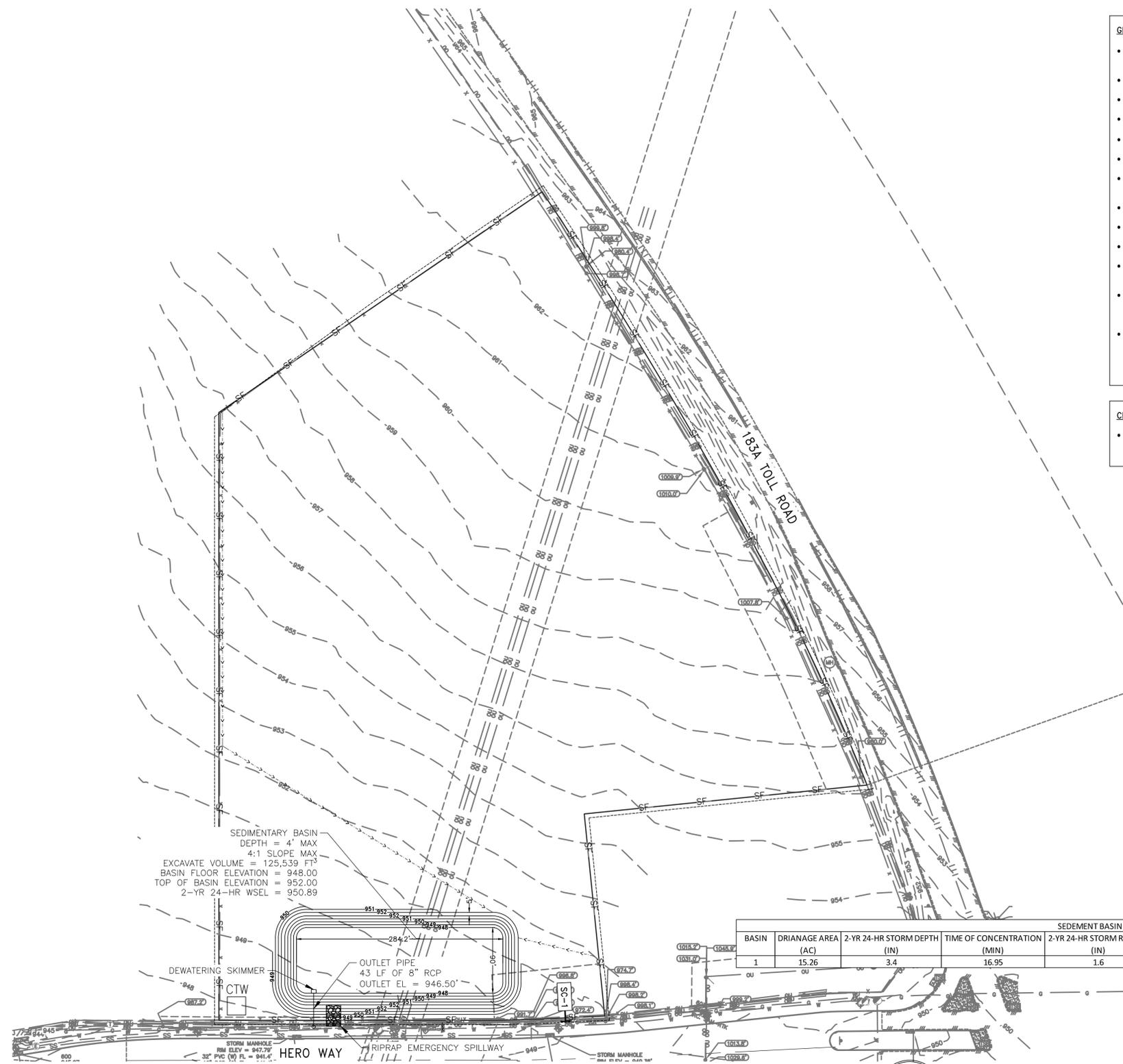
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SEDIMENTARY BASIN
 DEPTH = 4' MAX
 4:1 SLOPE MAX
 EXCAVATE VOLUME = 125,539 FT³
 BASIN FLOOR ELEVATION = 948.00
 TOP OF BASIN ELEVATION = 952.00
 2-YR 24-HR WSEL = 950.89

BASIN	DRAINAGE AREA (AC)	2-YR 24-HR STORM DEPTH (IN)	TIME OF CONCENTRATION (MIN)	2-YR 24-HR STORM RUNOFF (IN)	MINIMUM BASIN VOLUME (CU. FT.)	DEPTH (FT)	L/W RATIO	BOTTOM LENGTH (FT)	BOTTOM WIDTH (FT)
1	15.26	3.4	16.95	1.6	88630	4	3.16	284	90

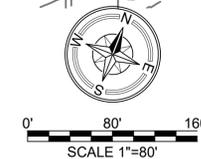
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DESCRIPTION:	NO:	DATE:



DATE: 9/26/2024
 SHEET NUMBER
 2 OF 4

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INSPECTION AND MAINTENANCE FOR BMPS

The inspection and maintenance plan outlines the procedures necessary to maintain the performance of the Temporary Best Management Practices for this project. It should be noted that the plan provides guidelines that may have to be adjusted dependent on site specific and weather-related conditions.

It is the responsibility of the owner to provide the inspections and maintenance as outlined in the plan for the duration of the project. The owner will maintain this responsibility until it is assumed or transferred to another entity in writing. If the property is leased or sold, the responsibility for the maintenance will be required to be transferred through the lease agreement, binding covenants, closing documents, or other binding legal instrument.

Disposal of accumulated silt shall be accomplished following Texas Commission on Environmental Quality guidelines and specifications.

Maintenance records shall be kept on the installation, maintenance, or removal of items necessary for the proper operation of the facilities. All inspections shall be documented.

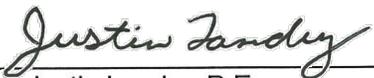
An amended copy of this document will be provided to the Texas Commission on Environmental Quality within thirty (30) days of any changes in the following information.

Responsible Party: Jessica Borgert - Home Depot USA, Inc.
Mailing Address: 2455 Paces Ferry Road NW
City, State: Atlanta, Georgia Zip: 30339
Telephone: 770-433-8211 Fax: N/A

I, the owner, have read and understand the requirements of the attached Inspection and Maintenance Plan for the proposed Temporary Best Management Practices for my project. I acknowledge that I will maintain responsibility for the implementation and execution of the plan until the responsibility is transferred to or assumed by another party in writing through a binding legal instrument.

Signature of Responsible Party  Date 9/11/2024

This Maintenance Plan is based on City of Austin Environmental Criteria Manual.

By:  Date: 09/11/2024
Justin Landry, P.E.

