

# **CEDAR PARK BARIATRICS APEX**

**Exception Request**

**September 2024**

# CEDAR PARK BARIATRICS APEX

## Exception Request

September 2024



*B-T*  
9-6-2024



September 4, 2024

Mr. Robert Sadlier  
Texas Commission on Environmental Quality (TCEQ)  
Region 11  
12100 Park 35 Circle, Bldg. A  
Austin, Texas 78753

Re: Cedar Park Bariatrics APEX  
Water Pollution Abatement Plan Modification

Dear Mr. Sadlier,

Please find attached one (1) digital version of the Cedar Park Bariatrics APEX Exception Application. This Exception Application has been prepared in accordance with the regulations of the Texas Administrative Code (30 TAC 213) and current policies for development over the Edwards Aquifer Recharge Zone.

The Exception Application applies to an approximate 25 acre site (LOC ~ 0.1 acres). Please review the plan information for the items it is intended to address. If acceptable, please provide a written approval of the plan in order that construction may begin at the earliest opportunity.

Appropriate review fees (\$500) and fee application are included. If you have questions or require additional information, please do not hesitate to contact me at your earliest convenience.

Sincerely,  
Pape-Dawson Engineers, Inc.  
Texas Board of Professional Engineers, Firm Registration #470



Brent Tuley, P.E.  
Project Manager

Attachments

H:\Projects\511\53\00\301 Construction Documents\Documents\Reports\WPAP Exception\Cover Letter.docx

**EDWARDS AQUIFER  
APPLICATION COVER  
PAGE (TCEQ-20705)**

# Texas Commission on Environmental Quality

## Edwards Aquifer Application Cover Page

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### Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with [30 TAC 213](#).

### Administrative Review

1. [Edwards Aquifer applications](#) must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains “possibly sensitive” features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

### Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited**.
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

### Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a “Mid-Review Modification”. Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ’s Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ’s San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

<b>1. Regulated Entity Name: Cedar Park Bariatrics</b>					<b>2. Regulated Entity No.:</b>				
<b>3. Customer Name: LBA REAL LLC</b>					<b>4. Customer No.:</b>				
<b>5. Project Type:</b> (Please circle/check one)	New	Modification			Extension	Exception			
<b>6. Plan Type:</b> (Please circle/check one)	WPAP	CZP	SCS	UST	AST	EXP	EXT	Technical Clarification	Optional Enhanced Measures
<b>7. Land Use:</b> (Please circle/check one)	Residential	Non-residential			<b>8. Site (acres):</b>			25 AC (LOC ~ 0.1 AC)	
<b>9. Application Fee:</b>	\$500		<b>10. Permanent BMP(s):</b>			Batch Detention			
<b>11. SCS (Linear Ft.):</b>	N/A		<b>12. AST/UST (No. Tanks):</b>			N/A			
<b>13. County:</b>	Williamson		<b>14. Watershed:</b>			Turkey Creek-Brushy Creek			

# Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the “Texas Groundwater Conservation Districts within the EAPP Boundaries” map found at:

[http://www.tceq.texas.gov/assets/public/compliance/field\\_ops/eapp/EAPP%20GWCD%20map.pdf](http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf)

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	Hays	Travis	Williamson
Original (1 req.)	—	—	—
Region (1 req.)	—	—	—
County(ies)	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Barton Springs/ Edwards Aquifer <input type="checkbox"/> Hays Trinity <input type="checkbox"/> Plum Creek	<input type="checkbox"/> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<input type="checkbox"/> Austin <input type="checkbox"/> Buda <input type="checkbox"/> Dripping Springs <input type="checkbox"/> Kyle <input type="checkbox"/> Mountain City <input type="checkbox"/> San Marcos <input type="checkbox"/> Wimberley <input type="checkbox"/> Woodcreek	<input type="checkbox"/> Austin <input type="checkbox"/> Bee Cave <input type="checkbox"/> Pflugerville <input type="checkbox"/> Rollingwood <input type="checkbox"/> Round Rock <input type="checkbox"/> Sunset Valley <input type="checkbox"/> West Lake Hills	<input type="checkbox"/> Austin <input type="checkbox"/> Cedar Park <input type="checkbox"/> Florence <input type="checkbox"/> Georgetown <input type="checkbox"/> Jerrell <input type="checkbox"/> Leander <input type="checkbox"/> Liberty Hill <input type="checkbox"/> Pflugerville <input type="checkbox"/> Round Rock

San Antonio Region					
County:	Bexar	Comal	Kinney	Medina	Uvalde
Original (1 req.)	—	—	—	—	—
Region (1 req.)	—	—	—	—	—
County(ies)	—	—	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Trinity-Glen Rose	<input type="checkbox"/> Edwards Aquifer Authority	<input type="checkbox"/> Kinney	<input type="checkbox"/> EAA <input type="checkbox"/> Medina	<input type="checkbox"/> EAA <input type="checkbox"/> Uvalde
City(ies) Jurisdiction	<input type="checkbox"/> Castle Hills <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Helotes <input type="checkbox"/> Hill Country Village <input type="checkbox"/> Hollywood Park <input type="checkbox"/> San Antonio (SAWS) <input type="checkbox"/> Shavano Park	<input type="checkbox"/> Bulverde <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Garden Ridge <input type="checkbox"/> New Braunfels <input type="checkbox"/> Schertz	NA	<input type="checkbox"/> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

Brent Tuley

Print Name of Customer/Authorized Agent

  
Signature of Customer/Authorized Agent

9-6-2024  
Date

**\*\*FOR TCEQ INTERNAL USE ONLY\*\***

Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):

**CONTRIBUTING ZONE  
EXCEPTION REQUEST  
(TCEQ-10262)**

# Contributing Zone Exception Request Form

## Texas Commission on Environmental Quality

for Regulated Activities on the Contributing Zone to the Edwards Aquifer and Relating to 30 TAC §213.24(1), Effective June 1, 1999

*To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.*

*Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.*

## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Contributing Zone Exception Request Form** is hereby submitted for TCEQ review and executive director approval. The request was prepared by:

Print Name of Customer/Agent: Brent Tuley, P.E.

Date: 9-6-2024

Signature of Customer/Agent:



Regulated Entity Name: Cedar Park Bariatrics

## Project Information

1. County: Williamson
2. Stream Basin: Turkey Creek-Brushy Creek
3. Groundwater Conservation District (if applicable): \_\_\_\_\_
4. Customer (Applicant):

Contact Person: Dr. Alan Abando

Entity: LBA REAL LLC

Mailing Address: 1410 Medical Pkwy, Suite 200

City, State: Cedar Park, TX

Telephone: 512-590-9598

Email Address: aabando@basurgeons.com

Zip: 78613

Fax: \_\_\_\_\_



5. Agent/Representative (If any):

Contact Person: Brent Tuley, P.E.

Entity: Pape-Dawson Engineers, Inc.

Mailing Address: 10801 N. Mopac Expressway, Building 3, Suite 200

City, State: Austin, TX

Zip: 78759

Telephone: 512-454-8711

Fax: \_\_\_\_\_

Email Address: btuley@pape-dawson.com

6. Project Location

☒ This project is inside the city limits of Cedar Park.

☐ This project is outside the city limits but inside the ETJ (extra-territorial jurisdiction) of \_\_\_\_\_.

☐ This project is not located within any city limits or ETJ.

7. ☒ The location of the project site is described below. Sufficient detail and clarity has been provided so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

This site is located and served at the pond that is located to the Southeast of the 1410 Medical Parkway address.

8. ☒ **Attachment A - Road Map.** A road map showing directions to and location of the project site is attached. The map clearly shows the boundary of the project site.

9. ☒ **Attachment B - USGS Quadrangle Map.** A copy of the USGS Quadrangle Map (Scale: 1" = 2000') is attached. The map(s) should clearly show:

☒ Project site boundaries.

☒ USGS Quadrangle Name(s).

10. ☒ **Attachment C - Project Narrative.** A detailed narrative description of the proposed project is provided at the end of this form. The project description is consistent throughout the application and contains, at a minimum, the following details:

☒ Area of the site

☒ Offsite areas

☒ Impervious cover

☒ Permanent BMP(s)

☒ Proposed site use

☒ Site history

☒ Previous development

☒ Area(s) to be demolished

11. Existing project site conditions are noted below:

☒ Existing commercial site

☐ Existing industrial site

☐ Existing residential site

- ☒ Existing paved and/or unpaved roads
- ☐ Undeveloped (Cleared)
- ☐ Undeveloped (Undisturbed/Not cleared)
- ☐ Other: \_\_\_\_\_

12. ☒ **Attachment D - Nature Of Exception.** A narrative description of the nature of each exception requested is attached. All provisions of 30 TAC §213 Subchapter B for which an exception is being requested have been identified in the description.
13. ☒ **Attachment E - Equivalent Water Quality Protection.** Documentation demonstrating equivalent water quality protection for surface streams which enter the Edwards Aquifer is attached.

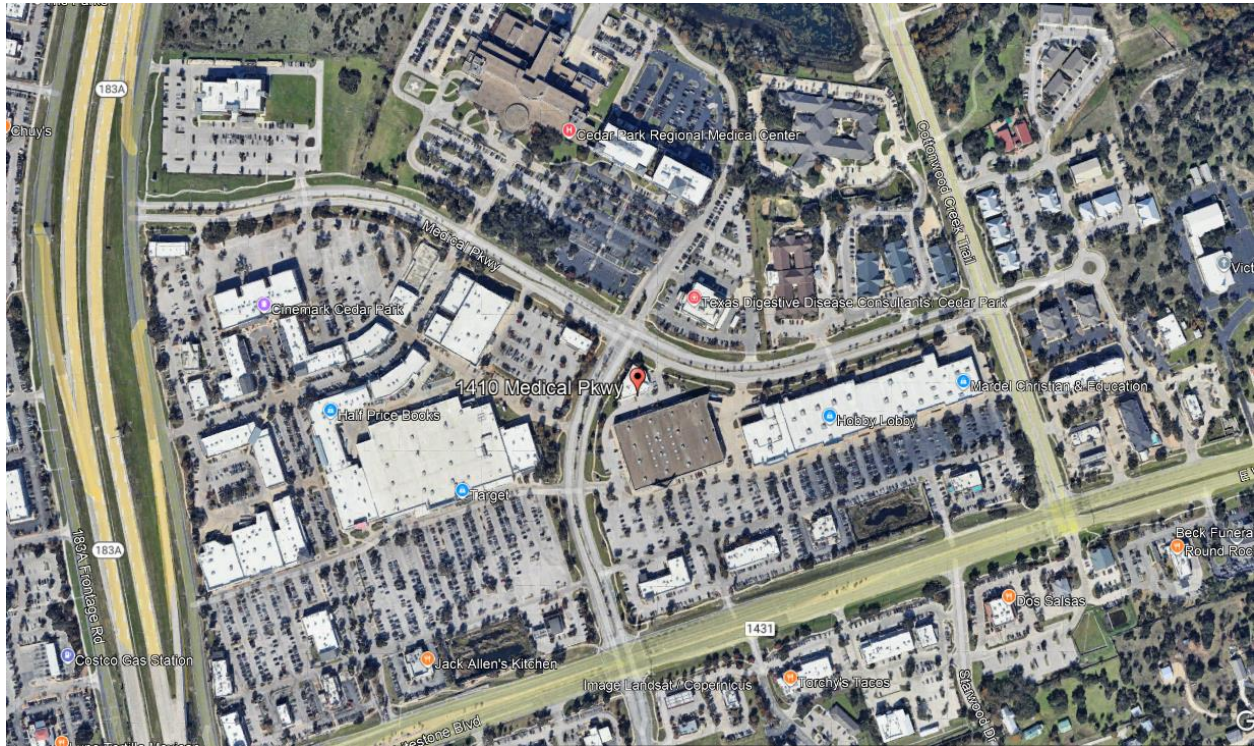
### ***Administrative Information***

14. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions.
15. ☒ The applicant understands that prior approval under this section must be obtained from the executive director for the exception to be authorized.

# **ATTACHMENT A**

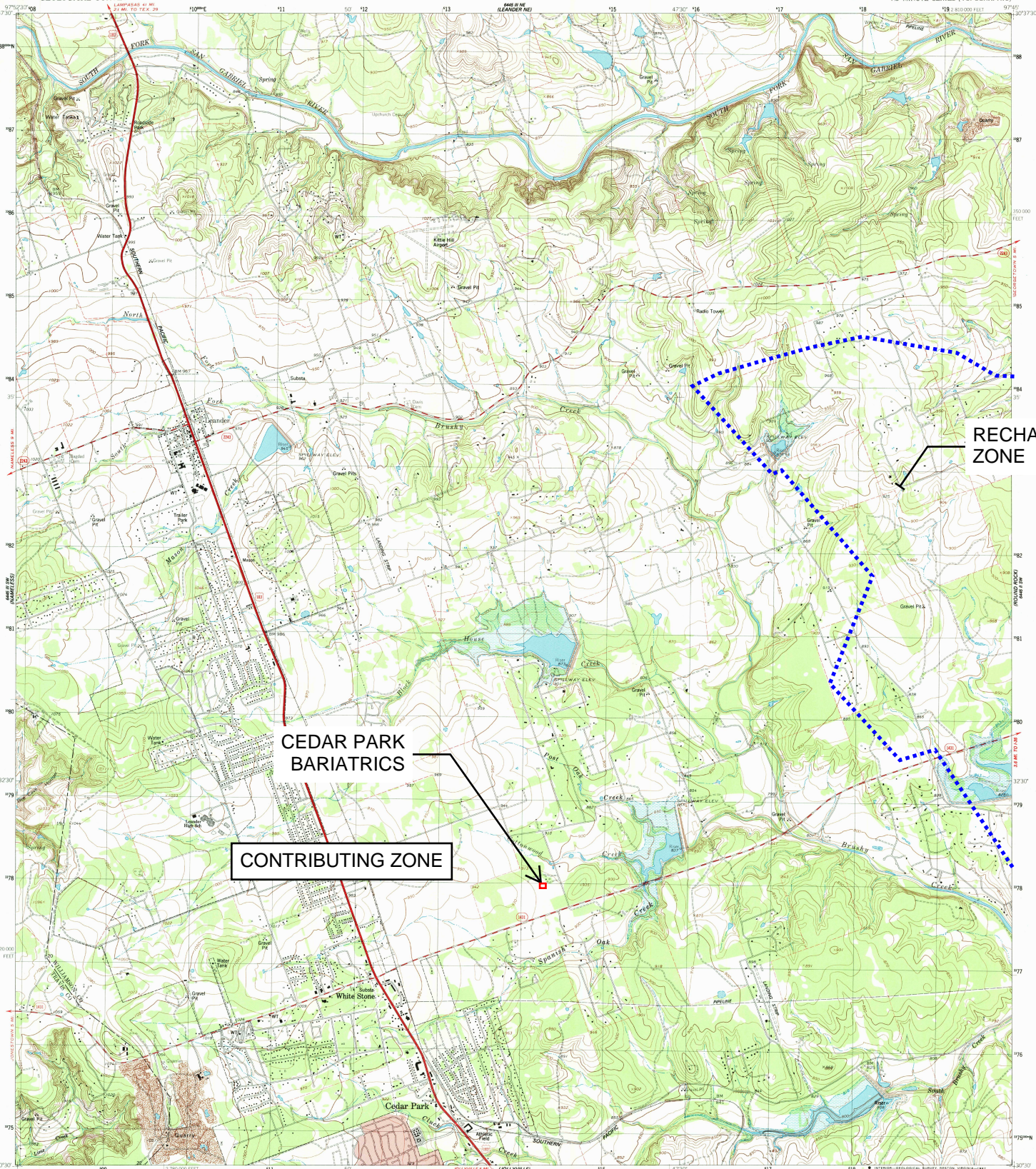
# CEDAR PARK BARIATRICS

## Contributing Zone Exception Request Form (TCEQ-10262)



# **ATTACHMENT B**





CEDAR PARK  
BARIATRICS

CONTRIBUTING ZONE

RECHARGE  
ZONE

Maped, edited, and published by the Geological Survey  
Control by USGS and NOS/NOAA  
Topography by photogrammetric methods from aerial photographs  
taken 1962. Field checked 1963. Revised from aerial photographs  
taken 1985. Field checked 1986. Map edited 1987  
Projection and 10,000-foot grid ticks: Texas  
coordinate system, central zone (Lambert conformal conic)  
1000-meter Universal Transverse Mercator grid, zone 14  
1927 North American Datum  
To place on the predicted North American Datum 1983  
move the projection lines 17 meters south and  
28 meters east as shown by dashed corner ticks  
Fine red dashed lines indicate selected fence line

Red tint indicates areas in which only landmark buildings are shown

UTM GRID AND 1987 MAGNETIC NORTH  
ORIENTATION AT CENTER OF MAP  
DIAGRAM IS APPROPRIATE

SCALE 1:24 000  
1 000 0 1000 2000 3000 4000 5000 6000 7000 FEET  
1 MILE  
CONTOUR INTERVAL 10 FEET  
NATIONAL GEODETIC VERTICAL DATUM OF 1929

THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS  
FOR SALE BY U.S. GEOLOGICAL SURVEY, DENVER, COLORADO 80205 OR RESTON, VIRGINIA 22092  
A FOLDER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST



QUADRANGLE LOCATION

3097-321

ROAD CLASSIFICATION  
Primary highway, hard surface  
Secondary highway, hard surface  
Light Route  
Unimproved road  
U.S. Route  
State Route



LEANDER, TEX.  
30097-E7-TF-024  
1987

DMA 6445 III SE-SERIES V882



**ATTACHMENT C**

# **CEDAR PARK BARIATRICS**

## **Contributing Zone Exception Request Form (TCEQ-10262)**

### **Attachment C – Project Narrative**

*Cedar Park Bariatrics is located on approximately 25 acres along FM 1431, to the east of Hwy 183. The project is within the limits of City of Cedar Park within Williamson County. The site is located over the Edwards Aquifer Contributing Zone. The site has previously approved CZP and CZP Exceptions.*

*The original CZP was in 2007 for the site, accounting for 238,642 cubic feet of volume for water quality or 21,647 lbs of TSS removal (EAPP ID# 07092801). In 2011, a CZP exception was approved for the construction of impervious cover still under the limits of what was designed for with the constructed pond, similar to this request (EAPP ID# 11-07092802).*

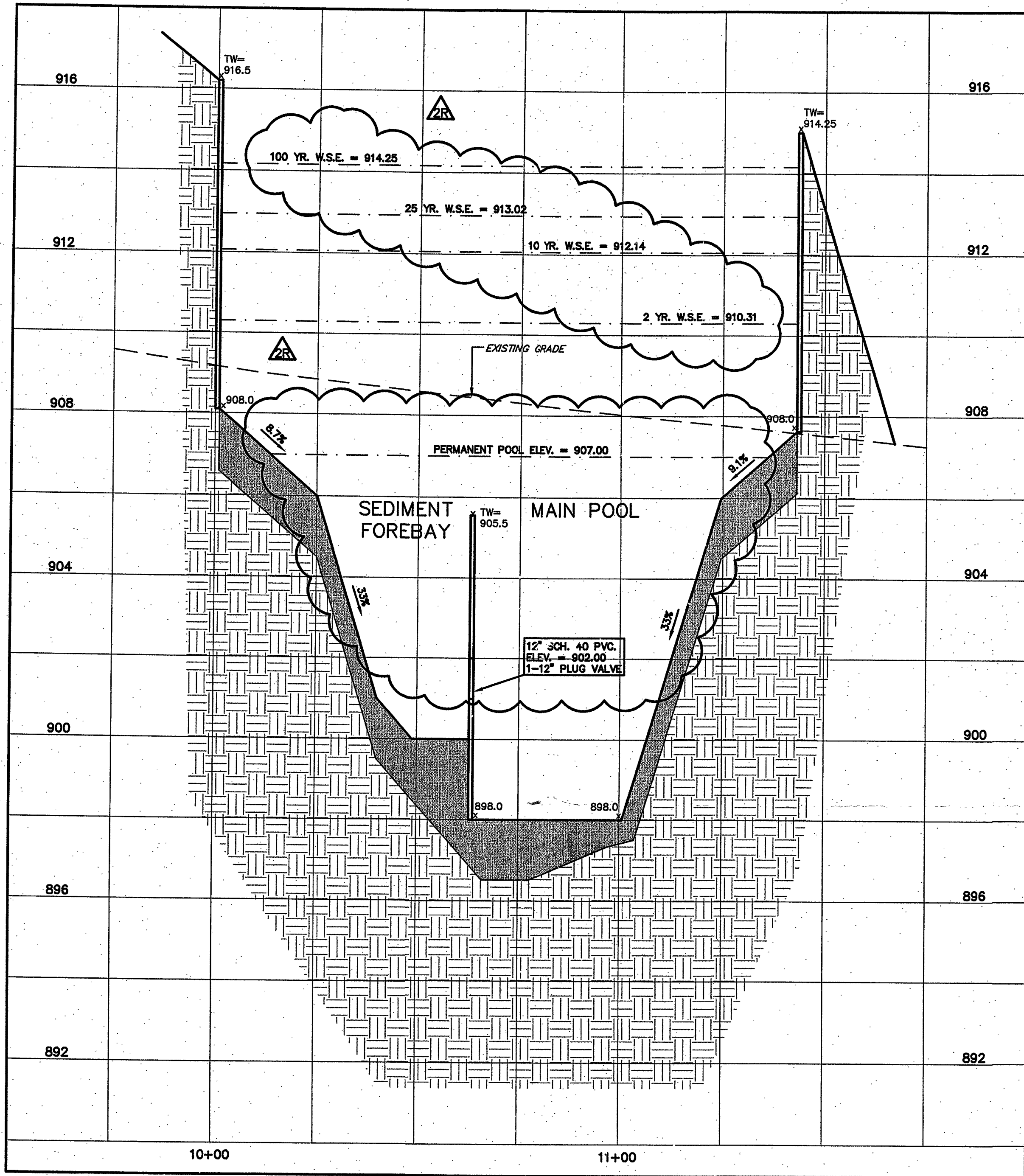
*The pond was built to provide 238,642 cubic feet of water quality volume, and treat 21,647 lbs of TSS removal. This expansion of the building will add an additional 0.014 acres of impervious cover to the site, resulting in an additional required 11 lbs of TSS treatment. This additional 11 lbs brings the total to 18,507 lbs which is still significantly less than the 21,647 lbs, and causes no increase to the water quality volume required on the site.*

*Please see the attached original design shown on sheets 26 and 34 attached, and updated spreadsheet following this Narrative reflecting no increase to the water quality volume, and the 11lbs of TSS being significantly lower than the total amount (comparison between 18,507 and 21,647).*









POND SECTION B-B

PROFILE LEGEND:		PROFILE SCALE:	
EXISTING GRADE	---	1" = 20' HORIZONTAL	
PROPOSED GRADE	---	1" = 2' VERTICAL	

Wet Pond Calculations For Development Permits							
Drainage Area Data							
Total Site Area							27 ac.
Drainage Area to Pond (DA)							25 ac.
Site Impervious Cover (IC)							80%
Recharge Zone (enter 1) Non-recharge Zone (enter 0)							1
Runoff Coefficient (R)							0.628
Water Quality Control Calculations							
Volume Required = 0.162 * R <sup>2</sup> * DA							2.54 ac-ft
							110,791 cf
Sediment Forebay Volume (15 - 25%)							16,619 cf
							25%
							27,698 cf
							36%
							40,135 cf
Main Pool Volume (75 - 85%)							75%
							83,093 cf
							85%
							94,172 cf
							90%
							99,256 cf
Total Volume Provided							139,391 cf
							3.20 ac. Ft.
Sediment Forebay:							
Elevation * Ft. msl	Depth Ft.	Area S. F.	Avg. Area S. F.	Inc. Vol. C. F.	Total Vol. C. F.	Total Vol. Ac. Ft.	
899.50	0.00	-	-	-	-	0.00	
900.00	0.50	1,923.00	981.50	320.51	320.51	0.01	
901.00	1.00	3,405.00	2,684.00	2,629.01	2,949.52	0.07	
902.00	1.00	4,577.00	3,991.00	3,978.66	6,928.18	0.16	
903.00	1.00	5,264.00	4,920.00	4,916.60	11,842.77	0.27	
904.00	1.00	5,984.00	5,624.00	5,620.27	17,463.04	0.40	
905.00	1.00	6,733.00	6,358.00	6,354.95	23,817.99	0.55	
906.00	1.00	7,510.00	7,121.50	7,118.11	30,936.10	0.71	
907.00	1.00	10,998.00	9,254.00	9,198.91	40,135.01	0.92	
Main Pool:							
Elevation * Ft. msl	Depth Ft.	Area S. F.	Avg. Area S. F.	Inc. Vol. C. F.	Total Vol. C. F.	Total Vol. Ac. Ft.	
897.00	0.00	-	-	-	-	0.00	
898.00	1.00	3,375.00	1,687.50	1,125.02	1,125.02	0.03	
899.00	1.00	7,596.00	5,470.50	5,331.52	6,456.54	0.15	
900.00	1.00	8,446.00	8,006.00	8,002.13	14,459.67	0.33	
901.00	1.00	9,355.00	8,900.50	8,896.81	23,355.48	0.54	
902.00	1.00	10,309.00	9,830.50	9,826.86	33,182.34	0.76	
903.00	1.00	11,294.00	10,800.00	10,795.45	43,978.79	1.01	
904.00	1.00	12,316.00	11,805.00	11,801.55	55,790.33	1.28	
905.00	1.00	13,368.00	12,842.00	12,838.66	68,619.00	1.58	
906.00	1.00	14,447.00	13,907.50	13,904.29	82,523.29	1.89	
907.00	1.00	19,128.00	16,787.50	16,733.18	99,256.47	2.28	
Extended Pond:							
Elevation * Ft. msl	Depth Ft.	Area S. F.	Avg. Area S. F.	Inc. Vol. C. F.	Total Vol. C. F.	Total Vol. Ac. Ft.	
907.00	0.00	30,056.40	-	-	-	0.00	
908.00	1.00	35,283.60	32,670.00	32,635.75	32,635.75	0.75	
910.00	2.00	40,510.80	37,897.20	75,735.76	108,371.51	2.49	
911.00	1.00	40,946.40	40,728.00	40,729.22	149,100.73	3.42	
912.00	1.00	41,817.60	41,382.00	41,382.06	190,482.79	4.37	
913.00	1.00	42,253.20	42,035.40	42,036.05	232,518.85	5.34	
914.00	1.00	42,253.20	42,253.20	42,254.05	274,772.89	6.31	
915.00	1.00	42,888.80	42,471.00	42,471.66	317,244.55	7.28	
* In one foot or less increments							
Extended Detention / Water Quality Volume (24 hr draw down time)							
Elevation * Ft. msl	Depth Ft.	Total Vol. C. F.	Total Vol. Ac. Ft.				
909.8	898.25	238642	5.48				

DETENTION STAGE STORAGE DISCHARGE TABLE

Elevation (ft)	Area (Sq. ft.)	Area (Acres)	Avg. Area (Acres)	Delta Volume (Acre-Feet)	Total Volume (Acre-Feet)	Storage (cf)	Q out (cfs)
907	30056.4	0.69	0.00	0.00	0.00	0	0.000
908	35283.6	0.81	0.75	0.75	0.75	32,670	2.670
910	40510.8	0.93	0.87	1.74	2.49	108,464	15.130
911	40946.4	0.94	0.94	0.94	3.43	149,193	33.050
912	41817.6	0.96	0.95	0.95	4.38	190,575	51.150
913	42253.2	0.97	0.97	0.97	5.34	232,610	73.550
914	42253.2	0.97	0.97	0.97	6.31	274,864	99.510
915	42888.8	0.98	0.98	0.98	7.29	317,335	128.350

DISCHARGE SUMMARY

Storm Frequency	Total Existing Discharge from Site (cfs)	Developed Discharge without Detention (cfs)	Developed Discharge with Detention (cfs)	Pond Elevation (msl)	Pond Storage (sf)
2YR	24	70	22	910.3	120641
10YR	60	130	55	912.06	193081
25YR	81	165	76	912.94	229836
100YR	118	223	110	914.16	281468

Texas Commission on Environmental Quality

TSS Removal Calculations 05-09-2008

Project Name: 1890 Ranch East  
Date Prepared: 9/27/2007

Text shown in magenta provide instructions for the use of this spreadsheet.  
Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG 348.

Characters shown in red are data entry fields.  
Characters shown in black are calculated fields. Changes to these fields will remove equations used in the spreadsheet.

