Auer's RV Service Center Georgetown

Water Pollution Abatement Plan

July 2025

Prepared For:
MTA Investment Group, LLC
232 Blue Waterleaf Ln
Georgetown, TX 78626

Prepared By:
2P Consultants, LLC
203 E. Main Street, Suite 204
Round Rock, Texas 78664

08/27/2025

Michael Easton Mundine, P.E.
Project Manager

TBPE FIRM #F-19351

203 E. Main Street, Suite 204
Round Rock, Texas 78664
512-344-9664
TBPE FIRM #F-19351

Water Pollution Abatement Plan – Table of Contents

Section i
TCEQ Edwards Aquifer Application Cover Page

Texas Commission on Environmental Quality

Edwards Aquifer Application Cover Page

Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with 30 TAC 213.

Administrative Review

1. Edwards Aquifer applications must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

   To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: http://www.tceq.texas.gov/field/eapp.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.

3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.

4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

   An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.

6. If the geologic assessment was completed before October 1, 2004 and the site contains "possibly sensitive" features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.

2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited**.
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a "Mid-Review Modification". Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ's Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ's San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

1. Regulated Entity Name: Auer's RV Service Park Georgetown						**2. Regulated Entity No.:**			
3. Customer Name: MTA Investment Group, LLC						**4. Customer No.:**			
5. Project Type: **(Please circle/check one)**	New		Modification			Extension		Exception	
6. Plan Type: **(Please circle/check one)**	WPAP	CZP	SCS	UST	AST	EXP	EXT	Technical Clarification	Optional Enhanced Measures
7. Land Use: **(Please circle/check one)**	Residential		Non-residential			**8. Site (acres):**		2.88 AC	
9. Application Fee:	$4,000		**10. Permanent BMP(s):**			Batch Detention System & Vegetative Filtration strips			
11. SCS (Linear Ft.):	N/A		**12. AST/UST (No. Tanks):**			N/A			
13. County:	Williamson		**14. Watershed:**			North Fork San Gabriel River			

Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the "Texas Groundwater Conservation Districts within the EAPP Boundaries" map found at:

http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	**Hays**	**Travis**	**Williamson**
Original (1 req.)	___	_X_	___
Region (1 req.)	___	___	___
County(ies)	___	___	___
Groundwater Conservation District(s)	___Edwards Aquifer Authority ___Barton Springs/ Edwards Aquifer ___Hays Trinity ___Plum Creek	___Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	___Austin ___Buda ___Dripping Springs ___Kyle ___Mountain City ___San Marcos ___Wimberley ___Woodcreek	___Austin ___Bee Cave ___Pflugerville ___Rollingwood ___Round Rock ___Sunset Valley ___West Lake Hills	___Austin ___Cedar Park ___Florence X_Georgetown ___Jerrell ___Leander ___Liberty Hill ___Pflugerville ___Round Rock

San Antonio Region					
County:	**Bexar**	**Comal**	**Kinney**	**Medina**	**Uvalde**
Original (1 req.)	___	___	___	___	___
Region (1 req.)	___	___	___	___	___
County(ies)	___	___	___	___	___
Groundwater Conservation District(s)	___ Edwards Aquifer Authority ___Trinity-Glen Rose	___Edwards Aquifer Authority	___Kinney	___EAA ___Medina	___EAA ___Uvalde
City(ies) Jurisdiction	___Castle Hills ___Fair Oaks Ranch ___Helotes ___Hill Country Village ___Hollywood Park ___San Antonio (SAWS) ___Shavano Park	___Bulverde ___Fair Oaks Ranch ___Garden Ridge ___New Braunfels ___Schertz	NA	___San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

Michael Easton Mundine, P.E.

Michael Easton Mundine, P.E.

Michael Easton Mundine, P.E.

Print Name of Customer/Authorized Agent

08/27/2025

Signature of Customer/Authorized Agent Date

FOR TCEQ INTERNAL USE ONLY				
Date(s)Reviewed:		Date Administratively Complete:		
Received From:		Correct Number of Copies:		
Received By:		Distribution Date:		
EAPP File Number:		Complex:		
Admin. Review(s) (No.):		No. AR Rounds:		
Delinquent Fees (Y/N):		Review Time Spent:		
Lat./Long. Verified:		SOS Customer Verification:		
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):	
Core Data Form Complete (Y/N):			Signed (Y/N):	
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):	

Section I
General Information Form (TCEQ-0585)

General Information Form

Texas Commission on Environmental Quality

For Regulated Activities on the Edwards Aquifer Recharge and Transition Zones and Relating to 30 TAC §213.4(b) & §213.5(b)(2)(A), (B) Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **General Information Form** is hereby submitted for TCEQ review. The application was prepared by:

Print Name of Customer/Agent: Michael Easton Mundine

Date: 08/27/2025

Signature of Customer/Agent:

Project Information

1. Regulated Entity Name: Auer's RV Service Center Georgetown
2. County: Williamson County
3. Stream Basin: San Gabriel River
4. Groundwater Conservation District (If applicable): N/A
5. Edwards Aquifer Zone:

   ☒ Recharge Zone
   ☐ Transition Zone

6. Plan Type:

   ☒ WPAP
   ☐ SCS
   ☐ Modification
   ☐ AST
   ☐ UST
   ☐ Exception Request

7. Customer (Applicant):

   Contact Person: Michael Auer
   Entity: MTA Investment Group LLC
   Mailing Address: 5070 East State Highway 29 Ste A
   City, State: Georgetown, TX Zip: 78626
   Telephone: (512) 863-2030 FAX: _____
   Email Address: Michael.auer@auersrv.com

8. Agent/Representative (If any):

   Contact Person: Michael Easton Mundine, P.E.
   Entity: 2P Consultants, LLC.
   Mailing Address: 203 E. Main Street
   City, State: Round Rock, Texas Zip: 78664
   Telephone: (512) 344-9664 FAX: _____
   Email Address: EMundine@2PConsultants.com

9. Project Location:

   ☐ The project site is located inside the city limits of _____.
   ☐ The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of _____.
   ☒ The project site is not located within any city's limits or ETJ.

10. ☒ The location of the project site is described below. The description provides sufficient detail and clarity so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

    6540 TX-29 Georgetown, TX 78628

11. ☒ **Attachment A – Road Map**. A road map showing directions to and the location of the project site is attached. The project location and site boundaries are clearly shown on the map.

12. ☒ **Attachment B - USGS / Edwards Recharge Zone Map**. A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000') of the Edwards Recharge Zone is attached. The map(s) clearly show:

    ☒ Project site boundaries.
    ☒ USGS Quadrangle Name(s).
    ☒ Boundaries of the Recharge Zone (and Transition Zone, if applicable).
    ☒ Drainage path from the project site to the boundary of the Recharge Zone.

13. ☒ **The TCEQ must be able to inspect the project site or the application will be returned**. Sufficient survey staking is provided on the project to allow TCEQ regional staff to locate the boundaries and alignment of the regulated activities and the geologic or manmade features noted in the Geologic Assessment.

    ☒ Survey staking will be completed by this date: 08/01/2025

14. ☒ **Attachment C – Project Description**. Attached at the end of this form is a detailed narrative description of the proposed project. The project description is consistent throughout the application and contains, at a minimum, the following details:

- ☒ Area of the site
- ☒ Offsite areas
- ☒ Impervious cover
- ☒ Permanent BMP(s)
- ☒ Proposed site use
- ☒ Site history
- ☒ Previous development
- ☒ Area(s) to be demolished

15. Existing project site conditions are noted below:

- ☐ Existing commercial site
- ☐ Existing industrial site
- ☐ Existing residential site
- ☐ Existing paved and/or unpaved roads
- ☐ Undeveloped (Cleared)
- ☐ Undeveloped (Undisturbed/Uncleared)
- ☒ Other: Undeveloped Site with Gas Line Easment

Prohibited Activities

16. ☒ I am aware that the following activities are prohibited on the Recharge Zone and are not proposed for this project:

(1) Waste disposal wells regulated under 30 TAC Chapter 331 of this title (relating to Underground Injection Control);

(2) New feedlot/concentrated animal feeding operations, as defined in 30 TAC §213.3;

(3) Land disposal of Class I wastes, as defined in 30 TAC §335.1;

(4) The use of sewage holding tanks as parts of organized collection systems; and

(5) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41(b), (c), and (d) of this title (relating to Types of Municipal Solid Waste Facilities).

(6) New municipal and industrial wastewater discharges into or adjacent to water in the state that would create additional pollutant loading.

17. ☒ I am aware that the following activities are prohibited on the Transition Zone and are not proposed for this project:

(1) Waste disposal wells regulated under 30 TAC Chapter 331 (relating to Underground Injection Control);

(2) Land disposal of Class I wastes, as defined in 30 TAC §335.1; and

(3) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41 (b), (c), and (d) of this title.

Administrative Information

18. The fee for the plan(s) is based on:

- ☒ For a Water Pollution Abatement Plan or Modification, the total acreage of the site where regulated activities will occur.
- ☐ For an Organized Sewage Collection System Plan or Modification, the total linear footage of all collection system lines.
- ☐ For a UST Facility Plan or Modification or an AST Facility Plan or Modification, the total number of tanks or piping systems.
- ☐ A request for an exception to any substantive portion of the regulations related to the protection of water quality.
- ☐ A request for an extension to a previously approved plan.

19. ☒ Application fees are due and payable at the time the application is filed. If the correct fee is not submitted, the TCEQ is not required to consider the application until the correct fee is submitted. Both the fee and the Edwards Aquifer Fee Form have been sent to the Commission's:

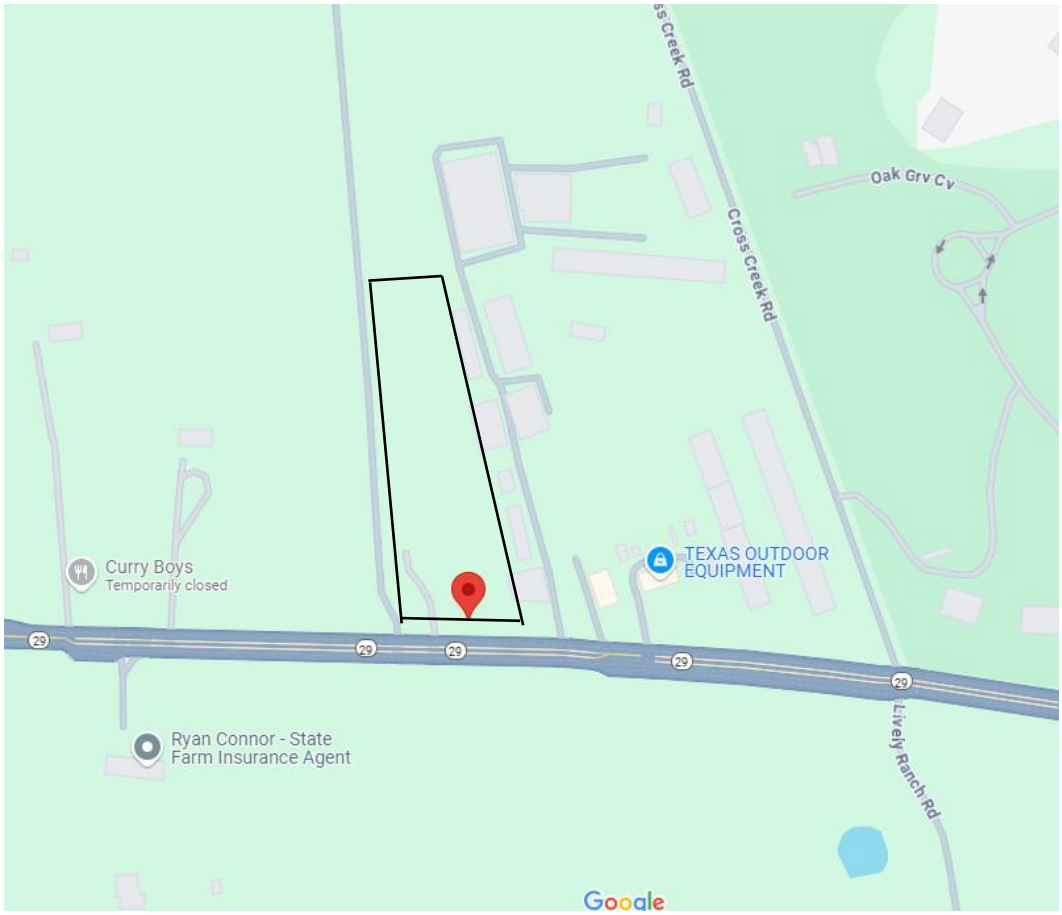
- ☐ TCEQ cashier
- ☒ Austin Regional Office (for projects in Hays, Travis, and Williamson Counties)
- ☐ San Antonio Regional Office (for projects in Bexar, Comal, Kinney, Medina, and Uvalde Counties)

20. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

21. ☒ No person shall commence any regulated activity until the Edwards Aquifer Protection Plan(s) for the activity has been filed with and approved by the Executive Director.

2P CONSULTANTS, LLC
203 E. Main Street, Suite 204
Round Rock, Texas 78664
512-344-9664
TBPE FIRM #F-19351

Attachment 1A – Road Map

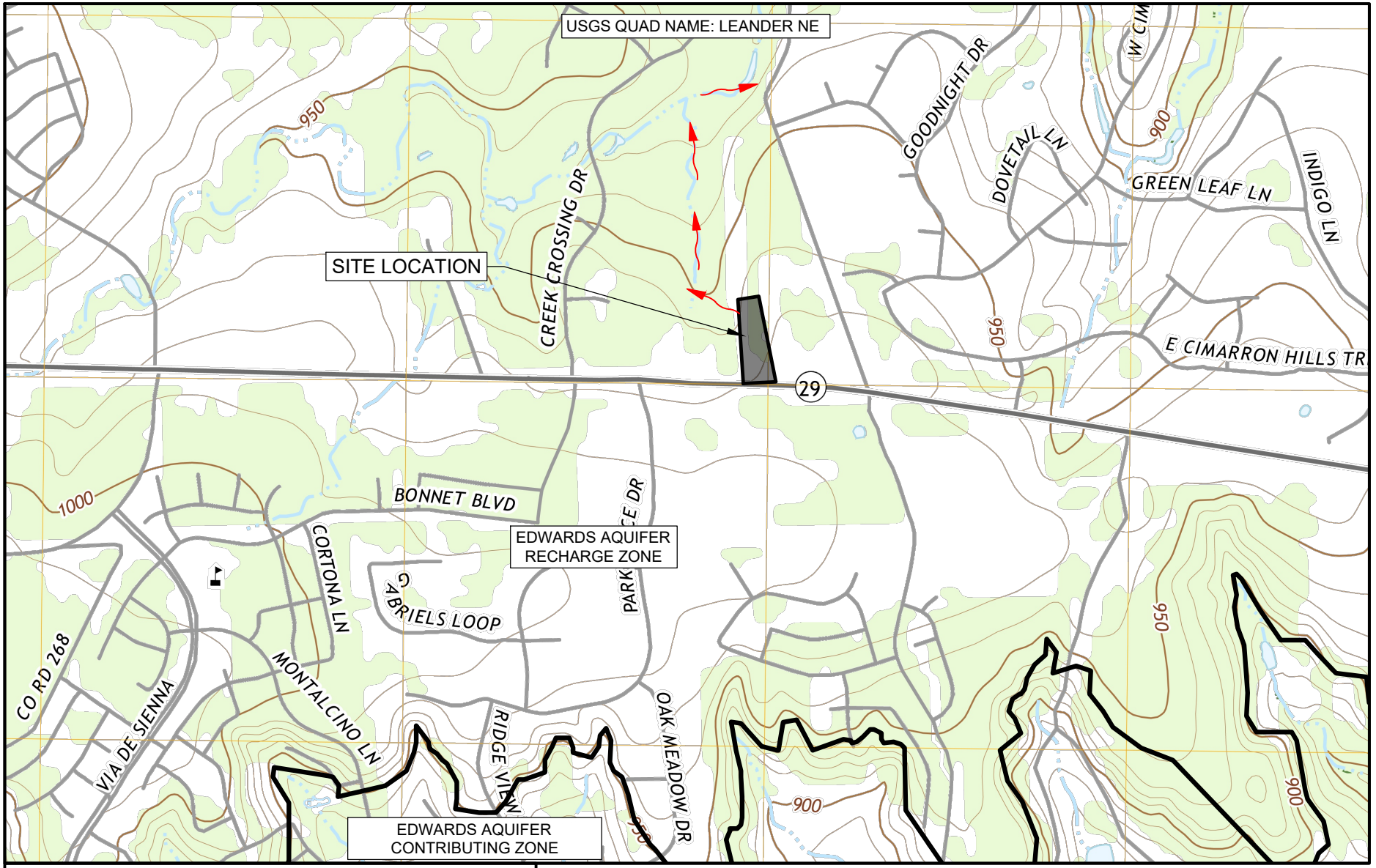


Not To Scale

Site Address: 6540 TX-29 Georgetown, TX 78628

Directions from 2P Consultants:

- Head North on S Lampasas St toward E Main St
- Turn left at the 1st cross street onto E Main St
- Turn right onto S Blair St
- At the traffic circle, take the 2nd exit onto Round Rock Ave
- Turn right onto I-35 N Frontage Road
- Slight left to merge onto I-35 N
- Merge onto I-35 N
- Take exit 261 towards TX-29
- Merge onto I-35 N Frontage Road
- Use the 2 left lanes to turn left onto TX-29 W/W University Ave
- Site will be to your right



203 E. MAIN STREET, SUITE 204
ROUND ROCK, TEXAS 78664
512-344-9664
TBPE FIRM #F-19351

ATTACHMENT 1B - USGS MAP

Lott Bros Auer's RV Service Center

2P CONSULTANTS, LLC
203 E. Main Street, Suite 204
Round Rock, Texas 78664
512-344-9664
TBPE FIRM #F-19351

Attachment 1C – Project Description

The proposed RV Park development is located at 6540 TX-29 Georgetown, TX 78628. The existing site is located in Williamson County outside the City Limits and ETJ of the City of Georgetown. The current legal description for this lot is "AW0005 AW0005 - Fisk, G. Sur., ACRES 2.448." and a portion of the lot with the legal description of "C807 - CROSS CREEK COMMERCIAL PARK CONDO, ACRES 10.016". The site is currently a single lot and a portion of another lot, the developer is in the process of replatting them into a single lot which would also alter the legal description. Refer to the following pages for a deed and metes and bounds of the 2.448-acre lot and the 0.431 portion of the other lot. The final document in this project description is an unsigned preliminary plat currently in the process of approval which shows the final site boundaries. The proposed improvements consist of a building for RV repair and corresponding infrastructure including a water quality and detention pond and paving for parking. This lot is 2.88 acres and is located on Texas State Highway 29 just west of the intersection with Cross Creek Road and Lively Ranch Road.

The site is mostly undeveloped, consisting of a single gravel driveway, gas line monitoring stations, and a billboard with its associated infrastructure of electric lines and poles. This gives the existing project area 8,402 square feet of impervious cover, or 6.70% of the 2.88-acre project. There are several existing trees on the lot with three to remain in the proposed plans. The site slopes predominantly to the north away from TX-29. The existing impervious cover was created between the years 1997 and 2002. Since this is after 1985, existing impervious cover is to be assumed to be 0.00% for this application.

The improvements proposed by this development consist of a 12,000 square foot building along with its corresponding parking, drive aisles, and utility infrastructure. These improvements bring the impervious cover of the lot to 70,732.75 square feet of impervious cover or 56.39% of the 2.88-acre project.

The pond utilizes a batch detention system and vegetative filter strips that will provide 91% Total Suspended Solids (TSS) removal efficiency and has been sized to remove 80% of the TSS in accordance with the Texas Commission on Environmental Quality (TCEQ) Technical Guidance and an additional removal of 5% of the TSS as required by the City of Georgetown. No Wastewater mains are proposed with this development, so an Organized Sewage Collection System Plan (SCS) is not included with this application.

ELECTRONICALLY RECORDED 2025031903
Williamson County, Texas Total Pages: 6

AUSTIN TITLE COMPANY

GF# 1701342400637

GENERAL WARRANTY DEED

(with Vendor's Lien)

NOTICE OF CONFIDENTIALITY RIGHTS

IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

Date: April 25, 2025

Grantor: TBN Development, LLC, a Texas limited liability company

Grantor's Mailing Address: 406 N Lee St, Ste 201, Round Rock, TX 78664

Grantee: MTA Investment Group LLC, a Texas limited liability company

Grantee's Mailing Address: 232 Blue Waterleaf Ln. Georgetown, TX 78626

Consideration: Cash and a note, dated April 25, 2025, executed by Grantee and payable to the order of JPMorgan Chase Bank, N.A. ("Lender") in the principal amount of $665,500.00. The note is secured by a first and superior vendor's lien against, and superior title to, the Property retained in this deed in favor of JPMorgan Chase Bank, N.A. and is also secured by a first-lien deed of trust, of even date, to Anna Samayoa, Trustee, recorded in the real property records of Williamson County, Texas.

The vendor's lien against and superior title to the Property are retained for the benefit of JPMorgan Chase Bank, N.A. until the $665,500.00 note described above is fully paid according to its terms, at which time this deed will become absolute as to the lien securing this note. The vendor's lien and superior title are transferred to JPMorgan Chase Bank, N.A. without recourse.

Property (including any improvements):

The Property is located in Williamson County, Texas, and is more particularly described in **Exhibit A** attached to this document and incorporated by reference.

Reservations from Conveyance: None

Exceptions to Conveyance and Warranty: Liens described as part of the Consideration and any other liens described in this deed as being either assumed or subject to which

title is taken; validly existing easements, rights-of-way, and prescriptive rights, whether of record or not; all presently recorded and validly existing restrictions, reservations, covenants, conditions, oil and gas leases, mineral interests outstanding in persons other than Grantor, and other instruments, other than conveyances of the surface fee estate, that affect the Property; validly existing rights of adjoining owners in any walls and fences situated on a common boundary; any discrepancies, conflicts, or shortages in area or boundary lines; any encroachments or overlapping of improvements; all rights, obligations, and other matters arising from and existing by reason of any water, utility, road, or improvement districts which affect the Property; standby fees, taxes, and assessments by any taxing authority for the current year, which Grantee assumes and agrees to pay, and subsequent assessments for that and prior years due to change in land usage, ownership, or both, the payment of which Grantee also assumes.

Grantor, for the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Grantee and Grantee's heirs, successors, and assigns forever. Grantor warrants that Grantor owns and has legal and equitable title to all of the Property in fee simple, has the right to convey the Property, and binds Grantor and Grantor's heirs and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

When the context requires, singular nouns and pronouns include the plural.

NOTICE: This instrument was prepared by HMB Law at the request of Austin Title or the parties using information provided by the title company and the parties. Unless we have been provided with a copy of any contracts related to this transaction or been informed of any reservations required by the Grantor, the reservations will not be included in this warranty deed and by accepting this deed, all parties release HMB Law from any liability resulting from the failure to include undisclosed reservations. We have not investigated or verified information provided to us and do not warrant the validity of the information or quality of title to the real estate described above. **We do not represent the parties named in this instrument. The parties should seek independent legal counsel for advice concerning the effect and consequences of this instrument.**

TBN Development, LLC,
a Texas limited liability company

By: 
Name: Michael White
Title: Manager

By: _____
Name: Justin Lott
Title: Manager

By: _____
Name: Tyler Humes
Title: Manager

By: _____
Name: Barrett Schultz
Title: Manager

State of Texas
County of Williamson

This document was acknowledged before me on April 25, 2025 by Michael White, Manager of TBN Development, LLC, on behalf of the Texas limited liability company.

_____
Notary Public, State of Texas

REGINA MOTT
My Notary ID # 132956176
Expires March 4, 2029

State of Texas
County of Williamson

This document was acknowledged before me on April 25, 2025 by Justin Lott, Manager of TBN Development, LLC, on behalf of the Texas limited liability company.

_____
Notary Public, State of Texas

REGINA MOTT
My Notary ID # 132956176
Expires March 4, 2029

State of Texas
County of Williamson

This document was acknowledged before me on April 25, 2025 by Tyler Humes, Manager of TBN Development, LLC, on behalf of the Texas limited liability company.

Regina Mott
Notary Public, State of Texas

REGINA MOTT
My Notary ID # 132956176
Expires March 4, 2029

State of Texas
County of Williamson

This document was acknowledged before me on April 25, 2025 by Barrett Schultz, Manager of TBN Development, LLC, on behalf of the Texas limited liability company.

Regina Mott
Notary Public, State of Texas

REGINA MOTT
My Notary ID # 132956176
Expires March 4, 2029

Prepared by HMB Law
File No. 1701342400637-FW

After Recording Return To:

AUSTIN TITLE COMPANY
200 E. 8TH STREET STE. 201
GEORGETOWN, TX 78628

EXHIBIT "A"

Legal Description

FIELDNOTES, for a 2.448 of an acre tract, being the same tract described in a Special Warranty Deed to TBN Development, LLC, a Texas limited liability company, as recorded under Instrument Number 2024025099, of the Official Public Records of Williamson County, Texas (hereinafter referred to as TBN tract); the subject tract being more fully described as follows:

BEGINNING at a 1/2 inch rebar found on the north right of way line of State Highway 29, for the southwest corner of said TBN tract;

THENCE NORTH 05°49'52" WEST along the west line of said TBN tract, a distance of 502.92 feet to a 1/2 inch rebar with cap stamped "CDS Land Surveying" set at the northwest corner of said TBN tract;

THENCE NORTH 84°10'08" EAST along the north line of said TBN tract, a distance of 164.32 feet to the northeast corner of said TBN tract;

THENCE Along the east line of said TBN tract, the following calls:

1. SOUTH 14°50'23" EAST, a distance of 152.39 feet to a 1/2 inch rebar found;

2. NORTH 74°58'59" EAST, a distance of 4.70 feet to a 1/2 inch rebar with a cap stamped "CUPLIN" found;

3. SOUTH 14°02'13" EAST, a distance of 383.00 feet to a 1/2 inch rebar found on the said north right of way line of State Highway 29, for the southeast corner of said TBN tract;

THENCE NORTH 89°51'05" WEST along said north right of way line of State Highway 29, a distance of 248.84 feet to the POINT OF BEGINNING, containing 2.448 acres, more or less.

NOTE: The Company is prohibited from insuring the area or quantity of the land described herein. Any statement in the above legal description of the area or quantity of land is not a representation that such area or quantity is correct, but is made only for informational and/or identification purposes and does not override Item 2 of Schedule B hereof.

ELECTRONICALLY RECORDED 2025031916
Williamson County, Texas Total Pages: 6

AUSTIN TITLE COMPANY

GF# 1701342500233

GENERAL WARRANTY DEED

NOTICE OF CONFIDENTIALITY RIGHTS

IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

Date: April 25, 2025

Grantor: Cross Creek Commercial Park, LLC, a Texas limited liability company

Grantor's Mailing Address: 406 N Lee St, Ste 201, Round Rock, TX 78664

Grantee: MTA Investment Group LLC, a Texas limited liability company

Grantee's Mailing Address: 232 Blue Waterleaf Ln. Georgetown, TX 78626

Consideration: Cash and other good and valuable consideration.

Property (including any improvements):

The Property is located in Williamson County, Texas, and is more particularly described in **Exhibit A** attached to this document and incorporated by reference.

Reservations from Conveyance: None

Exceptions to Conveyance and Warranty:

Liens described as part of the Consideration and any other liens described in this deed as being either assumed or subject to which title is taken; validly existing easements, rights-of-way, and prescriptive rights, whether of record or not; all presently recorded and validly existing restrictions, reservations, covenants, conditions, oil and gas leases, mineral interests outstanding in persons other than Grantor, and other instruments, other than conveyances of the surface fee estate, that affect the Property; validly existing rights of adjoining owners in any walls and fences situated on a common boundary; any discrepancies, conflicts, or shortages in area or boundary lines; any encroachments or overlapping of improvements; all rights, obligations, and other matters arising from and existing by reason of any water, utility, road, or improvement districts which affect the Property; standby fees, taxes, and assessments by any taxing authority for the current

year, which Grantee assumes and agrees to pay, and subsequent assessments for that and prior years due to change in land usage, ownership, or both, the payment of which Grantee also assumes.

Grantor, for the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Grantee and Grantee's heirs, successors, and assigns forever. Grantor warrants that Grantor owns and has legal and equitable title to all of the Property in fee simple, has the right to convey the Property, and binds Grantor and Grantor's heirs and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

When the context requires, singular nouns and pronouns include the plural.

NOTICE: This instrument was prepared by HMB Law at the request of Austin Title or the parties using information provided by the title company and the parties. Unless we have been provided with a copy of any contracts related to this transaction or been informed of any reservations required by the Grantor, the reservations will not be included in this warranty deed and by accepting this deed, all parties release HMB Law from any liability resulting from the failure to include undisclosed reservations. We have not investigated or verified information provided to us and do not warrant the validity of the information or quality of title to the real estate described above. **We do not represent the parties named in this instrument. The parties should seek independent legal counsel for advice concerning the effect and consequences of this instrument.**

Cross Creek Commercial Park, LLC,
a Texas limited liability company

By: TBN Cross Creek, LLC,
a Texas limited liability company,
its Manager

By: _____
Name: Michael White
Title: Manager

By: _____
Name: Justin Lott
Title: Manager

By: Tyler Humes
Name: Tyler Humes
Title: Manager

By: Barrett Schultz
Name: Barrett Schultz
Title: Manager

State of Texas
County of Williamson

This document was acknowledged before me on April 25, 2025 by Michael White, Manager of TBN Cross Creek, LLC, a Texas limited liability company, which is the Manager of Cross Creek Commercial Park, LLC, on behalf of the Texas limited liability company and Texas limited liability company.

Regina Mott
Notary Public, State of Texas

REGINA MOTT
My Notary ID # 132956176
Expires March 4, 2029

State of Texas
County of Williamson

This document was acknowledged before me on April 25, 2025 by Justin Lott, Manager of TBN Cross Creek, LLC, a Texas limited liability company, which is the Manager of Cross Creek Commercial Park, LLC, on behalf of the Texas limited liability company and Texas limited liability company.

Regina Mott
Notary Public, State of Texas

REGINA MOTT
My Notary ID # 132956176
Expires March 4, 2029

State of Texas
County of Williamson

This document was acknowledged before me on April 25, 2025 by Tyler Humes, Manager of TBN Cross Creek, LLC, a Texas limited liability company, which is the Manager of Cross Creek Commercial Park, LLC, on behalf of the Texas limited liability company and Texas limited liability company.

Regina Mott
Notary Public, State of Texas

REGINA MOTT
My Notary ID # 132956176
Expires March 4, 2029

State of Texas
County of Williamson

This document was acknowledged before me on April 25, 2025 by Barrett Schultz, Manager of TBN Cross Creek, LLC, a Texas limited liability company, which is the Manager of Cross Creek Commercial Park, LLC, on behalf of the Texas limited liability company and Texas limited liability company.

Regina Mott
Notary Public, State of Texas

REGINA MOTT
My Notary ID # 132956176
Expires March 4, 2029

Prepared by HMB Law
File No. 1701342500233-Fw

After Recording Return To:

AUSTIN TITLE COMPANY
200 E. 8TH STREET STE. 201
GEORGETOWN, TX 78628

EXHIBIT "A"

Legal Description

FIELDNOTES, for a 0.431 of an acre tract, out of the remaining portion of a called 12.464 acre tract described in a Special Warranty Deed with Vendor's Lien to Cross Creek Commercial Park, LLC, a Texas limited liability company, as recorded under Instrument Number 2024023903, of the Official Public Records of Williamson County, Texas (hereinafter referred to as Cross Creek tract); the subject tract being more fully described as follows:

COMMENCING, at a 1/2 inch rebar found on the north right of way line of State Highway 29, for the southwest corner of a called 2.448 acre tract described in a Special Warranty Deed to TBN Development, LLC, a Texas limited liability company (hereinafter referred to as TBN tract);

THENCE NORTH 05°49'52" WEST along the west line of said TBN tract, a distance of 502.92 feet to a 1/2 inch rebar with cap stamped "CDS Land Surveying" set at the northwest corner of said TBN tract and the POINT OF BEGINNING;

THENCE NORTH 05°49'52" WEST along the west line of said remainder of Cross Creek tract, a distance of 121.48 feet to a 1/2 inch rebar with cap stamped "CDS Land Surveying" set;

THENCE NORTH 84°10'08" EAST through the interior of said Cross Creek tract, a distance of 145.06 feet to a 1/2 inch rebar with cap stamped "CDS Land Surveying" set on the east line of said Cross Creek tract, from which a 1/2 inch rebar with cap stamped "CUPLIN" found at an inner corner of said Cross Creek tract, bears NORTH 14°50'23" WEST a distance of 84.00 feet;

THENCE SOUTH 14°50'23" EAST along the east line of said Cross Creek tract, a distance of 122.99 feet to a 1/2 inch rebar with cap stamped "CDS Land Surveying" set at the northeast corner of said TBN tract, from which a 1/2 inch rebar found at an inner corner of said Cross Creek tract, bears SOUTH 14°50'23" EAST a distance of 152.39 feet;

THENCE SOUTH 84°10'08" WEST along the north line of said TBN tract, a distance of 164.32 feet to the POINT OF BEGINNING, containing 0.431 of an acre, more or less.

NOTE: The Company is prohibited from insuring the area or quantity of the land described herein. Any statement in the above legal description of the area or quantity of land is not a representation that such area or quantity is correct, but is made only for informational and/or identification purposes and does not override Item 2 of Schedule B hereof.

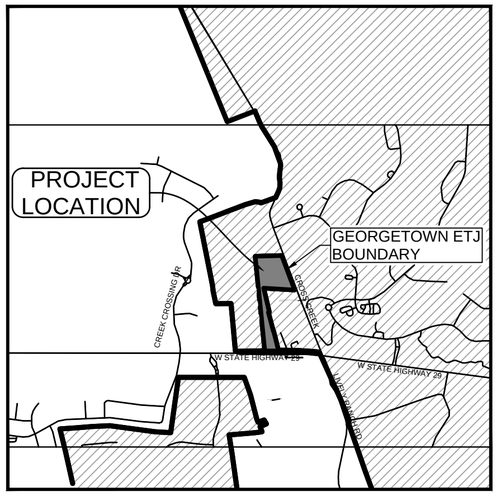
ELECTRONICALLY RECORDED
OFFICIAL PUBLIC RECORDS

2025031916

Pages: 6 Fee: $41.00
04/29/2025 11:31 AM
OSALINAS

Nancy E. Rister, County Clerk
Williamson County,Texas

FINAL PLAT
OF
CROSS CREEK COMMERCIAL PARK



LEGEND

○	IRON ROD SET
●	IRON ROD FOUND
▪	BENCHMARK
— — —	PROPERTY LINE
----------	DRAINAGE EASEMENT
----------	WATER EASEMENT
— — — — —	BUILDING SETBACK LINE (BSL)
·-·-·-·-·-	25' OSSF SETBACK
——— – ———	EXISTING ROAD CENTERLINE
ROW	RIGHT-OF-WAY
VOL./PG.	VOLUME/PAGE
DRWC	DEED RECORDS WILLIAMSON COUNTY
OPRWCT	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY
DOC	DOCUMENT
———	PROPOSED LOT LINES
▬▪▬▪▬	GEORGETOWN ETJ BOUNDARY LINE
▨	CITY OF GEORGETOWN ETJ

PROPERTY DESCRIPTION:

BEING A 12.45 ACRE TRACT, MORE OR LESS, OUT OF THE GREENLIEF FISK SURVEY, ABSTRACT NO. 5, WILLIAMSON COUNTY, TEXAS, FUTHER BEING A PORTION OF A CALLED 12.673 ACRE TRACT OF LAND AS DESCRIBED IN DEED TO LIBERTY HEIGHTS INVESTMENTS LLC, RECORDED IN DOCUMENT NO. 2021072045 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS (OPRWC), AS MODIFIED BY BOUNDARY LINE AGREEMENT IN VOL. 1395, PG 826, OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, SAID 12.45 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON PIN FOUND, ALONG THE NORTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 29, AT THE SOUTHEAST CORNER OF A CALLED 22.66 ACRE TRACT DESCRIBED IN DOCUMENT TO MRS. SAM GOLDENBERG, RECORDED IN VOLUME 1705, PAGE 793 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, AT THE SOUTHWEST CORNER OF SAID 12.673 ACRE TRACT, AND HEREOF;

THENCE ALONG THE EAST AND SOUTH LINES OF SAID 22.66 ACRE TRACT, THE FOLLOWING COURSES AND DISTANCES;

1) NORTH 05°49'52" WEST, A DISTANCE OF 1765.46' TO A 1/2" IRON PIN FOUND AT THE NORTHWEST CORNER HEREOF;
2) NORTH 88°25'06" EAST, PER SAID BOUNDARY LINE AGREEMENT, A DISTANCE OF 490.19' TO 1/2" IRON ROD SET WITH PLASTIC CAP STAMPED "CUPLIN", AT THE NORTHEAST CORNER OF SAID BLANN TRACT, AND HEREOF;

THENCE SOUTH 20°26'53" EAST, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID CROSS CREEK ROAD, THE EAST LINE OF SAID BLANN TRACT, AND HEREOF, AT 30.89' PASSING A 60D NAIL FOUND IN A FENCE POST, IN ALL A DISTANCE OF 677.31', TO A 1/2" IRON PIN FOUND AT THE NORTHEAST CORNER OF LOT 2, THE RICHARDS SUBDIVISION, A SUBDIVISION LOCATED IN WILLIAMSON COUNTY, TEXAS, RECORDED IN CABINET X, SLIDE 187 OF THE PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS, WHENCE A 1/2" IRON ROD FOUND FOR REFERENCE BEARS N24°22'15"E, A DISTANCE OF 5.38';

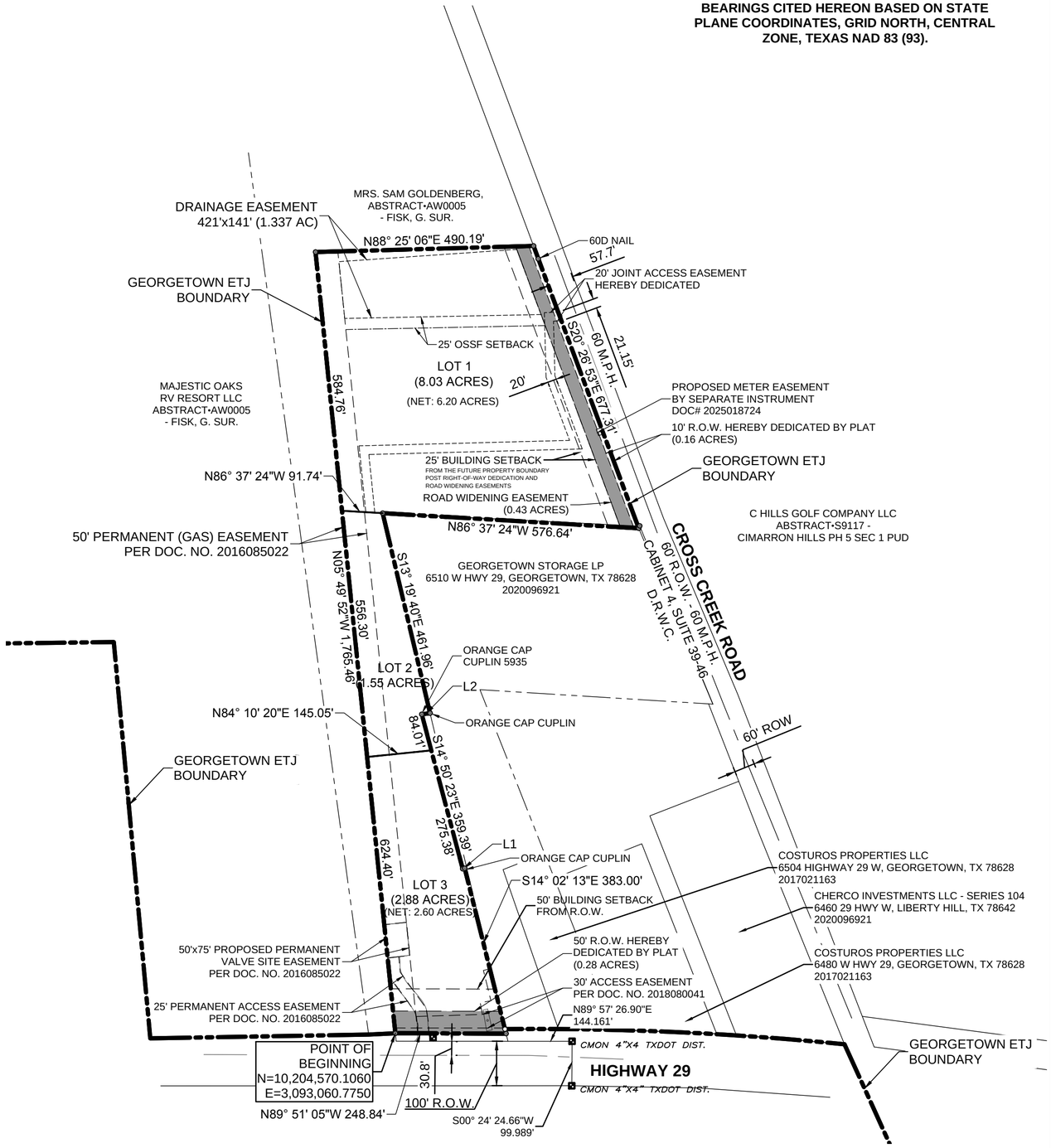
THENCE ALONG THE NORTH AND WEST LINES OF SAID LOT 2, THE EAST LINE OF SAID BLANN TRACT, AND HEREOF, THE FOLLOWING COURSES AND DISTANCES;

1) NORTH 86°37'24" WEST, A DISTANCE OF 576.64' TO A 1/2" IRON PIN FOUND FOR A REENTRANT CORNER HEREOF AND THE NORTHWEST CORNER OF SAID LOT 2,
2) SOUTH 13°19'40" EAST, A DISTANCE OF 461.96' TO A 1/2" IRON PIN WITH CAP "CUPLIN" FOUND AT THE NORTHEAST CORNER OF A CALLED 0.135 ACRE TRACT DESCRIBED IN DOCUMENT TO GEORGETOWN STORAGE, LP, RECORDED IN DOCUMENT NO. 2016061045 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS;

THENCE ALONG THE NORTH AND WEST LINES OF SAID 0.135 ACRE TRACT, AND THE EAST LINE HEREOF, THE FOLLOWING COURSES AND DISTANCES;

1) SOUTH 82°13'02" WEST, A DISTANCE OF 18.94' TO A 1/2" IRON PIN FOUND;
2) SOUTH 14°50'23" EAST, A DISTANCE OF 359.39' TO A 1/2" IRON PIN FOUND;
3) NORTH 74°58'59" EAST, A DISTANCE OF 4.70' TO A 1/2" IRON PIN WITH CAP "CUPLIN" FOUND;
4) SOUTH 14°02'13" EAST, A DISTANCE OF 383.00' TO A 1/2" IRON PIN FOUND ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID HIGHWAY 29, FOR THE SOUTHEAST CORNER OF SAID BLANN TRACT, AND HEREOF,

THENCE NORTH 89°51'05" WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID HIGHWAY NO. 29, THE SOUTH LINE OF SAID BLANN TRACT, AND HEREOF, A DISTANCE OF 248.84' TO **THE POINT OF BEGINNING**, CONTAINING 12.45 ACRES, MORE OR LESS.



OWNER 1:	CROSS CREEK COMMERCIAL PARK, LLC 406 LEE STREET SUITE 201 ROUND ROCK, TEXAS 78664 PHONE (512) 401-8882 EMAIL TYLERH@LOTTBROTHERS.COM
OWNER 2:	MTA INVESTMENT GROUP 232 BLUE WATERLEAF LANE GEORGETOWN, TEXAS 78626 PHONE (801) 671-8672 EMAIL MICHAEL.AUER@AUERSRV.COM
SURVEYOR:	WILLIAM C STEWART, RPLS No. 5785 TEXAS LAND SURVEYING, INC 3613 WILLIAMS DRIVE, SUITE 903 GEORGETOWN, TEXAS 78628 PHONE (512) 930-1600 E-MAIL NICOLE@TEXAS-LS.COM
ENGINEER:	JENNIFER HENDERSON, PE HENDERSON PROFESSIONAL ENGINEERS PELS FIRM F-22208 600 ROUND ROCK WEST DRIVE, SUITE 604 ROUND ROCK, TEXAS 78681 PHONE 512.350.6228 E-MAIL JEN@HENDERSONPE.COM
SUBMITTAL DATE:	03/26/2025
ORIGINAL SURVEY:	GREENLIEF FISK SURVEY ABSTRACT NO. 5
FEMA FLOODPLAIN:	48491C0275E 9/26/2008
WATER:	CITY OF GEORGETOWN, TEXAS
WASTEWATER:	OSSF
BENCHMARK:	ELEV.= 971.04' (NAVD88) TEMPORARY BENCHMARK BOX CUT ON DRAIN

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	4.70	N74° 58' 59"E
L2	18.94	S82° 13' 02"W

ACREAGE REDUCTION TABLE FOR OSSF				
LOT	TOTAL AREA (AC.)	TOTAL AREA (SF)	REDUCED AREA (SF)	NET AREA (SF)
1	8.03	349,987.0	79,848.5	270,138.5
2	1.55	67,524.4	0	67,524.4
3	2.88	125,422.0	12,256.8	113,165.2

NOTE: "NET" REPRESENTS LOT AREA EXCLUDING ACREAGE FOR CALCULATION OF MINIMUM LOT SIZE FOR OSSF.

LOT TABLE			
LOT	AREA (AC.)	AREA (SF)	OWNER
1	8.03	349,987.0	CROSS CREEK COMMERCIAL PARK, LLC (PART OF CONDO ASSOCIATION)
2	1.55	67,524.4	CROSS CREEK COMMERCIAL PARK, LLC (PART OF CONDO ASSOCIATION)
3	2.88	125,422.0	MTA INVESTMENT GROUP

Henderson Professional Engineers
HPE Civil Engineering
600 ROUND ROCK WEST DRIVE, SUITE 604
ROUND ROCK, TX 78681
512.350.6228
PELS FIRM #F-22208
www.hendersonpe.com
WBE210166 | HUB 1853873845300

COUNTY PERMIT NUMBER 2024-734-COC

FINAL PLAT
OF
CROSS CREEK COMMERCIAL PARK

OWNER'S DEDICATION

STATE OF TEXAS §
§ KNOW ALL MEN BY THESE PRESENTS;
COUNTY OF WILLIAMSON §

I, CROSS CREEK COMMERCIAL PARK, LLC SOLE OWNER OF LOT 1 (8.03 ACRES) AND LOT 2 (1.55 ACRES) SHOWN HEREON AND DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 2021072045 OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS, AND DO HEREBY SUBDIVIDE SAID TRACT AS SHOWN HEREON, AND DO HEREBY CONSENT TO ALL PLAT NOTE REQUIREMENTS SHOWN HEREON, AND DO HEREBY FOREVER DEDICATE TO THE PUBLIC THE ROADS, ALLEYS, RIGHTS-OF-WAY, EASEMENTS AND PUBLIC PLACES SHOWN HEREON FOR SUCH PUBLIC PURPOSES AS WILLIAMSON COUNTY MAY DEEM APPROPRIATE, AND DO HEREBY STATE THAT ALL PUBLIC ROADWAYS AND EASEMENTS AS SHOWN ON THIS PLAT ARE FREE OF LIENS. THIS SUBDIVISION IS TO BE KNOWN AS FINAL PLAT, CROSS CREEK COMMERCIAL PARK.

TO CERTIFY WHICH, WITNESS BY MY HAND THIS _____ DAY OF _____, 2025.

_____
CROSS CREEK COMMERCIAL PARK, LLC
TYLER HUMES, MANAGING MEMBER
406 LEE STREET SUITE 201
ROUND ROCK, TEXAS 78664

STATE OF TEXAS §
§
COUNTY OF WILLIAMSON §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE PERSONALLY APPEARED TYLER HUMES, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT.

GIVEN UNDER MY HAND AND SEAL OF OF OFFICE ON THIS _____ DAY OF _____, 2025.

_____
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

OWNER'S DEDICATION

STATE OF TEXAS §
§ KNOW ALL MEN BY THESE PRESENTS;
COUNTY OF WILLIAMSON §

I, MTA INVESTMENT GROUP SOLE OWNER OF LOT 3 (2.88 ACRES) SHOWN HEREON AND DESCRIBED IN A DEED RECORDED IN DOCUMENTS NO. _____ AND _____ OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS, AND DO HEREBY SUBDIVIDE SAID TRACT AS SHOWN HEREON, AND DO HEREBY CONSENT TO ALL PLAT NOTE REQUIREMENTS SHOWN HEREON, AND DO HEREBY FOREVER DEDICATE TO THE PUBLIC THE ROADS, ALLEYS, RIGHTS-OF-WAY, EASEMENTS AND PUBLIC PLACES SHOWN HEREON FOR SUCH PUBLIC PURPOSES AS WILLIAMSON COUNTY MAY DEEM APPROPRIATE, AND DO HEREBY STATE THAT ALL PUBLIC ROADWAYS AND EASEMENTS AS SHOWN ON THIS PLAT ARE FREE OF LIENS. THIS SUBDIVISION IS TO BE KNOWN AS FINAL PLAT, CROSS CREEK COMMERCIAL PARK.

TO CERTIFY WHICH, WITNESS BY MY HAND THIS _____ DAY OF _____, 2025.

_____
MTA INVESTMENT GROUP
MICHAEL AUER
232 BLUE WATERLEAF LANE
GEORGETOWN, TEXAS 78626

STATE OF TEXAS §
§
COUNTY OF WILLIAMSON §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE PERSONALLY APPEARED MICHAEL AUER, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT.

GIVEN UNDER MY HAND AND SEAL OF OF OFFICE ON THIS _____ DAY OF _____, 2025.

_____
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

ROAD WIDENING EASEMENTS

RIGHT-OF-WAY EASEMENTS FOR WIDENING ROADWAYS OR IMPROVING DRAINAGE SHALL BE MAINTAINED BY THE LANDOWNER UNTIL ROAD OR DRAINAGE IMPROVEMENTS ARE ACTUALLY CONSTRUCTED ON THE PROPERTY. THE COUNTY HAS THE RIGHT AT ANY TIME TO TAKE POSSESSION OF ANY ROAD WIDENING EASEMENT FOR THE CONSTRUCTION, IMPROVEMENT OR MAINTENANCE OF THE ADJACENT ROAD.

ROADWAY CONSTRUCTION

IN APPROVING THIS PLAT BY THE COMMISSIONERS COURT OF WILLIAMSON COUNTY, TEXAS, IT IS UNDERSTOOD THAT THE BUILDING OF ALL ROADS, AND OTHER PUBLIC THOROUGHFARES AND ANY BRIDGES OR CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IS THE RESPONSIBILITY OF THE OWNER(S) OF THE TRACT OF LAND COVERED BY THIS PLAT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PRESCRIBED BY THE COMMISSIONERS COURT OF WILLIAMSON COUNTY, TEXAS. SAID COMMISSIONERS COURT ASSUMES NO OBLIGATION TO BUILD ANY OF THE ROADS, OR OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT, OR OF CONSTRUCTING ANY OF THE BRIDGES OR DRAINAGE IMPROVEMENTS IN CONNECTION THEREWITH. THE COUNTY WILL ASSUME NO RESPONSIBILITY FOR DRAINAGE WAYS OR EASEMENTS IN THE SUBDIVISION, OTHER THAN THOSE DRAINING OR PROTECTING THE ROAD SYSTEM.

OWNER'S RESPONSIBILITIES

IT IS THE RESPONSIBILITY OF THE OWNER, NOT THE COUNTY, TO ASSURE COMPLIANCE WITH THE PROVISIONS OF ALL APPLICABLE STATE, FEDERAL AND LOCAL LAWS AND REGULATIONS RELATING TO THE PLATTING AND DEVELOPMENT OF THIS PROPERTY.

THE COUNTY ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF REPRESENTATIONS BY OTHER PARTIES IN THIS PLAT. FLOODPLAIN DATA, IN PARTICULAR, WILL CHANGE OVER TIME AND THE CURRENT EFFECTIVE FLOODPLAIN DATA TAKES PRECEDENCE OVER FLOODPLAIN DATA REPRESENTED ON THIS PLAT. IT IS FURTHER UNDERSTOOD THAT THE OWNERS OF THE TRACT OF LAND COVERED BY THIS PLAT MUST INSTALL AT THEIR OWN EXPENSE ALL TRAFFIC CONTROL DEVICES AND SIGNAGE THAT MAY BE REQUIRED BEFORE THE STREETS IN THE SUBDIVISION HAVE BEEN ACCEPTED FOR MAINTENANCE BY THE COUNTY.

SURVEYOR CERTIFICATION

STATE OF TEXAS §
COUNTY OF WILLIAMSON §

THAT I, WILLIAM C STEWART, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH CHAPTER 4 – SUBDIVISION DESIGN AND CONSTRUCTION, PART III – ZONING AND DEVELOPMENT CODE, CODE OF ORDINANCES, CITY OF ROUND ROCK, 2018 EDITION AS AMENDED. THIS TRACT IS LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.