SCHEDULE OF INTERIM AND PERMANENT SOIL STABILIZATION PRACTICES

Construction practices shall disturb the minimal amount of existing ground cover as required for land clearing, grading, and construction activity for the shortest amount of time possible to minimize the potential of erosion and sedimentation from the site. Existing vegetation shall be maintained and left in place until it is necessary to disturb for construction activity. For this project the following stabilization practices will be implemented:

1. Hydraulic Mulch and Seeding: Disturbed areas subject to erosion shall be stabilized with hydraulic mulch and/or seeded and watered to provide interim stabilization. For areas that are not to be sodded as per the project landscaping plan, a minimum of 85% vegetative cover will be established to provide permanent stabilization.
2. Sodding and Wood Mulch: As per the project landscaping plan, sodding and wood mulch will be applied to landscaped areas to provide permanent stabilization prior to project completion.

Records of the following shall be maintained:

- a) The dates when major grading activities occur;
- b) The dates when construction activities temporarily or permanently cease on a portion of the site; and
- c) The dates when stabilization measures are initiated.

Stabilization measures must be initiated as soon as practical in portions of the site here construction activities have temporarily or permanently ceased, and except as provided in the following, must be initiated no more than fourteen (14) days after the construction activity in that portion of the site has temporarily or permanently ceased:

Where the initiation of stabilization measures by the 14th day after construction activity temporarily or permanently ceased is precluded by snow cover or frozen ground conditions, stabilization measures must be initiated as soon as practical.

Where construction activity on a portion of the site is temporarily ceased and earth disturbing activities will be resumed within twenty-one (21) days, temporary stabilization measures do not have to be initiated on that portion of the site.

In arid areas (areas with an average rainfall of 0-10 inches), semiarid areas (areas with an average annual rainfall of 10 to 20 inches), and areas experiencing droughts where the initiation of stabilization measures by the 14th day after construction activity has temporarily or permanently ceased is precluded by seasonably arid conditions, stabilization measures must be initiated as soon as practical.

Maintenance

Below are some maintenance practices to be used to maintain erosion and sediment controls:

- All measures will be maintained in good working order. The operator should correct any damage or deficiencies as soon as practicable after the inspection, but in no case later than seven (7) calendar days after the inspection.
- BMP Maintenance (as applicable)
- Sediment must be removed from sediment traps and sedimentation ponds no later than the time that design capacity has been reduced by 50%. For perimeter controls such as silt fences, berms, etc., the trapped sediment must be removed before it reaches 50% of the above-ground height.
- Silt fence will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.
- Inlet control will be inspected and repaired as necessary.

LEANDER HOME DEPOT STORE #1348
CONTRIBUTING ZONE PLAN

- Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth.
- If sediment escapes the site, accumulations must be removed at a frequency that minimizes off-site impacts, and prior to the next rain event, if feasible. If the permittee does not own or operate the off-site conveyance, then the permittee must work with the owner or operator of the property to remove the sediment.
- Locations where vehicles enter or exit the site must be inspected for evidence of off-site sediment tracking.

To maintain the above practices, the following will be performed:

Maintenance and repairs will be conducted before the next anticipated storm event or as necessary to maintain the continued effectiveness of the storm water controls. Following an inspection, deficiencies should be corrected no later than seven (7) calendar days after the inspection.

***SECTION 4:
ADDITIONAL FORMS***

RESET FORM



TCEQ Notice of Intent (NOI) for Stormwater Discharges Associated with Construction Activity under TPDES General Permit (TXR150000)

IMPORTANT:

- Use the **INSTRUCTIONS** to fill out each question in this form.
- Use the **CHECKLIST** to make certain all you filled out all required information. Incomplete applications **WILL** delay approval or result in automatic denial.
- Once processed your permit can be viewed at:
http://www2.tceq.texas.gov/wq_dpa/index.cfm

ePERMITS: Sign up now for online NOI: <https://www3.tceq.texas.gov/steers/index.cfm>
Pay a \$225 reduced application fee by using ePermits.

APPLICATION FEE:

- You must pay the **\$325** Application Fee to TCEQ for the paper application to be complete.
 - Payment and NOI must be mailed to separate addresses.
 - Did you know you can pay on line?
 - Go to <https://www3.tceq.texas.gov/epay/index.cfm>
 - Select Fee Type: GENERAL PERMIT CONSTRUCTION STORM WATER DISCHARGE NOI APPLICATION
 - **Provide your payment information below, for verification of payment:**
 - Mailed Check/Money Order No.: _____
Name Printed on Check: _____
 - EPAY Voucher No.: _____
- Is the Payment Voucher copy attached? Yes

RENEWAL: Is this NOI a Renewal of an existing General Permit Authorization? (Note: A permit cannot be renewed after June 3, 2013.)

- Yes The Permit number is: TXR15_____
- (If a permit number is not provided, a new number will be assigned.)**
- No

1) OPERATOR (Applicant)

a) If the applicant is currently a customer with TCEQ, what is the Customer Number (CN) issued to this entity? You may search for your CN at:
<http://www12.tceq.texas.gov/crpub/index.cfm?fuseaction=cust.CustSearch>

CN _____

b) What is the Legal Name of the entity (applicant) applying for this permit?

(The legal name must be spelled exactly as filed with the Texas Secretary of State, County, or in the legal document forming the entity.)

c) What is the name and title of the person signing the application? The person must be an executive official meeting signatory requirements in TAC 305.44(a).

Prefix (Mr. Ms. Miss): _____

First/Last Name: _____ Suffix: _____

Title: _____ Credential: _____

d) What is the Operator Contact's (Responsible Authority) contact information and mailing address as recognized by the US Postal Service (USPS)? You may verify the address at:

<http://zip4.usps.com/zip4/welcome.jsp>

Phone #: _____ ext: _____ Fax #: _____

E-mail: _____

Mailing Address: _____

Internal Routing (Mail Code, Etc.): _____

City: _____ State: _____ ZIP Code: _____

If outside USA: Territory: _____ Country Code: _____ Postal Code: _____

e) Indicate the type of Customer (The instructions will help determine your customer type):

- | | | |
|---|--|--|
| <input type="checkbox"/> Individual | <input type="checkbox"/> Limited Partnership | <input type="checkbox"/> Sole Proprietorship-DBA |
| <input type="checkbox"/> Joint Venture | <input type="checkbox"/> General Partnership | <input type="checkbox"/> Corporation |
| <input type="checkbox"/> Trust | <input type="checkbox"/> Estate | <input type="checkbox"/> Federal Government |
| <input type="checkbox"/> State Government | <input type="checkbox"/> County Government | <input type="checkbox"/> City Government |
| <input type="checkbox"/> Other Government | | |

f) Independent Operator? Yes No
(If governmental entity, subsidiary, or part of a larger corporation, check "No".)

g) Number of Employees: 0-20; 21-100; 101-250; 251-500; or 501 or higher

h) Customer Business Tax and Filing Numbers:
(REQUIRED for Corporations and Limited Partnerships. Not Required for Individuals, Government, or Sole Proprietors)

State Franchise Tax ID Number: _____

Federal Tax ID: _____

Texas Secretary of State Charter (filing) Number: _____

DUNS Number (if known): _____

2) APPLICATION CONTACT

If TCEQ needs additional information regarding this application, who should be contacted?