1. The Required Load Reduction from the total project:

Calculations from RG-348

Pages 3-27 to 3-30

Page 3-29 Equation 3.3:  $L_{w1} = 27.2(A_{w1} \times P)$

where:

$L_{w1}$  = Required TSS removal  
 $A_{w1}$  = Net increase in impervious area for site  
 $P$  = Average annual precipitation, inches

Site Data: Determine Required Load Removal Based on the Entire Project

County = Williamson  
Total project area included in plan = 27.34 acres  
Predevelopment impervious area within the limits of the plan = 0.00 acres  
Total post-development impervious area within the limits of the plan = 21.25 acres  
Total post-development impervious cover fraction = 0.78  
 $P$  = 32 inches

Total  $L_{w1}$  required for this plan = 18498 lbs.

\* The values entered in these fields should be for the total project area.

Number of drainage basins / outfalls areas leaving the plan area = 1

Separate calculations should be prepared for each drainage basin / outfall area.  
The calculations must include Sections 2 through 6 and the Section for the appropriate BMP proposed, e.g. Section 9 for Sand Filters.  
A summation of the load removal calculations must be provided.  
It should include justifications indicating that the project meets the requirements of the Edwards Aquifer Rules.  
The permanent BMP calculations and summary must be signed, sealed, and dated by the P.E. making the submittal.

2. Calculations for the Required Load Reduction:

Drainage Basin / Outfall Area No. = A

Page 3-29 Equation 3.3:  $L_{w1} = 27.2(A_{w1} \times P)$

where:

$L_{w1}$  = Required TSS removal  
 $A_{w1}$  = Net increase in impervious area for site  
 $P$  = Average annual precipitation, inches

Site Data: Determine Required Load Removal Based on the Entire Project

Total drainage basin / outfall area = 25.00 acres  
Predevelopment impervious area within drainage basin / outfall area = 0.00 acres  
Post-development impervious area within drainage basin / outfall area = 21.25 acres  
Post-development impervious fraction within drainage basin / outfall area = 0.85  
 $P$  = 32 inches

$L_{w1}$  = 18498 lbs.

\* The values entered in these fields should be for the drainage basin / outfall area.

3. Indicate the Drainage Basin and Select the desired BMP Code for this Section.

Proposed BMP = WB  
Removal efficiency = 93 percent

BMP Code: BMP Type:

AC Aqualogic Cartridge Filter  
BR Bioretention  
CIV Constructed Wetland  
ED Extended Detention  
GS Grassy Swale  
RI Retention / Irrigation  
SF Sand Filter  
WB Wet Basin  
WV Wet Vault

4. Calculate TSS Load Removed ( $L_{w1}$ ) from this Drainage Basin by the Proposed BMP Type.

RG 348 Page Equation 3.7:  $L_{w1} = (BMP \text{ efficiency}) \times P \times (A_i \times 34.8 + A_p \times 0.54)$

where:

$A_i$  = Total On-Site drainage area in the BMP Catchment area  
 $A_i$  = Impervious area proposed in the BMP catchment  
 $A_p$  = Pervious area remaining in the BMP catchment  
 $L_{w1}$  = TSS Load removed by the proposed BMP

$A_i$  = 25.00 acres  
 $A_i$  = 20.96 acres  
 $A_p$  = 4.04 acres  
 $L_{w1}$  = 21647 lbs

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area

$F$  = 0.85

If  $F > 1$ , then a more efficient BMP or a larger treatment area is required.

6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area.

Calculations from RG-348

Pages 3-34 to 3-36

Rainfall Depth = 1.32 inches  
Post Development Runoff Coefficient = 0.68  
On-site Water Quality Volume = 81472 cubic feet

IC = Drainage Area to BMP / drainage Area to BMP

Offsite drainage should be conveyed around or through the drainage basin / outfall area without entering the BMP.

If no offsite drainage flows across the drainage basin / outfall area or is bypassed through the site, enter 0 in cells C109 & C110.

If the offsite drainage is directed to the drainage basin, enter offsite area draining to BMP & offsite impervious cover draining to BMP in cells C109 & C110.

Calculations from RG-348

Pages 3-36 to 3-37

Off-site area draining to BMP = 0.00 acres  
Off-site impervious cover draining to BMP = 0.00 acres  
Impervious fraction of off-site area = 0  
Off-site Runoff Coefficient = 0.02  
Off-site Water Quality Volume = 0 cubic feet

Storage for Sediment = 16294  
Total Capture Volume = 97767 cubic feet

The following sections are used to calculate the required water quality volume(s) for the selected BMP.  
The values for the water quality volume of a BMP Type not selected in cell C64 will show NA.

11. Wet Basins

Designed as Required in RG-348

Pages 3-66 to 3-71

Required capacity of Permanent Pool = 97767 cubic feet  
Required capacity at WQV Elevation = 179239 cubic feet

Permanent Pool Capacity is the WQV + 0.20 WQV  
Total Capacity should be the Permanent Pool Capacity + WQV  
(Two WQV + 0.20 WQV%).

APPROVAL	REVISION	DATE	NO.
		07/11/08	28

**Bury+Partners**  
ENGINEERING SOLUTIONS  
231 West Sixth Street, Suite 800  
Austin, Texas 78701  
Tel: (512)328-0011 Fax: (512)328-0025  
Bury+Partners, Inc. ©Copyright 2008



WET POND SECTIONS

1890 RANCH EAST  
1431 C-BAR RANCH TRAIL  
CEDAR PARK, TEXAS  
ENDEAVOR REAL ESTATE GROUP

PLOTTING SCALE: 1" = 1'  
DATE PLOTTED: 09/21/07  
FILE: G:\1000\68\EST\REVISION 2\100068PND03.dwg  
DRAWN BY: SPW  
DESIGNED BY: CBL  
REVIEWED BY: SNW  
PROJECT NO: 1000-68

SHEET

34

OF

62

Additional information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell.  
Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-348.  
Characters shown in red are data entry fields.  
Characters shown in black (Bold) are calculated fields. Changes to these fields will remove the equations used in the spreadsheet.

1. The Required Load Reduction for the total project: Calculations from RG-348 Pages 3-27 to 3-30

Page 3-29 Equation 3.3:  $L_M = 27.2(A_N \times P)$

where:  $L_{M \text{ TOTAL PROJECT}}$  = Required TSS removal resulting from the proposed development = 80% of increased load  
 $A_N$  = Net increase in impervious area for the project  
 $P$  = Average annual precipitation, inches

Site Data: Determine Required Load Removal Based on the Entire Project  
County = Williamson  
Total project area included in plan \* = 27.34 acres  
Predevelopment impervious area within the limits of the plan \* = 0.00 acres  
Total post-development impervious area within the limits of the plan \* = 21.26 acres  
Total post-development impervious cover fraction \* = 0.78  
 $P$  = 32 inches

$L_{M \text{ TOTAL PROJECT}}$  = 18507 lbs.

\* The values entered in these fields should be for the total project area.

Number of drainage basins / outfalls areas leaving the plan area = 1

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. = 1

Total drainage basin/outfall area = 25.00 acres  
Predevelopment impervious area within drainage basin/outfall area = 0.00 acres  
Post-development impervious area within drainage basin/outfall area = 21.26 acres  
Post-development impervious fraction within drainage basin/outfall area = 0.85  
 $L_{M \text{ THIS BASIN}}$  = 18507 lbs.

3. Indicate the proposed BMP Code for this basin.

Proposed BMP = Wet Basin  
Removal efficiency = 93 percent

Aqualogic Cartridge Filter  
Bioretention  
Contech StormFilter  
Constructed Wetland  
Extended Detention  
Grassy Swale  
Retention / Irrigation  
Sand Filter  
Stormceptor  
Vegetated Filter Strips  
Vortechs  
Wet Basin  
Wet Vault

4. Calculate Maximum TSS Load Removed ( $L_R$ ) for this Drainage Basin by the selected BMP Type.

RG-348 Page 3-33 Equation 3.7:  $L_R = (\text{BMP efficiency}) \times P \times (A_i \times 34.6 + A_p \times 0.54)$

where:  $A_C$  = Total On-Site drainage area in the BMP catchment area  
 $A_i$  = Impervious area proposed in the BMP catchment area  
 $A_p$  = Pervious area remaining in the BMP catchment area  
 $L_R$  = TSS Load removed from this catchment area by the proposed BMP  
 $A_C$  = 25.00 acres  
 $A_i$  = 20.96 acres  
 $A_p$  = 4.04 acres  
 $L_R$  = 21647 lbs

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area

Desired  $L_{M \text{ THIS BASIN}}$  = 18507 lbs.

$F$  = 0.85

6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area. Calculations from RG-348 Pages 3-34 to 3-36

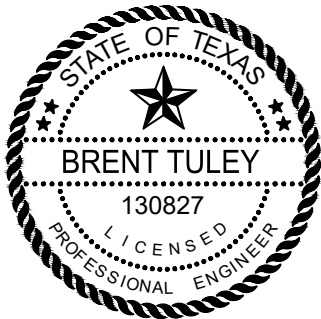
Rainfall Depth = 1.32 inches  
Post Development Runoff Coefficient = 0.68  
On-site Water Quality Volume = 81472 cubic feet

Calculations from RG-348 Pages 3-36 to 3-37

Off-site area draining to BMP = 0.00 acres  
Off-site Impervious cover draining to BMP = 0.00 acres  
Impervious fraction of off-site area = 0  
Off-site Runoff Coefficient = 0.00  
Off-site Water Quality Volume = 0 cubic feet

Storage for Sediment = 16294  
Total Capture Volume (required water quality volume(s) x 1.20) = 97767 cubic feet

The following sections are used to calculate the required water quality volume(s) for the selected BMP.  
The values for BMP Types not selected in cell C45 will show NA.



09/30/2024



Buddy Garcia, *Chairman*  
Larry R. Soward, *Commissioner*  
Bryan W. Shaw, Ph.D., *Commissioner*  
Glenn Shankle, *Executive Director*



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## TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

*Protecting Texas by Reducing and Preventing Pollution*

November 27, 2007

Mr. Jeff Lahr  
Endeavor Real Estate Group, LLC  
221 W. 6<sup>th</sup> Street, Suite 03100  
Austin, Texas 78701

Re: Edwards Aquifer, Williamson County  
NAME OF PROJECT: 1890 Ranch East; Northwest of the Intersection of FM 1431 and CR 185; Cedar Park, Texas  
TYPE OF PLAN: Request for Approval of a Contributing Zone Plan (CZP); 30 Texas Administrative Code (TAC) Chapter 213 Subchapter B Edwards Aquifer  
Edwards Aquifer Protection Program ID No. 07092801

Dear Mr. Lahr:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZP application for the referenced project submitted to the Austin Regional Office on behalf of Endeavor Real Estate Group, LLC by Bury+Partners, Inc. on September 28, 2007. Final review of the CZP submittal was completed after additional material was received on November 20, 2007. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed, and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Contributing Zone Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10% of the construction has commenced on the project or an extension of time has been requested.*

### PROJECT DESCRIPTION

The proposed commercial development will be located on a 27.336 acre site and will consist of 6.08 acres of retail and restaurant buildings, 13.69 acres of parking and drives, 1.48 acres of sidewalks, utilities, drainage improvements, a stormwater detention structure, and a water quality structure. Temporary erosion and sedimentation controls will be installed. Existing internal fences, drainage

REPLY TO: REGION 11 • 2800 S. INTERSTATE HWY. 35, STE. 100 • AUSTIN, TEXAS 78704-5700 • 512-339-2929 • FAX 512-339-3795

P.O. Box 13087 • Austin, Texas 78711-3087 • 512-239-1000 • Internet address: [www.tceq.state.tx.us](http://www.tceq.state.tx.us)

printed on recycled paper using soy-based ink

structures, and utilities will be removed or relocated prior to commencing construction. The site will be stabilized before construction is completed. The proposed impervious cover for the development is approximately 21.252 acres (77.74% of the total area of the site). Project wastewater will be disposed of by conveyance to the existing Brushy Creek Regional East Wastewater Treatment Plant (WQ0010264-002) owned by the Lower Colorado River Authority (LCRA) and Operated by the Brazos River Authority (BRA).

#### PERMANENT POLLUTION ABATEMENT MEASURES

Permanent Best Management Practices will be provided to treat the stormwater runoff from the project. The individual treatment components will consist of a wet basin located on Lot 5. The required load removal for the referenced project is approximately 18,498 pounds of total suspended solids per year. The wet basin is sized to provide the required load removal from approximately 25 acres of the referenced site. The remaining 2.336 acres of the sited with 0.29 acres of impervious cover (entry drives) is released untreated. The approved measures meet the required 80 percent removal of the increased load in total suspended solids caused by the project.

#### SPECIAL CONDITIONS

- I. This approval does not authorize the installation of aboveground storage tanks on the Contributing Zone for temporary use on this project. However, if the contractor desires to use a temporary aboveground storage tank on the Contributing Zone during construction, information indicating the proposed location, containment, and appropriate temporary erosion and sedimentation controls must be submitted to the TCEQ for review and approval prior to its installation.
- II. Intentional discharges of sediment laden stormwater during construction are not allowed. If dewatering excavated areas and/or areas of accumulated stormwater becomes necessary, the discharge shall be filtered through appropriately selected temporary best management practices. These may include vegetative filter strips, sediment traps, rock berms, silt fence rings, etc.

#### STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.

---

#### Prior to Commencement of Construction:

2. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved

Contributing Zone Plan and this notice of approval shall be maintained at the project until all regulated activities are completed.

3. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
4. The applicant must provide written notification of intent to commence construction of the referenced project. Notification must be submitted to the Austin Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and ID number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.
5. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. The water quality pond shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

6. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
7. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
8. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.

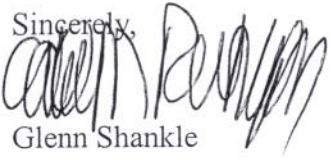
9. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.

After Completion of Construction:

10. Owners of permanent BMPs and measures must insure that the BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the Austin Regional Office within 30 days of site completion.
11. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through the Austin Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.
12. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
13. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50% of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the Austin Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
14. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

Mr. Jeff Lahr  
Page 5  
November 27, 2007

If you have any questions or require additional information, please contact Mr. James Bice, P.E. of the Edwards Aquifer Protection Program of the Austin Regional Office at (512) 339-2929.

Sincerely,  
  
Glenn Shankle  
Executive Director  
Texas Commission on Environmental Quality

GS/jeb

Enclosure: Change in Responsibility for Maintenance on Permanent BMPs, Form TCEQ-10263

cc: Mr. Jonathan R. Neslund, Bury+Partners, Inc., Austin, Texas  
The Honorable Dan A. Gattis, County Judge, Williamson County  
Mr. Paulo C. Pinto, B.S., R.S., Director of Environmental Services, Williamson County  
& Cities Health District  
Mr. Sam Roberts, P.E., Director of Public Works, City of Cedar Park  
Central Records, TCEQ Information Resources Division, Austin, Texas



Bryan W. Shaw, Ph.D., *Chairman*  
Buddy Garcia, *Commissioner*  
Carlos Rubinstein, *Commissioner*  
Mark R. Vickery, P.G., *Executive Director*



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## TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

*Protecting Texas by Reducing and Preventing Pollution*

August 29, 2011

Mr. Charlie Northington  
1890 Carssow East LTD  
504 Lavaca Street, Suite 1160  
Austin, Texas 78701

Re: Edwards Aquifer, Williamson County

NAME OF PROJECT: 1890 Ranch East; NW of FM 1432 and CR 185 Intersection; Cedar Park, Texas

TYPE OF PLAN: Application for Approval of a Contributing Zone Exception Request (CZPEXP)  
30 Texas Administrative Code (TAC) Chapter 213 Edwards Aquifer

Edwards Aquifer Protection Program ID No. 11-07092802; Investigation No. 950886;  
Regulated Entity No. RN105349179

Dear Mr. Northington:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZPEXP application for the referenced project submitted to the Austin Regional Office by Kimley-Horn and Associates, Inc. on behalf of 1890 Carssow East LTD on July 21, 2011. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed, and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Contributing Zone Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10% of the construction has commenced on the project or an extension of time has been requested.*

### PROJECT DESCRIPTION

The proposed exception request is for the addition of a 6,242 square foot Longhorn Steakhouse. The original approved CZP allowed for 0.85 acres of impervious cover on this 1.06 acre tract. The proposed CZPEXP has 0.85 acres of impervious cover. The impervious cover for this project was accounted for by the existing wet basin approved on November 27, 2007 (EAPP#11-07092801).

### SPECIAL CONDITIONS

- I. All sediment and/or media removed from the water quality basin during maintenance activities shall be properly disposed of according to 30 TAC 330 or 30 TAC 335, as applicable.
- II. This approval letter is being issued for regulated activities (as defined in Chapter 213) and for best management practices presented in the application. This approval does not constitute a water right permit or authorization from the TCEQ Dam Safety Program. Failure to obtain all necessary authorizations could result in enforcement actions. For more information on Water Rights Permits, please refer to:

[http://www.tceq.state.tx.us/permitting/water\\_supply/water\\_rights/wr\\_amiregulated.html](http://www.tceq.state.tx.us/permitting/water_supply/water_rights/wr_amiregulated.html)

For more information on the Dam Safety program, please refer to:

[http://www.tceq.state.tx.us/compliance/field\\_ops/dam\\_safety/damsafetyprog.html](http://www.tceq.state.tx.us/compliance/field_ops/dam_safety/damsafetyprog.html)

### STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

#### Prior to Commencement of Construction:

4. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project location until all regulated activities are completed.
5. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.

6. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the Austin Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and file number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.
7. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

8. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
9. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
10. Intentional discharges of sediment laden storm water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.
11. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
12. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.
13. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and

Mr. Charlie Northington  
Page 4  
August 29, 2011

approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 5, above.

After Completion of Construction:

14. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through the Austin Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.
15. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
16. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the Austin Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
17. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

If you have any questions or require additional information, please contact Mr. Jerrett Kramer of the Edwards Aquifer Protection Program of the Austin Regional Office at (512) 339-2929.

Sincerely,



Mark R. Vickery, P.G., Executive Director  
Texas Commission on Environmental Quality

MRV/wjk

Mr. Charlie Northington

Page 5

August 29, 2011

cc: Mr. Stephen C. Gose, P.E., Kimley-Horn and Associates, Inc.  
Mr. Sam Roberts, P.E., Assistant City Manager, City of Cedar Park  
Mr. Joe M. England, P.E., County Engineer, Williamson County  
TCEQ Central Records, Building F, MC 212

**ATTACHMENT D**

# **CEDAR PARK BARIATRICS**

## **Contributing Zone Exception Request Form (TCEQ-10262)**

### **Attachment D – Nature of Exception**

*Cedar Park Bariatrics is located on approximately 25 acres along FM 1431, to the east of Hwy 183. The project is within the limits of City of Cedar Park within Williamson County. The site is located over the Edwards Aquifer Contributing Zone. The site has previously approved CZP and CZP Exceptions.*

*The original CZP was in 2007 for the site, accounting for 238,642 cubic feet of volume for water quality or 21,647 lbs of TSS removal (EAPP ID# 07092801). In 2011, a CZP exception was approved for the construction of impervious cover still under the limits of what was designed for with the constructed pond, similar to this request (EAPP ID# 11-07092802).*

*The pond was built to provide 238,642 cubic feet of water quality volume, and treat 21,647 lbs of TSS removal. This expansion of the building will add an additional 0.014 acres of impervious cover to the site, resulting in an additional required 11 lbs of TSS treatment. This additional 11 lbs brings the total to 18,507 lbs which is still significantly less than the 21,647 lbs, and causes no increase to the water quality volume required on the site.*

**ATTACHMENT E**



# **CEDAR PARK BARIATRICS**

## **Contributing Zone Exception Request Form (TCEQ-10262)**

### **Attachment E – Documentation of Equivalent Water Quality Protection**

*This development proposes an expansion to an existing building that is 620 square feet. The pond previously approved in CZP was designed to provide 238,642 cubic feet of water quality volume.*

*This expansion of the building will add an additional 0.014 acres of impervious cover to the site. This will result in an additional required 11lbs of TSS treatment.*

*The pond designed in the CZP was oversized, and has enough capacity to treat the 11lbs required per this expansion of the building. The existing PBMP is adequately sized to treat this increase in impervious cover.*

**TEMPORARY STORMWATER  
SECTION (TCEQ-0602)**

# Temporary Stormwater Section

## Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

*To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.*

*Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.*

## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Brent Tuley, P.E.

Date: 9-6-2024

Signature of Customer/Agent:



Regulated Entity Name: Cedar Park Bariatrics

## Project Information

### Potential Sources of Contamination

*Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.*

1. Fuels for construction equipment and hazardous substances which will be used during construction:

☐ The following fuels and/or hazardous substances will be stored on the site: \_\_\_\_\_

These fuels and/or hazardous substances will be stored in:

☐ Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

- ☐ Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
- ☐ Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- ☒ Fuels and hazardous substances will not be stored on the site.
- 2. ☒ **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3. ☐ Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4. ☒ **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

### ***Sequence of Construction***

- 5. ☒ **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
  - ☒ For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
  - ☒ For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6. ☒ Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: Turkey Creek-Brushy Creek

### ***Temporary Best Management Practices (TBMPs)***

*Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.*

- 7. ☒ **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- ☒ A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
  - ☒ A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
  - ☒ A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
  - ☒ A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8. ☒ The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- ☐ **Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
- ☒ There will be no temporary sealing of naturally-occurring sensitive features on the site.
9. ☒ **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10. ☒ **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
  - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
  - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
  - ☐ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

- ☒ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.
11. ☐ **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.
- ☒ N/A
12. ☒ **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13. ☒ All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14. ☒ If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15. ☒ Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16. ☒ Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

## ***Soil Stabilization Practices***

*Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.*

17. ☒ **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

18. ☒ Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
19. ☒ Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

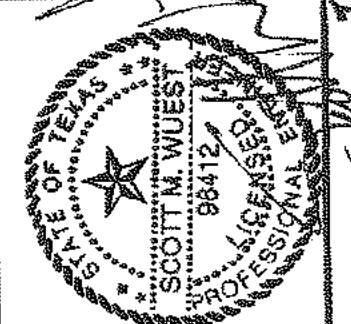
### ***Administrative Information***

20. ☒ All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
21. ☒ If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
22. ☒ Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.









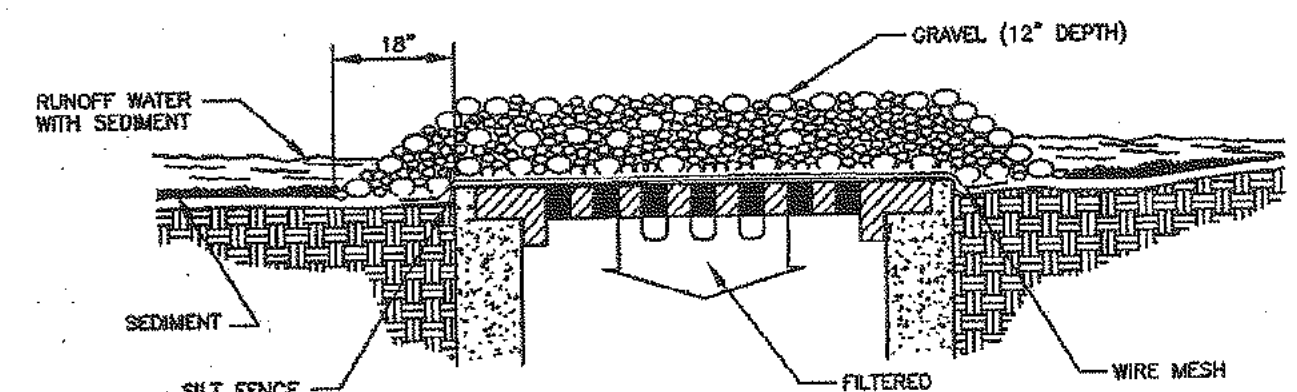
# EROSION & SEDIMENTATION CONTROL NOTES & DETAILS

**1890 RANCH EAST  
RM 1431 C-BAR RANCH TRAIL  
CEDAR PARK, TEXAS**

PLOTTING SCALE: 1" = 1'
DATE PLOTTED: 09/21/07
FILE: C:\1000\68\EST\100068.GR
DRAWN BY: SPM
DESIGNED BY: CBL
REVIEWED BY: SMW
PROJECT NO: 1000-68

SHEET  
**20**  
OF 62

**SD-07-00032**

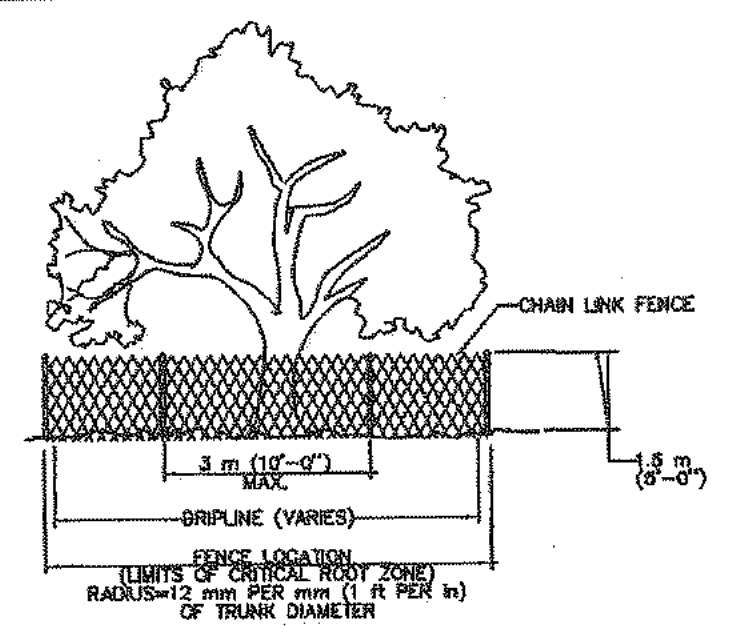


WATER

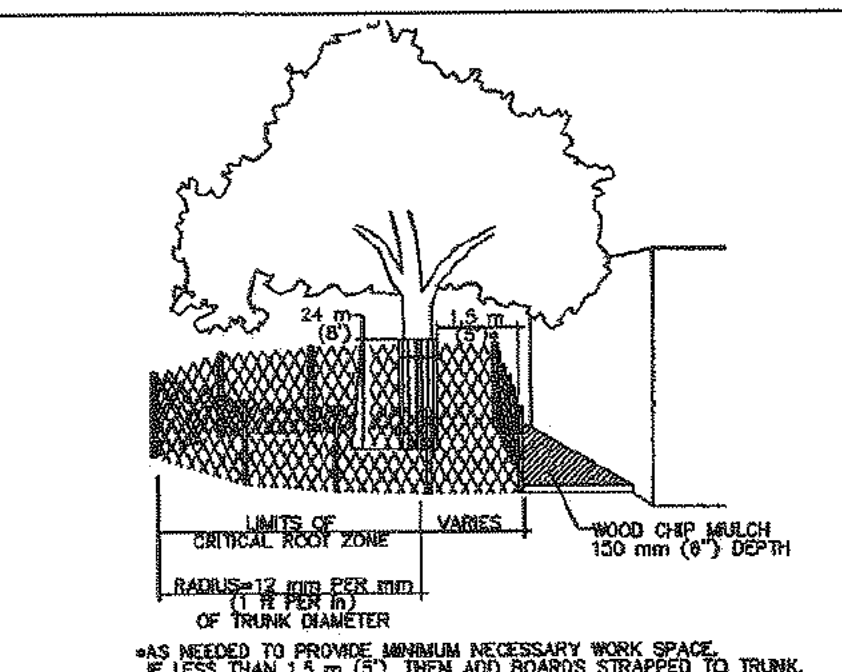
NOTE:

- WIRE MESH SHALL BE LAID OVER THE DROP INLET SO THAT THE WIRE EXTENDS MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARROWING CLOTH OR COMPOUND WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED A MINIMUM OF 2 INCHES.
- AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED ABOVE. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
- IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.

