

City of Georgetown, Texas



Madison Oaks Park

Volume 1 of 2

Texas Commission on Environmental Quality Submittal for Edwards Aquifer Protection Plan

WPAP Exception Request Application

10/13/2025



Haden Mattke

Texas Commission on Environmental Quality

Edwards Aquifer Application Cover Page

Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with [30 TAC 213](#).

Administrative Review

1. [Edwards Aquifer applications](#) must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains “possibly sensitive” features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited**.
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a “Mid-Review Modification”. Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ’s Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ’s San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

1. Regulated Entity Name: Madison Oaks Park					2. Regulated Entity No.:				
3. Customer Name: City of Georgetown					4. Customer No.: 600412043				
5. Project Type: (Please circle/check one)	New		Modification		Extension	Exception			
6. Plan Type: (Please circle/check one)	WPAP	CZP	SCS	UST	AST	EXP	EXT	Technical Clarification	Optional Enhanced Measures
7. Land Use: (Please circle/check one)	Residential		Non-residential			8. Site (acres):		0.57	
9. Application Fee:	\$500		10. Permanent BMP(s):			VFS (Equivalent Protection)			
11. SCS (Linear Ft.):	n/a		12. AST/UST (No. Tanks):			n/a			
13. County:	Williamson		14. Watershed:			Grander Lake - San Gabriel River			

Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the “Texas Groundwater Conservation Districts within the EAPP Boundaries” map found at:

http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	Hays	Travis	Williamson
Original (1 req.)	—	—	<u>1</u>
Region (1 req.)	—	—	<u>1</u>
County(ies)	—	—	<u>1</u>
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Barton Springs/ Edwards Aquifer <input type="checkbox"/> Hays Trinity <input type="checkbox"/> Plum Creek	<input type="checkbox"/> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<input type="checkbox"/> Austin <input type="checkbox"/> Buda <input type="checkbox"/> Dripping Springs <input type="checkbox"/> Kyle <input type="checkbox"/> Mountain City <input type="checkbox"/> San Marcos <input type="checkbox"/> Wimberley <input type="checkbox"/> Woodcreek	<input type="checkbox"/> Austin <input type="checkbox"/> Bee Cave <input type="checkbox"/> Pflugerville <input type="checkbox"/> Rollingwood <input type="checkbox"/> Round Rock <input type="checkbox"/> Sunset Valley <input type="checkbox"/> West Lake Hills	<input type="checkbox"/> Austin <input type="checkbox"/> Cedar Park <input type="checkbox"/> Florence <input checked="" type="checkbox"/> Georgetown <input type="checkbox"/> Jerrell <input type="checkbox"/> Leander <input type="checkbox"/> Liberty Hill <input type="checkbox"/> Pflugerville <input type="checkbox"/> Round Rock

San Antonio Region					
County:	Bexar	Comal	Kinney	Medina	Uvalde
Original (1 req.)	—	—	—	—	—
Region (1 req.)	—	—	—	—	—
County(ies)	—	—	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Trinity-Glen Rose	<input type="checkbox"/> Edwards Aquifer Authority	<input type="checkbox"/> Kinney	<input type="checkbox"/> EAA <input type="checkbox"/> Medina	<input type="checkbox"/> EAA <input type="checkbox"/> Uvalde
City(ies) Jurisdiction	<input type="checkbox"/> Castle Hills <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Helotes <input type="checkbox"/> Hill Country Village <input type="checkbox"/> Hollywood Park <input type="checkbox"/> San Antonio (SAWS) <input type="checkbox"/> Shavano Park	<input type="checkbox"/> Bulverde <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Garden Ridge <input type="checkbox"/> New Braunfels <input type="checkbox"/> Schertz	NA	<input type="checkbox"/> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

Haden Mattke, PE

Print Name of Customer/Authorized Agent

10/13/2025

Signature of Customer/Authorized Agent

Date

****FOR TCEQ INTERNAL USE ONLY****

Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):

General Information Form

Texas Commission on Environmental Quality

For Regulated Activities on the Edwards Aquifer Recharge and Transition Zones and Relating to 30 TAC §213.4(b) & §213.5(b)(2)(A), (B) Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **General Information Form** is hereby submitted for TCEQ review. The application was prepared by:

Print Name of Customer/Agent: Haden Mattke, P.E., CFM

Date: 10/13/2025

Signature of Customer/Agent:



Project Information

1. Regulated Entity Name: Madison Oaks Park
2. County: Williamson
3. Stream Basin: Smith Branch - San Gabriel River
4. Groundwater Conservation District (If applicable): N/A
5. Edwards Aquifer Zone:
☒ Recharge Zone
☐ Transition Zone
6. Plan Type:

<input type="checkbox"/> WPAP	<input type="checkbox"/> AST
<input type="checkbox"/> SCS	<input type="checkbox"/> UST
<input type="checkbox"/> Modification	<input checked="" type="checkbox"/> Exception Request

7. Customer (Applicant):

Contact Person: Patrick Cavanaugh
Entity: City of Georgetown
Mailing Address: 1101 North College Street
City, State: Georgetown, TX Zip: 78626
Telephone: 512-930-3595 FAX: _____
Email Address: patrick.cavanaugh@georgetowntexas.gov

8. Agent/Representative (If any):

Contact Person: Haden Mattke, P.E., CFM
Entity: Kasberg, Patrick & Associates
Mailing Address: 800 South Austin Avenue
City, State: Georgetown, Texas Zip: 78626
Telephone: 512-819-9478 FAX: _____
Email Address: hmattke@kpaengineers.com

9. Project Location:

- ☒ The project site is located inside the city limits of Georgetown, Texas.
☐ The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of _____.
☐ The project site is not located within any city's limits or ETJ.

10. ☒ The location of the project site is described below. The description provides sufficient detail and clarity so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

The project is located at 115 Madison Oaks Ave, Georgetown, TX 78626. From the intersection of Madison Oaks Ave and SH Spur 26, it is approximately 0.3 miles east on Madison Oaks on the north side of the street.