Is the application contact the same as the applicant identified above?

Yes, go to Section 3). No, complete section below.

Prefix (Mr. Ms. Miss): _____

First/Last Name: _____ Suffix: _____

Title: _____ Credential: _____

Organization Name: _____
Phone No.: _____ ext: _____ Fax Number: _____
E-mail: _____
Mailing Address: _____
Internal Routing (Mail Code, Etc.): _____
City: _____ State: _____ ZIP Code: _____
Mailing Information if outside USA:
Territory: _____ Country Code: _____ Postal Code: _____

3) REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE

If the site of your business is part of a larger business site or if other businesses were located at this site before yours, a Regulated Entity Number (RN) may already be assigned for the larger site. Use the RN assigned for the larger site. Search TCEQ's Central Registry to see if the larger site may already be registered as a regulated site at:

<http://www12.tceq.texas.gov/crpub/index.cfm?fuseaction=regent.RNSearch>.

If the site is found, provide the assigned Regulated Entity Reference Number and provide the information for the site to be authorized through this application below. The site information for this authorization may vary from the larger site information.

a) TCEQ issued RE Reference Number (RN): RN _____

b) Name of project or site (the name known by the community where located):

c) In your own words, briefly describe the primary business of the Regulated Entity: (Do not repeat the SIC and NAICS code):

d) County (or counties if > 1) _____

e) Latitude: _____ Longitude: _____

f) Does the site have a physical address?
 Yes, complete Section A for a physical address.
 No, complete Section B for site location information.

Section A: Enter the physical address for the site.
Verify the address with USPS. If the address is not recognized as a delivery address, provide the address as identified for overnight mail delivery, 911 emergency or other online map tools to confirm an address.

Physical Address of Project or Site:
Street Number: _____ Street Name: _____
City: _____ State: Texas ZIP Code: _____

- i)** Is the discharge into an MS4?
 Yes - If the answer is Yes, provide the name of the MS4 operator below.
 No

If Yes, provide the name of the MS4 operator:

Note: The general permit requires you to send a copy of the NOI to the MS4 operator.

- j)** Are any of the surface water bodies receiving discharges from the construction site on the latest EPA-approved CWA 303(d) List of impaired waters?
 Yes - If the answer is Yes, provide the name(s) of the impaired water body(s) below.
 No

If Yes, provide the name(s) of the impaired water body(s):

- k)** Is the discharge or potential discharge within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer as defined in 30 TAC Chapter 213?
 Yes - If the answer is Yes, complete certification below by checking "Yes."
 No

I certify that a copy of the TCEQ approved Plan required by the Edwards Aquifer Rule (30 TAC Chapter 213) is either included or referenced in the Stormwater Pollution Prevention Plan.

Yes

5) CERTIFICATION

Check Yes to the certifications below. Failure to indicate Yes to **ALL** items may result in denial of coverage under the general permit.

- a) I certify that I have obtained a copy and understand the terms and conditions of the Construction General Permit (TXR150000). Yes
- b) I certify that the full legal name of the entity applying for this permit has been provided and is legally authorized to do business in Texas. Yes
- c) I understand that a Notice of Termination (NOT) must be submitted when this authorization is no longer needed. Yes
- d) I certify that a Stormwater Pollution Prevention Plan has been developed, will be implemented prior to construction and to the best of my knowledge and belief is compliant with any applicable local sediment and erosion control plans, as required in the general permit TXR150000. Note: For multiple operators who prepare a shared SWP3, the confirmation of an operator may be limited to its obligations under the SWP3 provided all obligations are confirmed by at least one operator. Yes

Operator Certification:

I, _____
Typed or printed name Title

certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

I further certify that I am authorized under 30 Texas Administrative Code 305.44 to sign and submit this document, and can provide documentation in proof of such authorization upon request.

Signature: _____ Date: _____
(Use blue ink)

NOTICE OF INTENT CHECKLIST (TXR150000)

- Did you complete everything? Use this checklist to be sure!
- Are you ready to mail your form to TCEQ? Go to the General Information Section of the Instructions for mailing addresses.

This checklist is for use by the operator to ensure a complete application. Missing information may result in denial of coverage under the general permit. (See NOI process description in the Instructions)

Application Fee:

If paying by Check:

- Check was mailed **separately** to the TCEQs Cashier's Office. (See Instructions for Cashier's address and Application address.)
- Check number and name on check is provided in this application.

If using ePay:

- The voucher number is provided in this application or a copy of the voucher is attached.

PERMIT NUMBER:

- Permit number provided – if this application is for renewal of an existing authorization.

OPERATOR INFORMATION - Confirm each item is complete:

- Customer Number (CN) issued by TCEQ Central Registry
- Legal name as filed to do business in Texas (Call TX SOS 512/463-5555)
- Name and title of responsible authority signing the application
- Mailing address is complete & verifiable with USPS. www.usps.com
- Phone numbers/e-mail address
- Type of operator (entity type)
- Independent operator
- Number of employees
- For corporations or limited partnerships – Tax ID and SOS filing numbers
- Application contact and address is complete & verifiable with USPS. <http://www.usps.com>

REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE - Confirm each item is complete:

- Regulated Entity Reference Number (RN) (if site is already regulated by TCEQ)
- Site/project name/regulated entity
- Latitude and longitude <http://www.tceq.texas.gov/gis/sqmaview.html>
- County
- Site/project physical address. Do not use a rural route or post office box.
- Business description

GENERAL CHARACTERISTICS - Confirm each item is complete:

- Indian Country Lands –the facility is not on Indian Country Lands
- Construction activity related to facility associated to oil, gas, or geothermal resources
- Standard Industrial Classification (SIC) Code www.osha.gov/oshstats/sicsr.html
- Acres disturbed is provided and qualifies for coverage through a NOI
- Common plan of development or sale
- Receiving water body(s)
- Segment number(s)
- Impaired water body(s)
- MS4 operator
- Edwards Aquifer rule

CERTIFICATION

- Certification statements have been checked indicating “Yes”
- Signature meets 30 Texas Administrative Code (TAC) 305.44 and is original.