_____ _____
WILLIAM C STEWART, DATE
REGISTERED PROFESSIONAL LAND SURVEYOR, NO. 5785
STATE OF TEXAS

PLAT NOTES:

1. MAINTENANCE RESPONSIBILITY FOR DRAINAGE WILL NOT BE ACCEPTED BY THE COUNTY OTHER THAN THAT ACCEPTED IN CONNECTION WITH DRAINING OR PROTECTING THE ROAD SYSTEM. MAINTENANCE RESPONSIBILITY FOR STORM WATER MANAGEMENT CONTROLS WILL REMAIN WITH THE OWNERS.
2. WATER SERVICE FOR THIS SUBDIVISION WILL BE PROVIDED BY: CITY OF GEORGETOWN. SEWER SERVICE FOR THIS SUBDIVISION WILL BE PROVIDED BY: OSSF
3. A CERTIFICATE OF COMPLIANCE IS HEREBY ISSUES FOR ALL LOTS WITHIN THIS SUBDIVISION. THIS CERTIFICATE OF COMPLIANCE IS VALID UNTIL SUCH TIME AS FEMA OR THE COUNTY REVISES OR NEWLY ADOPTS FLOODPLAIN BOUNDARIES IN THIS VICINITY.
4. RURAL MAILBOXES SHALL BE SET THREE FEET FROM THE EDGE OF THE PAVEMENT OR BEHIND CURBS, WHEN USED. ALL MAILBOXES WITHIN COUNTY ARTERIAL RIGHT-OF-WAY SHALL MEET THE CURRENT TXDOT STANDARDS. ANY MAILBOX THAT DOES NOT MEET THIS REQUIREMENT MAY BE REMOVED BY WILLIAMSON COUNTY.
5. ALL SIDEWALKS WITHIN THIS SUBDIVISION ARE TO BE MAINTAINED BY EACH OF THE ADJACENT PROPERTY OWNERS.
6. DRIVEWAY MAINTENANCE WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. IF OBSTRUCTIONS OCCUR WITHIN THE DRIVEWAY CULVERT, THE COUNTY RESERVES THE RIGHT TO CLEAR OBSTRUCTIONS THAT ARE CAUSING ADVERSE IMPACTS TO THE ROADWAY.
7. THIS TRACT IS LOCATED WITHIN THE EDWARD'S AQUIFER RECHARGE ZONE.
8. THIS SUBDIVISION IS SUBJECT TO STORM-WATER MANAGEMENT CONTROLS AS REQUIRED BY WILLIAMSON COUNTY SUBDIVISION REGULATIONS SECTION B11.1, ON NEW DEVELOPMENT THAT WOULD EVOKE SUCH CONTROLS BEYOND EXISTING CONDITIONS.
9. IMPROVEMENTS WITHIN THE COUNTY ROAD RIGHT-OF-WAY INCLUDING, BUT NOT LIMITED TO, LANDSCAPING, IRRIGATION LIGHTING, CUSTOM SIGNS, IS PROHIBITED WITHOUT FIRST OBTAINING AN EXECUTED LICENSE AGREEMENT WITH WILLIAMSON COUNTY.
10. IT IS THE RESPONSIBILITY OF THE OWNER, NOT THE COUNTY, TO ASSURE COMPLIANCE WITH THE PROVISIONS OF ALL APPLICABLE STATE, FEDERAL AND LOCAL LAWS AND REGULATIONS RELATING TO THE PLATTING AND DEVELOPMENT OF THIS PROPERTY.
    THE COUNTY ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF REPRESENTATIONS BY OTHER PARTIES IN THIS PLAT. FLOODPLAIN DATA, IN PARTICULAR, WILL CHANGE OVER TIME AND THE CURRENT EFFECTIVE FLOODPLAIN DATA TAKES PRECEDENCE OVER FLOODPLAIN DATA REPRESENTED ON THIS PLAT. IT IS FURTHER UNDERSTOOD THAT THE OWNERS OF THE TRACT OF LAND COVERED BY THIS PLAT MUST INSTALL AT THEIR OWN EXPENSE ALL TRAFFIC CONTROL DEVICES AND SIGNAGE THAT MAY BE REQUIRED BEFORE THE STREETS IN THE SUBDIVISION HAVE BEEN ACCEPTED FOR MAINTENANCE BY THE COUNTY.
11. THE LANDOWNER ASSUMES ALL RISKS ASSOCIATED WITH IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY OR ROAD WIDENING EASEMENTS. BY PLACING ANYTHING IN THE RIGHT-OF-WAY OR ROAD WIDENING EASEMENTS, THE LANDOWNER INDEMNIFIES AND HOLDS THE COUNTY, IT'S OFFICERS AND EMPLOYEES HARMLESS FROM ANY LIABILITY OWING TO PROPERTY DEFECTS OR NEGLIGENCE NOT ATTRIBUTABLE TO THEM AND ACKNOWLEDGES THAT THE IMPROVEMENTS MAY BE REMOVED BY THE COUNTY AND THAT THE OWNER OF THE IMPROVEMENT SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR REPLACEMENT OF THE IMPROVEMENT.
12. ALL PUBLIC ROADWAYS AND EASEMENTS AS SHOWN ON THIS PLAT ARE FREE OF LIENS.
13. THIS PROPERTY WAS RELEASED FROM GEORGETOWN ETJ ON 04/23/2024 PER RESOLUTION NO. 042324-5D.
14. NO CONSTRUCTION IN THE SUBDIVISION MAY BEGIN UNTIL THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) HAS APPROVED THE WATER POLLUTION ABATEMENT PLAN(WPAP) IN WRITING.
15. ON-SITE SEWAGE FACILITIES MUST BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER OR REGISTERED SANITARIAN.
16. NO LOT IN THIS SUBDIVISION IS ENCROACHED BY A SPECIAL FLOOD HAZARD AREA(S) INUNDATED BY THE 100- YEAR (1% CHANCE) FLOOD AS IDENTIFIED BY THE U.S. FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48491C0275E, EFFECTIVE DATE 9/26/2008 FOR WILLIAMSON COUNTY, TEXAS.
17. THE MINIMUM FFE SHALL BE AT LEAST ONE FOOT ABOVE THE ADJACENT FINISHED GRADE AND BFE. EXCEPTIONS CAN BE MADE AT ENTRANCE AND EGRESS POINTS, WHERE NECESSARY, TO MEET THE AMERICANS WITH DISABILITIES ACT (ADA). RECREATIONAL VEHICHLE PARKING PADS MUST ALSO BE PLACED AT LEAST ONE FOOT ABOVE BFE.
18. ANY PROPOSED DEVELOPMENT THAT OBSTRUCTS OR DIVERTS FLOW WITHIN A DRAINAGE EASEMENT MAY NOT BE PERMITTED AND IS AT THE DISCRETION OF THE WILLIAMSON COUNTY FLOODPLAIN ADMINISTRATOR.

ENGINEERS CERTIFICATION

STATE OF TEXAS §
COUNTY OF WILLIAMSON §

I, JENNIFER L. HENDERSON, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH CHAPTER 4 – SUBDIVISION DESIGN AND CONSTRUCTION, PART III ZONING AND DEVELOPMENT CODE, CODE OF ORDINANCES, CITY OF ROUND ROCK, 2018 EDITION AS AMENDED, AND THE DESIGN AND CONSTRUCTION STANDARDS ADOPTED BY THE CITY OF ROUND ROCK, TEXAS. THIS TRACT IS LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.

_____ _____
JENNIFER L. HENDERSON, PE F-22208 DATE
REGISTERED PROFESSIONAL ENGINEER, NO. 116883
STATE OF TEXAS

ON-SITE SEWAGE FACILITY APPROVAL

BASED UPON THE ABOVE REPRESENTATIONS OF THE ENGINEER OR SURVEYOR WHOSE SEAL IS AFFIXED HERETO, AND AFTER A REVIEW OF THE SURVEY AS REPRESENTED BY THE SAID ENGINEER OR SURVEYOR, I FIND THAT THIS PLAT COMPLIES WITH THE REQUIREMENTS OF EDWARDS AQUIFER REGULATIONS FOR WILLIAMSON COUNTY AND WILLIAMSON COUNTY ON-SITE SEWAGE FACILITY REGULATIONS. THIS CERTIFICATION IS MADE SOLELY UPON SUCH REPRESENTATIONS AND SHOULD NOT BE RELIED UPON FOR VERIFICATIONS OF THE FACTS ALLEGED. THE WILLIAMSON COUNTY ENGINEER'S OFFICE AND WILLIAMSON COUNTY DISCLAIM ANY RESPONSIBILITY TO ANY MEMBER OF THE PUBLIC FOR INDEPENDENT VERIFICATION OF THE REPRESENTATIONS, FACTUAL OR OTHERWISE, CONTAINED IN THIS PLAT AND THE DOCUMENTS ASSOCIATED WITH IT.

_____ _____
ADAM D. BOATRIGHT, PE DATE
WILLIAMSON COUNTY ENGINEER

COUNTY JUDGE'S APPROVAL

STATE OF TEXAS §
§ KNOW ALL MEN BY THESE PRESENTS;
COUNTY OF WILLIAMSON §

I, STEVEN SNELL, COUNTY JUDGE OF WILLIAMSON COUNTY, TEXAS, DO HEREBY CERTIFY THAT THIS MAP OR PLAT, WITH FIELD NOTES HEREON, FOR A SUBDIVISION HAVING BEEN FULLY PRESENTED TO THE COMMISSIONERS COURT OF WILLIAMSON COUNTY, TEXAS, AND BY THE SAID COURT DULY CONSIDERED, WERE ON THIS DAY APPROVED AND THAT THIS PLAT IS AUTHORIZED TO BE REGISTERED AND RECORDED IN THE PROPER RECORDS OF THE COUNTY CLERK OF WILLIAMSON COUNTY, TEXAS.

_____ _____
STEVEN SNELL, COUNTY JUDGE DATE
WILLIAMSON COUNTY, TEXAS

COUNTY CLERK'S CERTIFICATION

STATE OF TEXAS §
§ KNOW ALL MEN BY THESE PRESENTS;
COUNTY OF WILLIAMSON §

I, NANCY RISTER, CLERK OF THE COUNTY COURT OF SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF_____, 20___ A.D., AT ____O'CLOCK, ___.M., AND DULY RECORDED THIS THE ____ DAY OF _____, 20___ A.D., AT___O'CLOCK, ___.M., IN THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY IN INSTRUMENT NO._____.

TO CERTIFY WHICH, WITNESS MY HAND AND SEAL AT THE COUNTY COURT OF SAID COUNTY, AT MY OFFICE IN GEORGETOWN, TEXAS THE DATE LAST SHOWN ABOVE WRITTEN.

_____
NANCY RISTER, CLERK COUNTY COURT
OF WILLIAMSON COUNTY, TEXAS
BY_____DEPUTY

SHEET 02 OF 02

Henderson Professional Engineers
HPE Civil Engineering
600 ROUND ROCK WEST DRIVE, SUITE 604
ROUND ROCK, TX 78681
512.350.6228
PELS FIRM #F-22208
www.hendersonpe.com
WBE210166 | HUB 1853873845300

COUNTY PERMIT NUMBER 2024-734-COC

Section II
Geologic Assessment Form (TCEQ-0585)

Geologic Assessment

Texas Commission on Environmental Quality

For Regulated Activities on The Edwards Aquifer Recharge/transition Zones and Relating to 30 TAC §213.5(b)(3), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. My signature certifies that I am qualified as a geologist as defined by 30 TAC Chapter 213.

Print Name of Geologist: Kevin Denson, P.G. Telephone: 512 442-1122

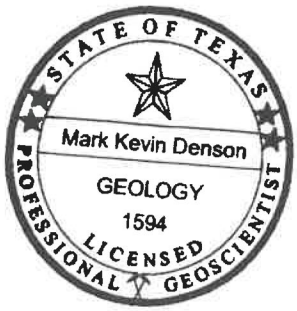
Date: June 13, 2024 Fax: 512 442-1181

Representing: Terracon Consultants, Inc. (Name of Company and TBPG or TBPE registration number)

Signature of Geologist:

Regulated Entity Name: Cross Creek Commercial Park, 6540 W Highway 29, Georgetown, Texas

Project Information



1. Date(s) Geologic Assessment was performed: June 6, 2024
2. Type of Project:
   - ☒ WPAP
   - ☐ SCS
   - ☐ AST
   - ☐ UST
3. Location of Project:
   - ☒ Recharge Zone
   - ☐ Transition Zone
   - ☐ Contributing Zone within the Transition Zone

4. ☒ **Attachment A - Geologic Assessment Table**. Completed Geologic Assessment Table (Form TCEQ-0585-Table) is attached.

5. ☒ Soil cover on the project site is summarized in the table below and uses the SCS Hydrologic Soil Groups* (Urban Hydrology for Small Watersheds, Technical Release No. 55, Appendix A, Soil Conservation Service, 1986). If there is more than one soil type on the project site, show each soil type on the site Geologic Map or a separate soils map.

Table 1 - Soil Units, Infiltration Characteristics and Thickness

Soil Name	Group*	Thickness(feet)
GsB	D	2-3
EeB	D	0-1

** Soil Group Definitions (Abbreviated)*

A. Soils having a high infiltration rate when thoroughly wetted.
B. Soils having a moderate infiltration rate when thoroughly wetted.
C. Soils having a slow infiltration rate when thoroughly wetted.
D. Soils having a very slow infiltration rate when thoroughly wetted.

6. ☒ **Attachment B – Stratigraphic Column.** A stratigraphic column showing formations, members, and thicknesses is attached. The outcropping unit, if present, should be at the top of the stratigraphic column. Otherwise, the uppermost unit should be at the top of the stratigraphic column.

7. ☒ **Attachment C – Site Geology**. A narrative description of the site specific geology including any features identified in the Geologic Assessment Table, a discussion of the potential for fluid movement to the Edwards Aquifer, stratigraphy, structure(s), and karst characteristics is attached.

8. ☒ **Attachment D – Site Geologic Map(s)**. The Site Geologic Map must be the same scale as the applicant's Site Plan. The minimum scale is 1": 400'

   Applicant's Site Plan Scale: 1" = _____'
   Site Geologic Map Scale: 1" = 100'
   Site Soils Map Scale (if more than 1 soil type): 1" = 250 '

9. Method of collecting positional data:

   ☒ Global Positioning System (GPS) technology.
   ☐ Other method(s). Please describe method of data collection: _____

10. ☒ The project site and boundaries are clearly shown and labeled on the Site Geologic Map.

11. ☒ Surface geologic units are shown and labeled on the Site Geologic Map.

12. ☒ Geologic or manmade features were discovered on the project site during the field investigation. They are shown and labeled on the Site Geologic Map and are described in the attached Geologic Assessment Table.

    ☐ Geologic or manmade features were not discovered on the project site during the field investigation.

13. ☒ The Recharge Zone boundary is shown and labeled, if appropriate.

14. All known wells (test holes, water, oil, unplugged, capped and/or abandoned, etc.): If applicable, the information must agree with Item No. 20 of the WPAP Application Section.

    ☐ There are _____ (#) wells present on the project site and the locations are shown and labeled. (Check all of the following that apply.)
    - ☐ The wells are not in use and have been properly abandoned.
    - ☐ The wells are not in use and will be properly abandoned.
    - ☐ The wells are in use and comply with 16 TAC Chapter 76.

    ☒ There are no wells or test holes of any kind known to exist on the project site.

Administrative Information

15. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

ATTACHMENT A

GEOLOGIC ASSESSMENT TABLE — PROJECT NAME: Cross Creek Commercial Park, 6540 W Highway 29, Georgetown, Texas

LOCATION			FEATURE CHARACTERISTICS												EVALUATION			PHYSICAL SETTING		
1A	1B *	1C*	2A	2B	3	4			5	5A	6	7	8A	8B	9	10		11		12
FEATURE ID	LATITUDE	LONGITUDE	FEATURE TYPE	POINTS	FORMATION	DIMENSIONS (FEET)			TREND (DEGREES)	DOM	DENSITY (NO/FT)	APERTURE (FEET)	INFILL	RELATIVE INFILTRATION RATE	TOTAL	SENSITIVITY		CATCHMENT AREA (ACRES)		TOPOGRAPHY
						X	Y	Z		10						<40	>40	<1.6	>1.6	
F-1	30.64069	-97.79986	CD	5	Ked									5	10	X		X		Hilltop
F-2	30.64097	-97.80036	CD	5	Ked									5	10	X		X		Hilltop
F-3	30.64131	-97.79917	CD	5	Ked									5	10	X		X		Hilltop
F-4	30.6419	-97.8003	CD	5	Ked									5	10	X		X		Hilltop

* DATUM NAD27

2A TYPE	TYPE	2B POINTS
C	Cave	30
SC	Solution cavity	20
SF	Solution-enlarged fracture(s)	20
F	Fault	20
O	Other natural bedrock features	5
MB	Manmade feature in bedrock	30
SW	Swallow hole	30
SH	Sinkhole	20
CD	Non-karst closed depression	5
Z	Zone, clustered or aligned features	30

8A INFILLING	
N	None, exposed bedrock
C	Coarse - cobbles, breakdown, sand, gravel
O	Loose or soft mud or soil, organics, leaves, sticks, dark colors
F	Fines, compacted clay-rich sediment, soil profile, gray or red colors
V	Vegetation. Give details in narrative description
FS	Flowstone, cements, cave deposits
X	Other materials

12 TOPOGRAPHY
Cliff, Hilltop, Hillside, Drainage, Floodplain, Streambed

I have read, I understood, and I have followed the Texas Natural Resource Conservation Commission's Instructions to Geologists. The information presented here complies with that document and is a true representation of the conditions observed in the field.

My signature certifies that I am qualified as a geologist as defined by 30 TAC 213

Date 6/13/2024

TNRCC-0585-Table (Rev. 5-1-02)

Sheet 1 of 1

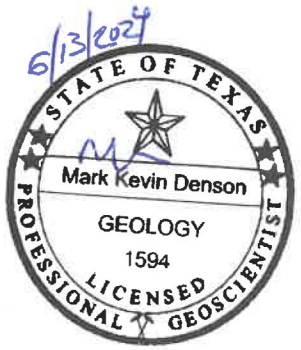
STATE OF TEXAS
Mark Kevin Denson
GEOLOGY
1594
LICENSED
PROFESSIONAL GEOSCIENTIST

ATTACHMENT B

Stratigraphic Column
Cross Creek Commercial Park
6540 W Highway 29, Georgetown, Texas

HYDROGEOLOGIC SUBDIVISION	FORMATION	THICKNESS (feet)	LITHOLOGY
Edwards Aquifer	Edwards Limestone	150	Mudstone to packstone, crystalline limestone, wackestone

Source: Senger, Collins and Kreitler, 1990



Terracon

ATTACHMENT C
SITE-SPECIFIC GEOLOGY

The Geologic Assessment (GA) of the Cross Creek Commercial Park was performed by Kevin Denson, P.G., of Terracon on June 6, 2024. The site consists of three tracts totaling approximately 12.45 acres, and is located at 6540 West Highway 29 in Georgetown, Williamson County, Texas. The site is undeveloped and mostly heavily wooded land.

Exhibit 1 (attached) is a site location map depicting the site in relation to the surrounding area. The areas immediately surrounding the site are a mix of residential, commercial, and undeveloped properties. The site is characterized as gently sloping to the northwest, and site elevation ranges from about 972 to 944 feet above mean sea level (msl).

The surficial geologic unit present at the site has been identified as the Edwards Formation. Exhibit 3 (attached) is a geologic map of the site. The Edwards consists of massive to thin bedded limestones and dolostones. The formation is characterized by honeycomb textures, collapse breccias and cavern systems, which account for most of the significant porosity within the strata that compose most of the aquifer.

The recharge zone boundary of the Edwards Aquifer is located approximately 3,300 feet south of the site. Table 1 (attached) is a stratigraphic column prepared for the site. Exposure of the geologic unit is typically obscured by soil and vegetation, with scattered outcrops present mostly in the northern portion of the site. No faulting was observed on the site and the nearest mapped fault is located approximately 3.5 miles west-northwest of the site. The fault, which trends toward the northeast, is associated with the Balcones Fault zone which represents the dominant structural trend in the vicinity of the site. The completed Geologic Assessment form is attached.

A total of four minor geologic features were observed on the site, as described below. As seen on the attached Geologic Assessment Table, the features are not considered to be significant recharge features.

Feature F-1: Non-karst closed depression with a diameter of 5 feet and a depth of 1 foot. No rock outcrop was present.

Feature F-2: Non-karst closed depression with a diameter of 5 feet and a depth of 1.5 feet. No rock outcrop was present.

Feature F-3: Non-karst closed depression measuring approximately 4 feet by 3 feet by 1 foot deep. No rock outcrop was present.

Feature F-4: Non-karst closed depression with a diameter of 3 feet and a depth of 1.5 feet. No rock outcrop was present.

No springs or streams were observed onsite. A review of the site maps contained in Ordinance 2015-14 indicated there are no known springs occupied by the Georgetown Salamander on the site and the nearest known occupied site is located approximately 1 mile northeast of the site (Water Tank Cave). Due to the lack of significant sensitive recharge features observed on the site, the potential for fluid movement to the Edwards aquifer beneath the project is considered low.

Approximate Project Boundary

Williamson CAD 1-ft Topography

0 125 250 500 Feet

DATA SOURCES:
Williamson County TX, Maxar, Microsoft, Esri Community Maps Contributors, County of Williamson, Texas Parks & Wildlife, © OpenStreetMap, Microsoft, CONANP, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS

Project No.:	96247314
Date:	Jun 2024
Drawn By:	RC
Reviewed By:	KD

terracon
5307 Industrial Oaks Blvd. - #160 Austin, TX 78735
PH. (512) 442-1122 terracon.com

Site Specific Topography

Cross Creek Commercial Park

6540 West Highway 29
Georgetown, Williamson County, Texas

Exhibit

1.0

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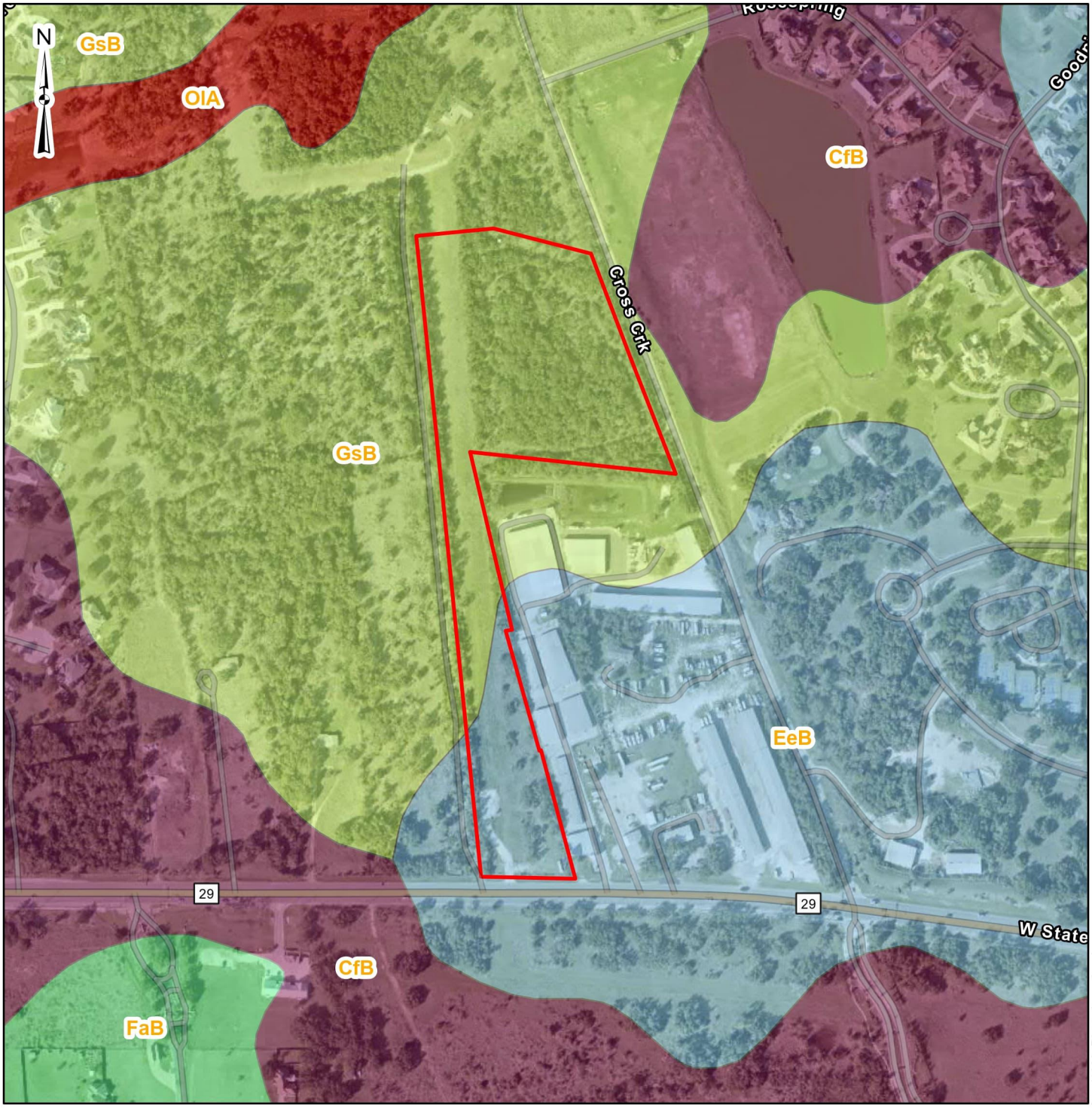

- Approximate Project Boundary
- Crawford clay, 1 to 3 percent slopes (CfB)
- Eckrant stony clay, 0 to 3 percent slopes, stony (EeB)
- Fairlie clay, 1 to 2 percent slopes (FaB)
- Georgetown stony clay loam, 1 to 3 percent slopes (GsB)
- Oakalla soils, 0 to 1 percent slopes, channeled, frequently flooded (OlA)

0 250 500 1,000 Feet

DATA SOURCES:
Esri Community Maps Contributors, County of Williamson, Texas Parks & Wildlife, © OpenStreetMap, Microsoft, CONANP, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS, Williamson County TX, Maxar

Project No.:	96247314
Date:	Jun 2024
Drawn By:	RC
Reviewed By:	KD

terracon
5307 Industrial Oaks Blvd. - #160 Austin, TX 78735
PH. (512) 442-1122 terracon.com

Site Specific Soils

Cross Creek Commercial Park

6540 West Highway 29
Georgetown, Williamson County, Texas

Exhibit

2.0

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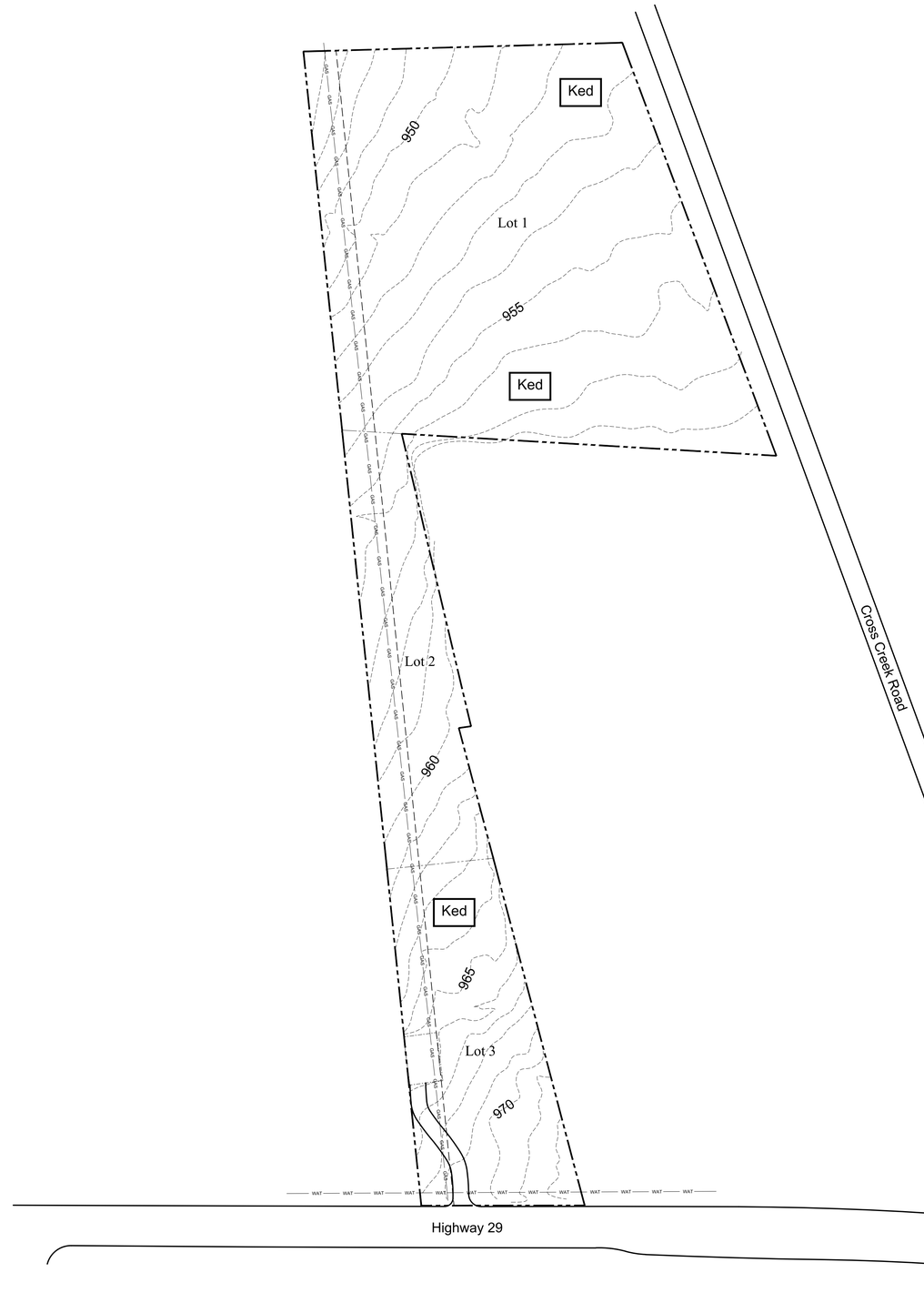
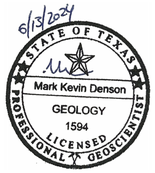




N

100 0 50 100

APPROXIMATE SCALE IN FEET

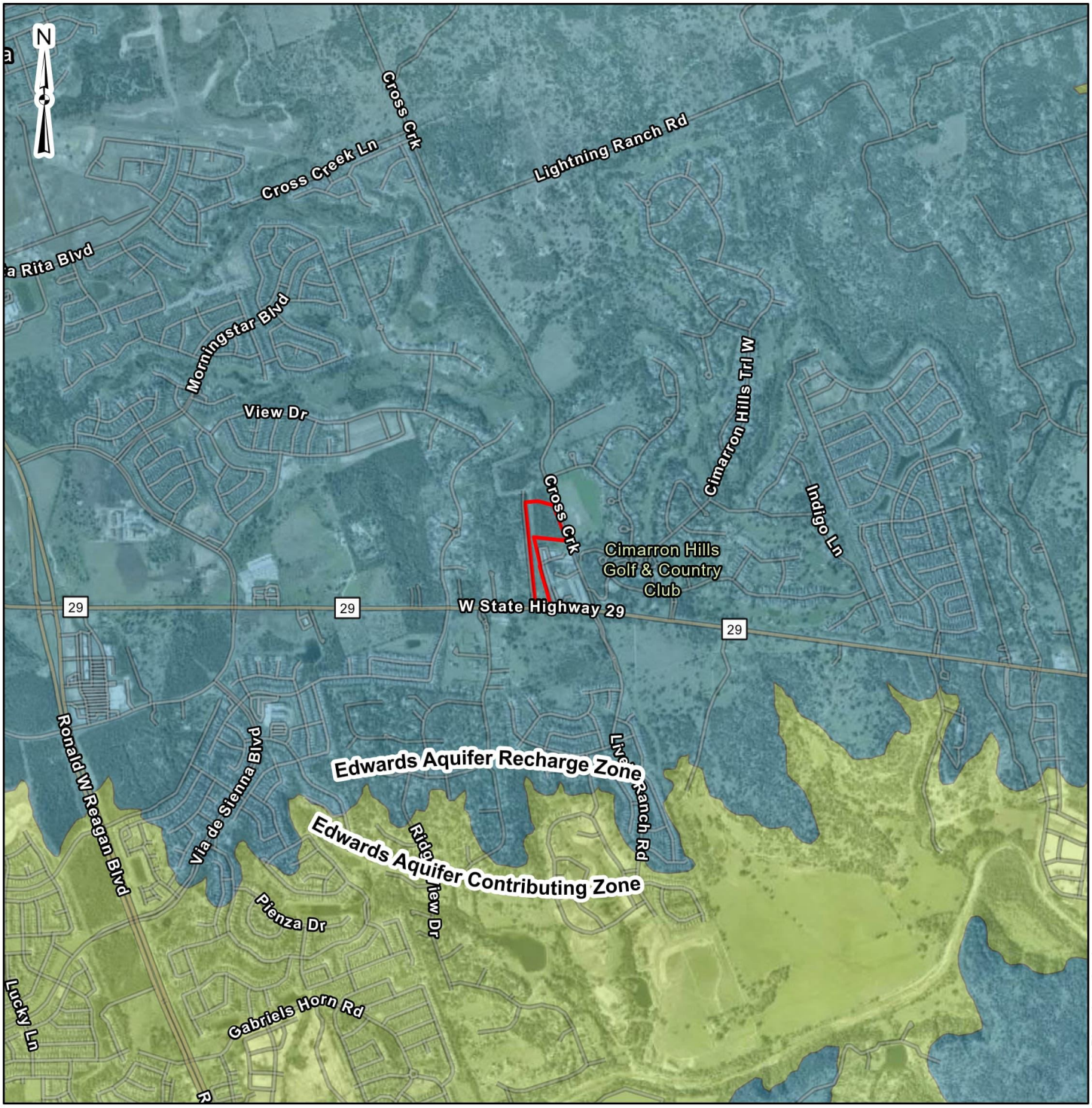
LEGEND

Site Boundary

Ked Edwards Formation

Project Mngr: KD	Project No. 96247314	Terracon	SITE GEOLOGIC MAP
Drawn By: ATX Drafting	Scale: AS SHOWN	Consulting Engineers and Scientists	Cross Creek Commercial Park
Checked By: KD	File No. 96247314	5307 INDUSTRIAL OAKS BLVD. - #160 AUSTIN, TX 78735	6540 West Highway 29
Approved By: KD	Date: Jun 05, 2024	PH. (512) 442-1122 FAX (512) 442-1181	Georgetown, Williamson County, Texas

EXHIBIT 3



Approximate Project Boundary

TCEQ Edwards Aquifer Zone Data

- Edwards Aquifer Contributing Zone
- Edwards Aquifer Recharge Zone

0 1,250 2,500 5,000 Feet

DATA SOURCES:
County of Williamson, Texas Parks & Wildlife, CONANP, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS, Williamson County TX, Maxar, TNRIS, Bureau of Economic Geology

Project No.:	96247314
Date:	Jun 2024
Drawn By:	RC
Reviewed By:	KD

terracon
5307 Industrial Oaks Blvd. - #160 Austin, TX 78735
PH. (512) 442-1122 terracon.com

Edwards Aquifer Zones

Cross Creek Commercial Park

6540 West Highway 29
Georgetown, Williamson County, Texas

Exhibit

4.0

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Section III
Water Pollution Abatement Plan (TCEQ-0584)

Water Pollution Abatement Plan Application

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Water Pollution Abatement Plan Application Form** is hereby submitted for TCEQ review and Executive Director approval. The form was prepared by:

Print Name of Customer/Agent: Michael Easton Mundine

Date: 08/27/2025

Signature of Customer/Agent:

Regulated Entity Name: Auer's RV Service Center Georgetown

Regulated Entity Information

1. The type of project is:

   ☐ Residential: Number of Lots:_____
   ☐ Residential: Number of Living Unit Equivalents:_____
   ☒ Commercial
   ☐ Industrial
   ☐ Other:_____

2. Total site acreage (size of property): 2.88

3. Estimated projected population: 10.5

4. The amount and type of impervious cover expected after construction are shown below:

Table 1 - Impervious Cover Table

Impervious Cover of Proposed Project	Sq. Ft.	Sq. Ft./Acre	Acres
Structures/Rooftops	12,892.13	÷ 43,560 =	0.30
Parking	2,017.85	÷ 43,560 =	0.05
Other paved surfaces	55,822.77	÷ 43,560 =	1.27
Total Impervious Cover	70732.75	÷ 43,560 =	1.62

Total Impervious Cover 1.62 **÷ Total Acreage** 2.88 **X 100 =** 56.39**% Impervious Cover**

5. ☒ **Attachment A - Factors Affecting Surface Water Quality**. A detailed description of all factors that could affect surface water and groundwater quality that addresses ultimate land use is attached.

6. ☒ Only inert materials as defined by 30 TAC §330.2 will be used as fill material.

For Road Projects Only

Complete questions 7 - 12 if this application is exclusively for a road project.

7. Type of project:

   ☐ TXDOT road project.
   ☐ County road or roads built to county specifications.
   ☐ City thoroughfare or roads to be dedicated to a municipality.
   ☐ Street or road providing access to private driveways.

8. Type of pavement or road surface to be used:

   ☐ Concrete
   ☐ Asphaltic concrete pavement
   ☐ Other: _____

9. Length of Right of Way (R.O.W.): _____ feet.

   Width of R.O.W.: _____ feet.
   L x W = _____ Ft^2 ÷ 43,560 Ft^2/Acre = _____ acres.

10. Length of pavement area: _____ feet.

    Width of pavement area: _____ feet.
    L x W = _____ Ft^2 ÷ 43,560 Ft^2/Acre = _____ acres.
    Pavement area _____ acres ÷ R.O.W. area _____ acres x 100 = _____% impervious cover.

11. ☐ A rest stop will be included in this project.

    ☐ A rest stop will not be included in this project.

12. ☐ Maintenance and repair of existing roadways that do not require approval from the TCEQ Executive Director. Modifications to existing roadways such as widening roads/adding shoulders totaling more than one-half (1/2) the width of one (1) existing lane require prior approval from the TCEQ.

Stormwater to be generated by the Proposed Project

13. ☒ **Attachment B - Volume and Character of Stormwater**. A detailed description of the volume (quantity) and character (quality) of the stormwater runoff which is expected to occur from the proposed project is attached. The estimates of stormwater runoff quality and quantity are based on the area and type of impervious cover. Include the runoff coefficient of the site for both pre-construction and post-construction conditions.

Wastewater to be generated by the Proposed Project

14. The character and volume of wastewater is shown below:

100% Domestic	5,403.2Gallons/day
0% Industrial	0Gallons/day
0% Commingled	0Gallons/day
TOTAL gallons/day 5,403.2	

15. Wastewater will be disposed of by:

☒ On-Site Sewage Facility (OSSF/Septic Tank):

☒ **Attachment C - Suitability Letter from Authorized Agent**. An on-site sewage facility will be used to treat and dispose of the wastewater from this site. The appropriate licensing authority's (authorized agent) written approval is attached. It states that the land is suitable for the use of private sewage facilities and will meet or exceed the requirements for on-site sewage facilities as specified under 30 TAC Chapter 285 relating to On-site Sewage Facilities.

☐ Each lot in this project/development is at least one (1) acre (43,560 square feet) in size. The system will be designed by a licensed professional engineer or registered sanitarian and installed by a licensed installer in compliance with 30 TAC Chapter 285.

☐ Sewage Collection System (Sewer Lines):

☐ Private service laterals from the wastewater generating facilities will be connected to an existing SCS.

☐ Private service laterals from the wastewater generating facilities will be connected to a proposed SCS.

☐ The SCS was previously submitted on_____.

☐ The SCS was submitted with this application.

☐ The SCS will be submitted at a later date. The owner is aware that the SCS may not be installed prior to Executive Director approval.

☐ The sewage collection system will convey the wastewater to the _____ (name) Treatment Plant. The treatment facility is:

☐ Existing.
☐ Proposed.

16. ☒ All private service laterals will be inspected as required in 30 TAC §213.5.

Site Plan Requirements

Items 17 – 28 must be included on the Site Plan.

17. ☒ The Site Plan must have a minimum scale of 1" = 400'.

Site Plan Scale: 1" = 30'.

18. 100-year floodplain boundaries:

☐ Some part(s) of the project site is located within the 100-year floodplain. The floodplain is shown and labeled.
☒ No part of the project site is located within the 100-year floodplain.
The 100-year floodplain boundaries are based on the following specific (including date of material) sources(s): FEMA Flood Map #48491C0275E effectived September 26, 2008

19. ☒ The layout of the development is shown with existing and finished contours at appropriate, but not greater than ten-foot contour intervals. Lots, recreation centers, buildings, roads, open space, etc. are shown on the plan.

☐ The layout of the development is shown with existing contours at appropriate, but not greater than ten-foot intervals. Finished topographic contours will not differ from the existing topographic configuration and are not shown. Lots, recreation centers, buildings, roads, open space, etc. are shown on the site plan.

20. All known wells (oil, water, unplugged, capped and/or abandoned, test holes, etc.):

☐ There are _____ (#) wells present on the project site and the locations are shown and labeled. (Check all of the following that apply)

☐ The wells are not in use and have been properly abandoned.
☐ The wells are not in use and will be properly abandoned.
☐ The wells are in use and comply with 16 TAC §76.

☒ There are no wells or test holes of any kind known to exist on the project site.

21. Geologic or manmade features which are on the site:

☒ All sensitive geologic or manmade features identified in the Geologic Assessment are shown and labeled.
☐ No sensitive geologic or manmade features were identified in the Geologic Assessment.
☐ **Attachment D - Exception to the Required Geologic Assessment**. A request and justification for an exception to a portion of the Geologic Assessment is attached.

22. ☒ The drainage patterns and approximate slopes anticipated after major grading activities.

23. ☒ Areas of soil disturbance and areas which will not be disturbed.

24. ☒ Locations of major structural and nonstructural controls. These are the temporary and permanent best management practices.

25. ☒ Locations where soil stabilization practices are expected to occur.

26. ☐ Surface waters (including wetlands).

    ☒ N/A

27. ☐ Locations where stormwater discharges to surface water or sensitive features are to occur.

    ☒ There will be no discharges to surface water or sensitive features.

28. ☒ Legal boundaries of the site are shown.

Administrative Information

29. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

30. ☒ Any modification of this WPAP will require Executive Director approval, prior to construction, and may require submission of a revised application, with appropriate fees.

203 E. Main Street, Suite 204
Round Rock, Texas 78664
512-344-9664
TBPE FIRM #F-19351

Attachment 3A – Factors Affecting Surface Water Quality

The factors affecting water quality as a result of proposed site improvements are as follows:

The proposed site improvements for the Auer's RV Service Center on State Highway 29 include the construction of a 12,000 square foot RV repair building and the associated parking, drive aisles, and utility infrastructure. In the tables below is a summary of the impervious cover,

Site Area Calculations Block A - Lot 1			
	Area (SF)	Area (AC)	Area (%)
Site Area	125,424	2.88	100.00%
Building Area	12,892.13	0.30	10.81%
Sidewalk, Pavement, and other Impervious Cover	57,840.62	1.32	45.58%
Total Impervious Cover	70,732.75	1.62	56.39%

The proposed improvements will facilitate large, industrial vehicular traffic to the site and will cause an increase in Total Suspended Solids (TSS). The vehicular traffic which will be visiting the site will naturally cause an increase in TSS due to unforeseen leaks in vehicles which can include, but are not limited to: brake fluid, hydraulic fluid, antifreeze, oil, gasoline, and diesel fuel. The surface water quality will be affected negatively by this increase in TSS, however, this water quality will be restored to abide by TCEQ (80% TSS Removal) and City of Georgetown's (85% TSS Removal) requirements with the proposed Batch Detention Basin and Vegetative Filter Strip.

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Attachment 3B – Volume and Character of Stormwater

The volume and character of stormwater at the project site for both existing and post-development conditions are as follows:

The existing site consists of a single gravel road that does not provide access to any improvements. This existing improvement gives the pre-developed site a total of 0 square feet of impervious cover, or 0% of the 2.88-acre project area as it was all built post 1985. The existing site information is based on a combination of surveys provided by Texas Land Surveying, Inc. dated November 8, 2023 and by CDS Professional Land Surveying, Inc. dated March 25, 2025. The site slopes down from the high point near the southeastern corner of the property along Texas Highway 29 with an approximate elevation of 973' to the low point located on the northeast corner of the project area with an elevation of approximately 959.2'. Based on a soils report provided by the United States Department of Agriculture Natural Resources Conservation Service (USDA NRCS), the soils for the site consist of Eckrant stony clay. This soil is categorized by a hydrologic soil group of D. The pervious areas of the site consist of short-grass prairie in good condition. These two elements give the proposed development a Base Curve Number of 80.

The existing site is one drainage basin. See below for information about the existing drainage basin.

- Existing Drainage Basin 1 consists of the whole project site that drains to the westward side of the site to an offsite location. This basin has 0 square feet of impervious cover, or 0% of the 125,409 square foot drainage basin.

The proposed site improvements consist of the construction of a 12,000 square-foot RV repair building and the associated parking, drive aisles, and utility infrastructure. These improvements try to maintain the existing flow patterns while increasing the number of drainage basins by one.

- Developed Drainage Basin 1 consists of the eastern portion of the project site that drains to the water quality pond on the northeast corner of the project site. The existing and proposed improvements combine for 52,542 square feet of impervious cover, or 61.57% of the 85,334 square foot drainage basin.
- Developed Drainage Basin 2 consists of the rest of the proposal site.
- The proposed improvements give the basin 17,687 square feet of impervious cover, or 44.13% of the 40,075 square foot drainage basin.

These improvements will be treated by a vegetative filter strip and the proposed water quality and detention pond that utilizes a batch detention system to provide water quality treatment for the runoff.

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Attachment 3C – Suitability Letter from an Authorized Agent

This site will require an on-site sewage facility to treat the approximate 5,403.2 gallons of domestic wastewater per day. The following is a letter from an authorized agent giving written approval that this land is suitable for an on-site treatment system and will meet the requirements under 30 TAC Chapter 285 for on-site sewage facilities.

Department of Infrastructure
County Engineer's Office
3151 SE Inner Loop, Ste B
Georgetown, TX 78626
T: 512.943.3330
F: 512.943.3335

WILLIAMSON COUNTY
1848

August 13, 2025

MTA Investment Group, LLC
232 Blue Waterleaf Ln.
Georgetown, Texas 78628

RE: 6540 W. SH 29, Georgetown, TX 78628
AW0005 AW0005 – Fisk, G. Sur., ACRES 2.48

The above referenced property is located within the Edwards Aquifer Recharge Zone.

Based on the surrounding subdivisions and the soil survey for Williamson County and planning material received, this office is able to determine that the soil and site conditions of this lot is suitable to allow the use of on-site sewage facilities (OSSF). It should be noted that this office has not actually studied the physical properties of this site. Site specific conditions such as OSSF setbacks, recharge features, drainage, soil conditions, etc…, will need taken into account in planning any OSSF.

These OSSF's will have to be designed by a professional engineer or a registered sanitarian. An Edwards Aquifer protection plan shall be approved by the appropriate TCEQ regional office before an authorization to construct an OSSF may be issued. The owner will be required to inform each prospective buyer, lessee or renter of the following in writing:

- That an authorization to construct shall be required before an OSSF can be constructed in the subdivision;
- That a notice of approval shall be required for the operation of an OSSF;
- Whether an application for a water pollution abatement plan as defined in Chapter 213 has been made, whether it has been approved and if any restrictions or conditions have been placed on the approval.

If this office can be of further assistance, please do not hesitate to call.

Sincerely,

D. E. McPeters

Doug McPeters, OS 8626
Williamson County - OSSF

Williamson County - County Engineer's Office

3151 SE Inner Loop
Georgetown, TX 78626
Telephone (512) 943-3330
Fax (512) 943-3335

Date: Wednesday, August 13, 2025

Dahlia Martinez
MTA INVESTMENT GROUP LLC
232 BLUE WATERLEAF LN
GEORGETOWN, TX
786287
ReaganD@lottbrothers.com

Permit Number OSSF-2025-314
Job Address: 6540 W SH 29, GEORGETOWN, TX 78628

Dahlia Martinez,

The review for your project located at 6540 W SH 29, GEORGETOWN, TX 78628 is complete. Additional information is needed for the items listed below. Comments from this review follow.

The following comments have been provided by Paul Walter. Should you have any questions or require additional information regarding any of these comments, please contact Paul Walter by telephone at (512) 943-3625 or by email at paul.walter@wilco.org.

1) OSSF Comments Approved

Please see the attached WPAP letter for the TCEQ submittal. You can also view it in the portal.

Additional questions may be generated upon further review.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact the front counter at (512) 943-3330
If the comments provided indicate that a plan revision is required, please upload the revised plans through the online customer portal at www.mygovernmentonline.org in PDF format.

We appreciate your prompt attention to these matters.

Sincerely,

Paul Walter, OS0008032

Section IV
Temporary Stormwater Section (TCEQ-0602)

Temporary Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Michael Easton Mundine

Date: 08/27/2025

Signature of Customer/Agent:

Regulated Entity Name: Auer's RV Service Center Georgetown

Project Information

Potential Sources of Contamination

Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.

1. Fuels for construction equipment and hazardous substances which will be used during construction:

   ☐ The following fuels and/or hazardous substances will be stored on the site: _____

   These fuels and/or hazardous substances will be stored in:

   ☐ Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

☐ Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.

☐ Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.

☒ Fuels and hazardous substances will not be stored on the site.

2. ☒ **Attachment A - Spill Response Actions**. A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.

3. ☒ Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.

4. ☒ **Attachment B - Potential Sources of Contamination**. A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

Sequence of Construction

5. ☒ **Attachment C - Sequence of Major Activities**. A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.

   ☒ For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.

   ☒ For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.

6. ☒ Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: North Fork San Gabriel River

Temporary Best Management Practices (TBMPs)

Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.

7. ☒ **Attachment D – Temporary Best Management Practices and Measures**. TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

☒ A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.

☒ A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.

☒ A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.

☒ A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.

8. ☒ The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.

☐ **Attachment E - Request to Temporarily Seal a Feature**. A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.

☒ There will be no temporary sealing of naturally-occurring sensitive features on the site.

9. ☒ **Attachment F - Structural Practices**. A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.

10. ☒ **Attachment G - Drainage Area Map**. A drainage area map supporting the following requirements is attached:

☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.

☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.

☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.

☐ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

☒ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.

11. ☐ **Attachment H - Temporary Sediment Pond(s) Plans and Calculations**. Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.

☒ N/A

12. ☒ **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.

13. ☒ All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.

14. ☒ If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).

15. ☒ Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.

16. ☒ Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

Soil Stabilization Practices

Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.

17. ☒ **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices**. A schedule of the interim and permanent soil stabilization practices for the site is attached.

18. ☒ Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.

19. ☒ Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

Administrative Information

20. ☒ All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.

21. ☒ If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.

22. ☒ Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.

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Attachment 4A – Spill Response Actions

No spills of hydrocarbons or hazardous substances are expected. However, in the event such an incidence does occur, the contractor should carefully follow the following TCEQ guidelines:

Cleanup:

1. Clean up leaks and spills immediately.
2. Use a rag for small spills on paved surfaces, a damp mop for general cleanup, and absorbent material for larger spills. If the spilled material is hazardous, then the used cleanup materials are also hazardous and must be disposed of as hazardous waste.
3. Never hose down or bury dry material spills. Clean up as much of the material as possible and dispose of properly.

Minor Spills:

1. Minor spills typically involve small quantities of oil, gasoline, paint, etc. which can be controlled by the first responder at the discovery of the spill.
2. Use absorbent materials on small spills rather than hosing down or burying the spill.
3. Absorbent materials should be promptly removed and disposed of properly.
4. Follow the practice below for a minor spill:
    a. Contain the spread of the spill.
    b. Recover spilled materials.
    c. Clean the contaminated area and properly dispose of contaminated materials.

Semi-Significant Spills:

Semi-significant spills still can be controlled by the first responder along with the aid of other personnel such as laborers and the foreman, etc. This response may require the cessation of all other activities. Spills should be cleaned up immediately:

1. Contain spread of the spill.
2. Notify the project foreman immediately.
3. If the spill occurs on paved or impermeable surfaces, clean up using “dry” methods (absorbent materials, cat litter and/or rags). Contain the spill by encircling with absorbent materials and do not let the spill spread widely.
4. If the spill occurs in dirt areas, immediately contain the spill by constructing an earthen dike. Dig up and properly dispose of contaminated soil.
5. If the spill occurs during rain, cover spill with tarps or other material to prevent contaminating runoff.

Significant/Hazardous Spills:

From any event, the Reportable Quantity (RQ) = for high toxic materials the RQ>25 gallons. For petroleum/hydrocarbon liquids, spills the RQ>250 gallons (on land) or that which creates “a sheen” on water. Only certified Hazmat teams will be responsible for handling the material at the site.

For significant or hazardous spills that are in reportable quantities:

1. Notify the TCEQ by telephone as soon as possible and within 24 hours at 512-339-2929 (Austin) or 210-490-3096 (San Antonio) between 8 AM and 5 PM. After hours, contact the Environmental Release Hotline at 1-800-832-8224. It is the contractor’s responsibility to have all emergency phone numbers at the construction site. Additionally, in the event of a hazardous material spill, local Williamson county and/or city of Georgetown police, fire and potentially EMS should be contacted in order to initiate the hazardous material response team.
2. For spills of federal reportable quantities, in conformance with the requirements in 40 CFR parts 110, 119, and 302, the contractor should notify the National Response Center at (800) 424-8802.
3. Notifications should first be made by telephone and followed up with a written report of which one copy is to be kept onsite in the report binder and one copy provided to the TCEQ.
4. The services of a spill contractor or a Haz-Mat team should be obtained immediately. Construction personnel should not attempt to clean up until the appropriate and qualified staffs have arrived at the job site.
5. Other agencies which may need to be consulted include, but are not limited to, the City Police Department, County Sheriff Office, Fire Departments, etc.

More information on spill rules and appropriate responses is available on the TCEQ website at:

http://www.tceq.state.tx.us/response/spills.html

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Attachment 4B – Potential Sources of Contamination

No particular activity or process during construction is anticipated to present a significant risk of being a potential source of contamination. However, during regular construction operations, several common and minor risks of contamination are anticipated. Should the unforeseeable mishap occur during construction or regular operation of the facility, the contractor shall follow the guidelines set forth in "Attachment 4A – Spill Response Actions."

Potential sources of sediment to stormwater runoff:

- Clearing and grubbing
- Grading and excavation
- Vehicle tracking
- Topsoil stripping and stockpiling
- Landscaping

Potential pollutants and sources, other than sediment, to stormwater runoff:

- Combined Staging Area – small fueling, minor equipment maintenance, sanitary facilities.
- Materials Storage Area – solvents, adhesives, paving materials, aggregates, trash, etc.
- Construction Activities – paving, concrete pouring
- Concrete Washout Area

Potential Onsite Pollutants:

- Fertilizer
- Concrete
- Glue, adhesives
- Gasoline, diesel fuel, hydraulic fluids, antifreeze
- Sanitary toilets

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Attachment 4C – Sequence of Major Activities

1. Temporary erosion and sedimentation controls are to be installed as indicated on the approved site plan and in accordance with the stormwater pollution prevention plan (SWPPP) that is required to be posted on the site. Approximately 2.88 acres will be disturbed during this activity.
2. The environmental project manager, and/or site supervisor, and/or designated responsible party, and the general contractor will follow the storm water pollution prevention plan (SWPPP) posted on the site. Temporary erosion and sedimentation controls will be revised, if needed, to comply with city inspectors' directives, and revised construction schedule relative to the water quality plan requirements and the erosion and sedimentation control plan.
3. Temporary erosion and sedimentation controls will be inspected and maintained in accordance with the stormwater pollution plan (SWPPP) posted on the site.
4. Begin site clearing and demolition activities. Approximately 2.88 acres will be disturbed during this activity.
5. Complete construction and begin re-vegetation of the site.
6. Upon completion of the site construction and re-vegetation of a project site, the design engineer shall submit an engineer's letter of concurrence to the City of Georgetown indicating that construction, including re-vegetation, is complete and in substantial conformity with the approved plans. After receiving this letter, a final inspection will be scheduled by the appropriate city inspector.
7. After construction is complete and all disturbed areas have been re-vegetated per plan to at least 90% established, remove the temporary erosion and sedimentation controls, and complete any necessary final re-vegetation resulting from removal of the controls. Conduct any maintenance and rehabilitation that is needed.

