

# Texas Commission on Environmental Quality

## Edwards Aquifer Application Cover Page

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### Our Review of Your Application

**The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with [30 TAC 213](#).**

### Administrative Review

1. [Edwards Aquifer applications](#) must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains “possibly sensitive” features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

### Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited.**
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

**Mid-Review Modifications**

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a “Mid-Review Modification”. Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ’s Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ’s San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

<b>1. Regulated Entity Name:</b> Florence ISD High School				<b>2. Regulated Entity No.:</b> 105215289					
<b>3. Customer Name:</b> Florence ISD				<b>4. Customer No.:</b> 600782627					
<b>5. Project Type:</b> (Please circle/check one)	New	Modification	Extension	Exception					
<b>6. Plan Type:</b> (Please circle/check one)	WPAP	CZP	SCS	UST	AST	EXP	EXT	Technical Clarification	Optional Enhanced Measures
<b>7. Land Use:</b> (Please circle/check one)	Residential	Non-residential			<b>8. Site (acres):</b>		46.12		
<b>9. Application Fee:</b>	\$500.00		<b>10. Permanent BMP(s):</b>			NA			
<b>11. SCS (Linear Ft.):</b>			<b>12. AST/UST (No. Tanks):</b>						
<b>13. County:</b>	Williamson		<b>14. Watershed:</b>			Salado Creek			

# Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the “Texas Groundwater Conservation Districts within the EAPP Boundaries” map found at:

[http://www.tceq.texas.gov/assets/public/compliance/field\\_ops/eapp/EAPP%20GWCD%20map.pdf](http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf)

For more detailed boundaries, please contact the conservation district directly.

<b>Austin Region</b>			
<b>County:</b>	<b>Hays</b>	<b>Travis</b>	<b>Williamson</b>
Original (1 req.)	—	—	<u>1</u>
Region (1 req.)	—	—	<u>1</u>
County(ies)	—	—	<u>1</u>
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Barton Springs/ Edwards Aquifer <input type="checkbox"/> Hays Trinity <input type="checkbox"/> Plum Creek	<input type="checkbox"/> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<input type="checkbox"/> Austin <input type="checkbox"/> Buda <input type="checkbox"/> Dripping Springs <input type="checkbox"/> Kyle <input type="checkbox"/> Mountain City <input type="checkbox"/> San Marcos <input type="checkbox"/> Wimberley <input type="checkbox"/> Woodcreek	<input type="checkbox"/> Austin <input type="checkbox"/> Bee Cave <input type="checkbox"/> Pflugerville <input type="checkbox"/> Rollingwood <input type="checkbox"/> Round Rock <input type="checkbox"/> Sunset Valley <input type="checkbox"/> West Lake Hills	<input type="checkbox"/> Austin <input type="checkbox"/> Cedar Park <input checked="" type="checkbox"/> Florence <input type="checkbox"/> Georgetown <input type="checkbox"/> Jerrell <input type="checkbox"/> Leander <input type="checkbox"/> Liberty Hill <input type="checkbox"/> Pflugerville <input type="checkbox"/> Round Rock

<b>San Antonio Region</b>					
<b>County:</b>	<b>Bexar</b>	<b>Comal</b>	<b>Kinney</b>	<b>Medina</b>	<b>Uvalde</b>
Original (1 req.)	—	—	—	—	—
Region (1 req.)	—	—	—	—	—
County(ies)	—	—	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Trinity-Glen Rose	<input type="checkbox"/> Edwards Aquifer Authority	<input type="checkbox"/> Kinney	<input type="checkbox"/> EAA <input type="checkbox"/> Medina	<input type="checkbox"/> EAA <input type="checkbox"/> Uvalde
City(ies) Jurisdiction	<input type="checkbox"/> Castle Hills <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Helotes <input type="checkbox"/> Hill Country Village <input type="checkbox"/> Hollywood Park <input type="checkbox"/> San Antonio (SAWS) <input type="checkbox"/> Shavano Park	<input type="checkbox"/> Bulverde <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Garden Ridge <input type="checkbox"/> New Braunfels <input type="checkbox"/> Schertz	NA	<input type="checkbox"/> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.	
Jack Garner, PE	
Print Name of Customer/Authorized Agent	10.17.2024
Signature of Customer/Authorized Agent	Date

<b>**FOR TCEQ INTERNAL USE ONLY**</b>			
Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):

# Contributing Zone Exception Request Form

## Texas Commission on Environmental Quality

for Regulated Activities on the Contributing Zone to the Edwards Aquifer and Relating to 30 TAC §213.24(1), Effective June 1, 1999

*To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.*

*Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.*

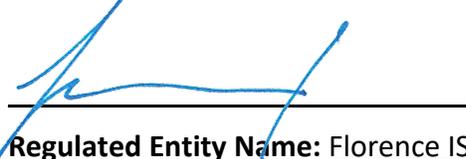
## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Contributing Zone Exception Request Form** is hereby submitted for TCEQ review and executive director approval. The request was prepared by:

Print Name of Customer/Agent: Jack Garner, PE

Date: 10.17.2024

Signature of Customer/Agent:



Regulated Entity Name: Florence ISD High School

## Project Information

1. County: Williamson
2. Stream Basin: South Salado Creek
3. Groundwater Conservation District (if applicable): NA
4. Customer (Applicant):

Contact Person: Rick Kirkpatrick

Entity: Florence ISD

Mailing Address: 306 COLLEGE AVE

City, State: Florence, Texas

Telephone: 254-793-2850

Email Address: rkirkpatrick@florenceisd.net

Zip: 76527

Fax: 254-793-3055

5. Agent/Representative (If any):

Contact Person: Jack Garner, PE

Entity: Langan Engineering

Mailing Address: 9606 N Mopac Expressway, Suite 110

City, State: Austin, TX

Zip: 78759

Telephone: 737-289-7810

Fax: \_\_\_\_\_

Email Address: jgarner@langan.com

6. Project Location

- This project is inside the city limits of Florence, Texas.
- This project is outside the city limits but inside the ETJ (extra-territorial jurisdiction) of \_\_\_\_\_.
- This project is not located within any city limits or ETJ.

7.  The location of the project site is described below. Sufficient detail and clarity has been provided so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

Florence High School is located at 401 FM 970. The practice field will be located to the north of the recently permitted band hall building.

8.  **Attachment A - Road Map.** A road map showing directions to and location of the project site is attached. The map clearly shows the boundary of the project site.
9.  **Attachment B - USGS Quadrangle Map.** A copy of the USGS Quadrangle Map (Scale: 1" = 2000') is attached. The map(s) should clearly show:

- Project site boundaries.
- USGS Quadrangle Name(s).

10.  **Attachment C - Project Narrative.** A detailed narrative description of the proposed project is provided at the end of this form. The project description is consistent throughout the application and contains, at a minimum, the following details:

- Area of the site
- Offsite areas
- Impervious cover
- Permanent BMP(s)
- Proposed site use
- Site history
- Previous development
- Area(s) to be demolished

11. Existing project site conditions are noted below:

- Existing commercial site
- Existing industrial site
- Existing residential site

- Existing paved and/or unpaved roads
- Undeveloped (Cleared)
- Undeveloped (Undisturbed/Not cleared)
- Other: Existing school campus upon which the addition of a practice field is proposed.

12.  **Attachment D - Nature Of Exception.** A narrative description of the nature of each exception requested is attached. All provisions of 30 TAC §213 Subchapter B for which an exception is being requested have been identified in the description.
13.  **Attachment E - Equivalent Water Quality Protection.** Documentation demonstrating equivalent water quality protection for surface streams which enter the Edwards Aquifer is attached.

### ***Administrative Information***

14.  Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions.
15.  The applicant understands that prior approval under this section must be obtained from the executive director for the exception to be authorized.

**CZP Exception Request TCEQ Form 10262**  
**Attachment A – Road Map**  
**Florence High School**  
**Florence, TX**



# Attachment B - USGS Quadrangle Map



U.S. DEPARTMENT OF THE INTERIOR  
U.S. GEOLOGICAL SURVEY



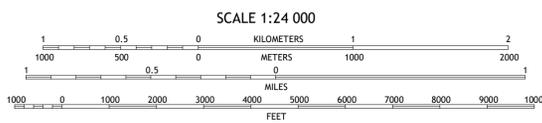
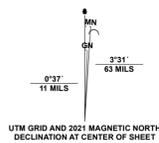
FLORENCE QUADRANGLE  
TEXAS  
7.5-MINUTE TOPO



Produced by the United States Geological Survey  
North American Datum of 1983 (NAD83). Projection and  
World Geodetic System of 1984 (WGS84). Projection and  
1 000-meter grid/Universal Transverse Mercator, Zone 14R  
Data is provided by The National Map (TNM), is the best available at the time of map  
generation, and includes data content from supporting themes of Elevation,  
Hydrography, Geographic Names, Boundaries, Transportation, Structures, Land Cover,  
and Orthoimagery. Refer to associated Federal Geographic Data Committee (FGDC)  
Metadata for additional source data information.

This map is not a legal document. Boundaries may be generalized for this map scale.  
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before entering private lands. Temporal changes may have occurred since these data  
were collected and some data may no longer represent actual surface conditions.

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CONTOUR INTERVAL 10 FEET  
NORTH AMERICAN VERTICAL DATUM OF 1988  
CONTOUR SMOOTHNESS - Medium



QUADRANGLE LOCATION

Briggs	Ding Dong	Youngsport
Mahomet	Florence	Cobbs Eavens
Liberty Hill	Leander NE	Georgetown

ADJOINING QUADRANGLES



FLORENCE, TX  
2024

**CZP Exception Request TCEQ Form 10262  
Attachment C – Project Narrative**

On June 13, 2007 the TCEQ informed Florence Independent School District that the Contributing Zone Plan was approved for the addition of baseball and softball fields. The CZP included a land area of 46.12 acres with the total impervious cover for the development of 7.02 acres or 15.2% of the total site area. The TCEQ waived permanent BMPs for the project because the impervious cover was less than 20% (ID # 07042300).

On August 6, 2018 a letter from Adams Engineering was sent to the TCEQ for additional improvements related to the baseball and softball fields including sidewalk, accessible parking spots, concession stand, ticket booth and sidewalks. These additions would add 0.21 acres of impervious cover bringing the total to 7.23 acres or 15.7% impervious cover. The TCEQ waived a CZP Exception application requirement for these small additions.

In 2020 the Florence School District upgraded and added improvements to the high school that included the addition of classrooms and pavement to the Career Technical Education (CTE) Building. These improvements added 8,244 square feet or 0.19 acres of impervious cover to the existing total of 7.23 acres of impervious cover. The total impervious cover after these improvements was 7.42 acres or 16.09% of the total site area. The TCEQ required the completion of a CZP Exception Request (ID # 11001971).

In April 2023, the district had additional improvements including a band hall and field house to the high school. This expansion increased the overall impervious cover by 57,361 square feet or 1.32 acres. The total impervious cover for the campus following these improvements was 8.74 acres or 18.9% of the total site area. The TCEQ required the completion of another CZP Exception Request which was approved on April 6, 2023 (ID # 11003506).

In 2019 Florence ISD hired a surveyor to perform an impervious cover survey of the entire campus, which included the high school and middle school. While reviewing this survey we discovered an error in the total impervious cover that was submitted in the previous CZP exception requests and the total number was less. After a site visit we discovered the survey also incorrectly counted some dirt paths as impervious cover. These paths are in a field located on the south side of Lots 1 and 3. The corrected 2019 total impervious cover came out to be 3.51 acres (7.60%), which is about half the impervious cover of what was permitted in 2007. This discrepancy in the 2007 permit impacted all following permits since the impervious cover accumulated based on the original permit. The correct impervious cover for each permit after 2019 can be found in the following table:

Permit Year	EAPP ID #	Increased Impervious Cover	Total Permitted IC (acres)	Total Permitted IC (%)	Corrected IC (acres)	Corrected IC (%)
2007	07042300	Unknown	7.02	15.20%	---	---
2018	07042300	0.21	7.23	15.70%	---	---
2019	---	---	---	---	3.51	7.60%
2020	11001971	0.19	7.42	16.09%	3.70	8.02%
2023	11003506	1.32	8.74	18.95%	5.02	10.88%
2024	TBD	1.22	---	---	6.24	13.52%

At this time, additional improvements are planned for a practice field for the marching band located north to the band hall. Four new parking stalls and a new drive lane for parent pickup circulation will be added west of the band hall. These improvements will increase the overall impervious cover by 1.22 acres. With the corrected existing impervious cover, the campus will have total of 6.24 acres or 13.5% of the total site area.

With this improvement, drainage patterns will be only altered slightly, and the outfall locations will be the same on the school grounds. The outfall will travel primarily in sheet flow over about 1,000 feet of grassy field to over 725 feet of a vegetated roadside ditch on the west side of State Highway 195 where it crosses under the highway and travels another 435 feet in a broad vegetated channel to South Salado Creek.

Permanent BMPs are not proposed due to the 20% threshold.

Kathleen Hartnett White, *Chairman*  
Larry R. Soward, *Commissioner*  
H. S. Buddy Garcia, *Commissioner*  
Glenn Shankle, *Executive Director*



## TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

*Protecting Texas by Reducing and Preventing Pollution*

June 13, 2007

Mr. John Vandever  
Florence Independent School District  
401 FM 970  
Florence, Texas 76527

Re: Edwards Aquifer, Williamson County  
NAME OF PROJECT: Florence High School Baseball/Softball Fields; 1 mile Southwest of the Intersection of FM 970 and State Highway 195; Florence, Texas  
TYPE OF PLAN: Request for Approval of a Contributing Zone Plan (CZP); 30 Texas Administrative Code (TAC) Chapter 213 Subchapter B Edwards Aquifer  
Edwards Aquifer Protection Program File No. 07042300

Dear Mr. Vandever:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZP application for the referenced project submitted to the Austin Regional Office by Prossner and Associates, Inc. on behalf of Florence ISD on April 23, 2007. Final review of the CZP submittal was completed, after additional material was received on June 6, 2007. As presented to the TCEQ, the Temporary Best Management Practices (BMPs) and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed, and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Contributing Zone Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10% of the construction has commenced on the project or an extension of time has been requested.*

### PROJECT DESCRIPTION

The proposed baseball/softball field project will be located on 46.12 acres next to the Florence High School. The project will consist of two grassy athletic fields, structures, parking and associated paved areas. The proposed impervious cover for the development is approximately 7.02 acres 15.2% of the total area of the site.

### SPECIAL CONDITIONS

- I. On April 23, 2007, the applicant requested a waiver to the requirement for other permanent BMPs for this school project because the development will have less than 20% impervious cover. Based upon the TCEQ's review of the proposed activities and the site conditions, the required waiver is hereby granted. If the percent impervious cover ever increases above 20% or the land use changes, the exemption for the whole site as described in the Contributing Zone Plan may no longer apply and the property owner must notify the Austin Regional Office of these changes.
- II. Intentional discharges of sediment laden stormwater during construction are not allowed. If dewatering excavated areas and/or areas of accumulated stormwater becomes necessary, the discharge shall be filtered through appropriately selected temporary best management practices. These may include vegetative filter strips, sediment traps, rock berms, silt fence rings, etc.

### STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.

#### Prior to Commencement of Construction:

2. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project until all regulated activities are completed.
3. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.

4. The applicant must provide written notification of intent to commence construction of the referenced project. Notification must be submitted to the Austin Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and file number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.
5. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

6. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
7. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
8. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
9. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.

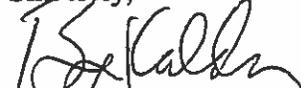
Mr. John Vandever  
Page 4  
June 13, 2007

After Completion of Construction:

10. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
12. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50% of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the Austin Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
13. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

If you have any questions or require additional information, please contact Mr. Jerrett Kramer of the Edwards Aquifer Protection Program of the Austin Regional Office at (512)339-2929.

Sincerely,



*For*  
Glenn Shankle  
Executive Director  
Texas Commission on Environmental Quality

GS/jk

Enclosure: Deed Recordation Affidavit, TCEQ-0625A

- cc:
- Mr. Richard Michalka, P.E., Prossner and Associates, Inc.
  - ✓ The Honorable Dan A. Gattis, County Judge, Williamson County
  - ✓ Mr. Paulo C. Pinto, B.S., R.S., Director of Environmental Services, Williamson County & Cities Health District
  - ✓ Mr. Joe M. England, P.E., County Engineer, Williamson County
  - ✓ Mr. Bill Dee, Director of Public Works, City of Florence
- TCEQ Central Records, Austin, Texas



August 6, 2018

Mr. Zach Lanfear  
Texas Commission on Environmental Quality  
Environmental Investigator  
P.O. Box 13087  
Austin, Texas 78711-3087

**RE: Florence ISD – High School Campus - Baseball and Softball Improvements  
TCEQ Edwards Aquifer Contributing Zone – Site Plan Update  
EAPP File No. 07042300**

Dear Mr. Lanfear,

The project design team has completed the construction documents for improvements and upgrades to the existing Florence ISD Baseball and Softball Complex. The existing complex in its current state consists of a small ticket building, ball fields, batting cages, sidewalks, parking and fencing. The site is located south of the existing high school campus and is accessed via an existing concrete driveway that loops around the high school campus. The existing EAPP permit for this project lists a site size of 46.12 acres with 7.02 acres of impervious coverage (15.2%).

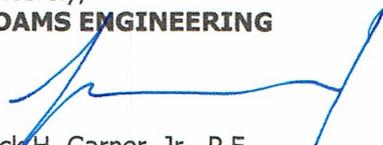
The proposed scope for the Baseball and Softball Complex Improvements consists of adding a small restroom and concession building, additional accessible pedestrian walkways and new accessible parking spaces. The additional impervious coverage calculation for the site is shown on the attached site plan and breaks down to the following:

**Additional Impervious Area Summary**

Structures/Rooftops	0.02 acres (718 sq. ft.)
Sidewalk	0.17 acres (7,519 sq. ft.)
Parking/Drive	0.02 acres (1,018 sq. ft.)
<b>Total</b>	<b>0.21 acres (9,255 sq. ft.)</b>

The proposed increase in impervious coverage is 0.21 acres for a total site impervious coverage of 7.23 acres or 15.7%. Attached for your review is the project Site Plan, Grading Plan, Erosion Control Plan and Erosion Control Details. Any comments or concerns may be emailed to [jack.garner@adams-engineering.com](mailto:jack.garner@adams-engineering.com). Thank you for your time and consideration regarding this project. Please do not hesitate to contact us with any questions.

Sincerely,  
**ADAMS ENGINEERING**



Jack H. Garner, Jr., P.E.  
*Director of Engineering*

*Attachments*

Jon Niermann, *Chairman*  
Emily Lindley, *Commissioner*  
Bobby Janecka, *Commissioner*  
Toby Baker, *Executive Director*



## TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

*Protecting Texas by Reducing and Preventing Pollution*

April 23, 2020

Mr. Paul Michalewicz  
Florence ISD  
306 College Avenue  
Florence, TX 76527-4733

Re: Edwards Aquifer, Williamson County

NAME OF PROJECT: Florence ISD High School; Located at 401 FM 970; Florence, Texas

TYPE OF PLAN: Request for an Exception to the Requirements of a Contributing Zone Plan (CZP); 30 Texas Administrative Code (TAC) Chapter 213 Edwards Aquifer

Regulated Entity No. RN105215289; Additional ID No. 11001971

Dear Mr. Michalewicz:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the Exception Request application for the above-referenced project submitted to the Austin Regional Office by Adams Engineering on behalf of Florence ISD on March 6, 2020. Final review of the Exception Request was completed after additional material was received on April 16, 2020. As presented to the TCEQ, the Exception Request proposed in the submittal is in general compliance with the requirements of 30 TAC Chapter 213. Therefore, the request for exception is hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

### BACKGROUND

Florence ISD High School Baseball & Softball Fields CZP was approved by letter dated June 13, 2007 for a 46.12 acre site with 7.02 acres of impervious cover (15.2 percent). The project included the construction of two grassy athletic fields, structures, parking and associated paved areas.

On September 5, 2018, a TCEQ letter authorized the addition of sidewalks, accessible parking spots, concession stands and a ticket booth resulting in an increase of impervious cover to 7.23 acres (15.7 percent).

### PROJECT DESCRIPTION

The proposed school project will increase the impervious cover to 7.42 acres (16.09 percent) for the 46.12 acre site. It will include the construction of additional classrooms and pavement.

### PERMANENT POLLUTION ABATEMENT MEASURES

This school will not have more than 20 percent impervious cover.

### SPECIAL CONDITION

The applicant requested a waiver to the requirement for other permanent BMPs for this school project because the development will have less than 20 percent impervious cover. Based on the TCEQ's Review of the proposed activities and the site conditions, the required waiver is hereby granted. If the percent impervious cover ever increases above 20 percent or the land use changes, the exemption for the whole site as described in the Contributing Zone Plan may no longer apply and the property owner must notify the Austin Regional Office of these changes.

### STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

#### Prior to Commencement of Construction:

4. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project location until all regulated activities are completed.
5. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
6. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the Austin Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and file number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.
7. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges

from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

8. During the course of regulated activities related to this project, the applicant or agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
9. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 6, above.
10. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50 percent. Litter, construction debris, and construction chemicals shall be prevented from becoming stormwater discharge pollutants.
11. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.
12. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
13. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.

After Completion of Construction:

14. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Edwards Aquifer protection plan. If the new owner intends to commence any new regulated activity on the site, a new Edwards Aquifer protection plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
15. An Edwards Aquifer protection plan approval or extension will expire and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Edwards Aquifer protection plan must be submitted to the Austin Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.

Mr. Paul Michalewicz  
Page 4  
April 23, 2020

16. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

This action is taken under authority delegated by the Executive Director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact the Edwards Aquifer Protection Program Austin Regional Office at (512) 339-2929.

Sincerely,



Robert Sadlier, Section Manager  
Edwards Aquifer Protection Program  
Texas Commission on Environmental Quality

RCS/lrm

Enclosure: Deed Recordation Affidavit, Form TCEQ-0625

cc: Mr. Lenwood S. Adams, P.E., Adams Engineering

**Deed Recordation Affidavit  
Edwards Aquifer Protection Plan**

THE STATE OF TEXAS     §

County of \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_ who, being duly sworn by me, deposes and says:

- (1) That my name is \_\_\_\_\_ and that I own the real property described below.
- (2) That said real property is subject to an EDWARDS AQUIFER PROTECTION PLAN which was required under the 30 Texas Administrative Code (TAC) Chapter 213.
- (3) That the EDWARDS AQUIFER PROTECTION PLAN for said real property was approved by the Texas Commission on Environmental Quality (TCEQ) on \_\_\_\_\_.

A copy of the letter of approval from the TCEQ is attached to this affidavit as Exhibit A and is incorporated herein by reference.