Notice of Intent (NOI) for Stormwater Discharges Associated with Construction Activity under TPDES General Permit (TXR150000)

General Information and Instructions

GENERAL INFORMATION

Where to Send the Notice of Intent (NOI):

BY REGULAR U.S. MAIL
Texas Commission on
Environmental Quality
Stormwater Processing Center
(MC228)
P.O. Box 13087
Austin, Texas 78711-3087

BY OVERNIGHT/EXPRESS MAIL
Texas Commission on
Environmental Quality
Stormwater Processing Center
(MC228)
12100 Park 35 Circle
Austin, TX 78753

TCEQ Contact List:

Application – status and form questions:	512/245-0130, swpermit@tceq.texas.gov
Technical questions:	512/239-4671, swgp@tceq.texas.gov
Environmental Law Division:	512/239-0600
Records Management - obtain copies of forms:	512/239-0900
Reports from databases (as available):	512/239-DATA (3282)
Cashier's office:	512/239-0357 or 512/239-0187

Notice of Intent Process:

When your NOI is received by the program, the form will be processed as follows:

- 1) **Administrative Review:** Each item on the form will be reviewed for a complete response. In addition, the operator's legal name must be verified with Texas Secretary of State as valid and active (if applicable). The address(s) on the form must be verified with the US Postal service as receiving regular mail delivery. Never give an overnight/express mailing address.
- 2) **Notice of Deficiency:** If an item is incomplete or not verifiable as indicated above, a notice of deficiency (NOD) will be mailed to the operator. The operator will have 30 days to respond to the NOD. The response will be reviewed for completeness.
- 3) **Acknowledgment of Coverage:** An Acknowledgment Certificate will be mailed to the operator. This certificate acknowledges coverage under the general permit.
-OR-
Denial of Coverage: If the operator fails to respond to the NOD or the response is inadequate, coverage under the general permit may be denied. If coverage is denied, the operator will be notified.

General Permit (Your Permit)

For NOIs submitted **electronically** through ePermits, provisional coverage under the general permit begins immediately following confirmation of receipt of the NOI form by the TCEQ.

For **paper** NOIs, provisional coverage under the general permit begins **7 days after a completed NOI is postmarked for delivery** to the TCEQ.

You should have a copy of your general permit when submitting your application. You may view and print your permit for which you are seeking coverage, on the TCEQ web site <http://www.tceq.texas.gov>. Search using key word TXR150000.

General Permit Forms

The Notice of Intent (NOI), Notice of Termination (NOT), and Notice of Change (NOC) (including instructions) are available in Adobe Acrobat PDF format on the TCEQ web site <http://www.tceq.texas.gov>.

Change in Operator

An authorization under the general permit is not transferable. If the operator of the regulated entity changes, the present permittee must submit a Notice of Termination and the new operator must submit a Notice of Intent. The NOT and NOI must be submitted no later than 10 days prior to the change in Operator status.

TCEQ Central Registry Core Data Form

The Core Data Form has been incorporated into this form. Do not send a Core Data Form to TCEQ. After final acknowledgment of coverage under the general permit, the program will assign a Customer Number and Regulated Entity Number.

You can find the information on the Central Registry web site at <http://www12.tceq.texas.gov/crpub/index.cfm>. You can search by the Regulated Entity (RN), Customer Number (CN) or Name (Permittee), or by your permit number under the search field labeled AAdditional ID@. Capitalize all letters in the permit number.

The Customer (Permittee) is responsible for providing consistent information to the TCEQ, and for updating all CN and RN data for all authorizations as changes occur. For General Permits, a Notice of Change form must be submitted to the program area.

Fees associated with a General Permit

Payment of the fee may be made by check or money order, payable to TCEQ, or through EPAY (electronic payment through the web).

Application Fee: This fee is required to be paid at the time the NOI is submitted. Failure to submit payment at the time the application is filed will cause delays in acknowledgment or denial of coverage under the general permit.

Mailed Payments:

Payment must be mailed under separate cover at one of the addresses below using the attached Application Fee submittal form. (DO NOT SEND A COPY OF THE NOI WITH THE APPLICATION FEE SUBMITTAL FORM)

BY REGULAR U.S. MAIL

Texas Commission on Environmental Quality
Financial Administration Division
Cashier's Office, MC-214
P.O. Box 13088
Austin, TX 78711-3088

BY OVERNIGHT/EXPRESS MAIL

Texas Commission on Environmental Quality
Financial Administration Division
Cashier's Office, MC-214
12100 Park 35 Circle
Austin, TX 78753

ePAY Electronic Payment: <http://www.tceq.texas.gov/epay>

When making the payment you must select Water Quality, and then select the fee category “General Permit Construction Storm Water Discharge NOI Application”. You must include a copy of the payment voucher with your NOI. Your NOI will not be considered complete without the payment voucher.

INSTRUCTIONS FOR FILLING OUT THE NOI FORM

Renewal of General Permit. Dischargers holding active authorizations under the expired General Permit are required to submit a NOI to continue coverage. The existing permit number is required. If the permit number is not provided or has been terminated, expired, or denied a new permit number will be issued.

1. Operator (Applicant)

a) Enter assigned Customer Number (CN)

TCEQ’s Central Registry will assign each customer a number that begins with CN, followed by nine digits. **This is not a permit number, registration number, or license number.**

If this customer has not been assigned a CN, leave the space for the CN blank.

If this customer has already been assigned this number, enter the permittee’s CN.

b) Legal Name

Provide the current legal name of the permittee, as authorized to do business in Texas. The name must be provided exactly as filed with the Texas Secretary of State (SOS), or on other legal documents forming the entity, that is filed in the county where doing business. You may contact the SOS at 512/463-5555, for more information related to filing in Texas. If filed in the county where doing business, provide a copy of the legal documents showing the legal name.

c) Person Signing Application

Provide information about person signing section 5) Certification.

d) Operator Contact’s (Responsible Authority) Contact Information and Mailing Address

Provide a complete mailing address for receiving mail from the TCEQ. The address must be verifiable with the US Postal Service at <http://www.usps.com> for regular mail delivery (not overnight express mail). If you find that the address is not verifiable using the USPS web search, please indicate the address is used by the USPS for regular mail delivery.

The area code and phone number should provide contact to the operator. Leave Extension blank if not applicable.

The fax number and e-mail address are optional and should correspond to the operator.

e) Type of Customer (Entity Type)

Check only one box that identifies the type of entity. Use the descriptions below to identify the appropriate entity type. Note that the selected entity type also indicates the name that must be provided as an applicant for a permit, registration or authorization.

Sole Proprietorship – DBA

A sole proprietorship is a customer that is owned by only one person and has not been incorporated. This business may:

- be under the person's name
- have its own name (doing business as or d.b.a.)
- have any number of employees

If the customer is a Sole Proprietorship or DBA, the 'legal name' of the individual business 'owner' must be provided. The DBA name is not recognized as the 'legal name' of the entity. The DBA name may be used for the site name (regulated entity).

Individual

An individual is a customer who has not established a business, but conducts an activity that needs to be regulated by the TCEQ.