11. ☒ **Attachment A – Road Map.** A road map showing directions to and the location of the project site is attached. The project location and site boundaries are clearly shown on the map.
12. ☒ **Attachment B - USGS / Edwards Recharge Zone Map.** A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000') of the Edwards Recharge Zone is attached. The map(s) clearly show:
- ☒ Project site boundaries.
 - ☒ USGS Quadrangle Name(s).
 - ☒ Boundaries of the Recharge Zone (and Transition Zone, if applicable).
 - ☒ Drainage path from the project site to the boundary of the Recharge Zone.
13. ☒ **The TCEQ must be able to inspect the project site or the application will be returned.** Sufficient survey staking is provided on the project to allow TCEQ regional staff to locate the boundaries and alignment of the regulated activities and the geologic or manmade features noted in the Geologic Assessment.

- ☒ Survey staking will be completed by this date: *Survey staking will not be completed until construction begins (which will not start until this application is approved and project is awarded). If TCEQ wishes to make a site visit before, please contact us and we will be gladly arrange.

14. ☒ **Attachment C – Project Description.** Attached at the end of this form is a detailed narrative description of the proposed project. The project description is consistent throughout the application and contains, at a minimum, the following details:

- ☒ Area of the site
- ☒ Offsite areas
- ☒ Impervious cover
- ☒ Permanent BMP(s)
- ☒ Proposed site use
- ☒ Site history
- ☒ Previous development
- ☒ Area(s) to be demolished

15. Existing project site conditions are noted below:

- ☐ Existing commercial site
- ☐ Existing industrial site
- ☐ Existing residential site
- ☒ Existing paved and/or unpaved roads
- ☐ Undeveloped (Cleared)
- ☒ Undeveloped (Undisturbed/Uncleared)
- ☒ Other: Public Facility (park)

Prohibited Activities

16. ☒ I am aware that the following activities are prohibited on the Recharge Zone and are not proposed for this project:

- (1) Waste disposal wells regulated under 30 TAC Chapter 331 of this title (relating to Underground Injection Control);
- (2) New feedlot/concentrated animal feeding operations, as defined in 30 TAC §213.3;
- (3) Land disposal of Class I wastes, as defined in 30 TAC §335.1;
- (4) The use of sewage holding tanks as parts of organized collection systems; and
- (5) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41(b), (c), and (d) of this title (relating to Types of Municipal Solid Waste Facilities).
- (6) New municipal and industrial wastewater discharges into or adjacent to water in the state that would create additional pollutant loading.

17. ☒ I am aware that the following activities are prohibited on the Transition Zone and are not proposed for this project:

- (1) Waste disposal wells regulated under 30 TAC Chapter 331 (relating to Underground Injection Control);
- (2) Land disposal of Class I wastes, as defined in 30 TAC §335.1; and
- (3) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41 (b), (c), and (d) of this title.

Administrative Information

18. The fee for the plan(s) is based on:

- ☐ For a Water Pollution Abatement Plan or Modification, the total acreage of the site where regulated activities will occur.
- ☐ For an Organized Sewage Collection System Plan or Modification, the total linear footage of all collection system lines.
- ☐ For a UST Facility Plan or Modification or an AST Facility Plan or Modification, the total number of tanks or piping systems.
- ☒ A request for an exception to any substantive portion of the regulations related to the protection of water quality.
- ☐ A request for an extension to a previously approved plan.

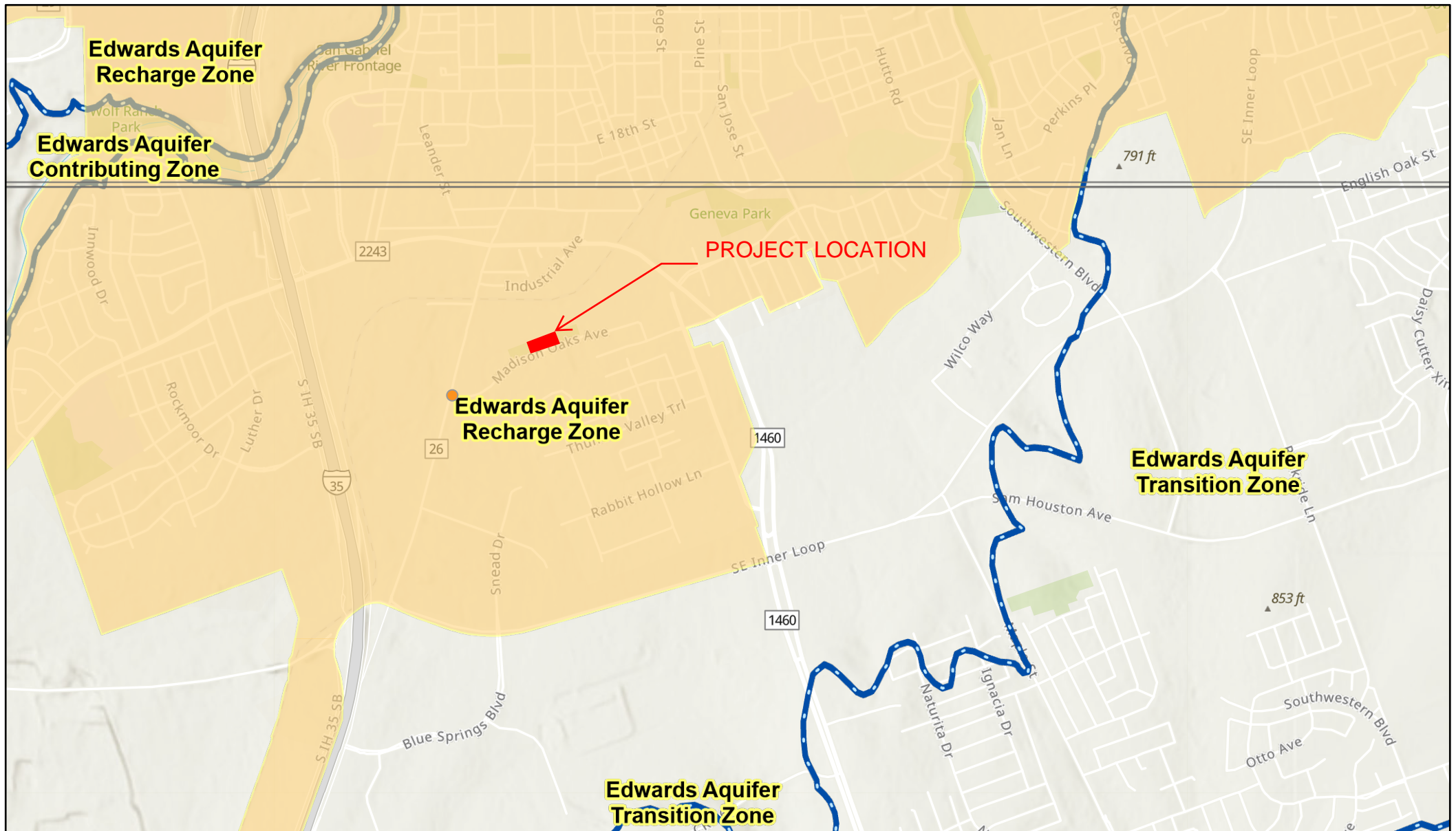
19. ☒ Application fees are due and payable at the time the application is filed. If the correct fee is not submitted, the TCEQ is not required to consider the application until the correct fee is submitted. Both the fee and the Edwards Aquifer Fee Form have been sent to the Commission's:

- ☐ TCEQ cashier
- ☒ Austin Regional Office (for projects in Hays, Travis, and Williamson Counties)
- ☐ San Antonio Regional Office (for projects in Bexar, Comal, Kinney, Medina, and Uvalde Counties)

20. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

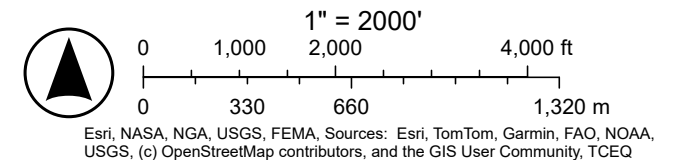
21. ☒ No person shall commence any regulated activity until the Edwards Aquifer Protection Plan(s) for the activity has been filed with and approved by the Executive Director.

MADISON OAKS EARZ MAP



6/4/2025, 4:26:37 PM

- ArcGIS World Geocoding Service
- TX Counties
- TCEQ_EDWARDS_OFFICIAL_MAPS
- City/Place
- 7.5 Minute Quad Grid
- Edwards Aquifer Boundary central line
- Edwards Aquifer Boundary
- Edwards Aquifer Label
- World_Hillshade





19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT C
FORM 20782
PROJECT DESCRIPTION.

The City of Georgetown is proposing improvements to existing public park property at 115 Madison Oaks Ave, Georgetown, TX 78626. From the intersection of SH Spur 26 and Madison Oaks Avenue, the project is approximately 0.3 miles east on Madison Oaks Avenue on the north side of the street.

The improvements included in this project consist of installing approximately 310 linear feet of 5' wide concrete sidewalk throughout the project site, as well as concrete pads for public picnic tables, trash cans, a water fountain, and other appurtenant items.

The area within the limits of construction specifically is approximately 0.57 acres, with a total of 3,395 SF of impervious cover proposed, resulting in 13.7% impervious area within the project limits. The entire parcel is 4.613 acres with 0.255 acres (5.52%) of existing impervious cover. After the project the total impervious area on the parcel will be 0.306 acres (6.62%), an increase of 0.051 acres (1.1%).

The site is located in a developed area, with industrial and commercial property to the north, west, and south, and residential property to the east. The project is located entirely over the Edwards Aquifer Recharge Zone.

No upslope areas contribute surface runoff to the site. On the north side of the site is a tributary to the Smith Branch West Fork, which conveys offsite flows to the east and converges with the Smith Branch West Fork nearby. The runoff from Madison Oaks Avenue and the industrial site to the south is collected into existing storm sewer systems that are treated in water quality ponds that are discharged directly to the Smith Branch West Fork to the east.

The subject project proposes a permanent BMP in the form of Equivalent Water Quality Protection. This BMP consists of naturally vegetated areas immediately adjacent to the proposed impervious areas on the downslope side. Though typically vegetative filter strips are used to cover large roadways, parking lots, etc. (at 15' of filter strip for 72' of roadway), through discussions with TCEQ regarding a project of similar scope and size, it was agreed that smaller shared use paths such as sidewalks could utilize smaller width vegetative areas as Equivalent Water Quality Protection measures—for example, a 5' sidewalk would equate to a 2.6' Vegetated Filter Strip. Our project consists of naturally vegetated areas in various widths along the proposed 5' sidewalk and other impervious areas, proportional to a full size filter strip proposed next to a roadway. The City of Georgetown will regularly maintain this natural vegetation through their maintenance departments.

The exception being requested with this application applies to TAC 213.5(b)(4)(D)(ii)(I), which requires 80% TSS Removal be in accordance with the technical guidance prepared or accepted by the executive director. The BMP will be in accordance with the standard design criteria for Vegetative Filter Strips, as specified in TCEQ Publication RG-348, with the exception of the minimum width requirement.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

FORM 20782
GEOLOGIC ASSESSMENT FORM.

A Geologic Assessment was performed on a site that includes this project area by Terracon Consultants, Inc., and is attached to this application.

Geologic Assessment

Texas Commission on Environmental Quality

For Regulated Activities on The Edwards Aquifer Recharge/transition Zones and Relating to 30 TAC §213.5(b)(3), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. My signature certifies that I am qualified as a geologist as defined by 30 TAC Chapter 213.

Print Name of Geologist: Russell C Ford

Telephone: 512 442-1122

Date: 6/1/22

Fax: _____

Representing: Terracon Consultants, Inc. (Name of Company and TBPG or TBPE registration number)

Signature of Geologist:

Regulated Entity Name: Madison Oaks Park, 115 Madison Oaks Avenue, Georgetown, Texas

Project Information

1. Date(s) Geologic Assessment was performed: 5/20/22

2. Type of Project:

☒ WPAP

☐ AST

☐ SCS

☐ UST

3. Location of Project:

☒ Recharge Zone

☐ Transition Zone

☐ Contributing Zone within the Transition Zone

4. ☒ Attachment A - Geologic Assessment Table. Completed Geologic Assessment Table (Form TCEQ-0585-Table) is attached.
5. ☒ Soil cover on the project site is summarized in the table below and uses the SCS Hydrologic Soil Groups* (Urban Hydrology for Small Watersheds, Technical Release No. 55, Appendix A, Soil Conservation Service, 1986). If there is more than one soil type on the project site, show each soil type on the site Geologic Map or a separate soils map.