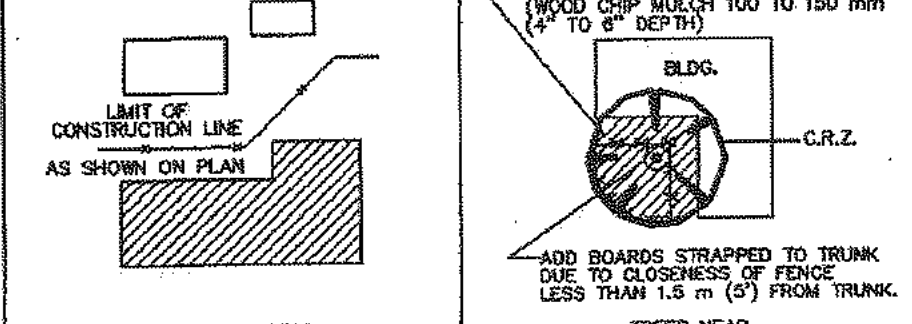
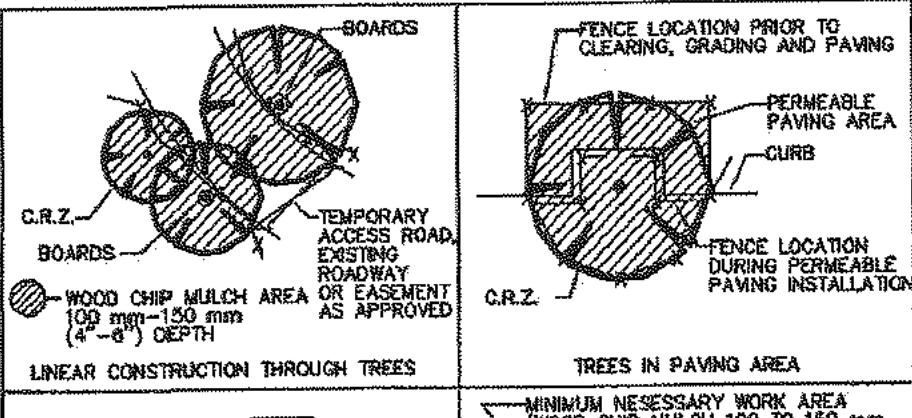
**INLET PROTECTION/SEDIMENT FILTER**  
GRAVEL AND WIRE MESH DROP INLET SEDIMENT FILTER  
N.T.S.



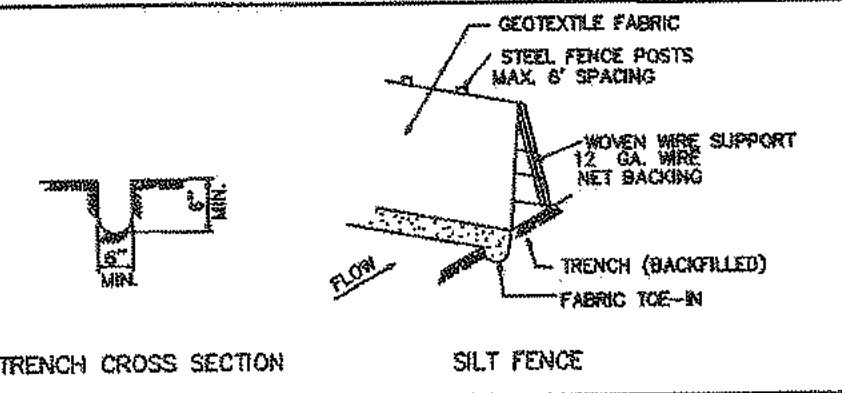
CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT		TREE PROTECTION FENCE TYPE A - CHAIN LINK	
RECORD COPY SIGNED BY J. PATRICK MURPHY	11/13/89	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 610S-2
ADOPTED			



CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT		TREE PROTECTION FENCE MODIFIED TYPE A - CHAIN LINK	
RECORD COPY SIGNED BY J. PATRICK MURPHY	11/15/99	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD HL 610S-4
ADOPTED			



CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT		TREE PROTECTION FENCE LOCATIONS	
RECORD COPY SIGNED BY J. PATRICK MURPHY	11/15/99	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 610S-1
ADOPTED			

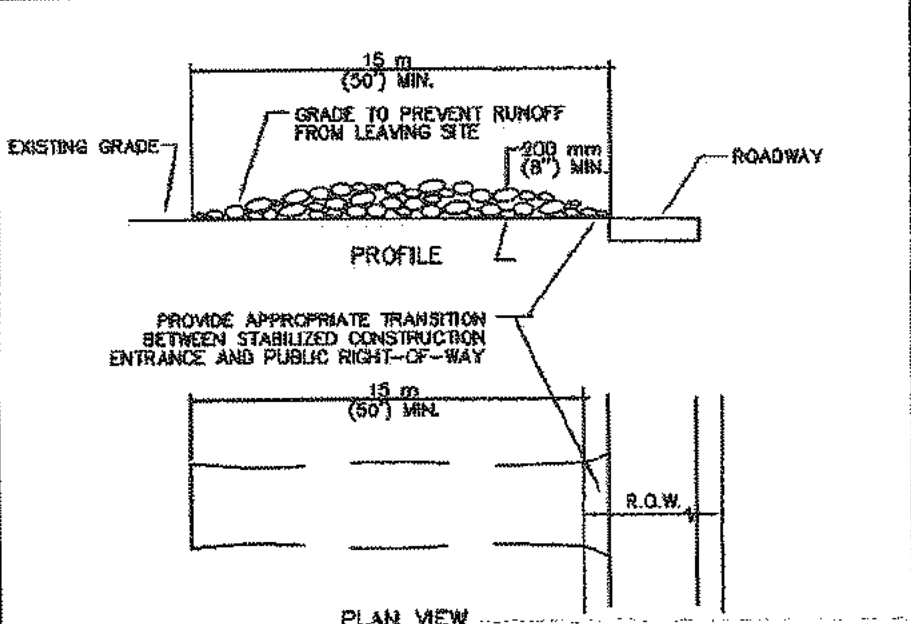


GENERAL NOTES:

1. SILT FENCE LOCATED ADJACENT TO PLAYGROUNDS, PARKS, SIDEWALKS, AND OTHER LOCATIONS AS DETERMINED BY CITY OF CEDAR RAPIDS REPRESENTATIVES SHALL HAVE CITY APPROVED SAFETY CAPS ON ALL STEEL POSTS.
2. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE.
3. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT. THE TOP OF THE SILT FENCE SHALL BE TRENGEDH IN WITH A SHAPED OR MECHANICAL TRENGEDH SO THAT THE DOWNSTREAM FACE OF THE TRENGH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
4. WHERENE FENCE CAN NOT BE TRENGEDH IN (E.G. PAVEMENT) WEIGHT FIBER FLAP OR OTHER MATERIAL SHALL BE USED TO WEIGHEN FENCE. WEIGHTS ARE 6 INCHES DEEP AND 8 INCHES WIDE TO THE TRENGH MUST BE A MINIMUM OF 4" ALLOW FOR THE SILT FENCE FIBER TO BE LAID IN THE GROUND AND BACKFILLED WITH UNCOMPACTED MATERIAL.
5. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST.
6. INSPECTION SHALL BE MADE PROMPTLY AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY.
7. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS TO ELUCTH OR IMPROVE STORMWATER DRAINAGE. ACQUIRED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES.
8. THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

STANDARD SPECIFICATION  
160

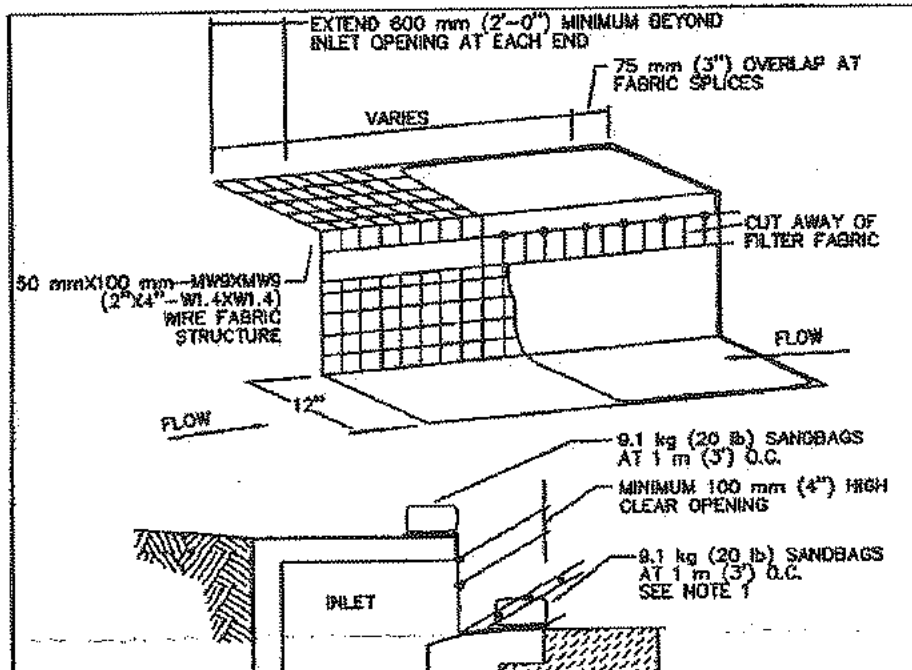
CITY OF CEDAR PARK ENGINEERING DEPARTMENT		SILT FENCE	
DARWIN MARCHELL 09/13/2001		ADOPTED: 09/13/2001	
		SCALE: N.T.S.	
APPROVED	DATE	INITIAL:	



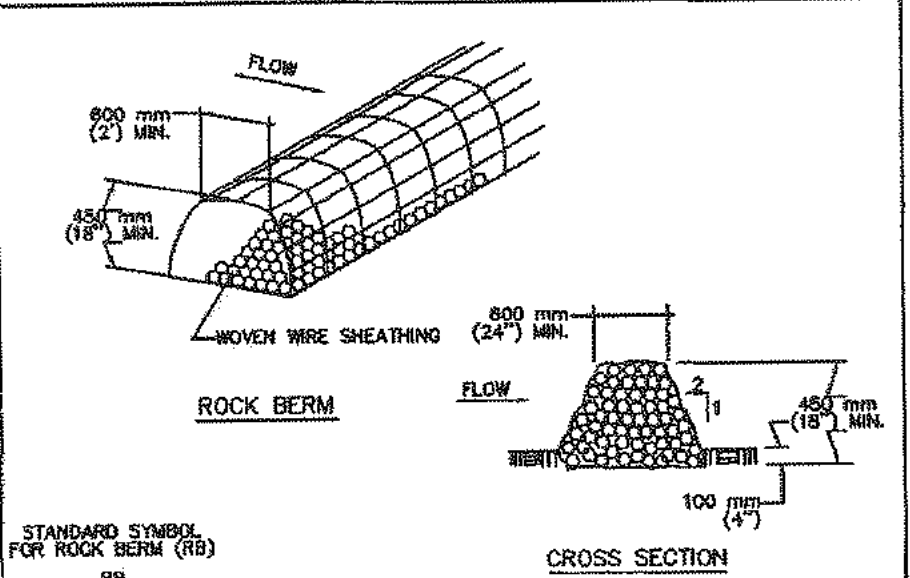
NOTES:

1. STONE SIZE: 75-125 mm (3"-8") OPEN GRADED ROCK.
2. LENGTH AS EFFECTIVE BUT NOT LESS THAN 15 m (50').
3. THICKNESS: NOT LESS THAN 150 mm (6").
4. WIDTH: NOT LESS THAN FULL WIDTH OF ALL PORTS OF INGRESS/EGRESS.
5. WASHING: WHEN NECESSARY, VEHICLE WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT FROM THE SURFACE OF THE STONE. WASHING SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE AND DRAINS INTO AN APPROVED DRAINAGE SYSTEM. WASHING SHALL NOT BE DONE IN ANY DRAIN EXCEPTING ANY STORM DRAIN, ETC. OR WATERCOURSE USING APPROVED METHODS.
6. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL ALLOW TRUCKING OF FLOW OF SEDIMENT INTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND PERIODIC CLEANING OF THE ENTRANCE TO PREVENT SEDIMENT FROM ACCUMULATING. ALL SEDIMENTS THAT IS SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY SHALL BE REMOVED IMMEDIATELY.
7. DRAINAGE: ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

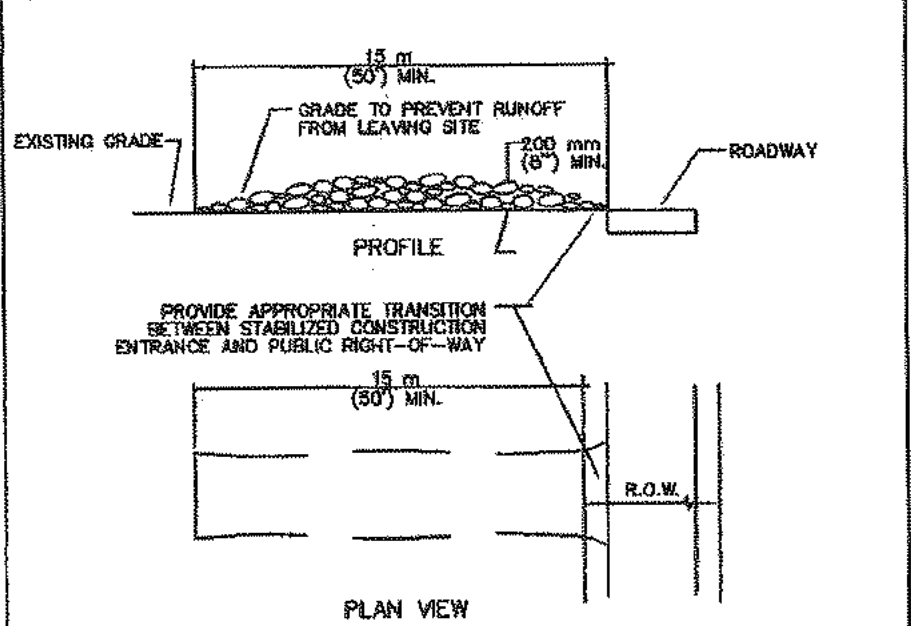
CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT		STABILIZED CONSTRUCTION ENTRANCE	
RECORD COPY SIGNED BY J. PATRICK MURPHY	5/23/00	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 641S-1
ADOPTED			

[illegible]

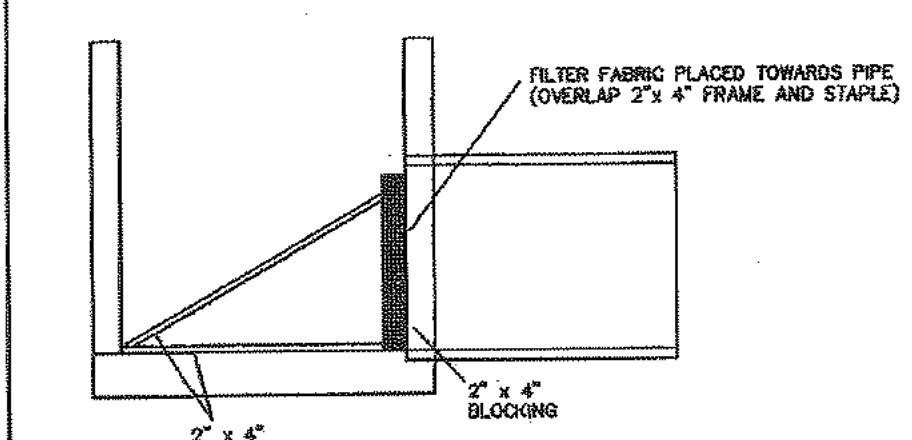
CITY OF AUSTIN DEPARTMENT OF TRANSPORTATION PROTECTION AND DEVELOPMENT REVIEW		FILTER DIKE CURB INLET PROTECTION	
RECORD COPY SIGNED BY HENRY CASAS	1/2/07 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 628S-2

[illegible]

CITY OF AUSTIN WATERWORKS PROTECTION DEPARTMENT		ROCK BERM	STANDARD NO. 639S-1
RECORD COPY SIGNED BY J. PATRICK MURPHY		5/23/00	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

[illegible]

CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT		STABILIZED CONSTRUCTION ENTRANCE	
RECORD COPY SIGNED BY J. PATRICK MURPHY		6/23/00	STANDARD NO. 641S-1
		THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	ADOPTED



NOTES:

STORM INLET SEDIMENT TRAPS SHALL BE PLACED IN ALL PROPOSED CURB INLETS AND AREA INLETS AS DIRECTED BY THE CITY OF CEDAR PARK'S PROJECT REPRESENTATIVE.

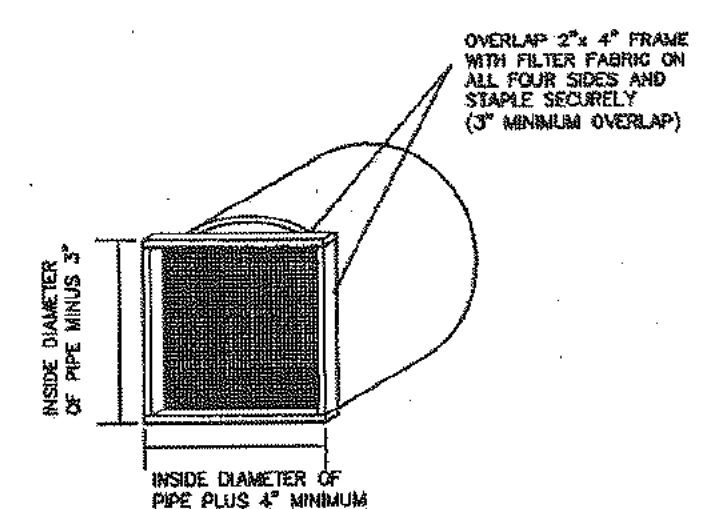
THE LATERAL BRACING SHALL BE PLACED IN A MANNER AS ADEQUATELY SECURE THE FILTER FABRIC TO THE SIDE OF THE INLET, INSURING THE PROPER FUNCTION OF THE SEDIMENT TRAP.

FILTER FABRIC MAY BE IDENTICAL TO THAT SPECIFIED AS "TEMPORARY SEDIMENT CONTROL FENCE."

OTHER MATERIAL MAY BE USED UPON APPROVAL OF THE CITY OF CEDAR PARK'S PROJECT REPRESENTATIVE.

THE "STORM INLET SEDIMENT TRAP" SHALL BE INSTALLED UPON COMPLETION OF THE PROPOSED INLET WALLS OR AS DIRECTED BY THE CITY OF CEDAR PARK'S PROJECT REPRESENTATIVE.

CITY OF CEDAR PARK PUBLIC WORKS ENGINEERING	STANDARD DETAIL STORM INLET SEDIMENT TRAP	
	ADOPTED: 01/02/01	
DARWIN MARCHELL, P.E.	SCALE: NTS	
	INITIAL:	



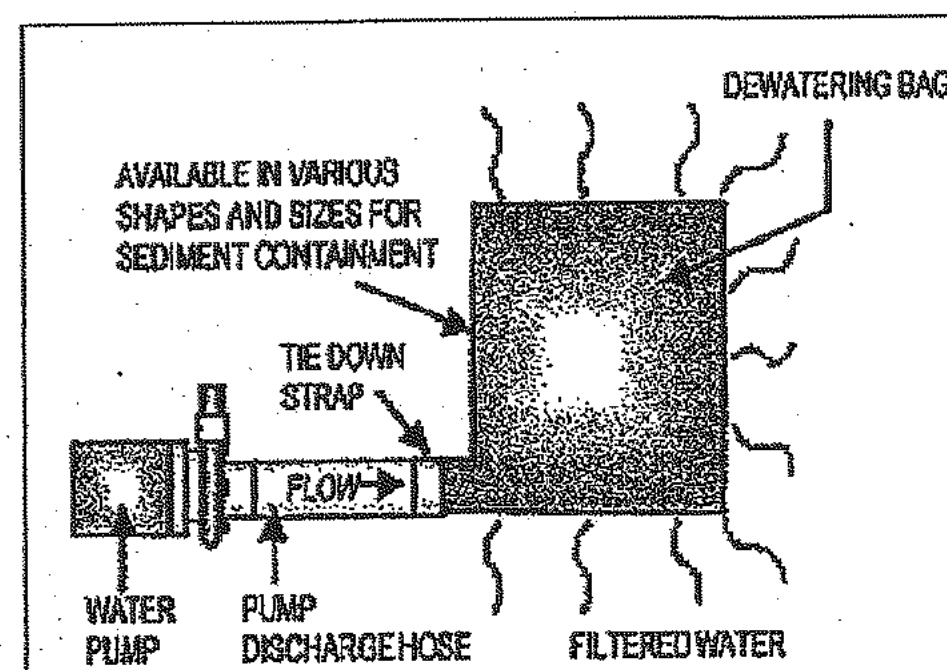
THE CONTRACTOR WILL BE REQUIRED TO PERFORM PERIODIC MAINTENANCE OF THE SEDIMENT TRAP AND REMOVE ACCUMULATED SILT AS DIRECTED BY THE CITY OF CEDAR PARK'S PROJECT REPRESENTATIVE.

"STORM INLET SEDIMENT TRAPS" SHALL REMAIN IN PLACE UNTIL CONSTRUCTION OF THE PROPOSED INLET DECK BEGINS.

ALL WOOD SHALL BE PRESSURE TREATED.

STORM INLET SEDIMENT TRAP

1000



**APPROVED**  
JUL 26 2018  
PLANNING DEPT.  
CITY OF CEDAR PARK

**APPROVED**

**Description:**  
A gravity bag filter, also referred to as a dewatering bag, is a square or rectangular bag made of non-woven geotextile fabric that collects sand, silt, and fines.

**Appropriate Applications:**

Effective for the removal of sediments (gravel, sand, and silt). Some metals are removed with the sediment.

**Implementation:**  
Water is pumped into one side of the bag and seeps through the bottom and sides of the bag.

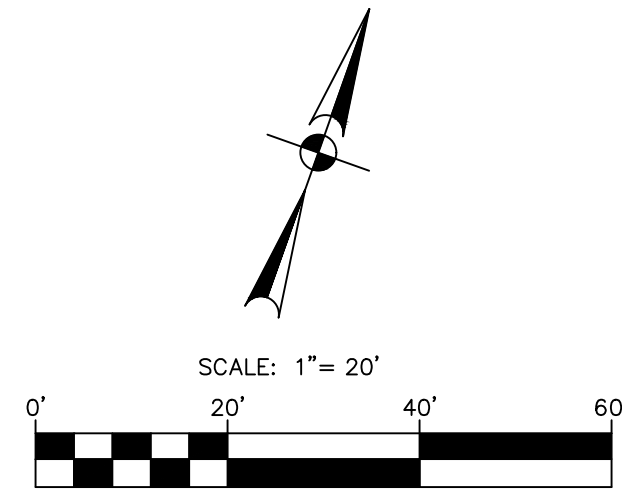
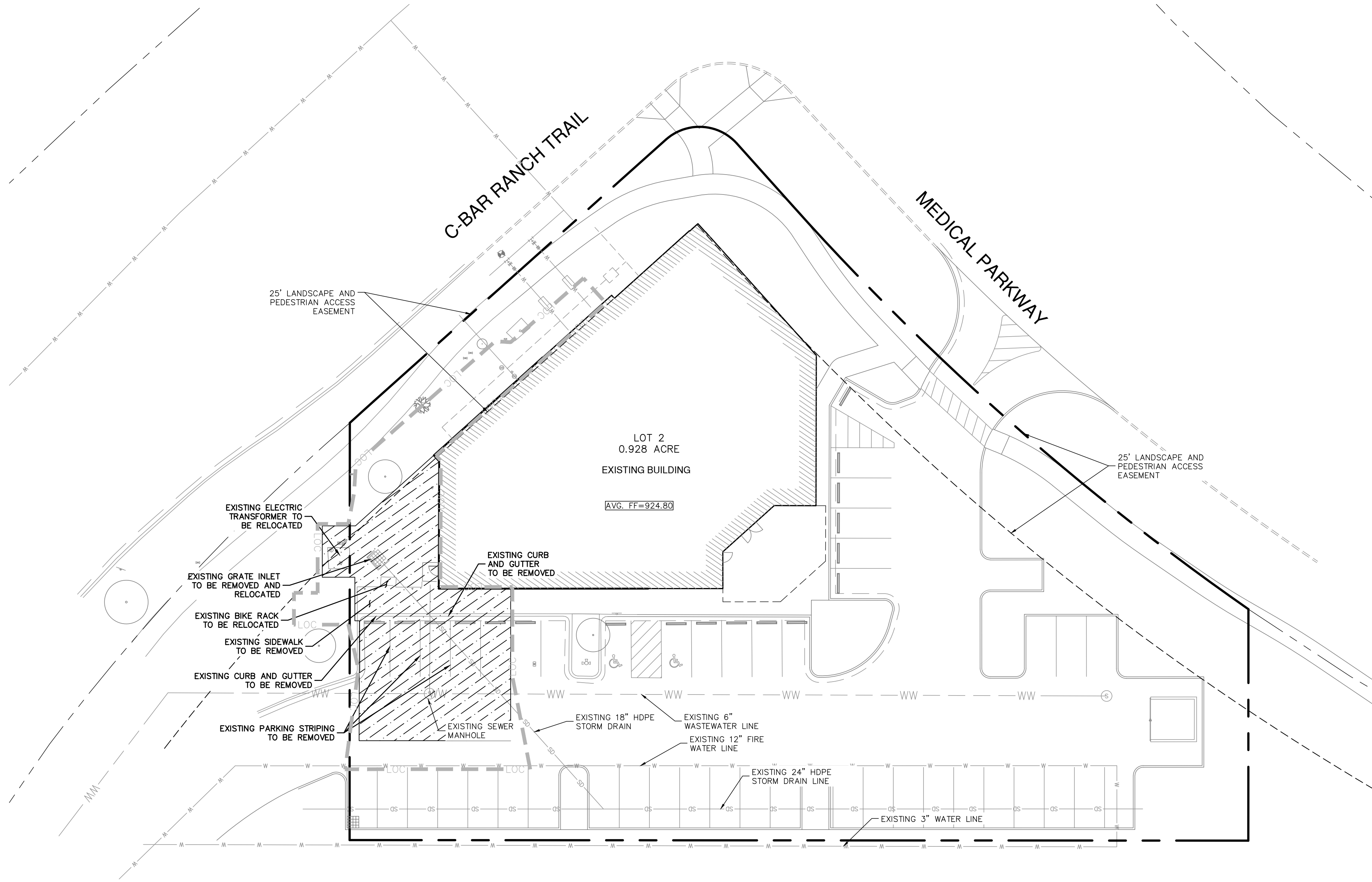
A secondary barrier, such as a rock filter bed or arm-and-hydrant bale barrier, is placed beneath the bottom and sides of the bag to ensure that water collects and exits the bag.

**Maintenance:**  
Inspection of the flow conditions, bag condition, bag capacity, and the secondary barrier is required.

Replace the bag when it no longer filters sediment or passes water at a reasonable rate.