Partnership

- A customer that is established as a partnership as defined by the Texas Secretary of State Office (TX SOS). A Limited Partnership or Limited Liability Partnership (Partnership) is required to file with the Texas Secretary of State. A General Partnership or Joint Venture is not required to register with the state.
- **Partnership (Limited Partnership or Limited Liability Partnership):** A limited partnership is defined in the Act as a partnership formed by two or more persons under the provisions of Section 3 of the Uniform Limited Partnership Act (Art. 6132a, Revised Civil Statutes of Texas) and having as members one or more general partners and one or more limited partners. The limited partners as such are not bound by the obligations of the partnership. Limited partners may not take part in the day-to-day operations of the business. A Limited Partnership must file with the Texas Secretary of State. A registered limited liability partnership is a general or limited partnership that is registered with the Texas Secretary of State. The partnership's name must contain the words "Registered Limited Liability Partnership" or the abbreviation "L.L.P." as the last words or letters of its name.
- **General Partnership:** A general partner may or may not invest, participates in running the partnership and is liable for all acts and debts of the partnership and any member of it. A General Partnership does not have limited partners. For a General Partnership, there is no registration with the state or even written agreement necessary for a general partnership to be formed. The legal definition of a partnership is generally stated as "an association of two or more persons to carry on as co-owners a business for profit" (Revised Uniform Partnership Act § 101 [1994]).
- **Joint Venture:** A joint venture is but another name for a special partnership. It might be distinguished from a general partnership in that the latter is formed for the transaction of a general business, while a joint venture is usually limited to a single transaction. That is, a joint venture is a special combination of persons in the nature of a partnership engaged in the joint prosecution of a particular transaction for mutual benefit or profit.

Corporation

A customer meets all of these conditions:

- is a legally incorporated entity under the laws of any state or country
- is recognized as a corporation by the Texas Secretary of State

- has proper operating authority to operate in Texas.
- The corporation's 'legal name' as filed with the Texas Secretary of State must be provided as applicant. An 'assumed' name of a corporation is not recognized as the 'legal name' of the entity.

Government

Federal, state, county, or city government (as appropriate)

The customer is either an agency of one of these levels of government or the governmental body itself. The government agency's 'legal name' must be provided as the applicant. A department name or other description of the organization should not be included as a part of the 'legal name' as applicant.

Trust or Estate

A trust and an estate are fiduciary relationships governing the trustee/executor with respect to the trust/estate property.

Other Government

A utility district, water district, tribal government, college district, council of governments, or river authority. Write in the specific type of government.

Other

The customer does not fit any of the above descriptions. Enter a short description of the type of customer in the blank provided.

f) Independent Entity

Check No if this customer is a subsidiary, part of a larger company, or is a governmental entity. Otherwise, check Yes.

g) Number of Employees

Check one box to show the number of employees for this customer's entire company, at all locations. This is not necessarily the number of employees at the site named in the application.

h) Customer Business Tax and Filing Numbers

These are required for Corporations and Limited Partnerships. These are not required for Individuals, Government, and Sole Proprietors.

State Franchise Tax ID Number

Corporations and limited liability companies that operate in Texas are issued a franchise tax identification number. If this customer is a corporation or limited liability company, enter this number here.

Federal Tax ID

All businesses, except for some small sole proprietors, individuals, or general partnerships should have a federal taxpayer identification number (TIN). Enter this number here. Use no prefixes, dashes, or hyphens. Sole proprietors, individuals, or general partnerships do not need to provide a federal tax ID.

TX SOS Charter (filing) Number

Corporations and Limited Partnerships required to register with the Texas Secretary of State are issued a charter or filing number. You may obtain further information by calling SOS at 512/463-5555.

DUNS Number

Most businesses have a DUNS (Data Universal Numbering System) number issued by Dun and Bradstreet Corp. If this customer has one, enter it here.

2. APPLICATION CONTACT

Provide the name, title and communication information of the person that TCEQ can contact for additional information regarding this application.

3. REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE

a) Regulated Entity Reference Number (RN)

A number issued by TCEQ's Central Registry to sites (a location where a regulated activity occurs) regulated by TCEQ. This is not a permit number, registration number, or license number. If this regulated entity has not been assigned an RN, leave this space blank.

If the site of your business is part of a larger business site, a Regulated Entity Number (RN) may already be assigned for the larger site. Use the RN assigned for the larger site. Search TCEQ's Central Registry to see if the larger site may already be registered as a regulated site at:

<http://www12.tceq.texas.gov/crpub/index.cfm?fuseaction=regent.RNSearch>

If the site is found, provide the assigned Regulated Entity Reference Number (RN) and provide the information for the site to be authorized through this application. The site information for this authorization may vary from the larger site information.

An example is a chemical plant where a unit is owned or operated by a separate corporation that is accessible by the same physical address of your unit or facility. Other examples include industrial parks identified by one common address but different corporations have control of defined areas within the site. In both cases, an RN would be assigned for the physical address location and the permitted sites would be identified separately under the same RN.

b) Site/Project Name/Regulated Entity

Provide the name of the site as known by the public in the area where the site is located. The name you provide on this application will be used in the TCEQ Central Registry as the Regulated Entity name.

c) Description of Activity Regulated

In your own words, briefly describe the primary business that you are doing that requires this authorization. Do not repeat the SIC Code description.

d) County

Identify the county or counties in which the regulated entity is located.

e) Latitude and Longitude

Enter the latitude and longitude of the site in degrees, minutes, and seconds or decimal form. For help obtaining the latitude and longitude, go to:

<http://www.tceq.texas.gov/gis/sqmvview.html> or <http://nationalmap.gov/ustopo>

f) Site/Project (RE) Physical Address/Location Information

Enter the complete address for the site in Section A if the address can be validated through the US Postal Service. If the physical address is not recognized as a USPS delivery address, you may need to validate the address with your local police (911 service) or through an online map site

used to locate a site. Please confirm this to be a complete and valid address. Do not use a rural route or post office box for a site location.

If a site does not have an address that includes a street (or house) number and street name, enter NO ADDRESS for the street name in Section A. In Section B provide a complete written location description. For example: "The site is located 2 miles west from intersection of Hwy 290 & IH35, located on the southwest corner of the Hwy 290 South bound lane." Provide the city (or nearest city) and zip code of the facility location.

4. GENERAL CHARACTERISTICS

a) Indian Country Lands

If your site is located on Indian Country Lands, the TCEQ does not have authority to process your application. You must obtain authorization through EPA, Region 6, Dallas. Do not submit this form to TCEQ.

b) Construction activity associated with facility associated with exploration, development, or production of oil, gas, or geothermal resources

If your activity is associated with oil and gas exploration, development, or production, you may be under jurisdiction of the Railroad Commission of Texas and may need to obtain authorization from EPA Region 6. For more information, see:

http://info.sos.state.tx.us/pls/pub/readtacSext.TacPage?sl=R&app=9&p_dir=&p_rloc=&p_tloc=&p_ploc=&pg=1&p_tac=&ti=16&pt=1&ch=3&rl=30

Construction activities associated with a facility related to oil, gas or geothermal resources may include the construction of a well site; treatment or storage facility; underground hydrocarbon or natural gas storage facility; reclamation plant; gas processing facility; compressor station; terminal facility where crude oil is stored prior to refining and at which refined products are stored solely for use at the facility; a carbon dioxide geologic storage facility; and a gathering, transmission, or distribution pipeline that will transport crude oil or natural gas, including natural gas liquids, prior to refining of such oil or the use of the natural gas in any manufacturing process or as a residential or industrial fuel.