Table 1 - Soil Units, Infiltration Characteristics and Thickness

Soil Name	Group*	Thickness(feet)
DoC	D	5
HoB	D	5

* Soil Group Definitions (Abbreviated)

- A. Soils having a high infiltration rate when thoroughly wetted.
- B. Soils having a moderate infiltration rate when thoroughly wetted.
- C. Soils having a slow infiltration rate when thoroughly wetted.
- D. Soils having a very slow infiltration rate when thoroughly wetted.

6. ☒ Attachment B – Stratigraphic Column. A stratigraphic column showing formations, members, and thicknesses is attached. The outcropping unit, if present, should be at the top of the stratigraphic column. Otherwise, the uppermost unit should be at the top of the stratigraphic column.
7. ☒ Attachment C – Site Geology. A narrative description of the site specific geology including any features identified in the Geologic Assessment Table, a discussion of the potential for fluid movement to the Edwards Aquifer, stratigraphy, structure(s), and karst characteristics is attached.
8. ☒ Attachment D – Site Geologic Map(s). The Site Geologic Map must be the same scale as the applicant's Site Plan. The minimum scale is 1": 400'

Applicant's Site Plan Scale: 1" = _'

Site Geologic Map Scale: 1" = 40'

Site Soils Map Scale (if more than 1 soil type): 1" = 40'

9. Method of collecting positional data:

☒ Global Positioning System (GPS) technology.

☐ Other method(s). Please describe method of data collection: _____

10. ☒ The project site and boundaries are clearly shown and labeled on the Site Geologic Map.
11. ☒ Surface geologic units are shown and labeled on the Site Geologic Map.

12. ☐ Geologic or manmade features were discovered on the project site during the field investigation. They are shown and labeled on the Site Geologic Map and are described in the attached Geologic Assessment Table.
- ☒ Geologic or manmade features were not discovered on the project site during the field investigation.
13. ☐ The Recharge Zone boundary is shown and labeled, if appropriate.
14. All known wells (test holes, water, oil, unplugged, capped and/or abandoned, etc.): If applicable, the information must agree with Item No. 20 of the WPAP Application Section.
- ☐ There are _____ (#) wells present on the project site and the locations are shown and labeled. (Check all of the following that apply.)
- ☐ The wells are not in use and have been properly abandoned.
- ☐ The wells are not in use and will be properly abandoned.
- ☐ The wells are in use and comply with 16 TAC Chapter 76.
- ☒ There are no wells or test holes of any kind known to exist on the project site.

Administrative Information

15. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

ATTACHMENT A

NO FEATURES OBSERVED

GEOLOGIC ASSESSMENT TABLE						PROJECT NAME: Madison Oaks Park, 115 Madison Oaks Avenue, Georgetown, Texas													
LOCATION			FEATURE CHARACTERISTICS											EVALUATION		PHYSICAL SETTING			
1A	1B *	1C*	2A	2B	3	4			5	5A	6	7	8A	8B	9	10	11		12
FEATUREID	LATITUDE	LONGITUDE	FEATURE TYPE	POINTS	FORMATION	DIMENSIONS(FEET)			TREND (DEGREES)	DOM	DENSITY (NO/FT)	APERTURE (FEET)	INFILL	RELATIVE INFILTRATION RATE	TOTAL	SENSITIVITY	CATCHMENT AREA (ACRES)	TOPOGRAPHY	
						X	Y	Z		10						<40	≥40	<1.6	≥1.6

* DATUM NAD27

2A TYPE	TYPE	2B POINTS
C	Cave	30
SC	Solution cavity	20
SF	Solution-enlarged fracture(s)	20
F	Fault	20
O	Other natural bedrock features	5
MB	Manmade feature in bedrock	30
SW	Swallow hole	30
SH	Sinkhole	20
CD	Non-karst closed depression	5
Z	Zone, clustered or aligned features	30

8A INFILLING
N None, exposed bedrock
C Coarse - cobbles, breakdown, sand, gravel
O Loose or soft mud or soil, organics, leaves, sticks, dark colors
F Fines, compacted clay-rich sediment, soil profile, gray or red colors
V Vegetation. Give details in narrative description
FS Flowstone, cements, cave deposits
X Other materials

12 TOPOGRAPHY
Cliff, Hilltop, Hillside, Drainage, Floodplain, Streambed

I have read, I understood, and I have followed the Texas Natural Resource Conservation Commission's Instructions to Geologists. The information presented here complies with that document and is a true representation of the conditions observed in the field.

My signature certifies that I am qualified as a geologist as defined by 30 TAC 213

Date _____

ATTACHMENT B

Stratigraphic Column

Madison Oaks Park

115 Madison Oaks Avenue, Georgetown, Texas

HYDROGEOLOGIC SUBDIVISION	FORMATION	THICKNESS (feet)	LITHOLOGY
Edwards Aquifer	Georgetown	65	Nodular limestone interbedded with marls, very fossiliferous