- (4) The said real property is located in \_\_\_\_\_ County, Texas, and the legal description of the property is as follows:

\_\_\_\_\_  
LANDOWNER-AFFIANT

SWORN AND SUBSCRIBED TO before me, on this \_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC

THE STATE OF \_\_\_\_\_ §

County of \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this \_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: \_\_\_\_\_

Jon Niermann, *Chairman*  
Emily Lindley, *Commissioner*  
Bobby Janecka, *Commissioner*  
Erin E. Chancellor, *Interim Executive Director*



## TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

*Protecting Texas by Reducing and Preventing Pollution*

April 6, 2023

Mr. Keith Boles  
Florence ISD  
306 College Ave.  
Florence, Texas 76527

Re: Edwards Aquifer, Williamson County

NAME OF PROJECT: Florence ISD High School; Located at 401 FM 970; Florence, Texas

TYPE OF PLAN: Request for an Exception to the Requirements of a Contributing Zone Plan (CZP); 30 Texas Administrative Code (TAC) Chapter 213 Edwards Aquifer

Regulated Entity No. RN105215289; Additional ID No. 11003506

Dear Mr. Boles:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZP Exception Request application for the above-referenced project submitted to the Austin Regional Office by Langan Engineering on behalf of the Florence ISD on February 28, 2023. As presented to the TCEQ, the CZP Exception Request proposed in the submittal is in general compliance with the requirements of 30 TAC Chapter 213. Therefore, the request for exception is hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

### PROJECT DESCRIPTION

This project proposes the addition of 1.32 acres of impervious cover for construction of a high school band hall and field house on a 46.12-acre site. The total existing and new impervious cover combined will be 8.74 acres (18.95 percent). Project wastewater will be disposed of by conveyance to the existing City of Florence Wastewater Treatment Plant.

### PERMANENT POLLUTION ABATEMENT MEASURES

This school development will have no more than 20 percent impervious cover.

### EQUIVALENT WATER QUALITY PROTECTION

The applicant requests an exception to submitting an Edwards Aquifer protection plan or modification required by 30 TAC 213.5. However, the applicant proposes an exception under 30 TAC 213.9. The proposed development demonstrates equivalent water quality protection for the Edwards Aquifer.

STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

Prior to Commencement of Construction:

4. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Exception and this notice of approval shall be maintained at the project location until all regulated activities are completed.
5. Modification to the activities described in the referenced Exception application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
6. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the Austin Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the date on which the regulated activity will commence, the name of the approved plan and program ID number for the regulated activity, and the name of the prime contractor with the name and telephone number of the contact person. The executive director will use the notification to determine if the approved plan is eligible for an extension.
7. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Exception, must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established, and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.
8. All borings with depths greater than or equal to 20 feet must be plugged with non-shrink grout from the bottom of the hole to within three (3) feet of the surface. The remainder of the hole must be backfilled with cuttings from the boring. All borings less than 20 feet must be backfilled with cuttings from the boring. All borings must be backfilled or plugged within four (4) days of completion of the drilling operation. Voids may be filled with gravel.

During Construction:

9. During the course of regulated activities related to this project, the applicant or agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.

10. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 6, above.
11. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50 percent. Litter, construction debris, and construction chemicals shall be prevented from becoming stormwater discharge pollutants.
12. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.
13. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
14. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.

After Completion of Construction:

15. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the Austin Regional Office within 30 days of site completion.
16. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. The regulated entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through Austin Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.
17. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Edwards Aquifer protection plan. If the new owner intends to commence any new regulated activity on the site, a new Edwards Aquifer protection plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
18. An Edwards Aquifer protection plan approval or extension will expire, and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Edwards Aquifer protection plan must be submitted to the Austin Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
19. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

Mr. Keith Boles  
April 6, 2023  
Page 4

This action is taken under authority delegated by the Executive Director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact the Edwards Aquifer Protection Program Austin Regional Office at (512) 339-2929.

Sincerely,



Lillian Butler, Section Manager  
Edwards Aquifer Protection Program  
Texas Commission on Environmental Quality

LIB/dpm

Enclosure: Deed Recordation Affidavit, Form TCEQ-0625

cc: Mr. Jack Garner, P.E., Langan Engineering

**Deed Recordation Affidavit**  
Contributing Zone Plan

THE STATE OF TEXAS     §

County of \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_ who, being duly sworn by me, deposes and says:

- (1) That my name is \_\_\_\_\_ and that I own the real property described below.
- (2) That said real property is subject to an CONTRIBUTING ZONE PLAN which was required under the 30 Texas Administrative Code (TAC) Chapter 213.
- (3) That the CONTRIBUTING ZONE PLAN for said real property was approved by the Texas Commission on Environmental Quality (TCEQ) on \_\_\_\_\_.

A copy of the letter of approval from the TCEQ is attached to this affidavit as Exhibit A and is incorporated herein by reference.

- (4) The said real property is located in \_\_\_\_\_ County, Texas, and the legal description of the property is as follows:

\_\_\_\_\_  
LANDOWNER-AFFIANT

SWORN AND SUBSCRIBED TO before me, on this \_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC

THE STATE OF \_\_\_\_\_ §

County of \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this \_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: \_\_\_\_\_

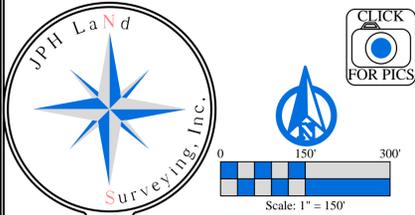
- 1 CALLED 40.03 ACRE TRACT FLORENCE INDEPENDENT SCHOOL DISTRICT INST# 1998023960, O.P.R.W.C.T. 40.034 OF AN ACRE | 1,743,880 S.F.
- 2 CALLED 1.345 ACRE TRACT FLORENCE INDEPENDENT SCHOOL DISTRICT INST# 199933212, O.P.R.W.C.T. 1.345 OF AN ACRE | 58,604 S.F.
- 3 CALLED 6.09 ACRE TRACT FLORENCE INDEPENDENT SCHOOL DISTRICT INST# 1998046500, O.P.R.W.C.T. 6.093 OF AN ACRE | 265,398 S.F.
- 4 CALLED 1.998 ACRE TRACT FLORENCE INDEPENDENT SCHOOL DISTRICT INST# 1998041328, O.P.R.W.C.T. 2.005 OF AN ACRE | 87,317 S.F.
- 5 CALLED 2.269 ACRE TRACT FLORENCE INDEPENDENT SCHOOL DISTRICT INST# 1994018533, O.P.R.W.C.T. 2.274 OF AN ACRE | 99,044 S.F.
- 6 CALLED 37.616 ACRE TRACT FLORENCE INDEPENDENT SCHOOL DISTRICT VOL. 866, PG. 209, D.R.W.C.T. 37.563 OF AN ACRE | 1,636,223 S.F.

**FLOOD ZONE CLASSIFICATION**  
 This property lies within ZONE(S) unshaded X, shaded X, and AE of the Flood Insurance Rate Map for Williamson County, Texas and Incorporated Areas, map no. 48491C0100E, dated 2008/09/26, via scaled map location and graphic plotting and/or the National Flood Hazard Layer (NFHL) Web Map Service (WMS) at <http://hazards.fema.gov>.

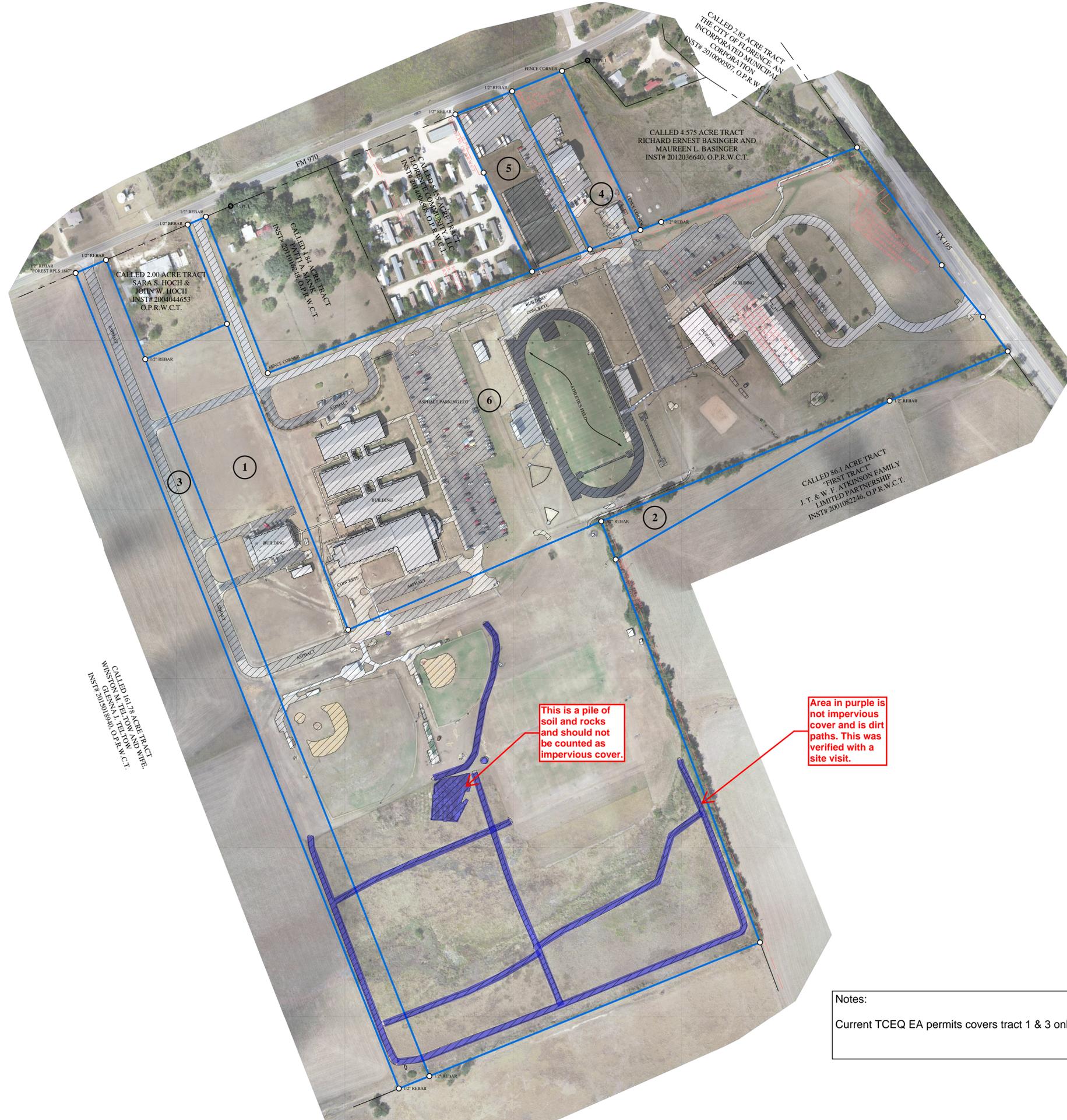
**MONUMENTS / DATUMS / BEARING BASIS**  
**Monuments are found if not marked MNS or CRS.**  
 CRS ○ 1/2" rebar stamped "JPH Land Surveying" set  
 MNS ○ Mag nail & washer stamped "JPH Land Surveying" set  
 TBM ● Site benchmark (see vicinity map for general location)  
 ○ Vertex or common point (not a monument)  
 Coordinate values, if shown, are US.SyFl./TxCS, 83,CZ  
 Elevations, if shown, are NAVD88  
 Bearings are based on grid north (TxCS, 83,CZ)  
 TYPE I ○ TxDOT Right of Way tapered concrete monument.  
 TYPE II ○ TxDOT Right of Way bronze cap in concrete.  
 TYPE III ○ TxDOT Right of Way aluminum cap.

**LEGEND OF ABBREVIATIONS**  
 US.SyFl. United States Survey Feet  
 TxCS, 83,CZ Texas Coordinate System of 1983, Central Zone  
 NAVD88 North American Vertical Datum of 1988  
 P.R.W.C.T. Plat Records of Williamson County, Texas  
 O.P.R.W.C.T. Official Public Records of Williamson County, Texas  
 D.R.W.C.T. Deed Records of Williamson County, Texas  
 VOL/PG/INST# Volume/Page/Instrument Number  
 POB/POC Point of Beginning/Point of Commencing  
 ESMT/BL Easement/Building Line  
 CMP Corrugated metal pipe  
 PVC Polyvinyl chloride pipe  
 BFE Base Flood Elevation  
 S.F. Square feet

Drafter: RDG 2019/09/30  
 Revision:  
 Revision:



JPH Job/Drawing No. (see below)  
 2019.009.016 Florence High School, Florence, Williamson Co., TX-IMPERVIOUS COV.dwg  
 © 2019 JPH Land Surveying, Inc. - All Rights Reserved  
 1516 E. Palm Valley Blvd., Ste. A4, Round Rock, Texas 78664  
 Telephone (817) 431-4971 [www.jphlandsurveying.com](http://www.jphlandsurveying.com)  
 TBPLS Firm #10019500 #10194073 #10193867  
 DFW | Austin | Abilene



This is a pile of soil and rocks and should not be counted as impervious cover.

Area in purple is not impervious cover and is dirt paths. This was verified with a site visit.

**SURVEYOR'S NOTES:**

1. This is not a boundary survey. Boundary lines are shown hereon are for reference and calculation purposes only. This survey was performed without the benefit of a title commitment and copies of the record description of the property, any record easements benefiting the property, the record easements or servitudes and covenants affecting the property ("Record Documents"), documents of record referred to in the Record Documents, and any other documents containing desired appropriate information affecting the property being surveyed and to which the survey shall make reference were not provided to this surveyor for notation on the survey. Therefore, easements, agreements, or other documents, either recorded, or unrecorded may exist that affect the subject property.
2. The extent and material of impervious cover shown hereon was derived from rectified orthophotography having a root mean square error of 0.017 of a foot. The aerial photography was performed by JPH on October 3, 2019.
3. The field work was completed on October 9, 2019.

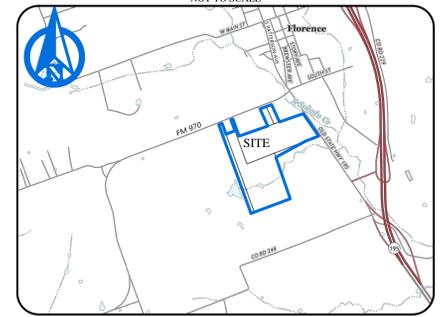
**IMPERVIOUS COVER NOTE:**

Total area: 3,890,558 S.F.  
 Covered area: 1,013,193 S.F.  
 Impervious Cover: 26.0%

Cole Strevey  
 Registered Professional  
 Land Surveyor No. 6731  
 cole@jphs.com  
 October 15, 2019



**VICINITY MAP**



**EXHIBIT SHOWING IMPERVIOUS COVER**

OVER THE  
**FLORENCE MIDDLE & HIGH SCHOOL**  
 SITUATED IN THE  
**WASHINGTON P. REESE SURVEY**  
**ABSTRACT NO. 523**  
 CITY OF FLORENCE  
 WILLIAMSON COUNTY, TEXAS

ADDRESS: 718 S. PATTERSON AVENUE & 401 FM 970

Notes:  
 Current TCEQ EA permits covers tract 1 & 3 only

**CZP Exception Request TCEQ Form 10262  
Attachment D – Nature of the Exception**

On June 13, 2007 the TCEQ informed Florence Independent School District that the Contributing Zone Plan was approved for the addition of baseball and softball fields. The CZP included a land area of 46.12 acres with the total impervious cover for the development of 7.02 acres or 15.2% of the total site area. The TCEQ waived permanent BMPs for the project because the impervious cover was less than 20%.

On August 6, 2018 a letter from Adams Engineering was sent to the TCEQ for additional improvements related to the baseball and softball fields including sidewalk, accessible parking spots, concession stand, ticket booth and sidewalks. These additions would add 0.21 acres of impervious cover bringing the total to 7.23 acres or 15.7% impervious cover. The TCEQ waived a CZP Exception application requirement for these small additions. The approval letter for EAPP File # 07042300 is attached for reference.

In 2020 the Florence School District upgraded and added improvements to the high school that included the addition of classrooms and pavement to the Career Technical Education (CTE) Building. These improvements added 8,244 square feet or 0.19 acres of impervious cover to the existing total of 7.23 acres of impervious cover. The total impervious cover after these improvements was 7.42 acres or 16.09% impervious cover. The TCEQ required the completion of a CZP Exception Request. The approval letter for Additional ID # 11001971, dated 2020 April 23, is attached for reference.

In 2023, additional improvements were made for the addition of a band hall and field house to the high school. This expansion increased the overall impervious cover by 57,361 square feet or 1.32 acres. The total impervious cover for the campus following these improvements was 8.74 acres or 18.9%. The TCEQ required the completion of this CZP Exception Request. The approval letter for Additional ID # 11003506, dated 2023 April 6, is attached for reference.

In 2019 Florence ISD hired a surveyor to perform an impervious cover survey of the entire campus, which included the high school and middle school. While reviewing this survey we discovered an error in the total impervious cover that was submitted in the previous CZP exception requests and the total number was less. After a site visit we discovered the survey also incorrectly counted some dirt paths as impervious cover. These paths are in a field located on the south side of Lots 1 and 3. The corrected 2019 total impervious cover came out to be 3.51 acres (7.60%), which is about half the impervious cover of what was permitted in 2007. This discrepancy in the 2007 permit impacted all following permits since the impervious cover accumulated based on the original permit. The correct impervious cover for each permit after 2019 can be found in the following table:

Permit Year	EAPP ID #	Increased Impervious Cover	Total Permitted IC (acres)	Total Permitted IC (%)	Corrected IC (acres)	Corrected IC (%)
2007	07042300	Unknown	7.02	15.20%	---	---
2018	07042300	0.21	7.23	15.70%	---	---
2019	---	---	---	---	3.51	7.60%
2020	11001971	0.19	7.42	16.09%	3.70	8.02%
2023	11003506	1.32	8.74	18.95%	5.02	10.88%
2024	TBD	1.22	---	---	6.24	13.52%

At this time, additional improvements are planned for a practice field for the marching band located north to the band hall. Four new parking stalls and a new drive lane for parent pickup circulation will be added west of the band hall. These improvements will increase the overall impervious cover by 1.22 acres. With the corrected existing impervious cover, the campus will have total of 6.24 acres or 13.5% of the total site area.

**CZP Exception Request TCEQ Form 10262**  
**Attachment E – Equivalent Water Quality Protection**

Presently, the Florence School District is adding improvements to the high school. The planned addition of a practice field will, at ultimate build out, add 52,990 square feet (1.22 acres) of impervious cover to the existing total of 5.02 acres of impervious cover. The proposed total impervious cover after these improvements will be 6.24 acres or 13.5% impervious cover.

Temporary erosion and sediment control will be employed prior to any earth-disturbing construction activities on the project site. These measures are included in the engineering plan set which also include the CZP construction notes for the contractor to follow. In addition, the engineering plan set also includes the requirement for the maintenance of these temporary BMPs throughout the course of site construction until any disturbed area is permanently stabilized with vegetation (reseeded/sodded) and has achieved suitable growth and coverage. Then and only then will the temporary BMPs be removed.

With the addition to the band practice field, drainage patterns will be only slightly altered, and the outfall locations will be the same on the school grounds. The outfall will travel primarily in sheet flow over about 1,000 feet of grassy field to over 725 feet of a vegetated roadside ditch on the west side of State Highway 195 where it crosses under the highway and travels another 435 feet in a broad vegetated channel to South Salado Creek.

Permanent BMPs are not proposed due to the 20% threshold.

# Temporary Stormwater Section

## Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

**To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.**

**Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.**

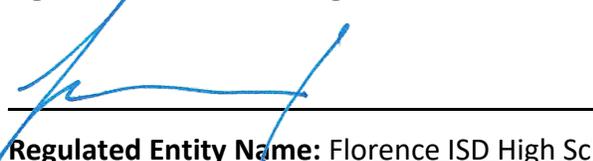
## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Jack Garner, PE

Date: 10.17.2024

Signature of Customer/Agent:



Regulated Entity Name: Florence ISD High School

## Project Information

### Potential Sources of Contamination

*Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.*

1. Fuels for construction equipment and hazardous substances which will be used during construction:

The following fuels and/or hazardous substances will be stored on the site: \_\_\_\_\_

These fuels and/or hazardous substances will be stored in:

- Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

- Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
- Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- Fuels and hazardous substances will not be stored on the site.
- 2.  **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3.  Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4.  **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

### ***Sequence of Construction***

- 5.  **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
  - For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
  - For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6.  Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: South Salado Creek

### ***Temporary Best Management Practices (TBMPs)***

*Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.*

- 7.  **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
  - A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
  - A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
  - A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8.  The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
  - There will be no temporary sealing of naturally-occurring sensitive features on the site.
9.  **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10.  **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
  - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
  - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
  - There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

- There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.
11.  **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.
- N/A
12.  **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13.  All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14.  If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15.  Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16.  Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

### ***Soil Stabilization Practices***

*Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.*

17.  **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

18.  Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
19.  Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

### ***Administrative Information***

20.  All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
21.  If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
22.  Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.

# Temporary Stormwater Management Practices TCEQ Form 0602

## Attachment A Spill Response Actions

### 1 MATERIALS COVERED

The following materials or substances with known hazardous properties that may be present onsite during construction:

Concrete	Cleaning solvents
Detergent	Paints
Acids	Paint solvents
Fertilizers	Concrete additives
Soil stabilization additives	

### 2 MATERIAL MANAGEMENT PRACTICES

The following are the material management practices that will be used to reduce the risk of spills or other accidental exposure of materials and substances to stormwater runoff.

#### 2.1 Good Housekeeping

The following good housekeeping practices will be followed onsite during the construction project.

- A. An effort will be made to store only enough product required to do the job.
- B. All materials stored onsite will be stored in a neat, orderly manner and, if possible, under a roof or other enclosure.
- C. Products will be kept in their original containers with the original manufacturer's label in legible condition.
- D. Substances will not be mixed with one another unless recommended by the manufacturer.
- E. Whenever possible, all of a product will be used up before disposing of the container.
- F. Manufacturer's recommendations for proper use and disposal will be followed.
- G. The job site superintendent will be responsible for daily inspections to ensure proper use and disposal of materials.

#### 2.2 Hazardous Products

These practices will be used to reduce the risks associated with hazardous materials.

- A. Products will be kept in original containers with the original labels in legible condition.

- B. Original labels and material safety data sheets (MSDS's) will be procured and used for each material.
- C. If surplus product must be disposed of, manufacturers or local/state/federal recommended methods for proper disposal will be followed.
- D. A spill control and containment kit (containing, for example, absorbent such as kitty litter or sawdust, acid neutralizing powder, brooms, dust pans, mops, rags, gloves, goggles, plastic and metal trash containers, etc.) will be provided at the storage site.
- E. All of the product in a container will be used before the container is disposed of. All such containers will be triple rinsed with water prior to disposal. The rinse water used in these containers will be disposed of in a manner in compliance with state and federal regulations and will not be allowed to mix with stormwater discharges.

### 2.3 Product Specific Practices

The following product specific practices will be followed on the job site.

#### A. Petroleum Products

All onsite vehicles will be monitored for leaks and receive regular preventative maintenance to reduce the chance of leakage. Petroleum products will be stored in tightly sealed containers which are clearly labeled. Any petroleum storage tanks used onsite will have a dike or berm containment structure constructed around it to contain any spills which may occur. Any asphalt substances used onsite will be applied according to the manufacturer's recommendations.

#### B. Fertilizers

Fertilizers will be applied only in the minimum amounts recommended by the manufacturer. Once applied, fertilizer will be worked in the soil to limit exposure to stormwater. Storage will be in a covered shed. The contents of any partially used bags of fertilizer will be transferred to a sealable plastic bin to avoid spills.

#### C. Paints, Paint Solvents, and Cleaning Solvents

All containers will be tightly sealed and stored when not in use. Excess paint and solvents will not be discharged to the storm sewer system but will be properly disposed of according to manufacturer's instructions or state and federal regulations.