**DEWATERING BAG DETAIL**





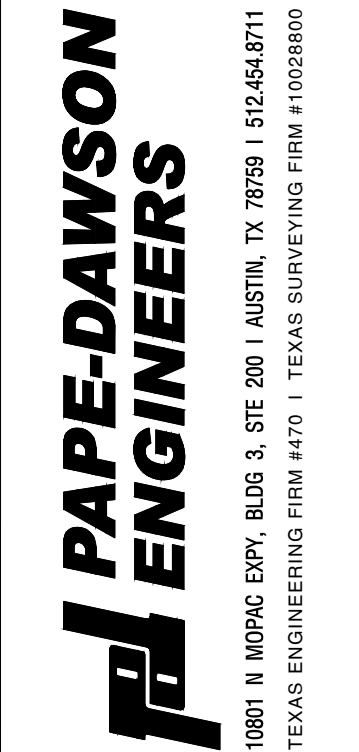
#### LEGEND

	PROPERTY LINE
	LIMITS OF CONSTRUCTION
	EXISTING OVERHEAD ELECTRIC
	EXISTING WATER LINE
	EXISTING WASTEWATER LINE
	EXISTING STORM SEWER LINE
	EXISTING FIBER OPTIC LINE
	EXISTING TELEPHONE LINE
	EXISTING TELEPHONE LINE
	EXISTING TELEPHONE LINE
	BENCHMARK
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING WATER VALVE
	EXISTING GAS METER
	EXISTING WASTEWATER CLEANOUT
	EXISTING LIGHT
	EXISTING SIGN
	DEMOLITION AREA

#### DEMOLITION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL ITEMS SHOWN TO BE DEMOLISHED UNLESS OTHERWISE INDICATED. ALL MATERIALS SHALL BE DEMOLISHED AND REMOVED FROM SITE IN ACCORDANCE WITH ALL APPLICABLE, FEDERAL, STATE AND LOCAL REGULATIONS.
3. ALL EXISTING ITEMS NOT SPECIFICALLY NOTED TO BE DEMOLISHED SHALL REMAIN. CONTRACTOR IS RESPONSIBLE FOR REPLACING EXISTING ITEMS REMOVED DURING DEMOLITION THAT WERE TO REMAIN.
4. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES, POWER POLES TO BE REMOVED, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND THAT ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
5. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, THROUGHOUT ALL PHASES OF CONSTRUCTION.
6. ALL NECESSARY EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND IN WORKING CONDITION AT ALL TIMES.
7. CONTRACTOR SHALL CONFIRM WITH THE OWNER OR HIS DESIGNATE WHETHER TO SALVAGE AND MAKE ARRANGEMENTS TO STORE TRANSPLANTABLE TREES PRIOR TO REMOVAL.
8. FOR TREES SHOWN TO REMAIN, THE CONTRACTOR SHALL INSTALL TREE PROTECTION IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOT REMOVE OR DAMAGE ANY TREES WITHOUT A PERMIT TO DO SO.
9. NO PARKING AND/OR STORAGE SHALL BE ALLOWED WITHIN THE DRIP LINE OF THE TREES TO REMAIN.
10. THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS AND SIDEWALKS AT NEW PAVEMENT, CURB AND SIDEWALK JUNCTURES, NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.
11. THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS, BENCH MARKS, CONSTRUCTION STAKES, HUBS, OR OTHER KEY CONTROL POINTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO RE-ESTABLISH ANY SUCH POINTS AT THEIR OWN EXPENSE.
12. DEMOLITION CONTRACTOR IS RESPONSIBLE FOR CLEARING THE SITE OF ALL OBSTRUCTIONS THAT EXIST ON THIS SITE PRIOR TO THE START OF CONSTRUCTION OR DURING THE CONSTRUCTION SO AS TO NOT IMPEDE THE BUILDING CONSTRUCTION CONTRACTOR.
13. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND REUSED. CONTRACTOR SHALL REPLACE AT HIS EXPENSE ANY DESTROYED MATERIAL OR EQUIPMENT THAT WAS MARKED FOR SALVAGE.
14. NO EXISTING ASPHALT OR CONCRETE PAVING SCHEDULED FOR REMOVAL SHALL REMAIN ON-SITE OR BE USED AS FILL MATERIAL. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL HAZARDOUS MATERIAL OFFSITE FOLLOWING ALL APPLICABLE DISPOSABLE REGULATIONS.
15. CONTRACTOR SHALL REMOVE ALL EXISTING IRRIGATION PIPING ON SITE. CUT AND CAP LATERALS AT PROJECT LIMITS TO ALLOW PROPER FUNCTION OF ZONES EXTENDING OFF-SITE.
16. CONTRACTOR SHALL NOT DEMOLISH ANY PUBLIC WATER OR SANITARY SEWER LINES WITHOUT APPROVAL. EXISTING WATER AND SANITARY SEWER SERVICES SHALL REMAIN OPERATIONAL UNTIL NEW SERVICE IS COMPLETE. CUT AND CAP ANY ABANDONED SANITARY SEWER AND WATER SERVICES AT THE EXISTING MAIN. NO ABANDONED SERVICES SHALL REMAIN CONNECTED TO THE PUBLIC MAIN.
17. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
18. ALL WASTE MATERIAL REMAINING AFTER OWNER SALVAGE IS COMPLETE AND RESULTING FROM DEMOLITION OPERATIONS BECOMES THE PROPERTY OF THE CONTRACTOR. APPROPRIATE DISPOSAL OF WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT HIS OWN EXPENSE. OWNER WILL PROVIDE LIST OF ITEMS TO BE SALVAGED.
19. THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE, FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCT BANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT THE CONTRACTORS SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.
20. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER.
21. THE CONTRACTOR SHALL MEET ALL LOCAL, STATE, AND FEDERAL REGULATIONS FOR DUST CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE AT THEIR OWN EXPENSE FOR ANY FUGITIVE DUST ON ADJOINING PROPERTIES.
22. AFTER DEMOLITION, CONTRACTOR SHALL DRAIN AWAY FROM EXISTING STRUCTURES.

NO.	REVISION	DATE
R4	BUILDING ADDITION PLANS	9/03/2024



## CEDAR PARK 1-ACRE APEX

CEDAR PARK, TEXAS

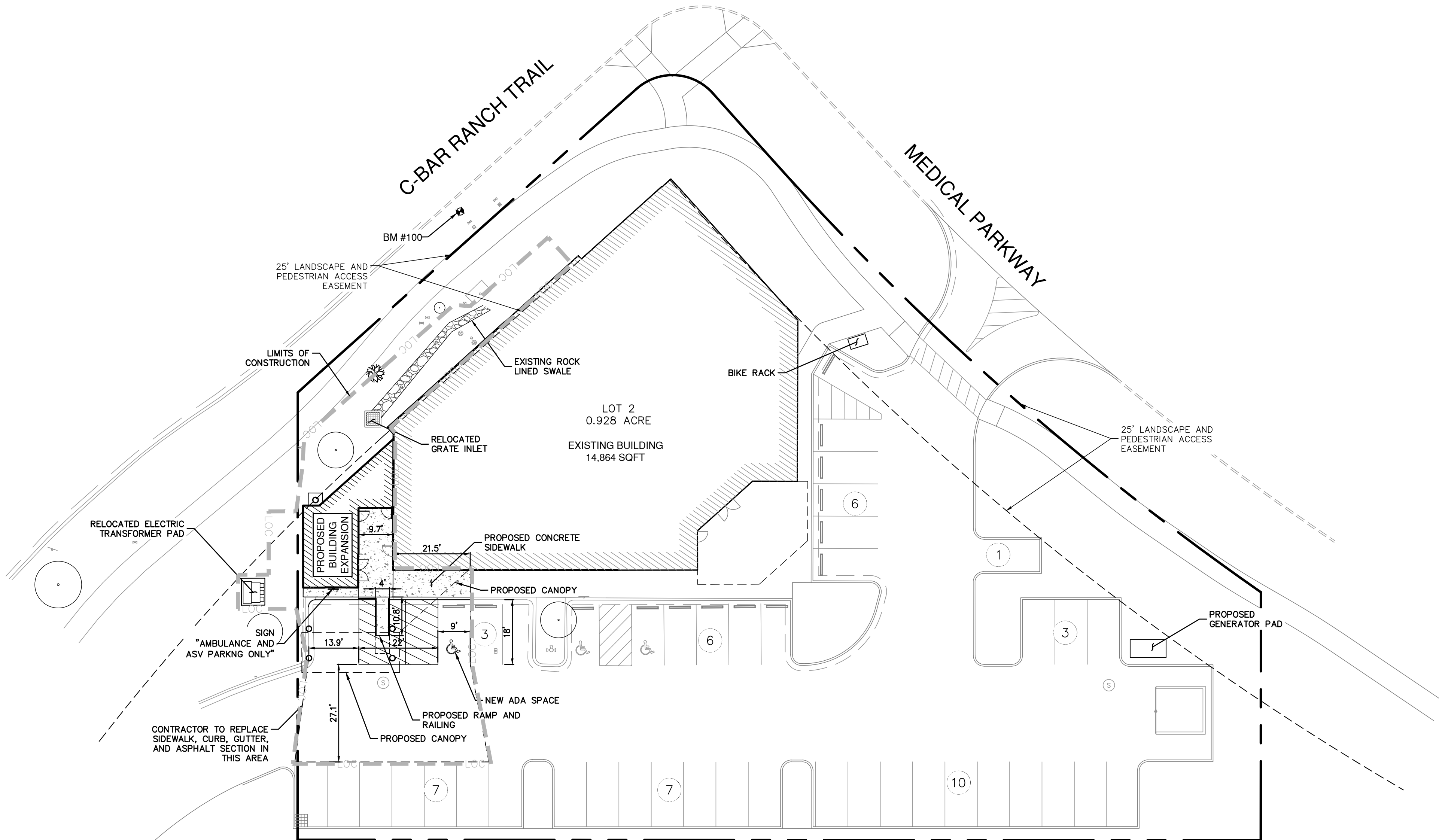
### EXISTING CONDITIONS AND DEMOLITION PLAN

PLAT NO.	2008047378
JOB NO.	51563-00
DATE	SEPTEMBER 2024
DESIGNER	JR
CHECKED	BT
DRAWN	JR
SHEET	65-6



Date: August 16, 2024, 3:44 PM — User ID: jrobinson  
File: H:\Projects\515163\00\301\_Construction Documents\DWG\SitePlan-00.dwg

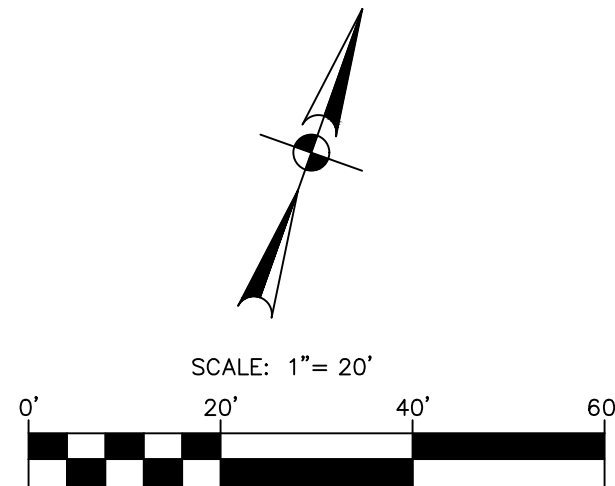
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SITE IMPERVIOUS COVER\* 620 SF  
ADDED IMPERVIOUS COVER

#### DIMENSIONAL CONTROL NOTES:

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL HORIZONTAL AND VERTICAL CONTROL PER THE CONSTRUCTION DRAWINGS.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL USE THE PROPERTY PINS FOR HORIZONTAL CONTROL POINTS. BENCHMARKS ARE NOT TO BE USED FOR HORIZONTAL CONTROL.
- DIMENSIONAL CONTROL POINTS ARE TO BACK OF CURB. DIMENSIONS ARE TO THE FACE OF CURB, FACE OF RETAINING WALL, AND CENTER OF PAINT STRIPING. ALL DIMENSIONS ARE PERPENDICULAR TO THE POINT OF REFERENCE.
- REFER TO THE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL DIMENSION CONTROL INFORMATION.
- ALL CONCRETE CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
- COORDINATES FOR HORIZONTAL CONTROL POINTS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD NAVD88 DISPLAYED IN SURFACE VALUES USING A SURFACE ADJUSTMENT FACTOR FOR EACH COUNTY. (THE SURFACE ADJUSTMENT FACTOR FOR THIS SITE IS 0.99987.)



#### LEGEND

- PROPOSED RIBBON CURB
- PROPOSED CURB AND GUTTER
- LOC LIMITS OF CONSTRUCTION
- PROPOSED ADA CURB RAMP
- ADA PATH
- PROPOSED BUILDING
- PROPOSED SIDEWALK
- 10 PARKING COUNT

#### GENERAL NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THESE PLANS IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRY LOCATIONS, DOWNSPOUT LOCATIONS AND TOTAL NUMBER OF DOWNSPOUTS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING CONSTRUCTION. NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.
- CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES.
- ALL EXISTING MANHOLE COVERS, METER BOXES, VALVE CASTINGS, POST INDICATOR VALVES, FIRE HYDRANTS, ETC. SHALL BE ADJUSTED TO FINISHED GRADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TESTING, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THIS SCOPE OF WORK SHALL COMPLY WITH THE PROJECT GEOTECH REPORT, THE PROJECT SPECIFICATIONS, THE CURRENT APPLICABLE CITY, COUNTY AND/OR TxDOT "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND WATER AND SEWER PURVEYOR STANDARD SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, SIGNS OR OTHER ITEMS INTENDED TO REMAIN.
- CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS AND SIDEWALKS AT NEW PAVEMENT, CURB AND SIDEWALK JUNCTURES. NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.
- CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN SIZE, GRADE, TYPE, AND ALIGNMENT AT ADJACENT ROADWAYS.
- WHERE PROPOSED CURB TIES TO EXISTING CURB, CONTRACTOR SHALL VERIFY CURB AND PAVEMENT ELEVATIONS PROVIDED.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED AFTER CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING VEGETATION IN ALL DISTURBED AREAS BY PERIODIC WATERING OR OTHER APPROVED MEANS. REFERENCE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT OR LIMITS OF ALL ITEMS COVERED WITHIN THE SCOPE OF WORK OF THESE PLANS.
- DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, ACCESS MUST BE PROVIDED TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER MONUMENTATION, CONTROL POINTS & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS SUBS OR EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- THERE SHALL BE A MINIMUM 5 FT LANDING AREA IN FRONT OF ALL ENTRANCES. THE LANDING AREA SHALL SLOPE AT 2% MAXIMUM.
- DESIGNATED ACCESSIBLE ROUTES SHALL COMPLY WITH T&S. ACCESSIBLE ROUTES SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL; RAMPS SHALL NOT EXCEED 1:12 IN THE DIRECTION OF TRAVEL; NOR SHALL THE ACCESSIBLE ROUTE EXCEED 2% CROSS SLOPE.
- THIS SITE PLAN HAS BEEN SUBMITTED TO THE TEXAS DEPARTMENT OF LICENSING AND REGULATION FOR REVIEW OF COMPLIANCE WITH THE ARCHITECTURAL BARRIERS ACT. THE REFERENCE #TABS2023001076 IS PROOF OF SUBMITTAL TO TDLR.

#### BENCHMARKS:

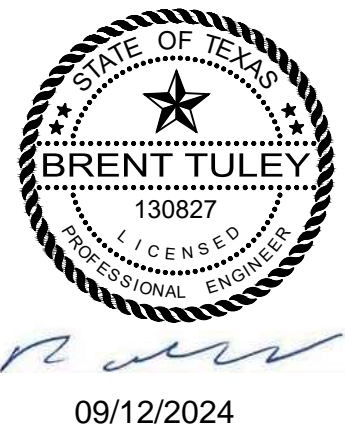
BENCHMARKS ARE BASED ON NAD83  
COORDINATES ARE STATE PLANE CENTRAL ZONE WITH A COMBINED  
SCALE FACTOR OF 0.99988

BM #100: SET MAGNETIC NAIL  
GRID NORTH: 10,166,817.40  
GRID EAST: 3,090,995.12  
ELEV: 924.66

#### GEOTECHNICAL REPORT:

FOR INFORMATIONAL PURPOSES ONLY, CONTRACTOR SHOULD CONSULT THE  
APPLICABLE GEOTECHNICAL INVESTIGATION - UES PROFESSIONAL SOLUTIONS 63, LLC.  
PROJECT# 24-0950 STUDY FOR CEDAR PARK SURGEONS, CEDAR PARK, TEXAS,  
DATED AUGUST 29, 2024, AND THE APPLICABLE SUPPLEMENTAL LETTER DATED  
AUGUST 24, 2024.

NO.	REVISION	DATE
R4	BUILDING ADDITION PLANS	9/03/2024



**PAPE-DAWSON**  
**ENGINEERS**

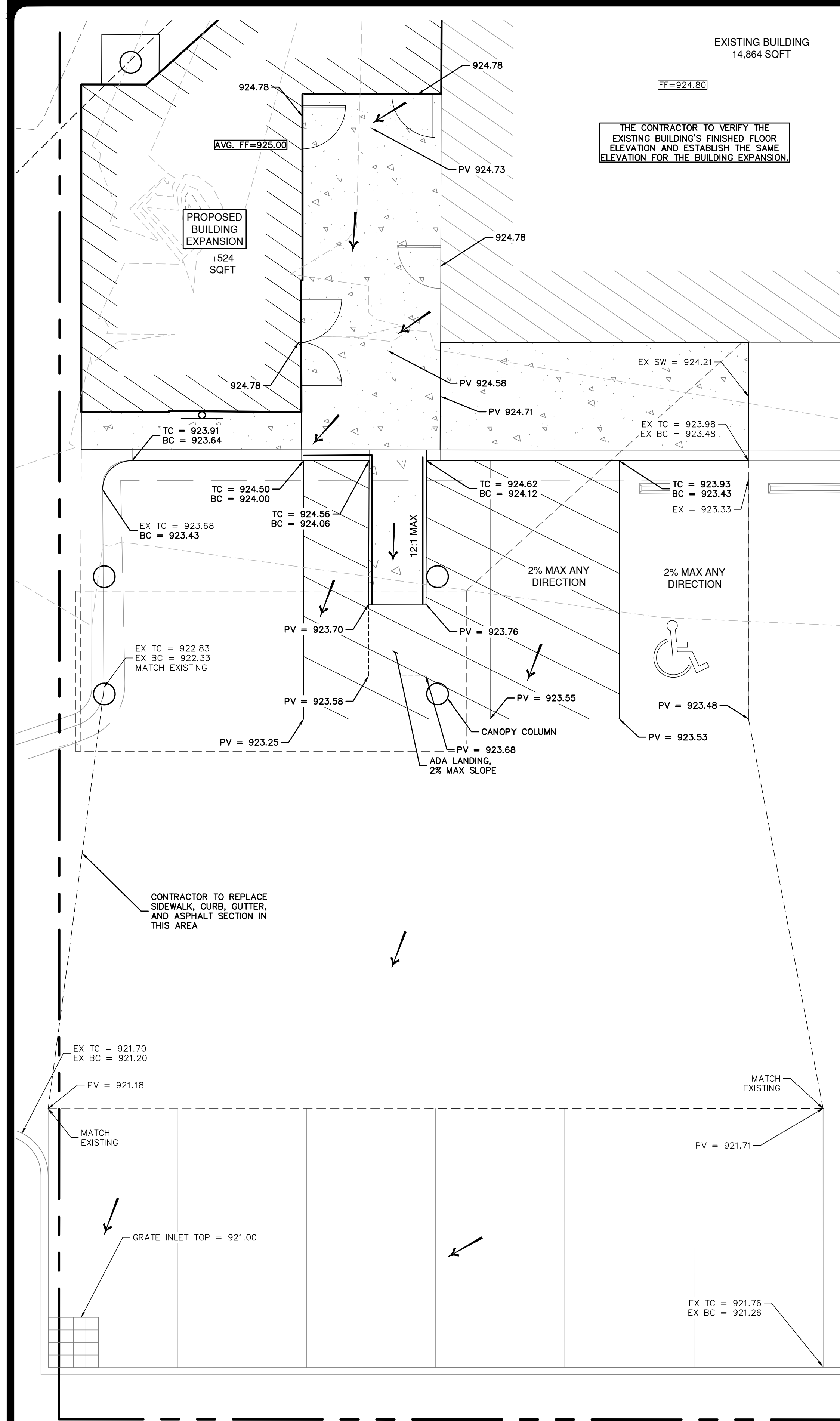
10801 N. MIDPAC EXPY, BLDG. 3, STE. 200 | AUSTIN, TX 78759 | 512-454-8711  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

**CEDAR PARK 1-ACRE APEX**  
**CEDAR PARK, TEXAS**

**SITE PLAN**

PLAT NO.	2008047378
JOB NO.	51563-00
DATE	SEPTEMBER 2024
DESIGNER	JR
CHECKED	BT
DRAWN	JR
SHEET	66-11





GRADING DETAIL  
SCALE: 1" = 5'

#### SWPPP NOTES:

- DO NOT DISTURB VEGETATED AREAS (TREES, GRASS, WEEDS, BRUSH, ETC.) ANY MORE THAN NECESSARY FOR CONSTRUCTION.
- CONCRETE WASHOUT PIT AND CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARD TO BE FIELD LOCATED.
- STORM WATER POLLUTION PREVENTION CONTROLS MAY NEED TO BE MODIFIED IN THE FIELD TO ACCOMPLISH THE DESIRED EFFECT. ALL MODIFICATIONS ARE TO BE NOTED ON THIS EXHIBIT AND SIGNED AND DATED BY THE RESPONSIBLE PARTY.
- CONTRACTOR SHALL RESTRICT ENTRY/EXIT TO THE PROJECT SITE TO DESIGNATED LOCATIONS BY USE OF ADEQUATE FENCING IF NECESSARY.
- ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED AND IN WORKING CONDITIONS AT ALL TIMES.
- FOR A COMPLETE LISTING OF TEMPORARY STORM WATER POLLUTION PREVENTION CONTROLS REFER TO THE TPDES STORM WATER POLLUTION PREVENTION PLAN.
- STORMWATER POLLUTION PREVENTION STRUCTURES SHOULD BE CONSTRUCTED WITHIN THE SITE BOUNDARIES. SOME OF THESE FEATURES MAY BE SHOWN OUTSIDE THE BOUNDARIES ON THIS PLAN FOR VISUAL CLARITY.
- AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SUCH AS PARKWAYS, EASEMENTS, EMBANKMENT SLOPES, ETC. SHOULD BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS AND LANDSCAPE PLANS.
- BEST MANAGEMENT PRACTICES MAY BE INSTALLED IN STAGES TO COINCIDE WITH THE DISTURBANCE OF UPGRADIENT AREAS.
- BEST MANAGEMENT PRACTICES MAY BE REMOVED IN STAGES ONCE THE WATERSHED FOR THAT PORTION CONTROLLED BY THE BEST MANAGEMENT PRACTICES HAS BEEN STABILIZED IN ACCORDANCE WITH TPDES REQUIREMENTS.
- UPON COMPLETION OF THE PROJECT, INCLUDING SITE STABILIZATION, AND BEFORE FINAL PAYMENT IS ISSUED, CONTRACTOR SHALL REMOVE ALL SEDIMENT & EROSION CONTROL MEASURES.
- MUD OR DIRT INADVERTENTLY TRACKED OFF-SITE AND ONTO EXISTING STREETS SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.

#### TREE NOTES:

- SURVEY INCLUDES ALL TREES THAT ARE 8" OR GREATER THAT ARE HARDWOOD.
- TREES LOCATED IN THE FLOODPLAIN ARE NOT COLLECTED AS DEVELOPMENT WILL NOT IMPACT FLOODPLAIN.
- MITIGATION PLAN TO BE PROVIDED AT SITE PLAN STAGE

#### GRADING NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. SLOPES OF ALL GRASS AREAS AROUND BUILDING FOUNDATION SHALL BE A MINIMUM OF 3% AWAY TO CAUSE POSITIVE DRAINAGE. DRAINAGE PATTERNS SHOWN ON GRADING SHEETS SHALL NOT BE OBSTRUCTED WITH LANDSCAPE MATERIAL.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FROM CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT.
- ALL BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- RETAINING WALL ELEVATIONS AND DESIGN SHALL BE DETERMINED BY THE STRUCTURAL ENGINEER OF RECORD. RETAINING WALL CONSTRUCTION DRAWINGS WILL BE PROVIDED BY OTHERS DURING THE PERMITTING PROCESS FOR THE RETAINING WALL DESIGN.
- DESIGNATED ACCESSIBLE ROUTES SHALL COMPLY WITH T&S. ACCESSIBLE ROUTES SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL. RAMPS SHALL NOT EXCEED 1:12 IN THE DIRECTION OF TRAVEL, NOR SHALL THE ACCESSIBLE ROUTE EXCEED 2% CROSS SLOPE.
- A HANDICAP RAMP, COMPLYING TO ADA STANDARDS, IS REQUIRED AT ALL POINTS WHERE THE CURB INTERSECTS THE SIDEWALK.
- ALL EXISTING MANHOLE COVERS, METER BOXES, VALVE CASTINGS, POST INDICATOR VALVES, FIRE HYDRANTS, ETC. SHALL BE ADJUSTED TO FINISHED GRADE.
- CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE-GROUND UTILITIES AND APPURTENANCES IN DRIVE AREAS.
- NO ABRUPT CHANGE OF GRADE SHALL OCCUR.
- ALL DISTURBED AREAS SHALL BE REVEGETATED BY THE CONTRACTOR IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND LANDSCAPING PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL, OR BETTER, CONDITION ANY DAMAGES INCURRED TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, OR DRIVEWAYS (NO SEPARATE PAY ITEM.)

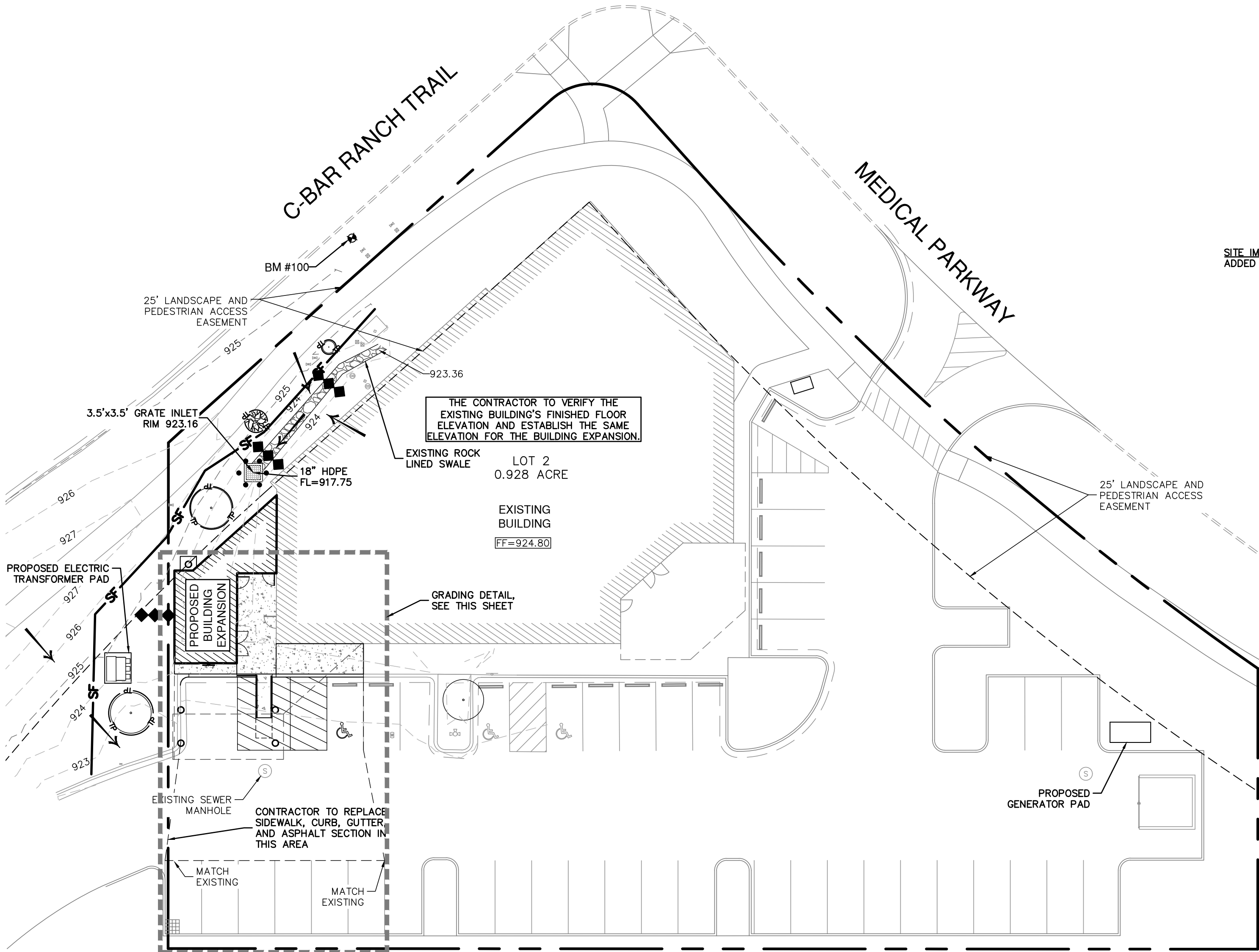
#### GEOTECHNICAL REPORT:

FOR INFORMATIONAL PURPOSES ONLY, CONTRACTOR SHOULD CONSULT THE APPLICABLE GEOTECHNICAL INVESTIGATION - UES PROFESSIONAL SOLUTIONS 63, LLC. PROJECT# 24-0950 STUDY FOR CEDAR PARK SURGEONS, CEDAR PARK, TEXAS, DATED AUGUST 29, 2024, AND THE APPLICABLE SUPPLEMENTAL LETTER DATED AUGUST 24, 2024.