Where required by federal law, discharges of stormwater associated with construction activities under the Railroad Commission's jurisdiction must be authorized by the EPA and the Railroad Commission of Texas, as applicable. Activities under Railroad Commission of Texas jurisdiction include construction of a facility that, when completed, would be associated with the exploration, development, or production of oil or gas or geothermal resources, such as a well site; treatment or storage facility; underground hydrocarbon or natural gas storage facility; reclamation plant; gas processing facility; compressor station; terminal facility where crude oil is stored prior to refining and at which refined products are stored solely for use at the facility; a carbon dioxide geologic storage facility under the jurisdiction of the Railroad Commission of Texas; and a gathering, transmission, or distribution pipeline that will transport crude oil or natural gas, including natural gas liquids, prior to refining of such oil or the use of the natural gas in any manufacturing process or as a residential or industrial fuel. The Railroad Commission of Texas also has jurisdiction over stormwater from land disturbance associated with a site survey that is conducted prior to construction of a facility that would be regulated by the Railroad Commission of Texas. Under 33 U.S.C. §1342(l)(2) and §1362(24), EPA cannot require a permit for discharges of stormwater from "field activities or operations associated with {oil and gas} exploration, production, processing, or treatment operations, or transmission facilities, including activities necessary to prepare a site for drilling and for the movement and placement

of drilling equipment, whether or not such field activities or operations may be considered to be construction activities" unless the discharge is contaminated by contact with any overburden, raw material, intermediate product, finished product, byproduct, or waste product located on the site of the facility. Under §3.8 of this title (relating to Water Protection), the Railroad Commission of Texas prohibits operators from causing or allowing pollution of surface or subsurface water. Operators are encouraged to implement and maintain best management practices (BMPs) to minimize discharges of pollutants, including sediment, in stormwater during construction activities to help ensure protection of surface water quality during storm events.

c) Primary Standard Industrial Classification (SIC) Code

Provide the SIC Code that best describes the construction activity being conducted at this site.

Common SIC Codes related to construction activities include:

- 1521 - Construction of Single Family Homes
- 1522 - Construction of Residential Bldgs. Other than Single Family Homes
- 1541 - Construction of Industrial Bldgs. and Warehouses
- 1542 - Construction of Non-residential Bldgs, other than Industrial Bldgs. and Warehouses
- 1611 - Highway and Street Construction, except Highway Construction
- 1622 - Bridge, Tunnel, and Elevated Highway Construction
- 1623 - Water, Sewer, Pipeline and Communications, and Power Line Construction

For help with SIC Codes, go to:

<http://www.osha.gov/pls/imis/sicsearch.html>

d) Secondary SIC Code

Secondary SIC Code(s) may be provided. Leave blank if not applicable. For help with SIC Codes, go to:

<http://www.osha.gov/pls/imis/sicsearch.html>

e) Total Number of Acres Disturbed

Provide the approximate number of acres that the construction site will disturb. Construction activities that disturb less than one acre, unless they are part of a larger common plan that disturbs more than one acre, do not require permit coverage. Construction activities that disturb between one and five acres, unless they are part of a common plan that disturbs more than five acres, do not require submission of an NOI. Therefore, the estimated area of land disturbed should not be less than five, unless the project is part of a larger common plan that disturbs five or more acres. Disturbed means any clearing, grading, excavating, or other similar activities.

If you have any questions about this item, please contact the stormwater technical staff by phone at (512)239-4671 or by email at swgp@tceq.texas.gov.

f) Common Plan of Development

Construction activities that disturb less than five acres do not require submission of an NOI unless they are part of a common plan of development or for sale where the area disturbed is five or more acres. Therefore, the estimated area of land disturbed should not be less than five, unless the project is part of a larger common plan that disturbs five or more acres. Disturbed means any clearing, grading, excavating, or other similar activities.

For more information on "What is a common plan of development?" go to:
www.tceq.texas.gov/permitting/stormwater/common_plan_of_development_steps.html

For further information, go to the TCEQ stormwater construction webpage at:
www.tceq.texas.gov/goto/construction and search for "Additional Guidance and Quick Links". If you have any further questions about this item, please call the stormwater technical staff at (512)239-4671.

g) Identify the water body(s) receiving stormwater runoff

The stormwater may be discharged directly to a receiving stream or through a MS4 from your site. It eventually reaches a receiving water body such as a local stream or lake, possibly via a drainage ditch. You must provide the name of the water body that receives the discharge from the site (a local stream or lake).

If your site has more than one outfall you need to include the name of the first water body for each outfall, if they are different.

h) Identify the segment number(s) of the classified water body(s)

Identify the classified segment number(s) receiving a discharge directly or indirectly. Go to the following link to find the segment number of the classified water body where stormwater will flow from the site: www.tceq.texas.gov/waterquality/monitoring/viewer.html

You may also find the segment number in TCEQ publication GI-316:
www.tceq.texas.gov/publications/gi/gi-316

If the discharge is into an unclassified receiving water and then crosses state lines prior to entering a classified segment, select the appropriate watershed:

- 0100 (Canadian River Basin)
- 0200 (Red River Basin)
- 0300 (Sulfur River Basin)
- 0400 (Cypress Creek Basin)
- 0500 (Sabine River Basin)

Call the Water Quality Assessments section at (512)239-4671 for further assistance.

i) Discharge into MS4

The discharge may initially be into a municipal separate storm sewer system (MS4). The Construction General Permit requires the Operator to provide a copy of the NOI to the MS4 Operator.

j) Identify the MS4 Operator

If the stormwater discharge is into an MS4, provide the name of the entity that operates the MS4 where the stormwater discharges. An MS4 operator is often a city, town, county, or utility district, but possibly can be another form of government. Please note that the Construction General Permit requires the Operator to supply the MS4 with a copy of the NOI submitted to TCEQ. For assistance, you may call the technical staff at (512)239-4671.

k) Surface Water bodies on list of impaired waters

Indicate Yes or No if any surface water bodies receiving discharges from the construction site are on the latest EPA-approved CWA 303(d) List of impaired waters. The EPA-approved CWA

303(d) List of impaired waters in Texas can be found at:
www.tceq.texas.gov/waterquality/assessment/305_303.html

NOTE: Do not use any "draft" documents.

l) Identify the impaired water body(s)

Provide the name(s) of surface water bodies receiving discharges or potential discharges from the construction site that are on the latest EPA-approved CWA 303(d) List of impaired waters. The EPA-approved CWA 303(d) List of impaired waters in Texas can be found at:
www.tceq.texas.gov/waterquality/assessment/305_303.html

NOTE: Do not use any "draft" documents.

m) Discharges to the Edwards Aquifer Recharge Zone

See maps on the TCEQ website to determine if the site is located within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer at:
www.tceq.texas.gov/field/eapp/viewer.html

If the discharge or potential discharge is within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer, a site specific authorization approved by the Executive Director under the Edwards Aquifer Protection Program (30 TAC Chapter 213) is required before construction can begin.