#### D. Concrete Trucks

The CGP authorizes the land disposal of wash out water from concrete trucks at construction sites that are regulated under the CGP, as long as the discharge is in compliance with the restrictions given in the permit. This authorization is limited to the land disposal of wash out water from concrete trucks only. Any other direct discharge of concrete production waste water is not authorized by the CGP and must be authorized under a separate TCEQ General Permit or individual permit.

#### 2.4 Spill Prevention Practices

In addition to the good housekeeping and material management practices discussed in the previous sections of this plan, the following practices will be followed for spill prevention and cleanup.

- A. Manufacturer's recommended methods for spill cleanup will be clearly posted and site personnel will be trained regarding these procedures and the location of the information and cleanup supplies.
- B. Materials and equipment necessary for spill cleanup will be kept in the material storage area onsite in spill control and containment kit (containing, for example, absorbent such as kitty litter or sawdust, acid neutralizing powder, brooms, dust pans, mops, rags, gloves, goggles, plastic and metal trash containers, etc.).
- C. All spills will be cleaned up immediately after discovery.
- D. The spill area will be kept well ventilated and personnel will wear appropriate protective clothing to prevent injury from contact with the hazardous substances.
- E. Spills of toxic or hazardous materials will be reported to the appropriate federal, state, and/or local government agency, regardless of the size of the spill. Spills of amounts that exceed Reportable Quantities of certain substances specifically mentioned in federal regulations (40 CFR 302 list and oil) will be immediately reported to the TCEQ National Response Center, telephone **1-800-832-8224**. Reportable Quantities of some substances which may be used at the job site are as follows:
  - oil - appearance of a film or sheen on water
  - pesticides - usually 1 lb.
  - acids - 5000 lb.
  - solvents, flammable - 100 lb.
- F. The job site superintendent will be the spill prevention and cleanup coordinator. He will designate the individuals who will receive spill prevention and cleanup training. These individuals will each become responsible for a particular phase of prevention and cleanup. The names of these personnel will be posted in the material storage area and in the office trailer onsite.

# Spills: Reportable Quantities

**The RQ depends on the substance released and where released. Use this table to determine whether you must report and under what rule.**

In Texas, upon determining that a reportable discharge or spill has occurred, the responsible person must notify the state. The threshold quantity that triggers the requirement to report a spill is called the **reportable quantity (RQ)**. The reportable quantity depends on the type of substance released and where released (e.g. into water vs. on land); different kinds of spills are subject to different provisions of state and federal rules.

Kind of spill	Where discharged	Reportable quantity	Rule, statute, or responsible agency
Hazardous substance	onto land	"Final RQ" in Table 302.4 in <a href="#">40 CFR 302.4</a> <a href="#">(PDF)</a>	<b>30 TAC 327</b> <a href="#">↗</a>
	into water	"Final RQ" or 100 lbs, whichever is <b>less</b>	
Any oil	coastal waters	as required by the Texas General Land Office	<b>Texas General Land Office</b> <a href="#">↗</a>
Crude oil, oil that is neither a petroleum product nor used oil	onto land	210 gallons (five barrels)	<b>30 TAC 327</b> <a href="#">↗</a>
	directly into water	enough to create a sheen	
Petroleum product, used oil	onto land, from an exempt PST facility	210 gallons (five barrels)	<b>30 TAC 327</b> <a href="#">↗</a>
	onto land, or onto land from a non-	25 gallons	

## exempt PST facility

	directly into water	enough to create a sheen	
Associated with the exploration, development and production of oil, gas, or geothermal resources	under the jurisdiction of the Railroad Commission of Texas	as required by the Railroad Commission of Texas	<b>Railroad Commission of Texas</b> <a href="#">↗</a>
Industrial solid waste or other substances	into water	100 lbs	<b>30 TAC 327</b> <a href="#">↗</a>
From petroleum storage tanks, underground or aboveground	into water	enough to create a sheen on water	<b>30 TAC 334</b> <a href="#">↗</a> .75-81
From petroleum storage tanks, underground or aboveground	onto land	25 gallons or equal to the RQ under <b>40 CFR 302</b> <a href="#">↗</a>	<b>30 TAC 327</b> <a href="#">↗</a>
Other substances that may be useful or valuable and are not ordinarily considered to be waste, but will cause pollution if discharged into water in the state	into water	100 lbs	<b>30 TAC 327</b> <a href="#">↗</a>

**(PDF Help)****Emergency Response Home****Spills, Discharges, and Releases****Hurricanes****Drought****Tornados****Wildfires****Floods**

## Winter Storms



**How are we doing? Take our customer satisfaction survey**

## **Temporary Stormwater Management Practices TCEQ Form 0602**

### **Attachment B** Potential Sources of Contamination

The following are the potential pollutants and their sources which may occur at this construction site: offsite vehicle tracking of mud from vehicle traffic through inadequate construction exit, petroleum based products from vehicle/ equipment leaks and drips (maintenance and petroleum storage areas will not be allowed on the construction site), pesticides and fertilizers from landscaping activities, and high pH washwater from concrete and masonry cleanup/ washout facilities.

## Temporary Stormwater Management Practices TCEQ Form 0602

### Attachment C Sequence of Major Activities

The Contractor will be responsible for implementing the following erosion and sediment control and stormwater management control structures. The Contractor may designate these tasks to certain subcontractors as he sees fit, but the ultimate responsibility for implementing these controls and ensuring their proper functioning remains with the general contractor. The order of activities will be as follows (refer to Plan Sheet C4.1 Erosion Control and Grading Plan in the Construction Plans for the project for details):

- A. Install erosion control logs around perimeter of property and disturbed areas as shown on Plan Sheet C4.1 Erosion Control and Grading Plan. Approximately 84,942 square feet or 1.95 acres will be disturbed during construction.
- B. Install inlet protection for all existing grate inlets, curb inlets, and at the end of all exposed storm sewer pipes, if present.
- C. Construct temporary construction access
- D. Commence grubbing and removal of vegetation in area to receive cut or fill.
- E. Install all underground utilities.
- F. Finalize pavement subgrade preparation
- G. Remove erosion control logs around inlets and manholes no more than 48 hours prior to placing stabilized base course.
- H. Install base material as required for pavement, curb and gutter.
- I. Install all paving, curb and gutter.
- J. Complete planting and/or seeding of vegetated areas to accomplish stabilization, in accordance with the landscaping plan.
- K. Remove temporary construction exit, erosion control logs, inlet protection, and all other temporary sediment controls.

## **Temporary Stormwater Management Practices TCEQ Form 0602**

### **Attachment D Temporary Best Management Practices**

The following temporary best management practices will be used on the construction site

#### Stabilization Practices

1. Land clearing activities shall be done only in areas where earthwork will be performed and shall progress as earthwork is needed
2. Frequent watering of excavation and fill areas to minimize wind erosion during construction.
3. Use of stabilization fabric for all slopes having a slope of 1V:3H or greater.
4. Permanent seeding and planting of all unpaved areas.
5. For all disturbed areas where construction activities have temporarily or permanently ceased for more than 14 days, stabilization activities shall commence no later than the 14<sup>th</sup> day after cessation of construction activities or after final grades have been achieved.

## **Temporary Stormwater Management Practices TCEQ Form 0602**

### **Attachment F** Structural Practices

The following structural best management practices will be used on the construction site:

1. Inlet protection using erosion control logs.
2. Perimeter protection using erosion control logs or silt fence.
3. Stabilized construction access point
4. Rock check dams
5. Temporary concrete washout area
6. Use of rock rip rap for velocity dissipation at areas with existing or potential channelized flow.

## **Temporary Stormwater Management Practices TCEQ Form 0602**

### **Attachment G** Drainage Area Map

Refer to sheets C5.2 for grading and drainage. Note the site will primarily sheet flow to existing channels. The existing drainage patterns are only slightly altered with the proposed grading.

**Temporary Stormwater Management Practices TCEQ Form 0602**

**Attachment H** Temporary sediment pond plans and calculations

No temporary sediment pond is planned for this project.

## Temporary Stormwater Management Practices TCEQ Form 0602

### Attachment I Inspection/ Maintenance for BMPs

#### I. Erosion and Sediment Control Maintenance and Inspection Practices

A. The following is a list of erosion and sediment controls to be used on this site during construction practice.

1. Stabilization practices for this site include:

- A. Land clearing activities shall be done only in areas where earthwork will be performed and shall progress as earthwork is needed
- B. Frequent watering of excavation and fill areas to minimize wind erosion during construction.
- C. Use of stabilization fabric for all slopes having a slope of 1V:3H or greater.
- D. Permanent seeding and planting of all unpaved areas.
- E. For all disturbed areas where construction activities have temporarily or permanently ceased for more than 14 days, soil stabilization activities shall commence as soon as practicable but no later than the 14<sup>th</sup> day after cessation of construction activities.

2. Structural practices for this site include:

- A. Inlet protection using block and gravel-filled bags and fabric filter material
- B. Perimeter protection using silt fencing and/or straw roll wattles
- C. Stabilized construction access point
- D. Temporary concrete washout area

Velocity Dissipation: Contractor shall provide sufficient velocity dissipation devices to prevent soil erosion at discharge points where concentrated flow occurs or is expected to occur.

B. The following inspection and maintenance practices will be used to maintain erosion and sediment controls.

- 1. All control measures will be inspected weekly and after each rainfall event.

2. All measures will be maintained in good working order; if repairs are found to be necessary, they will be initiated within 24 hours of report and completed prior to the next anticipated rainfall event. If completion of required repairs cannot be accomplished prior to the next anticipated rainfall event, the reason shall be documented in the SWPPP for the site and completion shall be accomplished as soon as practicable.
3. Built up sediment will be removed from silt fence when it has reached one-third the height of the fence.
4. Silt fences will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are securely in the ground.
5. The sediment basin, if present, will be inspected for depth of sediment, and built up sediment will be removed when it reaches 50 percent of the design capacity. **Contractor shall install a depth gauge in the sediment basin to use in evaluating the depth of accumulated sediment to determine when sediment removal is required.**
6. Temporary and permanent seeding will be inspected for bare spots, washouts, and healthy growth.
7. A maintenance inspection report will be made after each inspection. Copies of the report forms to be completed by the inspector are included in the SWPPP for the site.
8. The job site superintendent will be responsible for selecting and training the individuals who will be responsible for these inspections, maintenance and repair activities, and filling out inspection and maintenance reports.
9. Personnel selected for the inspection and maintenance responsibilities will receive training from the job site superintendent. They will be trained in all the inspection and maintenance practices necessary for keeping the erosion and sediment controls that are used onsite in good working order. They will also be trained in the completion of, initiation of actions required by, and the filing of the inspection forms. Documentation of the qualifications of inspection personnel must be kept in the SWPPP for the site.

## **II. Inspection and Maintenance Report Forms**

Once installation of any required or optional erosion control device or measure has been implemented, weekly inspections of each measure shall be performed by the Contractor's inspection personnel. The Inspection and Maintenance Reports found in the SWPPP for the site (or other forms which the Contractor desires to use that have been approved by the Engineer) shall be used by the inspectors to inventory and report the condition of each

measure to assist in maintaining the erosion and sediment control measures in good working order.

Based on the results of the periodic inspections, necessary control modifications shall be initiated within 24 hours and completed prior to the next anticipated rain event. These inspection reports shall be kept on file as part of the Storm Water Pollution Prevention Plan for at least three years from the date of completion and submission of the Notice of Termination.

These report forms shall become an integral part of the SWPPP for the site and shall be made readily accessible to TCEQ inspection officials, the Civil Engineering Consultant, and the Owner for review upon request during visits to the project site. In addition, copies of the reports shall be provided to any of these persons, upon request, via mail or facsimile transmission.

The following forms shall be utilized by inspectors to report on the incremental status and condition of the control measures used on the site:

### **III. Summary of Erosion and Sediment Control Maintenance/Inspection Procedures**

- All control measures will be at least weekly and after each rainfall event.
- All measures will be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours of report and completed prior to the next anticipated rain event.
- Built-up sediment will be removed from silt fences when it has reached one-third the height of the fence.
- Silt fences will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.
- Sediment basins, if present, will be inspected for depth of sediment, and built-up sediment will be removed when it reaches 50% of the design capacity or at the end of the job. **Contractor shall install a depth gauge in the sediment basin to use in evaluating the depth of accumulated sediment to determine when sediment removal is required.**
- Diversion dikes, if present, will be inspected and any breaches promptly repaired.
- If sediment escapes the site, accumulations will be removed at a frequency to minimize further negative effects, and whenever feasible, prior to the next forecasted rain event.
- Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth.
- A maintenance inspection report will be made after each inspection. Copies of the report forms to be used are included in the SWPPP for the site.

- The site job superintendent will select the individuals who will be responsible for inspections, maintenance and repair activities, and filling out the inspection and maintenance reports.
- Personnel selected for inspection and maintenance responsibilities will receive training from the site job superintendent. They will be trained in all the inspection and maintenance practices necessary for keeping the erosion and sediment controls used onsite in good working order. Records documenting the training and experience qualifications of each and every inspector shall be kept with the Inspection Record Forms in the SWPPP for the site.

#### **IV. Construction/Implementation Checklist**

##### 1. Maintain Records of Construction Activities, including:

- Dates when major grading activities occur
- Dates when construction activities temporarily cease on a portion of the site
- Dates when construction activities permanently cease on a portion of the site
- Dates when stabilization measures are initiated on the site
- Dates of rainfall events and post-rainfall inspections

##### 2. Prepare Inspection Reports summarizing:

- Name of inspector
- Qualifications of Inspector
- Control measures/areas inspected
- Observed conditions and areas of non-compliance
- Location of any discharges of sediments or other pollutants from the site
- Recommended remedial actions and action on previously recommended remedial actions
- Statement that the site is or is not in compliance with the Permit/SWPPP
- Changes necessary to the SWPPP for the site

3. Report Releases of Reportable Quantities of Oil or Hazardous Materials (if they occur):

- Notify TCEQ Spill Response Center (**1-800-832-8224**) immediately
- Notify permitting authority in writing within 14 days
- Modify the pollution prevention plan to include:
  - the date of release
  - circumstances leading to the release
  - steps taken to prevent recurrence of the release

4. Modify Pollution Prevention Plan as necessary to:

- Comply with the minimum permit requirements when notified by TCEQ that the plan does not comply
- Address a change in design, construction operation, or maintenance which has an effect on the potential for discharge of pollutants
- Prevent recurrence of reportable quantity releases of a hazardous material or oil

## Temporary Stormwater Management Practices TCEQ Form 0602

### Attachment J Interim/ permanent soil stabilization practices

#### Final Stabilization/Termination Checklist

1.  All soil disturbing activities are complete
2.  Temporary erosion and sediment control measures have been removed or will be removed at an appropriate time
3.  All areas of the construction site not otherwise covered by a permanent pavement or structure have been stabilized with a uniform perennial vegetative cover with a density of 70% or equivalent measures have been employed
4.  Bare soils should be seeded or otherwise stabilized within 14 calendar days after final grading or where construction activity has temporarily ceased for more than 21 days.



SIGNATURE PAGE:

Rick Kirkpatrick  
Applicant's Signature

10/1/2024  
Date

THE STATE OF Texas §

County of Williamson §

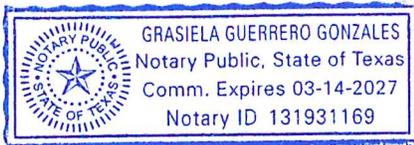
BEFORE ME, the undersigned authority, on this day personally appeared Rick Kirkpatrick known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 1st day of October, 2024

Grasiela Guerrero Gonzales  
NOTARY PUBLIC

Grasiela Guerrero Gonzales  
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: 03-14-2027



# Application Fee Form

## Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: Florence ISD - High School

Regulated Entity Location: 401 FM 970, Florence, TX

Name of Customer: Florence Independent School District

Contact Person: Rick Kirkpatrick

Phone: 254-793-2850

Customer Reference Number (if issued): CN 600782627

Regulated Entity Reference Number (if issued): RN 105215289

### Austin Regional Office (3373)

Hays

Travis

Williamson

### San Antonio Regional Office (3362)

Bexar

Medina

Uvalde

Comal

Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

Austin Regional Office

San Antonio Regional Office

Mailed to: TCEQ - Cashier

Overnight Delivery to: TCEQ - Cashier

Revenues Section

Mail Code 214

P.O. Box 13088

Austin, TX 78711-3088

12100 Park 35 Circle

Building A, 3rd Floor

Austin, TX 78753

(512)239-0357

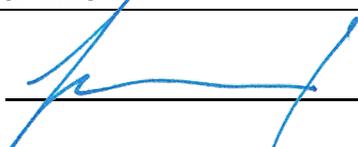
### Site Location (Check All That Apply):

Recharge Zone

Contributing Zone

Transition Zone

<i>Type of Plan</i>	<i>Size</i>	<i>Fee Due</i>
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	Acres	\$
Sewage Collection System	L.F.	\$
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	1 Each	\$ 500
Extension of Time	Each	\$

Signature: 

Date: 10.17.2024

# Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

## ***Water Pollution Abatement Plans and Modifications***

### ***Contributing Zone Plans and Modifications***

<b><i>Project</i></b>	<b><i>Project Area in Acres</i></b>	<b><i>Fee</i></b>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

### ***Organized Sewage Collection Systems and Modifications***

<b><i>Project</i></b>	<b><i>Cost per Linear Foot</i></b>	<b><i>Minimum Fee- Maximum Fee</i></b>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

### ***Underground and Aboveground Storage Tank System Facility Plans and Modifications***

<b><i>Project</i></b>	<b><i>Cost per Tank or Piping System</i></b>	<b><i>Minimum Fee- Maximum Fee</i></b>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

### ***Exception Requests***

<b><i>Project</i></b>	<b><i>Fee</i></b>
Exception Request	\$500

### ***Extension of Time Requests***

<b><i>Project</i></b>	<b><i>Fee</i></b>
Extension of Time Request	\$150



# TCEQ Core Data Form

For detailed instructions on completing this form, please read the Core Data Form Instructions or call 512-239-5175.

## SECTION I: General Information

<b>1. Reason for Submission</b> (If other is checked please describe in space provided.)		
<input type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)		<input checked="" type="checkbox"/> Other <b>CZP Exception</b>
<b>2. Customer Reference Number</b> (if issued)	<a href="#">Follow this link to search for CN or RN numbers in Central Registry**</a>	<b>3. Regulated Entity Reference Number</b> (if issued)
CN 600782627		RN 105215289

## SECTION II: Customer Information

<b>4. General Customer Information</b>		<b>5. Effective Date for Customer Information Updates</b> (mm/dd/yyyy)	
<input type="checkbox"/> New Customer		<input checked="" type="checkbox"/> Update to Customer Information	
<input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)		<input type="checkbox"/> Change in Regulated Entity Ownership	
<i>The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).</i>			
<b>6. Customer Legal Name</b> (If an individual, print last name first: eg: Doe, John)		If new Customer, enter previous Customer below:	
Florence Independent School District			
<b>7. TX SOS/CPA Filing Number</b>	<b>8. TX State Tax ID</b> (11 digits)	<b>9. Federal Tax ID</b> (9 digits)	<b>10. DUNS Number</b> (if applicable)
<b>11. Type of Customer:</b>	<input type="checkbox"/> Corporation	<input type="checkbox"/> Individual	Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited
Government: <input type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> Local <input type="checkbox"/> State <input checked="" type="checkbox"/> Other		<input type="checkbox"/> Sole Proprietorship	<input checked="" type="checkbox"/> Other: Independent School District
<b>12. Number of Employees</b>		<b>13. Independently Owned and Operated?</b>	
<input type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input checked="" type="checkbox"/> 251-500 <input type="checkbox"/> 501 and higher		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>14. Customer Role</b> (Proposed or Actual) – as it relates to the Regulated Entity listed on this form. Please check one of the following			
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Operator <input type="checkbox"/> Owner & Operator <input type="checkbox"/> Other:			
<input type="checkbox"/> Occupational Licensee <input type="checkbox"/> Responsible Party <input type="checkbox"/> VCP/BSA Applicant			
<b>15. Mailing Address:</b>	Florence Independent School District		
	306 College Ave.		
	<b>City</b>	Florence	<b>State</b> TX <b>ZIP</b> 76527 <b>ZIP + 4</b>
<b>16. Country Mailing Information</b> (if outside USA)		<b>17. E-Mail Address</b> (if applicable)	
		rkirkpatrick@florenceisd.net	
<b>18. Telephone Number</b>	<b>19. Extension or Code</b>	<b>20. Fax Number</b> (if applicable)	
( 254 ) 739-2850		( 254 ) 793-3055	

## SECTION III: Regulated Entity Information

<b>21. General Regulated Entity Information</b> (If 'New Regulated Entity' is selected, a new permit application is also required.)
<input type="checkbox"/> New Regulated Entity <input type="checkbox"/> Update to Regulated Entity Name <input checked="" type="checkbox"/> Update to Regulated Entity Information
<i>The Regulated Entity Name submitted may be updated, in order to meet TCEQ Core Data Standards (removal of organizational endings such as Inc, LP, or LLC).</i>
<b>22. Regulated Entity Name</b> (Enter name of the site where the regulated action is taking place.)
Florence ISD High School

<b>23. Street Address of the Regulated Entity:</b> <i>(No PO Boxes)</i>	401 FM 970						
	<b>City</b>	Florence	<b>State</b>	TX	<b>ZIP</b>	76527	<b>ZIP + 4</b>
<b>24. County</b>	Williamson						

**If no Street Address is provided, fields 25-28 are required.**

<b>25. Description to Physical Location:</b>							
<b>26. Nearest City</b>	Florence			<b>State</b>	TX	<b>Nearest ZIP Code</b> 76527	
<i>Latitude/Longitude are required and may be added/updated to meet TCEQ Core Data Standards. (Geocoding of the Physical Address may be used to supply coordinates where none have been provided or to gain accuracy).</i>							
<b>27. Latitude (N) In Decimal:</b>	30.830152			<b>28. Longitude (W) In Decimal:</b>	-97.796122		
Degrees	Minutes	Seconds	Degrees	Minutes	Seconds		
30	49	48	-97	47	46		
<b>29. Primary SIC Code</b> (4 digits)	<b>30. Secondary SIC Code</b> (4 digits)	<b>31. Primary NAICS Code</b> (5 or 6 digits)	<b>32. Secondary NAICS Code</b> (5 or 6 digits)				
8211		611110					
<b>33. What is the Primary Business of this entity?</b> <i>(Do not repeat the SIC or NAICS description.)</i>							
Public Education							
<b>34. Mailing Address:</b>	306 College Ave.						
	<b>City</b>	Florence	<b>State</b>	TX	<b>ZIP</b>	76527	<b>ZIP + 4</b>
<b>35. E-Mail Address:</b>	rkirkpatrick@florenceisd.net						
<b>36. Telephone Number</b>	<b>37. Extension or Code</b>		<b>38. Fax Number</b> <i>(if applicable)</i>				
( 254 ) 793-2850			( 254 ) 793-3055				

**39. TCEQ Programs and ID Numbers** Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.

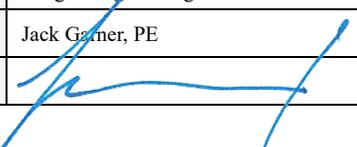
<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Wastewater	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

## **SECTION IV: Preparer Information**

<b>40. Name:</b>	Jack Garner, PE	<b>41. Title:</b>	Associate Principal
<b>42. Telephone Number</b>	<b>43. Ext./Code</b>	<b>44. Fax Number</b>	<b>45. E-Mail Address</b>
( 737 ) 289-7810		( ) -	jgarner@langan.com