#### BENCHMARKS:

BENCHMARKS ARE BASED ON NAD83 COORDINATES ARE STATE PLANE CENTRAL ZONE WITH A COMBINED SCALE FACTOR OF 0.99988

BM #100: SET MAGNETIC NAIL  
GRID NORTH: 10,166,617.40  
GRID EAST: 3,090,995.12  
ELEV: 924.66



SITE IMPERVIOUS COVER:  
ADDED IMPERVIOUS COVER 620 SF

#### LEGEND

- PROPERTY BOUNDARY
- PROPOSED EASEMENT LINE
- EXISTING WATERLINE
- EXISTING WASTEWATER LINE
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN LINE
- PROPOSED STEEL ENCASUREMENT
- PROPOSED CURB AND GUTTER
- SILT FENCE
- TREE PROTECTION
- EXISTING CONTOUR LINE
- PROPOSED ADA CURB RAMP
- ADA PATH
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED SIDEWALK
- PROPOSED GRATE INLET
- FLOW ARROW
- ROCK BERM
- INLET PROTECTION
- EXISTING GRADE ELEVATION
- FINISHED GROUND ELEVATION
- TOP OF PAVEMENT ELEVATION
- TOP OF SIDEWALK ELEVATION
- TOP OF CURB ELEVATION
- BOTTOM OF CURB ELEVATION

NO.	REVISION	DATE
R4	BUILDING ADDITION PLANS	9/03/2024



**PAPE-DAWSON**  
**ENGINEERS**

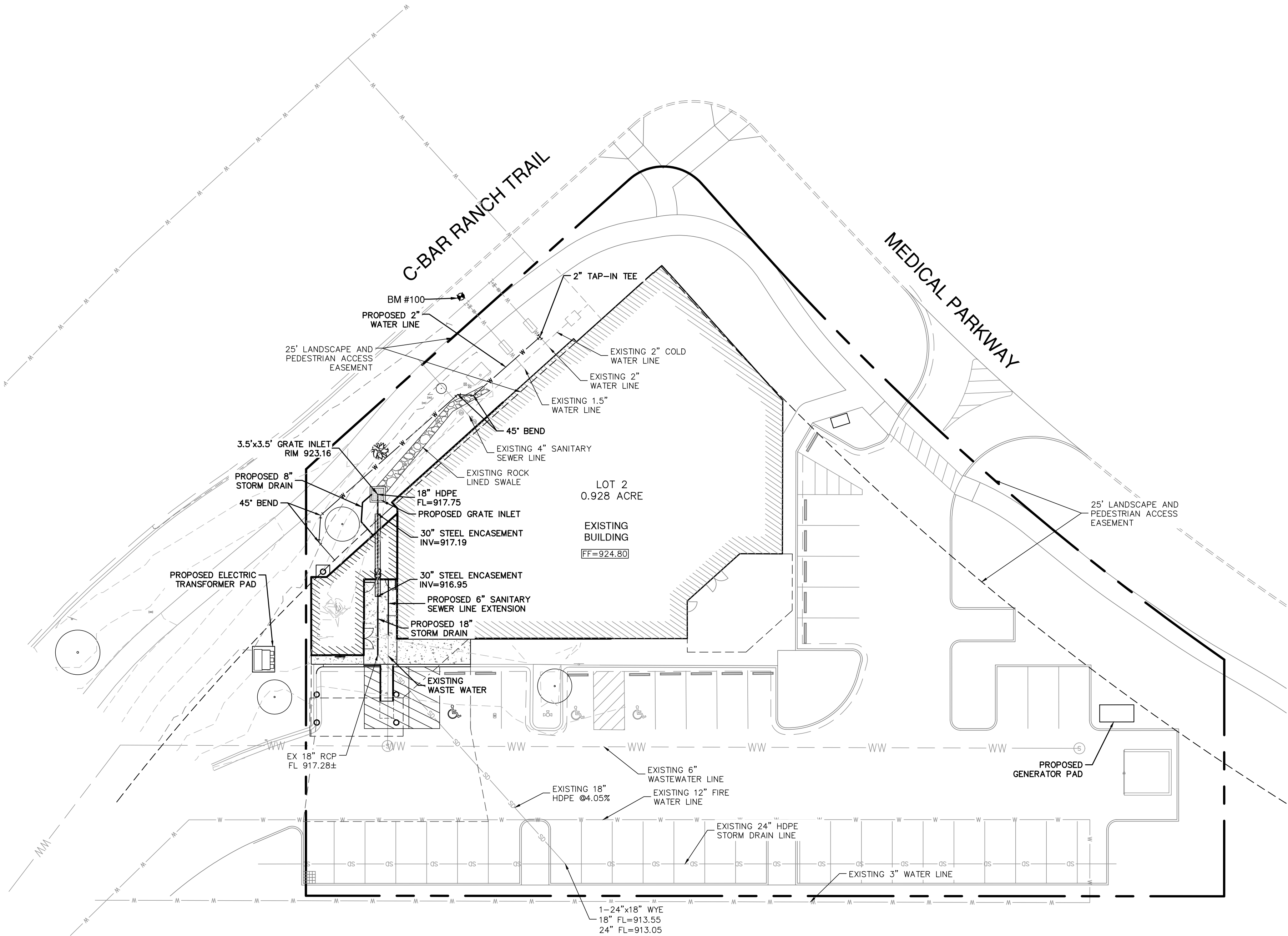
10801 N. MIDPAC EXPY, BLDG 3, STE 200 | AUSTIN, TX 78759 | 512-454-8711  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10038800

**CEDAR PARK 1-ACRE APEX**  
CEDAR PARK, TEXAS

**GRADING, AND EROSION CONTROL PLAN**

PLAT NO.	2008047378
JOB NO.	51563-00
DATE	SEPTEMBER 2024
DESIGNER	JR
CHECKED	BT
DRAWN	JR
SHEET	67-22





### STORM DRAIN NOTES:

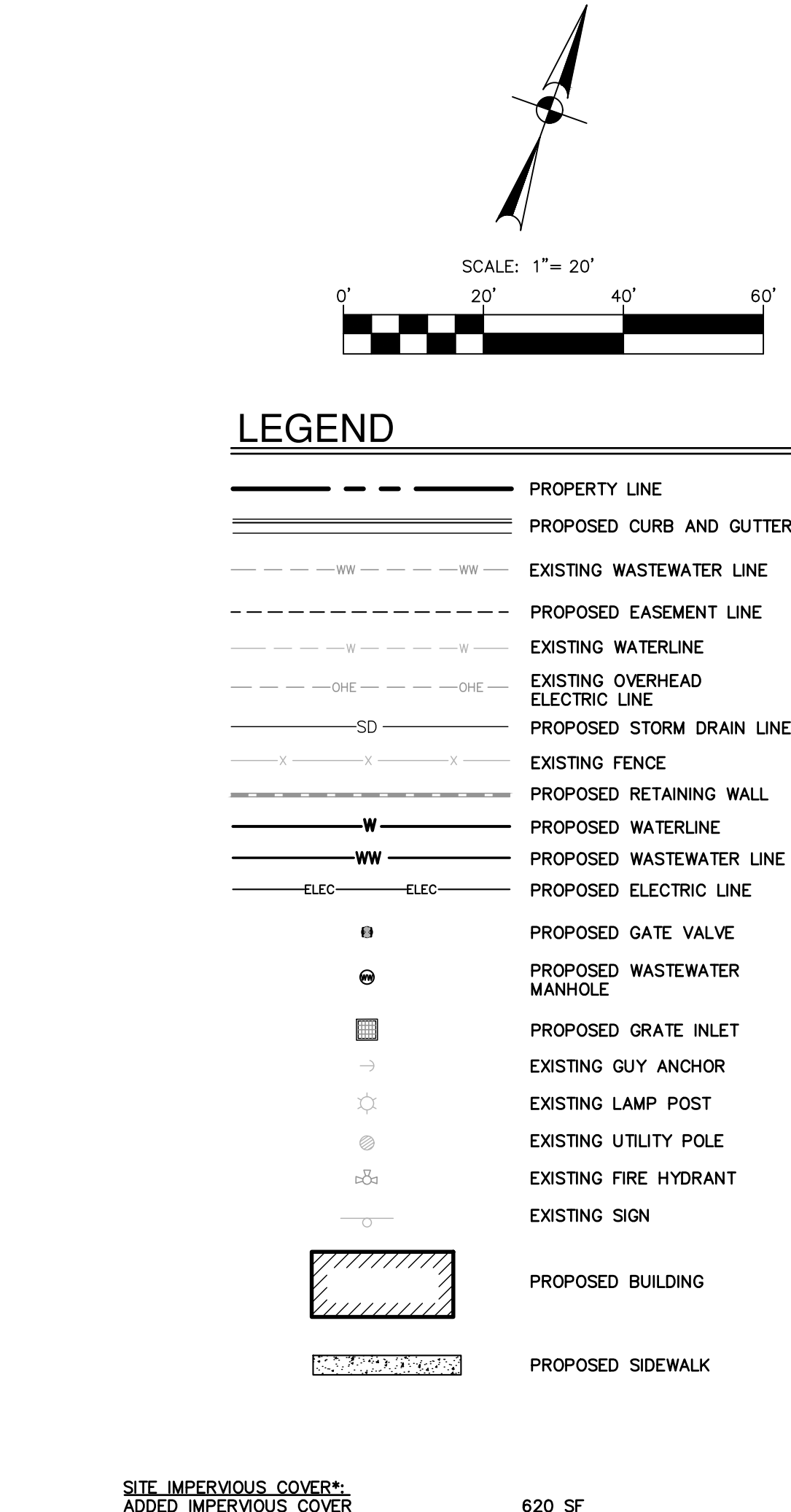
- MANHOLE FRAMES AND COVERS AND WATER VALVE BOXES SHALL BE RAISED TO FINISHED PAVEMENT GRADE AT THE OWNER'S EXPENSE BY THE CONTRACTOR WITH CITY INSPECTION. ALL UTILITY ADJUSTMENTS SHALL BE COMPLETED PRIOR TO FINAL PAVING CONSTRUCTION. CONTRACTOR SHALL BACKFILL AROUND MANHOLES AND JUNCTION BOXES WITH CLASS A CONCRETE.
- ALL MANHOLE LIDS SHALL BE 32" OR LARGER, UNLESS EXPRESSLY APPROVED IN WRITING BY THE ENGINEERING DEPARTMENT.
- THE LOCATION OF ANY EXISTING UTILITY LINES SHOWN ON THESE PLANS IS THE BEST AVAILABLE AND MAYNOT BE ACCURATE. ANY DAMAGE TO EXISTING UTILITY LINES, BOTH KNOWN AND UNKNOWN, SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- PIPE MATERIALS TO BE USED FOR CONSTRUCTION OF UTILITY LINES: UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, ALL STORM SEWER RCP SHALL BE CLASS III. CORRUGATED METAL PIPE IS NOT PERMITTED.
- ALL MANHOLE AND INLET COVERS SHALL READ 'CITY OF CEDAR PARK'.
- CONTRACTOR TO NOTIFY THE CITY OF CEDAR PARK 48 HOURS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- ALL PIPE BEDDING MATERIAL SHALL CONFORM TO CITY OF AUSTIN STANDARD SPECIFICATIONS.
- UNLESS OTHERWISE SPECIFIED BY THE ENGINEER ALL CONCRETE IS TO BE CLASS 'A' (5 SACK, 3000 PSI ~ 28-DAYS), AND ALL REINFORCING STEEL TO BE ASTM A615 60.
- CONTRACTOR TO INSTALL AND MAINTAIN GEO-TEXTILE FABRIC BARRIER (INLET PROTECTION) AROUND STORM SEWER LEADS AND INLETS TO PREVENT SILT AND OTHER MATERIAL FROM ENTERING THE STORM SEWER COLLECTION SYSTEM.
- INSTALL CONCRETE SAFETY END TREATMENTS TO ALL CULVERTS AND ENDS OF DRAINAGE PIPE.
- ALL CURB INLETS SHALL HAVE AN ALMETEK 4" DISC 'NO DUMPING DRAINS TO WATERWAY' MARKER.

### WATER NOTES:

- REFER TO THE CITY OF CEDAR PARK PUBLIC WORKS UTILITY POLICY AND SPECIFICATIONS MANUAL.
- THE TOP OF VALVE STEMS SHALL BE AT LEAST 18", AND NO MORE THAN 36", BELOW FINISHED GRADE. VALVE STEM RISERS SHALL BE WELDED ON EACH END TO THE CITY'S SATISFACTION.
- FIRE HYDRANT LEADS TO BE DUCTILE IRON, CLASS 350, AND INSTALLED PER CITY OF AUSTIN STANDARD SPECIFICATIONS AND DETAIL.
- PRIOR TO INSTALLATION OF FIRE HYDRANTS, THE ENGINEER WILL PROVIDE THE CONTRACTOR ONE (1) CUT FROM A HUB PIN, ESTABLISHING THE ELEVATION OF THE BURY LINE.
- THE ENGINEER SHALL PROVIDE CUTS FOR ALL WATER LINES AT ALL STORM SEWER CROSSINGS TO THE CITY OF CEDAR PARK.
- PIPE MATERIALS TO BE USED FOR CONSTRUCTION OF UTILITY LINES:
  - WATER - <ENTER HERE>
- COPPER PIPE AND FITTINGS ARE NOT PERMITTED WITHIN THE RIGHT-OF-WAY. MINIMUM DR--14 12" DIA AND SMALLER. MINIMUM CLASS 250 DI LARGER THAN 12" DIA.
- APPROVED 5 1/4" FIRE HYDRANTS:
  - AMERICAN FLOW CONTROL, B84B
  - MUELLER COMPANY, SUPER CENTURION 250
  - CLOW MEDALLION HYDRANT
- REQUIREMENTS FOR PRIVATE FIRE HYDRANTS (BEHIND DOUBLE CHECK BACKFLOW PREVENTION ASSEMBLY): MUST BE IN ACCORDANCE WITH CITY OF AUSTIN SPECIFICATIONS.
- ALL FIRE HYDRANTS MUST MEET CITY OF CEDAR PARK THREAD SPECIFICATIONS (NATIONAL THREAD)
- BLUE REFLECTOR MARKERS SHALL BE LOCATED ON THE CENTERLINE OF THE PAVEMENT ACROSS FROM ALL FIRE HYDRANTS. PAVEMENT MARKERS AT INTERSECTIONS SHALL BE FOUR-SIDED.
- SHOULD A TAPPING SADDLE BE APPROVED BY PUBLIC WORKS, THE SADDLE SHALL BE SMITH-BLAIR 662 STAINLESS STEEL TAPPING SLEEVES WITH ALL STAINLESS HARDWARE, OR APPROVED EQUAL. REQUESTS FOR ALTERNATE PROVIDERS SHALL BE MADE TO THE CITY OF CEDAR PARK PUBLIC WORKS. NO TAP EXCEEDING 2" IN DIAMETER WILL BE APPROVED.
- ALL WATER LINES, INCLUDING SERVICE LINES, SHALL BE PRESSURE AND LEAK TESTED PER CITY OF AUSTIN STANDARD SPECIFICATIONS AND WITNESSED BY THE CITY OF CEDAR PARK REPRESENTATIVE. ALL TESTING IS TO BE THE RESPONSIBILITY OF THE CONTRACTOR, AND THE CONTRACTOR MAY BE REQUIRED TO RE-TEST LINES IF THE TESTING IS NOT WITNESSED BY THE CITY. CONTRACTOR MUST NOTIFY THE CITY OF CEDAR PARK 48 HOURS PRIOR TO ANY TESTING. INITIAL WATER LINE DISINFECTION MUST MEET A CHLORINE RESIDUAL OF 50PPM, AND A CHLORINE RESIDUAL OF 25 PPM AFTER A 24 HOUR DETENTION PERIOD. SECTIONS THAT ARE 20 - 30 FEET CAN USE GRANULAR OR TABLET DISINFECTION, BUT ANYTHING BEYOND THAT MUST BE LIQUID DISINFECTION TO EVENLY CLEAN THE PIPE.
- ALL WATER LINES SHALL BE STERILIZED AND BACTERIOLOGICALLY TESTED IN ACCORDANCE WITH CITY OF AUSTIN STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR STERILIZATION AND THE CITY OF CEDAR PARK IS RESPONSIBLE FOR SUBMITTING BACTERIOLOGICAL SAMPLES TO THE STATE. PUBLIC WORKS WILL REQUIRE A CONTRACTOR SPECIALIZED IN DISINFECTION FOR LARGE DIAMETER LINES OR CRITICAL INFRASTRUCTURE, SUBSIDIARY TO PIPE INSTALLATION.
- DENSITY TESTING OF COMPACTED BACKFILL SHALL BE MADE AT A RATE OF ONE TEST PER TWO FOOT OF LISTS PER 500 FEET.
- CONTRACTOR TO OBTAIN A WATER METER FROM THE CITY OF CEDAR PARK FOR ANY WATER THAT MAY BE REQUIRED DURING CONSTRUCTION. (512-401-5000)
- ALL WATER METER BOXES SHALL BE FORD GULF METER BOX WITH LOCKING LID.
  - SINGLE G-148-233
  - DUAL DG-148-243
  - 1" METER YL111 - 444
  - 1 1/2" - 2" METER 1730-R (LID) & 1730-12 (BOX)/ACCEPTABLE BOXES FOR THIS SIZE OF METER
- MANHOLE FRAMES AND COVERS AND WATER VALVE BOXES SHALL BE RAISED TO FINISHED PAVEMENT GRADE, WHEN IN PUBLIC STREETS, AT THE OWNER'S EXPENSE BY THE CONTRACTOR WITH CITY INSPECTION. ALL UTILITY ADJUSTMENTS SHALL BE COMPLETED PRIOR TO FINAL PAVING CONSTRUCTION.
- THE LOCATION OF ANY EXISTING UTILITY LINES SHOWN ON THESE PLANS IS THE BEST AVAILABLE AND MAYNOT BE ACCURATE. ANY DAMAGE TO EXISTING UTILITY LINES, BOTH KNOWN AND UNKNOWN, SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED WITH AT LEAST 8 MIL. POLYETHYLENE WRAP.
- ALL WATER MAINS, WASTEWATER MAINS AND SERVICE LINES SHALL MEET CITY OF AUSTIN SPECIFICATIONS FOR MINIMUM COVER REQUIREMENTS. ALL STREETS ARE TO BE CUT TO SUBGRADE PRIOR TO INSTALLATION OF WATER MAINS OR CUTS WILL BE ISSUED BY THE ENGINEER.
- CITY TO BE GIVEN 48 HOURS NOTICE PRIOR TO ALL TESTING OF WATER AND WASTEWATER LINES. CITY INSPECTION IS REQUIRED FOR ALL TESTING OF WATER AND WASTEWATER LINES.
- WHERE A WATER OR WASTEWATER LINE CROSSES ABOVE (OR BELOW) A STORM SEWER STRUCTURE AND THE BOTTOM (OR TOP) OF THE PIPE IS WITHIN 18 INCHES OF THE TOP (OR BOTTOM) OF THE UTILITY STRUCTURE, THE PIPE SHALL BE ENCASED WITH CONCRETE FOR A DISTANCE OF AT LEAST 1 FT. ON EITHER SIDE OF THE DITCH LINE OF THE UTILITY STRUCTURE. OR THE STORM SEWER. CONCRETE ENCASEMENT WILL NOT BE REQUIRED FOR DUCTILE IRON (THICKNESS CLASS 50), AWWA C-900 (SDR- 18) 150 PSIRATED PVC IN SIZES TO 12 INCHES OR AWWA C-905 (SDR-25) 165 PSI RATED PVC IN SIZES LARGER THAN 12 INCHES. CONCRETE ENCASEMENT SHALL CONFORM TO C.O.A. STANDARD DETAIL 505-1.
- CONTRACTOR TO NOTIFY THE CITY OF CEDAR PARK 48 HOURS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- ALL PIPE BEDDING MATERIAL SHALL CONFORM TO CITY OF AUSTIN STANDARD SPECIFICATIONS.
- TRACER TAPE SHALL BE INSTALLED ON ALL WATER AND WASTEWATER MAINS REGARDLESS OF THE TYPE OF PIPE OR DEPTH OF PIPE INSTALLED.
- UNLESS OTHERWISE SPECIFIED BY THE ENGINEER ALL CONCRETE IS TO BE CLASS 'A' (5 SACK, 3000 PSI ~ 28-DAYS), AND ALL REINFORCING STEEL TO BE ASTM A615 60.
- THE CITY CONSIDERS PROTECTION OF ITS WATER SYSTEM PARAMOUNT TO CONSTRUCTION ACTIVITIES. CITY PERSONNEL WILL OPERATE, OR AUTHORIZE THE CONTRACTOR TO OPERATE, ALL WATER VALVES THAT WILL PASS THROUGH THE CITY'S POTABLE WATER. THE CONTRACTOR MAY NOT OPERATE ANY WATER VALVE, EXISTING OR PROPOSED, THAT WILL ALLOW WATER FROM THE CITY'S WATER SYSTEM TO FLOW TO A PROPOSED OR EXISTING WATER SYSTEM WITHOUT THE EXPRESS CONSENT OF THE CITY. NOTIFY THE CITY TWO BUSINESS DAYS IN ADVANCE OF ANY REQUEST TO OPERATE A WATER VALVE. THE GENERAL CONTRACTOR MAY BE FINED \$500 OR MORE, INCLUDING ADDITIONAL THEFT OF WATER FINES, IF A WATER VALVE IS OPERATED IN AN UNAUTHORIZED MANNER, REGARDLESS OF WHO OPERATED THE VALVE.
- ALL WATER VALVES OVER 24" IN SIZE SHALL HAVE A BY-PASS LINE AND VALVE INSTALLED. BY-PASS VALVES AND LINES ARE SUBSIDIARY TO THE COST OF THE VALVE UNLESS SPECIFICALLY IDENTIFIED ON THE BID FORM.
- ALL WATER VALVES, INCLUDING THOSE OVER 12" IN SIZE, SHALL BE GATE VALVES.
- A DOUBLE CHECK BACKFLOW DEVICE IN A VAULT SHALL BE INSTALLED AT THE PROPERTY LINE ON ALL PRIVATE FIRE LINES. A DETECTOR WATER METER WILL BE INSTALLED ON THIS BACKFLOW DEVICE, AND IT MUST BE A SENSUS SRI 3/4" METER WITH AMI RADIO READ CAPABILITY. THE CITY WILL PROVIDE THIS METER. PLEASE REFERENCE THE CITY OF CEDAR PARK DOUBLE CHECK BACKFLOW PREVENTION ASSEMBLY DETAIL.
- ALL POTABLE WATER SYSTEM COMPONENTS INSTALLED AFTER JANUARY 4, 2014, SHALL BE LEAD FREE ACCORDING TO THE UNITED STATES SAFE DRINKING WATER ACT. THE ONLY COMPONENTS EXEMPT FROM THIS REQUIREMENT ARE FIRE HYDRANTS. COMPONENTS THAT ARE NOT CLEARLY IDENTIFIED BY THE MANUFACTURER AS MEETING THIS REQUIREMENT BY MARKING, OR ON THE PRODUCT PACKAGING, OR BY PRE-APPROVED SUBMITTAL, WILL BE REJECTED FOR USE. A NSF CERTIFICATION WILL BE ADEQUATE IF THE CERTIFICATION HAS NOT EXPIRED AS OF JANUARY 4, 2014 AND REMAINS UNEXPIRED AT THE TIME OF CONSTRUCTION.
- ALL PRESSURE PIPE SHALL HAVE MECHANICAL RESTRAINT AND CONCRETE THRUST BLOCKING AT ALL VALVES, BENDS, TEES, PLUGS, AND OTHER FITTINGS.

### GEOTECHNICAL REPORT:

FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHOULD CONSULT THE APPLICABLE GEOTECHNICAL INVESTIGATION - UES PROFESSIONAL SOLUTIONS 63, LLC. PROJECT# 24-0950 STUDY FOR CEDAR PARK SURGEONS, CEDAR PARK, TEXAS, DATED AUGUST 29, 2024, AND THE APPLICABLE SUPPLEMENTAL LETTER DATED AUGUST 24, 2024.



### NOTES:

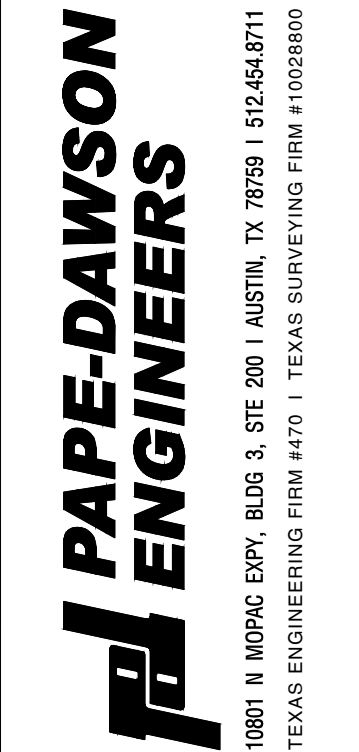
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL 4", 6", 8" AND 12" WATER LINES ARE AWWA C900 DR 14, CLASS 200 PVC PIPE UNLESS OTHERWISE NOTED.
- ALL WATER LINES AND SERVICE LINES WILL BE INSTALLED WITH TRACER TAPE.
- NO WATER METERS LOCATED IN SIDEWALK OR DRIVEWAY AREAS.
- FIRE HYDRANTS ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE DETAIL SHEET FOR PLACEMENT OF APPURTENANCES. FIRE HYDRANTS ASSEMBLY CONSISTS OF, BUT NOT LIMITED TO, 5/4" FIRE HYDRANT, 6" GATE VALVE, 6" D.I. FIRE LEAD.
- ALL HORIZONTAL AND VERTICAL WATER LINE BENDS, TEES AND DEAD END'S SHALL BE RESTRAINED TO THE WATER MAIN USING MECHANICAL JOINT RESTRAINT DEVICES AS APPROVED IN SPL WW-27-A. THE CALCULATED RESTRAINT LENGTH(S) SHALL BE INCLUDED AS CALL OUT NOTES IN THE PLAN VIEW AND/OR PROFILE, CALLED OUT FROM BEGINNING STATION TO AND STATION PER UCM SECTION 2.9.2.B.9.
- ALL WATERLINE P.I.'S BOTH HORIZONTAL AND VERTICAL SHALL BE ACHIEVED BASED UPON THE PIPE MANUFACTURER'S SPECIFIED MAXIMUM ALLOWABLE JOINT DEFLECTION. P.I.'S LESS THAN OR EQUAL TO 80% OF THE MANUFACTURER'S MAXIMUM SHALL BE CONSTRUCTED AS A SINGLE JOINT DEFLECTION. P.I.'S IN EXCESS OF 80% OF THE MANUFACTURER'S MAXIMUM ALLOWABLE JOINT DEFLECTION ANGLE SHALL BE CONSTRUCTED AS A SERIES OF EVENLY DISTRIBUTED DEFLECTIONS OVER MULTIPLE JOINTS, SO THAT NO SINGLE DEFLECTION IS GREATER THAN 80% OF THE MAXIMUM.
- ALL FILL AREAS SHALL BE COMPACTED TO 95% PRIOR TO UTILITY INSTALLATION.
- ALL EXISTING MANHOLE COVERS, METER BOXES, VALVE CASTINGS, POST INDICATOR VALVES, FIRE HYDRANTS, ETC. SHALL BE ADJUSTED TO FINISHED GRADE.
- CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE-GROUND UTILITIES AND APPURTENANCES IN DRIVE AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TESTING, APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL UTILITIES ARE TO BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
- ALL UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE MEP PLANS. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- FOR ALL UTILITIES ENTERING BUILDINGS SEE MEP PLANS FOR CONTINUATION 5 FT FROM BUILDINGS.
- THE CONTRACTOR SHALL INSTALL ANY BENDS, FITTINGS, ETC. IN THE WATER LINE AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES. (NO SEPARATE PAY ITEM.)
- ALL DRY AND WET UTILITIES HAVE BEEN SHOWN ON THE PLANS.
- UNDERGROUND MAINS FEEDING NFPA 13 SPRINKLER SYSTEMS MUST BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 13, AND THE FIRE CODE, BY A LICENSED SPRINKLER CONTRACTOR WITH A PLUMBING PERMIT. THE ENTIRE MAIN MUST BE HYDROSTATICALLY TESTED AT ONE TIME, UNLESS ISOLATION VALVES ARE PROVIDED BETWEEN TESTED SECTIONS.
- UNDERGROUND MAINS FEEDING PRIVATE HYDRANTS MUST BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 24, AND THE FIRE CODE, BY A LICENSED CONTRACTOR WITH A PLUMBING PERMIT. THE ENTIRE MAIN MUST BE HYDROSTATICALLY TESTED AT ONE TIME, UNLESS ISOLATION VALVES ARE PROVIDED BETWEEN TESTED SECTIONS.