Source: Senger, Collins and Kreitler, 1990



ATTACHMENT C

SITE-SPECIFIC GEOLOGY

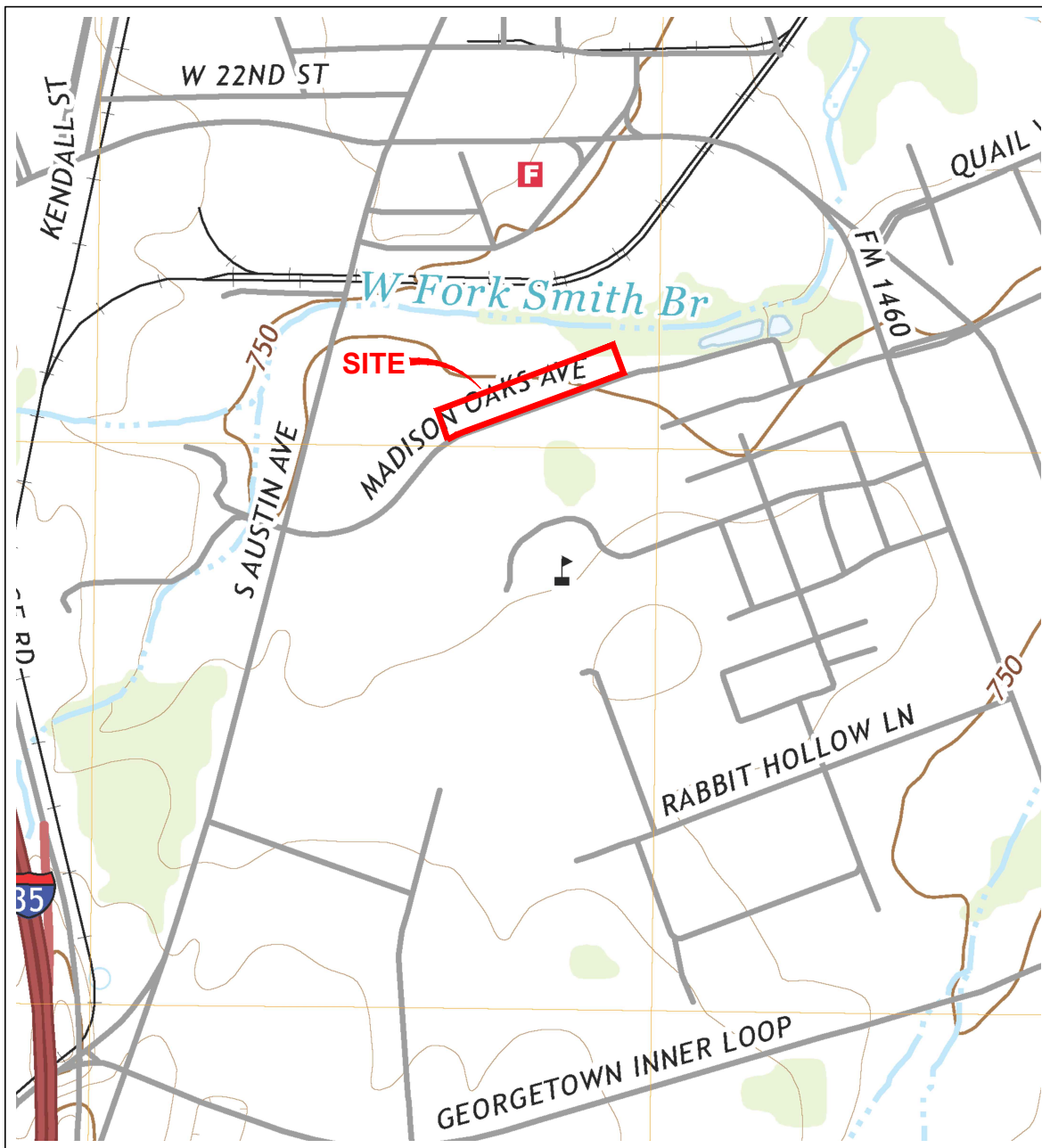
The Geologic Assessment (GA) of the Madison Oaks Park site was performed by Mr. Russell C. Ford, P.G., of Terracon on May 20, 2022. The site is an approximate 4.274-acre tract of undeveloped land located at 115 Madison Oaks Avenue in Georgetown, Williamson County, Texas.

Exhibit 1 (attached) is a site location map depicting the site in relation to the surrounding area. The site is characterized as gently sloping to the north. Site elevation ranges from approximately 750 feet above mean sea level (msl) to about 740 feet msl.

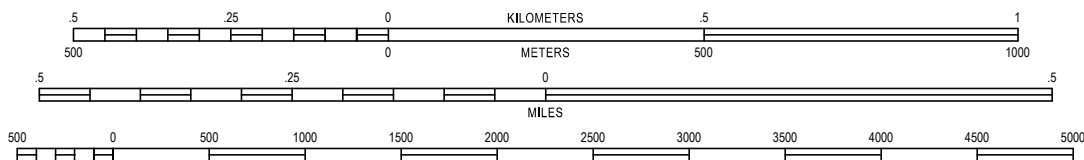
The surficial geologic unit present at the site has been identified as the Georgetown Formation. Exhibit 2 (attached) is a geologic map of the site. The Georgetown Formation consists of a nodular limestone with interbedded marls. The limestone beds are very fossiliferous and the formation represents the uppermost strata of the Edwards aquifer. The site is located entirely within the recharge zone of the Edwards Aquifer and the recharge zone boundary is located approximately 2 miles southeast of the site. Attachment B is a stratigraphic column prepared for the site. No faulting was observed on the site and the nearest mapped fault is located approximately 500 feet west of the site. The fault, which trends toward the northeast, is associated with the Balcones Fault zone which represents the dominant structural trend in the vicinity of the site. The completed Geologic Assessment form is included as Attachment A.

No geologic features were observed on the site. Based on the lack of any sensitive recharge features, the potential for fluid movement to the Edwards aquifer beneath the property is considered low.

No streams or springs were observed onsite. A review of the site maps contained in the City of Georgetown Ordinance 2015-14 indicated there are no known springs occupied by the Georgetown Salamander on the site and the nearest known occupied site is located approximately 2 miles northwest of the site (San Gabriel Spring).