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Attachment 4D – Temporary Best Management Practices and Measures

Prior to the commencement of any construction activity whatsoever, the contractor shall install the silt fencing per the Erosion and Sedimentation Control Plan. The silt fencing shall be installed per TCEQ and local requirements. The proposed temporary BMP are intended to control increased TSS from construction activities in the following manner:

A.) The areas around the property drain away from the site.
B.) The temporary BMPs proposed during construction activities will prevent sediment-laden runoff from pollutant sources listed in 'Attachment 4B – Potential Sources of Contamination' from leaving the proposed site. The primary method of controlling sediment-laden stormwater runoff is through silt fencing. The erosion controls will be placed per plan along the downslope edges of the project area.
C.) With the temporary silt fences in place, no unfiltered stormwater runoff will enter any surface streams or sensitive features.
D.) The proposed project seeks to honor the natural drainage patterns that currently exist in the proposed project area. There are no known sensitive geologic features on the site. After construction is completed, the site will maintain its current drainage patterns with the stormwater runoff draining towards the northwest.

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Attachment 4E – Request to Temporarily Seal a Feature

No temporary sealing of naturally occurring sensitive features on the site are proposed.

This section is not applicable to this project.

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Attachment 4F – Structural Practices

The following temporary BMP structural practices will be employed on the site:

1. Silt Fence – used as barrier protection around the downslope perimeter of the project. The fence retains sediment primarily by retarding flow and promoting deposition on the uphill side of the slope. Runoff is filtered as it passes through the geotextile fabric.
2. Concrete Washout Area – used to prevent or reduce the discharge of pollutants to stormwater from concrete waste. The concrete washout area is a designated area to wash out wastes into the temporary pit where the concrete can set, be broken up, and the disposed of properly.
3. Stabilized Construction Entrance – used to provide a stable entrance/exit condition from the construction site and keep mud and sediment off public roads. The stabilized construction entrance is a stabilized pad of crushed stone and should be located at any point traffic will be entering or leaving the construction site from a public right-of-way.
4. Contractor Staging Area – used as an area for the contractor to store and prepare equipment and materials before using them during the construction phase.

The placement of structural practices in the floodplain has been avoided.

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Attachment 4G – Drainage Area Map

See attached Construction Plans for the Existing and Proposed Drainage Area Maps.

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Attachment 4H – Temporary Sediment Pond(s) Plan and Calculations

There are no temporary sediment ponds or basins proposed as a temporary BMP for stormwater management on this project.

This section is not applicable to this project.

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Attachment 4I – Inspection and Maintenance for BMPs

The inspection and maintenance of temporary BMP's will be made according to TCEQ RG-348, Complying with the Edwards Aquifer Rules Technical Guidance on Best Management Practices.

Inspection Personnel:

Inspections shall be conducted by qualified representatives of the contractor acting on behalf of the owner or a designated party if hired separately by the owner. Each operator must delegate authority to the specifically described position or person performing inspections, as provided by 30 TAC 305.128, as an authorized person for signing reports and performing certain activities requested by the director or required by the TPDES general permit. This delegation of authority must be provided to the director of TCEQ in writing and a copy shall be kept along with the signed effective copy of the SWP3.

Inspection Schedule and Procedures - Inspections must comply with the following:

A.) An inspection shall occur weekly and after any rain event. This inspection should include an inspection of the temporary concrete washout area.

B.) The authorized party shall inspect all disturbed areas of the site, areas used for storage of materials that are exposed to precipitation, structural control measures, and locations where vehicles enter or exit the site.

C.) Disturbed areas and areas used for storage of materials that are exposed to precipitation or within limits of the 1% annual chance (100 year) floodplain must be inspected for evidence of, or the potential for, pollutants entering the runoff from the site. Erosion and sediment control measures identified in the plan must be observed to ensure that they are operating correctly. Observations can be made during wet or dry weather conditions. Where discharge locations or points are accessible, they must be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters. This can be done by inspecting receiving waters to see whether any signs or erosion or sediment are associated with the discharge location. Locations where vehicles enter or exit the site must be inspected for evidence of off-site sediment tracking.

D.) Based on the results of the inspection, the site description and the pollution prevention measures identified in the plan must be revised as soon as possible after an inspection that reveals inadequacies. The inspection and plan review process must provide for timely implementation of any changes to the plan with 7 calendar days following the inspection.

E.) An inspection report that summarizes the scope of the inspection, name(s) and qualifications of personnel conducting the inspection, the dates of the inspection, major observations relating to the implementation of the SWP3. Major observations shall include as a minimum location of discharges of sediment or other pollutants from the site, location of BMPs that need to be maintained, location of BMPs that failed to operate as designed or proved inadequate for a particular location, and locations where BMPs are needed. Actions taken as a result of the inspections must be described within, and retained as a part of, the SWP3. Reports must identify any incidents of non-compliance. Where a report does not identify any incidents of non-compliance, the report must contain a certification that the facility or site is in compliance with the SWP3 and the TPDES general permit. The report must be signed by the authorized representative delegated by the operators in accordance with TAC 305.128.

Maintenance and Corrective Actions - Maintenance of erosion control facilities shall consist of the minimum requirements as follows:

A.) In ongoing construction areas inspect erosion control improvements to confirm facilities are in place and operable. Where facilities have been temporarily set aside or damaged due to construction activity, place facilities in service before leaving job site.
B.) If weather forecast predicts possibility of rain, check entire facilities throughout site to assure facilities are in place and operable. If job site weather conditions indicate high probability of rain, make special inspection of erosion control facilities.
C.) After rainfall events review erosion control facilities as soon as site is accessible. Clean berm/swales and other structural facilities. Determine where additional facilities or alternative techniques are needed to control sediment leaving site.
D.) After portions of site have been seeded, review these areas on regular basis in accordance with project specifications to assure proper watering until grass is established. Reseed areas where grass is not well established.
E.) Spills are to be handled as specified by the manufacturer of the product in a timely safe manner by personnel. The site superintendent will be responsible for coordinating spill prevention and cleanup operations.
F.) Concrete trucks will discharge extra concrete or wash out drum only at an approved location on site. Residual product shall be properly disposed of.
G.) Inspect vehicle entrance and exits for evidence of off-site tracking and correct as needed.
H.) If sediment escapes the site, the contractor where feasible and where access is available shall collect and remove sedimentation material by appropriate non-damaging methods. Additionally, the contractor shall correct the condition causing discharges.
I.) If inspections or other information sources reveal a control has been used incorrectly, or that a control is performing inadequately, the contractor must replace, correct or modify the control as soon as practical after discovery of the deficiency.

Silt Fence – Inspection and maintenance guidelines for silt fences are as follows:

A.) Inspect all fencing weekly, and after any rainfall.
B.) Remove sediment when buildup reaches 6 inches.
C.) Replace any torn fabric or install a second line of fencing parallel to the torn section.
D.) Replace or repair any sections crushed or collapsed in the course of construction activity. If a section of fence is obstructing vehicular access, consider relocating it to a spot where it will provide equal protection, but will not obstruct vehicles. A triangular filter dike may be preferable to a silt fence at common vehicle access points.
E.) When construction is complete, the sediment should be disposed of in a manner that will not cause additional siltation and the prior location of the silt fence should be revegetated. The fence itself should be disposed of in an approved landfill.

Stabilized Construction Entrance – Inspection and maintenance guidelines for the stabilized construction entrance are as follows:

A.) The entrance should be maintained in a condition, which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment.
B.) All sediments spilled, dropped, washed or tracked onto public rights-of-way should be removed immediately by contractor.
C.) When necessary, wheels should be cleaned to remove sediment prior to entrance onto public rights-of-way.
D.) When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin.
E.) All sediment should be prevented from entering any storm drain, ditch, or water course by using approved methods.

Concrete Washout Area – Inspection and maintenance guidelines for the concrete washout area are as follows:

A.) Concrete washout areas should be located at least 50 feet from sensitive features, storm drains, open ditches, or water bodies.
B.) Do not allow runoff from this area by constructing a temporary pit or bermed area large enough for liquid and solid waste.
C.) Plastic lining material should be a minimum of 10 mil in polyethylene sheeting and should be free of holes, tears, or other defects that compromise the impermeability of the material.
D.) When temporary concrete washout facilities are no longer required for the work, the hardened concrete should be removed and disposed of. Materials sued to construct temporary concrete washout facilities should be removed from the site of the work and disposed of. Holes, depressions, or other ground disturbance caused by the removal of the temporary concrete washout facilities should be backfilled and repaired.

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Attachment 4J – Schedule of Interim and Permanent Soil Stabilization Practices

Prior to Disturbance – Install all temporary erosion and sedimentation control features.

During Construction – Inspect and maintain all temporary erosion and sedimentation control structures per TCEQ regulations.

After Completion of Permanent Erosion and Sediment Controls – Stabilize and restore all areas disturbed during construction. Permanent seeding will be applied immediately after the final design grades are achieved on portions of the site but no later than 14 days after construction activities have permanently ceased. After the entire site is stabilized, any sediment that has accumulated will be removed and hauled off-site for disposal. Construction debris, trash and temporary BMPs including silt fences, material storage areas, sanitary toilets, etc.) will also be removed and any areas disturbed during removal will be seeded immediately.

Section V
Permanent Stormwater Section (TCEQ-0600)

Permanent Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(C), (D)(Ii), (E), and (5), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Permanent Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Michael Easton Mundine

Date: 08/27/2025

Signature of Customer/Agent

Regulated Entity Name: Auer's RV Service Center Georgetown

Permanent Best Management Practices (BMPs)

Permanent best management practices and measures that will be used during and after construction is completed.

1. ☒ Permanent BMPs and measures must be implemented to control the discharge of pollution from regulated activities after the completion of construction.

   ☐ N/A

2. ☒ These practices and measures have been designed, and will be constructed, operated, and maintained to insure that 80% of the incremental increase in the annual mass loading of total suspended solids (TSS) from the site caused by the regulated activity is removed. These quantities have been calculated in accordance with technical guidance prepared or accepted by the executive director.

   ☒ The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site.

☐ A technical guidance other than the TCEQ TGM was used to design permanent BMPs and measures for this site. The complete citation for the technical guidance that was used is: _____

☐ N/A

3. ☒ Owners must insure that permanent BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the appropriate regional office within 30 days of site completion.

   ☐ N/A

4. Where a site is used for low density single-family residential development and has 20 % or less impervious cover, other permanent BMPs are not required. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

   ☐ The site will be used for low density single-family residential development and has 20% or less impervious cover.
   ☐ The site will be used for low density single-family residential development but has more than 20% impervious cover.
   ☒ The site will not be used for low density single-family residential development.

5. The executive director may waive the requirement for other permanent BMPs for multi-family residential developments, schools, or small business sites where 20% or less impervious cover is used at the site. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

   ☐ **Attachment A - 20% or Less Impervious Cover Waiver**. The site will be used for multi-family residential developments, schools, or small business sites and has 20% or less impervious cover. A request to waive the requirements for other permanent BMPs and measures is attached.
   ☐ The site will be used for multi-family residential developments, schools, or small business sites but has more than 20% impervious cover.
   ☒ The site will not be used for multi-family residential developments, schools, or small business sites.

6. ☒ **Attachment B - BMPs for Upgradient Stormwater**.

☐ A description of the BMPs and measures that will be used to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site is attached.

☒ No surface water, groundwater or stormwater originates upgradient from the site and flows across the site, and an explanation is attached.

☐ Permanent BMPs or measures are not required to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site, and an explanation is attached.

7. ☒ **Attachment C - BMPs for On-site Stormwater**.

☒ A description of the BMPs and measures that will be used to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff from the site is attached.

☐ Permanent BMPs or measures are not required to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff, and an explanation is attached.

8. ☐ **Attachment D - BMPs for Surface Streams**. A description of the BMPs and measures that prevent pollutants from entering surface streams, sensitive features, or the aquifer is attached. Each feature identified in the Geologic Assessment as sensitive has been addressed.

☒ N/A

9. ☒ The applicant understands that to the extent practicable, BMPs and measures must maintain flow to naturally occurring sensitive features identified in either the geologic assessment, executive director review, or during excavation, blasting, or construction.

☒ The permanent sealing of or diversion of flow from a naturally-occurring sensitive feature that accepts recharge to the Edwards Aquifer as a permanent pollution abatement measure has not been proposed.

☐ **Attachment E - Request to Seal Features**. A request to seal a naturally-occurring sensitive feature, that includes, for each feature, a justification as to why no reasonable and practicable alternative exists, is attached.

10. ☒ **Attachment F - Construction Plans**. All construction plans and design calculations for the proposed permanent BMP(s) and measures have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer, and are signed, sealed, and dated. The plans are attached and, if applicable include:

☒ Design calculations (TSS removal calculations)
☒ TCEQ construction notes
☒ All geologic features
☒ All proposed structural BMP(s) plans and specifications

☐ N/A

11. ☒ **Attachment G - Inspection, Maintenance, Repair and Retrofit Plan**. A plan for the inspection, maintenance, repairs, and, if necessary, retrofit of the permanent BMPs and measures is attached. The plan includes all of the following:

    ☒ Prepared and certified by the engineer designing the permanent BMPs and measures
    ☒ Signed by the owner or responsible party
    ☒ Procedures for documenting inspections, maintenance, repairs, and, if necessary retrofit
    ☒ A discussion of record keeping procedures

    ☐ N/A

12. ☐ **Attachment H - Pilot-Scale Field Testing Plan**. Pilot studies for BMPs that are not recognized by the Executive Director require prior approval from the TCEQ. A plan for pilot-scale field testing is attached.

    ☒ N/A

13. ☒ **Attachment I -Measures for Minimizing Surface Stream Contamination**. A description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is attached. The measures address increased stream flashing, the creation of stronger flows and in-stream velocities, and other in-stream effects caused by the regulated activity, which increase erosion that results in water quality degradation.

    ☐ N/A

Responsibility for Maintenance of Permanent BMP(s)

Responsibility for maintenance of best management practices and measures after construction is complete.

14. ☒ The applicant is responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred.

    ☐ N/A

15. ☒ A copy of the transfer of responsibility must be filed with the executive director at the appropriate regional office within 30 days of the transfer if the site is for use as a multiple single-family residential development, a multi-family residential development, or a non-residential development such as commercial, industrial, institutional, schools, and other sites where regulated activities occur.

    ☐ N/A

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Attachment 5A – 20% or Less Impervious Cover Waiver

The site will not be used for multi-family residential developments, schools, or small business sites. This project will also have more than 20% impervious cover.

This section is not applicable to this project.

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Attachment 5B – BMPs for Upgradient Stormwater

The proposed development receives no upgradient stormwater runoff from off the proposed site. The site has a general slope downstream from southeast to northwest, and on the eastern side of the project (where any offsite runoff would be generated) there is an existing building with adjacent inlets in the grassy area. This building and its associated infrastructure prevent any stormwater from running off onto the project site. The southern boundary follows a road with a drainage ditch which also means that any stormwater landing on this side is navigated away from flowing onto the site. The north and western borders of the project are downhill of the rest of the site so any stormwater landing here will flow away from the project.

This section is not applicable to this project.

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Attachment 5C – BMPs for On-Site Stormwater

In general accordance with the TCEQ Technical Guidance Manual, onsite stormwater BMP's must be designed to remove at least 80% of the increased total suspended solids (TSS) from the proposed project. The City of Georgetown requires an additional 5%, for a minimum requirement of 85% TSS removal. A proposed detention and water quality pond utilizing a Batch Detention Basin system will be used for this WPAP. The proposed site drains to the proposed Batch Detention Basin located on the northeastern corner of the site.

As described in the Addendum Sheet of "Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices" (TCEQ Approval of Innovative Technology, Section 3.2.17),

> "Batch Detention Basins capture and temporarily detain the water quality volume from a storm event using an automated controller and valve. They are intended to serve primarily as settling basins for the solids fraction, and as a means of limiting downstream erosion by controlling peak flow rates during erosive events… Batch detention basins are designed to prevent clogging of the outflow structure and resuspension of captured sediment during a discharge. They also provide enhanced dissolved pollutant removal performance. The batch detention design typically incorporates a non-clogging outflow structure, such as an orifice protected by a trash rack, or a perforated riser pipe protected by riprap."

The proposed site layout and grading divide the site into 2 separate detention basins. Drainage basin #1 includes the entirety of the eastern border of the project site, roughly two thirds of the southern border, and roughly one half of the northern border with the north and south boundaries connecting through the project site. This all drains to the water quality pond on the northeastern corner of the property. Drainage Basin #2 is the remaining western area of the site with a portion being treated by an on-site vegetated filter strip to the west of the site.

The site has an area of 2.88 acres, and the existing impervious cover of 0.20 acres but it was not existing in 1985. The proposed improvements will bring the impervious cover up to 1.61 acres. The portion of the project draining to the detention and water quality pond is only 1.96 acres of which 1.21 acres are impervious. Information for just the proposed site was plugged into the TCEQ TSS Removal Calculation Spreadsheet. Using the TCEQ Calculation Spreadsheet, this information gives us a required TSS load to be removed of 1,414 lbs, water quality volume of 10,433 cubic feet, a sediment storage volume of 2,087 cubic feet, and a combined total of 12,519 cubic feet. See the following pages for the TCEQ TSS calculations for this development. Additional TSS calculations were performed for the total site and can be seen in the table.

TSS Removal Calculations		
	Existing Conditions	Proposed Conditions
Site Area	2.88 ac	2.88 ac
Impervious Cover	0 ac	1.61 ac
TSS Required to be Removed (Lm)	0 lbs	1,414 lbs
TSS Removal by Batch Detention Pond	0 lbs	1,221 lbs
TSS Removal by Vegetative Filter Strip	0 lbs	193 lbs
Total TSS Removal	0 lbs	1,414 lbs

The batch detention system has been sized to treat all of the added impervious cover with these plans in Basin PR-01 as well as the existing impervious cover. Using the TCEQ Calculation Spreadsheet, the required water volume for this Batch Detention Basin is 10,433 cubic feet. An additional 2,087 cubic feet are required for sediment storage for a total capture volume of 12,519 cubic feet. The batch detention pond has a water quality elevation of 963.5 feet which is the Flowline of the one foot tall and 5.25-foot-wide concrete outflow structure. This elevation gives the pond a water quality volume of 13,226.63 cubic feet, which exceeds the required volume. As designed, the proposed water quality pond provides 22,341.1 cubic feet of volume at an elevation of 964.5', which will be the rim elevation of the SmartPOND System. This capture volume exceeds the volume necessary for the minimum 80% TSS required by TCEQ and the 85% required by the City of Georgetown.

The vegetative filter strip is proposed to treat the impervious cover that can be found in Drainage Basin PR-02. According to Table 3-1 of TCEQ's Technical Guidance on Best Management Practices Manual, vegetative filter strips provide 85% TSS removal efficiency. Drainage Basin PR-02 has an area of 0.92 acres, a predevelopment impervious area of 0 acres, and a post-development impervious area of 17,687 square-feet, or 44.13% of the basin. This information gives the basin a maximum load of 193 pounds of TSS that can be removed from this basin using this treatment technique, and the vegetative filter strip is proposed to remove all 193 pounds.

Texas Commission on Environmental Quality

TSS Removal Calculations 04-20-2009

08/27/2025

Additional information is provided for cells with a red triangle in the upper right corn
Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-
Characters shown in red are data entry fields.
Characters shown in black (Bold) are calculated fields. Changes to these fields will r

1. The Required Load Reduction for the total project: Calculations from RG-348

Page 3-29 Equation 3.3: $L_M = 27.2(A_N \times P)$

where:

$L_{M\ TOTAL\ PROJECT}$ = Required TSS removal resul
A_N = Net increase in impervious a
P = Average annual precipitation

Site Data: Determine Required Load Removal Based on the Entire Project

County =	Williamson	
Total project area included in plan * =	2.88	acres
Predevelopment impervious area within the limits of the plan * =	0.00	acres
Total post-development impervious area within the limits of the plan* =	1.62	acres
Total post-development impervious cover fraction * =	0.56	
P =	32	inches
$L_{M\ TOTAL\ PROJECT}$ =	1414	lbs.

* The values entered in these fields should be for the total project area.

Number of drainage basins / outfalls areas leaving the plan area = 1

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. = 1

Total drainage basin/outfall area =	1.96	acres
Predevelopment impervious area within drainage basin/outfall area =	0.00	acres
Post-development impervious area within drainage basin/outfall area =	1.23	acres
Post-development impervious fraction within drainage basin/outfall area =	0.63	
$L_{M\ THIS\ BASIN}$ =	1069	lbs.

3. Indicate the proposed BMP Code for this basin.

Proposed BMP = Batch Detention
Removal efficiency = 91 percent

4. Calculate Maximum TSS Load Removed (L_R) for this Drainage Basin by the selected BMP Type.

RG-348 Page 3-33 Equation 3.7: L_R = (BMP efficiency) x P x (A_I x 3

where:

A_C = Total On-Site drainage area
A_I = Impervious area proposed in
A_P = Pervious area remaining in tl
L_R = TSS Load removed from this

A_C =	**1.96**	acres
A_I =	**1.23**	acres
A_P =	**0.73**	acres
L_R =	**1249**	lbs

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area

Desired $L_{M\ THIS\ BASIN}$ =	**1221**	lbs.
F =	**0.98**	

6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area.

Rainfall Depth =	**3.33**	inches
Post Development Runoff Coefficient =	**0.44**	
On-site Water Quality Volume =	**10433**	cubic feet

Calculations from RG-348

Off-site area draining to BMP =	**0.00**	acres
Off-site Impervious cover draining to BMP =	**0.00**	acres
Impervious fraction of off-site area =	**0**	
Off-site Runoff Coefficient =	**0.00**	
Off-site Water Quality Volume =	**0**	cubic feet
Storage for Sediment =	**2087**	
Total Capture Volume (required water quality volume(s) x 1.20) =	**12519.26**	cubic feet

The following sections are used to calculate the required water quality volume(s) for the selected BMP
The values for BMP Types not selected in cell C45 will show NA.

Texas Commission on Environmental Quality

TSS Removal Calculations 04-20-2009

Additional information is provided for cells with a red triangle in the upper right corn
Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-
Characters shown in red are data entry fields.
Characters shown in black (Bold) are calculated fields. Changes to these fields will r

1. The Required Load Reduction for the total project: Calculations from RG-348

Page 3-29 Equation 3.3: $L_M = 27.2(A_N \times P)$

where:

$L_{M\ TOTAL\ PROJECT}$ = Required TSS removal resul
A_N = Net increase in impervious a
P = Average annual precipitation

Site Data: Determine Required Load Removal Based on the Entire Project

County =	Williamson	
Total project area included in plan * =	2.88	acres
Predevelopment impervious area within the limits of the plan * =	0.00	acres
Total post-development impervious area within the limits of the plan* =	1.62	acres
Total post-development impervious cover fraction * =	0.56	
P =	32	inches
$L_{M\ TOTAL\ PROJECT}$ =	1414	lbs.

* **The values entered in these fields should be for the total project area.**

Number of drainage basins / outfalls areas leaving the plan area = 2

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. = 2

Total drainage basin/outfall area =	0.32	acres
Predevelopment impervious area within drainage basin/outfall area =	0.00	acres
Post-development impervious area within drainage basin/outfall area =	0.20	acres
Post-development impervious fraction within drainage basin/outfall area =	0.64	
$L_{M\ THIS\ BASIN}$ =	177	lbs.

3. Indicate the proposed BMP Code for this basin.

Proposed BMP = Vegetated Filter Strips
Removal efficiency = 85 percent

4. Calculate Maximum TSS Load Removed (L_R) for this Drainage Basin by the selected BMP Type.

RG-348 Page 3-33 Equation 3.7: L_R = (BMP efficiency) x P x (A_I x 3

where:

A_C = Total On-Site drainage area
A_I = Impervious area proposed in
A_P = Pervious area remaining in tl
L_R = TSS Load removed from this

A_C =	**0.32**	acres
A_I =	**0.20**	acres
A_P =	**0.11**	acres
L_R =	**193**	lbs

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area

Desired $L_{M\ THIS\ BASIN}$ =	**193**	lbs.
F =	**1.00**	

16. Vegetated Filter Strips

Designed as Required in RG

There are no calculations required for determining the load or size of vegetative filter strips.
The 80% removal is provided when the contributing drainage area does not exceed 72 feet (direction c
the sheet flow leaving the impervious cover is directed across 15 feet of engineered filter strips with n
across 50 feet of natural vegetation with a maximum slope of 10%. There can be a break in grade as lo

If vegetative filter strips are proposed for an interim permanent BMP, they may be sized as described c

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Attachment 5D – BMPs for Surface Streams

No BMPs are proposed to specifically affect surface streams.

The function of the proposed onsite BMPs is to remove TSS from stormwater runoff while retaining natural flow patterns downstream of the site. Therefore, the BMPs proposed for reducing pollutant loads in surface stream are the onsite BMPs and are described in the previous section: “Attachment 5C – BMPs for On-site Stormwater”.

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Attachment 5E – Request to Seal Features

The permanent sealing of or diversion of flow from a naturally occurring sensitive feature that accepts recharge to the Edwards Aquifer as a permanent pollution abatement measure has not been proposed for any features on this site.

This section is not applicable to this project.

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Attachment 5F – Construction Plans

An electronic copy of the design plans is included with this submittal.

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Attachment 5G – Inspection, Maintenance, Repair, and Retrofit Plan

The following are recommended maintenance procedures as outlined in TCEQ's Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices.

Batch Detention Basin

Batch detention basins may have somewhat higher maintenance requirements than an extended detention basin since they are active stormwater controls. The maintenance activities are identical to those of extended detention basins with the addition of maintenance and inspections of the automatic controller and the valve at the outlet.

Inspections: Inspections should take place a minimum of twice a year. One inspection should take place during wet weather to determine if the basin is meeting the target detention time of 12 hours and a drawdown time of no more than 48 hours. The remaining inspections should occur between storm events so that manual operation of the valve and controller can be verified. The level sensor in the basin should be inspected and any debris or sediment in the area should be removed. The outlet structure and the trash screen should be inspected for signs of clogging. Debris and sediment should be removed from the orifice and outlet(s) as described in previous sections. Debris obstructing the valve should be removed. During each inspection, erosion areas inside and downstream of this BMP should be identified and repaired/revegetated immediately.

Mowing: The basin, basin side-slopes, and embankment of the basin must be mowed to prevent woody growth and control weeds. A mulching mower should be used, or the grass clippings should be caught and removed. Mowing should take place at least twice a year, or more frequently if vegetation exceeds 18 inches in height. More frequent mowing to maintain aesthetic appeal may be necessary in landscaped areas.

Litter and Debris Removal: Litter and debris removal should take place at least twice a year, as part of the periodic mowing operations and inspections. Debris and litter should be removed from the surface of the basin. Particular attention should be paid to floatable debris around the outlet structure. The outlet should be checked for possible clogging or obstructions and any debris removed.

Erosion Control: The basin side slopes and embankment all may periodically suffer from slumping and erosion. To correct these problems, corrective action, such as regrading and revegetation, may be necessary. Correction of erosion control should take place whenever required based on the periodic inspections.

Nuisance Control: Standing water or soggy conditions may occur in the basin. Some standing water may occur after a storm event since the valve may close with 2 to 3 inches of water in the basin. Some flow into the basin may also occur between storms due to spring flow and residential water use that enters the storm sewer system. Twice a year, the facility should be evaluated in terms of nuisance control (insects, weeds, odors, algae, etc.).

Structural Repairs and Replacement: With each inspection, any damage to structural elements of the basin (pipes, concrete drainage structures, retaining walls, etc.) should be identified and repaired immediately. An example of this type of repair can include patching of cracked concrete, sealing of voids, removal of vegetation from cracks and joints. The various inlet/outlet structures in a basin will eventually deteriorate and must be replaced.

Sediment Removal: A properly designed batch detention basin will accumulate quantities of sediment over time. The accumulated sediment can detract from the appearance of the facility and reduce the pollutant removal performance of the facility. The sediment also tends to accumulate near the outlet structure and can interfere with the level sensor operation. Sediment shall be removed from the basin at least every 5 years, when sediment depth exceeds 6 inches, when the sediment interferes with the level sensor or when the basin does not drain within 48 hours. Care should be taken not to compromise the basin lining during maintenance.

Logic Controller: The Logic Controller should be inspected as part of the twice-yearly investigations. Verify that the external indicators (active, cycle in progress) are operating properly by turning the controller off and on, and by initiating a cycle by triggering the level sensor in the basin. The valve should be manually opened and closed using the open/close switch to verify valve operation and to assist in inspecting the valve for debris. The solar panel should be inspected and any dust or debris on the panel should be carefully removed. The controller and all other circuitry and wiring should be inspected for signs of corrosion, damage from insects, water leaks, or other damage. At the end of the inspection, the controller should be reset.

Record Keeping: Records of all inspections and maintenance for the facility shall be recorded and maintained for the water quality facility beginning at startup of the facility. Record keeping shall be detailed to provide type of maintenance or repair made, date of the service, and detail of the extent of the maintenance or repair. The owner or responsible party of the facility is responsible for maintaining the facility as outlined in this plan until such time as another entity assumes responsibility in writing or ownership of the property is transferred. A copy of the transfer of ownership or responsibility must be filed with the Executive Director of TCEQ within 30 days of the transfer.

Vegetative Filter Strip

Once a vegetated area is well established, little additional maintenance is generally necessary. The key to establishing a viable vegetated feature is the care and maintenance it receives in the first few months after it is plant ed. Once established, all vegetated BMPs require some basic maintenance to insure the health of the plants including:

Pest Management: An Integrated Pest Management (IPM) Plan should be developed for vegetated areas. This plan should specify how problem insects and weeds will be controlled with minimal or no use of insecticides and herbicides.

Seasonal Mowing and Lawn Care: If the filter strip is made up of turf grass, it should be mowed as needed to limit vegetation height to 18 inches, using a mulching mower (or removal of clippings). If native grasses are used, the filter may require less frequent mowing, but a minimum of twice annually. Grass clippings and brush debris should not be deposited on vegetated filter strip areas. Regular mowing should also include weed control practices, however herbicide use should be kept to a minimum (Urbonas et al., 1992). Healthy grass can be maintained without using fertilizers because runoff usually contains sufficient nutrients. Irrigation of the site can help assure a dense and healthy vegetative cover.

Inspection: Inspect filter strips at least twice annually for erosion or damage to vegetation; however, additional inspection after periods of heavy runoff is most desirable. The strip should be checked for uniformity of grass cover, debris and litter, and areas of sediment accumulation. More frequent inspections of the grass cover during the first few years after establishment will help to determine if any problems are developing, and to plan for long-term restorative maintenance needs. Bare spots and areas of erosion identified during semi-annual

inspections must be replanted and restored to meet specifications. Construction of a level spreader device may be necessary to reestablish shallow overland flow.

Debris and Litter Removal: Trash tends to accumulate in vegetated areas, particularly along highways. Any filter strip structures (i.e. level spreaders) should be kept free of obstructions to reduce floatables being flushed downstream, and for aesthetic reasons. The need for this practice is determined through periodic inspection, but should be performed no less than 4 times per year.

Sediment Removal: Sediment removal is not normally required in filter strips, since the vegetation normally grows through it and binds it to the soil. However, sediment may accumulate along the upstream boundary of the strip preventing uniform overland flow. Excess sediment should be removed by hand or with flat-bottomed shovels.

Grass Reseeding and Mulching: A healthy dense grass should be maintained on the filter strip. If areas are eroded, they should be filled, compacted, and reseeded so that the final grade is level. Grass damaged during the sediment removal process should be promptly replaced using the same seed mix used during filter strip establishment. If possible, flow should be diverted from the damaged areas until the grass is firmly established. Bare spots and areas of erosion identified during semi-annual inspections must be replanted and restored to meet specifications. Corrective maintenance, such as weeding or replanting should be done more frequently in the first two to three years after installation to ensure stabilization. Dense vegetation may require irrigation immediately after planting, and during particularly dry periods, particularly as the vegetation is initially established.

Owner's Signature

7/28/25
Date

Engineer's Signature

08/27/2025
Date

2P CONSULTANTS, LLC
203 E. Main Street, Suite 204
Round Rock, Texas 78664
512-344-9664
TBPE FIRM #F-19351

Attachment 5H – Pilot-Scale Field Testing Plan

TCEQ's Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices was used to design permanent BMPs and measures for this site.

This section is not applicable to this project.

2P CONSULTANTS, LLC
203 E. Main Street, Suite 204
Round Rock, Texas 78664
512-344-9664
TBPE FIRM #F-19351

Attachment 5I – Measures for Minimizing Surface Stream Contamination

BMPs proposed to reduce pollutants in surface streams are discussed in Attachment 5C: "BMPs for Onsite Stormwater." Peak runoff rates for the existing and proposed drainage areas were determined using HEC-HMS 4.10. Atlas 14 rainfall precipitation data was taken from the Williamson County Subdivision Regulations for a site located over the San Gabriel River Zone. This rainfall data was plugged into HEC-HMS as a 24-hour frequency storm for the 2, 10, 25, 50, and 100-year storm events. The Atlas 14 rainfall precipitation data can be found in the table below.

WILLIAMSON COUNTY ATLAS 14 PRECIPITATION DATA FOR THE SAN GABRIEL RIVER ZONE					
DURATION	2-YR	10-YR	25-YR	50-YR	100-YR
5 MIN	0.51	0.757	0.921	1.05	1.19
15 MIN	1.02	1.51	1.84	2.1	2.37
1 HR	1.88	2.79	3.4	3.88	4.39
2 HR	2.3	3.55	4.43	5.16	5.98
3 HR	2.55	4.02	5.09	6.01	7.06
6 HR	2.98	4.81	6.18	7.38	8.75
12 HR	3.44	5.54	7.12	8.48	10.1
24 HR	3.94	6.3	8.04	9.53	11.2

The existing site consists of a single gravel road that does not provide access to any improvements. This existing improvement gives the pre-developed site a total of 8,550 square feet of impervious cover, or 7% of the 2.88-acre project area. The existing site information is based on a combination of surveys provided by Texas Land Surveying, Inc. dated November 8, 2023 and by CDS Professional Land Surveying, Inc. dated March 25, 2025. The site slopes down from the high point near the southeastern corner with an approximate elevation of 973' to the low point located on the northeastern end of the project area with an elevation of approximately 959'. One drainage basin was defined from the existing onsite topography in combination with the points of study that were chosen based on the proposed development. See below for information about the existing drainage basin.

- Existing Drainage Basin 1 consists of the whole project site. This basin has 8,550 square feet of impervious cover, or 7% of the 125,409 square foot drainage basin.

A summary of the existing conditions drainage basin information and the drainage calculations from the HEC-HMS model for the existing conditions can be found at the top of the next page.

EXISTING CONDITIONS DRAINAGE BASIN INFORMATION								
BASIN	AREA			IMPERVIOUS COVER		SCS CURVE NUMBER	TOC (MIN)	LAG (MIN)
	SF	AC	SQ MI	SF	%			
EX-01	125409	2.879	0.00450	8,550	7%	80.00	9.5	5.7

EXISTING CONDITIONS HEC-HMS RESULTS					
EVENT	2-YR	10-YR	25-YR	50-YR	100-YR
EX-01	7.67	13.97	18.25	21.76	26.79

The proposed site improvements consist of the construction of a 12,000 square foot RV repair building and the associated parking, drive aisles, and utility infrastructure. These improvements try to maintain the existing flow patterns but increases the number of drainage basins to two. See below for information about the developed conditions drainage basins.

- Developed Drainage Basin 1 consists of the portion of the site starting from the whole eastern edge, approximately half of the northern border, and approximately two-thirds of the southern border with a vertical line connecting the northern and southern edges. This basin drains to the northeastern corner of the site where there is proposed to be a water quality pond. The existing and proposed improvements combine for 52,542 square feet of impervious cover, or 61.57% of the 85,334 square foot drainage basin.
- Developed Drainage Basin 2 consists of the portion of the site that follows the entirety of the western edge of the site and contains the area not captured by drainage basin 1. This basin drains to the west, with a portion being treated by a vegetative filter strip. The proposed improvements give the basin 17,687 square feet of impervious cover, or 44.13% of the 40,075 square foot drainage basin.

A summary of the developed conditions drainage basin information and drainage calculations from the HEC-HMS model for the proposed conditions are as follows:

PROPOSED CONDITIONS DRAINAGE BASIN INFORMATION								
BASIN	AREA			IMPERVIOUS COVER		SCS CURVE NUMBER	TOC (MIN)	LAG (MIN)
	SF	AC	SQ MI	SF	%			
PR-01	85,334	1.959	0.00306	52,542	61.57%	80.00	7.7	4.6
PR-02	40,075	0.920	0.00144	17,687	44.13%	80.00	6.0	3.6

PROPOSED CONDITIONS HEC-HMS RESULTS					
EVENT	2-YR	10-YR	25-YR	50-YR	100-YR
PR-01	7.19	11.48	14.38	16.13	20.46
PR-02	3.49	5.78	7.34	8.14	9.59
POND 1	5.25	8.66	10.99	12.5	15.6
POI-01	7.66	12.88	16.49	18.93	22.86

EXISTING VS PROPOSED CONDITIONS CALULCATIONS					
EVENT	2-YR	10-YR	25-YR	50-YR	100-YR
POI 1	-0.01	-1.09	-1.76	-2.83	-3.93

The proposed Batch Detention Basin will provide the necessary detention needed to lower the stormwater runoff flow rate while also providing some of the water quality treatment required for the development. The batch detention system has a riser pipe with a trash cage and sediment marker at the low spot of the pond, an elevation of 960.97'. This riser pipe drains through a 6" PVC pipe that is connected to a valve and an electronic system that can determine when there is a storm event. Stormwater runoff from the property will drain into the pond and fill up to the water quality elevation at 963.5' before exiting through 1' deep 5.25' wide concrete overflow weir with a flowline elevation of 963.5'. Twelve hours after the storm event happens, the automated batch detention system will open the valve on the 6" PVC pipe, releasing the stormwater runoff below the water quality elevation over a 46-hour period until the pond is completely empty. A table showing the storage capacity of the Batch Detention Basin can be seen below:

POND STAGE STORAGE		
Elevation (FT)	Area (SF)	Cumulative Volume (Cu. Ft)
960.92	0	0
961	55.44	2.22
961.25	891.01	120.52
961.5	2,316.72	521.49
961.75	3,934.46	1302.89
962	5,288.23	2455.72
962.25	6,304.67	3904.84
962.5	6,984.36	5565.97
962.75	7,353.72	7358.23
963	7,655.64	9234.4
963.25	7,978.54	11188.67
963.5	8,325.12	13226.63
963.75	8,695.37	15354.19
964	9,089.59	17577.31
964.25	9,521.38	19903.68
964.5	9,977.96	22341.1

Stormwater runoff leaving the Batch Detention Basin is reduced from the existing conditions for the 2-YR, 10-YR, 25-YR, 50-YR, and 100-YR storm events. Stormwater runoff from the Batch Detention Basin will enter a 6" pipe and get conveyed to an existing stormwater structure and will have no adverse impacts to neighboring or downstream properties.

Section VI
Agent Authorization Form (TCEQ-0599)

Agent Authorization Form
For Required Signature
Edwards Aquifer Protection Program
Relating to 30 TAC Chapter 213
Effective June 1, 1999

I Michael Auer,
Print Name

Owner,
Title - Owner/President/Other

of MTA Investment Group LLC.,
Corporation/Partnership/Entity Name

have authorized Michael Easton Mundine, P.E.
Print Name of Agent/Engineer

of 2P Consultants, LLC.
Print Name of Firm

to represent and act on the behalf of the above named Corporation, Partnership, or Entity for the purpose of preparing and submitting this plan application to the Texas Commission on Environmental Quality (TCEQ) for the review and approval consideration of regulated activities.

I also understand that:

1. The applicant is responsible for compliance with 30 Texas Administrative Code Chapter 213 and any condition of the TCEQ's approval letter. The TCEQ is authorized to assess administrative penalties of up to $10,000 per day per violation.

2. For those submitting an application who are not the property owner, but who have the right to control and possess the property, additional authorization is required from the owner.

3. Application fees are due and payable at the time the application is submitted. The application fee must be sent to the TCEQ cashier or to the appropriate regional office. The application will not be considered until the correct fee is received by the commission.

4. A notarized copy of the Agent Authorization Form must be provided for the person preparing the application, and this form must accompany the completed application.

5. No person shall commence any regulated activity on the Edwards Aquifer Recharge Zone, Contributing Zone or Transition Zone until the appropriate application for the activity has been filed with and approved by the Executive Director.

SIGNATURE PAGE:

Applicant's Signature

7/29/25
Date

THE STATE OF Texas §

County of Williamson §

BEFORE ME, the undersigned authority, on this day personally appeared Michael Auer known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 29 day of July, 2025.

NOTARY PUBLIC

RAYANNA SNYDER
Notary Public, State of Texas
Comm. Expires 07-18-2029
Notary ID 135516483

Rayanna Snyder
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: 7/18/2029

Section VII
Application Fee Form (TCEQ-0574)

Application Fee Form

Texas Commission on Environmental Quality
Name of Proposed Regulated Entity: Auer's RV Park Georgetown
Regulated Entity Location: 6540 TX-29 Georgetown, TX 78628
Name of Customer: MTA Investment Group, LLC.
Contact Person: Joey Oliver Phone: (512) 927-9977
Customer Reference Number (if issued):CN _____
Regulated Entity Reference Number (if issued):RN _____

Austin Regional Office (3373)

☐ Hays ☐ Travis ☒ Williamson

San Antonio Regional Office (3362)

☐ Bexar ☐ Medina ☐ Uvalde
☐ Comal ☐ Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment**. This payment is being submitted to:

☒ Austin Regional Office
☐ Mailed to: TCEQ - Cashier
Revenues Section
Mail Code 214
P.O. Box 13088
Austin, TX 78711-3088

☐ San Antonio Regional Office
☐ Overnight Delivery to: TCEQ - Cashier
12100 Park 35 Circle
Building A, 3rd Floor
Austin, TX 78753
(512)239-0357

Site Location (Check All That Apply):

☒ Recharge Zone ☐ Contributing Zone ☐ Transition Zone

Type of Plan	***Size***	***Fee Due***
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	0 Acres	$ 0
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	0 Acres	$ 0
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	2.88 Acres	$ 4,000
Sewage Collection System	0 L.F.	$ 0
Lift Stations without sewer lines	0 Acres	$ 0
Underground or Aboveground Storage Tank Facility	0 Tanks	$ 0
Piping System(s)(only)	0 Each	$ 0
Exception	0 Each	$ 0
Extension of Time	0 Each	$ 0

Signature:  Date: 08/27/2025

Application Fee Schedule

Texas Commission on Environmental Quality
Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

Water Pollution Abatement Plans and Modifications

Contributing Zone Plans and Modifications

Project	*Project Area in Acres*	*Fee*
One Single Family Residential Dwelling	< 5	$650
Multiple Single Family Residential and Parks	< 5 5 < 10 10 < 40 40 < 100 100 < 500 ≥ 500	$1,500 $3,000 $4,000 $6,500 $8,000 $10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1 1 < 5 5 < 10 10 < 40 40 < 100 ≥ 100	$3,000 $4,000 $5,000 $6,500 $8,000 $10,000

Organized Sewage Collection Systems and Modifications

Project	*Cost per Linear Foot*	*Minimum Fee-Maximum Fee*
Sewage Collection Systems	$0.50	$650 - $6,500

Underground and Aboveground Storage Tank System Facility Plans and Modifications

Project	*Cost per Tank or Piping System*	*Minimum Fee-Maximum Fee*
Underground and Aboveground Storage Tank Facility	$650	$650 - $6,500

Exception Requests

Project	*Fee*
Exception Request	$500

Extension of Time Requests

Project	*Fee*
Extension of Time Request	$150

Section VIII
Core Data Form (TCEQ-10400)

TCEQ Use Only

TCEQ Core Data Form

For detailed instructions on completing this form, please read the Core Data Form Instructions or call 512-239-5175.

SECTION I: General Information

1. Reason for Submission (*If other is checked please describe in space provided.*)

☒ New Permit, Registration or Authorization (*Core Data Form should be submitted with the program application.*)

☐ Renewal *(Core Data Form should be submitted with the renewal form)*

☐ Other

2. Customer Reference Number *(if issued)*	Follow this link to search for CN or RN numbers in Central Registry**	**3. Regulated Entity Reference Number** *(if issued)*
CN		**RN**

SECTION II: Customer Information

4. General Customer Information	**5. Effective Date for Customer Information Updates** (mm/dd/yyyy)	7/1/2025

☒ New Customer ☐ Update to Customer Information ☐ Change in Regulated Entity Ownership
☐ Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)

The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).

6. Customer Legal Name *(If an individual, print last name first: eg: Doe, John)*

If new Customer, enter previous Customer below:

MTA Investment Group LLC

7. TX SOS/CPA Filing Number	**8. TX State Tax ID** (11 digits)	**9. Federal Tax ID** (9 digits)	**10. DUNS Number** *(if applicable)*
0805396864	32093480849	99-1012874	131690564

11. Type of Customer:

☒ Corporation ☐ Individual Partnership: ☐ General ☐ Limited

Government: ☐ City ☐ County ☐ Federal ☐ Local ☐ State ☐ Other ☐ Sole Proprietorship ☐ Other:

12. Number of Employees

☒ 0-20 ☐ 21-100 ☐ 101-250 ☐ 251-500 ☐ 501 and higher

13. Independently Owned and Operated?

☒ **Yes** ☐ **No**

14. Customer Role (Proposed or Actual) – *as it relates to the Regulated Entity listed on this form. Please check one of the following*

☒ Owner ☐ Operator ☐ Owner & Operator
☐ Occupational Licensee ☐ Responsible Party ☐ VCP/BSA Applicant ☐ Other:

15. Mailing Address:	232 Blue Waterleaf Ln						
	City	Georgetown	**State**	TX	**ZIP**	78626	**ZIP + 4**

16. Country Mailing Information *(if outside USA)*	**17. E-Mail Address** *(if applicable)*
	michael.auer@auersrv.com

18. Telephone Number	19. Extension or Code	20. Fax Number *(if applicable)*
(512) 863-2030		( ) -

SECTION III: Regulated Entity Information

21. General Regulated Entity Information *(If 'New Regulated Entity" is selected, a new permit application is also required.)*

☒ New Regulated Entity ☐ Update to Regulated Entity Name ☐ Update to Regulated Entity Information

The Regulated Entity Name submitted may be updated, in order to meet TCEQ Core Data Standards (removal of organizational endings such as Inc, LP, or LLC).

22. Regulated Entity Name *(Enter name of the site where the regulated action is taking place.)*

Auer's RV Service Center Georgetown

23. Street Address of the Regulated Entity: ***(No PO Boxes)***	6540 TX-29							
	City	Georgetown	**State**	TX	**ZIP**	78628	**ZIP + 4**	
24. County	Williamson							

If no Street Address is provided, fields 25-28 are required.

25. Description to Physical Location:	Take exit 261 towards TX-29 Merge onto I-35 N Frontage Road Use the 2 left lanes to turn left onto TX-29 W/W University Ave Site will be to your right

26. Nearest City	State	Nearest ZIP Code
Georgetown	TX	78628

Latitude/Longitude are required and may be added/updated to meet TCEQ Core Data Standards. (Geocoding of the Physical Address may be used to supply coordinates where none have been provided or to gain accuracy).

27. Latitude (N) In Decimal:	30.637330278001883		28. Longitude (W) In Decimal:	-97.79993154048	
Degrees	Minutes	Seconds	Degrees	Minutes	Seconds
30	38	14.856	-97	47	59.7516

29. Primary SIC Code (4 digits)	30. Secondary SIC Code (4 digits)	31. Primary NAICS Code (5 or 6 digits)	32. Secondary NAICS Code (5 or 6 digits)
7500	N/A	81119	N/A

33. What is the Primary Business of this entity? *(Do not repeat the SIC or NAICS description.)*

RV repairing

34. Mailing Address:	**6540 TX-29**							
	City	**Georgetown**	**State**	**TX**	**ZIP**	**78628**	**ZIP + 4**	
35. E-Mail Address:	**michael.auer@auersrv.com**							

36. Telephone Number	37. Extension or Code	38. Fax Number *(if applicable)*
(512) 863-2030		**( ) -**

39. TCEQ Programs and ID Numbers Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.

☐ Dam Safety	☐ Districts	☒ Edwards Aquifer	☐ Emissions Inventory Air	☐ Industrial Hazardous Waste
☐ Municipal Solid Waste	☐ New Source Review Air	☐ OSSF	☐ Petroleum Storage Tank	☐ PWS
☐ Sludge	☐ Storm Water	☐ Title V Air	☐ Tires	☐ Used Oil
☐ Voluntary Cleanup	☐ Wastewater	☐ Wastewater Agriculture	☐ Water Rights	☐ Other:

SECTION IV: Preparer Information

40. Name:	Michael Easton Mundine	41. Title:	Project Engineer

42. Telephone Number	43. Ext./Code	44. Fax Number	45. E-Mail Address
(512 **)** 344-9664	109	**( ) -**	emundine@2pconsultants.com

SECTION V: Authorized Signature

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

Company:	2P Consultants, LLC.	Job Title:	Project Engineer	
Name *(In Print):*	Michael Easton Mundine		**Phone:**	**(** 512 **)** 344- **9664**
Signature:			**Date:**	08/27/2025

PROJECT TITLE :	AUER'S RV REPAIR SITE DEVELOPMENT IMPROVEMENTS
PROJECT LEGAL DESCRIPTION:	2.448 ACRES GREENLIEF FISK SURVEY ABSTRACT NO. 5 12.464 ACRES GREENLIEF FISK SURVEY ABSTRACT NO. 5
PROJECT STREET ADDRESS:	6540 TX-29 GEORGETOWN, TX 78628
PROPERTY OWNER:	MTA INVESTMENT GROUP LLC 232 BLUE WATERLEAF LN GEORGETOWN, TX 78626 MICHAEL AUER
PHONE:	512-863-2030
ARCHITECT:	MICHAEL MAULDIN MAULDIN ARCHITECTS, PLLC 909 NE LOOP 410, SUITE 636 SAN ANTONIO, TEXAS 78209
PHONE:	210-313-3197
ENGINEER: ADDRESS:	2P CONSULTANTS, LLC 203 E. MAIN STREET, SUITE 203 ROUND ROCK, TX 78664 MICHAEL EASTON MUNDINE, P.E EMUNDINE@2PCONSULTANTS.COM 512-344-9664

SITE CALCULATIONS:

EXISTING SITE IMPERVIOUS COVER	
BOUNDARY	125,423.84 SQ FT = 2.88 AC
BUILDINGS, SW, PAVEMENT	8,402.00 SQ FT = 0.19 AC
EXISTING IMPERVIOUS COVER	6.70 %

PROPOSED SITE IMPERVIOUS COVER	
PROPOSED BUILDINGS, SW, PVMT,GRAVEL	70,732.75 SQ FT = 1.62 AC
PROPOSED TOTAL SITE IC	70,732.75 SQ FT = 1.62 AC
PROPOSED IMPERVIOUS COVER	56.39%

FLOODPLAIN NOTE: NO PORTION OF THIS PROJECT IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAPS: 48491C0275E EFFECTIVE 09/26/2008

AQUIFER NOTE: THIS PROJECT IS LOCATED IN THE EDWARDS AQUIFER RECHARGE ZONE.

WATERSHED NOTE: THIS SITE IS LOCATED IN THE NORTH FORK SAN GABRIEL RIVER WATERSHED, THERE ARE NO KNOWN CRITICAL ENVIRONMENTAL FEATURES EVIDENT ON THIS SITE.

WATER QUALITY: THIS PROJECT IS LOCATED WITHIN THE EDWARD'S AQUIFER RECHARGE ZONE AND THE EXISTING SITE HAS AN APPROVED WPAP AND SCS UNDER EDWARD'S AQUIFER PROTECTION PROGRAM. A WPAP MODIFICATION WILL BE SUBMITTED WITH THIS PROJECT.

DETENTION NOTE: THIS SITE PROVIDES FOR ONSITE DETENTION.

BENCHMARKS:
BM "A" - BOX CUT ON DRAIN
NORTHING = 10204560.44' EASTING = 3093145.50' ELEVATION = 971.04' (NAVD 88)

UTILITY CONTACTS:

WATER:	CITY OF GEORGETOWN
WASTEWATER:	ON-SITE SEPTIC
ELECTRIC:	
CABLE/TELEPHONE:	
NATURAL GAS:	

IMPORTANT NOTES TO CONTRACTOR

1. THE LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER, DESIGN ENGINEER OR THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, AND SHALL REPAIR OR REPLACE TO NEW QUALITY.
2. CAUTION: DO NOT USE THESE DRAWINGS FOR STAKING BUILDINGS ON THIS PROJECT. THE SIZE AND CONFIGURATION OF THESE BUILDINGS SHOWN HEREON ARE BASED ON THE LATEST ARCHITECTURAL INFORMATION AVAILABLE TO 2P CONSULTANTS, LLC. AT THE TIME OF COMPLETION OF THESE PLANS. THE FUTURE SIZE AND CONFIGURATION OF EACH BUILDING IS SUBJECT TO CHANGE. THE LATEST APPROVED, SIGNED AND SEALED ARCHITECTURAL PLANS SHOULD BE CONSULTED FOR THE ACTUAL SIZE, CONFIGURATION AND LOCATION OF EACH BUILDING.
3. CONTRACTOR SHALL REFER TO CITY OF ROUND ROCK CONSTRUCTION STANDARDS MANUAL AND SPECIFICATIONS, OR ANY REQUIRED LOCAL CODE WHICHEVER IS MOST STRINGENT.
4. THIS SITE IS SUBJECT TO TPDES REGULATIONS. TXR15000

RECORDED FINAL PLAT DOC.NO ______________

WPAP CASE #______________________________

SWPPP___________________________________

METER SERIAL.NO _________________________

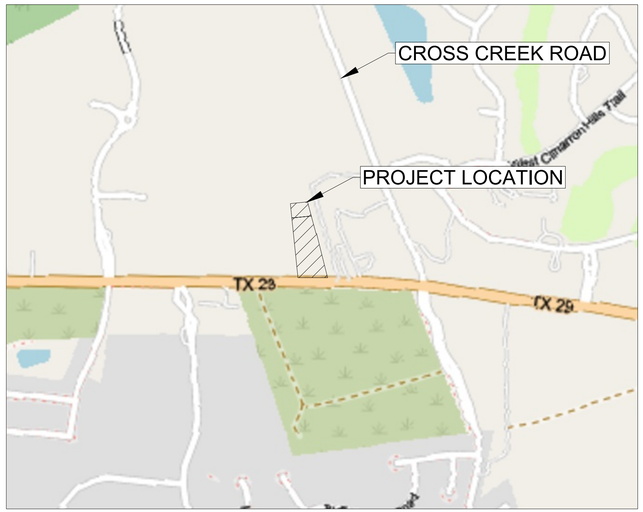
UTILITY BILLING ACCT. NO. __________________

SITE DEVELOPMENT PLANS
AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS

6540 TX-29
GEORGETOWN, TX 78628
COC-XXXX-XXXX

WILLIAMSON COUNTY NOTES

1. THE CONTRACTOR SHALL OBTAIN A "NOTICE OF PROPOSED INSTALLATION OF UTILITY LINE" PERMIT FROM WILLIAMSON COUNTY FOR ANY WORK PERFORMED IN THE EXISTING COUNTY RIGHT-OF-WAY (DRIVEWAY APRON, WATER MAIN TIE-IN, ETC.) THIS PERMIT APPLICATION WILL REQUIRE A LIABILITY AGREEMENT, A CONSTRUCTION COST ESTIMATE FOR WORK WITHIN THE RIGHT-OF-WAY INCLUDING PAVEMENT REPAIR (IF NEEDED), A PERFORMANCE BOND, CONSTRUCTION PLANS AND, IF NECESSARY, A TRAFFIC CONTROL PLAN. AN INSPECTION FEE, AND A PRE-CONSTRUCTION MEETING MAY ALSO BE REQUIRED, DEPENDING ON THE SCOPE OF WORK. THE PERMIT WILL BE REVIEWED AND APPROVED BY THE COUNTY ENGINEER, AND MUST ALSO BE APPROVED BY THE WILLIAMSON COUNTY COMMISSIONERS COURT IF ANY ROAD CLOSURE IS INVOLVED.