### BENCHMARKS:

BENCHMARKS ARE BASED ON NAD83 COORDINATES ARE STATE PLANE CENTRAL ZONE WITH A COMBINED SCALE FACTOR OF 0.99998

BM #100: SET MAGNETIC NAIL  
GRID NORTH: 10,166,617.40  
GRID EAST: 3,090,995.12  
ELEV: 924.66

DATE	
NO.	
REVISION	



## CEEDAR PARK 1-ACRE APEX CEDAR PARK, TEXAS UTILITY PLAN

PLAT NO.	2008047378
JOB NO.	51563-00
DATE	SEPTEMBER 2024
DESIGNER	JR
CHECKED	BT
DRAWN	JR
SHEET	68-36



**ATTACHMENT A**

# **CEDAR PARK BARIATRICS**

## **Temporary Stormwater Section (TCEQ-0602)**

### Spill Response Actions

*In the event of an accidental leak or spill:*

- *Spill must be contained and cleaned up immediately.*
- *Spills will not be merely buried or washed with water.*
- *Contractor shall take action to contain spill. Contractor may use sand or other absorbent material stockpiled on site to absorb spill. Absorbent material should be spread over the spill area to absorb the spilled product.*
- *In the event of an uncontained discharge the contractor shall utilize onsite equipment to construct berms downgradient of the spill with sand or other absorbent material to contain and absorb the spilled product.*
- *Spill containment/absorbent materials along with impacted media must be collected and stored in such a way so as not to continue to affect additional media (soil/water). Once the spill has been contained, collected material should be placed on poly or plastic sheeting until removed from the site. The impacted media and cleanup materials should be covered with plastic sheeting and the edges weighed down with paving bricks or other similarly dense objects as the material is being accumulated. This will prevent the impacted media and cleanup materials from becoming airborne in windy conditions or impacting runoff during a rain event. The stockpiled materials should not be located within an area of concentrated runoff such as along a curb line or within a swale.*
- *Contaminated soils and cleanup materials will be sampled for waste characterization. When the analysis results are known the contaminated soils and cleanup materials will be removed from the site and disposed in a permitted landfill in accordance with applicable regulations.*
- *The contractor will be required to notify the owner, who will in turn contact TCEQ to notify them in the event of a significant hazardous/reportable quantity spill. Additional notifications as required by the type and amount of spill will be conducted by owner or owner's representative.*

*In the event of an accidental significant or hazardous spill:*

- *The contractor will be required to report significant or hazardous spills in reportable quantities to:*
  - *Notify the TCEQ by telephone as soon as possible and within 24 hours at 512-339-2929 (Austin) or 210-490-3096 (San Antonio) between 8 AM and 5 PM. After hours, contact the Environmental Release Hotline at 1-800-832-8224. It is the contractor's responsibility to have all emergency phone numbers at the construction site.*
  - *For spills of federal reportable quantities, in conformance with the requirements in 40 CFR parts 110,119, and 302, the contractor should notify the National Response Center at (800) 424-8802.*
  - *Notification should first be made by telephone and followed up with a written report.*

## **CEDAR PARK BARIATRICS**

### **Temporary Stormwater Section (TCEQ-0602)**

- *The services of a spills contractor or a Haz-Mat team should be obtained immediately. Construction personnel should not attempt to clean up until the appropriate and qualified staffs have arrived at the job site.*
- *Other agencies which may need to be consulted include, but are not limited to, the City Police Department, County Sheriff Office, Fire Departments, etc.*
- *Contaminated soils will be sampled for waste characterization. When the analysis results are known the contaminated soils will be removed from the site and disposed in a permitted landfill in accordance with applicable regulations.*

*Additional guidance can be obtained from TCEQ's Technical Guidance Manual (TGM) RG-348 (2005) Section 1.4.16. Contractor shall review this section.*



**ATTACHMENT B**

# CEDAR PARK BARIATRICS

## Temporary Stormwater Section (TCEQ-0602)

### Attachment B – Potential Sources of Contamination

*Other potential sources of contamination during construction include:*

<i>Potential Source</i>	●	<i>Asphalt products used on this project.</i>
<i>Preventative Measure</i>	■	<i>After placement of asphalt, emulsion or coatings, the contractor will be responsible for immediate cleanup should an unexpected rain occur. For the duration of the asphalt product curing time, the contractor will maintain standby personnel and equipment to contain any asphalt wash-off should an unexpected rain occur. The contractor will be instructed not to place asphalt products on the ground within 48 hours of a forecasted rain.</i>
<i>Potential Source</i>	●	<i>Oil, grease, fuel and hydraulic fluid contamination from construction equipment and vehicle dripping.</i>
<i>Preventative Measure</i>	■	<i>Vehicle maintenance when possible will be performed within the construction staging area.</i>
	■	<i>Construction vehicles and equipment shall be checked regularly for leaks and repaired immediately.</i>
<i>Potential Source</i>	●	<i>Accidental leaks or spills of oil, petroleum products and substances listed under 40 CFR parts 110, 117, and 302 used or stored temporarily on site.</i>
<i>Preventative Measure</i>	■	<i>Contractor to incorporate into regular safety meetings, a discussion of spill prevention and appropriate disposal procedures.</i>
	■	<i>Contractor's superintendent or representative overseer shall enforce proper spill prevention and control measures.</i>
	■	<i>Hazardous materials and wastes shall be stored in covered containers and protected from vandalism.</i>
	■	<i>A stockpile of spill cleanup materials shall be stored on site where it will be readily accessible.</i>
<i>Potential Source</i>	●	<i>Miscellaneous trash and litter from construction workers and material wrappings.</i>
<i>Preventive Measure</i>	■	<i>Trash containers will be placed throughout the site to encourage proper trash disposal.</i>
<i>Potential Source</i>	●	<i>Construction debris.</i>
<i>Preventive Measure</i>	■	<i>Construction debris will be monitored daily by contractor. Debris will be collected weekly and placed in disposal bins. Situations requiring</i>

**CEDAR PARK BARIATRICS**  
**Temporary Stormwater Section (TCEQ-0602)**

*immediate attention will be addressed on a  
case by case basis.*

**ATTACHMENT C**

## **CEDAR PARK BARIATRICS**

### **Temporary Stormwater Section (TCEQ-0602)**

#### **Attachment C – Sequence of Major Activities**

*The proposed modification is a proposed building expansion, and the first major activity is removal of existing paved areas and utility connections and demolition. The second is construction that will include construction of the building expansion, landscaping, and site cleanup. This will disturb up to approximately 0.1 acres, the phases of construction will follow as below:*

- *Demolish existing hardscape areas and existing inlet*
- *Grade and construct building expansion areas and relocated inlet*
- *Restore any areas disturbed*

**ATTACHMENT D**

## **CEDAR PARK BARIATRICS**

### **Temporary Stormwater Section (TCEQ-0602)**

#### **Attachment D – Temporary Best Management Practices and Measures**

- a. A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.

***Upgradient stormwater will cross the site from the western edge of the project limits from existing undeveloped area. Upgradient runoff from the undeveloped area is conveyed in an existing storm drain line where it is routed through the site and is discharged to the existing pond. The proposed development will route the runoff through a rerouted inlet to connect to the same existing line, discharged to the existing pond.***

- b. A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.

***Site preparation, which is the initiation of all activity on the project, will disturb the largest amount of soil. Therefore, before any of this work can begin, the clearing and grading contractor will be responsible for the installation of all on-site control measures. The methodology for pollution prevention of on-site stormwater will include: (1) installation of inlet protection at downgradient inlets of construction activities, (2) installation of silt fence, triangular filter dikes and gravel bags at downgradient boundary of construction activities, (3) installation of stabilized construction entrance/exit(s) to reduce the dispersion of sediment from the site, and (4) installation of construction staging area(s).***

***Prior to the initiation of construction, all previously installed control measures will be repaired or reestablished for their designed or intended purpose. This work, which is the remainder of all activity on the project, may also disturb additional soil. The construction contractor will be responsible for the installation of all remaining on-site control measures that includes installation of the concrete truck washout pit(s), as construction phasing warrants.***

***Temporary measures are intended to provide a method of slowing the flow of runoff from the construction site in order to allow sediment and suspended solids to settle out of the runoff. By containing the sediment and solids within the site, they will not enter surface streams and/or sensitive features.***

- c. A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.

***There were no surface streams on, or adjacent, to the project limits. No stormwater from proposed improvements will be discharged to sensitive features on-site. There are no sensitive features on-site as shown on previously approved CZPs. All Temporary BMPs utilized are adequate for the drainage areas served.***



## **CEDAR PARK BARIATRICS**

### **Temporary Stormwater Section (TCEQ-0602)**

*Temporary measures are intended to provide a method of slowing the flow of runoff from the construction site in order to allow sediment and suspended solids to settle out of the runoff. By containing the sediment and solids within the site, they will not enter surface streams and/or sensitive features.*

- d. A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.

*BMP measures utilized in this plan are intended to allow stormwater to continue downstream after passing through the BMPs. This will allow stormwater runoff to continue downgradient to streams or features that may exist downstream of the site.*



**ATTACHMENT F**

## **CEDAR PARK BARIATRICS**

### **Temporary Stormwater Section (TCEQ-0602)**

#### **Attachment F – Structural Practices**

*The following structural measures will be installed prior to the initiation of site preparation activities:*

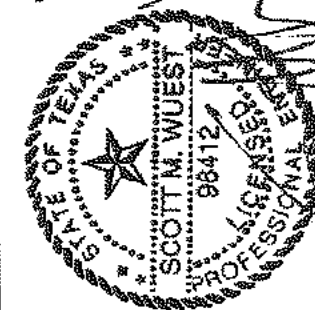
- *Installation of inlet protection at downgradient inlets of construction activities, as illustrated in Attachment F in the Permanent Stormwater Section, Sheet 67-22.*
- *Installation of silt fence and gravel bags at downgradient boundary of construction activities, as illustrated in Attachment F in the Permanent Stormwater Section, Sheet 67-22.*
- *Installation of stabilized construction entrance/exit(s) and construction staging area(s), as illustrated in Attachment F in the Permanent Stormwater Section, Sheet 67-22.*

*The following structural measures will be installed at the initiation of construction activities or as appropriate based on the construction sequencing:*

- *Installation of concrete truck washout pit(s), as required and illustrated in Attachment F in the Permanent Stormwater Section, Sheet 67-22.*



**Bury+Partners**  
ENGINEERING SOLUTIONS  
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Austin, Texas 78701  
Tel. (512) 262-0011 Fax (512) 262-0025  
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# EROSION & SEDIMENTATION CONTROL NOTES & DETAILS