SCALE 1:12,000



CONTOUR INTERVAL 10 FEET
NATIONAL GEODETIC VERTICAL DATUM OF 1988

Georgetown, Texas
2019
7.5 MINUTE SERIES (TOPOGRAPHIC)

Project Mng:	RF
Drawn By:	ATX Drafting
Checked By:	RF
Approved By:	RF
Project No.	96227416
Scale:	AS SHOWN
File No.	96227416
Date:	May 31, 2022

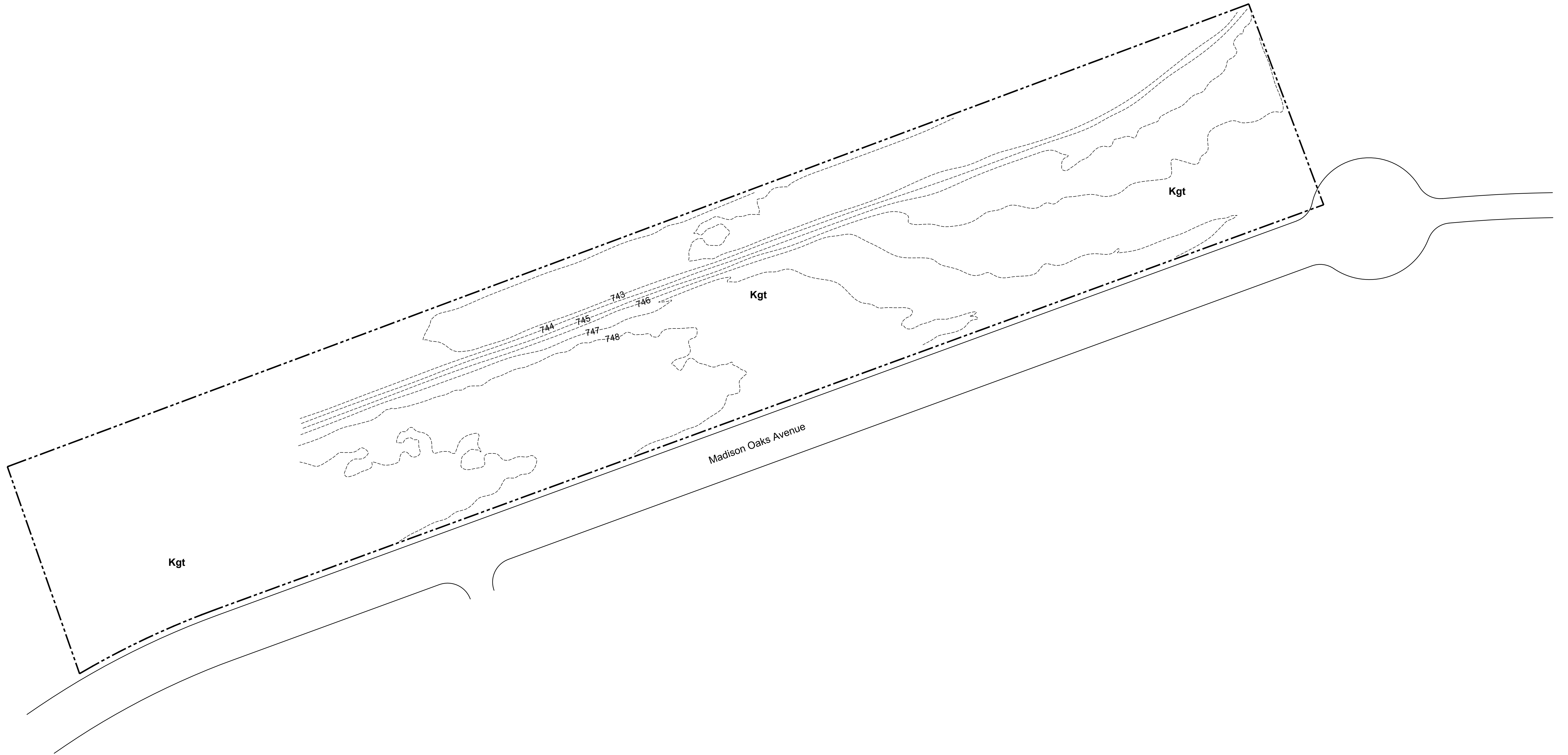
Terracon
Consulting Engineers and Scientists
5307 INDUSTRIAL OAKS BLVD. - #160 AUSTIN, TX 78735
PH. (512) 442-1122 FAX (512) 442-1181