VICINITY MAP- SCALE 1" = 600'

REVISIONS / CORRECTIONS

No.	Description	Revise (R) Add (A) Void (V) Sheet No.'s	TOTAL # SHEETS IN PLAN SET	NET CHANGE IMP. COVER (SQ FT)	TOTAL SITE IMP. COVER (SF. FT)/%	CITY OF AUSTIN APPROVAL DATE	DATE IMAGED

NOTES:

1. THESE PLANS ARE NOT TO BE CONSIDERED FINAL FOR CONSTRUCTION UNTIL ACCEPTED BY THE CITY / AND, OR THE COUNTY. CHANGES MAY BE REQUIRED PRIOR TO APPROVAL.
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY, AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER, OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES (1 OF 2)
3	GENERAL NOTES (2 OF 2)
4	FINAL PLAT
5	EXISTING CONDITIONS AND DEMO PLAN
6	EROSION AND SEDIMENTATION CONTROL PLAN
7	EROSION CONTROL DETAILS
8	SITE PLAN
9	DIMENSIONAL CONTROL PLAN
10	SITE PLAN DETAILS
11	GRADING PLAN (1 OF 2)
12	GRADING PLAN (2 OF 2)
13	EXISTING CONDITIONS DRAINAGE MAP
14	PROPOSED CONDITIONS DRAINAGE MAP
15	OVERALL WATER QUALITY PLAN
16	VEGETATIVE FILTER STRIP PLAN AND CALCULATIONS
17	POND PLAN
18	POND CALCULATIONS AND PROFILES
19	POND DETAILS (1 OF 2)
20	POND DETAILS (2 OF 2)
21	WASTEWATER PLAN
22	WASTEWATER PROFILE
23	WASTEWATER DETAILS
24	WATER PLAN
25	WATER DETAILS
26	FIRE PROTECTION PLAN

WILLIAMSON COUNTY ENGINEER DATE

PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, DATE

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, WILLIAMSON COUNTY MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

I, MICHAEL EASTON MUNDINE P.E., DO HEREBY CONFIRM THAT ANY NEW PUBLIC WORKS AND DRAINAGE IMPROVEMENTS DESCRIBED HEREIN, HAVE BEEN DESIGNED IN COMPLIANCE WITH THE STORMWATER DRAINAGE POLICY ADOPTED BY WILLIAMSON COUNTY, TEXAS.

MICHAEL EASTON MUNDINE
143266

7/15/2025 7/15/25

xxxxxxxxxxxxx, P.E. DATE
ALL PLAN SHEETS EXCEPT
LANDSCAPE SHEETS

2P CONSULTANTS, LLC
203 E. MAIN STREET, SUITE 204
ROUND ROCK, TEXAS 78664
512-344-9664
TBPE FIRM #F-19351

COC-XXXX-XXXX

GENERAL NOTES: (CITY)

1. THESE CONSTRUCTION PLANS WERE PREPARED, SEALED, SIGNED AND DATED BY A TEXAS LICENSED PROFESSIONAL ENGINEER. THEREFORE, BASED ON THE ENGINEER'S CONCURRENCE OF COMPLIANCE, THE CONSTRUCTION PLANS FOR CONSTRUCTION OF THE PROPOSED PROJECT ARE HEREBY APPROVED SUBJECT TO THE STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS MANUAL AND ALL OTHER APPLICABLE CITY, STATE AND FEDERAL REQUIREMENTS AND CODES.
2. THIS PROJECT IS SUBJECT TO ALL CITY STANDARD SPECIFICATIONS AND DETAILS IN AFFECT AT THE TIME OF SUBMITTAL OF THE PROJECT TO THE CITY.
3. THIS SITE CONSTRUCTION PLANS SHALL MEET ALL REQUIREMENTS OF THE APPROVED SITE PLAN.
4. WASTEWATER MAINS AND SERVICE LINES SHALL BE SDR 26 PVC.
5. WASTEWATER MAINS SHALL BE INSTALLED WITHOUT HORIZONTAL OR VERTICAL BENDS.
6. MAXIMUM DISTANCE BETWEEN MANHOLES IS 500 FEET.
7. WASTEWATER MAINS SHALL BE LOW PRESSURE AIR TEST AND MANDREL TESTED BY THE CONTRACTOR ACCORDING TO CITY OF GEORGETOWN AND TCEQ REQUIREMENTS.
8. WASTEWATER MANHOLES SHALL BE VACUUM TESTED AND COATED BY CONTRACTOR ACCORDING TO THE CITY OF GEORGETOWN AND TCEQ REQUIREMENTS.
9. WASTEWATER MAINS SHALL BE CAMERA TESTED BY THE CONTRACTOR AND SUBMITTED TO THE CITY OF GEORGETOWN DVD FORMAT PRIOR TO PAVING THE STREETS.
10. PRIVATE WATER SYSTEM FIRE LINES SHALL BE TESTED BY CONTRACTOR TO 200 PSI FOR 2 HOURS.
11. PRIVATE WATER SYSTEM FIRE LINES SHALL BE DUCTILE IRON PIPING FROM THE WATER MAIN TO THE BUILDING SPRINKLER SYSTEM, AND 200 PSI C900 PVC FOR ALL OTHERS.
12. PUBLIC WATER SYSTEM MAINS SHALL BE 150 PSI C900 PVC AND TESTED BY THE CONTRACTOR AT 150 PSI FOR 4 HOURS.
13. ALL BENDS AND CHANGES IN DIRECTION ON WATER MAINS SHALL BE RESTRAINED AND THRUST BLOCKED.
14. LONG FIRE HYDRANT LEAD SHALL BE RESTRAINED.
15. ALL WATER LINES ARE TO BE BACTERIA TESTED BY THE CONTRACTOR ACCORDING TO THE CITY STANDARDS AND SPECIFICATIONS.
16. WATER AND SEWER MAIN CROSSINGS SHALL MEET ALL REQUIREMENTS OF TCEQ AND THE CITY,
17. FLEXIBLE BASE MATERIAL FOR PUBLIC STREETS SHALL BE TXDOT TYPE A GRADE 1.
18. HOT MIX ASPHALT CONCRETE PAVEMENT SHALL BE TYPE D UNLESS OTHERWISE SPECIFIED AND SHALL BE A MINIMUM OF 2 INCHES THICK ON PUBLIC STREETS AND ROADS.
19. ALL SIDEWALK RAMPS ARE TO BE INSTALLED WITH THE PUBLIC INFRASTRUCTURE.
20. A MAINTENANCE BOND IS REQUIRED TO BE SUBMITTED TO THE CITY PRIOR TO ACCEPTANCE OF THE PUBLIC IMPROVEMENT. THIS BOND SHALL BE ESTABLISHED FOR 2YEARS IN THE AMOUNT OF 10% OF THE COST OF THE PUBLIC IMPROVEMENTS AND SHALL FOLLOW THE CITY FORMAT.
21. RECORD DRAWINGS OF THE PUBLIC IMPROVEMENTS SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER PRIOR TO ACCEPTANCE OF THE PROJECT. THESE DRAWINGS SHALL BE ON TIFF OR PDF (300dpi).

GENERAL NOTES: (CITY)

PRIOR TO CONSTRUCTION ABOVE THE SLAB, PROVIDE AN ALL-WEATHER DRIVE SURFACE OF ASPHALT OR CONCRETE OR CHIP SEAL PLACED ONTO BASE MATERIAL ENGINEERED TO WITHSTAND 75,000 LBS. AN ACCEPTANCE INSPECTION BY FIRE INSPECTIONS IS REQUIRED.

2012 IFC 503 AND D102.1

22.

CONSTRUCTION SEQUENCING

1. TEMPORARY EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSTALLED AS INDICATED ON THE APPROVED SITE PLAN OR SUBDIVISION CONSTRUCTION PLAN AND IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THAT IS REQUIRED TO BE POSTED ON THE SITE. INSTALL TREE PROTECTION AND INITIATE TREE MITIGATION MEASURES.
2. THE ENVIRONMENTAL PROJECT MANAGER, AND/OR SITE SUPERVISOR, AND/OR DESIGNATED RESPONSIBLE PARTY, AND THE GENERAL CONTRACTOR WILL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE. TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE REVISED, IF NEEDED, TO COMPLY WITH CITY INSPECTORS' DIRECTIVES, AND REVISED CONSTRUCTION SCHEDULE RELATIVE TO THE WATER QUALITY PLAN REQUIREMENTS AND THE EROSION PLAN.
3. TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE.
4. BEGIN SITE CLEARING/CONSTRUCTION (OR DEMOLITION) ACTIVITIES.
5. COMPLETE CONSTRUCTION AND START RE-VEGETATION OF THE SITE.
6. UPON COMPLETION OF THE SITE CONSTRUCTION AND RE-VEGETATION OF A PROJECT SITE, THE DESIGN ENGINEER SHALL SUBMIT AN ENGINEER'S LETTER OF CONCURRENCE TO THE WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT INDICATING THAT CONSTRUCTION, INCLUDING RE-VEGETATION, IS COMPLETE AND IN SUBSTANTIAL CONFORMITY WITH THE APPROVED PLANS. AFTER RECEIVING THIS LETTER, A FINAL INSPECTION WILL BE SCHEDULED BY THE APPROPRIATE CITY INSPECTOR.
7. AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN RE-VEGETATED PER PLAN TO AT LEAST 90 PERCENT ESTABLISHED, REMOVE THE TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND COMPLETE ANY NECESSARY FINAL RE-VEGETATION RESULTING FROM REMOVAL OF THE CONTROLS. CONDUCT ANY MAINTENANCE AND REHABILITATION OF THE WATER QUALITY PONDS OR CONTROLS.

TPDES / SWPPP

A STORMWATER POLLUTION PREVENTION PLAN, AS REQUIRED BY THE STATE OF TEXAS UNDER THE TPDES STATUTES, IS REQUIRED FOR THIS PROJECT. THE SWPPP MUST BE FILED AND AVAILABLE FOR INSPECTION ON-SITE. PROJECT INFO & CONTACT NAME SHALL BE POSTED IN A PUBLIC PLACE AT THE MAIN GATE / CONSTRUCTION ENTRANCE. THE NOTICE OF INTENT (NOI) SHALL BE FILED WITH T.C.E.Q. AND A COPY GIVEN TO THE CITY OF GEORGETOWN. NO WORK SHALL BE STARTED BEFORE ALL ASPECTS OF THE SWPPP ARE IN PLACE. ALL REGULATIONS ON THE SWPPP SHALL BE STRICTLY FOLLOWED OR THE CONTRACTOR WILL BE SUBJECT TO SERIOUS FINES. CONTRACTOR INFORMATION:

CONTRACTOR:

CONTRACTOR PHONE NUMBER:

FIRE DEPARTMENT NOTES

1. PRIVATE FIRE HYDRANT MAINTENANCE SHALL BE IN ACCORDANCE WITH NFPA 291.
2. ALL PRIVATE HYDRANT BARRELS WILL BE PAINTED RED WITH THE BONNET PAINTED USING THE HYDRANT FLOW STANDARD IN PARAGRAPH C OF THIS SECTION TO INDICATE FLOW. IT WILL BE THE CUSTOMER'S RESPONSIBILITY TO TEST AND MAINTAIN THEIR PRIVATE FIRE HYDRANT(S).
   a. ALL PRIVATE FIRE HYDRANTS SHOULD BE INSPECTED, MAINTAINED, AND FLOW TESTED ANNUALLY AND COLOR CODED TO INDICATE THE EXPECTED FIRE FLOW FROM THE HYDRANT DURING NORMAL OPERATION. SUCH COLOR APPLIED TO THE FIRE HYDRANT BY PAINTING THE BONNET THE APPROPRIATE COLOR FOR THE EXPECTED FLOW CONDITION.
   b. HYDRANT FLOW CODING STANDARDS: PUBLIC HYDRANT BARRELS WILL BE PAINTED SILVER, THE HYDRANTS WILL BE FLOW TESTED, AND THE BONNET PAINTED USING THE HYDRANT FLOW STANDARD IN AS FOLLOWS:
   i. BLUE - GREATER THAN 1500 GPM
   ii. GREEN - 1000-1500 GPM
   iii. ORANGE - 500-999 GPM
   iv. RED - LESS THAN 500 GPM
   v. BLACK OR BAGGED - NOT WORKING
3. FIRE LANE MARKING
   a. ON PAVEMENT FIRE LANE, STRIPES SHALL BE A CONTINUOUS 8" RED COLOR STRIPE WITH:
   "NO PARKING - FIRE LANE - TOW AWAY ZONE" IN 4" WHITE COLOR LETTERS.
   b. ALONG CURBS, PAINT FACE WITH RED COLOR AND WRITE:
   " NO PARKING - FIRE LANE - TOW AWAY ZONE" IN 4" WHITE COLOR LETTERS.

FIRE PROTECTION NOTES

1. APPROVAL OF THIS SITE PLAN DOES NOT IMPLY APPROVAL TO INSTALL UNDERGROUND FIRE LINES. PRIOR TO INSTALLATION OF UNDERGROUND FIRE LINES, A SEPARATE PERMIT SHALL BE SUBMITTED, UNDER GROUND FIRE LINE SUPPLY.
2. BACKFLOW PROTECTION WILL BE PROVIDED IN ACCORDANCE WITH THE CITY OF GEORGETOWN REQUIREMENTS WHEN REQUIRED. BACKFLOW PROTECTION WILL BE INSTALLED IN ACCORDANCE WITH THE DETAIL PROVIDED IN THE UTILITY DRAWINGS.
3. ALL PRIVATE FIRE LINES AND WHAT THEY PROVIDE SERVICE TO WILL BE INSTALLED IN ACCORDANCE WITH NFPA 24 INSTILLATION OF PRIVATE SERVICE MAINS AND THEIR APPURTENANCES.
4. ALL TEES, PLUGS, CAPS, BENDS, REDUCERS, VALVES SHALL BE RESTRAINED AGAINST MOVEMENT. THRUST BLOCKING AND JOINT RESTRAINED WILL BE INSTALLED IN ACCORDANCE WITH NFPA 24.
5. ALL UNDERGROUND SHALL REMAIN UNCOVERED UNTIL A VISUAL INSPECTION IS CONDUCTED BY THE GEORGETOWN FIRE MARSHAL'S OFFICE (FMO). ALL JOINT RESTRAINTS AND THRUST BLOCKING SHALL BE UNCOVERED FOR VISUAL INSPECTION.
6. ALL UNDERGROUND SHALL BE FLUSHED PER THE REQUIREMENTS OF NFPA STANDARD 24 AND WITNESSED BY GEORGETOWN FMO.
7. ALL UNDERGROUND SHALL PASS A HYDROSTATIC TEST WITNESSED BY GEORGETOWN FMO. ALL JOINTS SHALL BE UNCOVERED FOR HYDROSTATIC TESTING. ALL PIPING AND ATTACHMENTS SUBJECTED TO SYSTEM WORKING PRESSURE SHALL BE TESTED AT 200 PSI, OR 50 PSI MORE THAN THE SYSTEM WORKING PRESSURE, WHICHEVER IS GREATER, AND SHALL MAINTAIN THAT PRESSURE + OR - 5 PSI FOR 2 HOURS.
8. FENCES, LANDSCAPING, AND OTHER ITEMS WILL NOT BE INSTALLED WITHIN 3 FT, AND WHERE THEY WILL OBSTRUCT THE VISIBILITY OR ACCESS TO HYDRANTS, OR REMOTE FDCs.
9. LICENSE REQUIREMENTS OF EITHER RME-U OR G. WHEN CONNECTING BY UNDERGROUND TO THE WATER PURVEYOR'S MAIN FROM THE POINT OF CONNECTION OR VALVE WHERE THE PRIMARY PURPOSE OF WATER IS FOR FIRE PROTECTION SPRINKLER SYSTEM.

FIRE DEPARTMENT CONNECTION (FDC) NOTES

1. 2018 IFC 912.2 - LOCATION
   WITH RESPECT TO HYDRANTS, DRIVEWAYS, BUILDINGS AND LANDSCAPING, FIRE DEPARTMENT CONNECTIONS SHALL BE SO LOCATED THAT FIRE APPARATUS AND HOSE CONNECTED TO SUPPLY THE SYSTEM WILL NOT OBSTRUCT ACCESS TO THE BUILDINGS FOR OTHER FIRE APPARATUS.
2. 2018 IFC 912.4 - ACCESS
   IMMEDIATE ACCESS TO FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED AT ALL TIMES AND WITHOUT OBSTRUCTION BY FENCES, BUSHES, TREES, WALLS, BEHIND PARKING STALLS, OR ANY OTHER FIXED OR MOVABLE OBJECT.
3. 2018 IFC 912.5 - SIGNS
   INSTALL A SIGN ABOVE THE FIRE DEPARTMENT CONNECTION STATING "FDC". THE SIGN SHALL BE 7' ABOVE GRADE. THE SIGN SHALL HAVE REFLECTIVE WHITE LETTERS UPON A REFLECTIVE RED BACKGROUND. THE LETTERING SHALL BE MINIMUM 2 INCH STROKE AND MINIMUM 6 INCHES IN HEIGHT.
4. 2018 IFC 912.7 - INSPECTION
   ALL FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED AS APPROVED BY THE FIRE CODE OFFICIAL.
5. TWO RED STREET LANE REFLECTORS (STIMSONITE MODEL 88AB OR SIMILAR) SHALL BE INSTALLED SIX INCHES FROM CENTERLINE OF THE FIRE APPARATUS ACCESS ROADWAY ON THE SIDE CLOSEST TO THE FDC. MARKERS SHALL BE PARALLEL TO THE FDC HAVING THE REFLECTIVE ENDS OF THE STREET MARKERS FACING THE DIRECTION OF TRAFFIC.
6. THE FDC FOR THE FIRE SPRINKLER SYSTEM SHALL HAVE A 5 INCH STORTZ CONNECTION ON A 30 DEGREE DOWNTURN WITH A KNOX BRAND LOCKING CAP.

TECQ-0592 (Rev. 3/15/07)

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
WATER POLLUTION ABATEMENT PLAN
GENERAL CONSTRUCTION NOTES

1. WRITTEN CONSTRUCTION NOTIFICATION MUST BE GIVEN TO THE APPROPRIATE TCEQ REGIONAL OFFICE NO LATER THAN 48 HOURS PRIOR TO COMMENCEMENT OF THE REGULATED ACTIVITY. INFORMATION MUST INCLUDE THE DATE ON WHICH THE REGULATED ACTIVITY WILL COMMENCE, THE NAME OF THE APPROVED PLAN FOR THE REGULATED ACTIVITY, AND THE NAME OF THE PRIME CONTRACTOR AND THE NAME AND TELEPHONE NUMBER OF THE CONTACT PERSON.
2. ALL CONTRACTORS CONDUCTING REGULATED ACTIVITIES ASSOCIATED WITH THIS PROJECT MUST BE PROVIDED WITH COMPLETE COPIES OF THE APPROVED WATER POLLUTION ABATEMENT PLAN AND THE TCEQ LETTER INDICATING THE SPECIFIC CONDITIONS OF ITS APPROVAL. DURING THE COURSE OF THESE REGULATED ACTIVITIES, THE CONTRACTORS ARE REQUIRED TO KEEP ON-SITE COPIES OF THE APPROVED PLAN AND APPROVAL LETTER.
3. IF ANY SENSITIVE FEATURE IS DISCOVERED DURING CONSTRUCTION, ALL REGULATED ACTIVITIES NEAR THE SENSITIVE FEATURE MUST BE SUSPENDED IMMEDIATELY. THE APPROPRIATE TCEQ REGIONAL OFFICE MUST BE IMMEDIATELY NOTIFIED OF ANY SENSITIVE FEATURES ENCOUNTERED DURING CONSTRUCTION. THE REGULATED ACTIVITIES NEAR THE SENSITIVE FEATURE MAY NOT PROCEED UNTIL THE TCEQ HAS REVIEWED AND APPROVED THE METHODS PROPOSED TO PROTECT THE SENSITIVE FEATURE AND THE EDWARDS AQUIFER FROM ANY POTENTIALLY ADVERSE IMPACTS TO WATER QUALITY.
4. NO TEMPORARY ABOVEGROUND HYDROCARBON AND HAZARDOUS SUBSTANCE STORAGE TANK SYSTEM IS INSTALLED WITHIN 150 FEET OF A DOMESTIC, INDUSTRIAL, IRRIGATION, OR PUBLIC WATER SUPPLY WELL, OR OTHER SENSITIVE FEATURE.
5. PRIOR TO COMMENCEMENT OF CONSTRUCTION, ALL TEMPORARY EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES MUST BE PROPERLY SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND GOOD ENGINEERING PRACTICES. CONTROLS SPECIFIED IN THE TEMPORARY STORM WATER SECTION OF THE APPROVED EDWARDS AQUIFER PROTECTION PLAN ARE REQUIRED DURING CONSTRUCTION. IF INSPECTIONS INDICATE A CONTROL HAS BEEN USED INAPPROPRIATELY, OR INCORRECTLY, THE APPLICANT MUST REPLACE OR MODIFY THE CONTROL FOR SITE SITUATIONS. THE CONTROLS MUST REMAIN IN PLACE UNTIL DISTURBED AREAS ARE REVEGETATED AND THE AREAS HAVE BECOME PERMANENTLY STABILIZED.
6. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS TO WATER QUALITY (E.G., FUGITIVE SEDIMENT IN STREET BEING WASHED INTO SURFACE STREAMS OR SENSITIVE FEATURES BY THE NEXT RAIN).
7. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS NOT LATER THAN WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%. A PERMANENT STAKE MUST BE PROVIDED THAT CAN INDICATE WHEN THE SEDIMENT OCCUPIES 50% OF THE BASIN VOLUME.
8. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORMWATER DISCHARGES (E.G., SCREENING OUTFALLS, PICKED UP DAILY).
9. ALL SPOILS (EXCAVATED MATERIAL) GENERATED FROM THE PROJECT SITE MUST BE STORED ON-SITE WITH PROPER E&S CONTROLS. FOR STORAGE OR DISPOSAL OF SPOILS AT ANOTHER SITE ON THE EDWARDS AQUIFER RECHARGE ZONE, THE OWNER OF THE SITE MUST RECEIVE APPROVAL OF A WATER POLLUTION ABATEMENT PLAN FOR THE PLACEMENT OF FILL MATERIAL OR MASS GRADING PRIOR TO THE PLACEMENT OF SPOILS AT THE OTHER SITE.
10. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARY OR PERMANENTLY CEASE IS PRECLUDED BY WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE. IN AREAS EXPERIENCING DROUGHTS WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED IS PRECLUDED BY SEASONAL ARID CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
11. THE FOLLOWING RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE TCEQ UPON REQUEST: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; AND THE DATES WHEN STABILIZATION MEASURES ARE INITIATED.
12. THE HOLDER OF ANY APPROVED EDWARD AQUIFER PROTECTION PLAN MUST NOTIFY THE APPROPRIATE REGIONAL OFFICE IN WRITING AND OBTAIN APPROVAL FROM THE EXECUTIVE DIRECTOR PRIOR TO INITIATING ANY OF THE FOLLOWING:

A. ANY PHYSICAL OR OPERATIONAL MODIFICATION OF ANY WATER POLLUTION ABATEMENT STRUCTURE(S), INCLUDING BUT NOT LIMITED TO PONDS, DAMS, BERMS, SEWAGE TREATMENT PLANTS, AND DIVERSIONARY STRUCTURES;

B. ANY CHANGE IN THE NATURE OR CHARACTER OF THE REGULATED ACTIVITY FROM THAT WHICH WAS ORIGINALLY APPROVED OR A CHANGE WHICH WOULD SIGNIFICANTLY IMPACT THE ABILITY OF THE PLAN TO PREVENT POLLUTION OF THE EDWARDS AQUIFER;

C. ANY DEVELOPMENT OF LAND PREVIOUSLY IDENTIFIED AS UNDEVELOPED IN THE ORIGINAL WATER POLLUTION ABATEMENT PLAN.

AUSTIN REGIONAL OFFICE
2800 S. IH 35, SUITE 100
AUSTIN, TEXAS 78704-5712
PHONE (512) 339-2929
FAX (512) 339-3795

SAN ANTONIO REGIONAL OFFICE
14250 JUDSON ROAD
SAN ANTONIO, TEXAS 78233-4480
PHONE (210) 490-3096
FAX (210) 545-4329

THESE GENERAL CONSTRUCTION NOTES MUST BE INCLUDED ON THE CONSTRUCTION PLANS

PROVIDED TO THE CONTRACTOR AND ALL SUBCONTRACTORS.

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
WATER DISTRIBUTION SYSTEM
GENERAL CONSTRUCTION NOTES

1. THIS WATER DISTRIBUTION SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS 30 TEXAS ADMINISTRATIVE CODE (TAC) CHAPTER 290 SUBCHAPTER D. WHEN CONFLICTS ARE NOTED WITH LOCAL STANDARDS, THE MORE STRINGENT REQUIREMENT SHALL BE APPLIED. CONSTRUCTION FOR PUBLIC WATER SYSTEMS MUST ALWAYS, AT A MINIMUM, MEET TCEQ'S "RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS.
2. ALL NEWLY INSTALLED PIPES AND RELATED PRODUCTS MUST CONFORM TO AMERICAN NATIONAL STANDARDS INSTITUTE/NATIONAL SANITATION FOUNDATION (ANSI/NSF) STANDARD 61-G AND MUST BE CERTIFIED BY AN ORGANIZATION ACCREDITED BY ANSI, AS REQUIRED BY 30 TAC §290.44(A)(1).
3. PLASTIC PIPE FOR USE IN PUBLIC WATER SYSTEMS MUST BEAR THE NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL (NSF PW-G) AND HAVE AN ASTM DESIGN PRESSURE RATING OF AT LEAST 150 PSI OR A STANDARD DIMENSION RATIO OF 26 OR LESS, AS REQUIRED BY 30 TAC §290.44(A)(2).
4. NO PIPE WHICH HAS BEEN USED FOR ANY PURPOSE OTHER THAN THE CONVEYANCE OF DRINKING WATER SHALL BE ACCEPTED OR RELOCATED FOR USE IN ANY PUBLIC DRINKING WATER SUPPLY, AS REQUIRED BY 30 TAC §290.44(A)(3).
5. ALL WATER LINE CROSSINGS OF WASTEWATER MAINS SHALL BE PERPENDICULAR, AS REQUIRED BY 30 TAC §290.44(E)(4)(B).
6. WATER TRANSMISSION AND DISTRIBUTION LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. HOWEVER, THE TOP OF THE WATER LINE MUST BE LOCATED BELOW THE FROST LINE AND IN NO CASE SHALL THE TOP OF THE WATER LINE BE LESS THAN 24 INCHES BELOW GROUND SURFACE, AS REQUIRED BY 30 TAC §290.44(A)(4).
7. THE MAXIMUM ALLOWABLE LEAD CONTENT OF PIPES, PIPE FITTINGS, PLUMBING FITTINGS, AND FIXTURES IS 0.25 PERCENT, AS REQUIRED BY 30 TAC §290.44(B)
8. THE CONTRACTOR SHALL INSTALL APPROPRIATE AIR RELEASE DEVICES WITH VENT OPENINGS TO THE ATMOSPHERE COVERED WITH 16-MESH OR FINER, CORROSION RESISTANT SCREENING MATERIAL OR AN ACCEPTABLE EQUIVALENT, AS REQUIRED BY 30 TAC §290.44(D)(1).
9. THE CONTRACTOR SHALL NOT PLACE THE PIPE IN WATER OR WHERE IT CAN BE FLOODED WITH WATER OR SEWAGE DURING ITS STORAGE OR INSTALLATION, AS REQUIRED BY 30 TAC §290.44(F)(1).
10. WHEN WATERLINES ARE LAID UNDER ANY FLOWING OR INTERMITTENT STREAM OR SEMI-PERMANENT BODY OF WATER THE WATERLINE SHALL BE INSTALLED IN A SEPARATE WATERTIGHT PIPE ENCASEMENT. VALVES MUST BE PROVIDED ON EACH SIDE OF THE CROSSING WITH FACILITIES TO ALLOW THE UNDERWATER PORTION OF THE SYSTEM TO BE ISOLATED AND TESTED, AS REQUIRED BY 30 TAC §290.44(F)(1).
11. PURSUANT TO 30 TAC §290.44(A)(5), THE HYDROSTATIC LEAKAGE RATE SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY THE MOST CURRENT AWWA FORMULAS FOR PVC PIPE, CAST IRON AND DUCTILE IRON PIPE. INCLUDE THE FORMULAS IN THE NOTES ON THE PLANS.
   - THE HYDROSTATIC LEAKAGE RATE FOR POLYVINYL CHLORIDE (PVC) PIPE AND APPURTENANCES SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY FORMULAS IN AMERICA WATER WORKS ASSOCIATION (AWWA) C-605 AS REQUIRED IN 30 TAC §290.44(A)(5). PLEASE ENSURE THAT THE FORMULA FOR THIS CALCULATION IS CORRECT AND MOST CURRENT FORMULA IS IN USE;

$$Q = \frac{LPD\sqrt{P}}{148,000}$$

WHERE:

Q = THE QUANTITY OF MAKEUP WATER IN GALLONS PER HOUR,

L = THE LENGTH OF THE PIPE SECTION BEING TESTED, IN FEET,

D = THE NOMINAL DIAMETER OF THE PIPE IN INCHES, AND

P = THE AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST IN POUNDS PER SQUARE INCH (PSI).

   - THE HYDROSTATIC LEAKAGE RATE FOR DUCTILE IRON (DI) PIPE AND APPURTENANCES SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY FORMULAS IN AMERICA WATER WORKS ASSOCIATION (AWWA) C-600 AS REQUIRED IN 30 TAC §290.44(A)(5). PLEASE ENSURE THAT THE FORMULA FOR THIS CALCULATION IS CORRECT AND MOST CURRENT FORMULA IS IN USE;

$$L = \frac{SD\sqrt{P}}{148,000}$$

WHERE:

L = THE QUANTITY OF MAKEUP WATER IN GALLONS PER HOUR,

S = THE LENGTH OF THE PIPE SECTION BEING TESTED, IN FEET,

D = THE NOMINAL DIAMETER OF THE PIPE IN INCHES, AND

P = THE AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST IN POUNDS PER SQUARE INCH (PSI).

12. THE CONTRACTOR SHALL MAINTAIN A MINIMUM SEPARATION DISTANCE IN ALL DIRECTIONS OF NINE FEET BETWEEN THE PROPOSED WATERLINE AND WASTEWATER COLLECTION FACILITIES INCLUDING MANHOLES. IF THIS DISTANCE CANNOT BE MAINTAINED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROJECT ENGINEER FOR FURTHER DIRECTION. SEPARATION DISTANCES, INSTALLATION METHODS, AND MATERIAL UTILIZED MUST MEET 30 TAC §290.44(E)(1)-(4).
13. THE SEPARATION DISTANCE FROM A POTABLE WATERLINE TO A WASTEWATER MAIN OR LATERAL MANHOLE OR CLEAN-OUT SHALL BE A MINIMUM OF NINE FEET. WHERE THE NINE-FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE POTABLE WATERLINE SHALL BE ENCASED IN A JOINT OF AT LEAST 150 PSI PRESSURE CLASS PIPE AT LEAST 18 FEET LONG AND TWO NOMINAL SIZES LARGER THAN THE NEW CONVEYANCE. THE SPACE AROUND THE CARRIER PIPE SHALL BE SUPPORTED AT FIVE-FOOT INTERVALS WITH SPACERS OR BE FILLED TO THE SPRINGLINE WITH WASHED SAND. THE ENCASEMENT PIPE SHALL BE CENTERED ON THE CROSSING AND BOTH ENDS SEALED WITH CEMENT GROUT OR MANUFACTURED SEALANT, AS REQUIRED BY 30 TAC §290.44(E)(5).
14. FIRE HYDRANTS SHALL NOT BE INSTALLED WITHIN NINE FEET VERTICALLY OR HORIZONTALLY OF ANY WASTEWATER LINE, WASTEWATER LATERAL, OR WASTEWATER SERVICE LINE REGARDLESS OF CONSTRUCTION, AS REQUIRED BY 30 TAC §290.44(E)(6).
15. SUCTION MAINS TO PUMPING EQUIPMENT SHALL NOT CROSS WASTEWATER MAINS, WASTEWATER LATERALS, OR WASTEWATER SERVICE LINES. RAW WATER SUPPLY LINES SHALL NOT BE INSTALLED WITHIN FIVE FEET OF ANY TILE OR CONCRETE WASTEWATER MAIN, WASTEWATER LATERAL, OR WASTEWATER SERVICE LINE, AS REQURIED BY 30 TAC §290.44(E)(7).
16. WATERLINES SHALL NOT BE INSTALLED CLOSER THAN TEN FEET TO SEPTIC TANK DRAINFIELDS, AS REQUIRED BY 30 TAC §290.44(E)(8).
17. THE CONTRACTOR SHALL DISINFECT THE NEW WATERLINES IN ACCORDANCE WITH AWWA STANDARD C-651-14 OR MOST RECENT, THEN FLUSH AND SAMPLE THE LINES BEFORE BEING PLACED INTO SERVICE. SAMPLES SHALL BE COLLECTED FOR MICROBIOLOGICAL ANALYSIS TO CHECK FOR EFFECTIVENESS OF THE DISINFECTION PROCEDURE WHICH SHALL BE REPEATED IF CONTAMINATION PERSISTS. A MINIMUM OF ONE SAMPLE FOR EACH 1,000 FEET OF COMPLETED WATERLINE WILL BE REQUIRED OR AT THE NEXT AVAILABLE SAMPLING POINT BEYOND 1,000 FEET AS DESIGNATED BY THE DESIGN ENGINEER, AS REQUIRED BY 30 TAC §290.44(F)(3).
18. DECHLORINATION OF DISINFECTING WATER SHALL BE IN STRICT ACCORDANCE WITH CURRENT AWWA STANDARD C655-09 OR MOST RECENT.

RECOMMENDED PAVEMENT SECTIONS

Traffic Conditions	Pavement Section (from top to the subgrade)	
DRIVE LANES/FIRE LANES	• 6" Portland Cement Concrete	• 2.5" HMAC (Type D)
		• 10" Flexible Base
	• 6" Scarified/Moisture Conditioned Subgrade	• 6" Scarified/Moisture Conditioned Subgrade
POV PARKING STALLS	• 5" Portland Cement Concrete*	• 2" HMAC (Type D)
		• 8" Flexible Base
	• 6" Scarified/Moisture Conditioned Subgrade	• 6" Scarified/Moisture Conditioned Subgrade
Dumpster Pad Area	• 7" Portland Cement Concrete	
	• 6" Scarified/Moisture Conditioned Subgrade	

THE MOISTURE-CONDITIONED SUBGRADE SHALL EXTEND A MINIMUM OF 24 INCHES BEHIND THE BACK OF THE CURB, TO LIMIT EDGE EFFECTS. THE COMPACTION AND MOISTURE REQUIREMENTS FOR THE MOISTURE-CONDITIONED SUBGRADE ARE PRESENTED IN THE GEOTECHNICAL REPORT.

THE FLEXIBLE BASE SHALL EXTEND A MINIMUM OF 24 INCHES BEHIND THE BACK OF THE CURB, TO LIMIT EDGE EFFECTS. THE FLEXIBLE BASE SHOULD CONSIST OF CRUSHED LIMESTONE AND GENERALLY CONFORM TO TXDOT ITEM 247 TYPE A OR D, GRADE 1-2. THE COMPACTION AND MOISTURE REQUIREMENTS FOR THE FLEXIBLE BASE ARE PRESENTED IN GEOTECHNICAL REPORT.

CONCRETE SHOULD HAVE A MINIMUM FLEXURAL STRENGTH OF 550 PSI AT 28 DAYS THAT CORRESPONDS TO ROUGHLY 3,600-PSI COMPRESSIVE STRENGTH. CONCRETE SHOULD BE STEEL REINFORCED AND INCLUDE JOINTS TO CONTROL THE FORMATION OF TEMPERATURE AND SHRINKAGE RELATED CRACKS.

CONCRETE SHOULD INCLUDE AIR ENTRAINMENT TO INCREASE THE RESISTANCE TO TEMPERATURE EFFECTS. AS A GENERAL GUIDE, THE AIR ENTRAINMENT SHOULD RANGE FROM BETWEEN 3 AND 6 PERCENT. WE RECOMMEND REINFORCING CONCRETE PAVING WITH GRADE 60, #4 DEFORMED BARS SPACED AT 18 INCHES ON CENTER EACH WAY OR #3 AT 12 INCHES ON CENTER EACH WAY. WE RECOMMEND A MAXIMUM JOINT SPACING OF 15' X 15'. SAWCUT JOINTS SHOULD BE CUT TO A DEPTH OF¼ THE THICKNESS OF THE PAVING. SAW CUTTING SHOULD BE CONDUCTED WITHIN 4 TO 12 HOURS OF INITIAL SET.

THE PAVING RECOMMENDATION AND GEOTECHNICAL REPORT WAS CONDUCTED BY ALLIANCE ENGINEERING GROUP, INC ON SEPTEMBER 17, 2024.

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512-344-9664
TBPE FIRM #F-19351

DESIGNED: XXXXX
DRAWN: VALUE
REVIEWED: VALUE

MICHAEL EASTON MUNDINE
143266
7/15/2025

NO. | DATE | REVISIONS | RECOM'D

AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME

6540 TX-29
GEORGETOWN, TX 78628

GENERAL NOTES (1 OF 2)

PERMIT No.
COC-XXXX-XXXX

SHEET No.
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OF 26

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PLOT DATE: Tuesday, July 15, 2025
PLOTTED BY: CHANGE PASSWORD AT O365

B4 - CONSTRUCTION - GENERAL

B4.1 A PRECONSTRUCTION MEETING SHALL BE SCHEDULED PRIOR TO THE START OF CONSTRUCTION. THE DESIGN ENGINEER, OWNER, CONTRACTOR, SUBCONTRACTORS, AND COUNTY ENGINEER SHALL ATTEND THIS MEETING. ALL ROADS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AS APPROVED BY THE COUNTY ENGINEER AND IN ACCORDANCE WITH THE SPECIFICATIONS FOUND IN THE CURRENT VERSION OF THE "TEXAS DEPARTMENT OF TRANSPORTATION MANUAL STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES" UNLESS OTHERWISE STATED ON THE CONSTRUCTION DOCUMENTS APPROVED BY THE COUNTY ENGINEER.

B4.2 ALL MATERIALS SHALL BE SAMPLED AND TESTED BY AN INDEPENDENT TESTING LABORATORY IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS APPROVED BY THE COUNTY ENGINEER. THE OWNER SHALL PAY FOR ALL TESTING SERVICES AND SHALL FURNISH THE COUNTY ENGINEER WITH CERTIFIED COPIES OF THESE TEST RESULTS. THE COUNTY ENGINEER MUST APPROVE THE TEST RESULTS PRIOR TO CONSTRUCTING THE NEXT COURSE OF THE ROADWAY STRUCTURE. ANY MATERIAL WHICH DOES NOT MEET THE MINIMUM REQUIRED TEST SPECIFICATIONS SHALL BE REMOVED AND RECOMPACTED OR REPLACED UNLESS ALTERNATIVE REMEDIAL ACTION IS APPROVED IN WRITING FROM THE COUNTY ENGINEER.

B4.3 EXCEPT FOR ELECTRICAL LINES, ALL UNDERGROUND NONFERROUS UTILITIES WITHIN A RIGHT-OF-WAY OR EASEMENT MUST BE ACCOMPANIED BY FERROUS METAL LINES TO AID IN TRACING THE LOCATION OF SAID UTILITIES THROUGH THE USE OF A METAL DETECTOR.

B4.4 ALL PROPOSED PAVEMENTS (FLEXIBLE AND RIGID) ARE TO BE SPECIFIED IN THE GEOTECH REPORT. THE GEOTECH REPORT IS TO BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER. PAVEMENT DESIGNS SHALL FOLLOW THE BELOW COUNTY REQUIREMENTS BASED UPON SOIL CONDITIONS FROM SAMPLES TAKEN ALONG THE PROPOSED ROADWAYS. TEST BORINGS SHALL BE PLACED AT A MAXIMUM SPACING OF 500 FEET OR OTHER SAMPLING FREQUENCY APPROVED BY THE COUNTY ENGINEER BASED ON RECOMMENDATIONS PROVIDED BY THE GEOTECHNICAL ENGINEER. BORINGS SHALL BE TO A DEPTH OF TEN FT OR, IF SOLID ROCK IS ENCOUNTERED, ONE FT BELOW NON-FRACTURED ROCK OR 3 FT BELOW FRACTURED ROCK. THE PAVEMENT DESIGN MUST MEET AT LEAST THE MINIMUM OF ONE OF THE APPROVED COUNTY DESIGNS AND PROVIDED IN THE GEOTECHNICAL REPORT FOR REVIEW AND APPROVAL PRIOR TO THE REVIEW AND APPROVAL OF THE CONSTRUCTION PLANS. IN ADDITION TO THE BASIS OF THE PAVEMENT DESIGN, THE SOILS REPORT SHALL CONTAIN THE RESULTS OF SAMPLED AND TESTED SUBGRADE FOR PLASTICITY INDEX.

B5 - SUBGRADE

B5.1 THE PREPARATION OF THE SUBGRADE SHALL FOLLOW GOOD ENGINEERING PRACTICES AS DIRECTED BY THE COUNTY ENGINEER IN CONJUNCTION WITH RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT. WHEN THE PLASTICITY INDEX (PI) IS GREATER THAN 20, A SUFFICIENT AMOUNT OF LIME SHALL BE ADDED AS DESCRIBED IN ITEM 260 OF THE CURRENT EDITION OF THE TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNTIL THE PI IS LESS THAN 20. IF THE ADDITION OF LIME AS DESCRIBED IN ITEM 260 IS NOT FEASIBLE, AN ALTERNATE STABILIZING DESIGN SHALL BE PROPOSED AND SUBMITTED TO THE COUNTY ENGINEER FOR APPROVAL. THE SUBGRADE SHALL BE PREPARED AND COMPACTED TO ACHIEVE A DRY DENSITY PER TXDOT ITEM 132. IN ADDITION, PROOF ROLLING MAY BE REQUIRED BY THE COUNTY ENGINEER.

B5.2 IF LIME IS NECESSARY, THEN A SUFFICIENT AMOUNT OF LIME SHALL BE ADDED, AS DESCRIBED IN ITEM 260 OF THE CURRENT EDITION OF THE TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION TO PROPERLY STABILIZE SUBGRADE. THE USE OF HYDRATED LIME OR LIME SLURRY IS APPROVED; HOWEVER, THE USE OF PELLETIZED LIME IS NOT APPROVED.

B5.3 PRIOR TO LIME STABILIZATION, A SULFATE TEST OF IN SITU SOILS SHALL BE PERFORMED BY DEVELOPER TO CONFIRM THE APPROPRIATE MEANS AND METHODS OF STABILIZATION. PROVIDE SULFATE TEST TO COUNTY ENGINEER PRIOR TO STABILIZATION.

B5.4 ANY VARIATION TO THE COUNTY'S STABILIZATION REQUIREMENTS MUST BE APPROVED BY THE COUNTY ENGINEER.

B5.5 THE SUBGRADE SHALL BE PREPARED AND COMPACTED TO ACHIEVE A DRY DENSITY PER TXDOT ITEM 132. IN ADDITION, PROOF ROLLING MAY BE REQUIRED BY THE COUNTY ENGINEER.

B5.6 THE SUBGRADE SHALL BE INSPECTED AND APPROVED BY AN INDEPENDENT TESTING LABORATORY AND A CERTIFIED COPY OF ALL INSPECTION REPORTS FURNISHED TO THE COUNTY ENGINEER. THE COUNTY ENGINEER MUST APPROVE THE REPORT PRIOR TO APPLICATION OF THE BASE MATERIAL. ALL DENSITY TEST REPORTS SHALL INCLUDE A COPY OF THE WORK SHEET SHOWING THE PERCENTAGE OF THE MAXIMUM DRY (PROCTOR) DENSITY. THE NUMBER AND LOCATION OF ALL SUBGRADE TESTS SHALL BE DETERMINED BY THE COUNTY ENGINEER.

B6 - BASE MATERIAL

B6.1 BASE MATERIAL SHALL CONFORM TO ITEM 247 OF THE CURRENT EDITION OF THE TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, "FLEXIBLE BASE". THE BASE MATERIAL SHALL BE TYPE A GRADE 4, OR AS APPROVED BY THE COUNTY ENGINEER. GRADE 4 MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF TABLE B6.1 BELOW:

TABLE B6.1: GRADATION SPECIFICATION FOR TY A, GRADE 4

Master gradation sieve size	Cumulative % Retained
2 ½"	-
1 ¾"	0
7/8"	10% - 35%
3/8"	30% - 65%
#4	45% - 75%
#40	70% - 90%
#200	87% - 95%

B6.2 EACH LAYER OF BASE COURSE SHALL BE TESTED FOR IN-PLACE DRY DENSITY AND MEASURED FOR COMPACTED THICKNESS. THE NUMBER AND LOCATION OF ALL BASE TEST SAMPLES SHALL BE DETERMINED BY THE COUNTY ENGINEER.

B6.3 THE BASE SHALL BE PREPARED AND COMPACTED TO ACHIEVE A MINIMUM OF 100% OF THE MAXIMUM (PROCTOR) DRY DENSITY OR AS APPROVED BY THE COUNTY ENGINEER UPON RECOMMENDATION BY THE TESTING LABORATORY. THE MAXIMUM LIFT SHALL NOT EXCEED SIX INCHES. THE BASE MUST BE INSPECTED AND APPROVED BY AN INDEPENDENT TESTING LABORATORY AND A CERTIFIED COPY OF THE TEST RESULTS FURNISHED TO THE COUNTY ENGINEER FOR APPROVAL. PRIOR TO THE PLACEMENT OF THE FIRST LIFT OF BASE, THE STOCKPILE SHALL BE TESTED FOR THE SPECIFICATIONS FOUND IN ITEM 247 TABLE 1 AND THE RESULT FURNISHED TO THE COUNTY ENGINEER FOR APPROVAL.

B7 - BITUMINOUS PAVEMENT

B7.1 URBAN ROADS REQUIRE A MINIMUM 2 INCH WEARING SURFACE OF HMAC TYPE D. THE MIX SHALL BE FROM A TXDOT CERTIFIED PLANT AND THE MIX DESIGN SHALL BE SUBMITTED TO THE COUNTY ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF THE MATERIAL.

B7.2 IF PROVIDING MIXTURE TYPE C OR D, USE PERFORMANCE GRADE (PG) BINDER 70-22. PROVIDE PG BINDER THAT DOES NOT CONTAIN RECYCLED ENGINE OIL BOTTOMS (REOBS) OR POLY PHOSPHORIC ACID (PPA). RECYCLED ASPHALT PAVEMENT (RAP) IS NOT PERMITTED FOR USE AS A COMPONENT OF THE HMACP. THE CONTRACTOR IS ALSO NOT PERMITTED THE USE RECYCLED ASPHALT SHINGLES (RAS) AS A COMPONENT OF THE HMACP.

B7.3 IF PROVIDING MIXTURE TYPE B, USE PG BINDER 64-22. PROVIDE PG BINDERS THAT DO NOT CONTAIN REOBS OR PPA. FOR SUBSURFACE COURSE TYPE B, THE USE OF TWENTY PERCENT (20%) RAP IS PERMITTED IN THE MIX DESIGN. THE CONTRACTOR IS NOT PERMITTED TO USE RAS AS A COMPONENT OF THE HMACP.

B7.4 TARGET LABORATORY MOLDED DENSITY IS 96.5% FOR ALL MIXTURES WITHOUT RAP AND WHEN USING A TEXAS GYRATORY COMPACTOR (TGC) FOR DESIGNING THE MIXTURE. WHEN USING SUPERPAVE GYRATORY COMPACTOR (SGC) TO DESIGN MIXTURES, SUBMIT THE SGC MIX DESIGN TO THE ENGINEER FOR APPROVAL.

B7.5 ALL MIXTURES MUST MEET THE HAMBURG REQUIREMENT AS STATED IN THE TABLE BELOW.

High-Temperature Binder Grade	Test Method	Hamburg Wheel Test Requirements*
		Minimum # of Passes @ 0.5" Rut Depth, Tested @122°F
PG 64 or lower	Tex-242-F	7,000
PG 70	Tex-242-F	15,000
PG 76 or higher	Tex-242-F	20,000

* The County Engineer may accept Hamburg Wheel test results for production and placement if no more than 1of the 5 most recent tests is below the specified number of passes and the failing test is no more than 2,000 passes below the specified number of passes.

B7.6 SUBMIT ANY PROPOSED ADJUSTMENTS OR CHANGES TO A JOB MIX FORMULA TO THE COUNTY ENGINEER BEFORE PRODUCTION OF THE NEW JOB MIX FORMULA.

B7.7 UNLESS OTHERWISE APPROVED, PROVIDE TYPE B MIXTURES THAT HAVE NO LESS THAN 4.5% ASPHALT BINDER, AND TY C AND D MIXTURES WITH NO LESS THAN 4.7% BINDER.

B7.8 FOR MIXTURE DESIGN VERIFICATION, PROVIDE THE ENGINEER WITH TWO 5-GALLON BUCKETS OF EACH AGGREGATE STOCKPILE TO BE USED ON THE PROJECT AND THREE GALLONS OF EACH PG BINDER TO BE USED ON THE PROJECT. ALSO PROVIDE SUFFICIENT QUANTITIES OF ANY OTHER ADDITIVES THAT WILL BE USED IN THE HMA MIXTURE. THIS MUST BE DONE PRIOR TO APPROVAL OF THE MIX DESIGN, UNLESS ALREADY PERFORMED WITHIN A ONE-YEAR TIME PERIOD.

B7.9 PRIOR TO ALLOWING PRODUCTION OF THE TRIAL BATCH, THE ENGINEER WILL USE THE MATERIALS PROVIDED BY THE CONTRACTOR TO PERFORM THE FOLLOWING TESTS TO VERIFY THE HMA MIXTURE DESIGN.

1. INDIRECT TENSILE TEST IN ACCORDANCE WITH TEX-226-F
2. HAMBURG WHEEL TEST IN ACCORDANCE WITH TEX-242-F
3. OVERLAY TEST IN ACCORDANCE WITH TEX-248-F
4. CANTABRO TEST IN ACCORDANCE WITH TEX-245-F

FOR MIXTURES DESIGNED WITH A TEXAS GYRATORY COMPACTOR (TGC), THE ENGINEER MAY REQUIRE THAT THE TARGET LABORATORY MOLDED DENSITY BE RAISED TO NO MORE THAN 97.5% OR MAY LOWER THE DESIGN NUMBER OF GYRATIONS TO NO LESS THAN 35 FOR MIXTURES DESIGNED WITH AN SGC IF ANY OF THE FOLLOWING CONDITIONS EXIST.

1. THE INDIRECT TENSILE TEST RESULTS IN A VALUE GREATER THAN 200 PSI
2. THE HAMBURG WHEEL TEST RESULTS IN A VALUE LESS THAN 3.0 MM
3. THE OVERLAY TEST RESULTS IN A VALUE LESS THAN 100 CYCLES
4. THE CANTABRO TEST RESULTS IN A VALUE OF MORE THAN 20% LOSS

IN LIEU OF, OR IN ADDITION TO EVALUATING THE MIXTURE DESIGN PRIOR TO ALLOWING A TRIAL BATCH TO BE PRODUCED, THE ENGINEER MAY ALSO EVALUATE THE MIXTURE PRODUCED DURING THE TRIAL BATCH FOR COMPLIANCE WITH THE 4 TESTS LISTED ABOVE.

B7.10 CONTRACTOR'S QUALITY CONTROL (CQC) TEST REPORTS SHALL BE SUBMITTED TO THE COUNTY ENGINEER ON A DAILY BASIS. AS A MINIMUM, DAILY CQC TESTING ON THE PRODUCED MIX SHALL INCLUDE: SIEVE ANALYSIS TEX-200-F, ASPHALT CONTENT TEX-236-F, HVEEM STABILITY TEX-208-F, LABORATORY COMPACTED DENSITY TEX-207-F, AND MAXIMUM SPECIFIC GRAVITY TEX-227-F. THE NUMBER AND LOCATION OF ALL HMAC TESTS SHALL BE DETERMINED BY THE COUNTY ENGINEER WITH A MINIMUM OF THREE, 6-INCH DIAMETER FIELD CORES SECURED AND TESTED BY THE CONTRACTOR FROM EACH DAY'S PAVING. EACH HMAC COURSE SHALL BE TESTED FOR IN-PLACE DENSITY, BITUMINOUS CONTENT AND AGGREGATE GRADATION, AND SHALL BE MEASURED FOR COMPACTED THICKNESS. THE NUMBER AND LOCATION OF ALL HMAC TEST SAMPLES SHALL BE DETERMINED BY THE COUNTY ENGINEER.