## **SECTION V: Authorized Signature**

**46.** By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

<b>Company:</b>	Langan Engineering	<b>Job Title:</b>	Associate Principal
<b>Name (In Print):</b>	Jack Garner, PE	<b>Phone:</b>	( 737 ) 289- 7810
<b>Signature:</b>		<b>Date:</b>	10.17.2024

# Civil Plans for the Construction of NEW BAND HALL AND FIELD HOUSE

To Serve

# FLORENCE HIGH SCHOOL

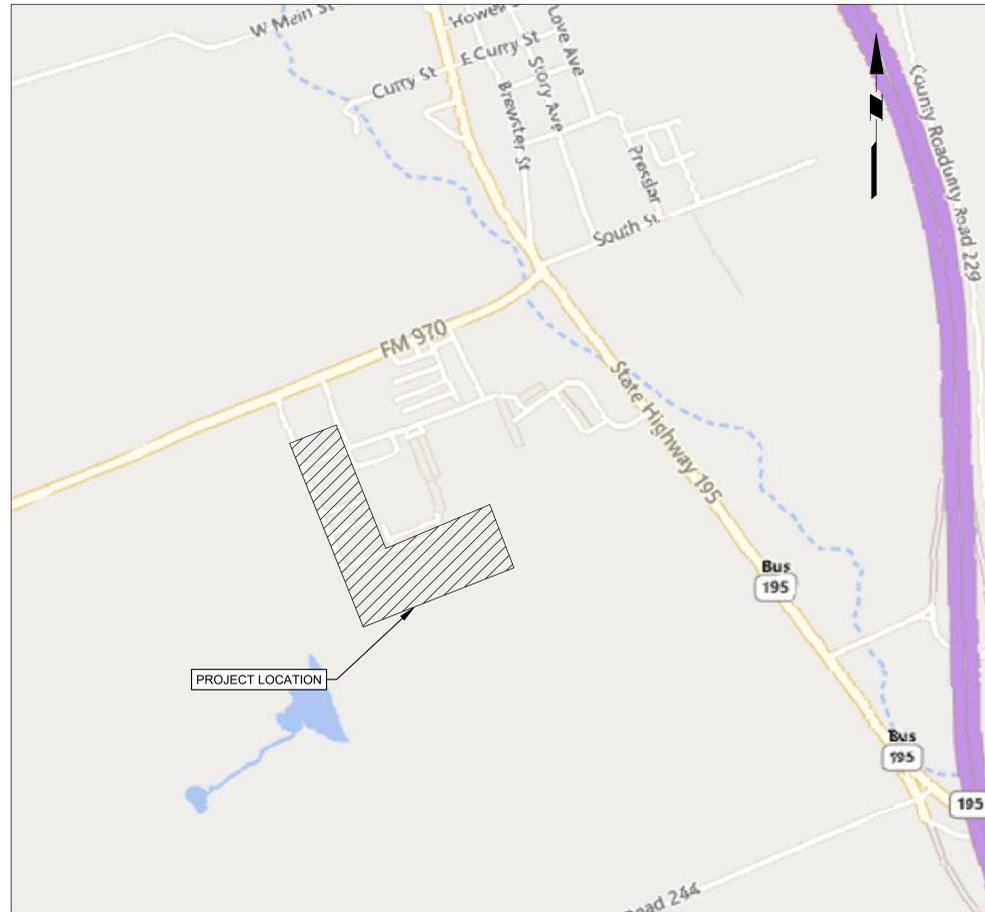
IN THE CITY OF FLORENCE,  
WILLIAMSON COUNTY, TEXAS

INDEPENDENT SCHOOL DISTRICT  
FLORENCE I.S.D  
306 COLLEGE AVE  
FLORENCE, TEXAS 76527  
CONTACT: RICK KIRKPATRICK  
PHONE: (254) 793-2850  
EMAIL: RKIRKPATRICK@FLORENCEISD.NET

ARCHITECT  
VLK ARCHITECTS, INC.  
2700 VIA FORTUNA, SUITE 230  
AUSTIN, TEXAS 78746  
CONTACT: TIM KUNZ, AIA  
PHONE: (512) 807-3145  
EMAIL: TKUNZ@VLKARCHITECTS.COM

CIVIL ENGINEER  
LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC.  
9606 MOPAC EXPRESSWAY, SUITE 110  
AUSTIN, TEXAS 78759  
CONTACT: JACK GARNER, P.E.  
PHONE: (737) 289-7800  
EMAIL: JGARNER@LANGAN.COM

SURVEYOR  
JPH SURVEYING, INC.  
1516 E. PALM VALLEY BLVD., SUITE A4  
ROUND ROCK, TEXAS 78664  
CONTACT: COLE STREVEY, R.P.L.S.  
PHONE: (817) 431-4971  
EMAIL: COLE@JPHLS.COM



**SITE MAP**  
N.T.S.

**LANGAN**  
Langan Engineering and  
Environmental Services, Inc.  
9606 Mopac Expressway, Suite 110  
Austin, TX 78759  
T: 903.324.8400 F: 903.324.8400 www.langan.com

LANGAN PROJECT NO. 531021501

**OCTOBER 2024**

### SHEET LIST TABLE

SHEET #	SHEET TITLE
C1.0	COVER SHEET
C1.1	GENERAL NOTES
-----	TOPOGRAPHIC SURVEY (3 PAGES)
-----	SUBSURFACE UTILITY ENGINEERING PLANS (7 PAGES)
C2.0	EROSION & SEDIMENT CONTROL PLAN
C2.1	PRACTICE FIELD EROSION & SEDIMENT CONTROL PLAN
C3.0	DEMOLITION PLAN
C3.1	PRACTICE FIELD DEMOLITION PLAN
C4.0	SITE PLAN
C4.1	PRACTICE FIELD SITE PLAN
C5.0	GRADING & DRAINAGE PLAN (1 OF 2)
C5.1	GRADING & DRAINAGE PLAN (2 OF 2)
C5.2	PRACTICE FIELD GRADING & DRAINAGE PLAN
C6.0	UTILITY PLAN (1 OF 2)
C6.1	UTILITY PLAN (2 OF 2)
C6.2	UTILITY PROFILE
C7.0	EROSION CONTROL DETAILS
C7.1	WATER DETAILS
C7.2	SANITARY SEWER DETAILS
C7.3	DRAINAGE DETAILS
C7.4	PAVING DETAILS (1 OF 2)
C7.5	PAVING DETAILS (2 OF 2)



#### ARCHITECT

**VLK Architects, Inc.**  
2700 Via Fortuna, Suite 230  
Austin, Texas 78746  
Main Phone: 512.807.3145  
www.vlkarchitects.com

#### CIVIL ENGINEER

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9606 N. Mopac Expressway, Suite 110  
Austin, Texas 78759  
Main Phone: 737.289.7800  
www.langan.com

#### STRUCTURAL ENGINEER

**Dunaway**  
5707 Southwest Parkway, Bldg 2 - 250  
Austin, Texas 78735  
Main Phone: 512.306.8252  
www.dunaway.com

#### M.E.P. ENGINEER

**DBR**  
2500 South Highway 183, Suite 500  
Austin, Texas 78744  
Main Phone: 512.637.4393  
www.dbrinc.com

#### ACOUSTICAL / THEATRICAL

#### WJHW

12500 Network Blvd  
San Antonio, Texas 78249  
Main Phone: 210.561.9800  
www.wjhw.com

#### CONSTRUCTION MANAGER

**Braun & Butler**  
300 Hazelwood St., Ste. 100  
Leander, Texas 78641  
Main Phone: 512.837.2882  
https://www.braun-butler.com/



ISSUED: OCTOBER 17, 2024

#### REVISIONS

Revision No.	Revision Date

Director	Drawn By
JG	KK
Designer	Quality Control
KK	BH
Proj. Manager	
AR	

#### PROJECT NO.

22-084.00

#### SHEET TITLE

COVER SHEET

#### SHEET NO.

**C1.0**



ARCHITECT

VLK Architects, Inc.
2700 Via Fortuna, Suite 230
Austin, Texas 78746
Main Phone: 512.807.3145
www.vlkarchitects.com

CIVIL ENGINEER

Langan
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STRUCTURAL ENGINEER

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5707 Southwest Parkway, Bldg 2 - 250
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M.E.P. ENGINEER

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2500 South Highway 183, Suite 500
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12500 Memorial Blvd
San Antonio, Texas 78249
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ISSUED: OCTOBER 17, 2024

REVISIONS

Table with 2 columns: Revision No., Revision Date

Director Drawn By
JG KK

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KK BH

Proj. Manager
AR

PROJECT NO.

22-084.00

SHEET TITLE

GENERAL NOTES

SHEET NO.

C1.1

GENERAL NOTES

- 1. EXISTING TOPOGRAPHIC, BOUNDARY AND UTILITY INFORMATION AS SHOWN ON THESE DESIGN DOCUMENTS ARE BASED ON THE PLANS TOPOGRAPHIC SURVEY BEING A PORTION OF THE WASHINGTON P. REESE SURVEY ABSTRACT, NO. 823, CITY OF FLORENCE, WILLIAMSON COUNTY, TEXAS, PREPARED BY JPH LAND SURVEYING, INC., ROUND ROCK, TX, DATED 09/26/2019. LAST REVISED 11/22/2022.
ACTUAL SITE CONDITIONS MAY VARY FROM THOSE ENCOUNTERED AT THE TIME THE SURVEY DATA SHOWN HEREON WAS OBTAINED.
PRIOR TO ANY USE OF THIS DATA, INCLUDING BUT NOT LIMITED TO DESIGN OR CONSTRUCTION, THE APPROPRIATE DATA CONFIRMATIONS SHALL BE MADE.
BASED ON THE REFERENCED INFORMATION, ALL ELEVATIONS AND ESTABLISHED GRADES SHOWN HEREON REFER TO NAVD 88 DATUM.
2. THE CONTRACTOR SHALL BEGIN WORK AS DIRECTED BY THE OWNER/CITY OR THE NOTICE TO PROCEED.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND INSPECTIONS PRIOR TO AND THROUGHOUT CONSTRUCTION.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN NEAT AND ACCURATE CONSTRUCTION RECORDS FOR THE OWNER/CITY'S USE. THE CONTRACTOR SHALL PROVIDE THE CITY CLEAN AND ACCURATE FULL SIZE REPRODUCIBLE RECORD DRAWINGS WHICH CLEARLY DESCRIBE ALL CONSTRUCTION AND ANY DEVIATIONS FROM THE PLANS.
5. ALL SHOP DRAWINGS AND SUBMITTALS SHALL BE PROOFREAD AND REVIEWED BY THE GENERAL CONTRACTOR FOR APPROVAL PRIOR TO SUBMITTAL TO THE ENGINEER. SUBCONTRACTOR / GENERAL CONTRACTOR SHALL CLEARLY INDICATE, MARK, HIGHLIGHT, AND PROPERLY CLARIFY PRODUCTS TO BE CONSIDERED FOR APPROVAL. SUBMITTALS NOT PROOFREAD OR REVIEWED OR CLARIFIED PROPERLY SHALL BE RETURNED UNREVIEWED. CONTRACTOR SHALL RESUBMIT SHOP DRAWINGS AND ALLOW FOR SUITABLE REVIEW TIME. SUITABLE REVIEW TIME SHALL BE SEVEN (7) WORKING DAYS FOR TYPICAL SUBMITTALS AND LONGER DEPENDING ON THE SIZE AND NATURE OF THE SUBMITTAL.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR QUALITY CONTROL IN THE REQUIRED CONSTRUCTION SURVEYING. DIMENSIONS SHOWN AND DIGITAL FILES PROVIDED SHALL BE USED TO LAYOUT THE SITE.
7. ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED TO INCLUDE BUT NOT BE LIMITED TO ROCK, RUBBLE, DEBRIS, TRASH, ETC. UNSUABLE EXCAVATED MATERIAL AND ALL WASTE RESULTING FROM SITE CLEANING AND GRUBBING SHALL BE DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE UNLESS OTHERWISE SPECIFIED OR AGREED TO BY OWNER.
8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE SILT FENCES (OR OTHER METHODS APPROVED BY THE ENGINEER AND CITY) AS REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, OR LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES FOR THE ESTABLISHMENT OF GRASS OR OTHER GROWTH TO PREVENT EROSION.
9. DISTURBED AREAS THAT ARE SEEDED SHALL BE CHECKED PERIODICALLY FOR FULL COVERAGE OF GRASS. ALL DISTURBED AREAS SHALL BE WATERED, FERTILIZED, AND SEEDED OR SODDED AS NECESSARY AND BY DEFINITION 'MAINTAINED' UNTIL AN ESTABLISHED STAND OF GRASS CAN BE RELEASED TO THE OWNER. REFERENCE LANDSCAPE/IRRIGATION PLAN (IF PROVIDED) TO COORDINATE PLANTING ENHANCEMENTS AND LIMITS OF IRRIGATION COVERAGE.
10. CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR ADJACENT RIGHT-OF-WAYS WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY. ALL CONSTRUCTION WASTE MATERIALS TO BE REMOVED SHALL BE DISPOSED OF AT A PERMITTED LOCATION OFF SITE, UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE CITY.
11. ALL ADJACENT PROPERTY DAMAGED BY THE PROPOSED CONSTRUCTION SHALL BE RESTORED TO EQUAL OR BETTER CONDITION THAN WHICH IT WAS FOUND BEFORE SUCH WORK WAS UNDERTAKEN (NON-PAY ITEM).
12. ALL EFFORTS SHALL BE MADE TO AVOID DAMAGE TO EXISTING TREES THAT ARE TO REMAIN. TREES SHALL BE TRIMMED AND PAINTED ONLY IF NECESSARY FOR THE SAFE MANEUVERING OF CONSTRUCTION EQUIPMENT. CONTRACTOR SHALL RECEIVE PRIOR APPROVAL FROM THE OWNER'S FIELD REPRESENTATIVE FOR REMOVAL OF ANY TREES, WHEN EXCAVATING AROUND A TREE, THE ROOTS SHALL BE CLEAN CUT PRIOR TO ANY EXCAVATION WORK. DO NOT SNAG AND TEAR TREE ROOTS
13. ALL EXISTING FENCES ARE TO REMAIN UNLESS SPECIFIED OTHERWISE BY THE OWNERS REPRESENTATIVE. ANY DAMAGE TO FENCES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE WITH NEW AND LIKE MATERIALS. TEMPORARY CONSTRUCTION SITE SECURITY FENCES ARE REQUIRED.
14. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING EXISTING DRIVEWAYS AND SIDEWALKS FREE OF MUD AND DEBRIS FROM THE CONSTRUCTION AT ALL TIMES.
15. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS, APPROVED BY THE CITY AND ENGINEER.
16. THE CONTRACTOR SHALL NOTIFY THE OWNER/CITY REPRESENTATIVE OF OFF-SITE EXCESS SPOILS SITES THAT ARE TO BE UTILIZED.
17. THE CONTRACTOR SHALL SET TWO (2) PERMANENT BENCHMARKS IN THE CITY COORDINATE SYSTEM. CONTRACTOR SHALL COORDINATE WITH CITY STAFF FOR RECORDED / APPROVED LOCATIONS.

DEMOLITION NOTES

- 1. NO EARTH-DISTURBING ACTIVITIES SHALL COMMENCE UNTIL ALL PERMITS ARE OBTAINED AND PERIMETER EROSION CONTROL MEASURES ARE IN PLACE.
2. ALL DEMOLITION SHALL BE CLOSELY COORDINATED WITH THE OWNER'S REPRESENTATIVE REGARDING ITEMS TO BE SALVAGED, THOSE TO BE REMOVED, ETC. INCLUDING ANY AND ALL TREE PRESERVATION AND TRANSPLANTING ACTIVITIES, AS OUTLINED IN THE PRE-CONSTRUCTION MEETING. REMOVAL, RELOCATION AND/OR DISPOSAL OF ANY PRE-EXISTING ON-SITE TRASH, DEBRIS, OR STOCKPILES SHALL BE INCLUDED IN THE TOTAL COST OF DEMOLITION AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AT ALL TIMES.
3. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING AGENCIES REGARDING THE DEMOLITION, REMOVAL, TRANSPORTATION AND DISPOSAL OF ALL DEMOLITION DEBRIS.
4. INGRESS AND EGRESS POINTS, PROPOSED DISPOSAL SITES, AND HAUL ROUTES MUST BE APPROVED BY CITY OFFICIALS PRIOR TO REMOVAL OF DEMOLITION DEBRIS OFF-SITE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DISCONNECTION OF ALL UTILITIES SERVING THE EXISTING SITE WITH THE APPROPRIATE UTILITY COMPANY, AND SHALL OBTAIN APPROVAL FROM SAME TO COMMENCE DEMOLITION ACTIVITIES.
6. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
7. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY CORNER MONUMENTS, BENCHMARKS, CONTROL POINTS, ETC. AND SHALL HAVE, AT HIS EXPENSE, ALL CORNER MONUMENTS REPLACED WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
8. THE CONTRACTOR SHALL INCUR ALL COSTS FOR MAINTENANCE AND REPAIR OF THE EXISTING FENCES TO REMAIN, IRRIGATION SYSTEMS TO REMAIN, UTILITY LINES, ETC. AS OUTLINED IN THE SPECIFICATIONS.
9. THE CONTRACTOR SHALL LOCATE AND REMOVE ALL UNDERGROUND UTILITY CABLES (ELECTRIC, TELEPHONE, ETC.) UP TO A DEPTH OF 24 INCHES BELOW GRADE AS PART OF THE BASE BID.
10. THE CONTRACTOR SHALL LOCATE AND REMOVE ALL UNDERGROUND UTILITY PIPING, CONDUIT, AND CABLES, REGARDLESS OF DEPTH, IN THE AREA OF THE PROPOSED BUILDING(S) FOUNDATIONS.
11. NOTES SHOWN HEREON REGARDING SPECIFIC ITEMS OF DEMOLITION ARE GENERAL IN NATURE, AND ARE NOT INTENDED TO BE WHOLLY INCLUSIVE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE ALL EXISTING IMPROVEMENTS TO THE SATISFACTION OF THE OWNER, AS NECESSARY FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS, AND TO THE EXTENT AS NOTED IN THE SPECIFICATIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLUGGING, CAPPING, OR OTHERWISE TERMINATING UTILITY SERVICE LINES AT EXISTING METER LOCATIONS, CLEANOUTS, ETC. A MIN. DISTANCE OF 1' FOOT OUTSIDE THE LIMITS OF THE TRACT SHOWN.
13. THE CONTRACTOR SHALL CREATE AMPLE STAGING AND STOCKPILING AREAS FOR THE DELIVERIES OF CONSTRUCTION MATERIALS, CONCRETE DELIVERIES, TOPSOIL, ETC. IN ACCORDANCE WITH THE OWNER'S REPRESENTATIVE AND THE PROJECT SPECIFICATIONS.

UTILITY NOTES

- 1. SUBSURFACE UTILITY ENGINEERING (SUEI) INFORMATION TAKE FROM PLAN ENTITLED 'FLORENCE ISD BAND HALL AND FIELD HOUSE' PREPARED BY THE RIOS GROUP LOCATING DATED FEBRUARY 20, 2022.
2. LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. (LANGAN) CANNOT AND DOES NOT REPRESENT THAT THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THE REFERENCED PLANS IS ACCURATE. LANGAN DOES NOT REPRESENT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN SERVICE, ABANDONED, SUITABLE FOR USE OR ARE OF THE EXACT TYPE, SIZE, LOCATION HORIZONTAL AND VERTICAL OR CONFIGURATION INDICATED HEREON, NOR COMPRISE ALL THE UTILITIES WITHIN THE SUBJECT AREA.
ACTUAL CONDITIONS MAY VARY FROM THOSE ENCOUNTERED AT THE TIME THE DATA WAS OBTAINED AND/OR OBTAINED.
PRIOR TO ALL DESIGN AND CONSTRUCTION, THE APPROPRIATE UTILITY AGENCIES SHALL BE CONTACTED TO OBTAIN WRITTEN VERIFICATION OF UTILITY TYPE AND FIELD LOCATION. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, TYPES, ETC. AND INVERTS PRIOR TO THE START OF CONSTRUCTION. ANY CONDITIONS FOUND THAT DIFFER FROM THOSE SHOWN ON THESE DOCUMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING PRIOR TO CONDUCTING ANY INTRUSIVE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO MOBILIZATION. CONTRACTOR SHALL VISIT THE SITE AND MAKE ALL NECESSARY OBSERVATIONS AND INSPECTIONS TO FAMILIARIZE THEMSELVES WITH THE SITE AND THE SITE FACILITIES. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE.
4. THE CONTRACTOR SHALL NOTIFY ALL AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 1 WEEK PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND MAKE ARRANGEMENTS FOR ANY AND ALL TEMPORARY UTILITIES, PERMITS, AND AGREEMENTS.
5. THE CONTRACTOR SHALL PROTECT ALL UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL GIVE THE CITY, RESIDENTS AND BUSINESSES AFFECTED BY ANY ANTICIPATED WATER OR SEWER SERVICE DISRUPTIONS AT LEAST FORTY-EIGHT (48) HOURS PRIOR NOTICE.
6. CONTRACTOR SHALL EXERCISE CAUTION AND MAINTAIN ADEQUATE CLEAR ZONE BETWEEN THE CONTRACTOR'S EQUIPMENT AND ANY POWER LINES.
7. THE CONTRACTOR SHALL PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONES RISERS, WATER VALVES, UTILITIES, ETC. DURING ALL CONSTRUCTION PHASES. CONTRACTOR WILL BE RESPONSIBLE TO REPLACE ANY DAMAGED ITEMS AND RESTORE ANY SERVICES THAT HAVE BEEN DISTURBED. ALL MANHOLES, CLEAN-OUTS, WATER VALVES, FIRE HYDRANTS AND OTHER APPURTENANCES MUST BE ADJUSTED TO FINAL GRADE BEFORE THE OWNER WILL ACCEPT THE WORK.
8. THE CONTRACTOR SHALL SALVAGE ALL EXISTING CITY UTILITIES (INCLUDING SIGNS, VALVES, FIRE HYDRANTS, ETC.) IN ACCORDANCE WITH CITY REQUIREMENTS AND PROVIDE TO THE CITY.
9. CONTRACTOR SHALL, IN BASE BID PROVIDE ALL NECESSARY FITTINGS AND APPURTENANCES REQUIRED TO COMPLETE ALL CONNECTIONS, RESOLVE UTILITY CONFLICTS AND OTHER INCIDENTAL UTILITY WORK SHOWN ON THE PLANS OR CONTAINED IN THE SPECIFICATIONS OR REQUIRED BY GOVERNING AGENCIES TO INCLUDE, BUT NOT LIMITED TO TEMPORARY SERVICES, VALVES, BOXES, METERS, BACKFLOW PREVENTERS, FIRE DEPARTMENT CONNECTIONS, ETC. INCLUDING THE REPAIR OR REPLACEMENT OF ANY EXISTING IRRIGATION SYSTEM. CONTRACTOR SHALL RAISE/LOWER OR ADJUST ALL EXISTING UTILITY MAINS IN CONFLICT WITH PROPOSED UTILITIES AS PART OF THE BASE BID FOR ALL KNOWN OR UNKNOWN LINES.
10. ALL UTILITIES WITHIN 5' OF PROPOSED BUILDING(S) SHALL ADHERE TO THE MEP'S RECOMMENDATIONS AND/OR REQUIREMENTS. CONTRACTOR SHALL PROVIDE STORM DRAIN CONNECTIONS FOR ALL ROOF DRAIN LINES, REFER TO MEP'S PLANS AND RELATED TECHNICAL SPECIFICATIONS. CIVIL UTILITIES (WATER, SANITARY SEWER & STORM SEWER) LIMITS BEGIN 5' OUTSIDE THE BUILDING. IN THE EVENT OF A CONFLICT WITH THE MEP'S WITHIN THIS AREA, THE MEP'S REQUIREMENTS SHALL GOVERN.
11. TESTING OF UTILITY TRENCH BACKFILL COMPACTION SHALL BE AT 75' INTERVALS AND EACH LIFT'S BACKFILL. BACKFILL SHALL BE PROCESSED SUCH THAT NO DIRT CLOUDS ARE IN EXCESS OF 4" DIAMETER. ALL SANITARY SEWER LINES AND STORM SEWER LINES SHALL BE TESTED AT THE COMPLETION OF THE PROJECT. IN ADDITION TO MINIMUM CODE OR OTHER REQUIREMENTS) TO CHECK FOR DAMAGE CAUSED BY OTHER TRADES, UTILITY CONFLICTS, TRENCH SETTLEMENT, ETC. THE COST OF SUCH SHALL BE INCLUDED IN THE CONTRACTORS BASE PRICE.