TOPOGRAPHIC MAP

Madison Oaks Park
115 Madison Oaks Avenue
Georgetown, Williamson County, Texas

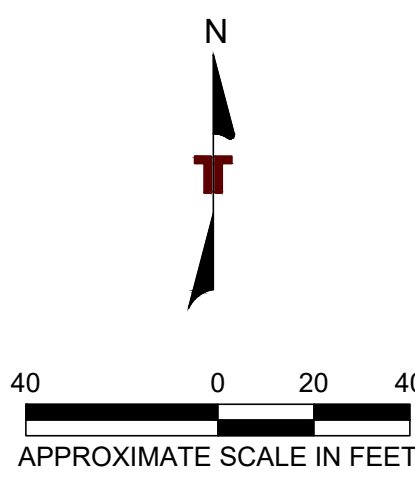
EXHIBIT

1

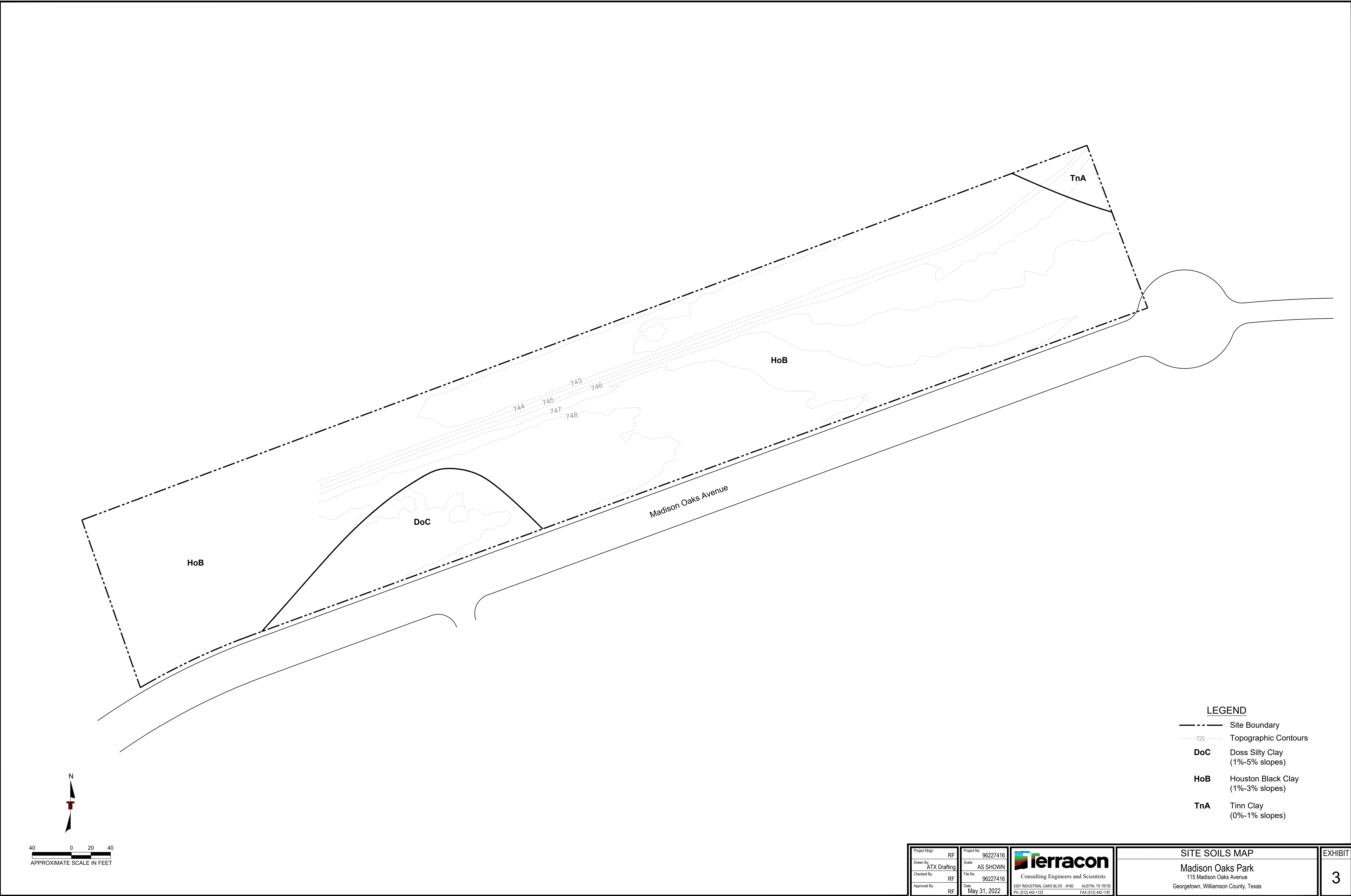


LEGEND

- Site Boundary
- 725----- Topographic Contours
- Kgt** Georgetown Formation

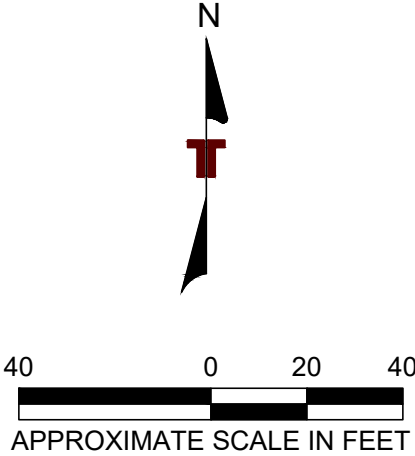



Project Mgr: RF		Project No: 96227416	 Consulting Engineers and Scientists 5307 INDUSTRIAL OAKS BLVD. - #160 AUSTIN, TX 78735 PH: (512) 442-1122 FAX: (512) 442-1181	SITE GEOLOGIC MAP Madison Oaks Park 115 Madison Oaks Avenue Georgetown, Williamson County, Texas	EXHIBIT 2
Drawn By: ATX Drafting	Scale: AS SHOWN	File No: 96227416			
Checked By: RF	Date: May 31, 2022				
Approved By: RF					



LEGEND

- Site Boundary
- Topographic Contours
- DoC** Doss Silty Clay
(1%-5% slopes)
- HoB** Houston Black Clay
(1%-3% slopes)
- TnA** Tinn Clay
(0%-1% slopes)



Project Mgr:	RF	Project No:	96227416	 Consulting Engineers and Scientists 5307 INDUSTRIAL OAKS BLVD. - #160 AUSTIN, TX 78735 PH (512) 442-1122 FAX (512) 442-1181	SITE SOILS MAP		EXHIBIT
Drawn By:	ATX Drafting	Scale:	AS SHOWN		Madison Oaks Park		
Checked By:	RF	File No:	96227416		115 Madison Oaks Avenue		
Approved By:	RF	Date:	May 31, 2022		Georgetown, Williamson County, Texas		
					3		

Recharge and Transition Zone Exception Request Form

Texas Commission on Environmental Quality

30 TAC §213.9 Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Recharge and Transition Zone Exception Request Form** is hereby submitted for TCEQ review and executive director approval. The request was prepared by:

Print Name of Customer/Agent: Haden Mattke, P.E., CFM

Date: 11/17/2025

Signature of Customer/Agent:



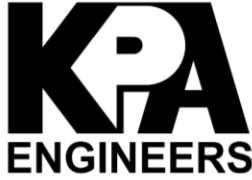
Regulated Entity Name: Madison Oaks Park

Exception Request

1. ☒ **Attachment A - Nature of Exception.** A narrative description of the nature of each exception requested is attached. All provisions of 30 TAC §213 Subchapter A for which an exception is being requested have been identified in the description.
2. ☒ **Attachment B - Documentation of Equivalent Water Quality Protection.** Documentation demonstrating equivalent water quality protection for the Edwards Aquifer is attached.

Administrative Information

3. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.
4. ☒ The applicant understands that no exception will be granted for a prohibited activity in Chapter 213.
5. ☒ The applicant understands that prior approval under this section must be obtained from the executive director for the exception to be authorized.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

**ATTACHMENT A
FORM 0628
NATURE OF EXCEPTION.**

This project wishes to be granted an exception for a Water Pollution Abatement Plan. The project consists of approximately 310 linear feet of 5' wide concrete throughout the project site, as well as concrete pads for public picnic tables, trash cans, a water fountain, and other appurtenant items. The extent of the topsoil excavation for the sidewalk and parking area is very minimal, typically less than one foot.