B7.11 RURAL ROADS MAY USE EITHER THE SPECIFICATIONS FOUND IN SECTION B7.1 OR A TWO-COURSE SURFACE IN ACCORDANCE WITH ITEM 316, TREATMENT WEARING SURFACE, OF THE CURRENT EDITION OF THE TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE TYPE AND RATE OF ASPHALT AND AGGREGATE SHALL BE INDICATED ON THE PLANS AS A BASIS OF ESTIMATE AND SHALL BE DETERMINED AT THE PRECONSTRUCTION CONFERENCE. AGGREGATE USED IN THE MIX SHALL BE ON THE TXDOT QUALITY MONITORING SCHEDULE. AGGREGATE SHALL BE TYPE B GRADE 4. GRADATION TESTS SHALL BE REQUIRED FOR EACH 300 CUBIC YARDS OF MATERIAL PLACED WITH A MINIMUM OF TWO TESTS PER EACH GRADE PER EACH PROJECT. TEST RESULTS SHALL BE REVIEWED BY THE COUNTY ENGINEER PRIOR TO APPLICATION OF THE MATERIAL.

B8 - CONCRETE PAVEMENT

B8.1 IN LIEU OF BITUMINOUS PAVEMENT, PORTLAND CEMENT CONCRETE PAVEMENT MAY BE USED. IN SUCH CASES, THE PAVEMENT THICKNESS SHALL BE A MINIMUM OF 9 INCHES OF CONCRETE, AND SHALL BE JOINTED AND REINFORCED IN ACCORDANCE WITH THE DETAIL INCLUDED IN APPENDIX I. THE MIX SHALL BE FROM A TXDOT CERTIFIED PLANT. THE MIX DESIGN SHALL BE SUBMITTED TO THE COUNTY ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF THE MATERIAL.

B9 - CONCRETE - GENERAL

B9.1 UNLESS OTHERWISE SPECIFIED, CONCRETE SHALL BE IN ACCORDANCE WITH ITEM 421 OF THE CURRENT EDITION OF THE TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND BE PLACED IN ACCORDANCE WITH THE APPLICABLE ITEM.

B9.2 ALL CONCRETE SHALL BE TESTED FOR COMPRESSIVE STRENGTH. ONE SET OF THREE CONCRETE TEST CYLINDERS SHALL BE MOLDED FOR EVERY 50 CUBIC YARDS OF CONCRETE PLACED FOR EACH CLASS OF CONCRETE PER DAY, OR AT ANY OTHER INTERVAL AS DETERMINED BY THE COUNTY ENGINEER. A SLUMP TEST SHALL BE REQUIRED WITH EACH SET OF TEST CYLINDERS. ONE CYLINDER SHALL BE TESTED FOR COMPRESSIVE STRENGTH AT AN AGE OF SEVEN DAYS AND THE REMAINING TWO CYLINDERS SHALL BE TESTED AT 28 DAYS OF AGE.

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TBPE FIRM #F-19351

DESIGNED: XXXXX
DRAWN: VALUE
REVIEWED:VALUE

STATE OF TEXAS
MICHAEL EASTON MUNDINE
143266
LICENSED
PROFESSIONAL ENGINEER
7/15/2025

NO.	DATE	REVISIONS	RECOM'D

AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME
6540 TX-29
GEORGETOWN, TX 78628

GENERAL NOTES (2 OF 2)

PERMIT No.
COC-XXXX-XXXX

SHEET No.
3
OF 26

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PLOT DATE: Tuesday, July 15, 2025
PLOTTED BY: CHANGE PASSWORD AT O365

SHEET No. 4 OF 26

PERMIT No. DOC-XXXX-XXXXXX

FINAL PLAT

AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
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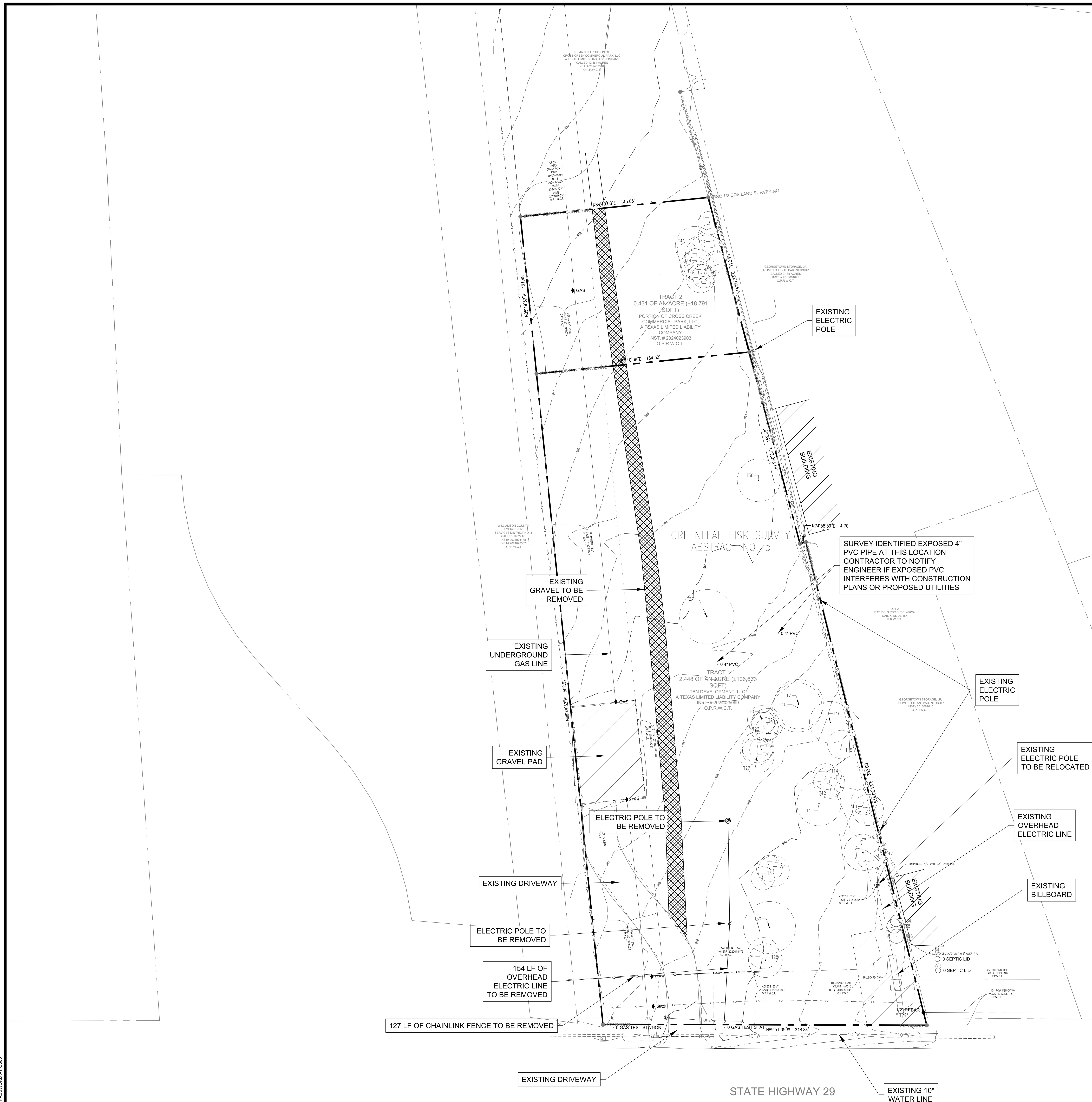
DESIGNED: XXXXX DRAWN: VALUE REVIEWED: VALUE



N W E S

0 40 80

SCALE : 1" = 40'

TREE LIST			
KEY	TREE #	SIZE (INCHES)	SPECIES
R	T6	14	LIVE OAK
R	T7	12	LIVE OAK
R	T8	12	LIVE OAK
R	T9	12	LIVE OAK
R	T10	10	LIVE OAK
R	T11	17	LIVE OAK
R	T12	8	LIVE OAK
R	T13	12	LIVE OAK
R	T14	10	LIVE OAK
R	T15	11	LIVE OAK
R	T16	16	LIVE OAK
R	T17	19	LIVE OAK
R	T18	19	LIVE OAK
R	T19	12	LIVE OAK
R	T20	11	LIVE OAK
R	T21	9	LIVE OAK
R	T22	11	LIVE OAK
R	T23	9	LIVE OAK
R	T24	12	LIVE OAK
R	T25	9	LIVE OAK
R	T26	11	LIVE OAK
R	T27	13	LIVE OAK
R	T28	13	LIVE OAK
R	T29	12	LIVE OAK
R	T30	20 MS(15-10)	LIVE OAK
R	T31	9	LIVE OAK
R	T32	12	LIVE OAK
R	T33	10	LIVE OAK
R	T37	21 MS(14-14)	LIVE OAK
R	T38	16.5 MS(12-9)	LIVE OAK
R	T39	9	LIVE OAK
R	T40	9	LIVE OAK
R	T41	15	LIVE OAK
R	T42	10	LIVE OAK
R	T43	16	LIVE OAK
R	T44	13	LIVE OAK
R	T45	9	LIVE OAK
R	T46	8	ELM
R	T47	9	LIVE OAK
R	T48	11	LIVE OAK
P	T34	9	LIVE OAK
P	T35	11	LIVE OAK
P	T36	11	LIVE OAK

LEGEND
R = TREE TO BE REMOVED
P = TREE TO REMAIN

GENERAL LEGEND

SYMBOLS

- WATER METER
- WATER VALVE
- FIRE HYDRANT
- BACKFLOW PREVENTER
- UTILITY POLE
- LIGHT POLE
- WASTEWATER MANHOLE
- CLEAN OUT
- KEYNOTES
- PARKING COUNT
- WW SERVICE
- WATER SERVICE
- STORMSEWER MANHOLE
- SIGN
- CURB INLET
- GRATE INLET
- TABLE TOP AREA INLET
- TREE TO BE SAVED
- TREE TO BE REMOVED

LINETYPES

- PROPERTY BOUNDARY
- LOC LIMITS OF CONSTRUCTION
- FENCES (CHAINLINK)
- (IRON)
- (WOOD)
- (BARB WIRE)
- DITCH (CREEK) LINE
- 725 EXISTING CONTOURS
- 725 DEVELOPED CONTOURS
- CURB & GUTTER
- UGE UNDERGROUND ELEC.
- OHE OVERHEAD UTILITY
- TEL UNDERGROUND TELE.
- GAS UNDERGROUND GAS LINE
- SD STORM DRAIN LINE
- W WATER LINE
- F FIRE LINE
- WW WASTEWATER LINE
- ACCESSIBLE ROUTE

EXISTING LINETYPES

- STORM DRAIN MH
- CURB INLET
- POWER POLE
- FIRE HYDRANT
- GATE VALVE
- WATER METER
- WASTEWATER MH
- WASTEWATER CLEANOUT
- FENCES (CHAINLINK)
- (WOOD)
- (IRON)
- (BARB WIRE)
- (CONCRETE)
- FEMA 1% FEMA 1% FLOOD PLAIN
- UCOMM UNDERGROUND COMM
- OHE OVERHEAD ELECTRIC LINE
- W WATER LINE
- WW WASTEWATER LINE
- SD STORM LINE
- GAS GAS LINE

DEMOLITION LEGEND

- XXXXXXXXX LINE DEMO (UTILITIES, CURBS)
- AREA OF DEMO (VEGETATION, PAVEMENT, UTILITIES)

DEMOLITION NOTES:

1. A PRE-CONSTRUCTION MEETING WITH THE CITY, IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.
2. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
3. ANY EXISTING UTILITIES, PAVEMENT, CURBS, SIDEWALKS, STRUCTURES, TREE, ETC. THAT ARE DAMAGED OR REMOVED SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
4. CONTRACTOR TO ENSURE THAT NO DEMOLITION ACTIVITIES OCCURS WITHIN THE HALF CRITICAL ROOT ZONE OF TREES PROPOSED TO BE PROTECTED.
5. REFER TO EROSION AND SEDIMENTATION CONTROL DETAILS FOR TREE PROTECTION DETAILS.
6. FIRE SAFETY: THIS SITE SHALL BE COMPLIANT WITH CHAPTER 33 OF THE INTERNATIONAL FIRE CODE 2015, DURING CONSTRUCTION AND DEMOLITION.

811 Know what's **below.** **Call** before you dig.

CONTRACTOR NOTES:

EXISTING UNDERGROUND AND OVERHEAD UTILITIES IN VICINITY. CONTRACTOR TO CONTACT UTILITY COMPANIES PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS & DEPTHS PRIOR TO BEGINNING CONSTRUCTION.

CONTRACTOR SHALL CONSIDER DEVELOPED UTILITY IMPROVEMENTS AND PROVIDE ADEQUATE HORIZONTAL AND VERTICAL CLEARANCE DURING INSTALLATION OF ALL UTILITY INFRASTRUCTURE.

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EXISTING CONDITIONS AND DEMO PLAN

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COC-XXXX-XXXX

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5
OF 26

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XREFS: * 24436 2P-TitleBlock.dwg * E-BASE.dwg * MEUE.dwg
PLOTTED BY: CHANGE PASSWORD AT C665

GENERAL LEGEND

SYMBOLS

- WATER METER
- WATER VALVE
- FIRE HYDRANT
- BACKFLOW PREVENTER
- UTILITY POLE
- LIGHT POLE
- WASTEWATER MANHOLE
- CLEAN OUT
- KEYNOTES
- PARKING COUNT
- WW SERVICE
- WATER SERVICE
- STORMSEWER MANHOLE
- SIGN
- CURB INLET
- GRATE INLET
- TABLE TOP AREA INLET
- TREE TO BE SAVED
- TREE TO BE REMOVED

LINETYPES

- PROPERTY BOUNDARY
- LIMITS OF CONSTRUCTION
- FENCES (CHAINLINK) (IRON) (WOOD) (BARB WIRE)
- DITCH (CREEK) LINE
- EXISTING CONTOURS
- DEVELOPED CONTOURS
- CURB & GUTTER
- UNDERGROUND ELEC.
- OVERHEAD UTILITY
- UNDERGROUND TELE.
- UNDERGROUND GAS LINE
- STORM DRAIN LINE
- WATER LINE
- FIRE LINE
- WASTEWATER LINE
- ACCESSIBLE ROUTE

EROSION & SEDIMENT CONTROL, TREE PROTECTION LEGEND

- LIMITS OF CONSTRUCTION
- TREE PROTECTION FENCING
- ROCK BERM
- SILT FENCE
- ORANGE MESH SAFETY FENCE
- IP INLET PROTECTION
- LP LOW POINT
- HP HIGH POINT
- STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY SPOILS SITE
- CONSTRUCTION STAGING AREA
- EROSION CONTROL BLANKET
- REVEGETATION AREA

NOTES:

1. CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER CITY CODE, OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
2. SILT FENCE TYPE AND INSTALLATION SHALL COMPLY WITH DETAIL.
3. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH NATIVE GRASSES (REFER TO NOTE SHEET FOR SPECS). ALL DISTURBED AREAS WITH SLOPES 5:1 OR STEEPER, WHICH ARE NOT ARMORED OTHERWISE, SHALL HAVE A SOIL RETENTION BLANKET (EXCELSIOR II OR APPROVED EQUAL) INSTALLED TO ASSIST WITH REVEGETATION.

DETAIL NUMBER — DETAIL NAME
SHEET NUMBER WHERE DETAIL IS LOCATED
DETAIL REFERENCE CALLOUT

EROSION & SEDIMENTATION CONTROL PLAN NOTES:

1. CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER CITY OF GEORGETOWN, OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
2. SILT FENCE TYPE AND INSTALLATION SHALL COMPLY WITH CITY OF GEORGETOWN DETAILS AND SPECIFICATIONS.
3. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH NATIVE GRASSES (REFER TO NOTE SHEET FOR SPECS). ALL DISTURBED AREAS WITH SLOPES 5:1 OR STEEPER, WHICH ARE NOT ARMORED OTHERWISE, SHALL HAVE A SOIL RETENTION BLANKET (EXCELSIOR II OR APPROVED EQUAL) INSTALLED TO ASSIST WITH REVEGETATION.

811
Know what's **below.**
Call before you dig.

CONTRACTOR NOTES:

EXISTING UNDERGROUND AND OVERHEAD UTILITIES IN VICINITY. CONTRACTOR TO CONTACT UTILITY COMPANIES PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS & DEPTHS PRIOR TO BEGINNING CONSTRUCTION.

CONTRACTOR SHALL CONSIDER DEVELOPED UTILITY IMPROVEMENTS AND PROVIDE ADEQUATE HORIZONTAL AND VERTICAL CLEARANCE DURING INSTALLATION OF ALL UTILITY INFRASTRUCTURE.

2P CONSULTANTS, LLC
203 E. MAIN STREET, SUITE 204
ROUND ROCK, TEXAS 78664
512-344-9664
TBPE FIRM #F-19351

DESIGNED: XXXXX | DRAWN: VALUE | REVIEWED: VALUE

STATE OF TEXAS
MICHAEL EASTON MUNDINE
143266
LICENSED PROFESSIONAL ENGINEER
7/15/2025

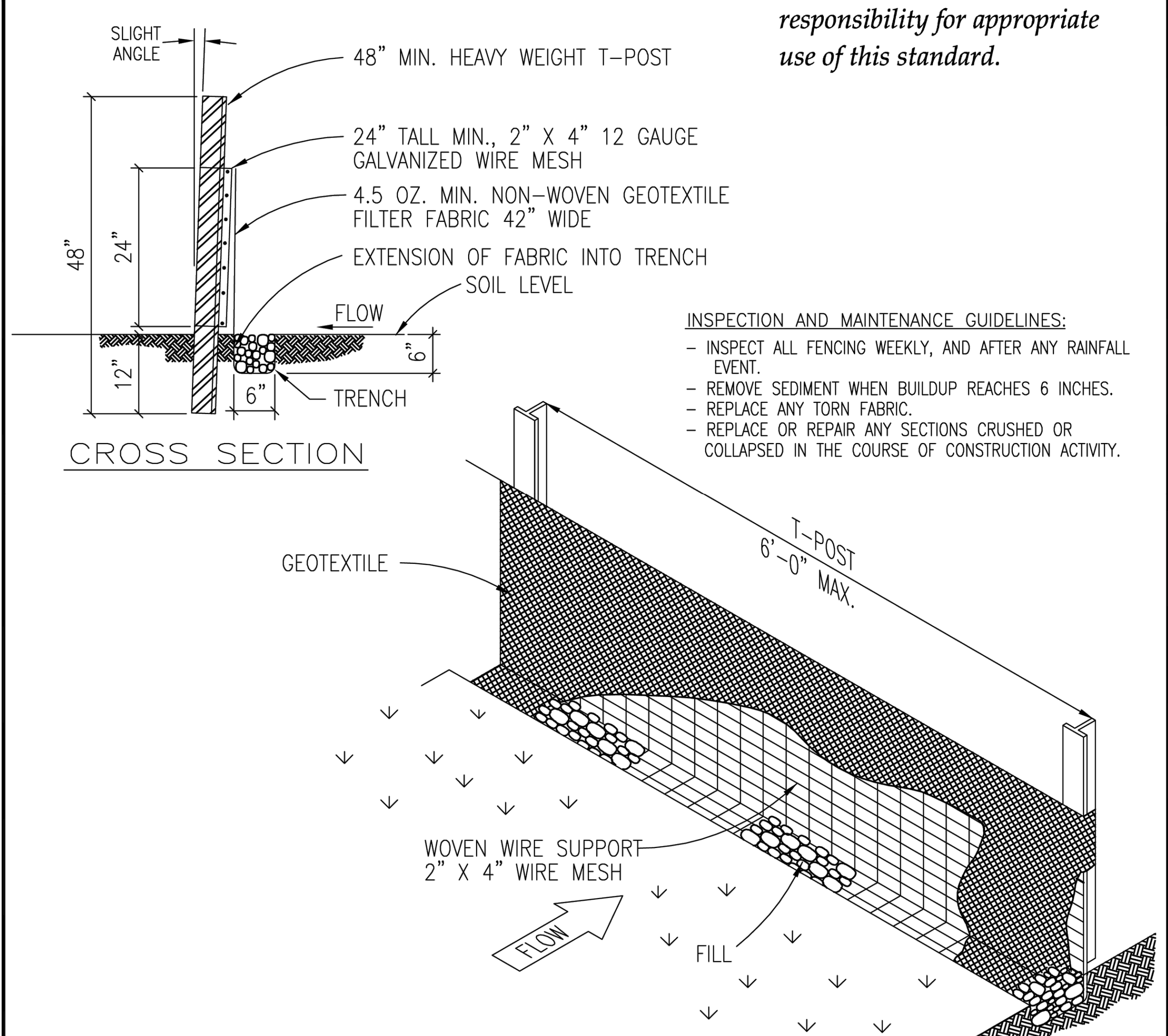
NO.	DATE	REVISIONS	RECORD

AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME
6540 TX-29
GEORGETOWN, TX 78628

EROSION AND SEDIMENTATION CONTROL PLAN

PERMIT No.
COC-XXXX-XXXX
SHEET No.
6
OF 26

The Architect/Engineer assumes responsibility for appropriate use of this standard.



INSPECTION AND MAINTENANCE GUIDELINES:

- INSPECT ALL FENCING WEEKLY, AND AFTER ANY RAINFALL EVENT.
- REMOVE SEDIMENT WHEN BUILDUP REACHES 6 INCHES.
- REPLACE ANY TORN FABRIC.
- REPLACE OR REPAIR ANY SECTIONS CRUSHED OR COLLAPSED IN THE COURSE OF CONSTRUCTION ACTIVITY.

INSTALLATION:

- LAYOUT THE SILT FENCE FOLLOWING AS CLOSELY AS POSSIBLE TO THE CONTOUR.
- CLEAR THE GROUND OF DEBRIS, ROCKS, PLANTS (INCLUDING GRASSES TALLER THAN 2") TO PROVIDE A SMOOTH FLOW APPROACH SURFACE. EXCAVATE 6" DEEP X 6" WIDE TRENCH ON UPSTREAM SIDE OF FACE PER PLANS.
- DRIVE THE HEAVY DUTY T-POST AT LEAST 12 INCHES INTO THE GROUND AND AT A SLIGHT ANGLE TOWARDS THE FLOW.
- ATTACH THE 2" X 4" 12 GAUGE WELDED WIRE MESH TO THE T-POST WITH 11 1/2 GAUGE GALVANIZED T-POST CLIPS. THE TOP OF THE WIRE TO BE 24" ABOVE GROUND LEVEL. THE WELDED WIRE MESH TO BE OVERLAPPED 6" AND TIED AT LEAST 6 TIMES WITH HOG RINGS.
- THE SILT FENCE TO BE INSTALLED WITH A SKIRT A MINIMUM OF 6" WIDE PLACED ON THE UPHILL SIDE OF THE FENCE INSIDE EXCAVATED TRENCH. THE FABRIC TO OVERLAP THE TOP OF THE WIRE BY 1".
- ANCHOR THE SILT FENCE BY BACKFILLING WITH EXCAVATED DIRT AND ROCKS (NOT LARGER THAN 2").
- GEOTEXTILE SPLICES SHOULD BE A MINIMUM OF 18" WIDE ATTACHED IN AT LEAST 6 PLACES. SPLICES IN CONCENTRATED FLOW AREAS WILL NOT BE ACCEPTED.
- SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

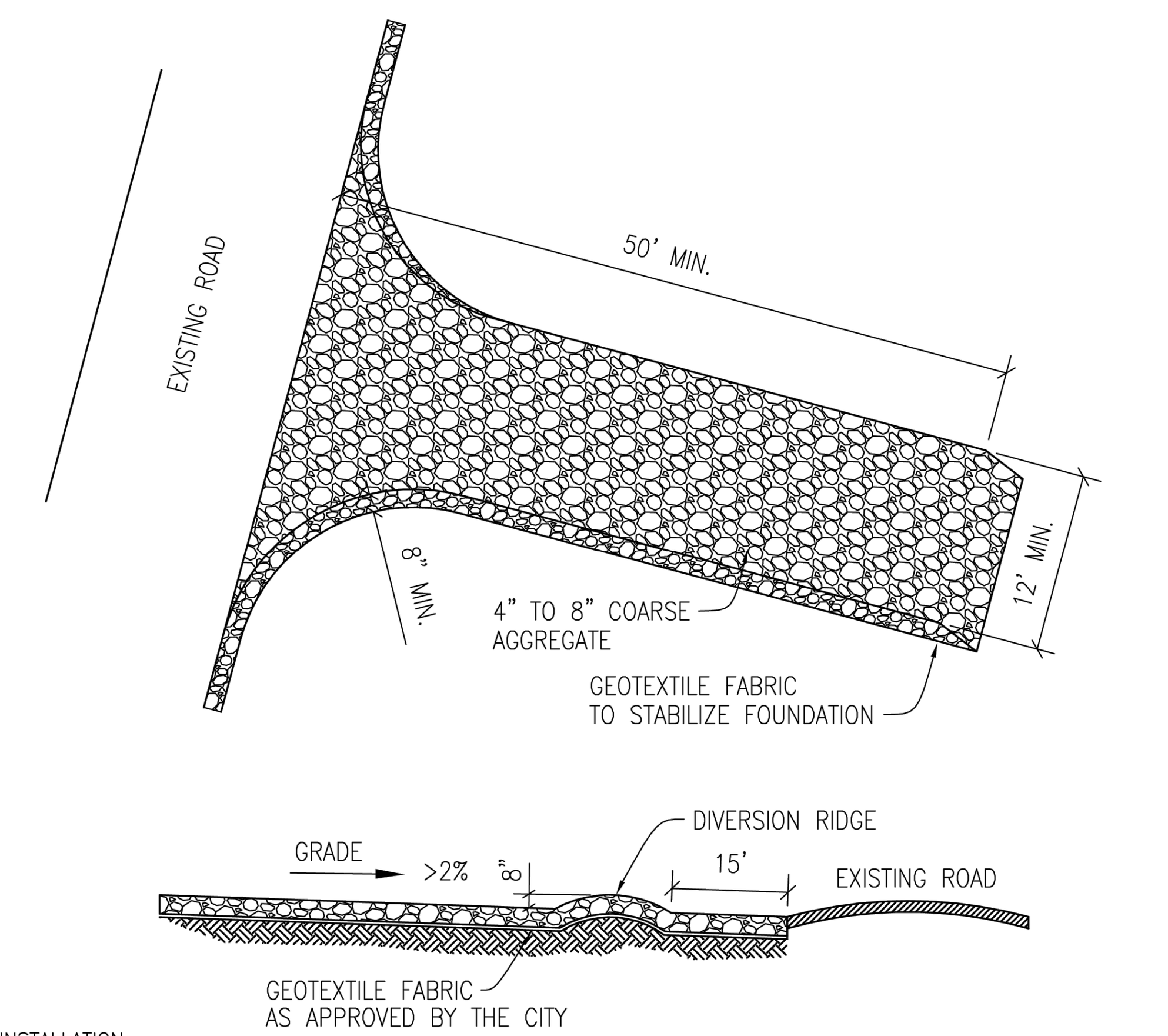
REVISION NOTE: ADOPTED 6/21/2006

GEORGETOWN TEXAS EST. 1848 — Georgetown Utility Systems, Your Community Owned Utility

CITY OF GEORGETOWN
CONSTRUCTION STANDARDS AND DETAILS

SILT FENCE DETAIL (1)

DRAWING NAME: EC02 | SCALE: NTS | DATE: 1/2003 | DRAWN BY: MRS | APPROVED BY: TRB



INSTALLATION:

- CLEAR THE AREA OF DEBRIS, ROCKS OR PLANTS THAT WILL INTERFERE WITH INSTALLATION.
- GRADE THE AREA FOR THE ENTRANCE TO FLOW BACK ON TO THE CONSTRUCTION SITE. RUNOFF FROM THE STABILIZED CONSTRUCTION
- PLACE GEOTEXTILE FABRIC AS APPROVED BY THE CITY.
- PLACE ROCK AS APPROVED BY THE CITY.

INSPECTIONS AND MAINTENANCE GUIDELINES:

- THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION, WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON TO PUBLIC RIGHTS-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY CONTRACTOR.
- WHEN NECESSARY, WHEELS SHOULD BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATER COURSE BY USING APPROVED METHODS.

The Architect/Engineer assumes responsibility for appropriate use of this standard.

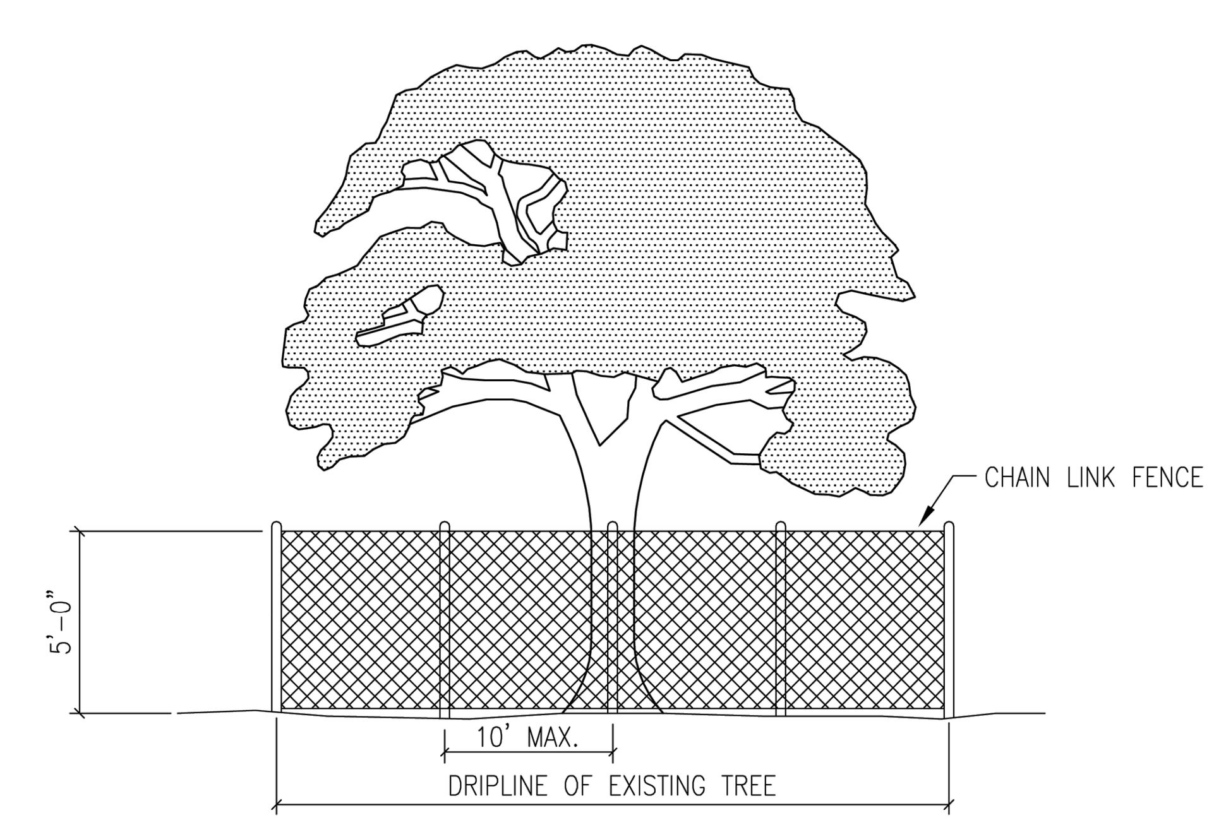
REVISION NOTE: ADOPTED 6/21/2006

GEORGETOWN TEXAS EST. 1848 — Georgetown Utility Systems, Your Community Owned Utility

CITY OF GEORGETOWN
CONSTRUCTION STANDARDS AND DETAILS

STABILIZED CONSTRUCTION ENTRANCE (2)

DRAWING NAME: EC06 | SCALE: NTS | DATE: 1/2003 | DRAWN BY: MRS | APPROVED BY: TRB



NOTES:

1. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING).
2. FENCES SHALL COMPLETELY SURROUND THE TREE, OR CLUSTERS OF TREES; WILL BE LOCATED AT THE OUTERMOST LIMIT OF THE TREE BRANCHES (DRIPLINE), AND WILL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT IN ORDER TO PREVENT THE FOLLOWING:
   A. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MATERIALS.
   B. ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN SIX INCHES (6") CUT OR FILL, OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE CITY.
   C. WOUNDS TO EXPOSED ROOTS, TRUNKS OR LIMBS BY MECHANICAL EQUIPMENT.
   D. OTHER ACTIVITIES DETRIMENTAL TO TREES, SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING AND FIRE.
3. EXCEPTIONS TO INSTALLING FENCES AT TREE DRIPLINES MAY BE PERMITTED IN THE FOLLOWING CASES:
   A. WHERE PERMEABLE PAVING IS TO BE INSTALLED, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA.
   B. WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE NO CLOSER THAN SIX FEET (6'-0") TO BUILDING.

The Architect/Engineer assumes responsibility for appropriate use of this standard.

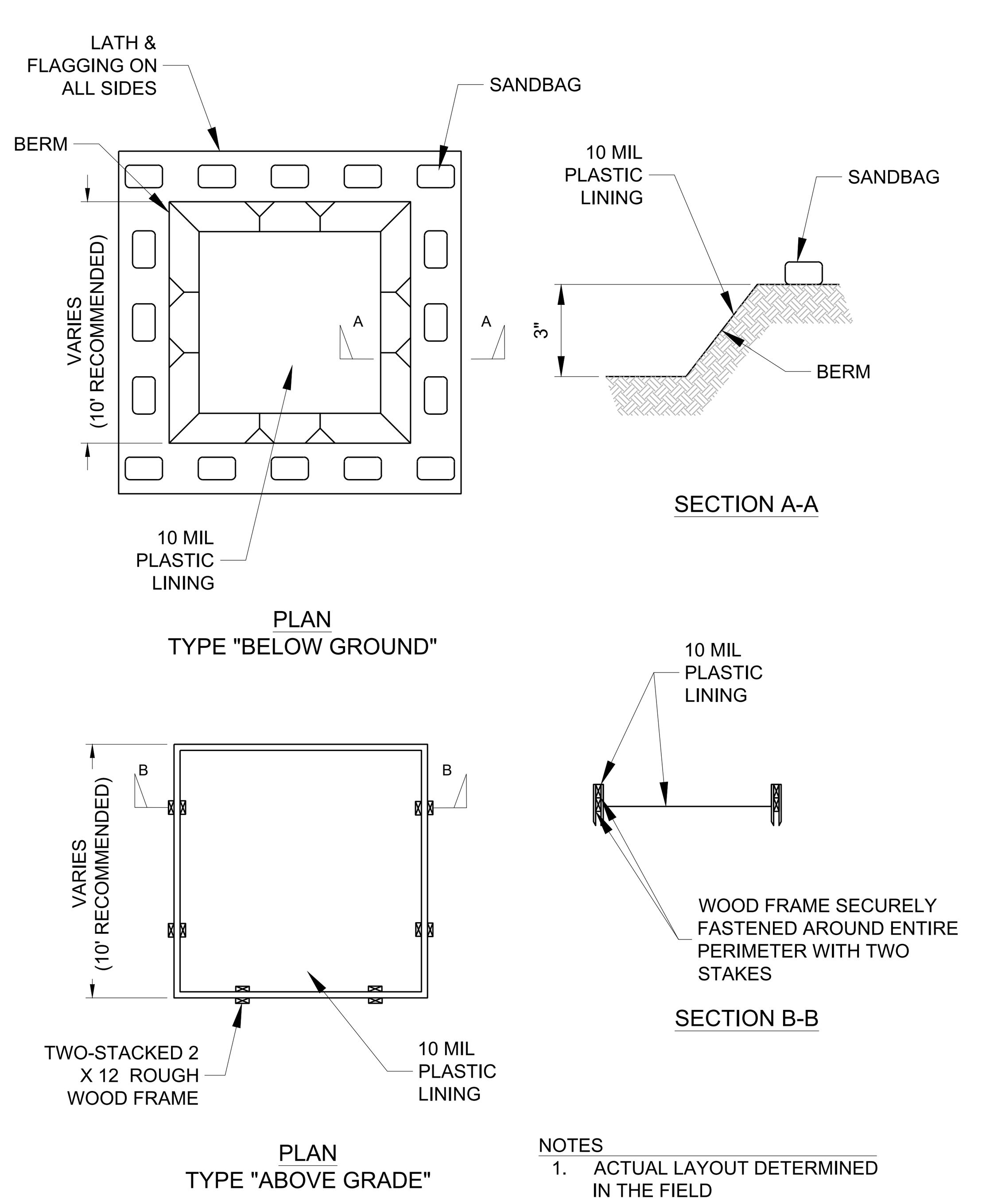
REVISION NOTE: ADOPTED 6/21/2006

GEORGETOWN TEXAS EST. 1848 — Georgetown Utility Systems, Your Community Owned Utility

CITY OF GEORGETOWN
CONSTRUCTION STANDARDS AND DETAILS

TREE PROTECTION – CHAIN LINK FENCE (3)

DRAWING NAME: EC09 | SCALE: NTS | DATE: 1/2003 | DRAWN BY: MRS | APPROVED BY: TRB



NOTES
1. ACTUAL LAYOUT DETERMINED IN THE FIELD

(4) CONCRETE WASHOUT AREA DETAIL

NOT TO SCALE

DETAILS

2P CONSULTANTS, LLC
203 E. MAIN STREET, SUITE 204
ROUND ROCK, TEXAS 78664
512-344-9664
TBPE FIRM #F-19351

DESIGNED: XXXXX | DRAWN VALUE | REVIEWED VALUE

STATE OF TEXAS — MICHAEL EASTON MUNDINE — 143266 — LICENSED PROFESSIONAL ENGINEER

7/15/2025

NO.	DATE	REVISIONS	RECOM'D

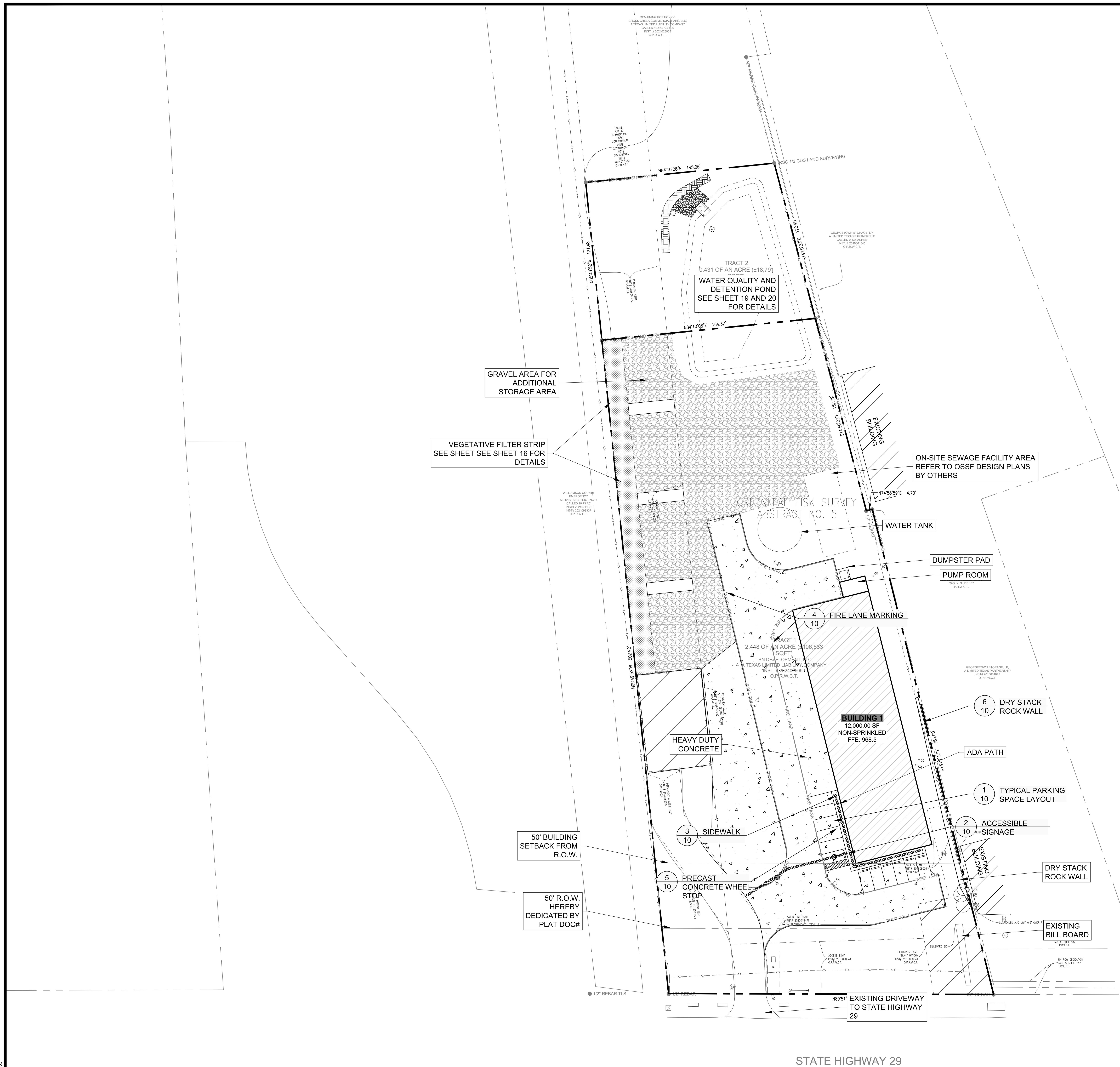
AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME

6540 TX-29
GEORGETOWN, TX 78628

EROSION CONTROL DETAILS

PERMIT No.
COC-XXXX-XXXX

SHEET No.
7
OF 26



N
W E
S

0 40 80
SCALE : 1" = 40'

SITE AREA CALCULATIONS			
	AREA (SF)	AREA (AC)	AREA (%)
SITE AREA	125423.84	2.879	100.00%
EXISTING IMPERVIOUS COVER	8402.34	0.193	6.70%
PROPOSED IMPERVIOUS COVER	70732.75	1.624	56.39%

GENERAL LEGEND

SYMBOLS

WATER METER
WATER VALVE
FIRE HYDRANT
BACKFLOW PREVENTER
UTILITY POLE
LIGHT POLE
WASTEWATER MANHOLE
CLEAN OUT
KEYNOTES
PARKING COUNT
WW SERVICE
WATER SERVICE
STORMSEWER MANHOLE
SIGN
CURB INLET
GRATE INLET
TABLE TOP AREA INLET
TREE TO BE SAVED
TREE TO BE REMOVED

LINETYPES

PROPERTY BOUNDARY
LIMITS OF CONSTRUCTION
FENCES (CHAINLINK)
(IRON)
(WOOD)
(BARB WIRE)
DITCH (CREEK) LINE
EXISTING CONTOURS
DEVELOPED CONTOURS
CURB & GUTTER
UNDERGROUND ELEC.
OVERHEAD UTILITY
UNDERGROUND TELE.
UNDERGROUND GAS LINE
STORM DRAIN LINE
WATER LINE
FIRE LINE
WASTEWATER LINE
ACCESSIBLE ROUTE

SITE LEGEND

FIRE LANE

FIRE ZONE MARKINGS:
FIRE LANES TO BE MARKED BY PAINTING THE CURB RED WITH WHITE STENCILING READING "**FIRE ZONE/TOW-AWAY ZONE**" WITH LETTERING AT LEAST 3-INCHES IN HEIGHT. SUCH STENCILING SHALL BE AT INTERVALS OF 35-FEET OR LESS.

PAVEMENT TYPES

RIBBON CURB
STANDARD DUTY CONCRETE
HEAVY DUTY CONCRETE
SIDEWALKS
STANDARD DUTY HMAC
HEAVY DUTY HMAC

DETAIL NUMBER
SHEET NUMBER WHERE DETAIL IS LOCATED
DETAIL NAME
DETAIL REFERENCE CALLOUT

SITE PLAN NOTES:

1. DIMENSIONS ARE SHOWN ON THE DIMENSIONAL CONTROL PLAN. FOR PRECISE DIMENSIONS AND LOCATION OF SITE IMPROVEMENTS, ELECTRONIC FILES OF THE SITE LAYOUT WILL BE MADE AVAILABLE TO THE CONTRACTOR AND HIS SURVEYOR UPON REQUEST. FOR BUILDING DIMENSIONS, CONTRACTOR SHALL USE ARCHITECTURAL AND STRUCTURAL PLANS.
2. EXISTING UTILITIES ARE SHOWN PER RECORD DRAWINGS.
3. SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 INCHES. REFER TO GRADING SHEET(S).

811
Know what's **below.**
Call before you dig.

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DESIGNED: XXXXX
DRAWN: VALUE
REVIEWED:VALUE

STATE OF TEXAS
MICHAEL EASTON MUNDINE
143266
LICENSED
PROFESSIONAL ENGINEER
7/15/2025

NO. DATE REVISIONS RECOM'D

AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME

6540 TX-29
GEORGETOWN, TX 78628

SITE PLAN

PERMIT No.
COC-XXXX-XXXX
SHEET No.
8
OF 26

GENERAL LEGEND

SYMBOLS

WATER METER	WW SERVICE
WATER VALVE	WATER SERVICE
FIRE HYDRANT	STORMSEWER MANHOLE
BACKFLOW PREVENTER	SIGN
UTILITY POLE	CURB INLET
LIGHT POLE	GRATE INLET
WASTEWATER MANHOLE	TABLE TOP AREA INLET
CLEAN OUT	TREE TO BE SAVED
KEYNOTES	
PARKING COUNT	TREE TO BE REMOVED

LINETYPES

- PROPERTY BOUNDARY
- LOC — LIMITS OF CONSTRUCTION
- FENCES (CHAINLINK) (IRON) (WOOD) (BARB WIRE)
- DITCH (CREEK) LINE
- 725 — EXISTING CONTOURS
- 725 — DEVELOPED CONTOURS
- CURB & GUTTER
- UGE — UNDERGROUND ELEC.
- OHE — OVERHEAD UTILITY
- TEL — UNDERGROUND TELE.
- GAS — UNDERGROUND GAS LINE
- SD — STORM DRAIN LINE
- W — WATER LINE
- F — FIRE LINE
- WW — WASTEWATER LINE
- ACCESSIBLE ROUTE

DETAIL NUMBER — # — DETAIL NAME
SHEET NUMBER WHERE DETAIL IS LOCATED — #

DETAIL REFERENCE CALLOUT

DIMENSIONAL CONTROL PLAN NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES INCLUDING EXISTING IRRIGATION ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
3. CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN SIZE, GRADE, TYPE, AND ALIGNMENT AT ADJACENT ROADWAYS.
4. ALL WORK ON THIS PLAN SHOULD BE DONE IN STRICT COMPLIANCE WITH SITEWORK SPECIFICATIONS AND WILLIAMSON COUNTY REGULATIONS.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRY LOCATIONS, DOWNSPOUT LOCATIONS AND TOTAL NUMBER OF DOWNSPOUTS REQUIRED.
6. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES.

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DIMENSIONAL CONTROL PLAN

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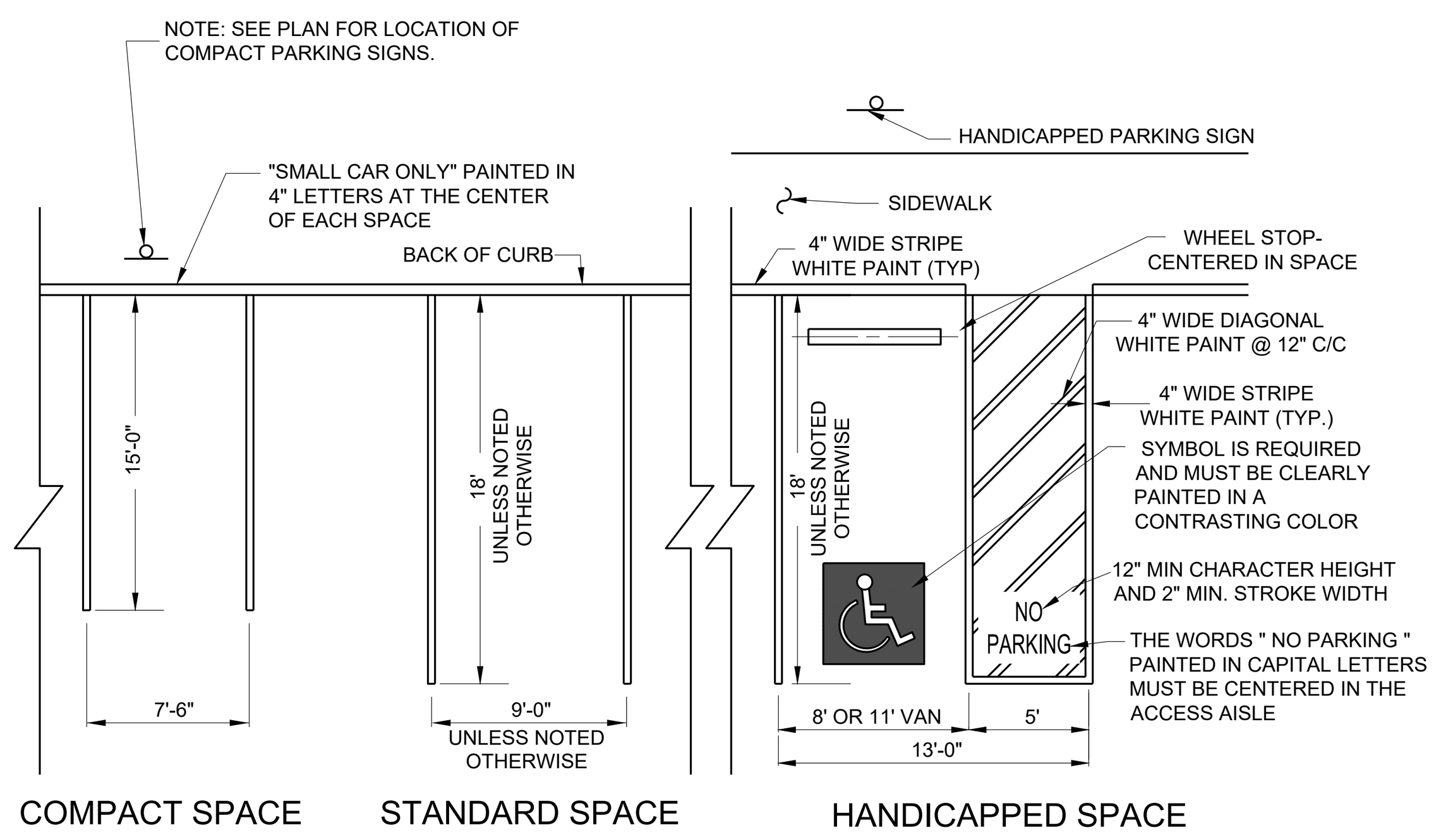
COC-XXXX-XXXX

SHEET No.



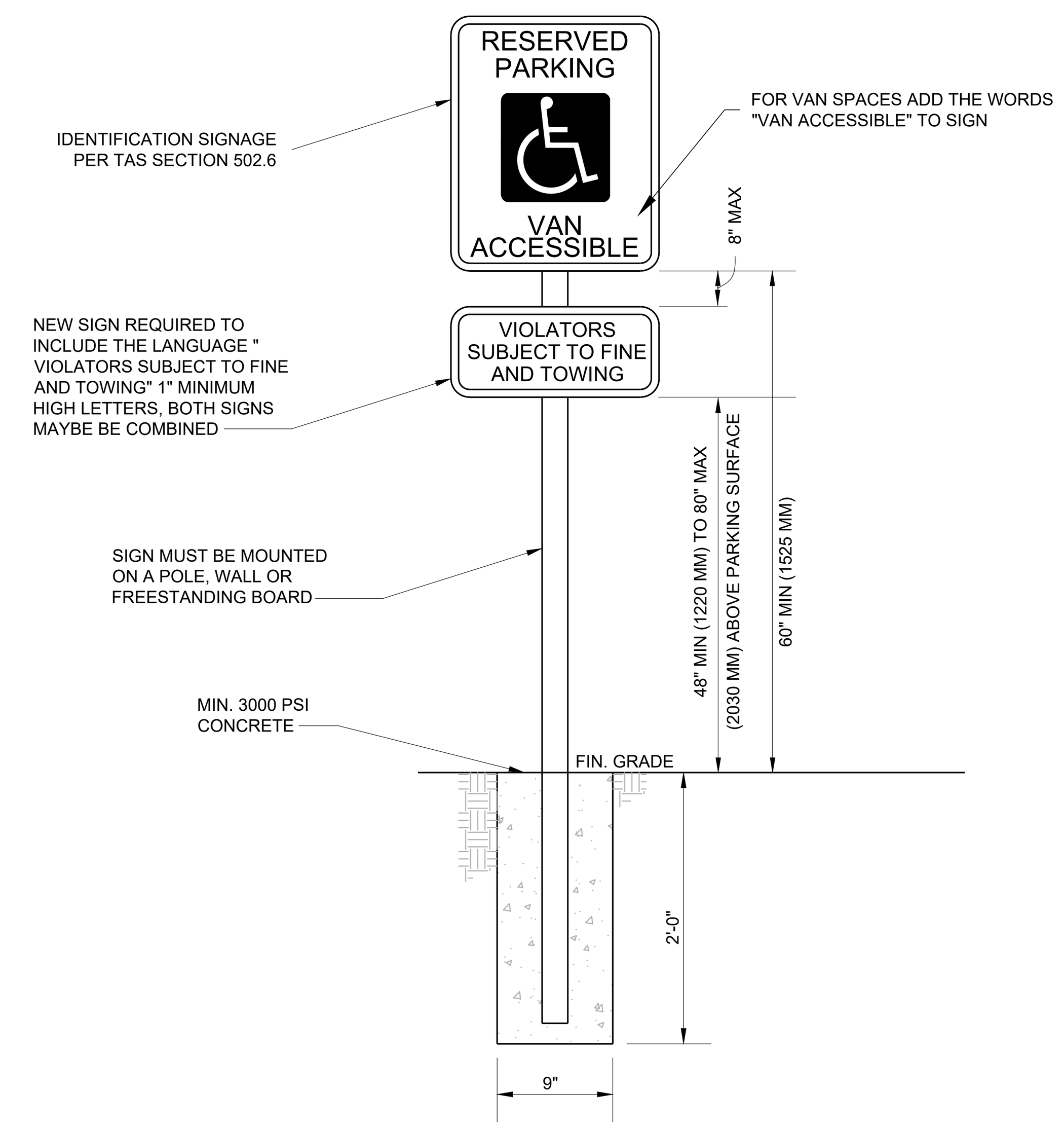
NOTES:
1. DRIVE AISLE IS MIN. 25' WIDE
2. RAMP ACCESS AND SURFACE SLOPES SHALL COMPLY WITH ADA/TAS REQUIREMENTS.
3. EACH HANDICAPPED PARKING SPACE SHALL BE SIGNED IN ACCORDANCE WITH ADA REQUIREMENTS.