The general permit requires the approved Contributing Zone Plan or Water Pollution Abatement Plan to be included or referenced as a part of the Stormwater Pollution Prevention Plan.

n) Certification regarding Edwards Aquifer Rule (30 TAC Chapter 213)

If the discharge or potential discharge is within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer as defined in 30 TAC Chapter 213, the certification must be answered "Yes" for coverage under the Construction General Permit. The TCEQ approved plan must be readily available for TCEQ staff to review at the time that the NOI is submitted.

For questions regarding the Edwards Aquifer Protection Program, contact the appropriate TCEQ Regional Office. For projects in Hays, Travis and Williamson Counties: Austin Regional Office, 12100 Park 35 Circle, Austin, TX 78753, 512-339-2929. For Projects in Bexar, Comal, Kinney, Medina and Uvalde Counties: TCEQ San Antonio Regional Office, 14250 Judson Rd., San Antonio, TX 78233-4480, 210-490-3096.

5. CERTIFICATIONS

Failure to indicate **Yes** to ALL of the certification items may result in denial of coverage under the general permit.

a) Certification of Understanding the Terms and Conditions of Construction General Permit (TXR150000)

Provisional coverage under the Construction General Permit (TXR150000) begins 7 days after the completed paper NOI is postmarked for delivery to the TCEQ. (Electronic applications submitted through ePermits have immediate provisional coverage). You must obtain a copy and read the Construction General Permit before submitting your application. You may view and print the Construction General Permit for which you are seeking coverage at the TCEQ web site: www.tceq.texas.gov/goto/construction

b) Certification of Legal Name

The full legal name of the applicant as authorized to do business in Texas is required. The name must be provided exactly as filed with the Texas Secretary of State (SOS), or on other legal documents forming the entity, that is filed in the county where doing business. You may contact the SOS at (512)463 5555, for more information related to filing in Texas.

c) Understanding of Notice of Termination

A permittee shall terminate coverage under this Construction General Permit through the submittal of a NOT when the operator of the facility changes, final stabilization has been reached, the discharge becomes authorized under an individual permit, or the construction activity never began at this site.

d) Certification of Stormwater Pollution Prevention Plan

The SWP₃ identifies the areas and activities that could produce contaminated runoff at your site and then tells how you will ensure that this contamination is mitigated. For example, in describing your mitigation measures, your site's plan might identify the devices that collect and filter stormwater, tell how those devices are to be maintained, and tell how frequently that maintenance is to be carried out. You must develop this plan in accordance with the TCEQ general permit requirements. This plan must be developed and implemented before you complete this NOI. The SWP₃ must be available for a TCEQ investigator to review on request.

Operator Certification:

The certification must bear an original signature of a person meeting the signatory requirements specified under 30 Texas Administrative Code (TAC) §305.44.

IF YOU ARE A CORPORATION:

The regulation that controls who may sign an NOI or similar form is 30 Texas Administrative Code §305.44(a)(1) (see below). According to this code provision, any corporate representative may sign an NOI or similar form so long as the authority to sign such a document has been delegated to that person in accordance with corporate procedures. By signing the NOI or similar form, you are certifying that such authority has been delegated to you. The TCEQ may request documentation evidencing such authority.

IF YOU ARE A MUNICIPALITY OR OTHER GOVERNMENT ENTITY:

The regulation that controls who may sign an NOI or similar form is 30 Texas Administrative Code §305.44(a)(3) (see below). According to this code provision, only a ranking elected official or principal executive officer may sign an NOI or similar form. Persons such as the City Mayor or County Commissioner will be considered ranking elected officials. In order to identify the principal executive officer of your government entity, it may be beneficial to consult your city charter, county or city ordinances, or the Texas statute(s) under which your government entity was formed. An NOI or similar document that is signed by a government official who is not a ranking elected official or principal executive officer does not conform to §305.44(a)(3). The signatory requirement may not be delegated to a government representative other than those identified in the regulation. By signing the NOI or similar form, you are certifying that you are either a ranking elected official or principal executive officer as required by the administrative code. Documentation demonstrating your position as a ranking elected official or principal executive officer may be requested by the TCEQ.

If you have any questions or need additional information concerning the signatory requirements discussed above, please contact the Texas Commission on Environmental Quality's Environmental Law Division at (512)239-0600.

30 Texas Administrative Code

§305.44. Signatories to Applications

(a) All applications shall be signed as follows.

(1) For a corporation, the application shall be signed by a responsible corporate officer. For purposes of this paragraph, a responsible corporate officer means a president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function, or any other person who performs similar policy or decision-making functions for the corporation; or the manager of one or more manufacturing, production, or operating facilities employing more than 250 persons or having gross annual sales or expenditures exceeding \$25 million (in second-quarter 1980 dollars), if authority to sign documents has been assigned or delegated to the manager in accordance with corporate procedures. Corporate procedures governing authority to sign permit or post-closure order applications may provide for assignment or delegation to applicable corporate positions rather than to specific individuals.

(2) For a partnership or sole proprietorship, the application shall be signed by a general partner or the proprietor, respectively.

(3) For a municipality, state, federal, or other public agency, the application shall be signed by either a principal executive officer or a ranking elected official. For purposes of this paragraph, a principal executive officer of a federal agency includes the chief executive officer of the agency, or a senior executive officer having responsibility for the overall operations of a principal geographic unit of the agency (e.g., regional administrator of the EPA).

SIGNATURE PAGE:


Applicant's Signature

9/11/2024
Date

THE STATE OF Georgia §
County of Coweta §

BEFORE ME, the undersigned authority, on this day personally appeared Jessica BOGGART known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 11th day of September.




NOTARY PUBLIC

SHURON L. Williams
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: 6-7-2025

Application Fee Form

Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: Leander Home Depot Store #1348

Regulated Entity Location: Leander

Name of Customer: Home Depot USA, Inc.