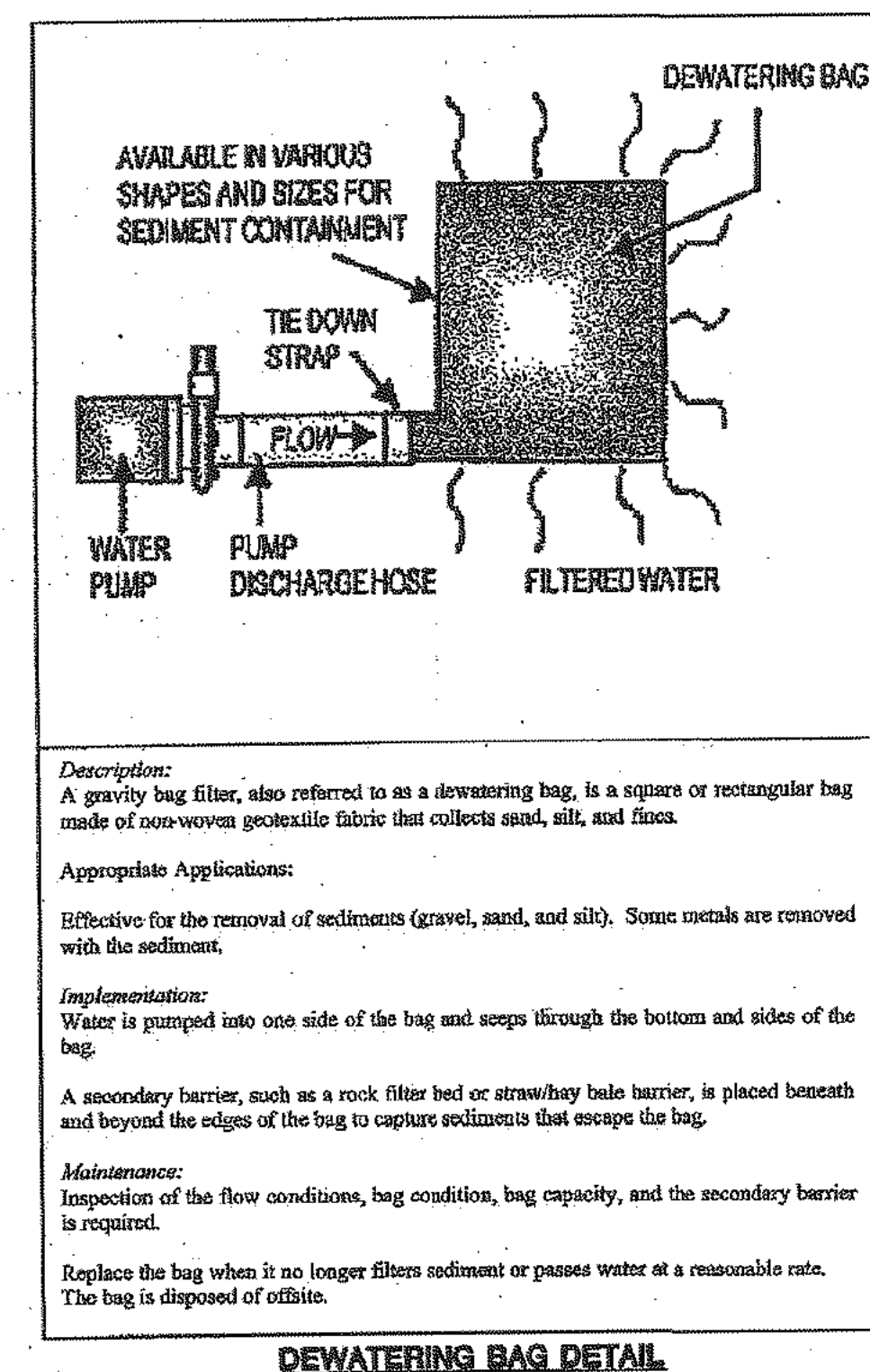
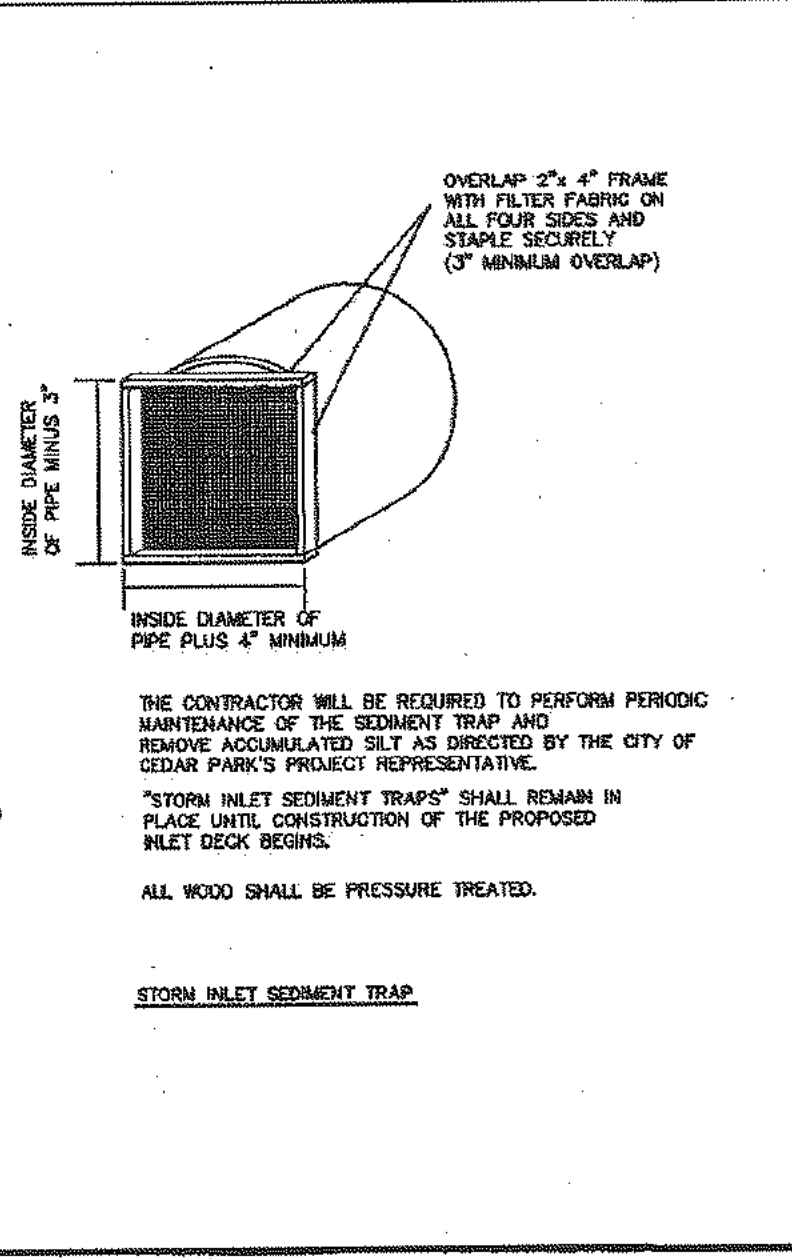
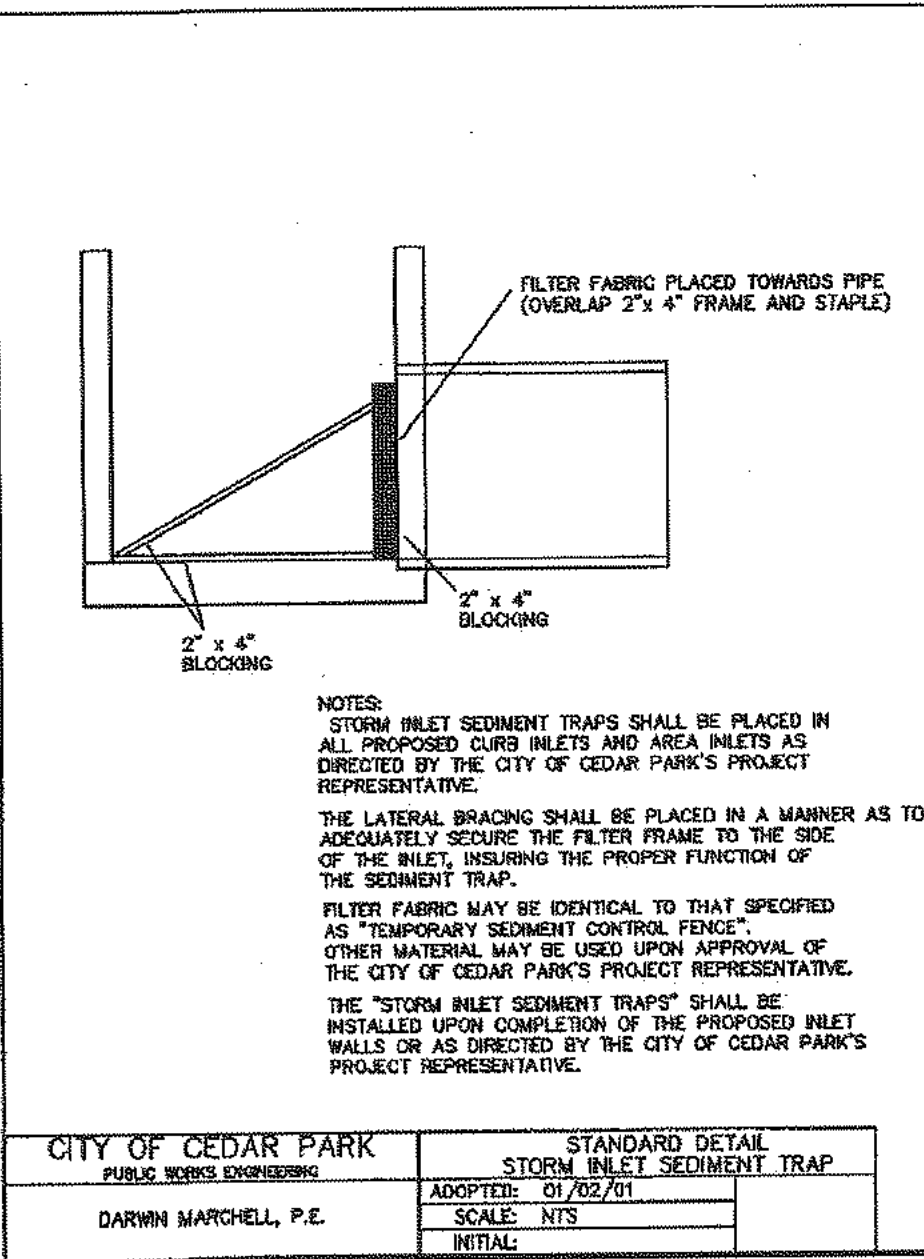
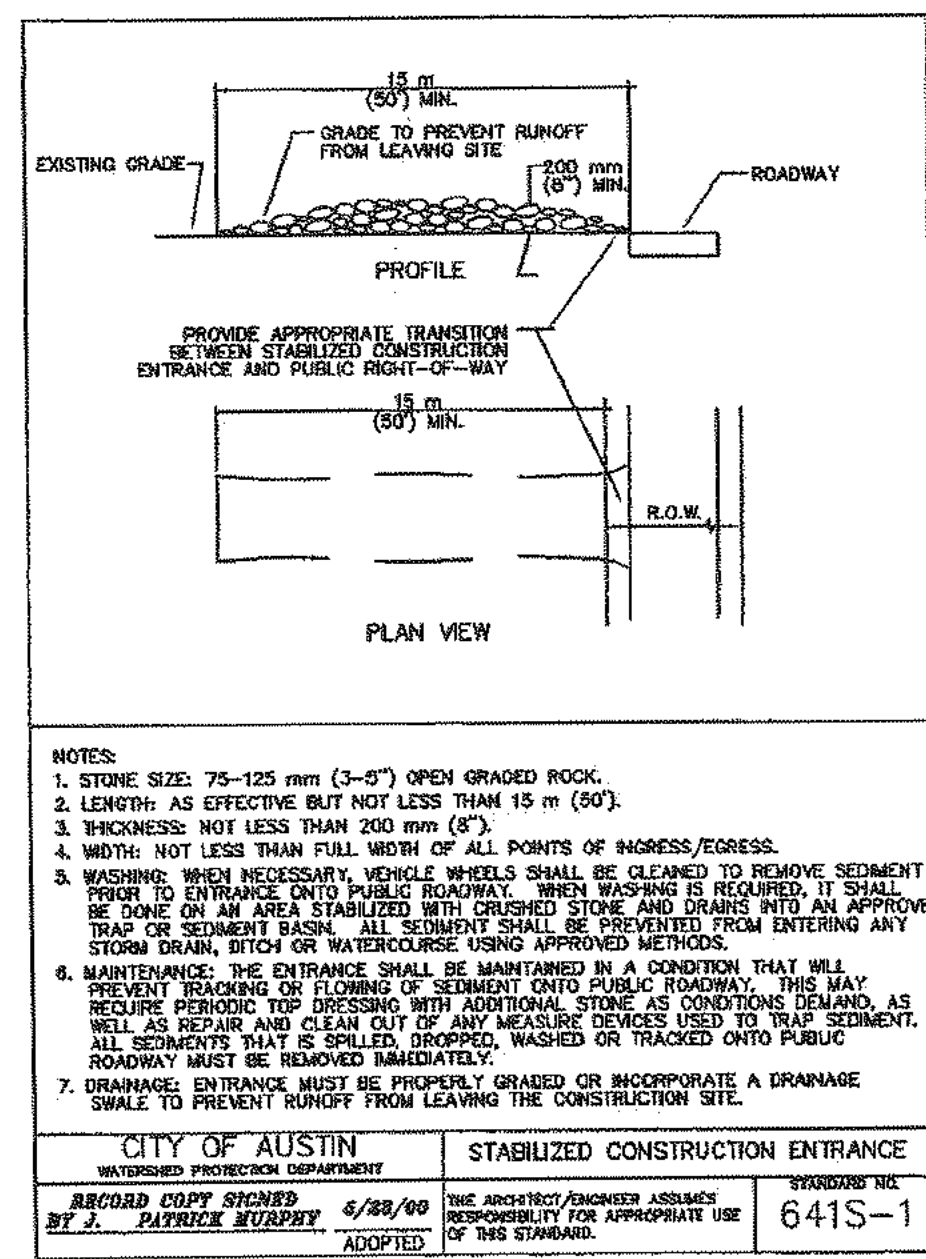
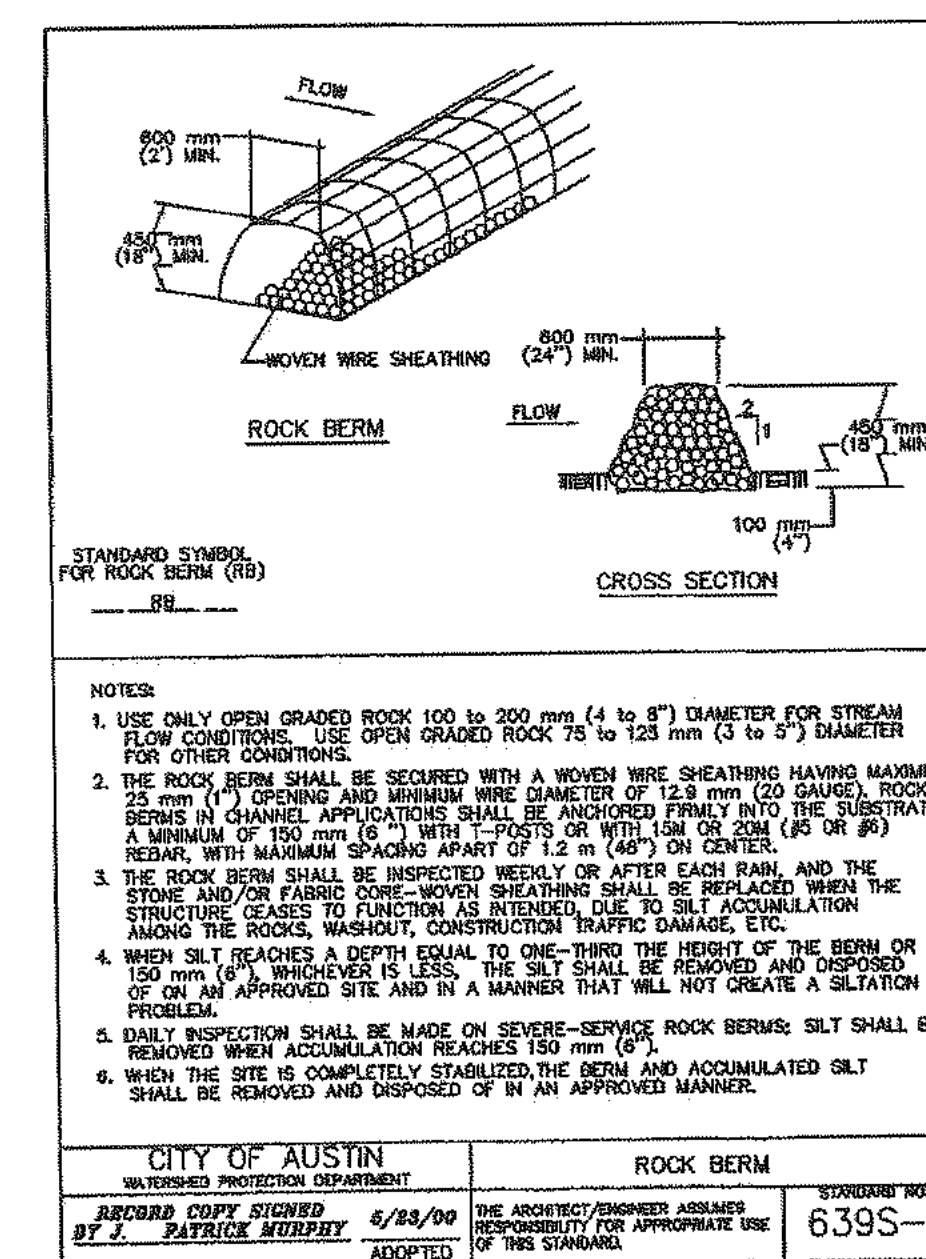
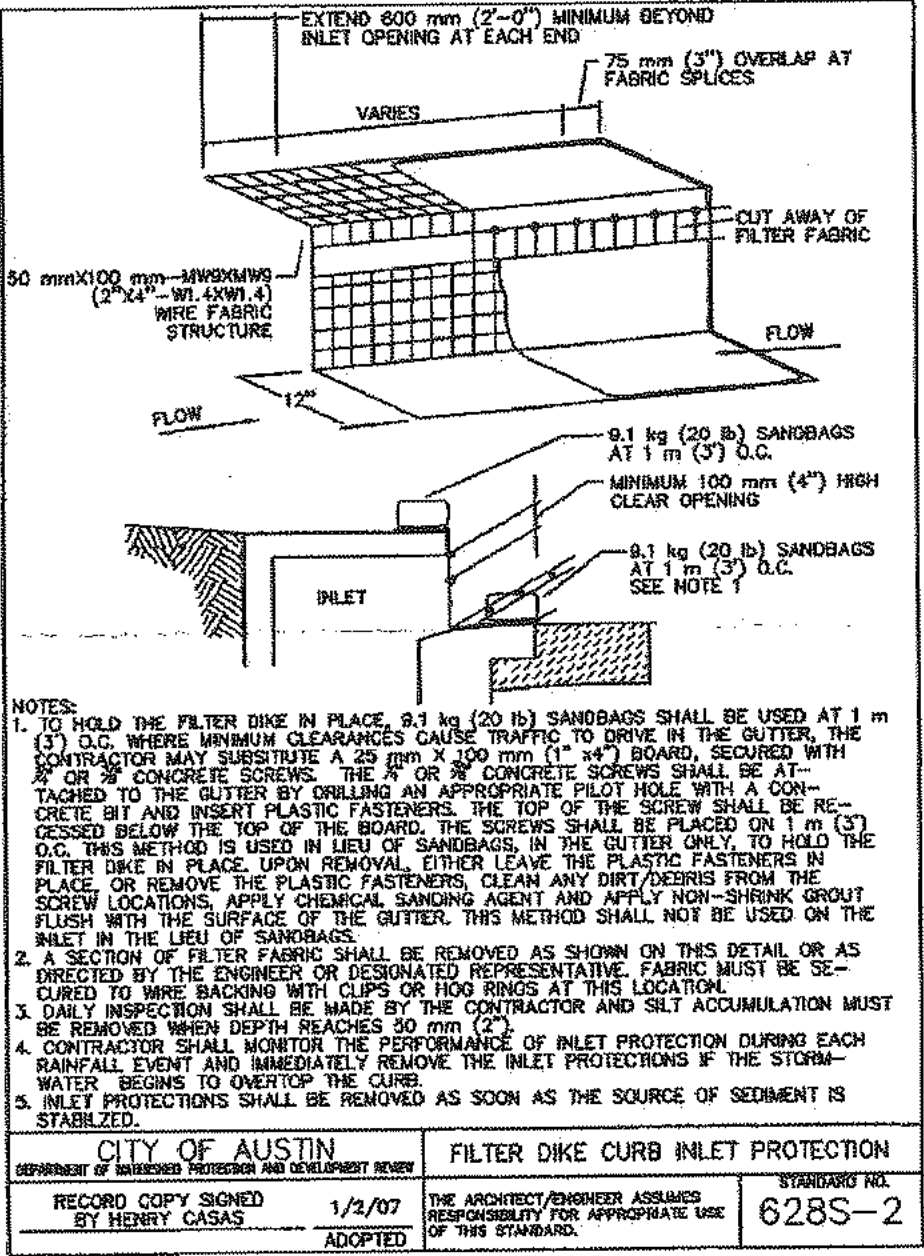
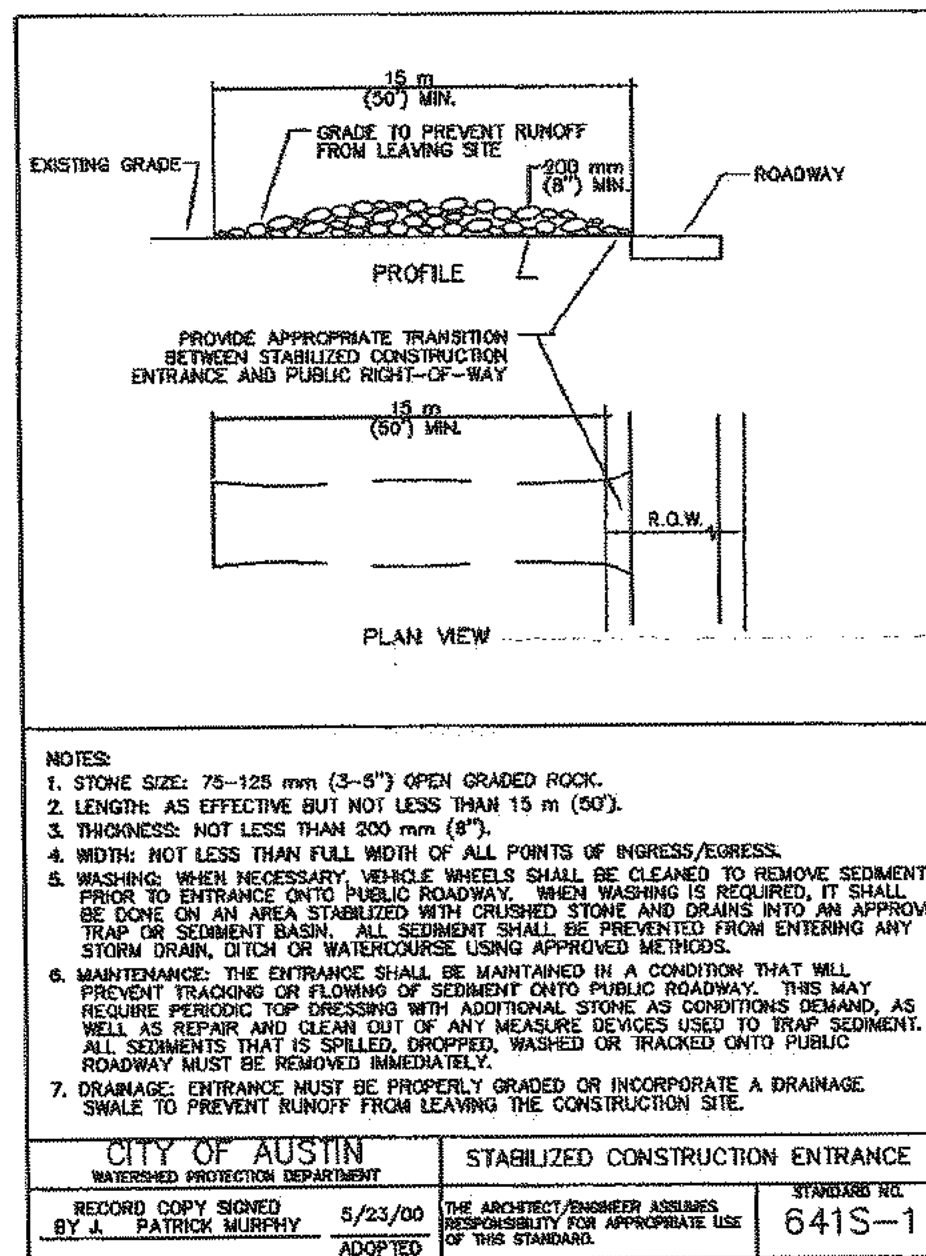
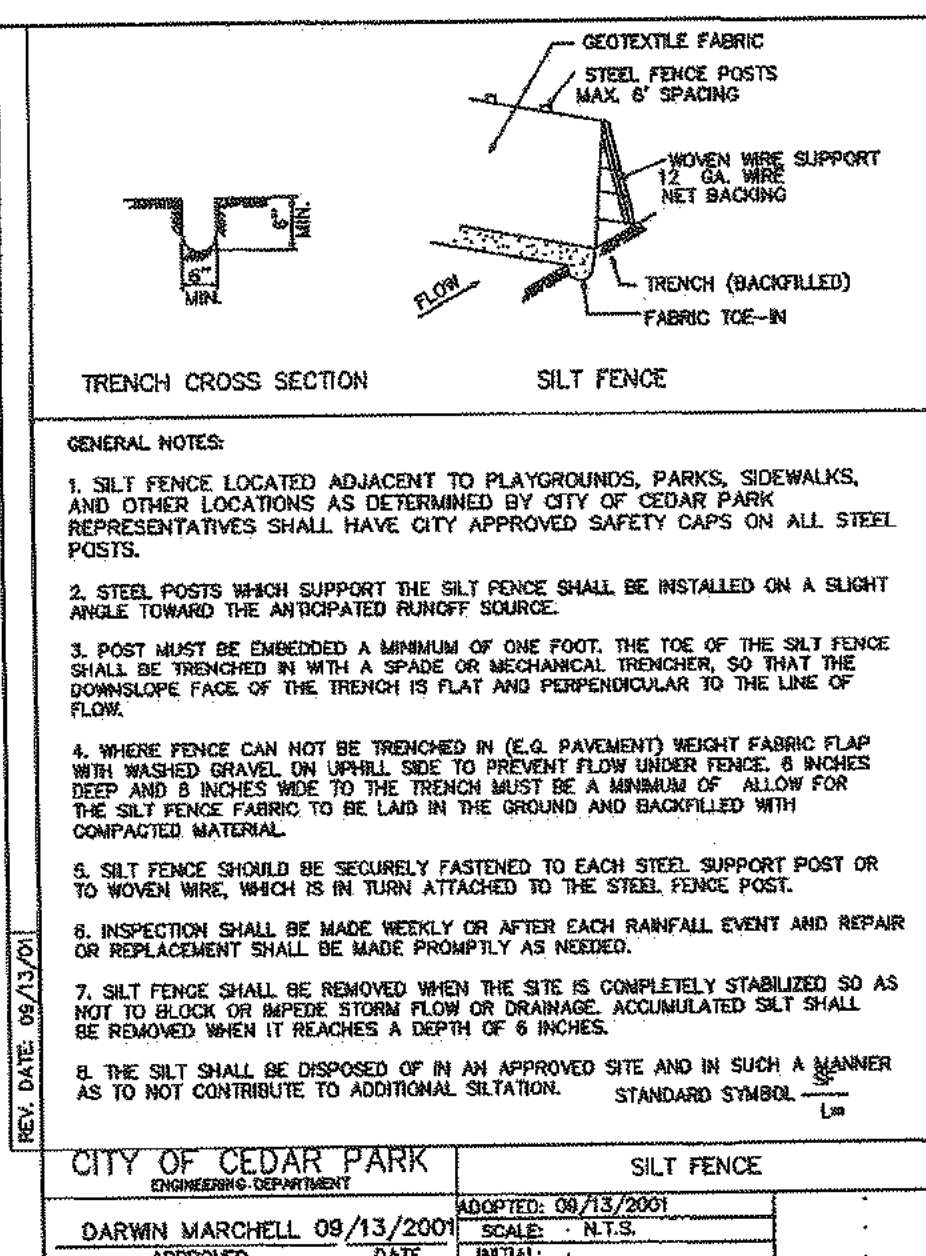
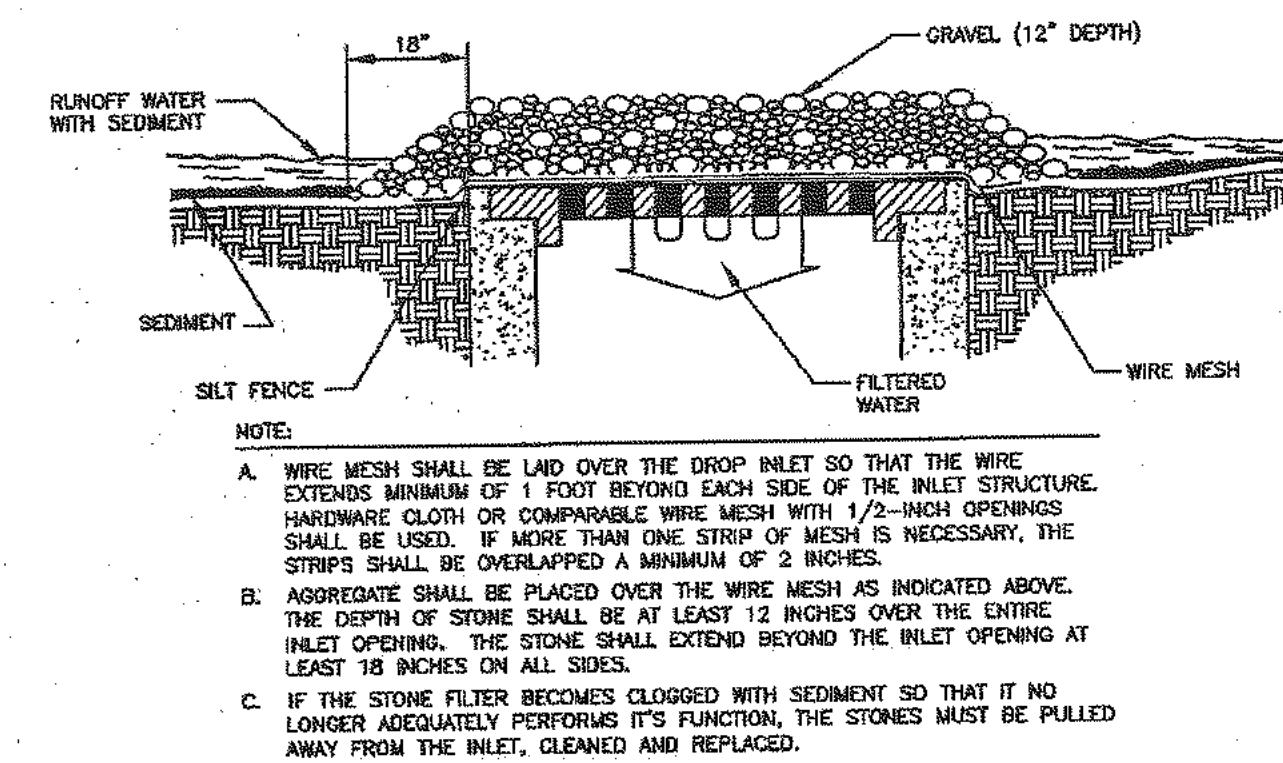
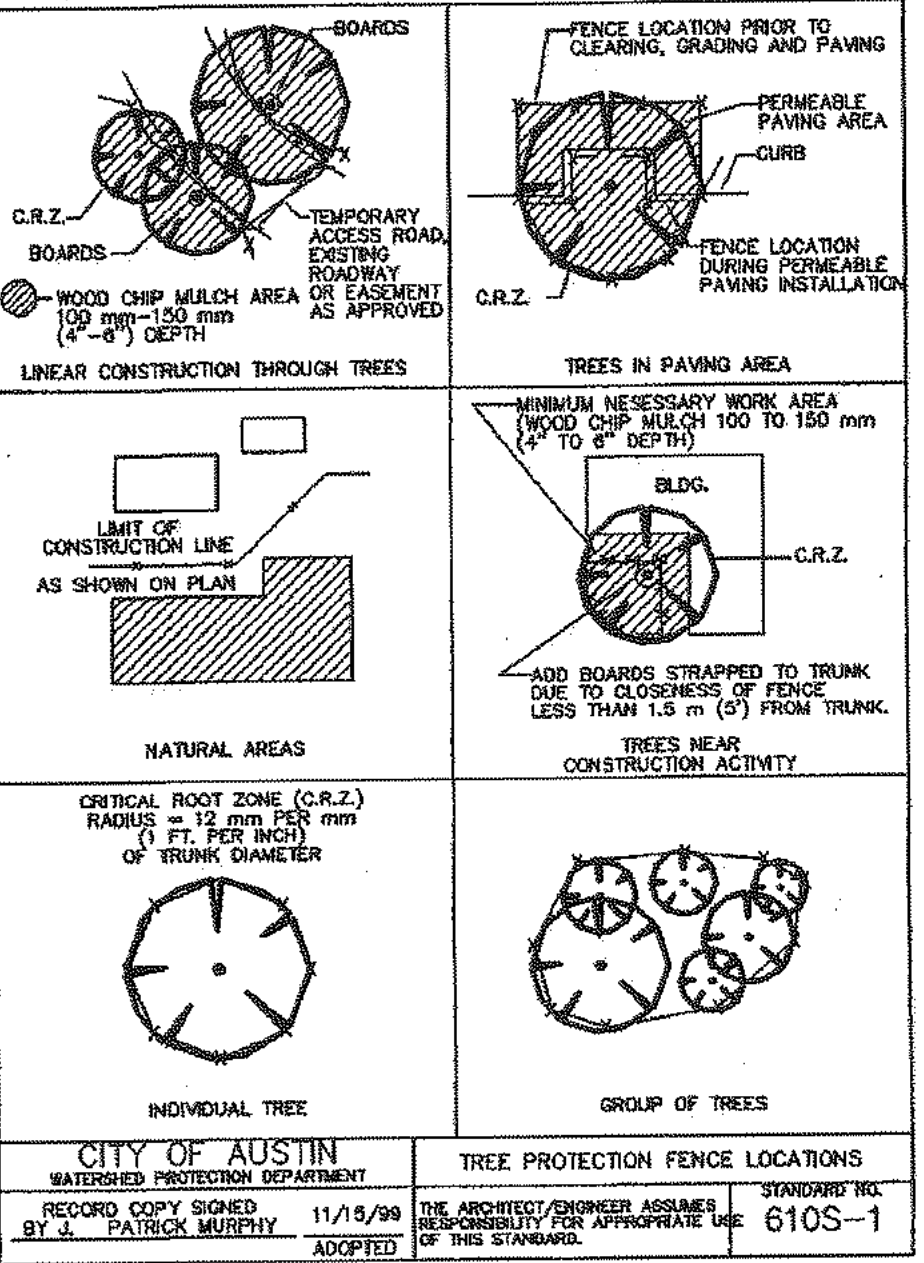
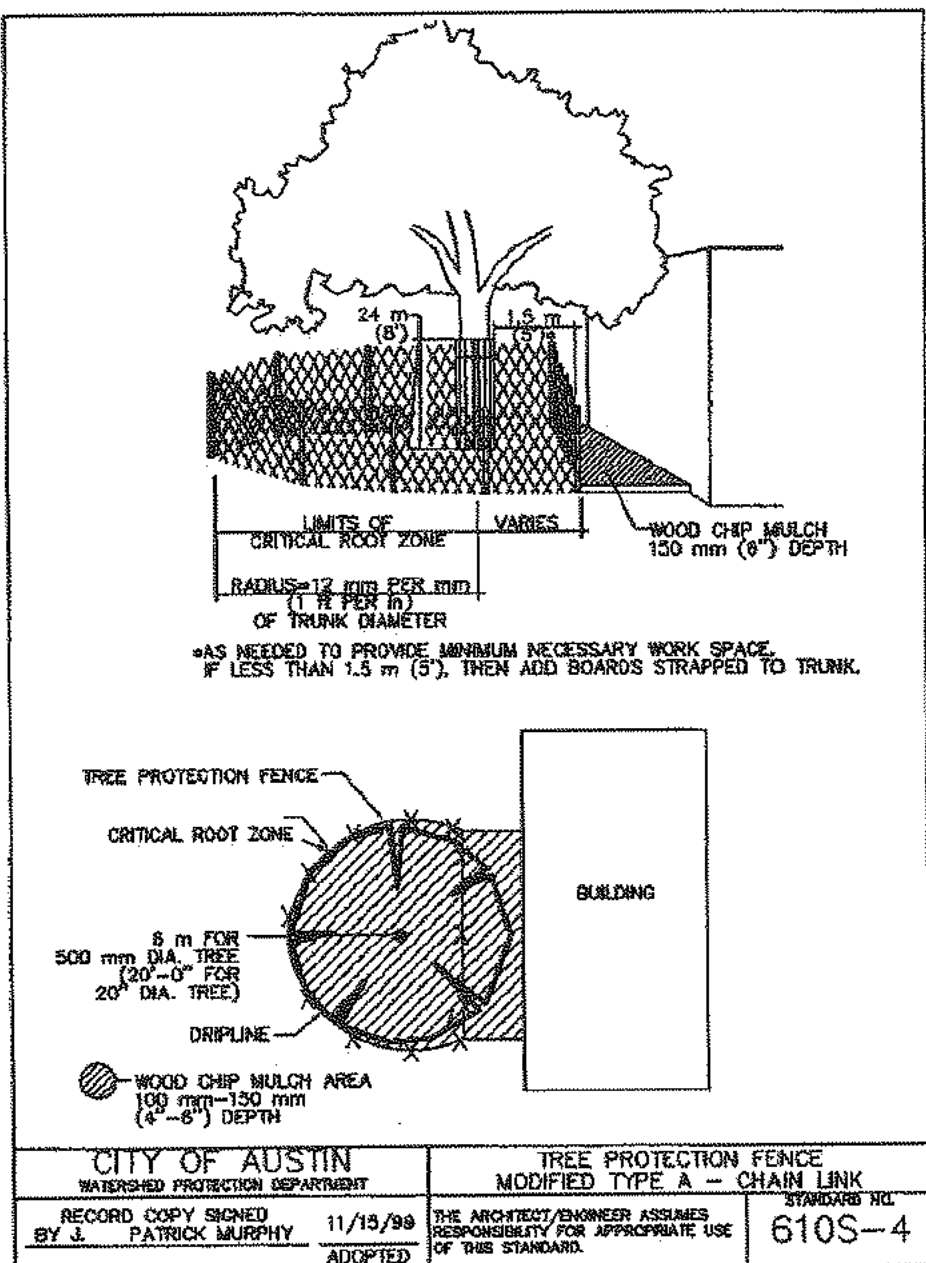
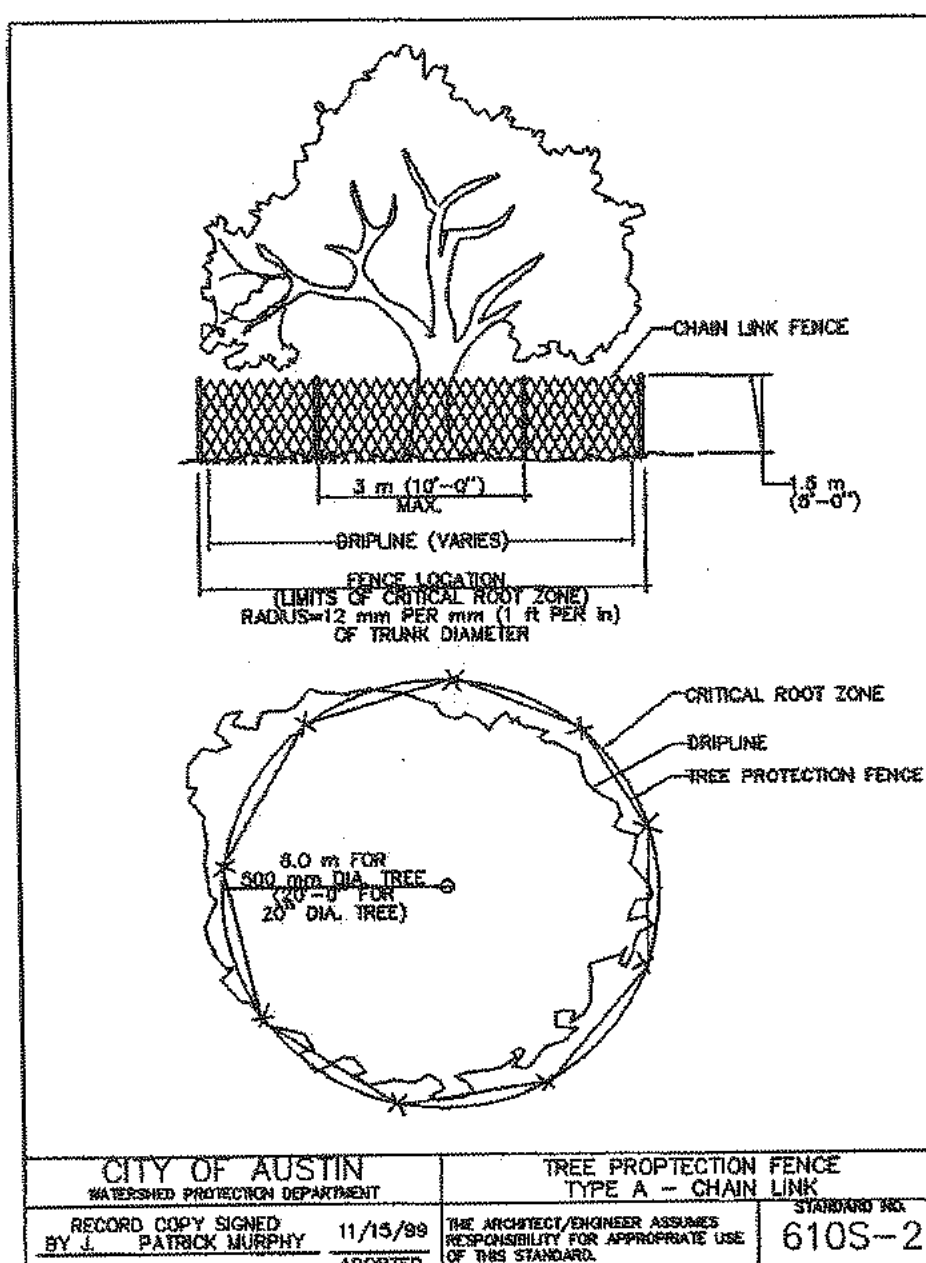
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RM 1431 C-BAR RANCH TRAIL  
CEDAR PARK, TEXAS  
ENDEAVOR REAL ESTATE GROUP

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DATE PLOTTED: 08/21/07  
FILE: G:\000\88\88\10068000.DWG  
DRAWN BY: SPW  
DESIGNED BY: CBL  
REVIEWED BY: SNW  
PROJECT NO: 1000-88

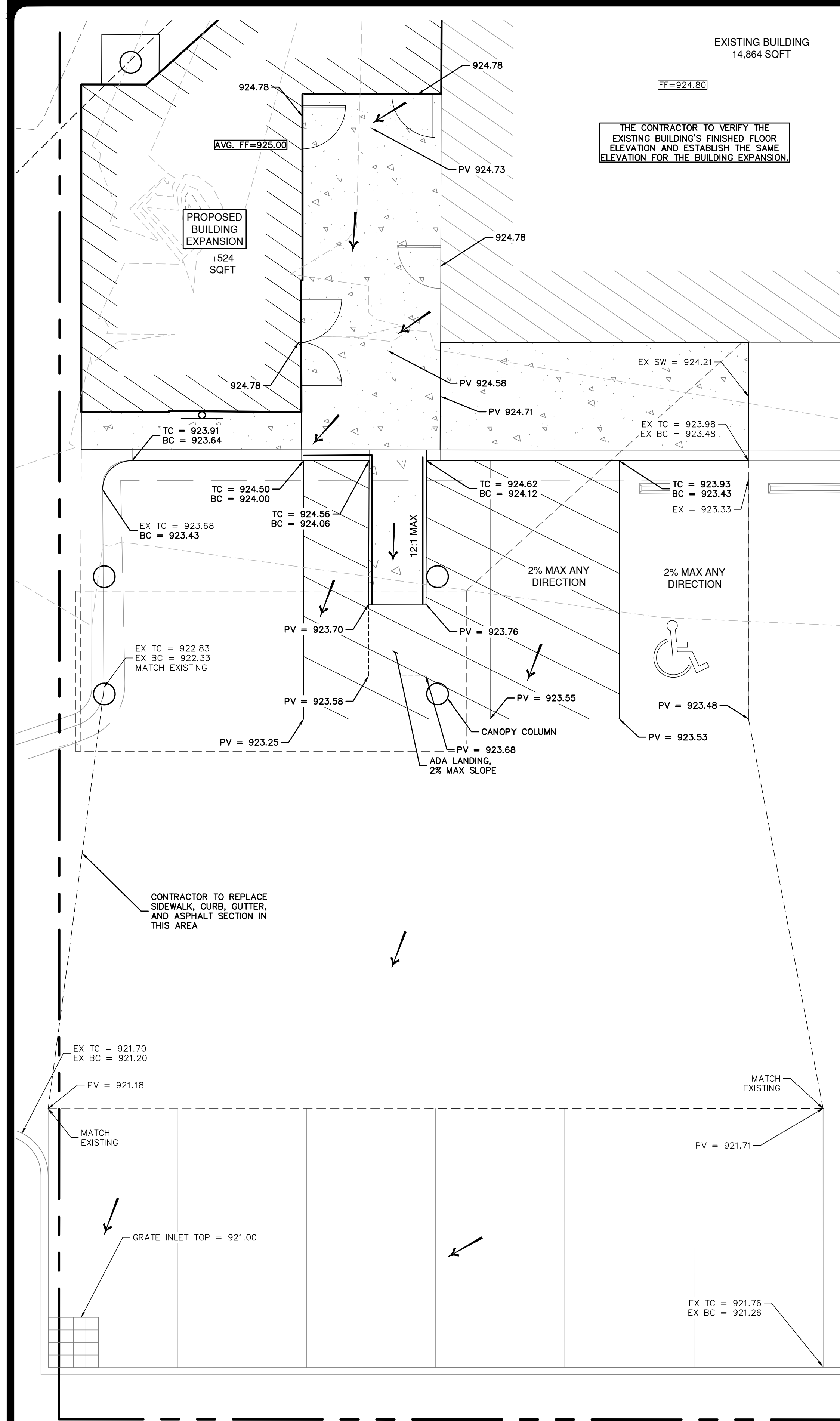
SHEET  
**20**  
OF  
**62**

SD-07-00032

DATE	NO.	REVISION	APPROVAL







GRADING DETAIL  
SCALE: 1" = 5'

#### SWPPP NOTES:

- DO NOT DISTURB VEGETATED AREAS (TREES, GRASS, WEEDS, BRUSH, ETC.) ANY MORE THAN NECESSARY FOR CONSTRUCTION.
- CONCRETE WASHOUT PIT AND CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARD TO BE FIELD LOCATED.
- STORM WATER POLLUTION PREVENTION CONTROLS MAY NEED TO BE MODIFIED IN THE FIELD TO ACCOMPLISH THE DESIRED EFFECT. ALL MODIFICATIONS ARE TO BE NOTED ON THIS EXHIBIT AND SIGNED AND DATED BY THE RESPONSIBLE PARTY.
- CONTRACTOR SHALL RESTRICT ENTRY/EXIT TO THE PROJECT SITE TO DESIGNATED LOCATIONS BY USE OF ADEQUATE FENCING IF NECESSARY.
- ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED AND IN WORKING CONDITIONS AT ALL TIMES.
- FOR A COMPLETE LISTING OF TEMPORARY STORM WATER POLLUTION PREVENTION CONTROLS REFER TO THE TPDES STORM WATER POLLUTION PREVENTION PLAN.
- STORMWATER POLLUTION PREVENTION STRUCTURES SHOULD BE CONSTRUCTED WITHIN THE SITE BOUNDARIES. SOME OF THESE FEATURES MAY BE SHOWN OUTSIDE THE BOUNDARIES ON THIS PLAN FOR VISUAL CLARITY.
- AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SUCH AS PARKWAYS, EASEMENTS, EMBANKMENT SLOPES, ETC. SHOULD BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS AND LANDSCAPE PLANS.
- BEST MANAGEMENT PRACTICES MAY BE INSTALLED IN STAGES TO COINCIDE WITH THE DISTURBANCE OF UPGRADIENT AREAS.
- BEST MANAGEMENT PRACTICES MAY BE REMOVED IN STAGES ONCE THE WATERSHED FOR THAT PORTION CONTROLLED BY THE BEST MANAGEMENT PRACTICES HAS BEEN STABILIZED IN ACCORDANCE WITH TPDES REQUIREMENTS.
- UPON COMPLETION OF THE PROJECT, INCLUDING SITE STABILIZATION, AND BEFORE FINAL PAYMENT IS ISSUED, CONTRACTOR SHALL REMOVE ALL SEDIMENT & EROSION CONTROL MEASURES.
- MUD OR DIRT INADVERTENTLY TRACKED OFF-SITE AND ONTO EXISTING STREETS SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.