1 TYPICAL PARKING SPACE LAYOUT

NOT TO SCALE

DETAILS.dwg

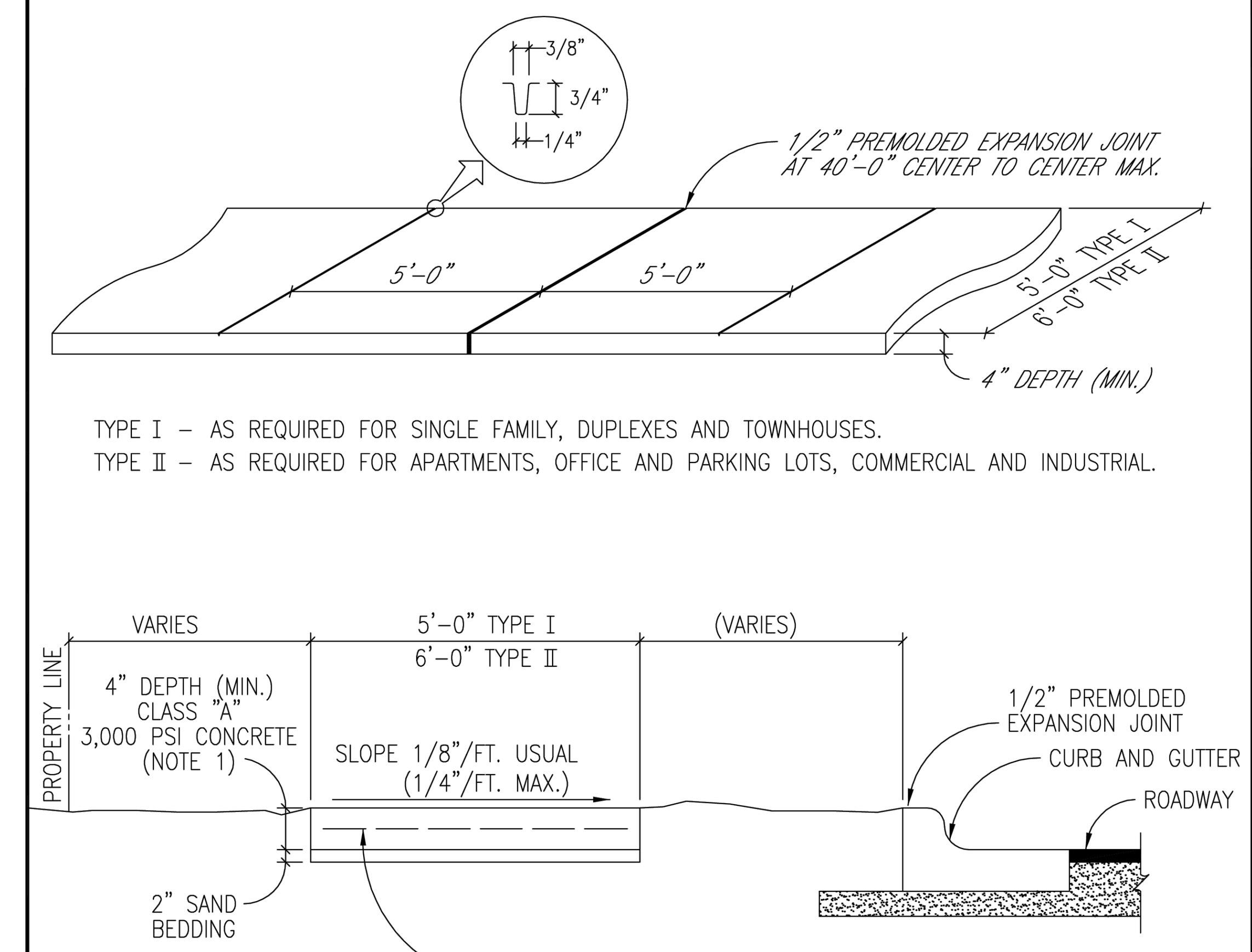
NOTES:
1. ACCESSIBLE PARKING SPACES SHALL BE IDENTIFIED AND RESERVED FOR THE THE DISABLED BY VERTICALLY MOUNTED SIGNS INCORPORATING THE SYMBOL OF ACCESSIBILITY AND PLACED SO THAT THEY WILL NOT BE OBSCURED BY PARKED VEHICLES. THERE SHALL BE A SUFFICIENT NUMBER OF SIGNS SO THAT EACH SPACE IS CLEARLY IDENTIFIED. THE SIGNAGE SHALL BE SUCH SIZE THAT IS LEGIBLE FROM A DISTANCE THAT WOULD BE REASONABLE FOR THE CONDITION. SIGNS MAY BE MOUNTED ON POSTS, WALL, FENCES, COLUMNS, OR OTHER PERMANENT VERTICAL SURFACES. THEY SHOULD BE MOUNTED BETWEEN 48 INCHES AND 80 INCHES ABOVE THE GROUND OR FLOOR SURFACE UNLESS THEY ARE PART OF AN ACCESSIBLE ROUTE.
2. WHERE NOTED ON THE DRAWINGS-SIGN MAY BE MOUNTED ON A WALL-USING SAME DIMENSIONS.
3. SIGNS AND POSTS FOR HANDICAPPED AND COMPACT PARKING SHALL BE PAINTED GREEN, BACK AND FRONT, WITH WHITE LETTERING.



2 ACCESSIBLE SIGNAGE

NOT TO SCALE

DETAILS.dwg

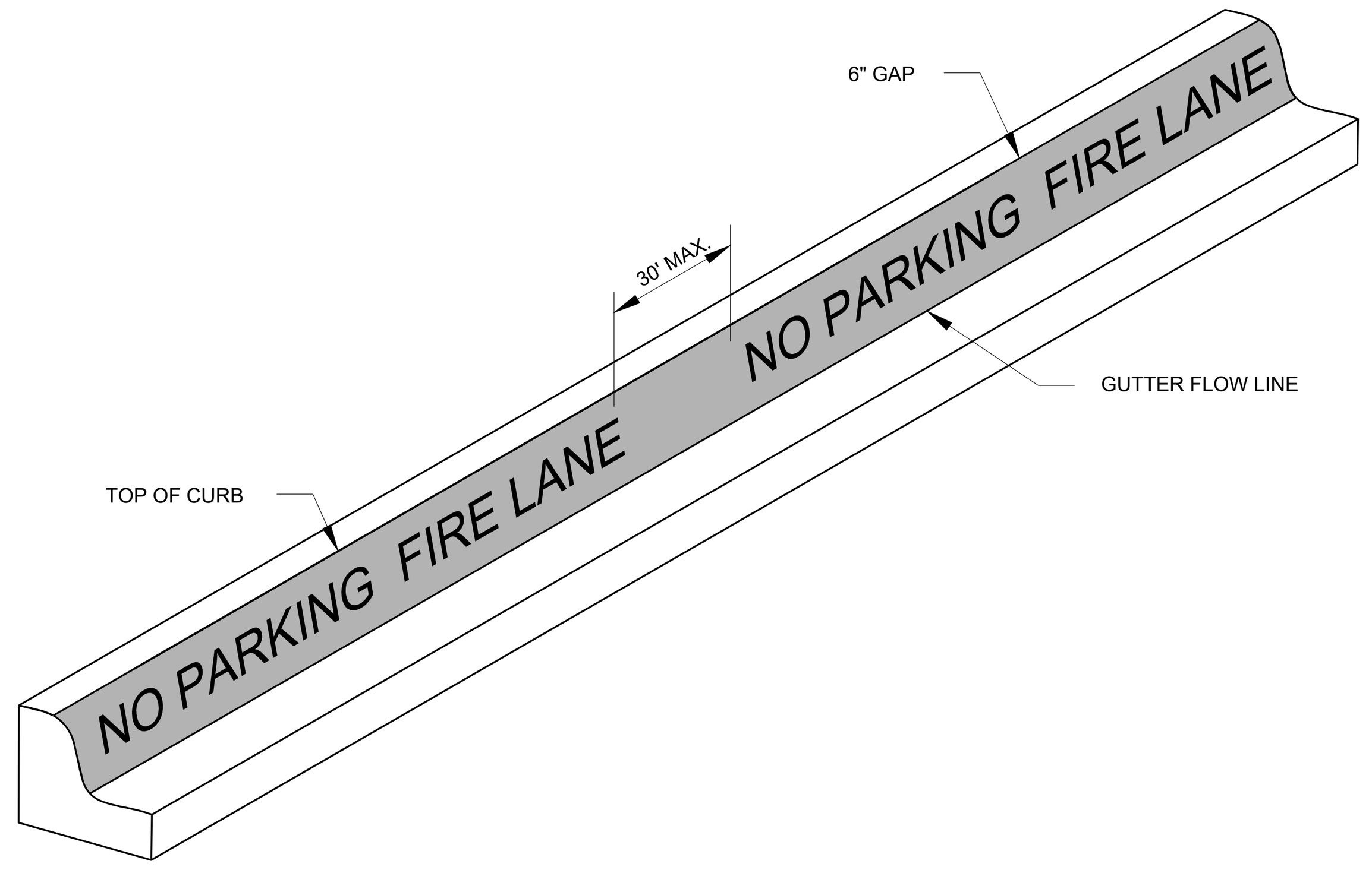


NOTES:
1. FOR ROLLER STAMPED SIDEWALK: MATCH TO SPECIFICATIONS.
2. STANDARD LOCATION OF SIDEWALK IS OFF BACK OF CURB. SPECIAL DESIGNS MAY BE APPROVED BY THE CITY ENGINEER, PRIOR TO FINAL DESIGN.
3. SIDEWALK SHALL CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT STANDARDS.
4. IF REQUIRED ALL SIDEWALKS SHALL BE SUBMITTED AND APPROVED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION BY THE ENGINEER RECORD.
5. ANY VARIANCE IN TEXTURE, GRADE OR ALIGNMENT MUST BE APPROVED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION.

The Architect/Engineer assumes responsibility for appropriate use of this standard.

GEORGETOWN TEXAS — Georgetown Utility Systems	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	ADOPTED 6/21/2006
	SIDEWALK SECTION AND JOINT DETAIL	SD14
		NTS 1/2003 MRS TRB

3

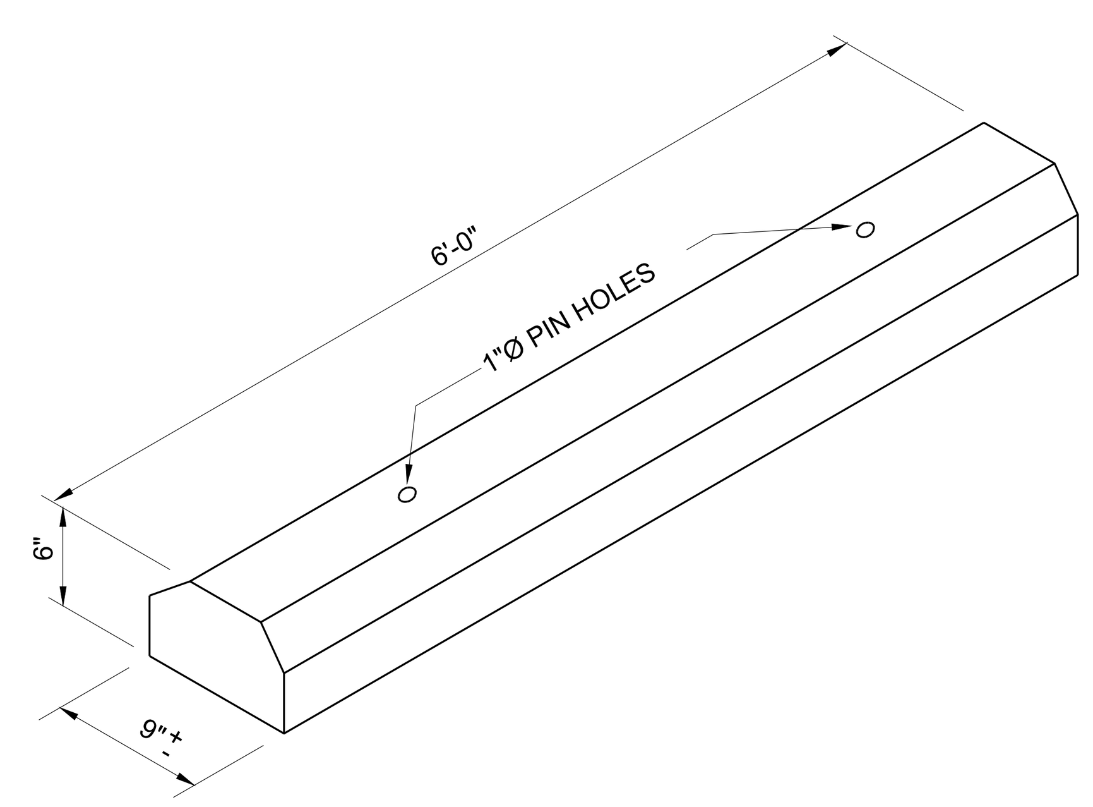


NOTES:
FIRE LANE STRIPING TO BE 6" WIDE RED PAINT WITH "NO PARKING FIRE LANE" IN 4" TALL WHITE LETTERS. WORDING MAY NOT BE SPACED GREATER THAN 30' APART. STRIPING TO BE PAINTED ON THE FACE OF CURB WHEN PRESENT AND PAINTED FLAT ON THE PARKING SURFACE WHEN IT IS NOT.

4 FIRE LANE MARKING DETAIL

NOT TO SCALE

DETAILS.dwg



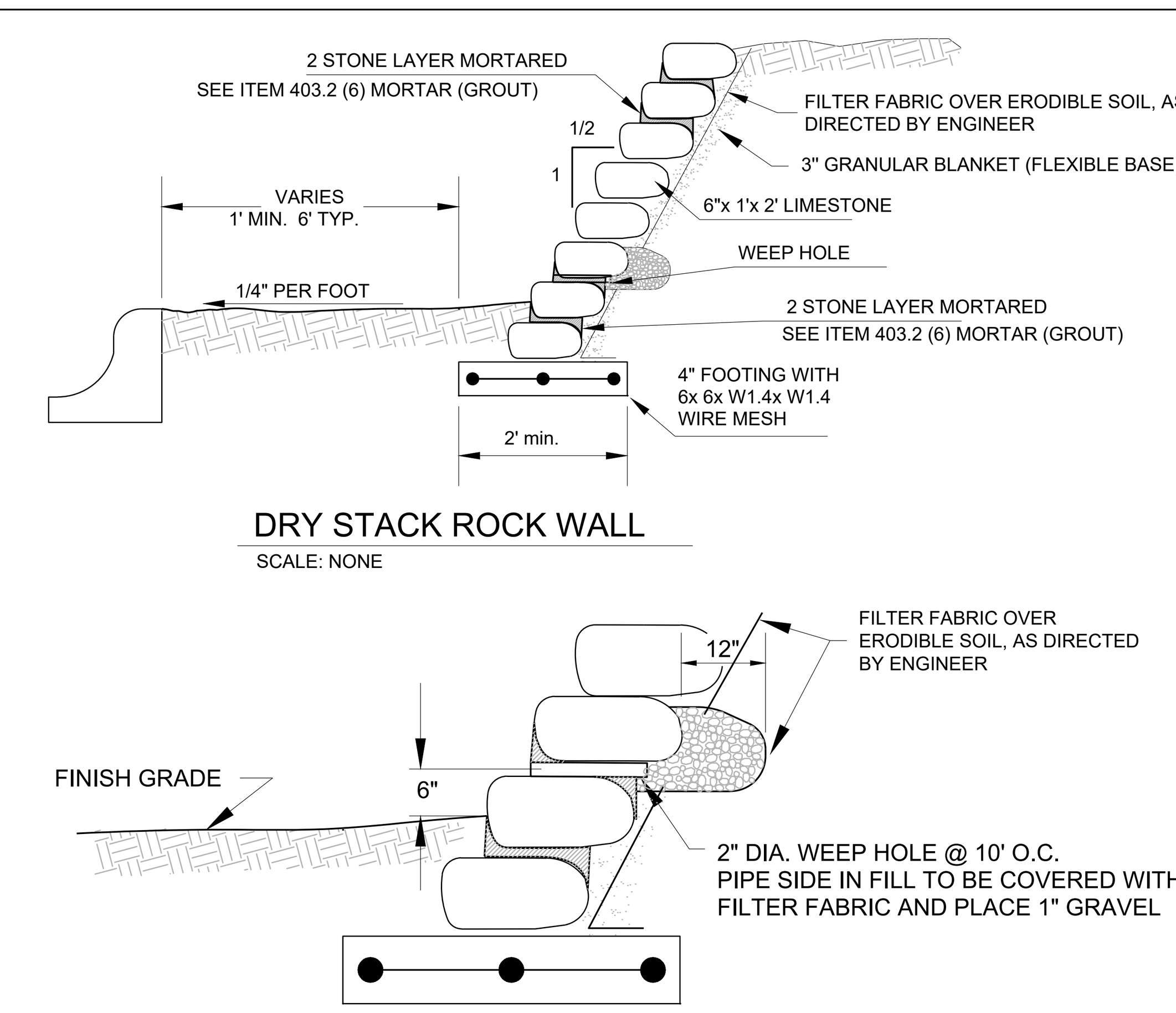
ISOMETRIC

NOTES:
1. FURNISH TWO (2) 3/4" Ø IRON PINS PER WHEEL STOP, 3'-0" LONG
2. MINIMUM REINFORCEMENT TO BE 2 EA. LONGITUDINAL #3 BARS.

5 PRECAST CONCRETE WHEEL STOP

NOT TO SCALE

DET 312



NOTES:
1. DESIGN AND CONSTRUCTION OF ROCK WALL SHALL CONFORM TO THE REQUIREMENTS OF CITY CODE 16-7-2 PLACEMENT OF FENCES IN STREET CORNER AREAS ,AND THE CITY OF AUSTIN TRANSPORTATION CRITERIA MANUAL FOR MINIMUM SIGHT DISTANCE.
2. CONCRETE SHALL CONFORM TO ITEM 403 "CONCRETE FOR STRUCTURES"

6 DRY STACK ROCK WALLS WITH WEEP HOLES

NOT TO SCALE

DETAILS.dwg

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STATE OF TEXAS — MICHAEL EASTON MUNDINE — 143266 — LICENSED PROFESSIONAL ENGINEER

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SITE PLAN DETAILS

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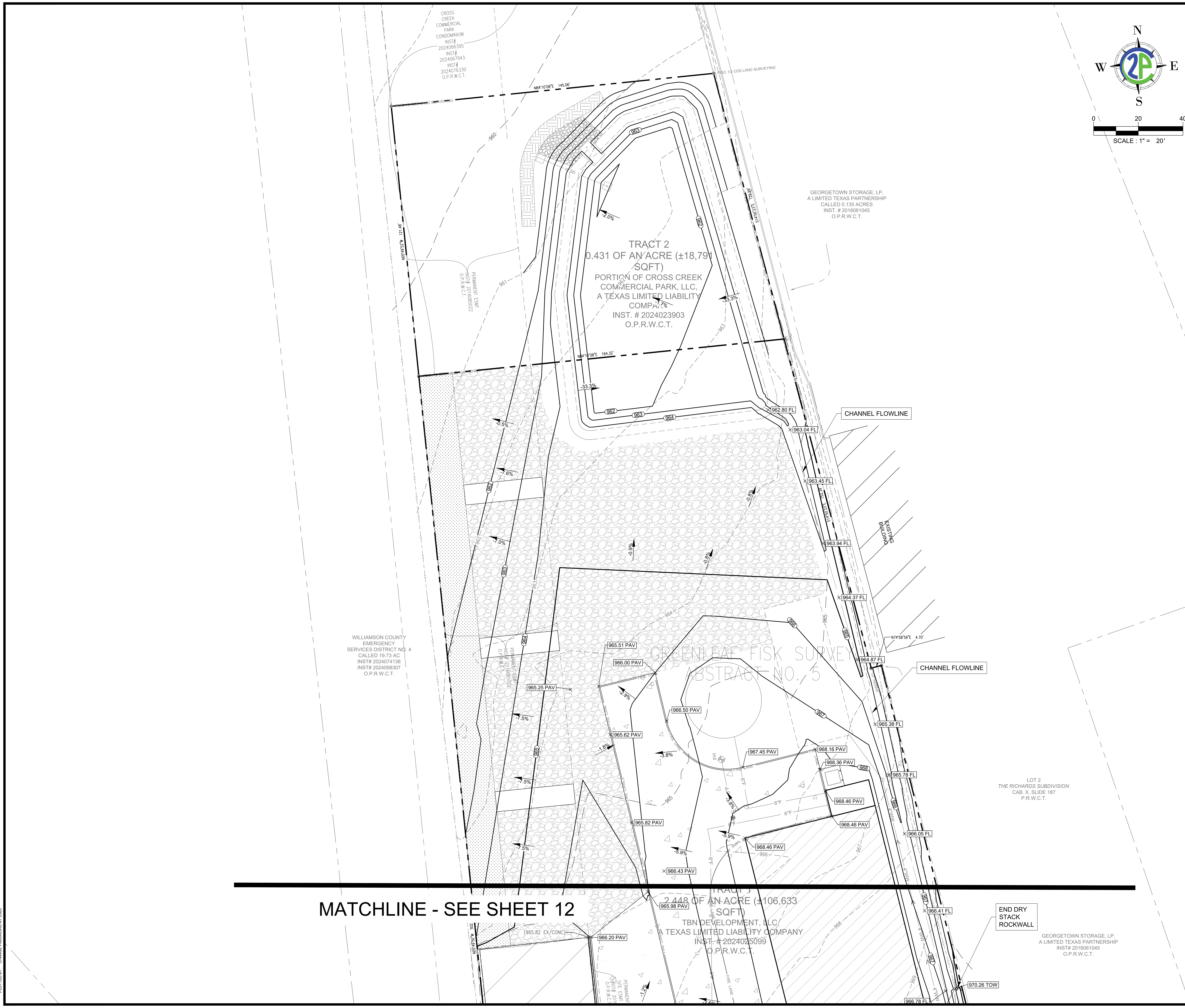
10
OF 26



GENERAL LEGEND

SYMBOLS

WATER METER		WW SERVICE	
WATER VALVE		WATER SERVICE	
FIRE HYDRANT		STORMSEWER MANHOLE	
BACKFLOW PREVENTER		SIGN	
UTILITY POLE		CURB INLET	
LIGHT POLE		GRATE INLET	
WASTEWATER MANHOLE		TABLE TOP AREA INLET	
CLEAN OUT		TREE TO BE SAVED	
KEYNOTES			
PARKING COUNT		TREE TO BE REMOVED	

LINETYPES

- PROPERTY BOUNDARY
- LOC — LIMITS OF CONSTRUCTION
- FENCES (CHAINLINK) (IRON) (WOOD) (BARB WIRE)
- DITCH (CREEK) LINE
- EXISTING CONTOURS
- DEVELOPED CONTOURS
- CURB & GUTTER
- UGE — UNDERGROUND ELEC.
- OHE — OVERHEAD UTILITY
- TEL — UNDERGROUND TELE.
- GAS — UNDERGROUND GAS LINE
- SD — STORM DRAIN LINE
- W — WATER LINE
- F — FIRE LINE
- WW — WASTEWATER LINE
- ACCESSIBLE ROUTE

GRADING LEGEND

EXISTING

(493.00 NG)	NATURAL GROUND	(493.00 EX GUT)	GUTTER
(493.00 EX PAV)	PVMT	(493.00 EX SW)	SIDEWALK

PROPOSED

493.00 PAV	PAVEMENT	493.00 TOW	TOP OF WALL
493.00 TC	TOP OF CURB	493.00 TOE	TOE OF SLOPE
493.00 SW	SIDEWALK	493.00 TOP	TOP OF SLOPE
493.00 TG	TOP OF GRATE INLET	493.00 CONC	CONCRETE
493.00 FL	FLOWLINE	493.00 FF	FINISHED FLOOR
493.00 FG	FINISHED GROUND		

PROPOSED GRADE BREAK ON SURFACE (CONC, PVMT, GRASS, ETC.)

LP LOW POINT HP HIGH POINT

ADA GRADING NOTES:

1. THE CONTRACTOR IS FULLY RESPONSIBLE FOR CONSTRUCTION OF SIDEWALKS, LANDINGS, PORCHES, RAMPS & PARKING SPACES THAT MEET ADA/TAS REQUIREMENTS. THE CONTRACTOR SHALL HAVE FULL KNOWLEDGE OF THE DETAILS ON THESE PLANS AND OF ADA/TAS REGULATIONS. SHOULD THE CONTRACTOR FIND AN ELEVATION OR CONDITION THAT IS DIFFERENT THAN SHOWN ON THE PLANS, IT IS THE CONTRACTORS FINAL RESPONSIBILITY TO CONTACT THE ENGINEER TO WORK OUT A DESIGN THAT MEETS ADA & TAS, PRIOR TO CONSTRUCTION, NOT AFTER THE WORK IS COMPLETED.
2. NO CROSS SLOPE SHALL EXCEED 2%.
3. NO RUNNING SLOPE SHALL EXCEED 5%.
4. CONTRACTOR TO VERIFY ACCESSIBLE FEATURES MEET THE TEXAS DEPARTMENT OF LICENSING AND REGISTRATION'S ARCHITECTURAL BARRIERS AND TEXAS ACCESSIBILITY STANDARDS (CURRENT AT THE TIME OF CONSTRUCTION) PRIOR TO POURING CONCRETE.

GRADING NOTES:

1. ALL SPOT ELEVATIONS TO PAVEMENT FINISHED GRADE (FG), UNLESS OTHERWISE NOTED.
2. TOP OF CURB (TC) = PAVEMENT FG + 0.5'

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203 E. MAIN STREET, SUITE 204
ROUND ROCK, TEXAS 78664
512-344-9664
TBPE FIRM #F-19351

STATE OF TEXAS
MICHAEL EASTON MUNDINE
143266
LICENSED PROFESSIONAL ENGINEER
7/15/2025

DESIGNED: XXXXX DRAWN: VALUE REVIEWED: VALUE

NO.	DATE	REVISIONS	RECOM'D

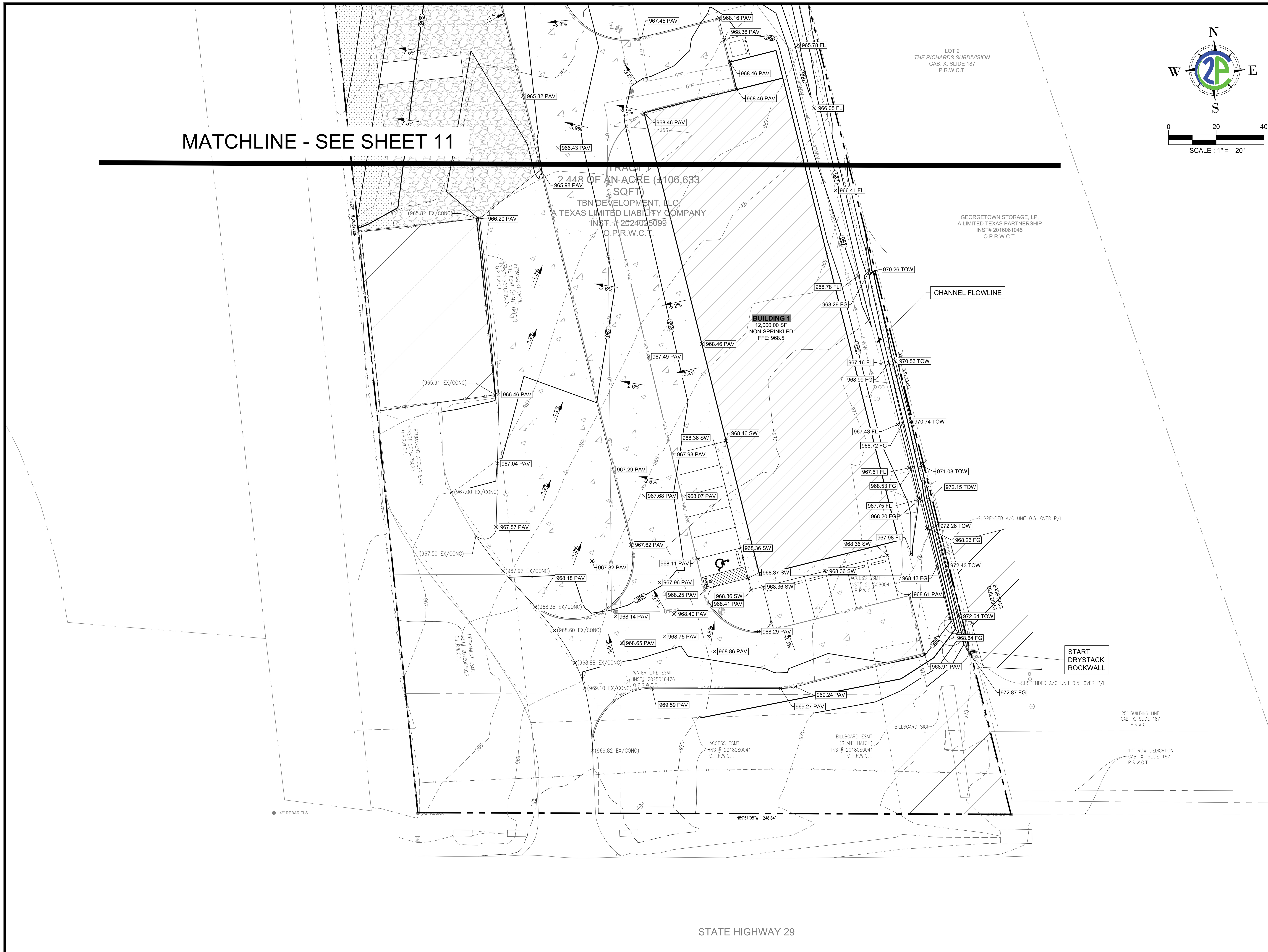
AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME

6540 TX-29
GEORGETOWN, TX 78628

GRADING PLAN (1 OF 2)

PERMIT No.
COC-XXXX-XXXX

SHEET No.
11
OF 26



GENERAL LEGEND

SYMBOLS

WATER METER — WW SERVICE
WATER VALVE — WATER SERVICE
FIRE HYDRANT — STORMSEWER MANHOLE
BACKFLOW PREVENTER — SIGN
UTILITY POLE — CURB INLET
LIGHT POLE — GRATE INLET
WASTEWATER MANHOLE — TABLE TOP AREA INLET
CLEAN OUT — TREE TO BE SAVED
KEYNOTES
PARKING COUNT — TREE TO BE REMOVED

LINETYPES

PROPERTY BOUNDARY
LOC LIMITS OF CONSTRUCTION
FENCES (CHAINLINK)
(IRON)
(WOOD)
(BARB WIRE)
DITCH (CREEK) LINE
EXISTING CONTOURS
DEVELOPED CONTOURS
CURB & GUTTER
UGE UNDERGROUND ELEC.
OHE OVERHEAD UTILITY
TEL UNDERGROUND TELE.
GAS UNDERGROUND GAS LINE
SD STORM DRAIN LINE
W WATER LINE
F FIRE LINE
WW WASTEWATER LINE
ACCESSIBLE ROUTE

GRADING LEGEND

EXISTING

(493.00 NG) NATURAL GROUND — (493.00 EX GUT) GUTTER
(493.00 EX PAV) PVMT — (493.00 EX SW) SIDEWALK

PROPOSED

493.00 PAV PAVEMENT — 493.00 TOW TOP OF WALL
493.00 TC TOP OF CURB — 493.00 TOE TOE OF SLOPE
493.00 SW SIDEWALK — 493.00 TOP TOP OF SLOPE
493.00 TG TOP OF GRATE INLET — 493.00 CONC CONCRETE
493.00 FL FLOWLINE — 493.00 FF FINISHED FLOOR
493.00 FG FINISHED GROUND
PROPOSED GRADE BREAK ON SURFACE (CONC, PVMT, GRASS, ETC.)
LP LOW POINT — HP HIGH POINT

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STATE OF TEXAS — MICHAEL EASTON MUNDINE — 143266 — LICENSED PROFESSIONAL ENGINEER
7/15/2025

NO.	DATE	REVISIONS	RECOM'D

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SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME
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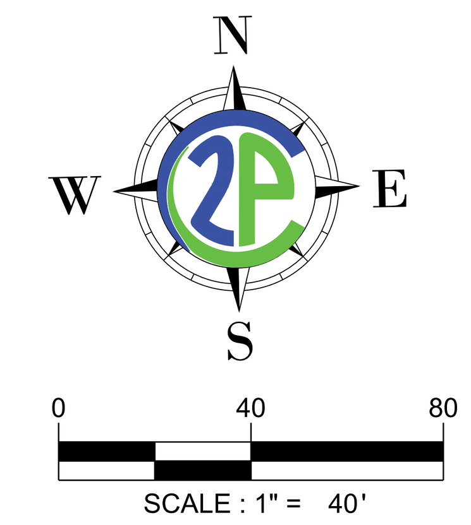
GEORGETOWN, TX 78628

GRADING PLAN (2 OF 2)

PERMIT No.
COC-XXXX-XXXX



EXISTING CONDITIONS DRAINAGE BASIN INFORMATION								
BASIN	AREA			IMPERVIOUS COVER		SCS CURVE NUMBER	TOC (MIN)	LAG (MIN)
	SF	AC	SQ MI	SF	%			
EX-01	125409	2.879	0.00450	8,550	6.82%	80.00	9.5	5.7

WILLIAMSON COUNTY ATLAS 14 PRECIPITATION DATA FOR THE SAN GABRIEL RIVER ZONE					
DURATION	2-YR	10-YR	25-YR	50-YR	100-YR
5 MIN	0.51	0.757	0.921	1.05	1.19
15 MIN	1.02	1.51	1.84	2.1	2.37
1 HR	1.88	2.79	3.4	3.88	4.39
2 HR	2.3	3.55	4.43	5.16	5.98
3 HR	2.55	4.02	5.09	6.01	7.06
6 HR	2.98	4.81	6.18	7.38	8.75
12 HR	3.44	5.54	7.12	8.48	10.1
24 HR	3.94	6.3	8.04	9.53	11.2

EXISTING CONDITIONS HEC-HMS RESULTS					
EVENT	2-YR	10-YR	25-YR	50-YR	100-YR
EX-01	7.67	13.97	18.25	21.76	26.79

GENERAL LEGEND

SYMBOLS

- WATER METER
- WATER VALVE
- FIRE HYDRANT
- BACKFLOW PREVENTER
- UTILITY POLE
- LIGHT POLE
- WASTEWATER MANHOLE
- CLEAN OUT
- KEYNOTES
- PARKING COUNT
- WW SERVICE
- WATER SERVICE
- STORMSEWER MANHOLE
- SIGN
- CURB INLET
- GRATE INLET
- TABLE TOP AREA INLET
- TREE TO BE SAVED
- TREE TO BE REMOVED

LINETYPES

- PROPERTY BOUNDARY
- LOC — LIMITS OF CONSTRUCTION
- FENCES (CHAINLINK)
- (IRON)
- (WOOD)
- (BARB WIRE)
- DITCH (CREEK) LINE
- 725 — EXISTING CONTOURS
- 725 — DEVELOPED CONTOURS
- CURB & GUTTER
- UGE — UNDERGROUND ELEC.
- OHE — OVERHEAD UTILITY
- TEL — UNDERGROUND TELE.
- GAS — UNDERGROUND GAS LINE
- SD — STORM DRAIN LINE
- W — WATER LINE
- F — FIRE LINE
- WW — WASTEWATER LINE
- ACCESSIBLE ROUTE

DRAINAGE STUDY LEGEND

- DRAINAGE BOUNDARY LINE
- DA / ACRE — DRAINAGE BOUNDARY LABEL, DRAINAGE AREA (ACRES)
- NO — INLET NUMBER
- FLOW ARROW
- TIME OF CONCENTRATION LINE
- 100-YR — EXISTING 100-YR FLOOD PLAIN LINE
- PR 100-YR — DEVELOPED 100-YR FLOOD PLAIN LINE
- LP LOW POINT
- HP HIGH POINT

NOTES:

1. DRAINAGE CALCULATIONS WERE PERFORMED USING HEC-HMS 4.12 UTILIZING SURVEYED TOPOGRAPHY, AERIAL IMAGERY, AND WILLIAMSON COUNTY ATLAS 14 RAINFALL DATA.

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DRAWN: VALUE
DESIGNED: XXXXX

STATE OF TEXAS
MICHAEL EASTON MUNDINE
143266
LICENSED PROFESSIONAL ENGINEER
7/15/2025

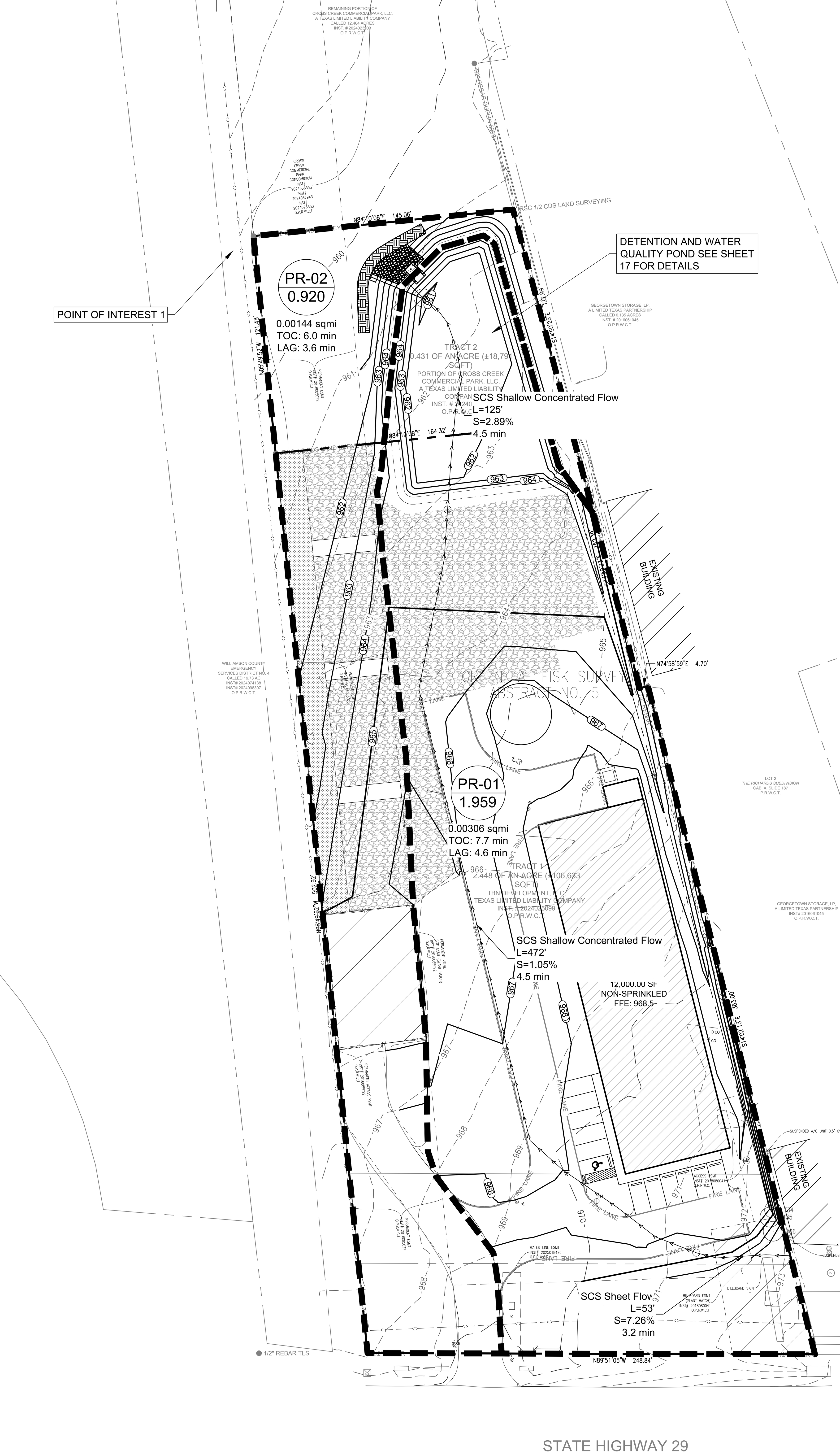
NO. | DATE | REVISIONS | RECOM'D

AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME
6540 TX-29
GEORGETOWN, TX 78628

EXISTING CONDITIONS DRAINAGE MAP

PERMIT No.
COC-XXXX-XXXX

SHEET No.
13
OF 26



N
W
E
S

0 40 80

SCALE : 1" = 40'

PROPOSED CONDITIONS DRAINAGE BASIN INFORMATION								
BASIN	AREA			IMPERVIOUS COVER		SCS CURVE NUMBER	TOC (MIN)	LAG (MIN)
	SF	AC	SQ MI	SF	%			
PR-01	85334	1.959	0.00306	52,542	61.57%	80.00	7.7	4.6
PR-02	40075	0.920	0.00144	17,687	44.13%	80.00	6.0	3.6

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12 HR	3.44	5.54	7.12	8.48	10.1
24 HR	3.94	6.3	8.04	9.53	11.2

PROPOSED CONDITIONS HEC-HMS RESULTS					
EVENT	2-YR	10-YR	25-YR	50-YR	100-YR
PR-01	7.19	11.48	14.38	16.13	20.46
PR-02	3.49	5.78	7.34	8.14	9.59
POND 1	5.25	8.66	10.99	12.5	15.6
POI-01	7.66	12.88	16.49	18.93	22.86

EXISTING VS PROPOSED CONDITIONS CALULCATIONS					
EVENT	2-YR	10-YR	25-YR	50-YR	100-YR
POI 1	-0.01	-1.09	-1.76	-2.83	-3.93

GENERAL LEGEND

SYMBOLS

WATER METER — WW SERVICE
WATER VALVE — WATER SERVICE
FIRE HYDRANT — STORMSEWER MANHOLE
BACKFLOW PREVENTER — SIGN
UTILITY POLE — CURB INLET
LIGHT POLE — GRATE INLET
WASTEWATER MANHOLE — TABLE TOP AREA INLET
CLEAN OUT — TREE TO BE SAVED
KEYNOTES
PARKING COUNT — TREE TO BE REMOVED

LINETYPES

PROPERTY BOUNDARY
LOC — LIMITS OF CONSTRUCTION
FENCES (CHAINLINK)
(IRON)
(WOOD)
(BARB WIRE)
DITCH (CREEK) LINE
725 — EXISTING CONTOURS
725 — DEVELOPED CONTOURS
CURB & GUTTER
UGE — UNDERGROUND ELEC.
OHE — OVERHEAD UTILITY
TEL — UNDERGROUND TELE.
GAS — UNDERGROUND GAS LINE
SD — STORM DRAIN LINE
W — WATER LINE
F — FIRE LINE
WW — WASTEWATER LINE
ACCESSIBLE ROUTE

DRAINAGE STUDY LEGEND

DRAINAGE BOUNDARY LINE
DA / ACRE — DRAINAGE BOUNDARY LABEL DRAINAGE AREA (ACRES)
NO — INLET NUMBER
FLOW ARROW
TIME OF CONCENTRATION LINE
100-YR — EXISTING 100-YR FLOOD PLAIN LINE
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LP LOW POINT — HP HIGH POINT

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STATE OF TEXAS
MICHAEL EASTON MUNDINE
143266
LICENSED
PROFESSIONAL ENGINEER
7/15/2025

NO. — DATE — REVISIONS — RECOM'D

AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME
6540 TX-29
GEORGETOWN, TX 78628

PROPOSED CONDITIONS DRAINAGE MAP

PERMIT No.
COC-XXXX-XXXX
SHEET No.

AREA TO BE TREATED BY VEGETATIVE FILTER STRIPS (0.32 AC) SEE SHEET 16 FOR WATER QUALITY CALCULATIONS

AREA TO BE TREATED BY BATCH DETENTION POND (1.96 AC) SEE SHEET 18 FOR WATER QUALITY CALCULATIONS

SCALE : 1" = 40'

WATER QUALITY CALCULATIONS	
CATEGORY	(LBS)
REQUIRED TSS REMOVAL FOR TOTAL SITE	1414
TSS REMOVAL BY BATCH DETENTION	1221
TSS REMOVAL BY VFS	193
TOTAL TSS REMOVED	1414

GENERAL LEGEND

SYMBOLS

◩	WATER METER	—▭	WW SERVICE
⊗	WATER VALVE	—○	WATER SERVICE
◕	FIRE HYDRANT	◎	STORMSEWER MANHOLE
⏩	BACKFLOW PREVENTER	○	SIGN
⌀	UTILITY POLE	■	CURB INLET
□	LIGHT POLE	▦	GRATE INLET
◎	WASTEWATER MANHOLE	▢	TABLE TOP AREA INLET
○CO	CLEAN OUT	1811	TREE TO BE SAVED
17	KEYNOTES	1811	TREE TO BE REMOVED
6	PARKING COUNT		

LINETYPES

—— — — ——	PROPERTY BOUNDARY
— — — LOC —	LIMITS OF CONSTRUCTION
——<>——<>——	FENCES (CHAINLINK)
——o——o——o——	(IRON)
——//——//——//——	(WOOD)
——x——x——x——	(BARB WIRE)
—►— —►—	DITCH (CREEK) LINE
— — —725— — —	EXISTING CONTOURS
——(725)——	DEVELOPED CONTOURS
═══	CURB & GUTTER
——UGE——UGE——	UNDERGROUND ELEC.
——OHE——OHE——	OVERHEAD UTILITY
——TEL——TEL——	UNDERGROUND TELE.
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○○○○○○○○	ACCESSIBLE ROUTE

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IMAGES: * Addison Signature 2.png * DOU-SIGNATURE.gif * signature TP.png
XREFS: * 24x36 2PC TitleBlock.dwg * E-BASE.dwg * P-BASE.dwg * MEM SEAL.dwg
DWG: n:\Projects\lott brothers\aurer's rv park\CAD\Sheets\WATER QUALITY PLAN.dwg
PLOT DATE: Tuesday, July 15, 2025
PLOTTED BY: CHANGE PASSWORD AT O365

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512-344-9664
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MICHAEL EASTON MUNDINE
143266
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AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME

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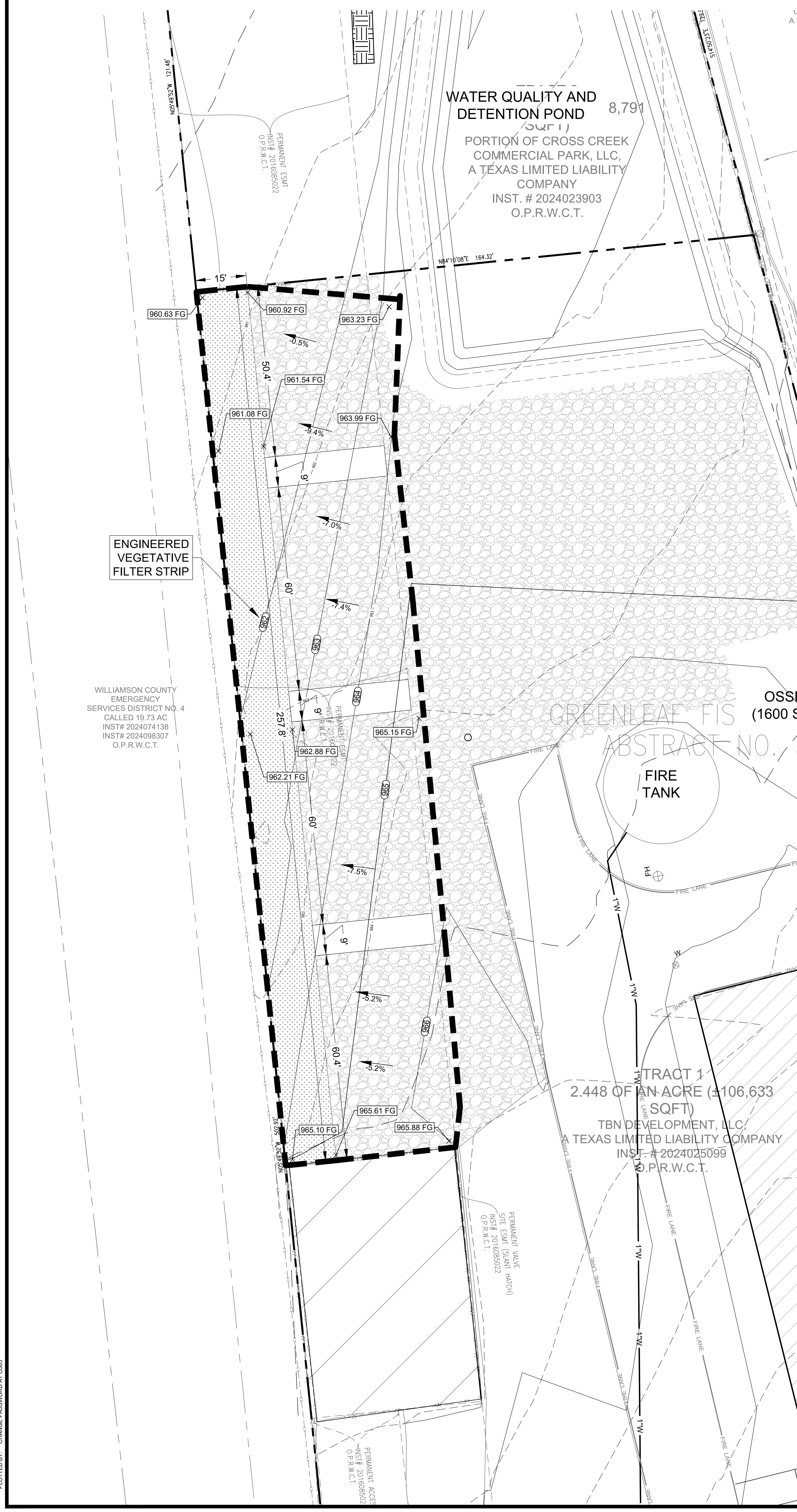
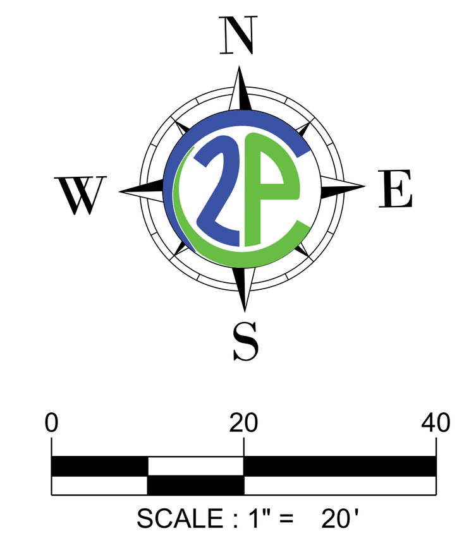
GEORGETOWN, TX 78628

OVERALL WATER QUALITY PLAN

PERMIT No.
COC-XXXX-XXXX

SHEET No.
15
OF 26





Texas Commission on Environmental Quality

TSS Removal Calculations 04-20-2009

Additional information is provided for cells with a red triangle in the upper right corn
Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG
Characters shown in red are data entry fields.
Characters shown in black (Bold) are calculated fields. Changes to these fields will

1. The Required Load Reduction for the total project: Calculations from RG-348

Page 3-29 Equation 3.3: $L_M = 27.2(A_N \times P)$

where:
$L_{M\ TOTAL\ PROJECT}$ = Required TSS removal resul
A_N = Net increase in impervious a
P = Average annual precipitation

Site Data: Determine Required Load Removal Based on the Entire Project

County =	**Williamson**	
Total project area included in plan * =	**2.88**	acres
Predevelopment impervious area within the limits of the plan * =	**0.00**	acres
Total post-development impervious area within the limits of the plan* =	**1.62**	acres
Total post-development impervious cover fraction * =	**0.56**	
P =	**32**	inches
$L_{M\ TOTAL\ PROJECT}$ =	**1414**	lbs.

*** The values entered in these fields should be for the total project area.**

Number of drainage basins / outfalls areas leaving the plan area = **2**

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. = 2

Total drainage basin/outfall area =	**0.32**	acres
Predevelopment impervious area within drainage basin/outfall area =	**0.00**	acres
Post-development impervious area within drainage basin/outfall area =	**0.20**	acres
Post-development impervious fraction within drainage basin/outfall area =	**0.64**	
$L_{M\ THIS\ BASIN}$ =	**177**	lbs.

3. Indicate the proposed BMP Code for this basin.

Proposed BMP = **Vegetated Filter Strips**
Removal efficiency = **85** percent

4. Calculate Maximum TSS Load Removed (L_R) for this Drainage Basin by the selected BMP Type.

RG-348 Page 3-33 Equation 3.7: L_R = (BMP efficiency) x P x (A_I x 3

where:
A_C = Total On-Site drainage area
A_I = Impervious area proposed in
A_P = Pervious area remaining in th
L_R = TSS Load removed from this

A_C =	**0.32**	acres
A_I =	**0.20**	acres
A_P =	**0.11**	acres
L_R =	**193**	lbs

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area

Desired $L_{M\ THIS\ BASIN}$ = **193** lbs.

F = **1.00**

16. Vegetated Filter Strips Designed as Required in RG

There are no calculations required for determining the load or size of vegetative filter strips.
The 80% removal is provided when the contributing drainage area does not exceed 72 feet (direction c
the sheet flow leaving the impervious cover is directed across 15 feet of engineered filter strips with m
across 50 feet of natural vegetation with a maximum slope of 10%. There can be a break in grade as lo

If vegetative filter strips are proposed for an interim permanent BMP, they may be sized as described

GENERAL LEGEND

SYMBOLS

WATER METER; WATER VALVE; FIRE HYDRANT; BACKFLOW PREVENTER; UTILITY POLE; LIGHT POLE; WASTEWATER MANHOLE; CLEAN OUT; KEYNOTES; PARKING COUNT; WW SERVICE; WATER SERVICE; STORMSEWER MANHOLE; SIGN; CURB INLET; GRATE INLET; TABLE TOP AREA INLET; TREE TO BE SAVED; TREE TO BE REMOVED

LINETYPES

PROPERTY BOUNDARY; LIMITS OF CONSTRUCTION; FENCES (CHAINLINK) (IRON) (WOOD) (BARB WIRE); DITCH (CREEK) LINE; EXISTING CONTOURS; DEVELOPED CONTOURS; CURB & GUTTER; UNDERGROUND ELEC.; OVERHEAD UTILITY; UNDERGROUND TELE.; UNDERGROUND GAS LINE; STORM DRAIN LINE; WATER LINE; FIRE LINE; WASTEWATER LINE; ACCESSIBLE ROUTE

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Call before you dig.