PAVING NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF A MAXIMUM NUMBER OF PASSING FIELD DENSITY TESTS ON THE STABILIZED SUBGRADE FOR SITE PAVING EQUAL TO THE RATIO OF 1 PER 6,000 SQUARE FEET OF PAVEMENT (AND ALL FAILING DENSITY TESTS AND REQUIRED MOISTURE DENSITY CURVES). ADDITIONAL FIELD DENSITY TESTS MAY BE REQUIRED FOR FOUNDATIONS. REFER TO STRUCTURAL PLANS AND SPECIFICATIONS FOR SUCH. IN ADDITION, THE CONTRACTOR SHALL PROVIDE THE OWNER TEN (10) PASSING SITE PAVEMENT CORES FOR THE OWNERS USE IN THE OWNERS TESTING FOR THICKNESS AND COMPRESSIVE STRENGTH. CORE LOCATIONS SHALL BE DESIGNATED BY THE OWNER. CONTRACTOR SHALL PATCH CORE HOLES AND FINISH WITH LIKE AND MATCHING MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TESTING COSTS SHOULD THE ABOVE TESTS FAIL. MINIMUM CRITERIA AS ESTABLISHED BY NCTCOG. ANY NON-CONFORMING PAVING SHALL BE REPLACED OR RESOLVED IN ACCORDANCE WITH NCTCOG SPECIFICATIONS.
2. ALL EARTHWORK AND SUBGRADE PREPARATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT NO. AA422-13560 PREPARED BY RABA KISTNER CONSULTANTS, INC. DATED 12/08/2022, AND THOSE RECOMMENDATIONS LISTED WITHIN THE REPORTS. REFER TO THIS REPORT FOR ALL EARTHWORK AND RELATED ITEMS. REFER TO STRUCTURAL FOR BUILDING PREP. THE REPORTS REFERENCES AGENCY/INDUSTRY STANDARDS. IN THE EVENT THAT THERE IS A QUESTION OR DISPUTE BETWEEN GOVERNING SPECIFICATIONS, THE MOST STRINGENT SHALL APPLY SUCH THAT THE OWNER RECEIVES THE MOST ADVANTAGEOUS FINISHED PRODUCT.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PERFORMING ALL CONSTRUCTION LAYOUTS FROM THE SITE LAYOUT DIGITAL CONTROL POINTS AND FROM THE DIMENSIONS SHOWN. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN ADVANCE AND ALLOW FOR THE ENGINEER'S RESPONSE BEFORE PROCEEDING WITH THE WORK.
4. ALL PAVING DIMENSIONS ARE TO BACK OF CURB, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPLY THE CITY AND THE ENGINEER WITH A CONCRETE MIX DESIGN AT THE PRE-CONSTRUCTION MEETING FOR REVIEW AND APPROVAL. THE COST OF THIS DESIGN SHALL BE INCLUDED IN THE UNIT PRICE OF PAVEMENT MATERIAL. FLY ASH IS NOT PERMITTED AS A SUBSTITUTE FOR CEMENT.
6. THE CONTRACTOR SHALL PROTECT ANY EXISTING AND/OR PROPOSED UTILITIES, WHICH ARE IN THE PROPOSED SUBGRADE DURING THE SUBGRADE STABILIZATION PROCESS.
7. CONTRACTOR SHALL ADJUST ALL UTILITIES (EXISTING AND PROPOSED) TO FINAL GRADE (NON-PAY ITEM). ALL UTILITIES AND APPURTENANCES SHALL BE EXTENDED UP TO FINAL GRADE. UTILITY CLEAN-OUTS, VALVES, MANHOLES, ETC. LOCATED WITHIN PAVED AREAS SHALL BE PAVED PER DETAIL. IN NON-PAVED AREAS, SAID APPURTENANCES SHALL HAVE A 4" THICK CONCRETE PAD EXTENDING 12" BEYOND SAID APPURTENANCE (BLOCK OUT) POURED AT FINAL GRADE FOR PROTECTION AGAINST DAMAGE FROM MOVING AND MAINTENANCE EQUIPMENT.
8. PRIOR TO PAVING INSTALLATION, CONTRACTOR TO REFERENCE ALL PLAN SHEETS TO IDENTIFY ALL SLEEVES AND CONDUIT NECESSARY TO SUPPORT FRANCHISE UTILITY SERVICES, TECHNOLOGY/SECURITY, SITE LIGHTING, IRRIGATION, ETC. CONTRACTOR SHALL CONFIRM WITH OWNER AND/OR OWNER'S REPRESENTATIVE TO VERIFY SIZE, LOCATION, AND QUANTITY.
9. UNLESS OTHERWISE NOTED, SUBGRADE SHALL BE STABILIZED TO 12" BEYOND THE BACK OF CURB OR EDGE OF PAVEMENT PER GEOTECHNICAL RECOMMENDATIONS IN THE 2022 REPORT BY RABA KISTNER CONSULTANTS, DATED 12/08/2022. ALL CONCRETE STRENGTH AND REINFORCING STEEL SHALL BE PER PROJECT GEOTECHNICAL RECOMMENDATIONS. FIRE LANES, PARKING STALLS, AND ROADWAY STRIPING & MARKINGS SHALL CONFORM TO CITY STANDARDS. SIDEWALKS WITHIN LANDSCAPE AREAS SHALL BE MINIMUM 4" THICK. LARGE EXPANSIONS OF CONCRETE FLATWORK (SUCH AS MAJOR PEDESTRIAN AREAS, PLAZA AREAS BETWEEN BUILDINGS OR OTHER STRUCTURES) SHALL BE TREATED LIKE VEHICULAR CONCRETE PAVEMENT AND RECEIVE SAME SUBGRADE STABILIZATION AS VEHICULAR PAVEMENT (6" DEEP MINIMUM AND IN ACCORDANCE WITH A LIME SERIES TEST) AND ALL JOINTS (CONTRACTION AND EXPANSION JOINTS) SHALL BE SEALED WITH SELF-LEVELING POLYURETHANE SEALANT.
10. ALL PAVEMENT WITHIN 5' OF PROPOSED BUILDING(S) SHALL ADHERE TO THE STRUCTURAL RECOMMENDATIONS AND/OR ARCHITECTURAL REQUIREMENTS. REFER TO STRUCTURAL AND ARCHITECTURAL PLANS AND RELATED TECHNICAL SPECIFICATIONS. CIVIL PAVEMENT LIMITS BEGIN 5' OUTSIDE THE BUILDING. IN THE EVENT OF A CONFLICT WITH THE STRUCTURAL AND/OR ARCHITECTURAL, WITHIN THIS AREA, THE STRUCTURAL/ARCHITECT REQUIREMENTS SHALL GOVERN.
11. ALL REINFORCING STEEL AND DOWEL BARS IN PAVEMENT SHALL BE SUPPORTED AND MAINTAINED AT THE CORRECT CLEARANCES BY THE USE OF BAR CHAIRS OR OTHER APPROVED SUPPORT.
12. CONNECTION OF THE PROPOSED SIDEWALK TO EXISTING PAVING, SIDEWALK, BUILDING, AND WHEELCHAIR RAMPS SHALL BE CONSIDERED SUBSIDIARY TO THE COST OF THE CONSTRUCTION OF THE SIDEWALK. ALL JOINTS (EXPANSION, ISOLATION, CONTRACTION, & CONSTRUCTION) FOR CONCRETE PAVING AND INCIDENTAL CRACKS SHALL BE SEALED AND INSTALLED IN ACCORDANCE WITH THE AMERICAN CONCRETE PAVEMENT ASSOCIATION (ACPA) RECOMMENDATIONS. CONTRACTOR SHALL OBSERVE THE ARCHITECTURAL AND STRUCTURAL JOINTING LAYOUTS. IN THE EVENT OF A DISCREPANCY OR CONFLICT FOR SITE PAVING, THE CONTRACTOR SHALL REFER TO ACPA PUBLICATION IS061.01P AND IS400.01P FOR THE JOINT SPECIFICATIONS AND THE LAYOUT OF PAVEMENT JOINTS (NON-PAY ITEM).
13. JOINT SPACING SHALL BE AS FOLLOWS:
5 INCH PAVEMENT THICKNESS - 10' JOINT SPACING
6+ INCH PAVEMENT THICKNESS - 15' JOINT SPACING
IN AREAS WHERE PAVEMENT THICKNESS VARIES, THE SHORTER JOINT SPACING SHALL GOVERN
14. THE CONTRACTOR SHALL USE CARE DURING SOIL STABILIZATION AND COMPACTION ACTIVITIES SO AS NOT TO ADVERSELY AFFECT LANDSCAPE AREAS OR UTILITY LINES WITH SOIL STABILIZATION TREATMENTS. AFTER COMPACTION AND PRIOR TO PLACING GRASS, THE UPPER 8 INCHES (8") OF ALL LANDSCAPED AREAS SHALL BE AERATED, TILLED, OR OTHERWISE PROCESSED SO AS TO PROMOTE HEALTHY ROOT GROWTH FOR TURF AND OTHER VEGETATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY REPAIRS, UNDERCUTTING, REMOVAL, DISPOSAL, AND BACKFILLING OF THESE AREAS IF STABILIZATION IS DISCOVERED (NON-PAY ITEM).

EARTHWORK NOTES

- 1. PLACE TOPSOIL TO WITHIN 0'10" OF FINISH GRADE. SEE TOPSOIL SPECIFICATION SHOULD IMPORTED MATERIAL BE NECESSARY.
2. AS A RESULT OF THE SITE GEOLOGY AND PROPOSED SITE PLAN, THE CONTRACTOR SHALL ESTABLISH A SOIL MANAGEMENT PLAN/OPERATION THROUGHOUT THE CONSTRUCTION PROCESS. ALL TOPSOIL SHALL BE SALVAGED AND STOCKPILED ON-SITE. STOCKPILED TOPSOIL MAY BECOME STERILE AND NON-FERTILE OVER TIME. THE CONTRACTOR SHALL AMEND AND SUPPLEMENT THE STOCKPILED TOPSOIL AS NECESSARY TO YIELD A FERTILE TOPSOIL SUPPLY. THE CONTRACTOR'S SOIL AND NECESSARY TOPSOIL IMPORT AND STOCKPILE AS REQUIRED TO BACKFILL AS REQUIRED TO BACKFILL AND CROWN ALL LANDSCAPE ISLANDS AND LANDSCAPE AREAS. THE LACK OF AVAILABLE ON-SITE TOPSOIL WILL NOT BE GROUNDS FOR A CHANGE ORDER OR ADDITIONAL PAY.

SEQUENCING / TRAFFIC CONTROL NOTES

- 1. CONTRACTOR SHALL PREPARE, FURNISH, MAINTAIN, AND REMOVE ALL TRAFFIC CONTROL BARRICADES, WARNING SIGNS, LIGHTS, CONSTRUCTION FENCES, ETC. FOR THE WORK THROUGHOUT CONSTRUCTION. ALL BARRICADES, WARNING SIGNS, LIGHTS, DEVICES, ETC., FOR THE GUIDANCE AND PROTECTION OF TRAFFIC AND PEDESTRIANS MUST CONFORM TO THE INSTALLATION SHOWN IN THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION AS CURRENTLY AMENDED BY THE TEXAS DEPARTMENT OF TRANSPORTATION.
2. CONTRACTOR SHALL PROVIDE ACCESS TO ALL REQUIRED ENTRANCES AND EXITS AT ALL TIMES THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL AND SEQUENCING PLAN TO THE ALL AUTHORITIES HAVING JURISDICTION AND COORDINATE THE PLAN AND SCHEDULE WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION.

GENERAL SITE NOTES:

- 1. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION; THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY. PROVIDED THEY ARE COORDINATED WITH THE OWNER, ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE RFI SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED OR CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
6. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL AND VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.

TCEQ C2P NOTES:

THIS CONSTRUCTION PROJECT IS SUBJECT TO THE CONDITIONS GIVEN IN THE EDWARDS AQUIFER PROTECTION PLAN (EAPP) APPROVED AND ISSUED FOR THIS SITE BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ). NO CONSTRUCTION ACTIVITIES MAY COMMENCE UNTIL THAT PLAN HAS BEEN ISSUED BY THE TCEQ. CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PUBLIC NOTICE POSTINGS RELATED TO THIS TCEQ PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

CONTRACTOR AND OWNER SHALL ALSO OBTAIN COVERAGE FOR STORMWATER DISCHARGES RELATED TO CONSTRUCTION ACTIVITIES UNDER THE TEXAS GENERAL PERMIT TXR150000. CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PUBLIC NOTICE POSTINGS RELATED TO THIS TCEQ PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY CONTRIBUTING ZONE PLAN GENERAL CONSTRUCTION NOTES:

- 1. A WRITTEN NOTICE OF CONSTRUCTION MUST BE SUBMITTED TO THE TCEQ REGIONAL OFFICE AT LEAST 48 HOURS PRIOR TO THE START OF ANY GROUND DISTURBANCE OR CONSTRUCTION ACTIVITIES. THIS NOTICE MUST INCLUDE:
- THE NAME OF THE APPROVED PROJECT;
- THE ACTIVITY START DATE; AND
- THE CONTACT INFORMATION OF THE PRIME CONTRACTOR.
2. ALL CONTRACTORS CONDUCTING REGULATED ACTIVITIES ASSOCIATED WITH THIS PROJECT SHOULD BE PROVIDED WITH COMPLETE COPIES OF THE APPROVED CONTRIBUTING ZONE PLAN (CZP) AND THE TCEQ LETTER INDICATING THE SPECIFIC CONDITIONS OF ITS APPROVAL. DURING THE COURSE OF THESE REGULATED ACTIVITIES, THE CONTRACTOR(S) SHOULD KEEP COPIES OF THE APPROVED PLAN AND APPROVAL LETTER ON-SITE.
3. NO HAZARDOUS SUBSTANCE STORAGE TANK SHALL BE INSTALLED WITHIN 150 FEET OF A WATER SUPPLY SOURCE, DISTRIBUTION SYSTEM, WELL, OR SENSITIVE FEATURE.
4. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY, ALL TEMPORARY EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES MUST BE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. IF INSPECTIONS INDICATE A CONTROL HAS BEEN USED INAPPROPRIATELY, OR INCORRECTLY, THE APPLICANT MUST REPLACE OR MODIFY THE CONTROL FOR SITE SITUATIONS. THESE CONTROLS MUST REMAIN IN PLACE UNTIL THE DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
5. ANY SEDIMENT THAT ESCAPES THE CONSTRUCTION SITE MUST BE COLLECTED AND PROPERLY DISPOSED OF BEFORE THE NEXT RAIN EVENT TO ENSURE IT IS NOT WASHED INTO SURFACE STREAMS, SENSITIVE FEATURES, ETC.
6. SEDIMENT MUST BE REMOVED FROM THE SEDIMENT TRAPS OR SEDIMENTATION BASINS WHEN IT OCCUPIES 50% OF THE BASIN'S DESIGN CAPACITY.
7. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BEING DISCHARGED OFFSITE.
8. ALL EXCAVATED MATERIAL THAT WILL BE STORED ON-SITE MUST HAVE PROPER E&S CONTROLS.
9. IF PORTIONS OF THE SITE WILL HAVE A CEASE IN CONSTRUCTION ACTIVITY LASTING LONGER THAN 14 DAYS, SOIL STABILIZATION IN THOSE AREAS SHALL BE INITIATED AS SOON AS POSSIBLE PRIOR TO THE 14TH DAY OF INACTIVITY. IF ACTIVITY WILL RESUME PRIOR TO THE 21ST DAY, STABILIZATION MEASURES ARE NOT REQUIRED. IF DROUGHT CONDITIONS OR INCREMENT WEATHER PREVENT ACTION BY THE 14TH DAY, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE.
10. THE FOLLOWING RECORDS SHOULD BE MAINTAINED AND MADE AVAILABLE TO THE TCEQ UPON REQUEST:
• THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR;
• THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; AND
• THE DATES WHEN STABILIZATION MEASURES ARE INITIATED.
11. THE HOLDER OF ANY APPROVED C2P MUST NOTIFY THE APPROPRIATE REGIONAL OFFICE IN WRITING AND OBTAIN APPROVAL FROM THE EXECUTIVE DIRECTOR PRIOR TO INITIATING ANY OF THE FOLLOWING:
a. ANY PHYSICAL OR OPERATIONAL MODIFICATION OF ANY BEST MANAGEMENT PRACTICES (BMPs) OR STRUCTURE(S), INCLUDING BUT NOT LIMITED TO TEMPORARY OR PERMANENT PONDS, DAMS, BERMS, SILT BARRIERS, AND DIVERSIONARY STRUCTURES;
b. ANY CHANGE IN THE NATURE OR CHARACTER OF THE REGULATED ACTIVITY FROM THAT WHICH WAS ORIGINALLY APPROVED;
c. ANY CHANGE THAT WOULD SIGNIFICANTLY IMPACT THE ABILITY TO PREVENT POLLUTION OF THE EDWARDS AQUIFER; OR
d. ANY DEVELOPMENT OF LAND PREVIOUSLY IDENTIFIED AS UNDEVELOPED IN THE APPROVED CONTRIBUTING ZONE PLAN.

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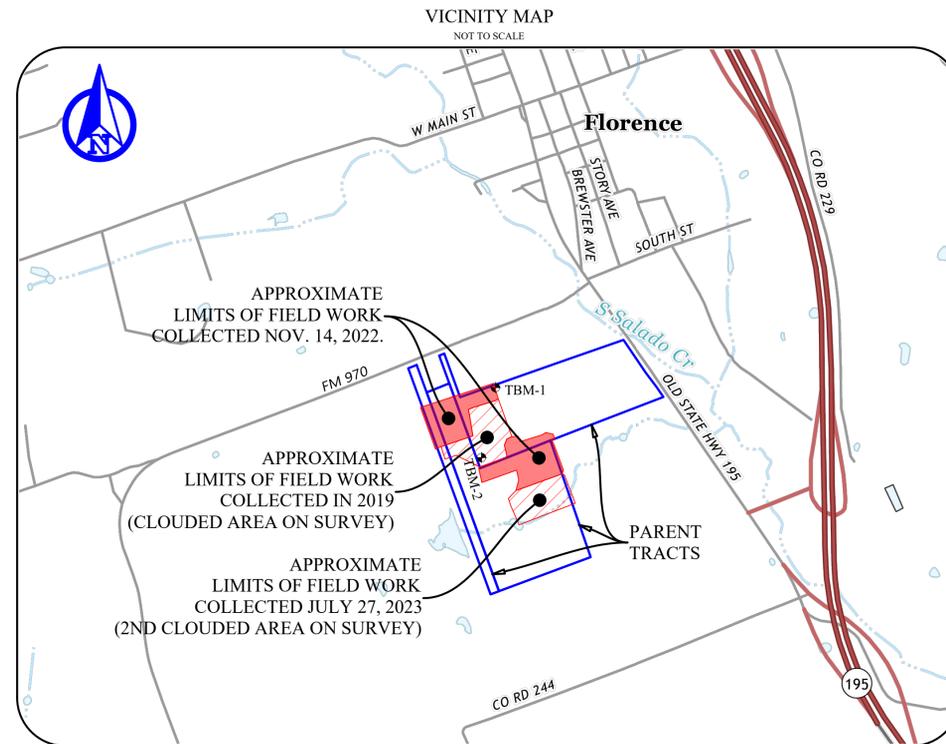
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 Drafter: RDG 2019/09/26 R2373  
 Revision: RDG 2019/12/30 R2846  
 Revision: RDG 2022/11/14 CTX5937  
 Revision: RDG 2023/08/09 CTX6880

**SURVEYOR'S NOTES:**

- This is not a boundary survey. Boundary lines shown hereon are for reference purposes only and should not be construed as a "boundary survey" in compliance with the Texas Board of Professional Land Surveying minimum standards of procedures for boundary surveys. Easements are not shown hereon and were not researched by the surveyor for the purposes of this topographic survey.
- This survey was performed without the benefit of a title commitment. Complete copies of the record description of the property, any record easements benefiting the property, the record easements or servitudes and covenants affecting the property ("Record Documents"), documents of record referred to in the Record Documents, and any other documents containing desired appropriate information affecting the property being surveyed and to which the survey shall make reference were not provided to this surveyor for notation on the survey. Therefore, easements, agreements, or other documents, either recorded, or unrecorded may exist that affect the subject property that are not shown on this survey.
- Benchmarks:
 

(TBM-1) Benchmark is a mag nail with a washer stamped "JPH LAND SURVEYING" set in a concrete curb in the north margin of a paved roadway located approximately 535 feet southeasterly from the south line of FM 970, and approximately 1600 feet southwesterly from the intersection of FM 970 and State Highway 195. Benchmark Elevation = 986.77' (NAVD'88). See vicinity map for general location.

(TBM-2) Benchmark is a mag nail with a washer stamped "JPH LAND SURVEYING" set in a concrete curb located approximately 1,220 feet southeasterly from the south line of FM 970, and approximately 2,250 feet southwesterly from the intersection of FM 970 and State Highway 195. Benchmark Elevation = 990.34' (NAVD'88). See vicinity map for general location.
- The new field work was completed on July 27, 2023, except where noted otherwise. See clouded areas on survey with dates of prior field work.
- The site surface is natural ground/dirt, unless noted otherwise.
- Utility locate markings shown hereon were provided by The Rios Group. See pdf detail included in documents link shown hereon.



**TOPOGRAPHIC SURVEY**  
 OF A PORTION OF  
**FLORENCE HIGH SCHOOL**  
 SITUATED IN THE  
**WASHINGTON P. REESE SURVEY**  
 ABSTRACT NO. 523  
 CITY OF FLORENCE  
 WILLIAMSON COUNTY, TEXAS  
 ADDRESS: 401 FM 970

**UTILITY WARNING**

Unless otherwise stated, the client or client's representative did not provide JPH with plans and/or reports, and JPH did not coordinate a private utility locate request. If these Table A items are listed in the certification, the client, being aware of the factors listed above, has agreed for these Table A item(s) to be addressed from a combination of online GIS maps, markings from locate request(s) to municipalities and 811 and observed evidence of utilities. The client is aware locate requests to 811 and the like, may be ignored or result in an incomplete response, in which case utilities may not have been marked, or not completely marked, at the time the fieldwork was performed. Therefore, utilities may exist which are not shown on this survey. Lacking excavation and/or a private utility locate request, the exact location of underground features cannot be accurately, completely, and reliably depicted.