#### TREE NOTES:

- SURVEY INCLUDES ALL TREES THAT ARE 8" OR GREATER THAT ARE HARDWOOD.
- TREES LOCATED IN THE FLOODPLAIN ARE NOT COLLECTED AS DEVELOPMENT WILL NOT IMPACT FLOODPLAIN.
- MITIGATION PLAN TO BE PROVIDED AT SITE PLAN STAGE

#### GRADING NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. SLOPES OF ALL GRASS AREAS AROUND BUILDING FOUNDATION SHALL BE A MINIMUM OF 3% AWAY TO CAUSE POSITIVE DRAINAGE. DRAINAGE PATTERNS SHOWN ON GRADING SHEETS SHALL NOT BE OBSTRUCTED WITH LANDSCAPE MATERIAL.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FROM CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT.
- ALL BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- RETAINING WALL ELEVATIONS AND DESIGN SHALL BE DETERMINED BY THE STRUCTURAL ENGINEER OF RECORD. RETAINING WALL CONSTRUCTION DRAWINGS WILL BE PROVIDED BY OTHERS DURING THE PERMITTING PROCESS FOR THE RETAINING WALL DESIGN.
- DESIGNATED ACCESSIBLE ROUTES SHALL COMPLY WITH T&S. ACCESSIBLE ROUTES SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL. RAMPS SHALL NOT EXCEED 1:12 IN THE DIRECTION OF TRAVEL, NOR SHALL THE ACCESSIBLE ROUTE EXCEED 2% CROSS SLOPE.
- A HANDICAP RAMP, COMPLYING TO ADA STANDARDS, IS REQUIRED AT ALL POINTS WHERE THE CURB INTERSECTS THE SIDEWALK.
- ALL EXISTING MANHOLE COVERS, METER BOXES, VALVE CASTINGS, POST INDICATOR VALVES, FIRE HYDRANTS, ETC. SHALL BE ADJUSTED TO FINISHED GRADE.
- CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE-GROUND UTILITIES AND APPURTENANCES IN DRIVE AREAS.
- NO ABRUPT CHANGE OF GRADE SHALL OCCUR.
- ALL DISTURBED AREAS SHALL BE REVEGETATED BY THE CONTRACTOR IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND LANDSCAPING PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL, OR BETTER, CONDITION ANY DAMAGES INCURRED TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, OR DRIVEWAYS (NO SEPARATE PAY ITEM.)

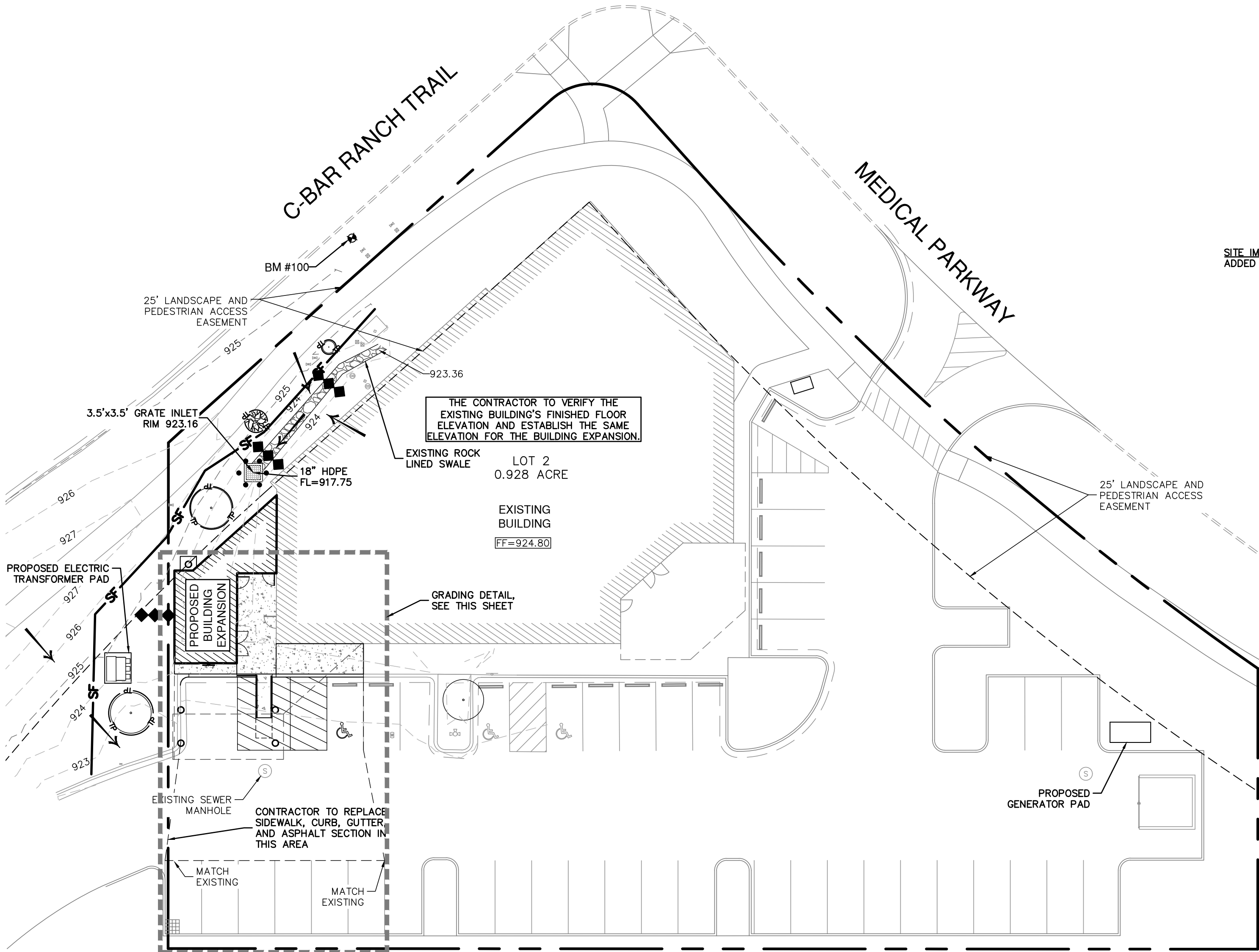
#### GEOTECHNICAL REPORT:

FOR INFORMATIONAL PURPOSES ONLY, CONTRACTOR SHOULD CONSULT THE APPLICABLE GEOTECHNICAL INVESTIGATION - UES PROFESSIONAL SOLUTIONS 63, LLC. PROJECT# 24-0950 STUDY FOR CEDAR PARK SURGEONS, CEDAR PARK, TEXAS, DATED AUGUST 29, 2024, AND THE APPLICABLE SUPPLEMENTAL LETTER DATED AUGUST 24, 2024.

#### BENCHMARKS:

BENCHMARKS ARE BASED ON NAD83 COORDINATES ARE STATE PLANE CENTRAL ZONE WITH A COMBINED SCALE FACTOR OF 0.99988

BM #100: SET MAGNETIC NAIL  
GRID NORTH: 10,166,617.40  
GRID EAST: 3,090,995.12  
ELEV: 924.66



SITE IMPERVIOUS COVER:  
ADDED IMPERVIOUS COVER 620 SF



SCALE: 1" = 20'



#### LEGEND

---	PROPERTY BOUNDARY
- - - -	PROPOSED EASEMENT LINE
- - - - W - - - -	EXISTING WATERLINE
- - - - WW - - - -	EXISTING WASTEWATER LINE
- - - -	EXISTING STORM DRAIN LINE
- - - -	PROPOSED STORM DRAIN LINE
- - - -	PROPOSED STEEL ENCASEMENT
- - - -	PROPOSED CURB AND GUTTER
- - - -	SILT FENCE
- - - -	TREE PROTECTION
- - - -	EXISTING CONTOUR LINE
- - - -	PROPOSED ADA CURB RAMP
- - - -	ADA PATH
- - - -	EXISTING BUILDING
- - - -	PROPOSED BUILDING
- - - -	PROPOSED SIDEWALK
- - - -	PROPOSED GRATE INLET
- - - -	FLOW ARROW
- - - -	ROCK BERM
- - - -	INLET PROTECTION
+ EG XXX.XX	EXISTING GRADE ELEVATION
+ FG XXX.XX	FINISHED GROUND ELEVATION
+ PV XXX.XX	TOP OF PAVEMENT ELEVATION
+ SW XXX.XX	TOP OF SIDEWALK ELEVATION
+ TC XXX.XX	TOP OF CURB ELEVATION
+ BC XXX.XX	BOTTOM OF CURB ELEVATION

NO.	REVISION	DATE
R4	BUILDING ADDITION PLANS	9/03/2024



**PAPE-DAWSON**  
**ENGINEERS**

10801 N. MIDPAC EXPY, BLDG 3, STE 200 | AUSTIN, TX 78759 | 512-454-8711  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10038800

**CEDAR PARK 1-ACRE APEX**  
CEDAR PARK, TEXAS

**GRADING, AND EROSION CONTROL PLAN**

PLAT NO.	2008047378
JOB NO.	51563-00
DATE	SEPTEMBER 2024
DESIGNER	JR
CHECKED	BT
DRAWN	JR
SHEET	67-22

**ATTACHMENT G**

**CEDAR PARK BARIATRICS**  
**Temporary Stormwater Section (TCEQ-0602)**

Attachment G– Drainage Area Map

*No more than ten (10) acres will be disturbed within a common drainage area at one time. All TBMPs utilized are adequate for the drainage areas served. Please see attached plans.*







**ATTACHMENT I**

# **CEDAR PARK BARIATRICS**

## **Temporary Stormwater Section (TCEQ-0602)**

### **Attachment I - Inspection and Maintenance for BMP's**

Designated and qualified person(s) shall inspect Pollution Control Measures weekly and within 24 hours after a storm event. An inspection report that summarizes the scope of the inspection, names and qualifications of personnel conducting the inspection, date of the inspection, major observations, and actions taken as a result of the inspection shall be recorded and maintained as part of Storm Water TPDES data for a period of three years after the Notice of Termination (NOT) has been filed. A copy of the Inspection Report Form is provided in this Storm Water Pollution Prevention Plan.

As a minimum, the inspector shall observe: (1) significant disturbed areas for evidence of erosion, (2) storage areas for evidence of leakage from the exposed stored materials, (3) structural controls (rock berm outlets, silt fences, drainage swales, etc.) for evidence of failure or excess siltation (over 6 inches deep), (4) vehicle exit point for evidence of off-site sediment tracking, (5) vehicle storage areas for signs of leaking equipment or spills, (6) concrete truck rinse-out pit for signs of potential failure, (7) embankment, spillways, and outlet of sediment basin (where applicable) for erosion damage, and (8) sediment basins (where applicable) for evidence that basin has accumulated 50% of its volume in silt. Deficiencies noted during the inspection will be corrected and documented within seven calendar days following the inspection or before the next anticipated storm event if practicable.

Contractor shall review Sections 1.3 and 1.4 of TCEQ's Technical Guidance Manual for additional BMP inspection and maintenance requirements.

**CEDAR PARK BARIATRICS**  
**Temporary Stormwater Section (TCEQ-0602)**

Pollution Prevention Measure	Inspected in Compliance	Corrective Action Required	
		Description (use additional sheet if necessary)	Date Completed
<b>Best Management Practices</b>			
Natural vegetation buffer strips			
Temporary vegetation			
Permanent vegetation			
Sediment control basin			
Silt fences			
Rock berms			
Gravel filter bags			
Drain inlet protection			
Other structural controls			
Vehicle exits (off-site tracking)			
Material storage areas (leakage)			
Equipment areas (leaks, spills)			
Concrete washout pit (leaks, failure)			
General site cleanliness			
Trash receptacles			
<b>Evidence of Erosion</b>			
Site preparation			
Roadway or parking lot construction			
Utility construction			
Drainage construction			
Building construction			
<b>Major Observations</b>			
Sediment discharges from site			
BMPs requiring maintenance			
BMPs requiring modification			
Additional BMPs required			

\_\_\_\_\_ A brief statement describing the qualifications of the inspector is included in this SWP3.

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

"I further certify I am an authorized signatory in accordance with the provisions of 30 TAC §305.128."

\_\_\_\_\_  
Inspector's Name

\_\_\_\_\_  
Inspector's Signature

\_\_\_\_\_  
Date

**CEDAR PARK BARIATRICS**  
**Temporary Stormwater Section (TCEQ-0602)**

**PROJECT MILESTONE DATES**

Date when major site grading activities begin:

<u>Construction Activity</u>	<u>Date</u>
Installation of BMPs	

Dates when construction activities temporarily or permanently cease on all or a portion of the project:

<u>Construction Activity</u>	<u>Date</u>

Dates when stabilization measures are initiated:

<u>Stabilization Activity</u>	<u>Date</u>

**ATTACHMENT J**



## **CEDAR PARK BARIATRICS**

### **Temporary Stormwater Section (TCEQ-0602)**

#### **Attachment J – Schedule of Interim and Permanent Soil Stabilization Practices**

*Interim on-site stabilization measures, which are continuous, will include minimizing soil disturbances by exposing the smallest practical area of land required for the shortest period of time and maximizing use of natural vegetation. As soon as practical, all disturbed soil will be stabilized as per project specifications in accordance with pages 1-35 to 1-60 of TCEQ's Technical Guidance Manual (TGM) RG-348 (2005). Mulching, netting, erosion blankets and seeding are acceptable.*

*Stabilization measures will be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and except as provided below, will be initiated no more than fourteen (14) days after the construction activity in that portion of the site has temporarily or permanently ceased. Where construction activity on a portion of the site is temporarily ceased, and earth disturbing activities will be resumed within twenty-one (21) days, temporary stabilization measures do not have to be initiated on that portion of the site. In areas experiencing droughts where the initiation of stabilization measures by the 14<sup>th</sup> day after construction activity has temporarily or permanently ceased is precluded by seasonably arid conditions, stabilization measures must be initiated as soon as practicable. Stabilization measures in this instance shall comply with temporary stabilization as defined in TXR150000 or as defined otherwise in the landscape plans where applicable.*

**AGENT AUTHORIZATION FORM**  
**(TCEQ-0599)**

**Agent Authorization Form**  
For Required Signature  
Edwards Aquifer Protection Program  
Relating to 30 TAC Chapter 213  
Effective June 1, 1999

I Dr. Alan Abando  
Print Name

Authorized Agent / Owner  
Title - Owner/President/Other

of LBA REAL LLC  
Corporation/Partnership/Entity Name

have authorized Pape-Dawson Engineers, Inc.  
Print Name of Agent/Engineer

of Pape-Dawson Engineers, Inc.  
Print Name of Firm

to represent and act on the behalf of the above named Corporation, Partnership, or Entity for the purpose of preparing and submitting this plan application to the Texas Commission on Environmental Quality (TCEQ) for the review and approval consideration of regulated activities.

I also understand that:

1. The applicant is responsible for compliance with 30 Texas Administrative Code **Chapter 213 and any condition of the TCEQ's approval letter. The TCEQ is authorized** to assess administrative penalties of up to \$10,000 per day per violation.
2. For those submitting an application who are not the property owner, but who have the right to control and possess the property, additional authorization is required from the owner.
3. Application fees are due and payable at the time the application is submitted. The application fee must be sent to the TCEQ cashier or to the appropriate regional office. The application will not be considered until the correct fee is received by the commission.
4. A notarized copy of the Agent Authorization Form must be provided for the person preparing the application, and this form must accompany the completed application.
5. No person shall commence any regulated activity on the Edwards Aquifer Recharge Zone, Contributing Zone or Transition Zone until the appropriate application for the activity has been filed with and approved by the Executive Director.

SIGNATURE PAGE:

Alan Abando  
Applicant's Signature

9/6/2024  
Date

THE STATE OF TX §  
County of Williamson §

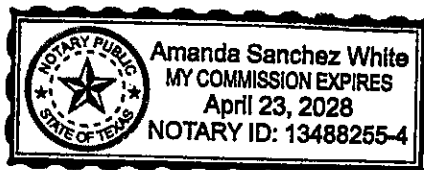
BEFORE ME, the undersigned authority, on this day personally appeared Alan Abando known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 10 day of September, 2024.

Amanda Sanchez White  
NOTARY PUBLIC

Amanda Sanchez White  
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: 04-23-2028



**APPLICATION FEE FORM**  
**(TCEQ-0574)**



# Application Fee Form

## Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: Cedar Park Bariatrics

Regulated Entity Location: 1410 Medical Parkway, Suite 200, Cedar Park, TX 78613

Name of Customer: LBA REAL LLC

Contact Person: Dr. Alan Abando

Phone: 512-590-9598

Customer Reference Number (if issued):CN \_\_\_\_\_

Regulated Entity Reference Number (if issued):RN \_\_\_\_\_

### Austin Regional Office (3373)

☐ Hays

☐ Travis

☒ Williamson

### San Antonio Regional Office (3362)

☐ Bexar

☐ Medina

☐ Uvalde

☐ Comal

☐ Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

☒ Austin Regional Office

☐ San Antonio Regional Office

☐ Mailed to: TCEQ - Cashier

☐ Overnight Delivery to: TCEQ - Cashier

Revenues Section

12100 Park 35 Circle

Mail Code 214

Building A, 3rd Floor

P.O. Box 13088

Austin, TX 78753

Austin, TX 78711-3088

(512)239-0357

### Site Location (Check All That Apply):

☐ Recharge Zone

☒ Contributing Zone

☐ Transition Zone

Type of Plan	Size	Fee Due
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	Acres	\$
Sewage Collection System	L.F.	\$
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	1 Each	\$ 500.00
Extension of Time	Each	\$

Signature: 

Date: 9-6-24

# Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

## ***Water Pollution Abatement Plans and Modifications***

### ***Contributing Zone Plans and Modifications***

<b><i>Project</i></b>	<b><i>Project Area in Acres</i></b>	<b><i>Fee</i></b>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

### ***Organized Sewage Collection Systems and Modifications***

<b><i>Project</i></b>	<b><i>Cost per Linear Foot</i></b>	<b><i>Minimum Fee- Maximum Fee</i></b>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

### ***Underground and Aboveground Storage Tank System Facility Plans and Modifications***

<b><i>Project</i></b>	<b><i>Cost per Tank or Piping System</i></b>	<b><i>Minimum Fee- Maximum Fee</i></b>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

### ***Exception Requests***

<b><i>Project</i></b>	<b><i>Fee</i></b>
Exception Request	\$500

### ***Extension of Time Requests***

<b><i>Project</i></b>	<b><i>Fee</i></b>
Extension of Time Request	\$150

**CORE DATA FORM (TCEQ-  
10400)**



# TCEQ Core Data Form

For detailed instructions on completing this form, please read the Core Data Form Instructions or call 512-239-5175.

## SECTION I: General Information

<b>1. Reason for Submission</b> (If other is checked please describe in space provided.)		
<input checked="" type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)		<input type="checkbox"/> Other
<b>2. Customer Reference Number</b> (if issued)	<a href="#">Follow this link to search for CN or RN numbers in Central Registry**</a>	<b>3. Regulated Entity Reference Number</b> (if issued)
CN		RN

## SECTION II: Customer Information

<b>4. General Customer Information</b> LBA Real LLC		<b>5. Effective Date for Customer Information Updates</b> (mm/dd/yyyy) 09.13.2024			
<input checked="" type="checkbox"/> New Customer <input type="checkbox"/> Update to Customer Information <input type="checkbox"/> Change in Regulated Entity Ownership <input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)					
<i>The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).</i>					
<b>6. Customer Legal Name</b> (If an individual, print last name first: eg: Doe, John)				<i>If new Customer, enter previous Customer below:</i>	
LBA REAL LLC				1890 Carssow East Ltd.	
<b>7. TX SOS/CPA Filing Number</b> 802798582		<b>8. TX State Tax ID</b> (11 digits) 32064652426		<b>9. Federal Tax ID</b> (9 digits) 82-2582626	<b>10. DUNS Number</b> (if applicable) 103091594
<b>11. Type of Customer:</b>		<input type="checkbox"/> Corporation		<input type="checkbox"/> Individual	Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited
Government: <input type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> Local <input type="checkbox"/> State <input type="checkbox"/> Other		<input type="checkbox"/> Sole Proprietorship		<input checked="" type="checkbox"/> Other: LLC	
<b>12. Number of Employees</b> <input checked="" type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input type="checkbox"/> 501 and higher				<b>13. Independently Owned and Operated?</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>14. Customer Role</b> (Proposed or Actual) – as it relates to the Regulated Entity listed on this form. Please check one of the following					
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Operator <input type="checkbox"/> Owner & Operator <input type="checkbox"/> Other: <input type="checkbox"/> Occupational Licensee <input type="checkbox"/> Responsible Party <input type="checkbox"/> VCP/BSA Applicant					
<b>15. Mailing Address:</b>		1410 Medical Pkwy			
		Suite 200			
City		Cedar Park		State	TX
ZIP		78613		ZIP + 4	
<b>16. Country Mailing Information</b> (if outside USA)				<b>17. E-Mail Address</b> (if applicable)	
				aabando@basurgeons.com	
<b>18. Telephone Number</b> (512) 590 - 9598		<b>19. Extension or Code</b> n/a		<b>20. Fax Number</b> (if applicable) n/a	

## SECTION III: Regulated Entity Information

<b>21. General Regulated Entity Information</b> (If 'New Regulated Entity' is selected, a new permit application is also required.)								
<input checked="" type="checkbox"/> New Regulated Entity <input type="checkbox"/> Update to Regulated Entity Name <input type="checkbox"/> Update to Regulated Entity Information								
<i>The Regulated Entity Name submitted may be updated, in order to meet TCEQ Core Data Standards (removal of organizational endings such as Inc, LP, or LLC).</i>								
<b>22. Regulated Entity Name</b> (Enter name of the site where the regulated action is taking place.)								
Cedar Park Bariatrics								
<b>23. Street Address of the Regulated Entity:</b>  (No PO Boxes)	1410 Medical Pkwy							
	Suite 200							
	City	Cedar Park	State	TX	ZIP	78613	ZIP + 4	
<b>24. County</b>								

If no Street Address is provided, fields 25-28 are required.

<b>25. Description to Physical Location:</b>	N/A							
<b>26. Nearest City</b>				<b>State</b>		<b>Nearest ZIP Code</b>		
N/A								
<i>Latitude/Longitude are required and may be added/updated to meet TCEQ Core Data Standards. (Geocoding of the Physical Address may be used to supply coordinates where none have been provided or to gain accuracy).</i>								
<b>27. Latitude (N) In Decimal:</b>		30.529608			<b>28. Longitude (W) In Decimal:</b>		97.810825	
Degrees	Minutes	Seconds	Degrees	Minutes	Seconds			
30	31	46.59	97	48	38.97			
<b>29. Primary SIC Code</b> (4 digits) 6512		<b>30. Secondary SIC Code</b> (4 digits)		<b>31. Primary NAICS Code</b> (5 or 6 digits) 531120		<b>32. Secondary NAICS Code</b> (5 or 6 digits)		
<b>33. What is the Primary Business of this entity?</b> Building property owner								
<b>34. Mailing Address:</b>	1410 Medical Pkwy							
	Suite 200							
	City	Cedar Park	State	TX	ZIP	78613	ZIP + 4	
<b>35. E-Mail Address:</b>		aabando@basurgeons.com						
<b>36. Telephone Number</b>			<b>37. Extension or Code</b>			<b>38. Fax Number</b> (if applicable)		
(512) 590 - 9598			n/a			n/a		

**39. TCEQ Programs and ID Numbers** Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.



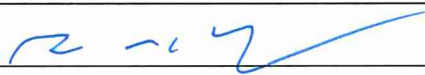
<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Wastewater	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

## **SECTION IV: Preparer Information**

<b>40. Name:</b>	Trevor Riek		<b>41. Title:</b>	Project Manager
<b>42. Telephone Number</b>	<b>43. Ext./Code</b>	<b>44. Fax Number</b>	<b>45. E-Mail Address</b>	
( 512 ) 454-8711		( ) -	trieb@pape-dawson.com	

## **SECTION V: Authorized Signature**

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

<b>Company:</b>	Pape-Dawson Engineers, Inc.	<b>Job Title:</b>	Senior Project Manager
<b>Name (In Print):</b>	Brent Tuley	<b>Phone:</b>	( 512 ) 454- 8711
<b>Signature:</b>		<b>Date:</b>	9-6-2024