CONTRACTOR NOTES:

EXISTING UNDERGROUND AND OVERHEAD UTILITIES IN VICINITY. CONTRACTOR TO CONTACT UTILITY COMPANIES PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS & DEPTHS PRIOR TO BEGINNING CONSTRUCTION.

CONTRACTOR SHALL CONSIDER DEVELOPED UTILITY IMPROVEMENTS AND PROVIDE ADEQUATE HORIZONTAL AND VERTICAL CLEARANCE DURING INSTALLATION OF ALL UTILITY INFRASTRUCTURE.

2P CONSULTANTS, LLC
203 E. MAIN STREET, SUITE 204
ROUND ROCK, TEXAS 78664
512-344-9664
TBPE FIRM #F-19351

STATE OF TEXAS
MICHAEL EASTON MUNDINE
143266
LICENSED PROFESSIONAL ENGINEER
7/15/2025

REVIEWED: VALUE
DRAWN: VALUE
DESIGNED: XXXXX

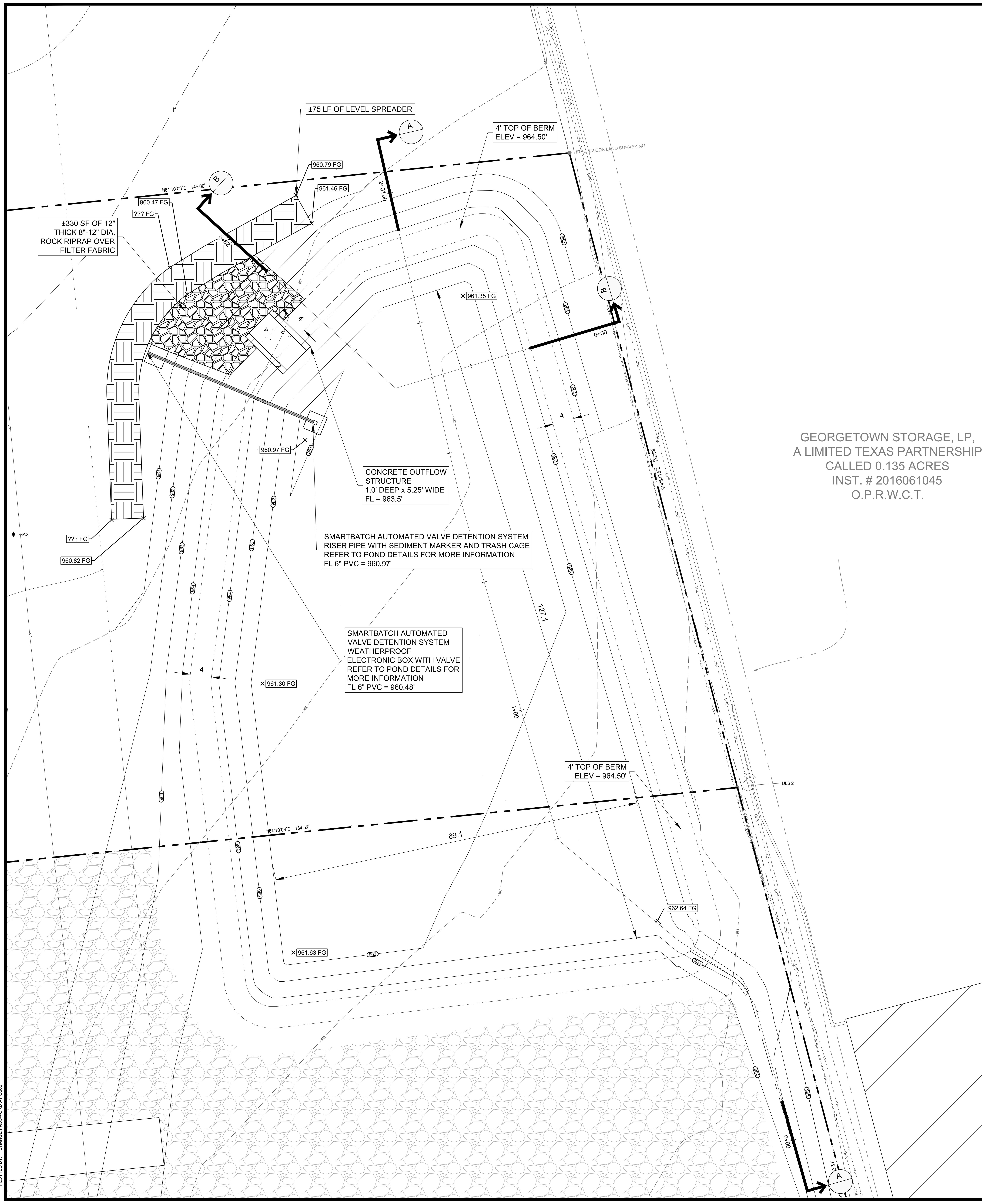
NO.	DATE	REVISIONS	REC'D

AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME
6540 TX-29
GEORGETOWN, TX 78628

VEGETATIVE FILTER STRIP PLAN AND CALCULATIONS

PERMIT No.
COC-XXXX-XXXX

SHEET No.
16
OF 26



N
W E
S

0 10 20
SCALE : 1" = 10'

GENERAL LEGEND

SYMBOLS

WATER METER — WW SERVICE
WATER VALVE — WATER SERVICE
FIRE HYDRANT — STORMSEWER MANHOLE
BACKFLOW PREVENTER — SIGN
UTILITY POLE — CURB INLET
LIGHT POLE — GRATE INLET
WASTEWATER MANHOLE — TABLE TOP AREA INLET
CLEAN OUT — TREE TO BE SAVED
KEYNOTES
PARKING COUNT — TREE TO BE REMOVED

LINETYPES

PROPERTY BOUNDARY
LOC LIMITS OF CONSTRUCTION
FENCES (CHAINLINK)
(IRON)
(WOOD)
(BARB WIRE)
DITCH (CREEK) LINE
EXISTING CONTOURS
DEVELOPED CONTOURS
CURB & GUTTER
UGE UNDERGROUND ELEC.
OHE OVERHEAD UTILITY
TEL UNDERGROUND TELE.
GAS UNDERGROUND GAS LINE
SD STORM DRAIN LINE
W WATER LINE
F FIRE LINE
WW WASTEWATER LINE
ACCESSIBLE ROUTE

NOTES:

1. WATER QUALITY ELEVATION = 963.5
2. REQUIRED WATER QUALITY VOLUME = 12,519.26 CU FT.
3. PROVIDED WATER QUALITY VOLUME = 13,226.63 CU. FT

POND STAGE STORAGE			
Elevation (FT)	Area (SF)	Cumulative Volume (Cu. Ft)	Outflow (CFS)
960.92	0	0	0
961	55.44	2.22	0
961.25	891.01	120.52	0
961.5	2,316.72	521.49	0
961.75	3,934.46	1302.89	0
962	5,288.23	2455.72	0
962.25	6,304.67	3904.84	0
962.5	6,984.36	5565.97	0
962.75	7,353.72	7358.23	0
963	7,655.64	9234.4	0
963.25	7,978.54	11188.67	0
963.5	8,325.12	13226.63	0.19
963.75	8,695.37	15354.19	2.25
964	9,089.59	17577.31	5.71
964.25	9,521.38	19903.68	11.87
964.5	9,977.96	22341.1	-

WATER QUALITY AND DETENTION POND CALCULATIONS					
EVENT	2-YR	10-YR	25-YR	50-YR	100-YR
PEAK INFLOW	7.19	11.48	14.38	16.13	20.46
PEAK DISCHARGE	5.25	8.66	10.99	12.50	15.60
PEAK POND ELEVATION	963.9	964.1	964.2	964.3	964.4

811
Know what's **below.**
Call before you dig.

CONTRACTOR NOTES:

EXISTING UNDERGROUND AND OVERHEAD UTILITIES IN VICINITY. CONTRACTOR TO CONTACT UTILITY COMPANIES PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS & DEPTHS PRIOR TO BEGINNING CONSTRUCTION.

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TBPE FIRM #F-19351

DESIGNED: XXXXX DRAWN: VALUE REVIEWED:VALUE

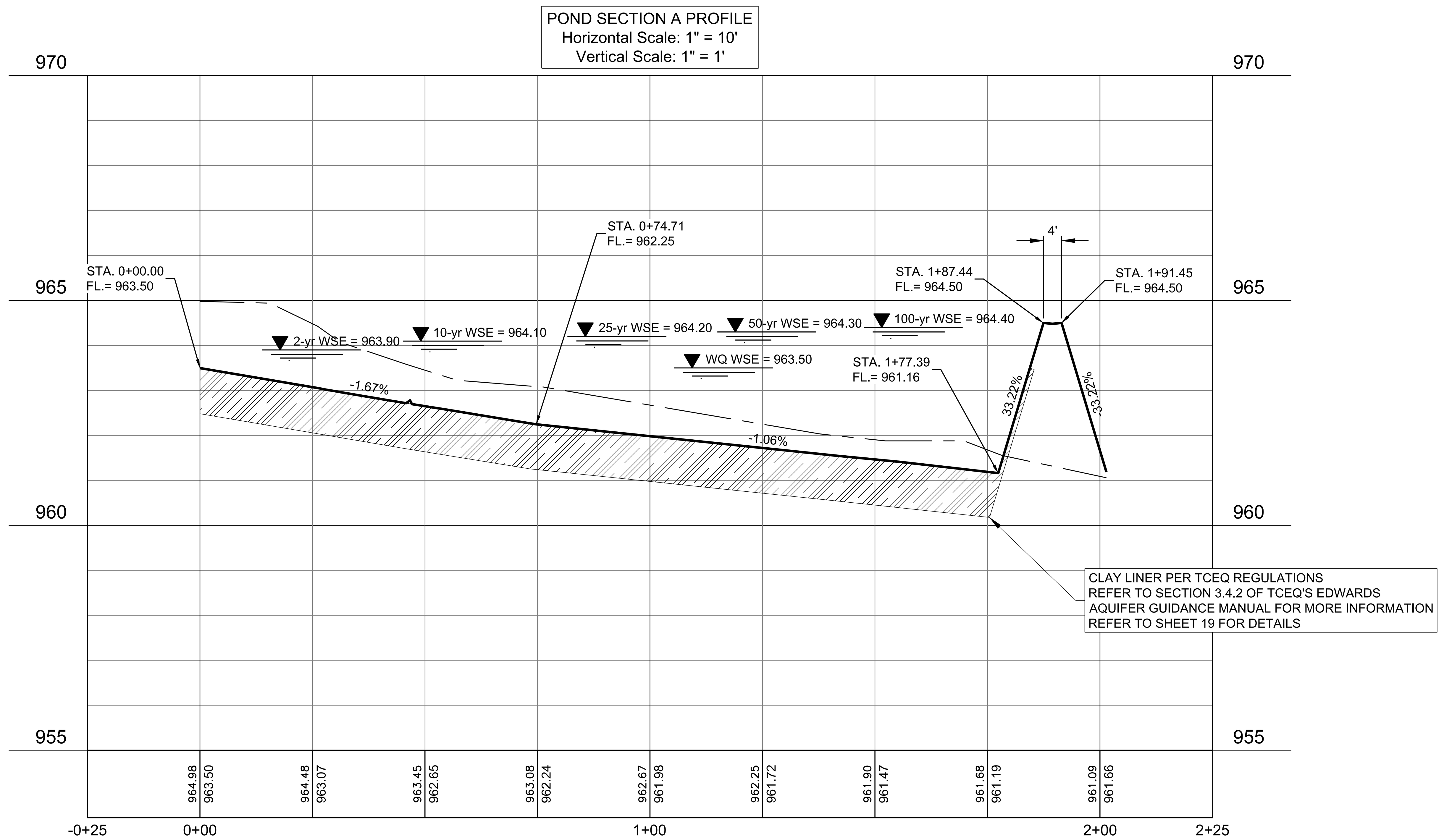
STATE OF TEXAS
MICHAEL EASTON MUNDINE
143266
LICENSED PROFESSIONAL ENGINEER
7/15/2025

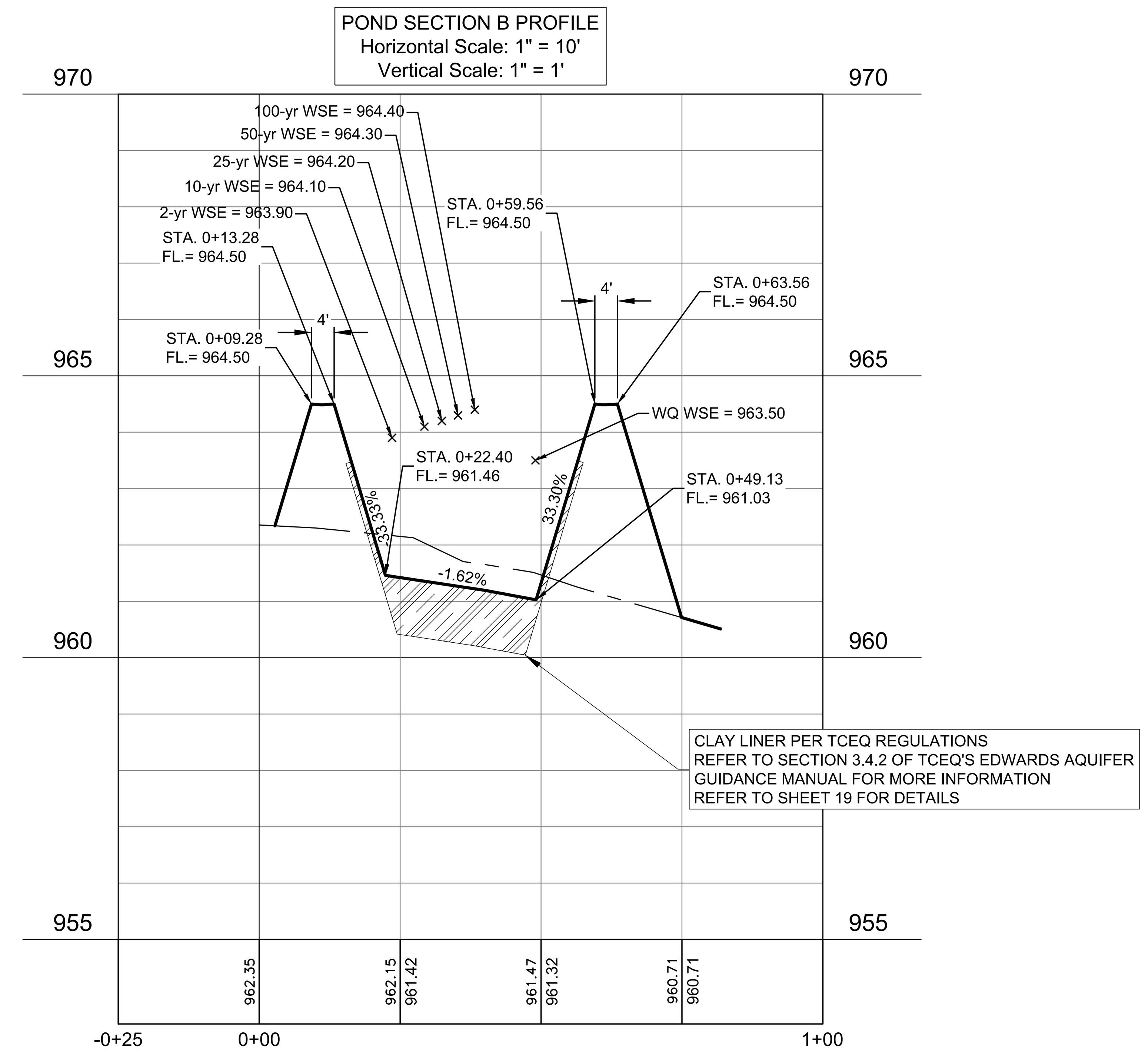
RECOM'D
REVISIONS
DATE
NO.

AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME
6540 TX-29
GEORGETOWN, TX 78628

POND PLAN

PERMIT No.
COC-XXXX-XXXX
SHEET No.





Texas Commission on Environmental Quality

TSS Removal Calculations 04-20-2009

Additional information is provided for cells with a red triangle in the upper right corn
Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-
Characters shown in red are data entry fields.
Characters shown in black (Bold) are calculated fields. Changes to these fields will r

1. The Required Load Reduction for the total project: Calculations from RG-348

Page 3-29 Equation 3.3: $L_M = 27.2(A_N \times P)$

where:
$L_{M\ TOTAL\ PROJECT}$ = Required TSS removal resul
A_N = Net increase in impervious a
P = Average annual precipitation

Site Data: Determine Required Load Removal Based on the Entire Project

County =	Williamson	
Total project area included in plan * =	2.88	acres
Predevelopment impervious area within the limits of the plan * =	0.00	acres
Total post-development impervious area within the limits of the plan* =	1.62	acres
Total post-development impervious cover fraction * =	0.56	
P =	32	inches
$L_{M\ TOTAL\ PROJECT}$ =	1414	lbs.

*** The values entered in these fields should be for the total project area.**

Number of drainage basins / outfalls areas leaving the plan area = 1

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. = 1

Total drainage basin/outfall area =	1.96	acres
Predevelopment impervious area within drainage basin/outfall area =	0.00	acres
Post-development impervious area within drainage basin/outfall area =	1.23	acres
Post-development impervious fraction within drainage basin/outfall area =	0.63	
$L_{M\ THIS\ BASIN}$ =	1069	lbs.

3. Indicate the proposed BMP Code for this basin.

Proposed BMP = Batch Detention
Removal efficiency = **91** percent

4. Calculate Maximum TSS Load Removed (L_R) for this Drainage Basin by the selected BMP Type.

RG-348 Page 3-33 Equation 3.7: L_R = (BMP efficiency) x P x (A_I x 3

where:
A_C = Total On-Site drainage area
A_I = Impervious area proposed in
A_P = Pervious area remaining in tl
L_R = TSS Load removed from this

A_C =	1.96	acres
A_I =	1.23	acres
A_P =	0.73	acres
L_R =	1249	lbs

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area

Desired $L_{M\ THIS\ BASIN}$ = 1221 lbs.

F = **0.98**

6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area.

Rainfall Depth =	3.33	inches
Post Development Runoff Coefficient =	0.44	
On-site Water Quality Volume =	10433	cubic feet

Calculations from RG-348

Off-site area draining to BMP =	0.00	acres
Off-site Impervious cover draining to BMP =	0.00	acres
Impervious fraction of off-site area =	0	
Off-site Runoff Coefficient =	0.00	
Off-site Water Quality Volume =	0	cubic feet
Storage for Sediment =	2087	
Total Capture Volume (required water quality volume(s) x 1.20) =	12519	cubic feet

The following sections are used to calculate the required water quality volume(s) for the selected BMF
The values for BMP Types not selected in cell C45 will show NA.

2P CONSULTANTS, LLC
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DESIGNED: XXXXX DRAWN: VALUE REVIEWED: VALUE

STATE OF TEXAS
MICHAEL EASTON MUNDINE
143266
LICENSED PROFESSIONAL ENGINEER
7/15/2025

NO.	DATE	REVISIONS	RECOMD

AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME

6540 TX-29
GEORGETOWN, TX 78628

POND CALCULATIONS AND PROFILES

PERMIT No.
COC-XXXX-XXXX

SHEET No.
18
OF 26

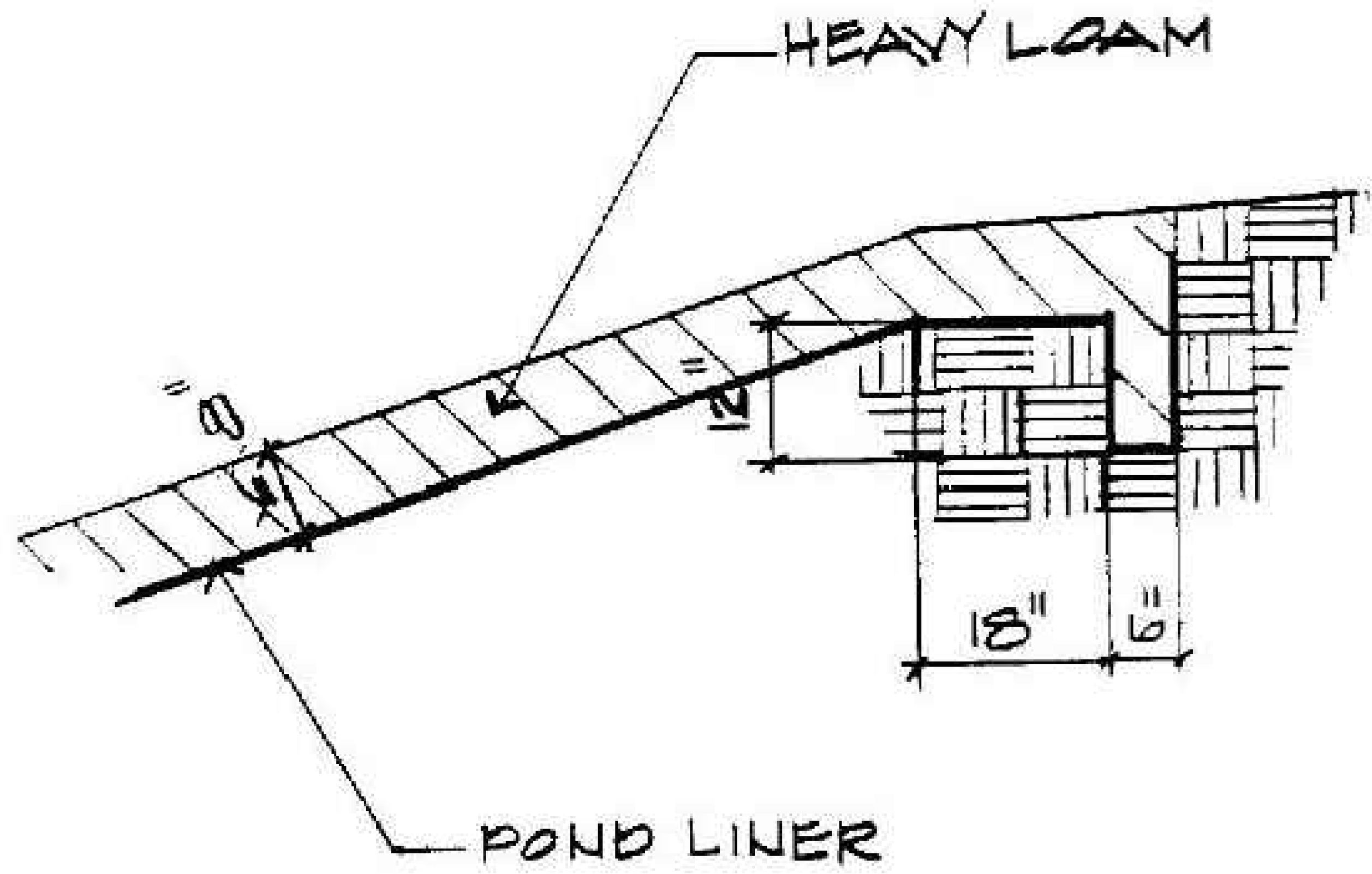
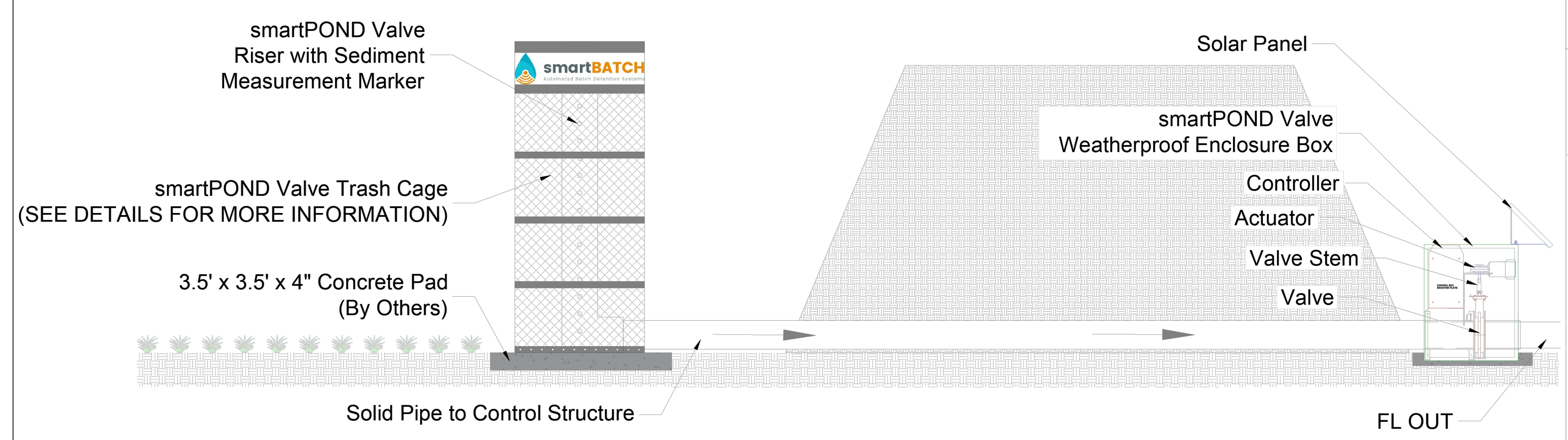


Figure 3-13 Example of Liner Installation on Earthen Slope (Courtesy COA)

Table 3-6 Clay Liner Specifications (COA, 2004)

Property	Test Method	Unit	Specification
Permeability	ASTM D-2434	cm/sec	1 x 10^{-6}
Plasticity Index of Clay	ASTM D-423 & D-424	%	Not less than 15
Liquid Limit of Clay	ASTM D-2216	%	Not less than 30
Clay Particles Passing	ASTM D-422	%	Not less than 30
Clay Compaction	ASTM D-2216	%	95% of Standard Proctor Density



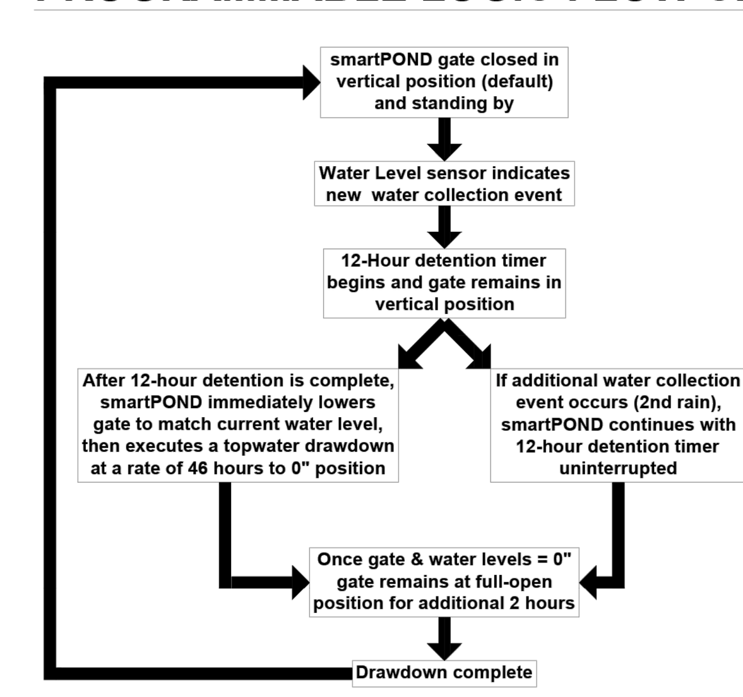
smartPOND Automated Stormwater Control.

smartPOND Valve with Berm

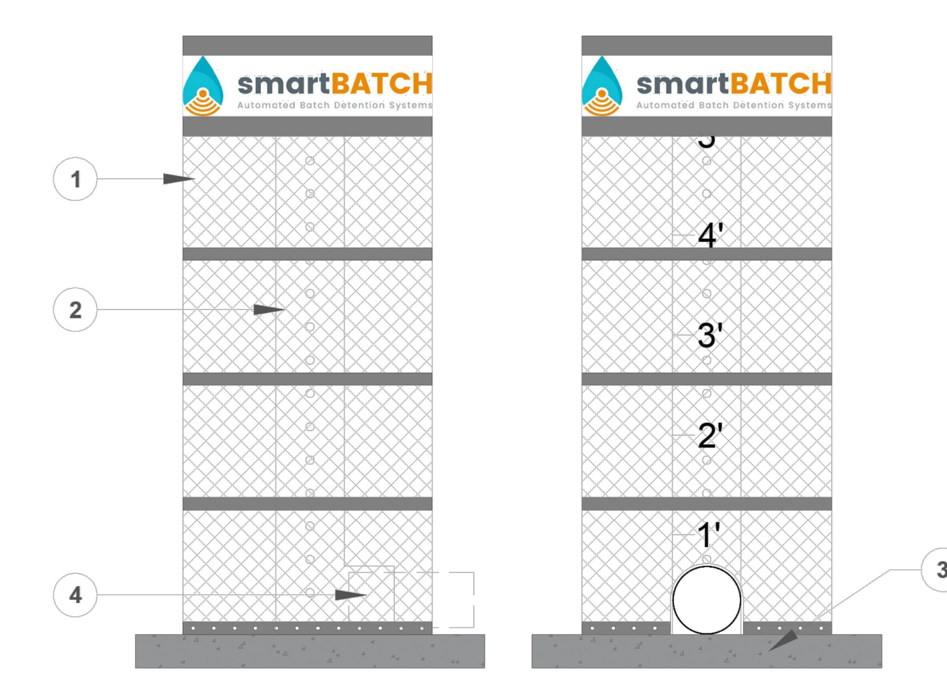
0
5/14/2019

NOTE: ENGINEER OF RECORD TO REVIEW, APPROVE AND ENDORSE FINAL SITE SPECIFIC DESIGN.

PROGRAMMABLE LOGIC FLOW CHART



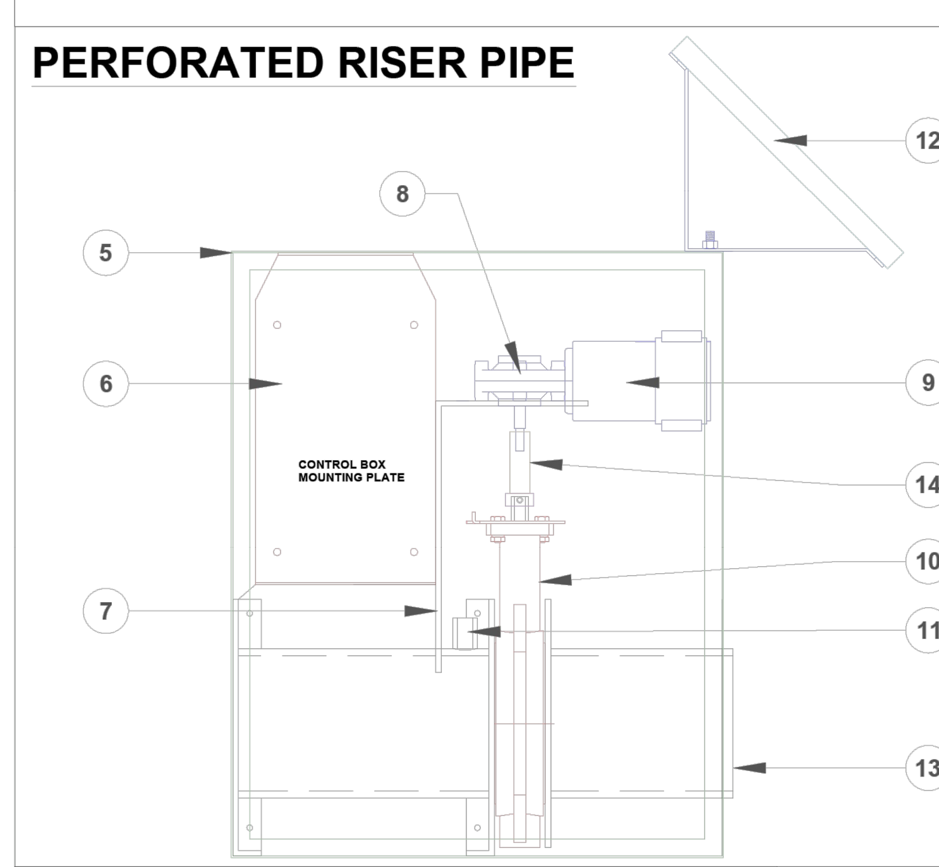
TRASH CAGE WITH PERFORATED RISER PIPE



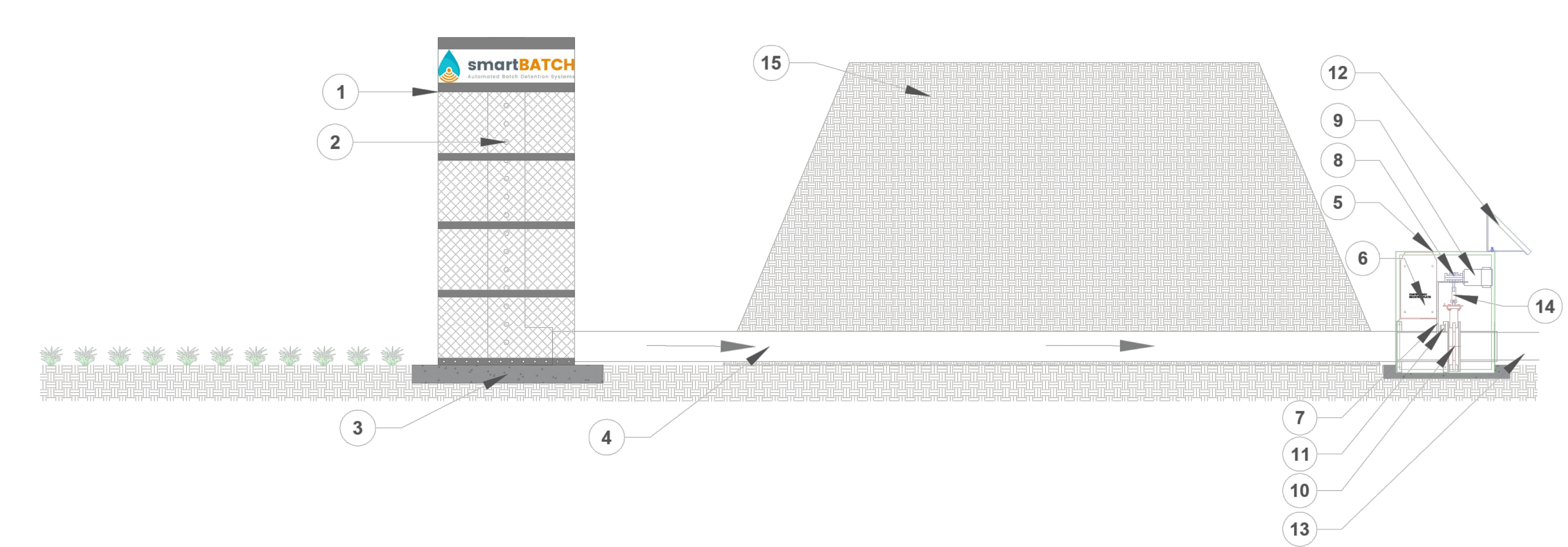
Parts List

Item	smartPOND Valve Component
1	30" DIAMETER CAGE WITH 1 ½" GALVANIZED MESH SCREEN
2	8" SQUARE PERFORATED TUBING WITH 1" PERFORATION, WITH 4" VERTICAL SPACING ON CENTERS WITH WATER DEPTH MARKER
3	3 ½' X 3 ½' X 4" CONCRETE PAD (BY OTHERS)
4	6" PVC OUTFALL PIPE (BY OTHERS)
5	WEATHERPROOF ELECTRONIC BOX
6	CONTROL BOX
7	PEDESTAL
8	ACTUATOR
9	MOTOR
10	6" VALVE
11	LEVEL TRANSDUCER
12	SOLAR PANEL
13	OUTLET PIPE (BY OTHERS)
14	VALVE STEM
15	BERM (BY OTHERS)

PERFORATED RISER PIPE



smartPOND Valve with Berm



CONSTRUCTION ECO SERVICES

smartPOND Automated Stormwater Control.

FOR ADDITIONAL INFORMATION PLEASE CONTACT: CONSTRUCTION ECO SERVICES, 832-456-1000, www.ecosvs.com

CONVERGENT WATER TECHNOLOGIES

2P CONSULTANTS, LLC
203 E. MAIN STREET, SUITE 204
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512-344-9664
TBPE FIRM #F-19351

DESIGNED: XXXXX
DRAWN: VALUE
REVIEWED: VALUE

STATE OF TEXAS
MICHAEL EASTON MUNDINE
143266
LICENSED PROFESSIONAL ENGINEER
7/15/2025

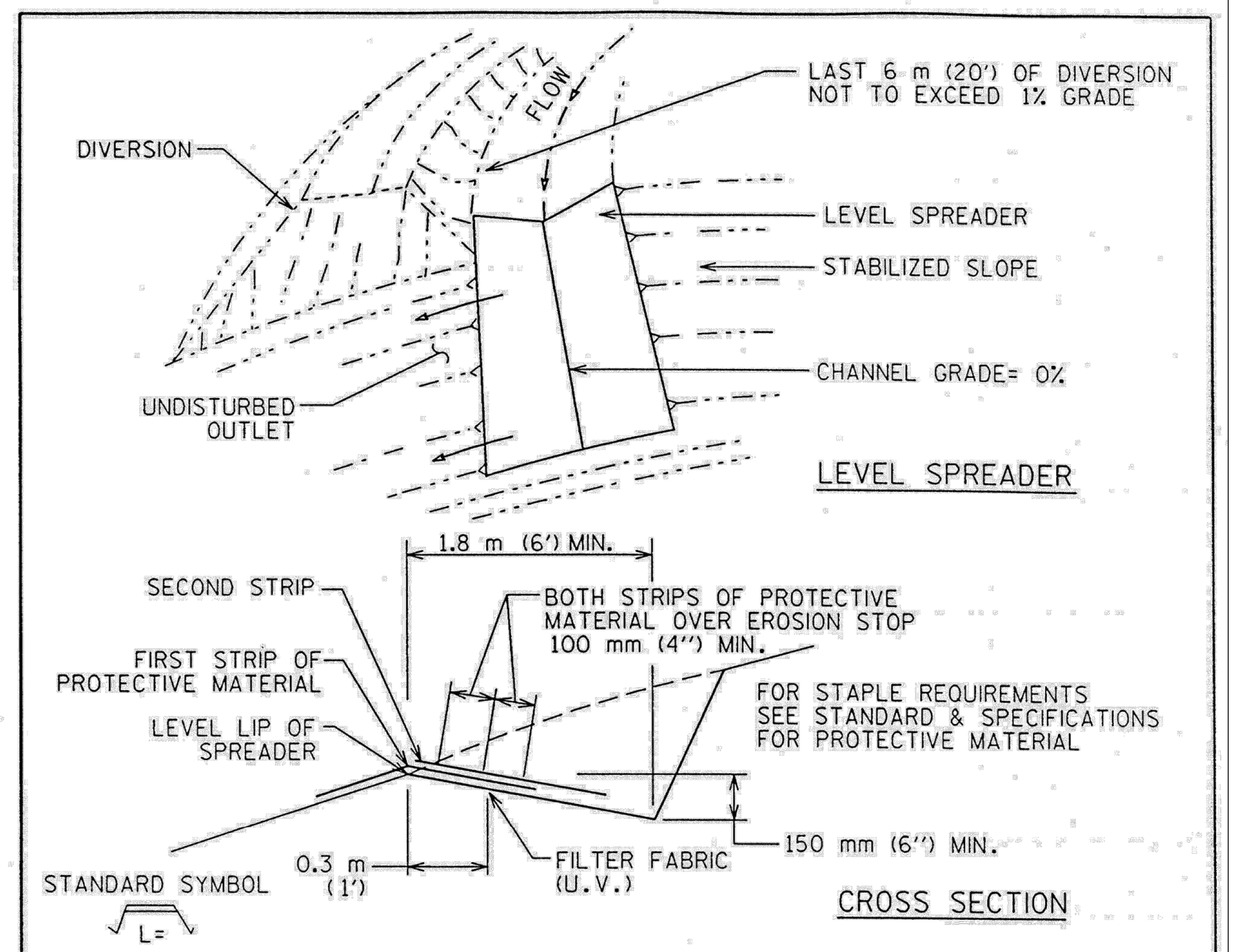
NO. | DATE | REVISIONS | RECORD

AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME
6540 TX-29
GEORGETOWN, TX 78628

POND DETAILS (1 OF 2)

PERMIT No.
COC-XXXX-XXXX

SHEET No.



GENERAL NOTES:

1. LEVEL SPREADERS SHALL BE INSTALLED UNDER THE DIRECT SUPERVISION OF THE ENGINEER.
2. CONSTRUCT LEVEL LIP ON ZERO PERCENT GRADE TO INSURE UNIFORM SPREADING OF SEDIMENT-FREE RUNOFF (CONVERTING CHANNEL FLOW TO SHEET FLOW).
3. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL (NOT ON FILL).
4. A MATTING EROSION STOP SHALL BE PLACED VERTICALLY AND AT LEAST 150 mm (6") DEEP IN A SILT TRENCH 0.3 m (1') BACK OF AND PARALLEL WITH THE LIP. THIS EROSION STOP SHALL EXTEND THE ENTIRE LENGTH OF THE LEVEL LIP AND SHALL BE TRIMMED AFTER BACKFILLING WITH TAMPED SOIL, SO THAT THE UPPER EDGE IS FLUSH WITH THE SOIL SURFACE.
5. THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING 2 STRIPS OF JUTE, EXCELSIOR OR OTHER APPROVED PROTECTIVE MATERIAL AS SHOWN ABOVE.
6. THE ENTRANCE CHANNEL SHALL NOT EXCEED A 1% GRADE FOR AT LEAST 6 m (20') BEFORE ENTERING SPREADER.
7. STORM RUNOFF CONVERTED TO SHEET FLOW SHALL OUTLET ONTO STABILIZED AREAS. WATER SHALL NOT BE RECONCENTRATED IMMEDIATELY BELOW THE POINT OF DISCHARGE.
8. PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PROVIDED.

CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT	LEVEL SPREADER	
3.27.00 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 634S-1

smartPOND Valve SPECIFICATION

Continuously Monitored Automated Stormwater System with Valve

1. Introduction

The following specifications describe the components, general functions, and applications of a smartPOND Continuously Monitored Automated Stormwater System (C-MASS) with Valve. The system functions as an electronically controlled, solar powered stormwater management device, providing precision management capabilities and real-time data. Using sensors, solar power, an electronic actuator, and an internet-based control interface, the smartPOND valve connects to a specialized perforated riser inside the stormwater impoundment to enable managers to precisely control water retention and detention automatically or in real time.

2. smartPOND Valve Applications in Stormwater Management

The smartPOND valve is a device for active Stormwater management. As opposed to passive devices such as floating skimmers or stationary weirs, active water management dramatically increases the efficiency and effectiveness of a detention or retention pond. Where a passive stormwater detention system allows water to leave immediately upon collection, the smartPOND valve can detain newly caught Stormwater and allow it to settle for a programmed period before automatically dewatering the impoundment completely. For stormwater retention systems, it is possible to manage the treatment volume while maintaining a specified amount of capacity for flood storage or other use.

2.1 Pre-Programmed Control

Many functions can be pre-programmed without any human interactions, leaving the valve to automatically receive commands based on environmental conditions and respond as programmed.

2.1.1 Batch Detention Function for Stormwater Quality

The smartPOND valve meets TCEQ Batch Detention specifications for a 91% Total Suspended Solid removal rate. The function proceeds as follows. With the valve in the closed position and the impoundment dry, the system will stand by and wait for a water collection event. At the first sign of water collection, the unit will begin a 12-hour detention timer. At the end of the 12-hour detention period, the valve will open and release all of the water that has been collected. After the water level drops to 0", the valve will remain open for an additional 2 hours to facilitate final drainage, then return to the closed position to stand by for the next water collection event.

2.1.2 Predevelopment Hydrograph Function for Flood Control

The smartPOND valve predevelopment hydrograph function takes in site specific variables to determine a maximum release rate based on predevelopment conditions. The valve reads water depth in the pond every 15 minutes to determine the maximum release rate desirable to ensure the impoundment neither overtops, nor exceeds its maximum release based on predevelopment flows.

2.1.3 Hazmat Function for Spill Containment

smartPOND when specified for hazmat spill containment can be equipped with pollutant specific sensors that when triggered automatically close the valve until the command is overridden.

2.2 Real Time Monitoring

smartPOND comes standard with telemetry available on each unit and access to the user app available at no additional cost for 1 year. This option allows for real time monitoring of the unit and the data that comes along with it. From the real time monitoring app, a user can:

- Control the valve, either open or close
- See the water level
- See if trash or debris is surrounding the inlet
- Get maintenance alerts (Low Battery, Valve Failure, Etc.)
- Maintain specified water level

3. Components

The smartPOND valve may be implemented either above or below ground, and is comprised of the following components:

3.1 Hardware and Configuration

The standard smartPOND valve features a cast 6" valve. An extended spool and mounting flange on each side of the valve allows it to be attached to the outfall pipe in various configurations. The valve is actuated with an electric motor connected by an extendable drive shaft for underground applications.

For above ground applications, the entire system including all necessary components for operation assemble into one kit and are housed under a single lockable steel enclosure with the solar panel mounted on top. In this configuration, the unit can be installed on a stable, level pad and be bolted onto the back of the outfall pipe with six ¾" bolts and then switched to the "ON" position.

For underground applications, the valve is installed in a vault or concrete encasement as needed. An extended drive shaft connects between the underground valve and the rest of the components, including the motor and all electronics, which are housed in the lockable steel enclosure directly above ground.

3.2 Electronics and Software Specifications

- **Main board** - The main board of the smartPOND valve's electronics box serves as the main connection terminal for all sensors and additional control boards
- **Motor Controller Board -** The motor controller board of the smartPOND valve regulates the connection between the battery and the motor and receives inputs from the main board to control motor direction. It also powers the main board.
- **Motor** - The smartPOND valve's motor operates on 12-volts and has two wires connecting to the motor controller board. It is mounted on a bracket and connects to the directly to the valve with a driveshaft.
- **Battery** - The smartPOND valve is powered by a 12-volt, 30 amp/hour gel battery. Two terminals at the top connect the power wires to the motor controller board and the solar charge controller to the battery.
- **Solar Panel -** The solar panel of the smartPOND valve is 12-volts with 15 watt charging capability. It connects to a solar charge controller which regulates the voltage and current before connecting with two wires to the positive and negative battery terminals.
- **Sensors**
  - *Pressure Transducer* - The water level sensor is a pressure transducer sensor capable of staying submersed in water indefinitely. It mounts on the side of the smartPOND valve's center spool.
  - *Valve position sensor* - A proximity sensor senses the position of the valve's drive shaft in order to control and determine the position of the valve.
- **(Optional)**
  - *Cell data modem* **-** A cellular data modem will be required for real time control and alert options as well as predevelopment hydrograph functions.
  - *Hydrocarbon Sensor* **-** This optional sensor may be fitted to the smartPOND valve to perform specific functions based on the presence of hydrocarbon contamination.

4. Real Time Monitoring Interface (optional)

If the real time monitoring option is selected, the smartPOND valve may be monitored in real time through the Autoflow app. Live and historical data from each unit may be viewed in the app, as well as alerts (detailed in section 5).

4.1 Accessing unit data

To access live and historical data in the Autoflow app, select the unit of interest on the home page by clicking on the unit's name. From there, select the "Data" button, and the data page for that unit will be displayed.

4.2 Sending a command

To send a remote-control command to the SmartPOND valve, click the "Send New Command" button on the unit's home page. The unit's current position will be displayed at the top. To change the unit's position, simply select "OPEN" or "CLOSE". Within 1-3 minutes, the unit will move to the new position and update its status in the app.

5. Alerts

The smartPOND valve will indicate the following alerts by illuminating an exteriorly visible red LED light

- Low battery
- Loss of function
- Valve malfunction
- Hydrocarbon contamination (optional)

If the telemetry option is selected, the unit will upload the above alerts to the Autoflow app and notify the operator via text or email.

6. In Case of Failure

To bypass the smartPOND valve's normal automated functions and control the valve position in case of failure:

6.1 Removal of motor and manual direct control

In case of a total electronic or motor failure, the motor and motor bracket can be uninstalled together by removing the two bolts at the bottom of the motor bracket. With the motor and motor bracket removed, the output shaft on the butterfly valve can be manually controlled with a socket wrench, or any other tool that can grip the output shaft.

7. Additional Components List

7.1 Perforated Riser

The smartPOND valve system includes a stackable perforated steel riser which installs on the inlet side of the outfall pipe within the impoundment area. The perforated riser features an 8-inch steel perforated square tube within a 24" round steel mesh tube. At the bottom of the 8-inch square tube, there is a female threaded fitting for a six inch PVC outfall pipe to connect. The steel tube is perforated with 1-inch holes every 4" on center to the height of the impoundment.

7.2 Trash Cage

The trash cage attaches to the perforated riser with a coupling and calder pin. The trash cage will be comprised of steel banding and a 1.5" x 1.5" mesh to prevent floatable's and other contaminants from entering and clogging the perforated riser. The trash cage will sit 0.5" above the bottom of the impoundment to allow the last 0.5" out of the impoundment.

7.3 Valve Stem Extension

The drive shaft/valve stem of the smartPOND system may be extended to any length necessary for instances where the valve will be in an underground vault or manhole. The valve stem will connect the valve to the above ground controls.

8. Maintenance

8.1 Grease

The smartPOND valve includes a grease fitting on the valve itself which should be greased twice per year. It is also recommended that a thick, mildly heat-resistant grease be used to avoid grease melting out of the groove in warmer temperatures.

8.2 Flange Bolts

There are 6 bolts connecting the smartPOND valve's flange to the outfall pipe or fixture. During routine maintenance intervals, these bolts should be checked for tightness. All bolts should be tightened evenly.

8.3 Perforated Riser

Silt, sediment, and debris can build up around the perforated riser with time. An annual inspection of the unit is necessary to ensure that excess debris or sediment has not limited the drainage capacity of the perforated riser. To access the perforated riser for maintenance, lift the trash cage off of the riser, dig out any accumulated sediment, and clear all perforations.

8.4 Trash Cage

As a part of routine maintenance, it is advisable to remove trash and debris that has accumulated on the trash cage and properly dispose.

8.5 Solar Panel

On all inspection visits, it is necessary to confirm that the solar panel is facing south and is well secured. The solar panel is commonly utilized by birds and insects. It is important to keep the surface clean of bird litter, insect nests and debris in order to maintain optimal performance.

8.6 Battery

Over time, battery terminals may corrode. Check annually for corrosion and clean as needed. The battery should be replaced every 4 to 6 years.

8.7 Storage

The smartPOND valve is shipped in a near-fully assembled configuration and should be stored likewise. The systems are transported and stored on pallets and must remain secured via straps or steel bands to said pallet at all times. The solar panel is not installed at times of transport or storage and should not be installed until the unit is ready to begin operation. The battery may be stored inside the electronics box and if removed, should never be stored on a concrete surface.

9. Installation

The smartPOND valve can be installed in a near-completely assembled configuration. Only the solar panel should be removed during the installation process. There are several ways to install the smartPOND valve with the key being structured support.

9.1 Structural Support

If the smartPOND valve is mounted to a steel pipe in an above ground/fully assembled configuration, the weight of the unit may be supported by the steel pipe. For plastic or concrete pipes, it is recommended that the weight of the unit be supported by either a concrete pad or steel frame. For below ground installations, the upper unit (electronics and actuator) should be fastened to the surface of the concrete vault. For vault installations, see design details for standard vault design.

10. Important Safety Information and Warnings:

- Always keep hands clear of the valve and motor when unit is in operation.
- Turn the power switch off when doing any electrical work.
- Do not enter the water when the device is actively draining water
- Always use proper PPE and confined space protocol when servicing a valve beneath ground.

11. PRODUCTS

Manufacturer/Supplier/Reseller shall be an established stormwater company that has at least 5 installations of automated stormwater management devices that have been in use and functional for the past 3 or more years.

A. Acceptable smartPOND Valve
"smartBATCH" Automated Batch Detention System
"smartPOND" Automated Detention System

B. Acceptable System Supplier
Convergent Water Technologies, Inc.
(800)711-5428
www.convergentwater.com

C. Authorized Value Added Reseller
Construction EcoServices
(800)456-1000
www.ecosvs.com

12. Quality Assurance and Performance Specifications

The quality of all system components and all other appurtenances and their assembly process shall be subject to inspection upon delivery of the system to the work site.Installation is to be performed only by skilled work people with satisfactory record of performance on earthworks, pipe, welding, chamber, or pond/landfill construction projects of comparable size and quality.