**FLOOD ZONE CLASSIFICATION**

This property lies within unshaded ZONE(S) X of the Flood Insurance Rate Map for Williamson County, Texas and Incorporated Areas, map no. 48491C0100E, dated 2008/09/26, via scaled map location and graphic plotting and/or the National Flood Hazard Layer (NFHL) Web Map Service (WMS) at <http://hazards.fema.gov>.

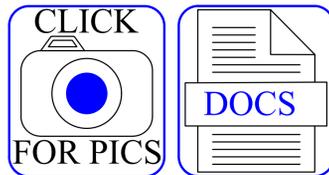
**MONUMENTS / DATUMS / BEARING BASIS**

Monuments are found if not marked MNS or CRS.

- CRS  1/2" rebar stamped "JPH Land Surveying" set
- MNS  Mag nail & washer stamped "JPH Land Surveying" set
- TBM  Site benchmark (see vicinity map for general location)
  - Vertex or common point (not a monument)
  - Coordinate values, if shown, are US.SyFt./TxCS/83,CZ
  - Elevations, if shown, are NAVD'88
  - Bearings are based on grid north (TxCS/83,CZ)
- TYPE I  TxDOT Right of Way tapered concrete monument.
- TYPE II  TxDOT Right of Way bronze cap in concrete.
- TYPE III  TxDOT Right of Way aluminum cap.

**LEGEND OF ABBREVIATIONS**

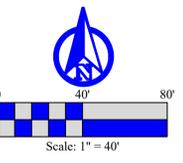
- US.SyFt. United States Survey Feet
- TxCS/83,CZ Texas Coordinate System of 1983, Central Zone
- NAVD'88 North American Vertical Datum of 1988
- P.R.W.C.T. Plat Records of Williamson County, Texas
- O.P.R.W.C.T. Official Public Records of Williamson County, Texas
- D.R.W.C.T. Deed Records of Williamson County, Texas
- VOL/PAGE/INST# Volume/Page/Instrument Number
- POB/POC Point of Beginning/Point of Commencing
- ESMT/BL Easement/Building Line
- CMP Corrugated metal pipe
- PVC Polyvinyl chloride pipe



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 Telephone (817) 431-4971 [www.jphlandsurveying.com](http://www.jphlandsurveying.com)  
 TBPELS Firm #10019500  
 DFW | Central Texas | West Texas | Houston



Cole Streyvey  
 Registered Professional  
 Land Surveyor No. 6731  
 cole@jphls.com  
 Original Sign Date: September 26, 2019  
 Revised: December 30, 2019 to include  
 an additional area to survey site  
 Revised: November 22, 2022 to include  
 an additional area to survey site  
 Revised: August 9, 2023 to include  
 an additional area to survey site



**LEGEND OF SYMBOLS**

- ⊠ air conditioner
- ⊙ borehole
- ⊕ cable tv
- ⊕ electric meter
- ⊕ fence or handrail
- ⊕ fire dept. connection
- ⊕ fire hydrant
- ⊕ fire lane
- ⊕ guard rail
- ⊕ grease trap
- ⊕ bollard
- ⊕ grate inlet
- ⊕ gas meter
- ⊕ gas line
- ⊕ utility pole anchor
- ⊕ irrigation valve
- ⊕ landscape or tree line
- ⊕ landscape electric box
- ⊕ landscape light
- ⊕ light pole
- ⊕ mailbox
- ⊕ monitoring well
- ⊕ overhead utility lines
- ⊕ pool equipment
- ⊕ road sign
- ⊕ roof drain
- ⊕ silt fence
- ⊕ spot elevation
- ⊕ sanitary sewer manhole
- ⊕ storm sewer pipe
- ⊕ storm water manhole
- ⊕ storm water pipe
- ⊕ telephone manhole
- ⊕ tank fill lid
- ⊕ telephone riser
- ⊕ traffic signal pole
- ⊕ unknown manhole
- ⊕ utility clean out
- ⊕ utility cabinet
- ⊕ utility vault
- ⊕ utility markings (line color = color of markings)
- ⊕ utility pole
- ⊕ utility pole with riser
- ⊕ utility sign
- ⊕ water shutoff
- ⊕ water valve
- ⊕ water manhole
- ⊕ water meter
- ⊕ well
- water line
- one-foot contour lines
- tree trunk (with canopy)
- caliper inches at breast height
- ornamental tree
- multiple trunks

**UTILITY MARK LEGEND**

- ELECTRIC
- GAS-OIL-STEAM
- COMMUNICATION-CATV
- WATER
- SEWER

NOTE - Some items may not pertain to this survey. The identification is subject to interpretation, verification may be required.



APPROXIMATE AREA OF TOPOGRAPHY COLLECTED NOVEMBER 14, 2022

APPROXIMATE LIMITS OF TOPOGRAPHY COLLECTED IN 2019

CALLLED 40.03 ACRE TRACT  
FLORENCE INDEPENDENT SCHOOL DISTRICT  
INST# 1998023960, O.P.R.W.C.T.

CALLLED 6.09 ACRE TRACT  
FLORENCE INDEPENDENT SCHOOL DISTRICT  
INST# 199804000, O.P.R.W.C.T.

CALLLED 37.616 ACRE TRACT  
FLORENCE INDEPENDENT SCHOOL DISTRICT  
VOL. 866, PG 209, D.R.W.C.T.

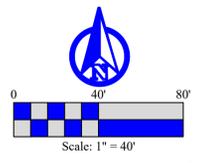
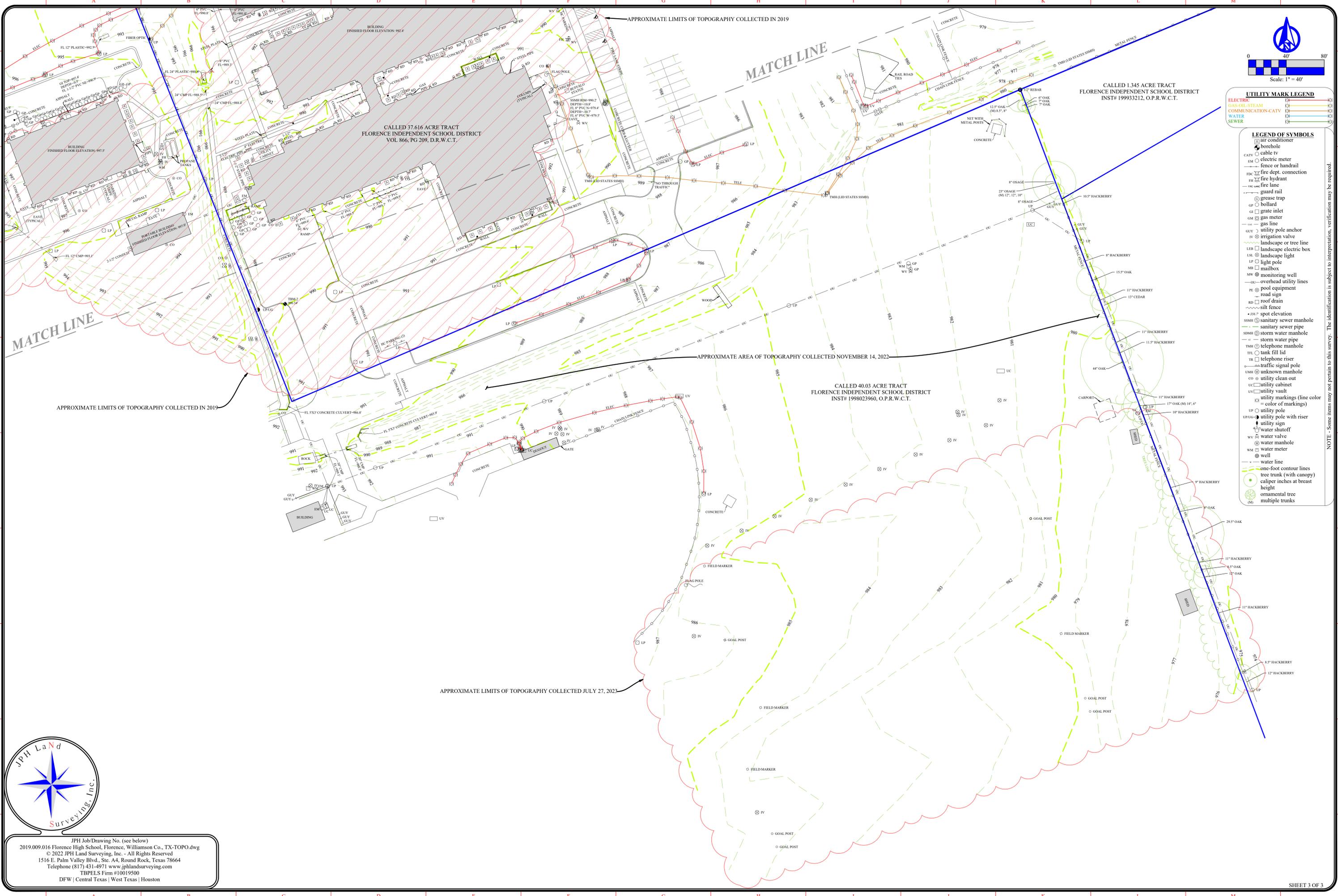
MATCH LINE

MATCH LINE



APPROXIMATE LIMITS OF TOPOGRAPHY COLLECTED IN 2019

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**UTILITY MARK LEGEND**

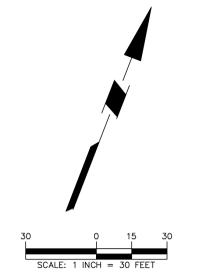
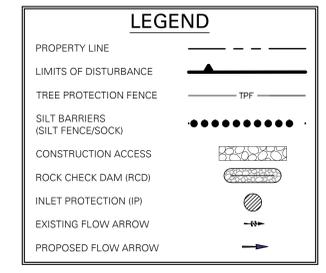
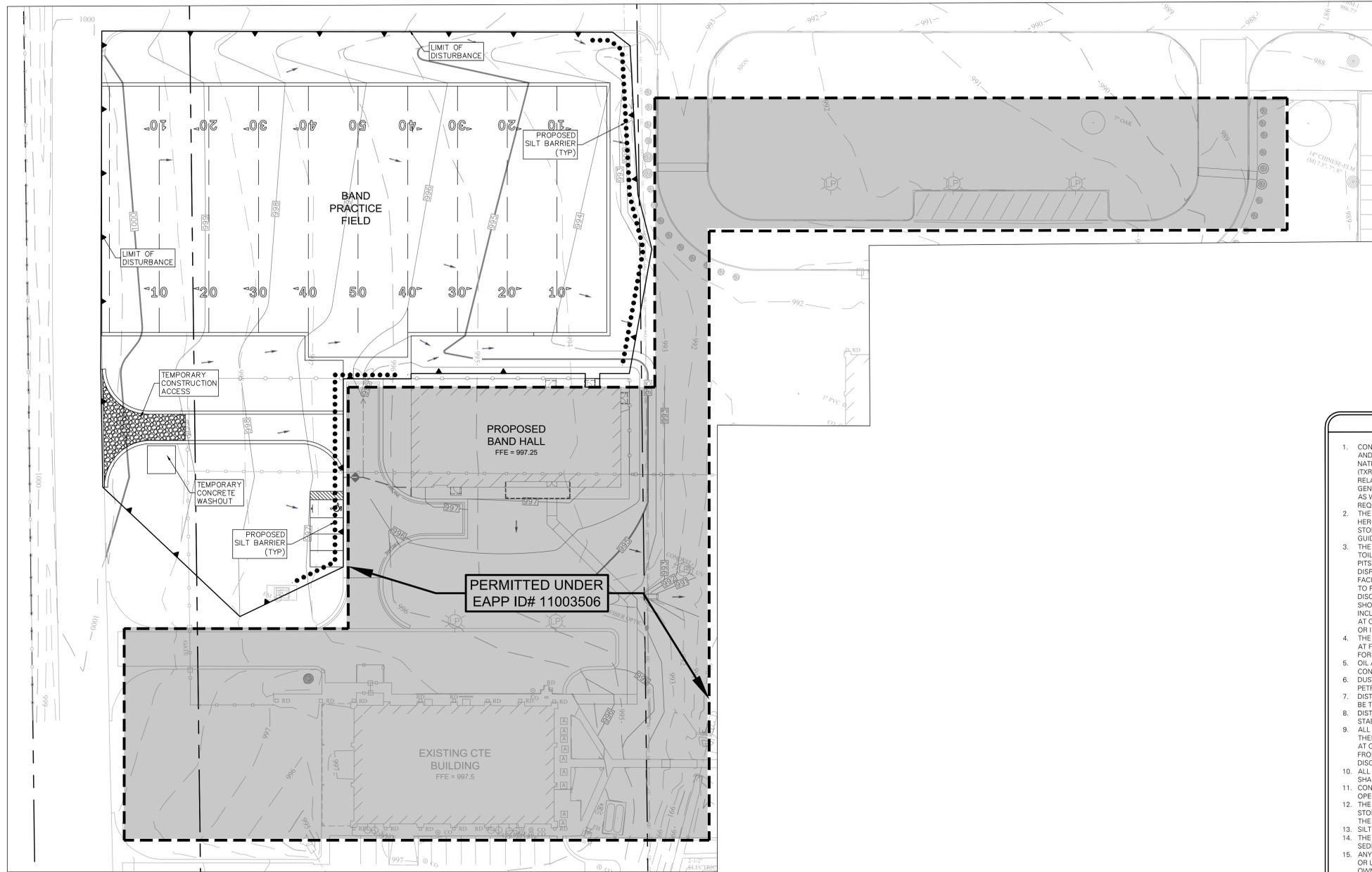
ELECTRIC	—
GAS/OIL/STEAM	—
COMMUNICATION-CATV	—
WATER	—
SEWER	—

**LEGEND OF SYMBOLS**

- air conditioner
- borehole
- cable tv
- EM ○ electric meter
- fence or handrail
- FDC ○ fire dept. connection
- fire hydrant
- fire lane
- guard rail
- grease trap
- bollard
- grate inlet
- gas meter
- gas line
- utility pole anchor
- IV ○ irrigation valve
- landscape or tree line
- LED ○ landscape electric box
- landscape light
- LP ○ light pole
- mailbox
- MW ○ monitoring well
- overhead utility lines
- PE ○ pool equipment
- road sign
- RD ○ roof drain
- silt fence
- spot elevation
- SSMH ○ sanitary sewer manhole
- sanitary sewer pipe
- SSMH ○ storm water manhole
- storm water pipe
- TMI ○ telephone manhole
- TL ○ tank fill lid
- telephone riser
- traffic signal pole
- UMH ○ unknown manhole
- CO ○ utility clean out
- UC ○ utility cabinet
- UV ○ utility vault
- utility markings (line color = color of markings)
- UP ○ utility pole
- UP/UP ○ utility pole with riser
- utility sign
- water shutoff
- WV ○ water valve
- water manhole
- WM ○ water meter
- well
- water line
- one-foot contour lines
- tree trunk (with canopy)
- caliper inches at breast height
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INSET A: PROPOSED PRACTICE FIELD

- EROSION CONTROL SEQUENCE**
1. INSTALL SILT BARRIERS AROUND PERIMETER OF PROPERTY AND DISTURBED AREAS AS SHOWN.
  2. INSTALL INLET PROTECTION FOR ALL EXISTING GRATE INLETS, CURB INLETS.
  3. INSTALL ROCK CHECK DAMS AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES, IF PRESENT.
  4. CONSTRUCT TEMPORARY CONSTRUCTION ACCESS.
  5. COMMENCE GRUBBING AND REMOVAL OF VEGETATION IN AREA TO RECEIVE CUT OR FILL.
  6. COMMENCE GRADING OPERATION FOR BUILDING PAD PREPARATION.
  7. INSTALL ALL UNDERGROUND UTILITIES.
  8. INSTALL ALL PROPOSED STORM SEWER PIPES AND INSTALL INLET PROTECTION AND SILT BARRIERS AT ENDS OF EXPOSED PIPES.
  9. FINALIZE PAVEMENT SUBGRADE PREPARATION.
  10. CONSTRUCT ALL DRAINAGE STRUCTURES. INLET PROTECTION AND SILT BARRIERS MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION.
  11. REMOVE SILT PROTECTIVE MEASURES AROUND INLETS AND MANHOLES NO MORE THAN 48 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
  12. INSTALL BASE MATERIAL AS REQUIRED FOR PAVEMENT, CURB & GUTTER.
  13. INSTALL ALL PAVING, CURB & GUTTER.
  14. COMPLETE PLANTING AND/OR SOIL TO ACCOMPLISH STABILIZATION, IN ACCORDANCE WITH TURF RE-ESTABLISHMENT NOTES, THIS SHEET.
  15. REMOVE TEMPORARY CONSTRUCTION ACCESS AND ALL PROTECTIVE MEASURES.

**\*\*NOTE - STABILIZATION\*\***

ALL DISTURBED AREAS SHALL BE WATERED, FERTILIZED, AND SEEDED OR SODDED AS NECESSARY AND BY DEFINITION 'MAINTAINED' UNTIL AN ESTABLISHED STAND OF GRASS CAN BE RELEASED TO THE OWNER.

**\*\*NOTE - WATER OF THE U.S.\*\***

THERE ARE NO IMPACTS FROM CONSTRUCTION ACTIVITIES TO THE WATERS OF THE U.S. ON THIS SITE.

**SITE DATA**

TOTAL LAND AREA: 46.12 AC  
 DISTURBED AREA: 1.96 AC  
 IMPERVIOUS: 6.24 AC  
 PERVIOUS: 39.88 AC  
 RUNOFF COEFF. PRE-DEV: 0.56  
 RUNOFF COEFF. POST-DEV: 0.57

**MATERIAL STORAGE - NOTICE TO CONTRACTOR \*\*\***

THE CONTRACTOR SHALL NOTE ON SITE PLAN THE LOCATION OF ALL MATERIAL STORAGE AREAS, EQUIPMENT STORAGE AREAS, PETROLEUM TANKS, SOLID WASTE RECEPTACLES, SANITARY FACILITIES, ANY ON-SITE OR OFF-SITE BORROW OR STOCKPILE AREA. ANY ON-SITE OR OFF-SITE SUPPORT ACTIVITIES (SUCH AS ASPHALT OR CONCRETE PLANTS). CONTRACTOR SHALL ALSO PREPARE, KEEP ON SITE, AND MAINTAIN A CURRENT LIST OF MATERIALS WITH APPROXIMATE QUANTITIES, WHICH ARE STORED ON SITE.

**NOTES FOR CHANGES TO SWPPP**

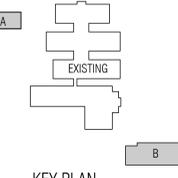
THE TXR15000 GENERAL PERMIT REQUIRES THAT THE PERMITEE REVISION OR UPDATE THIS SWPPP WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, OR WHENEVER THE RESULT OF AN INSPECTION INDICATES THAT THIS SWPPP IS INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS IN STORMWATER DISCHARGES. HOWEVER, THE REGULATIONS OF THE TEXAS BOARD OF PROFESSIONAL ENGINEERS REQUIRE THAT CHANGES MADE BY THE CONTRACTOR DURING CONSTRUCTION MUST BE AUTHORIZED BY A LICENSED TEXAS ENGINEER. THESE CHANGES MAY BE AUTHORIZED BY THE ENGINEER OF RECORD THROUGH UPDATED DRAWINGS, WORK ORDER CHANGES, OR OTHER METHODS ACCEPTABLE TO THE ENGINEER; OR BY ANOTHER ENGINEER PROVIDED THAT THEY NOTIFY THE ENGINEER OF RECORD.

- EROSION CONTROL MAINTENANCE NOTES**
1. ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON ON A SCHEDULE WHICH COMPLES WITH THE GENERAL PERMIT REQUIREMENTS AND CLEANED AND REPAIRED WITHIN 48 HOURS OF THE INSPECTION IN ACCORDANCE WITH THE FOLLOWING:
    - 1.A. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
    - 1.B. ALL AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND REPAIRED AS NEEDED.
    - 1.C. SILT BARRIERS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT BARRIERS WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT BARRIERS.
    - 1.D. THE TEMPORARY PARKING AND STORAGE AREA (IF PRESENT) SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
    - 1.E. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS OR SEDIMENT TRAPS (IF PRESENT) SHALL BE MAINTAINED IN OPERATIONAL CONDITION AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
    - 1.F. MAINTENANCE PROCEDURES FOR THE EROSION AND SEDIMENTATION CONTROL SYSTEMS ARE SPECIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN.