Contact Person: John Chescavage

Phone: (770) 384-2864

Customer Reference Number (if issued):CN _____

Regulated Entity Reference Number (if issued):RN _____

Austin Regional Office (3373)

Hays

Travis

Williamson

San Antonio Regional Office (3362)

Bexar

Medina

Uvalde

Comal

Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

Austin Regional Office

San Antonio Regional Office

Mailed to: TCEQ - Cashier

Overnight Delivery to: TCEQ - Cashier

Revenues Section

Mail Code 214

P.O. Box 13088

Austin, TX 78711-3088

12100 Park 35 Circle

Building A, 3rd Floor

Austin, TX 78753

(512)239-0357

Site Location (Check All That Apply):

Recharge Zone

Contributing Zone

Transition Zone

<i>Type of Plan</i>	<i>Size</i>	<i>Fee Due</i>
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	N/A Acres	\$ 0
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	N/A Acres	\$ 0
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	15.26 Acres	\$ 6,500
Sewage Collection System	N/A L.F.	\$ 0
Lift Stations without sewer lines	N/A Acres	\$ 0
Underground or Aboveground Storage Tank Facility	N/A Tanks	\$ 0
Piping System(s)(only)	N/A Each	\$ 0
Exception	N/A Each	\$ 0
Extension of Time	N/A Each	\$ 0

Signature: Justin Jandry

Date: 09/11/2024

Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

Water Pollution Abatement Plans and Modifications

Contributing Zone Plans and Modifications

<i>Project</i>	<i>Project Area in Acres</i>	<i>Fee</i>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

Organized Sewage Collection Systems and Modifications

<i>Project</i>	<i>Cost per Linear Foot</i>	<i>Minimum Fee- Maximum Fee</i>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

Underground and Aboveground Storage Tank System Facility Plans and Modifications

<i>Project</i>	<i>Cost per Tank or Piping System</i>	<i>Minimum Fee- Maximum Fee</i>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

Exception Requests

<i>Project</i>	<i>Fee</i>
Exception Request	\$500

Extension of Time Requests

<i>Project</i>	<i>Fee</i>
Extension of Time Request	\$150



TCEQ Use Only

TCEQ Core Data Form

For detailed instructions on completing this form, please read the Core Data Form Instructions or call 512-239-5175.

SECTION I: General Information

1. Reason for Submission <i>(If other is checked please describe in space provided.)</i> <input checked="" type="checkbox"/> New Permit, Registration or Authorization <i>(Core Data Form should be submitted with the program application.)</i> <input type="checkbox"/> Renewal <i>(Core Data Form should be submitted with the renewal form)</i>			<input type="checkbox"/> Other
2. Customer Reference Number <i>(if issued)</i> CN	Follow this link to search for CN or RN numbers in Central Registry**	3. Regulated Entity Reference Number <i>(if issued)</i> RN	

SECTION II: Customer Information

4. General Customer Information		5. Effective Date for Customer Information Updates (mm/dd/yyyy)	
<input checked="" type="checkbox"/> New Customer <input type="checkbox"/> Update to Customer Information <input type="checkbox"/> Change in Regulated Entity Ownership <input type="checkbox"/> Change in Legal Name <i>(Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)</i>			
<i>The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).</i>			
6. Customer Legal Name <i>(If an individual, print last name first: eg: Doe, John)</i>		<i>If new Customer, enter previous Customer below:</i>	
Home Depot USA, Inc.			
7. TX SOS/CPA Filing Number	8. TX State Tax ID (11 digits)	9. Federal Tax ID (9 digits)	10. DUNS Number <i>(if applicable)</i>
0008141606	15818533190	581853319	
11. Type of Customer:	<input checked="" type="checkbox"/> Corporation	<input type="checkbox"/> Individual	Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited
Government: <input type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> Local <input type="checkbox"/> State <input type="checkbox"/> Other	<input type="checkbox"/> Sole Proprietorship	<input type="checkbox"/> Other:	
12. Number of Employees		13. Independently Owned and Operated?	
<input type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input checked="" type="checkbox"/> 501 and higher		<input type="checkbox"/> Yes <input type="checkbox"/> No	
14. Customer Role <i>(Proposed or Actual) – as it relates to the Regulated Entity listed on this form. Please check one of the following</i>			
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Operator <input type="checkbox"/> Owner & Operator <input type="checkbox"/> Other: <input type="checkbox"/> Occupational Licensee <input type="checkbox"/> Responsible Party <input type="checkbox"/> VCP/BSA Applicant			
15. Mailing Address:			
2455 Paces Ferry Road NW			
City	Atlanta	State	GA
ZIP	30339	ZIP + 4	
16. Country Mailing Information <i>(if outside USA)</i>		17. E-Mail Address <i>(if applicable)</i>	
		jessica_borgert@homedepot.com	
18. Telephone Number	19. Extension or Code	20. Fax Number <i>(if applicable)</i>	

SECTION III: Regulated Entity Information**21. General Regulated Entity Information** (If 'New Regulated Entity' is selected, a new permit application is also required.)
 New Regulated Entity Update to Regulated Entity Name Update to Regulated Entity Information

The Regulated Entity Name submitted may be updated, in order to meet TCEQ Core Data Standards (removal of organizational endings such as Inc, LP, or LLC).

22. Regulated Entity Name (Enter name of the site where the regulated action is taking place.)

Leander Home Depot Store #1348

23. Street Address of the Regulated Entity:

(No PO Boxes)

City

State

ZIP

ZIP + 4

24. County

If no Street Address is provided, fields 25-28 are required.

25. Description to**Physical Location:**

Northwest corner of Hero Way and SB US Hwy 183A Frontage Road

26. Nearest City**State****Nearest ZIP Code**

Leander

TX

78641

Latitude/Longitude are required and may be added/updated to meet TCEQ Core Data Standards. (Geocoding of the Physical Address may be used to supply coordinates where none have been provided or to gain accuracy).

27. Latitude (N) In Decimal:

30.587650

28. Longitude (W) In Decimal:

-97.842206

Degrees

Minutes

Seconds

Degrees

Minutes

Seconds

30

35

15.54

97

50

31.94

29. Primary SIC Code**30. Secondary SIC Code****31. Primary NAICS Code****32. Secondary NAICS Code**

(4 digits)

(4 digits)

(5 or 6 digits)

(5 or 6 digits)

1542

1542

236220

236220

33. What is the Primary Business of this entity? (Do not repeat the SIC or NAICS description.)

Commercial Retailer

34. Mailing**Address:**

2455 Paces Ferry Road NW

City

Atlanta

State

GA

ZIP

30339

ZIP + 4

35. E-Mail Address:

jessica_borgert@homedepot.com

36. Telephone Number**37. Extension or Code****38. Fax Number** (if applicable)

770-433-8211

() -

39. TCEQ Programs and ID Numbers Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.

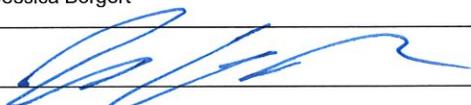
<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Wastewater	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

SECTION IV: Preparer Information

40. Name:	Justin Landry, P.E.	41. Title:	Project Manager
42. Telephone Number	43. Ext./Code	44. Fax Number	45. E-Mail Address
(512) 595-3489		() -	justin.landry@kimley-horn.com

SECTION V: Authorized Signature

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

Company:	Home Depot USA, Inc.	Job Title:	Assistant General Counsel
Name (In Print):	Jessica Borgert	Phone:	770-433-8211
Signature:		Date:	9/11/2024