NOTE: ENGINEER OF RECORD TO REVIEW, APPROVE AND ENDORSE FINAL SITE SPECIFIC DESIGN.

smartPOND Automated Stormwater Control

CONSTRUCTION ECO SERVICES

smartPOND Valve Specifications

REVISION NO. 0
DATE 5/14/2019

2P CONSULTANTS, LLC
203 E. MAIN STREET, SUITE 204
ROUND ROCK, TEXAS 78664
512-344-9664
TBPE FIRM #F-19351

DESIGNED: XXXXX | DRAWN: VALUE | REVIEWED: VALUE

STATE OF TEXAS
MICHAEL EASTON MUNDINE
143266
LICENSED PROFESSIONAL ENGINEER
7/15/2025

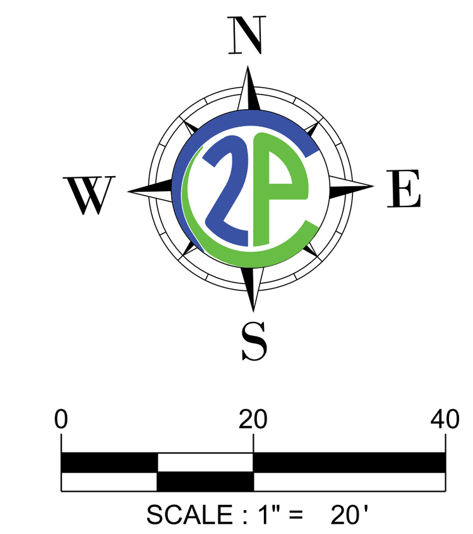
NO.	DATE	REVISIONS	RECORD

AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME
6540 TX-29
GEORGETOWN, TX 78628

POND DETAILS (2 OF 2)

PERMIT No. COC-XXXX-XXXX

SHEET No. 20 OF 26



GENERAL LEGEND

SYMBOLS

WATER METER	WW SERVICE
WATER VALVE	WATER SERVICE
FIRE HYDRANT	STORMSEWER MANHOLE
BACKFLOW PREVENTER	SIGN
UTILITY POLE	CURB INLET
LIGHT POLE	GRATE INLET
WASTEWATER MANHOLE	TABLE TOP AREA INLET
CLEAN OUT	TREE TO BE SAVED
KEYNOTES	
PARKING COUNT	TREE TO BE REMOVED

LINETYPES

- PROPERTY BOUNDARY
- LOC — LIMITS OF CONSTRUCTION
- FENCES (CHAINLINK) (IRON) (WOOD) (BARB WIRE)
- DITCH (CREEK) LINE
- EXISTING CONTOURS
- DEVELOPED CONTOURS
- CURB & GUTTER
- UGE — UNDERGROUND ELEC.
- OHE — OVERHEAD UTILITY
- TEL — UNDERGROUND TELE.
- GAS — UNDERGROUND GAS LINE
- SD — STORM DRAIN LINE
- W — WATER LINE
- F — FIRE LINE
- WW — WASTEWATER LINE
- ACCESSIBLE ROUTE

DETAIL NUMBER
SHEET NUMBER WHERE DETAIL IS LOCATED
DETAIL NAME
DETAIL REFERENCE CALLOUT

WASTEWATER NOTES:

1. ALL NON-CITY INFRASTRUCTURE INCLUDING GAS, ELECTRIC, CABLE, AND TELECOMMUNICATIONS SHALL TRAVERSE UNDERNEATH CITY INFRASTRUCTURE. THIS INCLUDES, BUT IS NOT LIMITED TO WATER LINES, WASTEWATER LINES AND STORM SEWER, WITH A MINIMUM OUTSIDE-TO-OUTSIDE CLEARANCE OF 18".
2. ALL MANHOLES SHALL BE COATED AND VACUUM TESTED.
3. ALL WASTEWATER LINES ARE TO BE CONSTRUCTED OF SDR 26.
4. ALL MANHOLES TO BE PRECAST.

Know what's **below.**
Call before you dig.

CONTRACTOR NOTES:

EXISTING UNDERGROUND AND OVERHEAD UTILITIES IN VICINITY. CONTRACTOR TO CONTACT UTILITY COMPANIES PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS & DEPTHS PRIOR TO BEGINNING CONSTRUCTION.

CONTRACTOR SHALL CONSIDER DEVELOPED UTILITY IMPROVEMENTS AND PROVIDE ADEQUATE HORIZONTAL AND VERTICAL CLEARANCE DURING INSTALLATION OF ALL UTILITY INFRASTRUCTURE.

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MICHAEL EASTON MUNDINE
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7/15/2025

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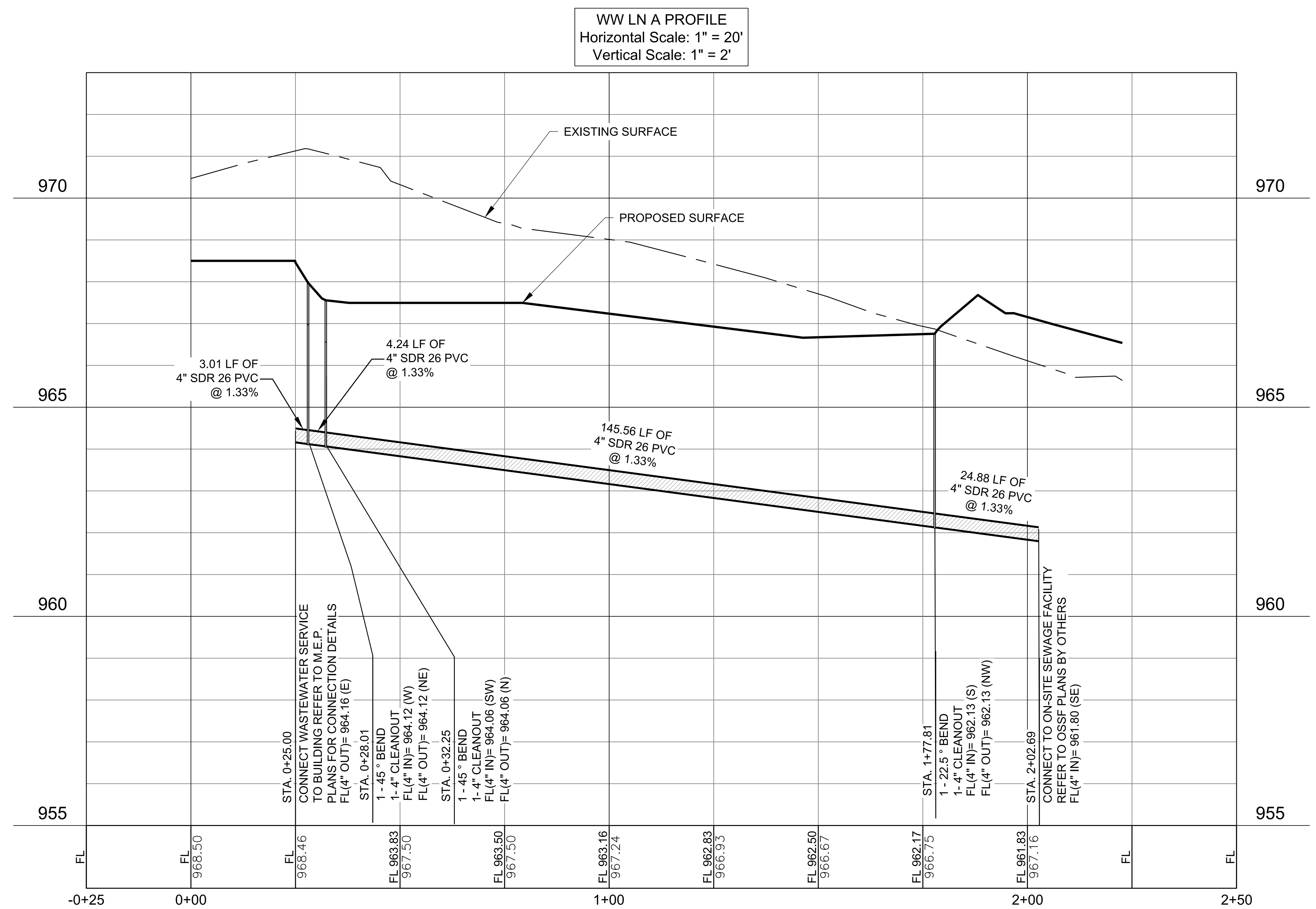
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME
6540 TX-29
GEORGETOWN, TX 78628

WASTEWATER PLAN

PERMIT No.
COC-XXXX-XXXX

SHEET No.
21
OF 26



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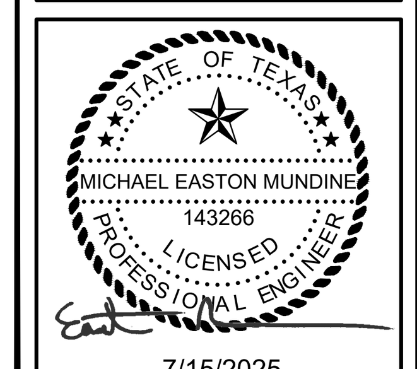


7/15/2025

NO.	DATE	REVISIONS	RECOM'D

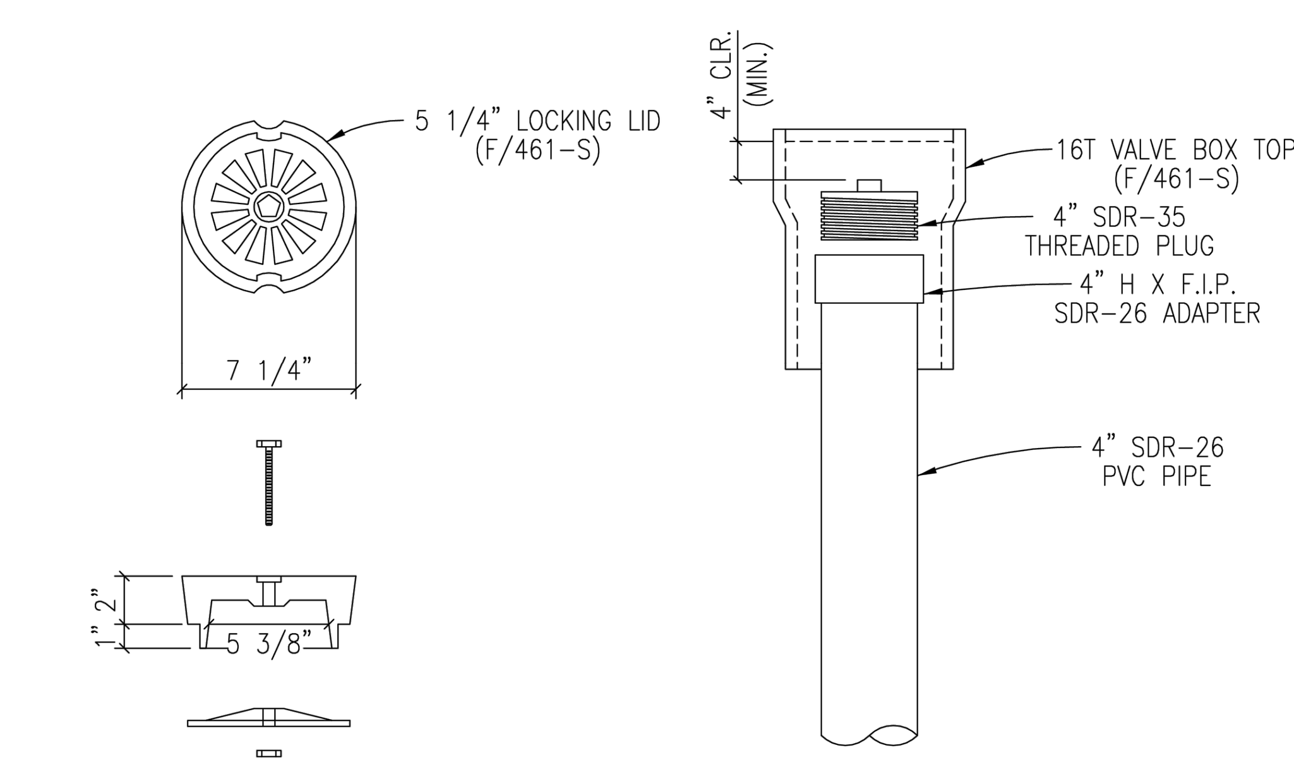
AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME

6540 TX-29
GEORGETOWN, TX 78628

WASTEWATER PROFILE

PERMIT No.
COC-XXXX-XXXX

SHEET No.
22
OF 26

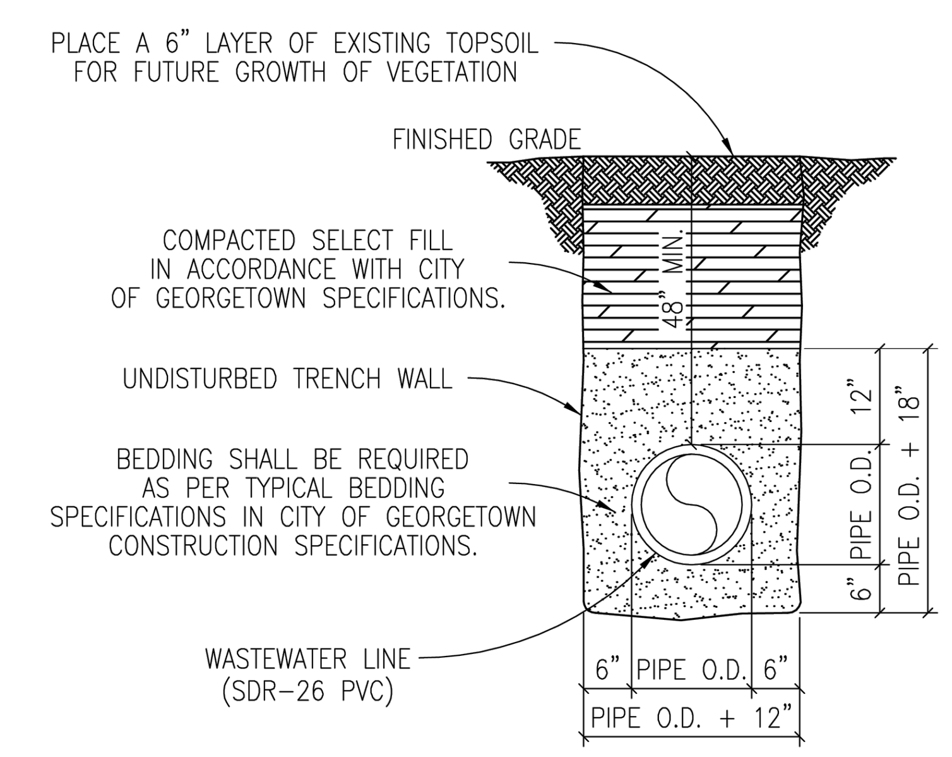


5 1/4" LOCKING LID
(F/461-S)

SEWER CLEAN-OUT
CITY OF GEORGETOWN
(RESIDENTIAL SERVICE)

The Architect/Engineer assumes responsibility for appropriate use of this standard.

GEORGETOWN TEXAS EST. 1848 Georgetown Utility Systems Your Community Owned Utility	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS (1) SEWER CLEAN-OUT DETAIL	REVISION NOTE: ADOPTED 6/21/2006 DRAWING NAME: WW12	SCALE: NTS DATE: 1/2003 DRAWN BY: MRS APPROVED BY: TRB



TRENCH WIDTHS
*PIPE LESS THAN 20" DIAMETER
1'-0" + PIPE O.D.
*20" DIAMETER PIPE AND LARGER
2'-0" + PIPE O.D.

The Architect/Engineer assumes responsibility for appropriate use of this standard.

GEORGETOWN TEXAS EST. 1848 Georgetown Utility Systems Your Community Owned Utility	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS (2) TRENCH AND EMBEDMENT DETAIL UNDER NON-PAVED AREAS	REVISION NOTE: ADOPTED 6/21/2006 DRAWING NAME: WW16	SCALE: NTS DATE: 1/2003 DRAWN BY: MRS APPROVED BY: TRB

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STATE OF TEXAS
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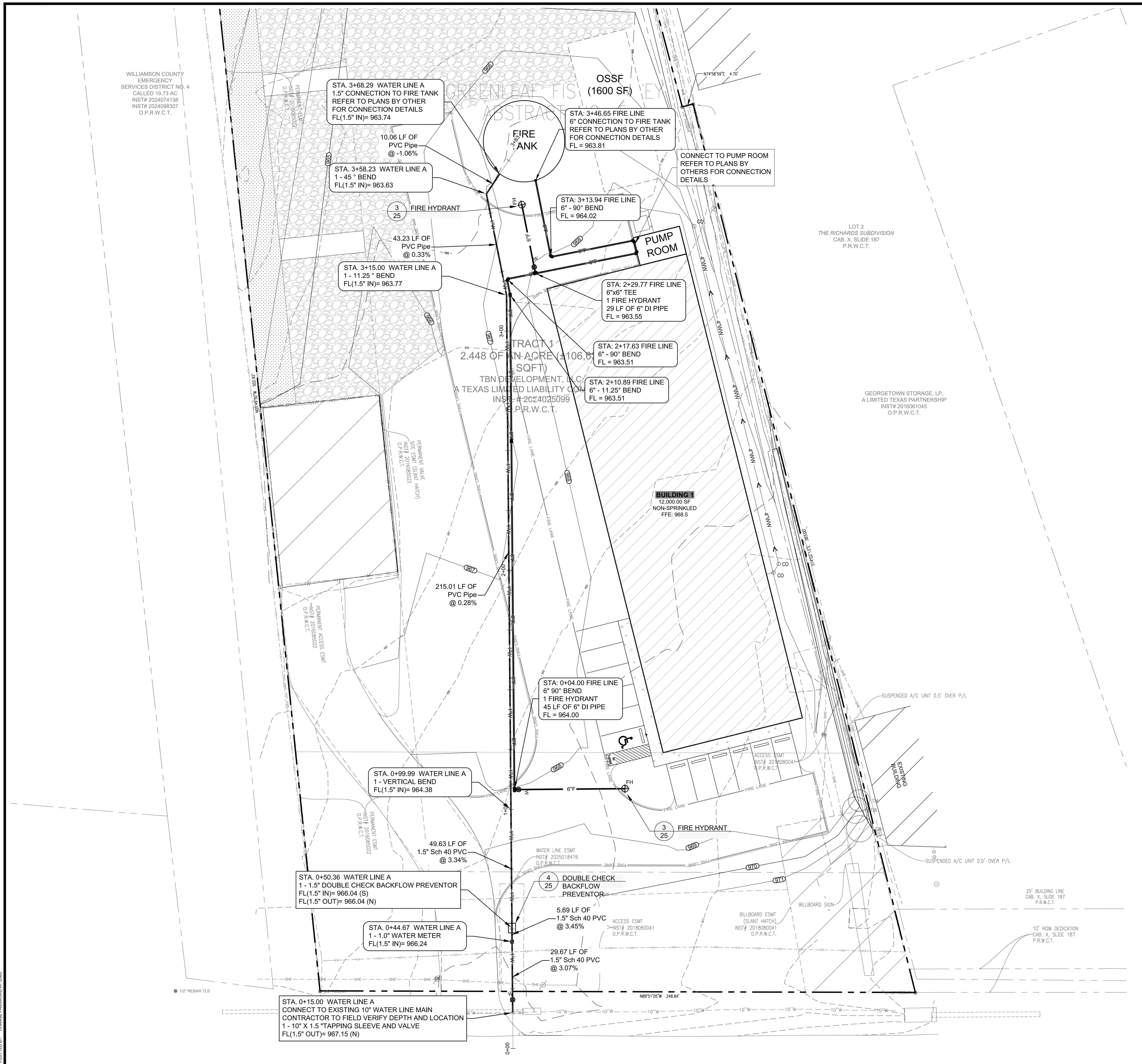
WASTEWATER DETAILS

PERMIT No.
COC-XXXX-XXXX

SHEET No.
23
OF 26



GENERAL LEGEND

SYMBOLS

WATER METER; WATER VALVE; FIRE HYDRANT; BACKFLOW PREVENTER; UTILITY POLE; LIGHT POLE; WASTEWATER MANHOLE; CLEAN OUT; KEYNOTES; PARKING COUNT; WW SERVICE; WATER SERVICE; STORMSEWER MANHOLE; SIGN; CURB INLET; GRATE INLET; TABLE TOP AREA INLET; TREE TO BE SAVED; TREE TO BE REMOVED

LINETYPES

PROPERTY BOUNDARY; LIMITS OF CONSTRUCTION (LOC); FENCES (CHAINLINK) (IRON) (WOOD) (BARB WIRE); DITCH (CREEK) LINE; EXISTING CONTOURS; DEVELOPED CONTOURS; CURB & GUTTER; UNDERGROUND ELEC. (UGE); OVERHEAD UTILITY (OHE); UNDERGROUND TELE. (TEL); UNDERGROUND GAS LINE (GAS); STORM DRAIN LINE (SD); WATER LINE (W); FIRE LINE (F); WASTEWATER LINE (WW); ACCESSIBLE ROUTE

WATER NOTES:

1. UNLESS OTHERWISE NOTED, ALL WATER LINES 4"-12" IN DIAMETER SHALL BE C900 DR14 PVC PIPE. WATERLINES LESS THAN 4" DIAMETER SHALL 200 PSI BLACK POLYETHYLENE DR9 TUBING.
2. DUCTILE IRON PIPE SHALL BE CLASS 350.
3. ALL FITTINGS 4" AND LARGER SHALL BE DUCTILE IRON.
4. ALL FIRE LINES TO BE COMPLIANT WITH NFPA, CITY OR COUNTY STANDARDS WHICHEVER IS MORE STRINGENT.
5. CONTRACTOR TO COORDINATE AND INSTALL NECESSARY IRRIGATION, ELECTRICAL AND TELECOMMUNICATIONS SLEEVES PRIOR TO PLACEMENT OF CONCRETE.
6. MINIMUM CLEARANCE BETWEEN WATER AND SANITARY SEWER LINES SHALL COMPLY WITH TCEQ REQUIREMENTS.
7. GATE VALVE OPERATOR NUTS SHALL BE BETWEEN 18" AND 36" BELOW GRADE. EXTENSIONS SHALL BE PROVIDED AS NECESSARY TO MEET THIS REQUIREMENT. EXTENSIONS SHALL NOT BE FIXED TO THE OPERATING NUT.
8. ALL WATERLINE VALVES AND FITTINGS SHALL BE JOINT-RESTRAINED AND THRUST-BLOCKED PER CITY STANDARDS.
9. FIRE SAFETY: THIS SITE SHALL BE COMPLIANT WITH CHAPTER 33 OF THE INTERNATIONAL FIRE CODE 2015, DURING CONSTRUCTION & DEMOLITION.

811 Know what's **below.** **Call** before you dig.

CONTRACTOR NOTES:

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NO.	DATE	REVISIONS	RECOMD

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CLIENT NAME

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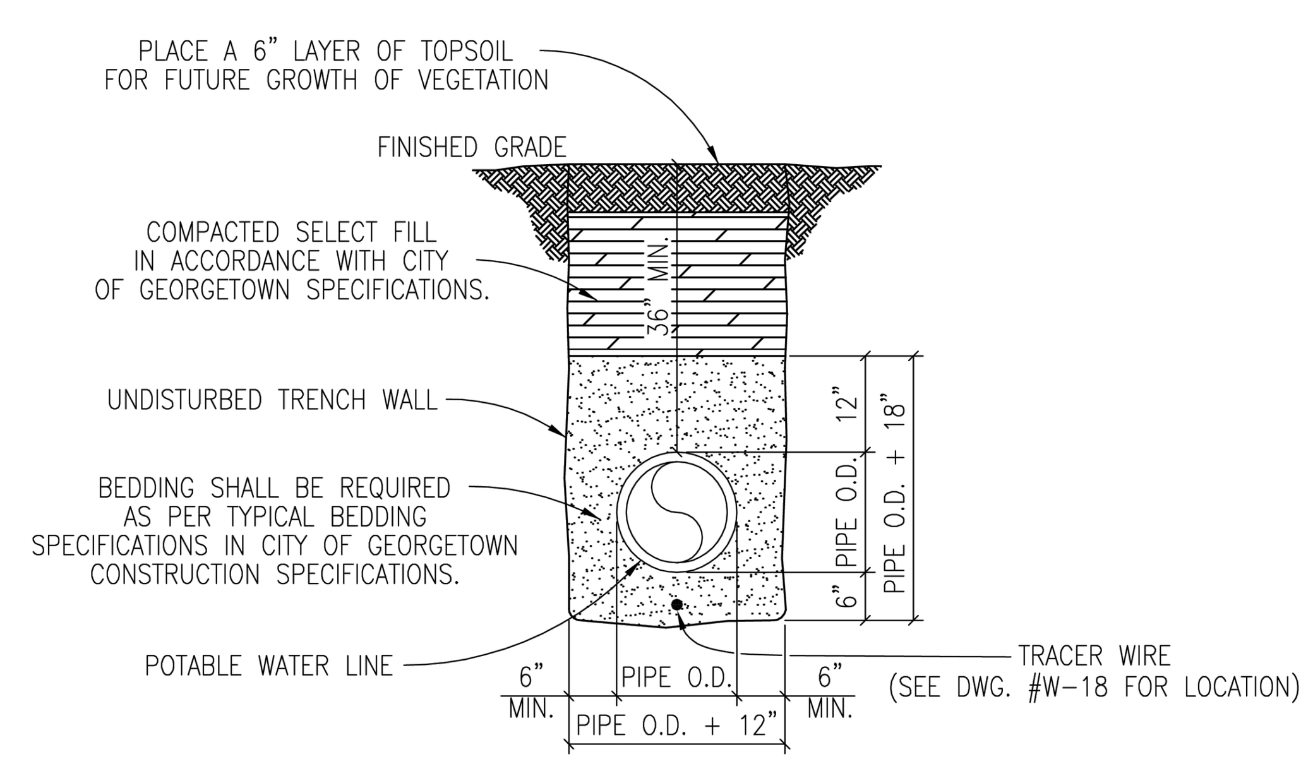
GEORGETOWN, TX 78628

WATER PLAN

PERMIT No. COC-XXXX-XXXX

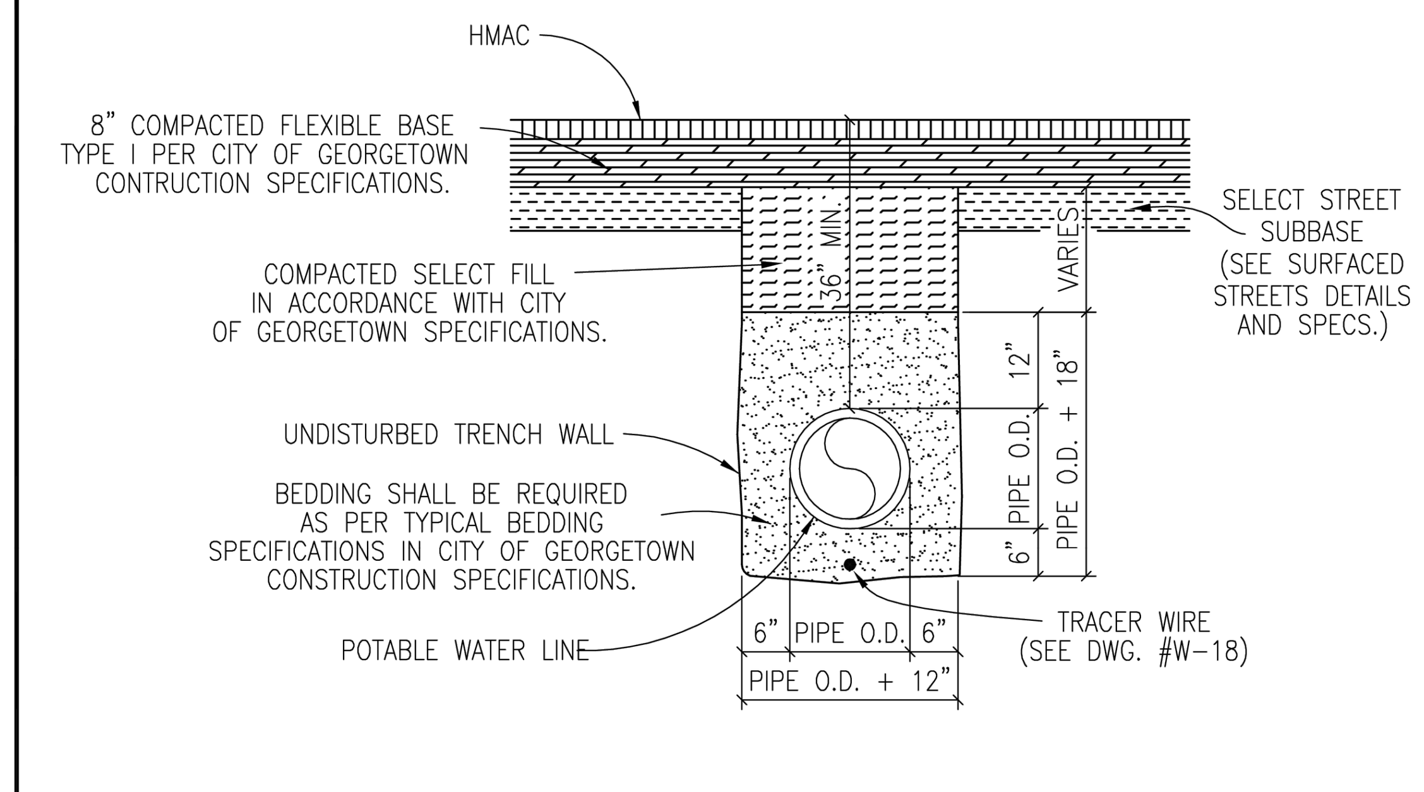
SHEET No. 24 OF 26



TRENCH WIDTHS
*PIPE LESS THAN 20" DIAMETER 1'-0" + PIPE O.D.
*20" DIAMETER PIPE AND LARGER 2'-0" + PIPE O.D.

The Architect/Engineer assumes responsibility for appropriate use of this standard.

REVISION NOTE: ADOPTED 6/21/2006
CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS
1 TRENCH AND EMBEDMENT DETAIL UNDER NON-PAVED AREAS
DRAWING NAME: W02
SCALE: NTS DATE: 1/2003
DRAWN BY: MRS APPROVED BY: TRB
GEORGETOWN TEXAS — Georgetown Utility Systems

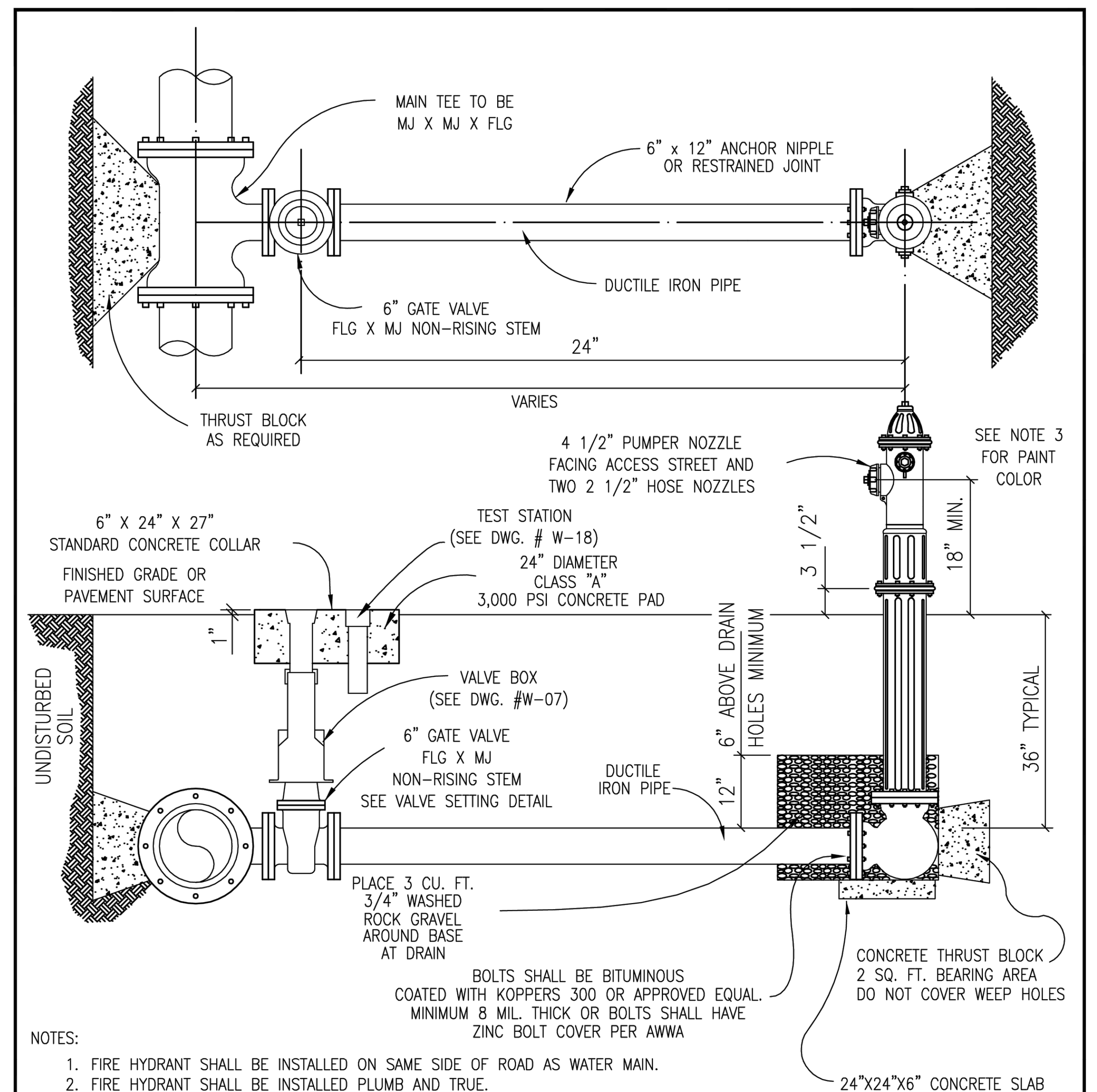


TRENCH WIDTHS
*PIPE LESS THAN 20" DIAMETER 1'-0" + PIPE O.D.
*20" DIAMETER PIPE AND LARGER 2'-0" + PIPE O.D.

NOTES:
1. DENSITY TESTS SHALL BE TAKEN IN ACCORDANCE WITH THE CITY OF GEORGETOWN CONSTRUCTION SPECIFICATIONS AND STANDARDS.
2. CONTRACTOR OR ENGINEER MAY USE FLOWABLE BACKFILL AS AN ALTERNATE BACKFILL MATERIAL (SEE C9 FLOWABLE BACKFILL FOR THE SPECIFICATION).

The Architect/Engineer assumes responsibility for appropriate use of this standard.

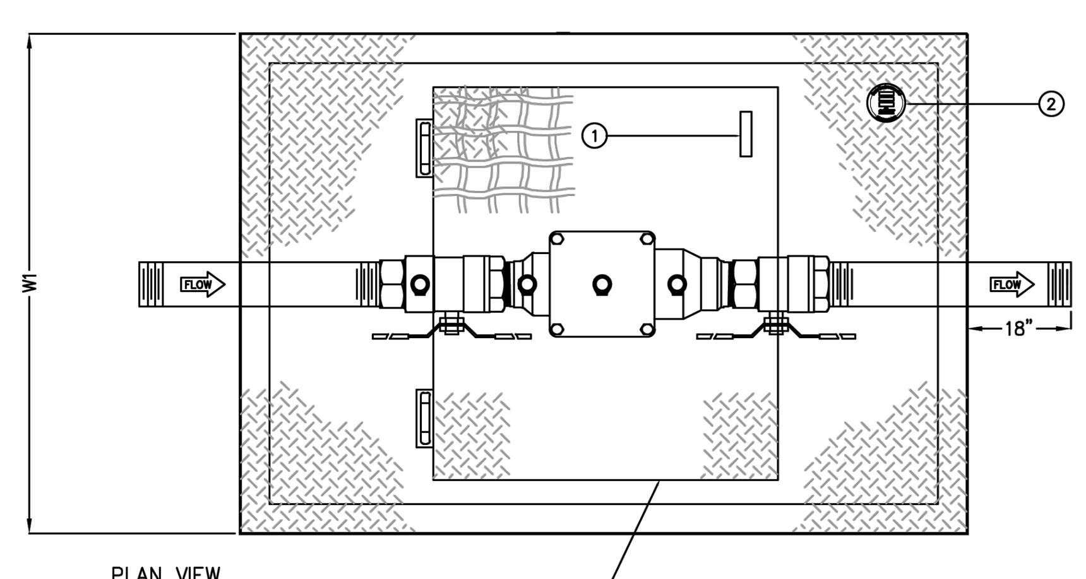
REVISION NOTE: ADOPTED 6/21/2006
CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS
2 TRENCH AND EMBEDMENT DETAIL UNDER PROPOSED ROADWAY
DRAWING NAME: W22
SCALE: NTS DATE: 1/2003
DRAWN BY: MRS APPROVED BY: TRB



NOTES:
1. FIRE HYDRANT SHALL BE INSTALLED ON SAME SIDE OF ROAD AS WATER MAIN.
2. FIRE HYDRANT SHALL BE INSTALLED PLUMB AND TRUE.
3. ALL FIRE HYDRANT EXTERIORS SHALL BE FACTORY PRIMED AND PAINTED SILVER USING A HIGH GRADE ENAMEL.
4. HEEL AND THRUST BLOCKS TO REST IN UNDISTURBED SOIL.
5. THE ONLY FIRE HYDRANTS ACCEPTABLE ARE:
   A. KENNEDY – K81
   B. AMERICAN DARLING – B84B
   C. CLOW MEDALLION
6. DOUBLE BLUE REFLECTOR "HYE-LITES" BRAND, MANUFACTURED BY PAVEMENT MARKERS INC. TO BE INSTALLED AT CENTERLINE OF STREET PERPENDICULAR TO HYDRANT.
7. ALL METALLIC PIPES AND FITTINGS SHALL BE WRAPPED WITH 8 MILL. POLYETHELENE FILM.

The Architect/Engineer assumes responsibility for appropriate use of this standard.

REVISION NOTE: ADOPTED 6/21/2006
CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS
3 TYPICAL FIRE HYDRANT INSTALLATION
DRAWING NAME: W10
SCALE: NTS DATE: 1/2003
DRAWN BY: MRS APPROVED BY: TRB

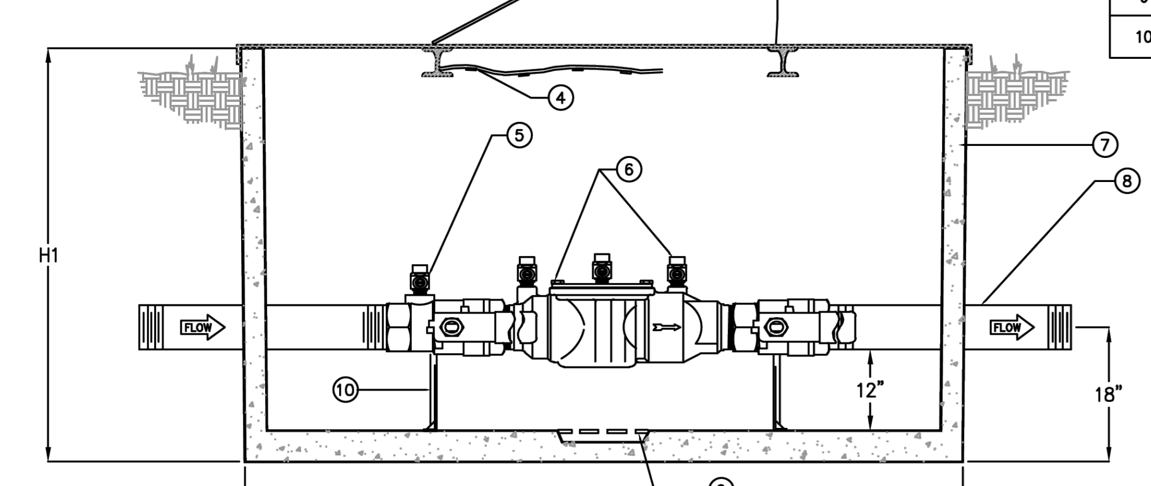


PLAN VIEW

MODEL	SIZE	L1	W1	H1	WEIGHT
BP-034	3/4"	4'-0"	3'-0"	4'-0"	2,300
BP-100	1"	4'-0"	3'-0"	4'-0"	2,350
BP-125	1-1/4"	4'-0"	3'-0"	4'-0"	2,400
BP-150	1-1/2"	4'-0"	3'-0"	4'-0"	2,450
BP-200	2"	4'-0"	3'-0"	4'-0"	2,500

KEYED NOTES

MARK	QTY	DESCRIPTION
1	1	DROP HANDLE
2	1	NAMEPLATE INDICATING: MFG: PARKUSA 888-611-PARK WWW.PARKUSA.COM MODEL: BP 3/4 -2 DATE MANUFACTURED
3	1	ALUMINUM DIAMOND PLATE COVER WITH HINGED ACCESS COVER PEDESTRIAN RATED
4	1	SAFETY NET
5	1	SHUT-OFF VALVE (TYP.)
6	1	CERTIFIED U.L. BACKFLOW PREVENTER
7	1	PRECAST CONCRETE VAULT
8	1	GALVANIZED PIPING STUB-OUT (TYP.)
9	1	12" x 12" SUMP WITH CAST IRON GRATE
10	1	GALVANIZED STEEL SUPPORT (TYP.)



ELEVATION

Specifications

CONCRETE: Class I/II concrete with design strength of 4500 PSI at 28 days. Unit is of monolithic construction at floor and first stage of wall with sectional riser to required depth.

REINFORCEMENT: Grade 60 reinforced. Steel rebar conforming to ASTM A615 on required centers or equal.

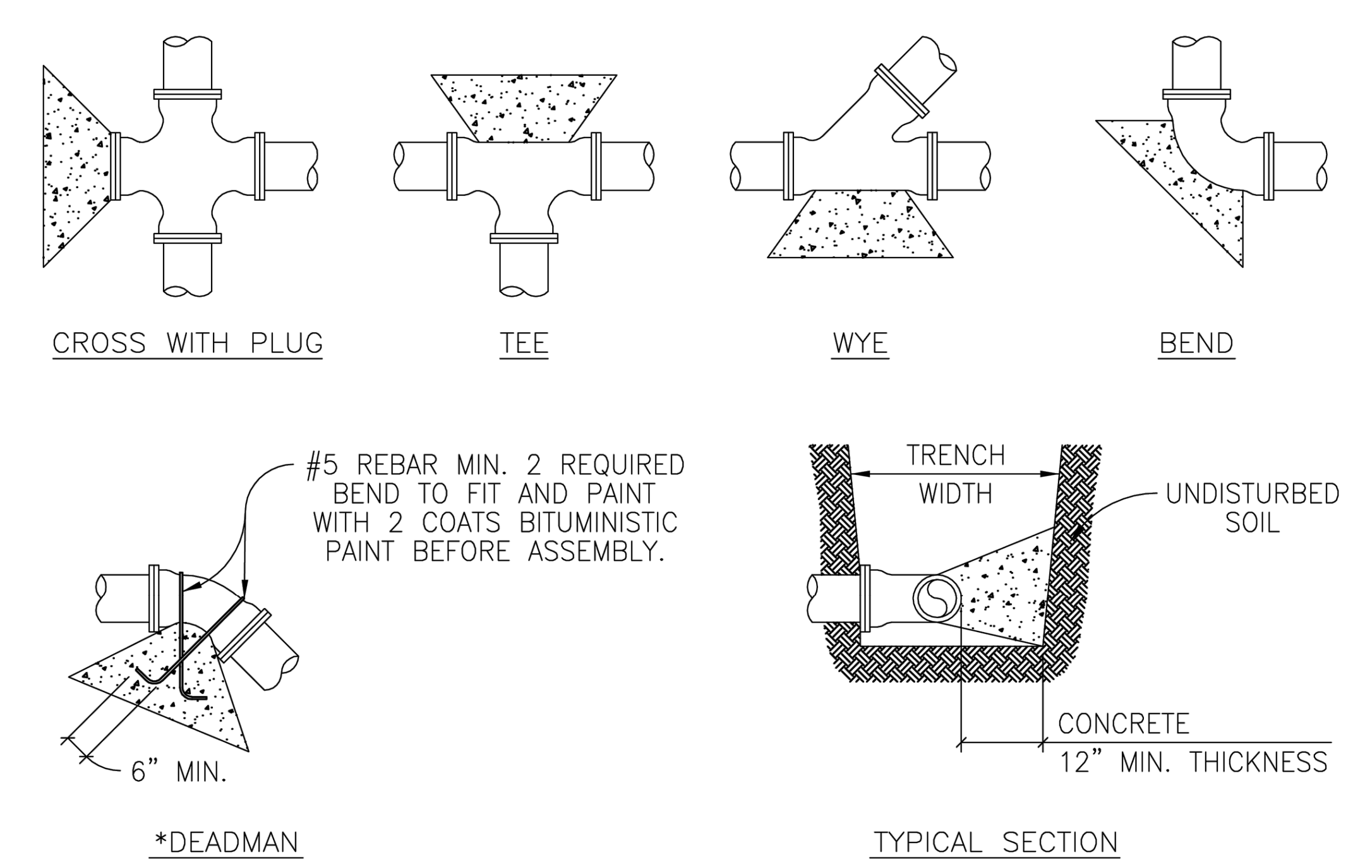
ACCESS COVER: 1/4" skid-resistant aluminum floor plate welded to 3" angle frame with (2) 3"x2-3/8" I-beam supports. Hatch to be furnished with 316 stainless steel bolts and hinges

Engineering Data

The backflow assembly shall be factory assembled in vault & hydrostatically tested prior to delivery. Field excavation & preparation shall be complete prior to delivery. Pipe, valves and fittings of the assembly shall be approved by one or more of the following associations:

AWWA UL UPC ASSE FM

PARK USA — A Northwest Pipe Company
4 DOUBLE CHECK BACKFLOW PREVENTER ASSEMBLY MODEL BP – 3/4" THRU 2"
PM . PC . DRN . ENG . DWG. NO. BP-3/4-2 REV. A
DATE 03/2023



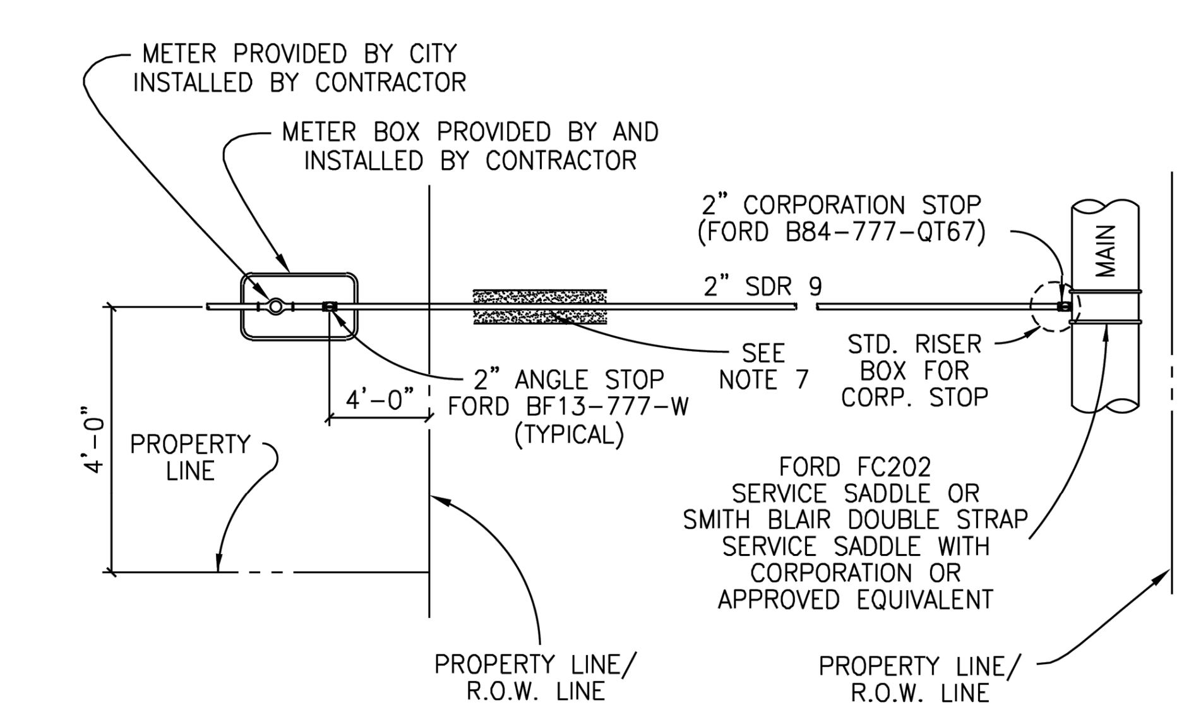
ALL THRUST BLOCKS SHALL BE FORMED. LAID FORMS SHALL BE INSPECTED BY THE CITY OF GEORGETOWN PRIOR TO THE POURING OF CONCRETE AND SHALL ALSO BE INSPECTED BY THE CITY OF GEORGETOWN PRIOR TO COVERING. TYPICAL LOCATIONS WHICH REQUIRE CONCRETE REACTION (THRUST) BLOCKS, FOR PRESSURE MAINS FOUR INCHES (4") AND GREATER. CONCRETE SHALL HAVE 2,500 P.S.I. MINIMUM STRENGTH AT TWENTY EIGHT (28) DAYS AND BEAR AGAINST UNDISTURBED STABLE SOILS, AREA OF CONTACT SHALL BE GOVERNED BY PIPE SIZE, MAXIMUM PRESSURE IN PIPE, AND BEARING CAPACITY OF SOIL. PROTECT FITTINGS, BOLTS, ETC. BY COVERING WITH VISQUEEN OR OTHER ACCEPTABLE MATERIAL. CONCRETE SHALL BE A MINIMUM OF TWELVE INCHES (12") THICK.

PIPE SIZE	THRUST BLOCK AREA REQUIRED	PIPE SIZE	THRUST BLOCK AREA REQUIRED	REMARKS
4"	2.0 SQ. FT.	18"	30.0 SQ. FT.	VALUES ARE FOR 90° BENDS, BASED ON 2000 P.S.F. SAFE BEARING LOAD AND PIPE PRESSURE OF 150 P.S.I. PLUS 33% SAFETY FACTOR FOR OTHER SOILS AND PRESSURES, THE AREA REQUIRED IS IN DIRECT PROPORTION.
6"	4.0 SQ. FT.	20"	37.0 SQ. FT.	
8"	6.6 SQ. FT.	24"	53.0 SQ. FT.	
10"	10.0 SQ. FT.	27"	80.0 SQ. FT.	
12"	14.0 SQ. FT.	30"	98.0 SQ. FT.	
14"	18.0 SQ. FT.	36"	127.0 SQ. FT.	
16"	24.0 SQ. FT.			

* THE ENGINEER OF RECORD SHALL CALCULATE THE SIZE OF THE DEADMAN REQUIRED AS WELL AS ANY INSTALLATION WHICH IS NOT COVERED BY THE ABOVE.

The Architect/Engineer assumes responsibility for appropriate use of this standard.

REVISION NOTE: ADOPTED 6/21/2006
CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS
5 TYPICAL THRUST BLOCKS FOR WATER AND FORCE MAIN
DRAWING NAME: W11
SCALE: NTS DATE: 1/2003
DRAWN BY: MRS APPROVED BY: TRB



NOTES:
1. AUTHORIZED SERVICE LINE MATERIAL: POLYETHYLENE TUBING SHALL BE SDR-9. CLASS 200, SDR TUBING SHALL HAVE STAINLESS STEEL STIFFENERS.
2. ANGLE STOP SHALL BE 1" MINIMUM.
3. 1" ANGLE STOPS WITH 3/4" VALVES SHALL NOT BE PERMITTED.
4. MULTIPLE SERVICE/METER INSTALLATIONS OF MORE THAN 4 METERS PER SERVICE AND SERVICE LINES LARGER THAN 2" IN DIAMETER SHALL BE HANDLED ON AN INDIVIDUAL BASIS.
5. ANGLE STOPS 1 1/2" AND 2" IN SIZE SHALL BE PROVIDED WITH BOTH A LOCKING CAP AND METER FLANGE.
6. ANGLE STOPS SHALL BE INSTALLED 8" BELOW FINISHED GRADE AND MARKED WITH A 2" X 2" X 48" TREATED WOOD STAKE, PAINTED BLUE.
7. BEDDING MATERIAL AS PER CITY OF GEORGETOWN CONSTRUCTION SPECIFICATIONS.
8. CASING REQUIREMENTS FOR SERVICE LINES CROSSING ROADWAYS SEE DETAIL W-03 NOTE #7.
9. ANY VARIATIONS ON FITTINGS MUST BE APPROVED BY THE CITY ENGINEER.
10. ALL SERVICE LINES SHALL BE PLACED 90° PERPENDICULAR TO THE ROADWAY.

The Architect/Engineer assumes responsibility for appropriate use of this standard.

REVISION NOTE: ADOPTED 01/23/2013
CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS
6 SINGLE WATER SERVICE PLAN
DRAWING NAME: W04
SCALE: NTS DATE: 1/2013
DRAWN BY: – APPROVED BY: MH

2P CONSULTANTS, LLC
203 E. MAIN STREET, SUITE 204
ROUND ROCK, TEXAS 78664
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DESIGNED: XXXXX DRAWN: VALUE REVIEWED: VALUE

STATE OF TEXAS — MICHAEL EASTON MUNDINE — 143266 — LICENSED PROFESSIONAL ENGINEER
7/15/2025

NO.	DATE	REVISIONS	RECOM'D

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SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME
6540 TX-29
GEORGETOWN, TX 78628

WATER DETAILS

PERMIT No. COC-XXXX-XXXX
SHEET No. 25 OF 26

GENERAL LEGEND

SYMBOLS

◪	WATER METER	—□	WW SERVICE
⊗	WATER VALVE	—○	WATER SERVICE
◐	FIRE HYDRANT	◎	STORMSEWER MANHOLE
⏩	BACKFLOW PREVENTER	○	SIGN
⌀	UTILITY POLE	■	CURB INLET
□	LIGHT POLE	▦	GRATE INLET
◎	WASTEWATER MANHOLE	□	TABLE TOP AREA INLET
○CO	CLEAN OUT	○ 1811	TREE TO BE SAVED
⬡17	KEYNOTES	○ 1811	TREE TO BE REMOVED
⑥	PARKING COUNT		

LINETYPES

— — —	PROPERTY BOUNDARY
— — LOC —	LIMITS OF CONSTRUCTION
—<>—<>—	FENCES (CHAINLINK)
—o—o—	(IRON)
—//—//—	(WOOD)
—x—x—	(BARB WIRE)
—►—►—	DITCH (CREEK) LINE
— — 725 — —	EXISTING CONTOURS
—(725)—	DEVELOPED CONTOURS
═══	CURB & GUTTER
—UGE—UGE—	UNDERGROUND ELEC.
—OHE—OHE—	OVERHEAD UTILITY
—TEL—TEL—	UNDERGROUND TELE.
—GAS—GAS—	UNDERGROUND GAS LINE
—SD—	STORM DRAIN LINE
—W—	WATER LINE
—F—	FIRE LINE
—WW—	WASTEWATER LINE
ooooooooo	ACCESSIBLE ROUTE

811
Know what's **below.**
Call before you dig.

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ENGINEERING CONSULTING

DESIGNED: XXXXX
DRAWN: VALUE
REVIEWED:VALUE

MICHAEL EASTON MUNDINE
143266
7/15/2025

NO.	DATE	REVISIONS	RECOM'D

AUER'S RV REPAIR
SITE DEVELOPMENT IMPROVEMENTS
CLIENT NAME

6540 TX-29
GEORGETOWN, TX 78628

FIRE PROTECTION PLAN

PERMIT No.
COC-XXXX-XXXX

SHEET No.
26
OF 26

IMAGES: * Addison Signature 2.png * DOU-SIGNATURE.gif * signature TP.png
XREFS: * 24x36 2PC TitleBlock.dwg * E-BASE.dwg * P-BASE.dwg * MEM SEAL.dwg
DWG: n:\Projects\lott brothers\aurer's rv park\CAD\Sheets\FIRE PROTECTION PLAN.dwg
PLOT DATE: Tuesday, July 15, 2025
PLOTTED BY: CHANGE PASSWORD AT O365