- EROSION CONTROL NOTES**
1. CONTRACTOR MUST COMPLETE A CONSTRUCTION SITE NOTICE, OBTAIN SIGNED COPIES OF NOI FORM FOR BOTH OWNER AND CONTRACTOR (IF APPLICABLE TO THIS SITE), AND POST THEM AT THE CONSTRUCTION SITE, IN ACCORDANCE WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES (TXR150000). THE GENERAL CONTRACTOR, (AND ALL SUBCONTRACTORS INVOLVED WITH ANY CONSTRUCTION ACTIVITY RELATED TO EARTHWORK, EROSION CONTROL, ETC., OR WHICH UTILIZE POSSIBLE POLLUTANTS AS DEFINED IN THE NPDES GENERAL PERMIT) MUST BE FAMILIAR WITH THE CONTENTS OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS WELL AS ALL THE REQUIREMENTS SET FORTH IN THE NPDES GENERAL PERMIT AND ANY APPLICABLE LOCAL PERMIT REQUIREMENTS, AND SHALL COMPLY WITH ALL SUCH REQUIREMENTS DURING ALL CONSTRUCTION ACTIVITIES.
  2. THE CONTRACTOR SHALL ADHERE TO THE SEQUENCE OF OPERATIONS FOR EROSION CONTROL IMPLEMENTATION SHOWN HEREON. ANY DEVIATION FROM THIS SEQUENCE DEEMED NECESSARY BY THE CONTRACTOR MAY REQUIRE THAT THE STORMWATER POLLUTION PREVENTION PLAN BE MODIFIED IN ACCORDANCE WITH THE NPDES GENERAL PERMIT GUIDELINES.
  3. THE CONTRACTOR SHALL MODIFY THIS PLAN TO SHOW LOCATIONS OF TEMPORARY WASHDOWN AREAS, PORTABLE TOILETS, EQUIPMENT MAINTENANCE/REPAIR AREAS, STOCKPILE AREAS, FUEL STORAGE AREAS, CONCRETE WASH-OUT PITS, AND POLLUTANT CONTROLS FOR EACH, AS SOON AS POSSIBLE. THE GENERAL PERMIT AUTHORIZES THE LAND DISPOSAL OF WASH OUT WATER FROM CONCRETE TRUCKS THAT ARE ASSOCIATED WITH OFF-SITE PRODUCTION FACILITIES, AS LONG AS THE DISCHARGE IS INTO SPECIFICALLY DESIGNATED DIKED AREAS WHICH HAVE BEEN PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH OUT WATER AND STORMWATER WHICH WILL BE DISCHARGED FROM THE SITE, TO PREVENT DIRECT DISCHARGE TO SURFACE WATERS (SEE CONCRETE WASH-OUT DETAIL SHOWN IN PLANS). DIRECT DISCHARGE OF CONCRETE TRUCK WASH OUT WATER TO SURFACE WATERS IN THE STATE, INCLUDING DISCHARGE TO STORM SEWERS, IS PROHIBITED BY THE GENERAL PERMIT. IF A CONCRETE PLANT IS LOCATED AT CONSTRUCTION SITE, CONTRACTOR SHALL OBTAIN COVERAGE UNDER AND COMPLY WITH GENERAL PERMIT TXG110000 OR INDIVIDUAL PERMIT.
  4. THE GENERAL CONTRACTOR SHALL PERFORM ALL REQUIRED INSPECTIONS OF STORMWATER CONTROLS AND PRACTICES AT FREQUENCIES GIVEN IN THE NPDES GENERAL PERMIT, AND SHALL COMPLETE AND SIGN APPROPRIATE INSPECTION FORMS (AS PROVIDED IN THE SWPPP).
  5. OIL AND GREASE ABSORBING MATERIALS SHALL BE READILY AVAILABLE ON-SITE AND SHALL BE PROMPTLY USED TO CONTAIN AND/OR CLEAN UP ALL FUEL OR CHEMICAL SPILLS OR LEAKS.
  6. DUST CONTROL SHALL BE ACCOMPLISHED BY WATERING DRY, EXPOSED AREAS ON A REGULAR BASIS. SPRAYING OF PETROLEUM BASED OR TOXIC LIQUIDS FOR THIS PURPOSE IS PROHIBITED.
  7. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR AT LEAST FOURTEEN DAYS SHALL BE TEMPORARILY STABILIZED WITH VEGETATION AND MULCH.
  8. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED SHALL BE PERMANENTLY STABILIZED.
  9. ALL VEHICLES SHALL BE CLEANED AT THE CONSTRUCTION ACCESS POINTS ACCORDING TO NOTES SHOWN ON THE DETAIL THEREOF. IF THE MAJORITY OF MUD OR DIRT IS NOT REMOVED FROM EXITING TRAFFIC, HOSE BIBS SHALL BE PROVIDED AT CONSTRUCTION ACCESS POINTS, AND VEHICLE TIRES SHALL BE WASHED BEFORE EXITING ONTO PUBLIC ROADS. SILT FROM THIS WASHING OPERATION SHALL BE INTERCEPTED AND TRAPPED BEFORE WASH-WATER IS ALLOWED TO BE DISCHARGED OFF-SITE.
  10. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ONTO ADJACENT ROADWAYS BY VEHICLES EXITING THE SITE SHALL BE CLEANED OR REMOVED IMMEDIATELY.
  11. CONTRACTOR SHALL PREVENT ANY SILTATION FROM ENTERING THE STORM SEWER SYSTEM. ALL INLETS AND INLET OPENINGS SHALL BE FULLY ENCLOSED WITH APPROPRIATE INLET PROTECTION DEVICES.
  12. THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SILT IN ANY TEMPORARY OR PERMANENT DETENTION PONDS, STORM SEWER INLETS AND PIPES, AND ALONG SILT BARRIERS, WITHIN 48 HOURS AFTER INSPECTION OF DEVICES REVEALS THE PRESENCE OF EXCESSIVE SILTATION.
  13. SILT BARRIERS SHALL BE PLACED AROUND ANY STOCKPILES USED ON THIS SITE.
  14. THE CONTRACTOR IS ADVISED TO CONSTRUCT TEMPORARY OR PERMANENT FENCING AROUND DETENTION PONDS AND SEDIMENT BASINS AT THE EARLIEST POSSIBLE TIME TO PREVENT ACCIDENTAL ACCESS BY PERSONS OR ANIMALS.
  15. ANY ADDITIONAL EROSION CONTROL MEASURES REQUIRED TO ENSURE COMPLIANCE WITH THE NPDES GENERAL PERMIT OR LOCAL PERMIT REQUIREMENTS SHALL BE IMPLEMENTED BY THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER.
  16. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE WITHIN THIRTY DAYS AFTER STABILIZATION OF ALL SURFACES.
  17. THE CONTRACTOR SHALL ASSUME LIABILITY FOR DAMAGE TO ADJACENT PROPERTIES AND/OR PUBLIC RIGHT-OF-WAY RESULTING FROM FAILURE TO FULLY IMPLEMENT AND EXECUTE ALL EROSION CONTROL PROCEDURES SHOWN AND NOTED IN THESE PLANS.
  18. WHENEVER DIRT, ROCK, OR OTHER MATERIALS ARE IMPORTED OR EXPORTED ON THE PRIMARY CONSTRUCTION SITE, CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL TCEQ STORMWATER REQUIREMENTS FOR THE REMOTE SITE. CONTRACTOR SHALL FURNISH THE ENGINEER AND THE OWNER'S CONSTRUCTION MANAGER WITH DOCUMENTATION OF COVERAGE FOR THE BORROW OR FILL SITE UNDER A NPDES PERMIT FOR STORMWATER DISCHARGES AND OF A WRITTEN AGREEMENT WITH THE LANDOWNER OF THE REMOTE SITE INDICATING EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED THEREON. AT A MINIMUM, EROSION CONTROL MEASURES MUST CONSIST OF PERIMETER CONTROLS (SILT BARRIERS ON ALL DOWN SLOPES AND SIDE SLOPE BOUNDARIES OF ANY DISTURBED AREA, PLUS PROVISIONS FOR RE-VEGETATION AFTER THE FILL MATERIALS ARE IN PLACE.
  19. ALL SLOPES ON SITE WHICH ARE 3:1 OR STEEPER SHALL BE STABILIZED BY TRACK WALKING (TRAVERSING UP AND DOWN THE SLOPE WITH A TRACKED VEHICLE) FOLLOWED BY INSTALLATION OF EROSION CONTROL BLANKET INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. EROSION CONTROL BLANKET SHALL BE NORTH AMERICAN GREEN S150 OR APPROVED EQUAL.



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.



KEY PLAN



**ARCHITECT**  
**VLK Architects, Inc.**  
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 Austin, Texas 78746  
 Main Phone: 512.807.3145  
 www.vlkarchitects.com

**CIVIL ENGINEER**  
**Langan**  
 9606 N. Mopac Expressway, Suite 110  
 Austin, Texas 78759  
 Main Phone: 737.289.7800  
 www.langan.com

**STRUCTURAL ENGINEER**  
**Dunaway**  
 5707 Southwest Parkway, Bldg 2 - 250  
 Austin, Texas 78735  
 Main Phone: 512.306.8252  
 www.dunaway.com

**M.E.P. ENGINEER**  
**DBR**  
 2500 South Highway 183, Suite 500  
 Austin, Texas 78744  
 Main Phone: 512.637.4393  
 www.dbrinc.com

**ACOUSTICAL / THEATRICAL**  
**WJHW**  
 12500 Network Blvd  
 San Antonio, Texas 78249  
 Main Phone: 210.561.9800  
 www.wjhw.com

**CONSTRUCTION MANAGER**  
**Braun & Butler**  
 300 Hazelwood St., Ste. 100  
 Leander, Texas 78641  
 Main Phone: 512.837.2882  
 https://www.braun-butler.com/



ISSUED: OCTOBER 17, 2024

**REVISIONS**

Revision No.	Revision Date

Director: JG  
 Designer: KK  
 KK  
 Proj. Manager: BH  
 AR

Drawn By: KK  
 Quality Control: BH

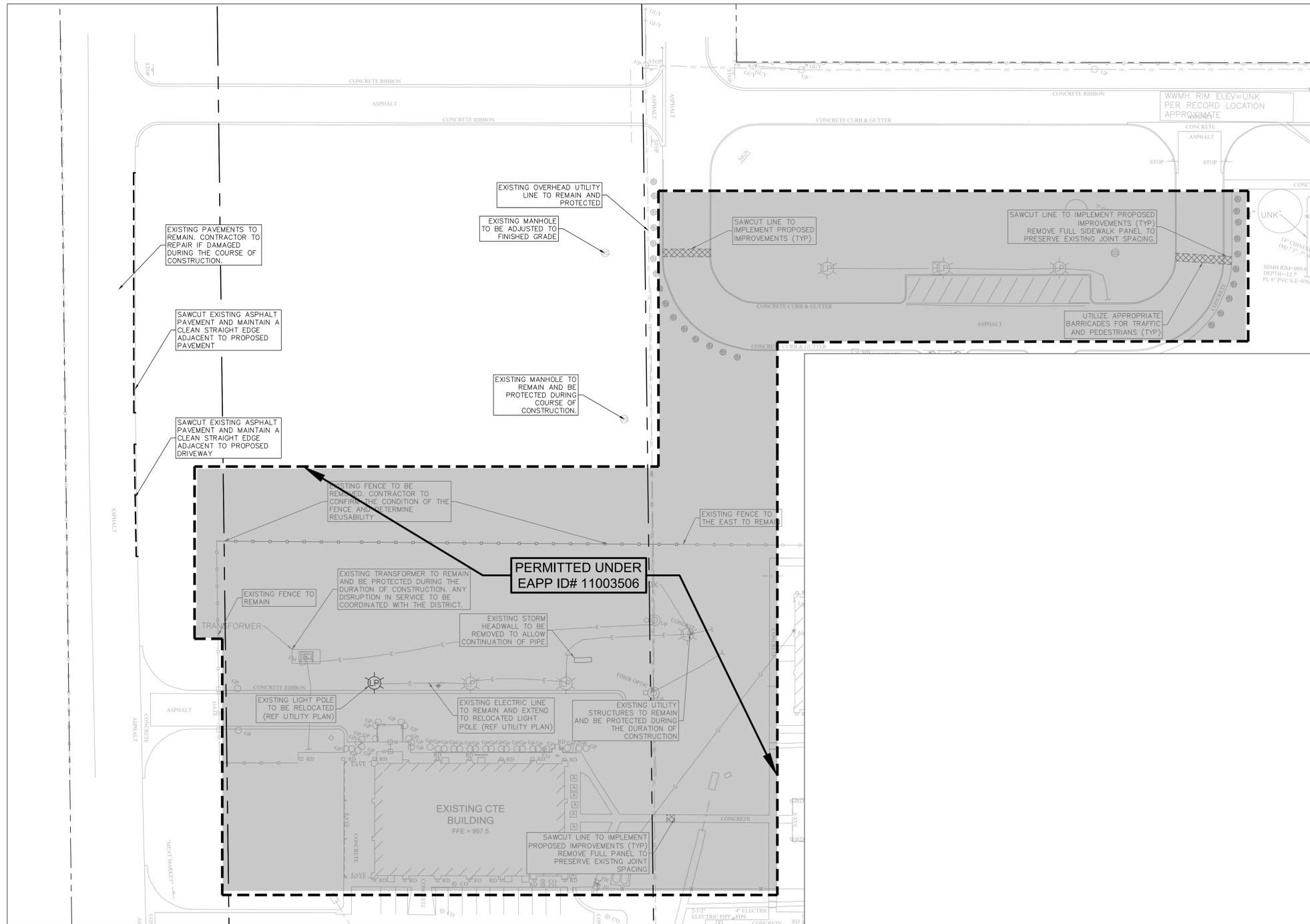
**PROJECT NO.**  
 22-084.00

**SHEET TITLE**  
 PRACTICE FIELD  
 EROSION & SEDIMENT  
 CONTROL PLAN

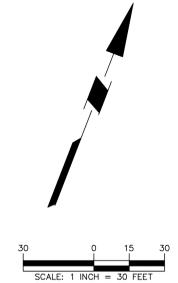
**SHEET NO.**

C2.1

FHS BAND HALL AND FIELD HOUSE | ELECTRICAL UPGRADES AT FMS FLORENCE, TEXAS



INSET A: PROPOSED PRACTICE FIELD



LEGEND	
SAWCUT	---
PAVEMENT REMOVAL	XXXXXX
PROPERTY LINE	---

**\*\* NOTICE TO CONTRACTORS - TOPOGRAPHIC SURVEY \*\***

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY JPH LAND SURVEYING, INC. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. THE ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

**\*\*NOTICE TO CONTRACTORS - UTILITIES\*\***

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ANY EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, THE GOVERNING MUNICIPALITY, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION PROVIDED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

**\*\*\* IMPORTANT IRRIGATION NOTE \*\*\***

IT IS NOT KNOWN BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, THE INTEGRITY OF THE EXISTING IRRIGATION SYSTEM. THEREFORE, PRIOR TO ANY DEMOLITION, THE GENERAL CONTRACTOR AND/OR IRRIGATION SUB-CONTRACTOR SHALL MEET WITH THE DISTRICT MAINTENANCE PERSONNEL TO LOCATE LIMITS OF COVERAGE AND IDENTIFY ANY EXISTING SYSTEM FAILURES. WITH AN UNDERSTANDING OF THE PROPOSED IMPROVEMENTS, THE DISTRICT AND CONTRACTOR SHALL DETERMINE WHERE TO PRESERVE THE EXISTING IRRIGATION SYSTEM TO QUANTIFY PROPOSED INSTALLATION LIMITS OR MODIFICATIONS AS NECESSARY. THE CONTRACTOR SHALL THEN CAP AND/OR TERMINATE THE EXISTING MAINLINE, CONTROL WIRES, AND LATERALS WITHIN APPROPRIATE IRRIGATION BOXES. ANY COMPONENTS OF THE EXISTING SYSTEM TO BE SALVAGED SHALL BE DETERMINED BY THE DISTRICT. ADJUSTMENTS MAY BE NECESSARY TO THE EXISTING SYSTEM'S LIMITS OF COVERAGE TO PROVIDE A SEAMLESS TRANSITION WITH THE EXISTING AND PROPOSED PROJECT'S MODIFIED LIMITS OF COVERAGE.

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ISSUED: OCTOBER 17, 2024

REVISIONS	
Revision No.	Revision Date

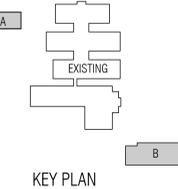
Director	Drawn By
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Designer	Quality Control
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Proj. Manager	
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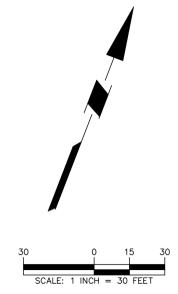
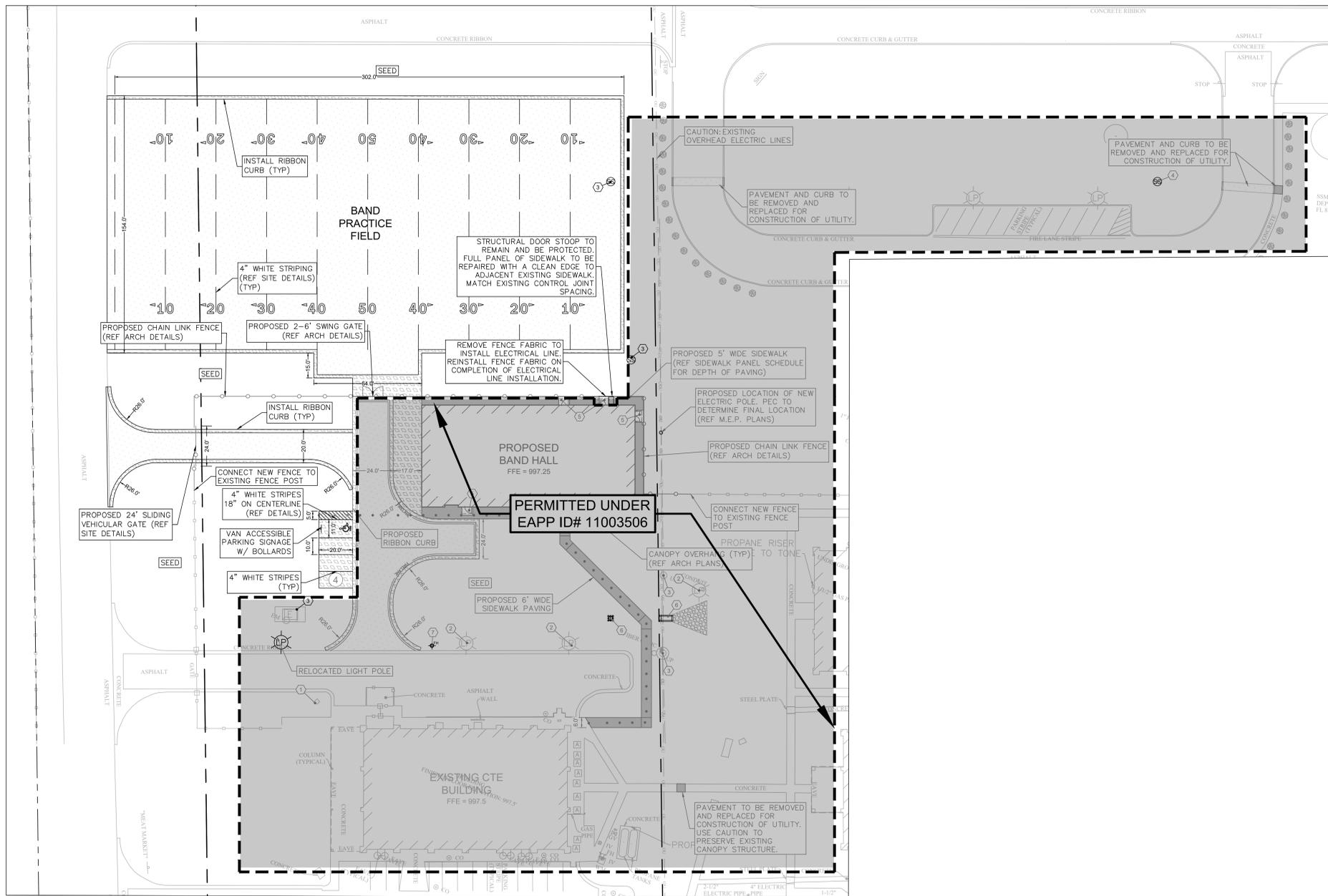
**PROJECT NO.**  
**22-084.00**

**SHEET TITLE**  
**PRACTICE FIELD DEMOLITION PLAN**

**SHEET NO.**

**C3.1**





**SYMBOL KEY**

- EXISTING INLET TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- EXISTING SITE LIGHTING TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- EXISTING UTILITY STRUCTURE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- PROPOSED SANITARY SEWER STRUCTURE. (REF UTILITY PLAN)
- PROPOSED STRUCTURAL STOOP (REF STRUCTURAL PLAN)
- PROPOSED DRAINAGE STRUCTURE. (REF DRAINAGE PLAN)
- PROPOSED FIRE HYDRANT. (REF UTILITY PLAN)
- PROPOSED STRUCTURAL PAD FOR MECHANICAL EQUIPMENT (REF STRUCTURAL PLAN)

**PARKING SUMMARY**

BAND HALL AND PRACTICE FIELD STANDARD STALLS PROVIDED	3
ADA STALLS PROVIDED	1
ADA STALLS REQUIRED	1
TOTAL STALLS	4

**LEGEND**

PROPERTY LINE	---
PROPOSED FACE AND BACK OF CURB	---
PROPOSED REINFORCED CONCRETE SIDEWALK	▒
PROPOSED LIGHT DUTY ASPHALT (REF PAVING SECTION DETAILS AND GEOTECH REPORT)	▒
PROPOSED REINFORCED LIGHT DUTY CONCRETE PAVEMENT (REF PAVING SECTION DETAILS AND GEOTECH REPORT)	▒
EXISTING BUILDING	▒
PROPOSED BUILDING	▒
FIRE LANE STRIPING	—
PROPOSED 6" HIGH BLACK VINYL COATED CHAIN LINK FENCE (REF ARCH DETAILS)	—
ACCESSIBLE ROUTE	•••••
FIRE HYDRANT	⊕
PROPOSED SANITARY MANHOLE	⊕
PROPOSED GRATE INLET	⊕

INSET A: SITE PROPOSED PRACTICE FIELD

**TURF PROJECT NOTES**

**SOIL PREPARATION:**  
ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION, EXCEPT THOSE OCCUPIED BY BUILDINGS, STRUCTURES, OR PAVING SHALL BE GRADED SMOOTH AND FOUR (4) INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS APPROVED BY THE OWNER. THE AREA SHALL BE DRESSED TO TYPICAL SECTIONS AND FLOVED TO A DEPTH OF FIVE (5) INCHES. SOIL SHALL BE FURTHER PREPARED BY THE REMOVAL OF DEBRIS, WEEDS AND STONES LARGER THAN 3/4 INCH IN DIAMETER. AFTER TILLAGE AND CLEANING, ALL AREAS TO RECEIVE TURF SHALL BE LEVELLED, FINE GRADED, AND DRILLED WITH A WEIGHTED SPIKE HARROW OR FLOAT DRAG. THE TOP TWO (2) INCHES SHALL BE PULVERIZED TO PROVIDE A UNIFORM BED FOR SEEDING OR SOD AS DESCRIBED BELOW.

**SPRING AND SUMMER PERMANENT GRASSING (MAY 15 THROUGH SEPTEMBER 15):**  
INSTALLATION AND ESTABLISHMENT OF TURF SHALL FOLLOW LOCAL DOT REGIONAL SPECIFICATIONS AND GUIDELINES. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREP AND CONSIST OF THE FOLLOWING:  
GREEN SPRANGLETOP..... 0.3 LBS./ACRE  
BERMUDA GRASS..... 2.4 LBS./ACRE  
SEEDCATS GRAMA..... 2.5 LBS./ACRE  
BUFFALO GRASS..... 1.6 LBS./ACRE

**FALL AND WINTER TEMPORARY GRASSING (SEPTEMBER 15 THROUGH MAY 15):**  
INSTALLATION AND ESTABLISHMENT OF TURF SHALL FOLLOW LOCAL DOT REGIONAL SPECIFICATIONS AND GUIDELINES. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREP AND CONSIST OF THE FOLLOWING:  
TALL FESCUE..... 4.5 LBS./ACRE  
CATS..... 24 LBS./ACRE  
WHEAT..... 34 LBS./ACRE

**SEEDING ON SLOPES:**  
ALL SLOPES 4:1 OR GREATER AND SUBJECT TO EROSION SHALL HAVE A FULLY BROADCASTABLE BONDED FIBER MATRIX BFM APPLIED EQUAL TO SOIL GUARD. THE BFM IS NOT HYDRO SEEDING AND SHALL BE INSTALLED BY A CONTRACTOR CERTIFIED BY THE MANUFACTURER TO BE TRAINED IN THE PROPER PROCEDURES FOR MIXING AND APPLICATION OF THE PRODUCT. THE BFM SHALL BE MIXED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND CONTRACTOR SHALL CONDUCT THREE (3) LIQUID TEST TO INSPECTOR UPON REQUEST. BFM SHALL BE SPRAY APPLIED AT A RATE OF 3000-4000 LB/ACRE. UTILIZING STANDARD HYDRAULICALLY SEEDING EQUIPMENT IN SUCCESSIVE LAYERS AS TO EXCEED THE BENEFITS OF AN EROSION CONTROL BLANKET WITH 100% COVERAGE OF ALL EXPOSED SOIL. THE BFM SHALL NOT BE APPLIED IMMEDIATELY BEFORE, DURING OR AFTER RAINFALL, SUCH THAT THE MATRIX WILL HAVE OPPORTUNITY TO DRY FOR UP TO 24 HOURS AFTER INSTALLATION TO BE 100% EFFECTIVE.

**TURF MAINTENANCE NOTES**

**EROSION CONTROL:**  
THROUGHOUT THE PROJECT AND THE MAINTENANCE PERIOD FOR TURF GRASS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE TOPSOIL IN PLACE AT SPECIFIED GRADES. **TOPSOIL AND TURFGRASS LOSSES DUE TO EROSION OR ANY CONSTRUCTION DISTURBANCE WILL BE REPLACED BY THE CONTRACTOR UNTIL ESTABLISHMENT AND ACCEPTANCE IS ACHIEVED.**

**PROTECTION:**  
PROTECT NEWLY SEEDED AREAS FROM EXCESSIVE RUNOFF AND TRAFFIC UNTIL VEGETATION IS ESTABLISHED. ACCUMULATED SEDIMENT DEPOSITED BY RUNOFF SHOULD BE REMOVED TO PREVENT SUPPRESSION OF THE VEGETATION. IN ADDITION, DETERMINE THE SOURCE OF EXCESS SEDIMENT AND IMPLEMENT APPROPRIATE BMP'S TO CONTROL THE EROSION. NO HEAVY EQUIPMENT SHALL BE MOVED OVER THE PLANTED TURF AREA UNLESS THE SOIL IS AGAIN PREPARED, GRADED, LEVELLED, AND REPLANTED. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PAVING SURFACES, CURBS, UTILITIES, PLANT MATERIALS, AND ANY OTHER EXISTING IMPROVEMENTS FROM DAMAGE. ANY DAMAGES SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.

**IRRIGATION:**  
IN THE ABSENCE OF AN IRRIGATION SYSTEM OR AREAS BEYOND THE COVERAGE LIMITS OF A PERMANENT IRRIGATION SYSTEM, CONTRACTOR SHALL WATER SOD/SEED TEMPORARILY TO DEVELOP ADEQUATE GROWTH AND ESTABLISHMENT BEFORE REGULAR MAINTENANCE BEGINS. TURF SHALL BE WATERED UNTIL FIRMLY ESTABLISHED.

**WATER:**  
WATER SHALL BE FURNISHED BY THE CONTRACTOR WITH MEANS AND METHODS AVAILABLE TO ACHIEVE ACCEPTABLE TURF. THE WATER SOURCE SHALL BE CLEAN AND FREE OF INDUSTRIAL WASTES OR OTHER SUBSTANCES HARMFUL TO THE GROWTH OF THE TURF.

**MAINTENANCE REQUIREMENTS:**  
VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHED PROPERLY AND REMAINS HEALTHY. MOWING, TRIMMING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.

**ESTABLISHMENT AND ACCEPTANCE:**  
ALL DISTURBED AREAS BEING SEEDED SHALL RECEIVE TOPSOIL AS SPECIFIED AND BE ADEQUATELY ESTABLISHED WITH TURF SUCH THAT ANY ABSENCE OF WATER WILL NOT KILL THE TURF, BUT PROMOTE A STATE OF TURF DURAMANCY UNTIL THE NEXT RAINFALL EVENT.

REGARDLESS OF UNSEASONABLE CLIMATIC CONDITIONS OR OTHER ADVERSE CONDITIONS AFFECTING PLANTING OPERATIONS AND THE GROWTH OF THE TURF GRASS, IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A UNIFORM STAND OF GRASS. UNIFORM STAND OF GRASS IS DEFINED AS MINIMUM 80% COVERAGE PER SQUARE FOOT IN BARE AREAS.

CONTRACTOR TO MAKE A WRITTEN REQUEST FOR INSPECTION TO OWNER OR OWNER'S REPRESENTATIVE A MINIMUM OF 5 DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.

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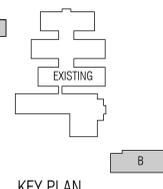
**STANDARD ACCESSIBILITY REQUIREMENTS**

- PARKING:**
- ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS. ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE FOR NO LESS THAN ONE VAN SPACE FOR EVERY 6 ACCESSIBLE SPACES.
  - EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED OR SUSPENDED SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. APPROPRIATE VAN ACCESSIBLE SPACES MUST INCORPORATE "VAN ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL INCLUDE JURISDICTIONAL ENFORCEMENT WORKINGS AS REQUIRED AND BE LOCATED AS NOTED TO 80" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF SIGN.
  - ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.
- RAMPS:**
- RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
  - RAMPS SHALL HAVE SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE TO SIGNIFICANTLY CONTRAST FROM ADJACENT SURFACES OR COLORS ONLY IF REQUIRED BY LOCAL OR STATE JURISDICTION.
  - LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (8" MINIMUM FOR CURB RAMPS).
  - RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30° RISE.
  - RAMPS AND LANDINGS SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).
- SIDEWALKS AND ACCESSIBLE ROUTES:**
- SIDEWALKS MUST BE AT LEAST 36" WIDE WITH 5'X8' CLEAR PASSING OPPORTUNITIES IN INCREMENTS LESS THAN 150' FT.
  - SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:48 (2%).
  - LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).



Know what's below. Call before you dig.

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.



KEY PLAN



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ISSUED: OCTOBER 17, 2024

**REVISIONS**

Revision No.	Revision Date

Director Drawn By  
JG KK  
Designer Quality Control  
KK BH  
Proj. Manager  
AR

**PROJECT NO.**

22-084.00

**SHEET TITLE**

PRACTICE FIELD SITE PLAN

**SHEET NO.**

C4.1

FHS BAND HALL AND FIELD HOUSE | ELECTRICAL UPGRADES AT FMS FLORENCE, TEXAS



ISSUED: OCTOBER 17, 2024

REVISIONS	
Revision No.	Revision Date

Director: JG, Drawn By: KK  
 Designer: KK, Quality Control: BH  
 Proj. Manager: AR

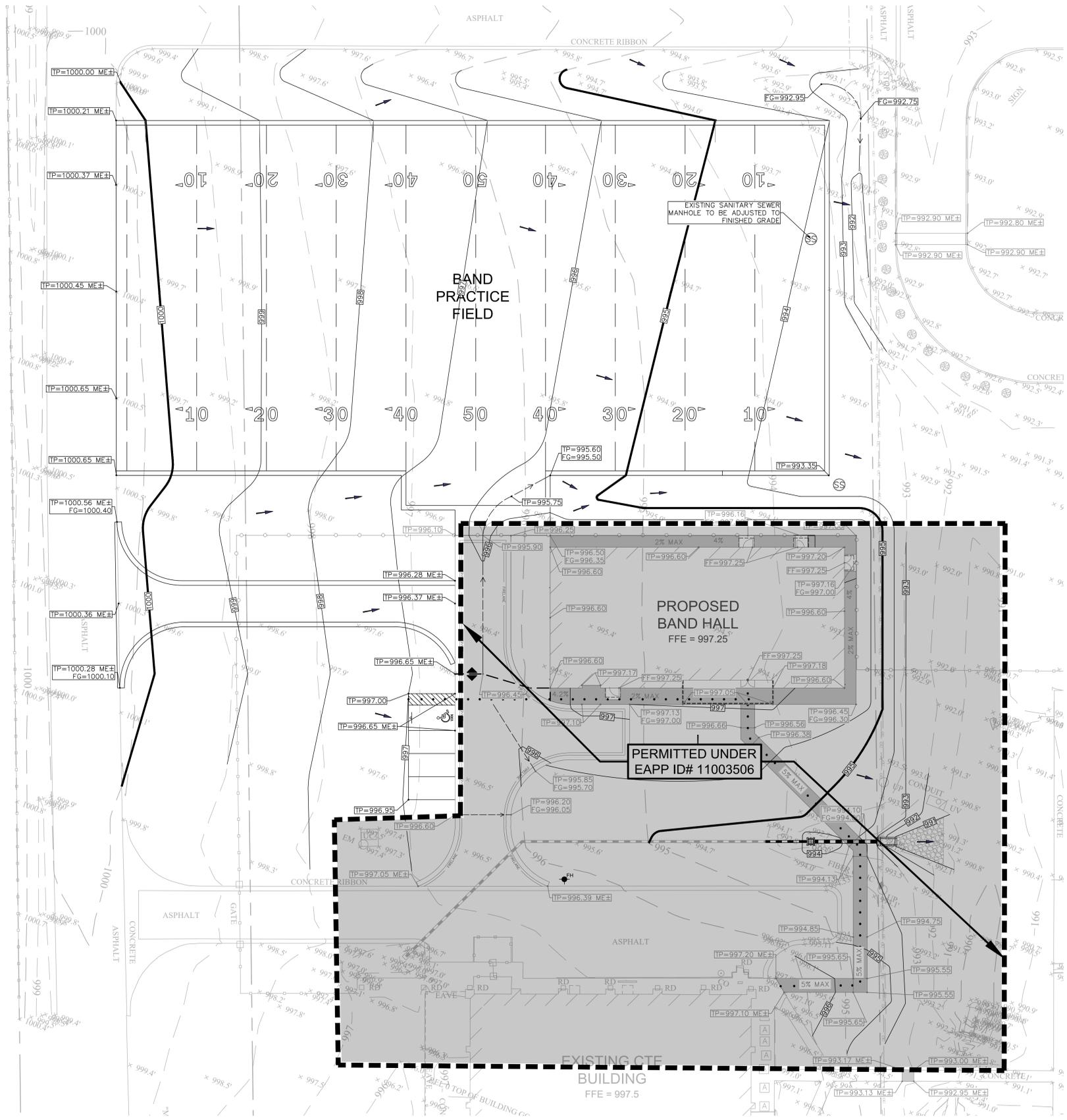
PROJECT NO. 22-084.00

SHEET TITLE PRACTICE FIELD GRADING & DRAINAGE PLAN

SHEET NO. C5.2

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**FHS BAND HALL AND FIELD HOUSE | ELECTRICAL UPGRADES AT FMS FLORENCE, TEXAS**



**SITE GRADING - IBC REQUIREMENT (SEC. 1804)**

- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10-FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL.
- IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10-FEET OF HORIZONTAL DISTANCE, A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10-FEET OF THE BUILDING FOUNDATION.
- IMPERVIOUS SURFACES WITHIN 10-FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2-PERCENT AWAY FROM THE BUILDING.

**NOTE TO BUILDING OFFICIAL**

ACCESSIBLE PATHS ADJACENT TO THE BUILDING HAVE BEEN DESIGNED LESS THAN 2% AWAY FROM BUILDING FOUNDATIONS TO ALLOW FOR CONSTRUCTION TOLERANCES WHILE MAINTAINING COMPLIANCE WITH ADA REQUIREMENTS. WE ACKNOWLEDGE THE AUTHORITY AND DISCRETION OF THE BUILDING OFFICIAL TO APPLY MINIMUM SLOPE REQUIREMENTS OF IBC-1804. APPROVAL OF THIS PLAN WILL BE CONSIDERED AS ACCEPTANCE THAT THE INTENT OF THE IBC-1804 REQUIREMENT HAS BEEN MET.

**GENERAL SITE GRADING NOTE**

- AS PART OF THE BASE BID THE CONTRACTOR SHALL PROVIDE/IMPORT ALL SELECT FILL AND TOPSOIL MATERIAL NECESSARY TO ACHIEVE FINAL GRADE PER PLAN.
- ALL AREAS WITHIN CONSTRUCTION LIMITS NOT COVERED WITH AN IMPERVIOUS MATERIAL SHALL BE COVERED WITH TOPSOIL. THE TOPSOIL SHALL BE IN CONFORMANCE WITH THE TOPSOIL NOTES LISTED IN THE PLAN SET AND SPECIFICATIONS FOR THIS PROJECT.
- BASE BID SHALL ALSO INCLUDE HAUL OFF OF EXCESS MATERIAL AS NECESSARY.
- ANY FILL PLACED ONSITE SHALL BE TESTED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER AND BE IN CONFORMANCE WITH RECOMMENDATIONS LISTED IN THE SITE GEOTECHNICAL REPORT NO. AA422-136-00 DATED 12/08/2022 BY PABA KISTNER CONSULTANTS INC. OR ANY SUPPLEMENTAL ADDENDUMS TO BOTH REPORTS.



**LEGEND**

PROPERTY LINE	---
EXISTING CONTOUR	---1000---
PROPOSED CONTOUR	---1000---
PROPOSED GRADE INLET	[Symbol]
PROPOSED HEADWALL	[Symbol]
PROPOSED FLOW ARROW	[Symbol]
SPOT ELEVATION	[Symbol]
FLOW LINE	--->---
GRADE BREAK LINE	[Symbol]
FF	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
TI	TOP OF INLET
TP	TOP OF PAVEMENT
TC	TOP OF CURB
ME	MATCH EXISTING GRADE

**STANDARD ACCESSIBILITY REQUIREMENTS**

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  - LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

INSET A: PROPOSED PRACTICE FIELD

**\*\* NOTICE TO CONTRACTORS - TOPOGRAPHIC SURVEY \*\***

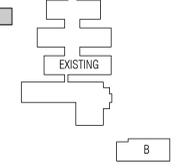
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY JPH LAND SURVEYING, INC. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (P&S), WHICH NEGATIVELY IMPACT THE PROJECT. THE ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

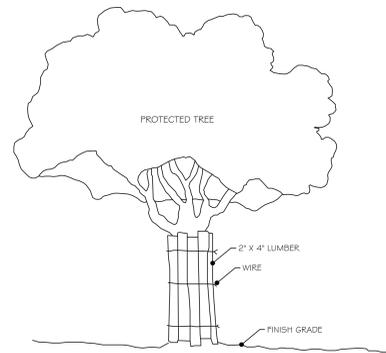
**\*\* NOTICE TO CONTRACTORS - UTILITIES \*\***

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ANY EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, THE GOVERNING MUNICIPALITY, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION PROVIDED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

**811**  
 Know what's below.  
 Call before you dig.  
 THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

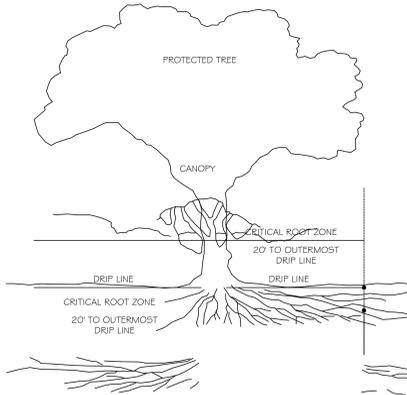
**!!! CAUTION !!!**  
 EXISTING OVERHEAD & UNDERGROUND UTILITIES IN THE VICINITY. VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES BY VACUUM EXCAVATION OR OTHER POTHOLING TECHNIQUES.



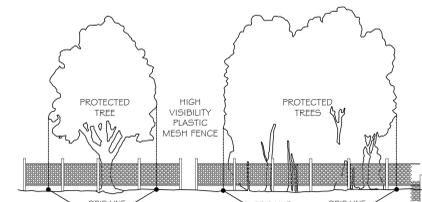


IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION AND THE TREE MAY BE IN DANGER OF BEING DAMAGED BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE WITH 2\"/>

**BARK PROTECTION**  
N.T.S.



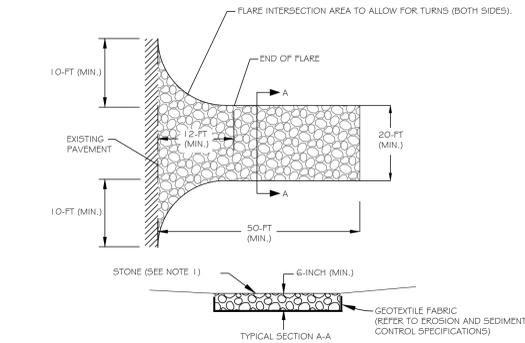
**CRITICAL ROOT ZONE AREA**  
N.T.S.



**PROTECTIVE FENCING:** Orange vinyl construction fencing, chain link fencing, snow fencing, or other similar fencing at least four feet (4') high and supported at a maximum of ten-foot (10') intervals by approved methods sufficient enough to keep the fence upright and in place. The fencing shall be of a highly visible material.

**PRIOR TO CONSTRUCTION:** The contractor or subcontractor shall construct and maintain, for each protected tree or group of trees on a construction site, a protective fencing which encloses the outer limits of the critical root zone of the trees to protect it from construction activity. All protective fencing shall be in place prior to commencement of any site work and remain in place until all exterior work has been completed.

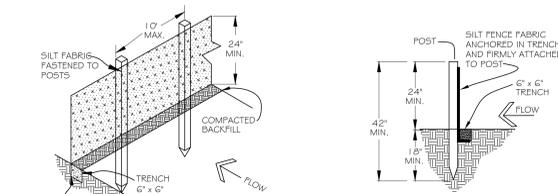
**TREE PROTECTION FENCING**  
N.T.S.



**NOTES:**

1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT THICKNESS OF STONE - NOT LESS THAN SIX INCHES.
2. LENGTH OF STABILIZED CONSTRUCTION ACCESS - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. WIDTH - TWENTY FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR FOOT IF SINGLE ENTRANCE TO SITE.
4. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. (REFER TO EROSION AND SEDIMENT CONTROL SPECIFICATIONS)
5. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
7. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

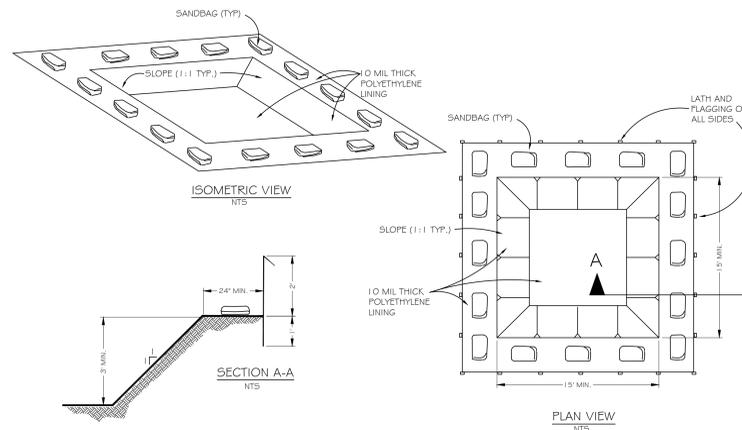
**STABILIZED CONSTRUCTION ACCESS**  
N.T.S.



**SILT FENCE GENERAL NOTES:**

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE IN ACCORDANCE WITH PERMIT REQUIREMENTS. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPIDE STORM WATER FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

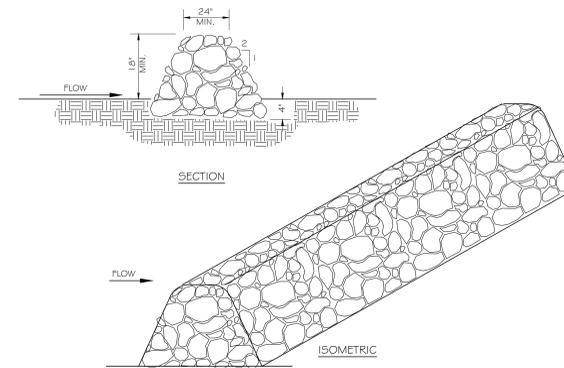
**SILT FENCE**  
N.T.S.



**NOTES:**

1. ACTUAL LAYOUT, SIZE AND LOCATION TO BE DETERMINED BY CONTRACTOR.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. ONCE CONCRETE WASTES ARE ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED AND DISPOSED OF PROPERLY. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

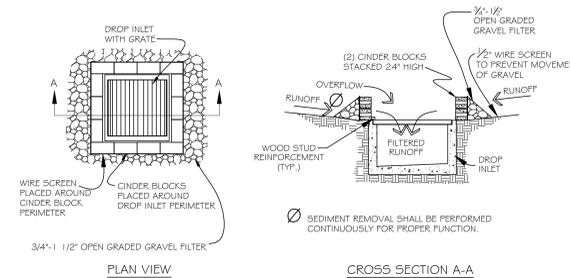
**TEMPORARY CONCRETE WASHOUT AREA**  
N.T.S.



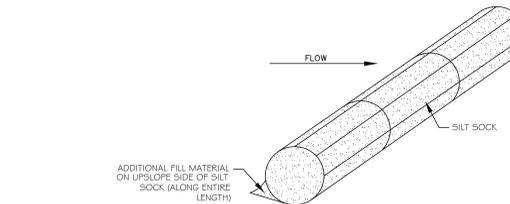
**NOTES:**

1. USE ONLY OPEN-GRADED ROCK, WITH MOST OF THE FINES REMOVED.
2. STONE SHALL BE CRUSHED, MIN. 3\"/>
- 3. THE ROCK BERM SHALL BE EMBEDDED INTO THE SOIL A MINIMUM OF 4 INCHES.
- 4. INSPECT BERM AFTER EACH RAIN. REPLACE STONE WHEN THE STRUCTURE FAILS TO SERVE ITS PURPOSE DUE TO SILT ACCUMULATION, WASHOUT OR DAMAGE.
- 5. REMOVE SILT WHEN IT REACHES A DEPTH OF 1.2 INCHES, OR ONE-THIRD OF THE HEIGHT OF THE BERM, WHICHEVER IS LESS. DISPOSE OF SILT IN APPROVED LOCATIONS.
- 6. REMOVE BERM ONLY WHEN SITE IS COMPLETELY STABILIZED.

**ROCK CHECK DAM**  
N.T.S.



**GRATE INLET PROTECTION**  
N.T.S.



**NOTES:**

1. FILL AND INSTALL SILT SOCK WITH COMPOST MATERIAL AS PER MANUFACTURER'S SPECIFICATIONS. INSTALL ADDITIONAL FILL MATERIAL ON THE UPSLOPE SIDE OF THE BARRIER TO SEAL JOINT BETWEEN SURFACE AND SILT SOCK.
2. SILT SOCK SECTION SHALL BE PLACED IN A ROW, OR STAGGERED, WITH ENDS TIGHTLY ABUTTING ADJACENT SILT SOCK SECTIONS TO PROVIDE A CONTINUOUS BARRIER AGAINST STORMWATER.
3. MAINTENANCE IS REQUIRED WHEN SEDIMENT ACCUMULATION EQUALS 1/2 OF THE SOCK HEIGHT. REMOVE ACCUMULATED SILT BY HAND OR INSTALL A SECOND ROW OF SOCK POSITIONED ON TOP OF OR UP SLOPE OF THE ORIGINAL SOCK.
4. SMALL HOLES OR NARROW RIPS SHORTER THAN 1.2 INCHES MAY BE STITCHED CLOSED USING PLASTIC ZIP TIES. TEARS LONGER THAN 1.2 INCHES REQUIRE THE SOCK BE REPLACED.
5. WHEN A PINCH OR LOCALIZED DIAMETER REDUCTION OF MORE THAN 1/2 OF THE ORIGINAL DIAMETER INSTALL NEW SECTION OF SOCK UPSLOPE OF THE DAMAGED SECTION.
6. UPON REMOVAL, SWEEP WORK AREA CLEAN OF ALL SEDIMENT AND FILL MATERIAL; DISPOSE OF LEGALLY OFF-SITE.
7. SILT SOCK SHALL BE AS MANUFACTURED BY FILTREX INTERNATIONAL (FILTREX SEDIMENT CONTROL), OR APPROVED EQUAL.
8. SILT SOCK USED FOR GENERAL EROSION CONTROL SHALL BE 12-INCHES DIAMETER; SILT SOCK USED FOR INLET PROTECTION SHALL BE 6-INCHES DIAMETER OR GREATER.

**SILT SOCK**  
N.T.S.

**ARCHITECT**

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https://www.braun-butler.com/



ISSUED: OCTOBER 17, 2024

**REVISIONS**

Revision No.	Revision Date

Director: JG, Drawn By: KK  
Designer: KK, Quality Control: BH  
Proj. Manager: AR

**PROJECT NO.**

22-084.00

**SHEET TITLE**

EROSION CONTROL  
DETAILS

**SHEET NO.**

C7.0