In addition to the relatively small project size, limited topsoil excavation, and previously disturbed project area, this project proposes a permanent Equivalent Water Quality Protection BMP in the form of natural vegetation along the proposed sidewalk, proportional in size to a vegetative filter strip along a roadway. It is the intent of this application that this naturally vegetated area will serve as an equivalent permanent BMP and thus grant an exception to the requirements in the Edwards Aquifer Technical Guidance.

The exception being requested with this application applies to TAC 213.5(b)(4)(D)(ii)(I), which requires 80% TSS Removal be in accordance with the technical guidance prepared or accepted by the executive director. The BMP will be in accordance with the standard design criteria for Vegetative Filter Strips, as specified in TCEQ Publication RG-348, with the exception of the minimum width requirement.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT B
FORM 0628
DOCUMENTATION OF EQUIVALENT WATER QUALITY PROTECTION.

The subject project proposes a permanent BMP in the form of Equivalent Water Quality Protection. This BMP consists of naturally vegetated areas immediately adjacent to the proposed impervious areas on the downslope side. Though typically vegetative filter strips are used to cover large roadways, parking lots, etc. (at 15' of filter strip for 72' of roadway), through discussions with TCEQ regarding a project of similar scope and size, it was agreed that smaller shared use paths such as sidewalks could utilize smaller width vegetative areas as Equivalent Water Quality Protection measures—for example, a 5' sidewalk would equate to a 2.6' Vegetated Filter Strip. Our project consists of naturally vegetated areas in various widths along the proposed 5' sidewalk and other impervious areas, proportional to a full size filter strip proposed next to a roadway. The City of Georgetown will regularly maintain this natural vegetation through their maintenance departments.

The temporary stormwater protection measure proposed for this project is silt fence.

Temporary Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Haden Mattke, P.E., CFM

Date: 10/13/2025

Signature of Customer/Agent:

A handwritten signature in blue ink, reading "Haden Mattke", is written over a horizontal line.

Regulated Entity Name: Madison Oaks Park

Project Information

Potential Sources of Contamination

Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.

1. Fuels for construction equipment and hazardous substances which will be used during construction:

☐ The following fuels and/or hazardous substances will be stored on the site: N/A

These fuels and/or hazardous substances will be stored in:

- ☐ Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

- ☐ Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
- ☐ Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- ☒ Fuels and hazardous substances will not be stored on the site.
- 2. ☒ **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3. ☒ Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4. ☒ **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

Sequence of Construction

- 5. ☒ **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
 - ☒ For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
 - ☒ For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6. ☒ Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: San Gabriel River

Temporary Best Management Practices (TBMPs)

Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.

- 7. ☒ **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- ☒ A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
 - ☒ A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
 - ☒ A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
 - ☒ A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8. ☒ The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- ☐ **Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
- ☒ There will be no temporary sealing of naturally-occurring sensitive features on the site.
9. ☒ **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10. ☒ **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
 - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
 - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
 - ☐ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

- ☒ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.
11. ☒ **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.
- ☒ N/A
12. ☒ **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13. ☒ All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14. ☒ If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15. ☒ Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16. ☒ Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

Soil Stabilization Practices

Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.

17. ☒ **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

18. ☒ Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
19. ☒ Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

Administrative Information

20. ☒ All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
21. ☒ If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
22. ☒ Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT A
FORM 0602
SPILL RESPONSE ACTIONS.

This project will prohibit the storage of hazardous substances, fuels, or oils on the project site and require they are stored at an approved offsite facility. The construction of the sidewalk will require the use of several types of equipment that will be fueled at an approved location off-site. This will present a slight risk of hydrocarbon or hazardous substance spills. In the event of such spills, the contaminated material will be collected and disposed at an approved hazardous material location. All proper authorities will be notified as soon as the spill is discovered. The emergency response phone number for TCEQ is 1-800-832-8224. The National Spill Response Hotline is 800-424-8802.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT B
FORM 0602
POTENTIAL SOURCES OF CONTAMINATION.

The only potential source of contamination for the project during construction is that of the construction equipment. However, as previously mentioned, no fuels or hazardous substances will be stored on-site. In the case of a spill, the Spill Response Action of this report will be utilized.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT C
FORM 0602
SEQUENCE OF MAJOR ACTIVITIES.

The sequence of major activities in the disturbance of the natural terrain will be as follows:

1. Install all of the temporary water pollution and abatement control measures. (Total Area Affected: 0.57 acres)
2. Excavate for and install sidewalk improvements. (Total Area Affected: Full Site 0.57 acres)
3. Establish vegetation in any disturbed areas.
4. Remove temporary water pollution and abatement control measures. (Total Area Affected: 0.57 acres)
5. The temporary control measures will be installed at the beginning of the project and remain throughout the entirety of the project until completion.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT D
FORM 0602
TEMPORARY BEST MANAGEMENT PRACTICES AND MEASURES.

The main temporary best management practice that will be utilized for the construction of this project is silt fence. Temporary BMPs will be employed and maintained for the duration of time for construction and establishment of vegetation of disturbed soils. If deemed necessary further down the line, additional silt fence and/or concrete washouts may be utilized.

Approximately 450 LF of silt fence is proposed along the proposed sidewalk route. The silt fence will slow the runoff, allowing the storm water to flow through the geotextile fabric and filter out sediment or other contaminants before passing through to the other side.

A concrete washout area (if needed) will also be utilized. The location will be determined by the contractor prior to the beginning of construction. Tree protection will also be utilized to help stabilize and protect larger trees around the project site. Other temporary BMPs such as stabilized construction entrances or filter dikes are not expected, but may be used if deemed required during construction.

Through these best management practice and measures, all storm water leaving the site should be maintained to the maximum extent possible to its natural (current) stabilized state. With the limited project construction site size and expected storm water flow patterns towards proposed silt fence, the storm water flows leaving the site should not impact the flows to any sensitive features around the area.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT E
FORM 0602
REQUEST TO TEMPORARILY SEAL A FEATURE.

There will be no temporary sealing of a feature anticipated or proposed for this project.

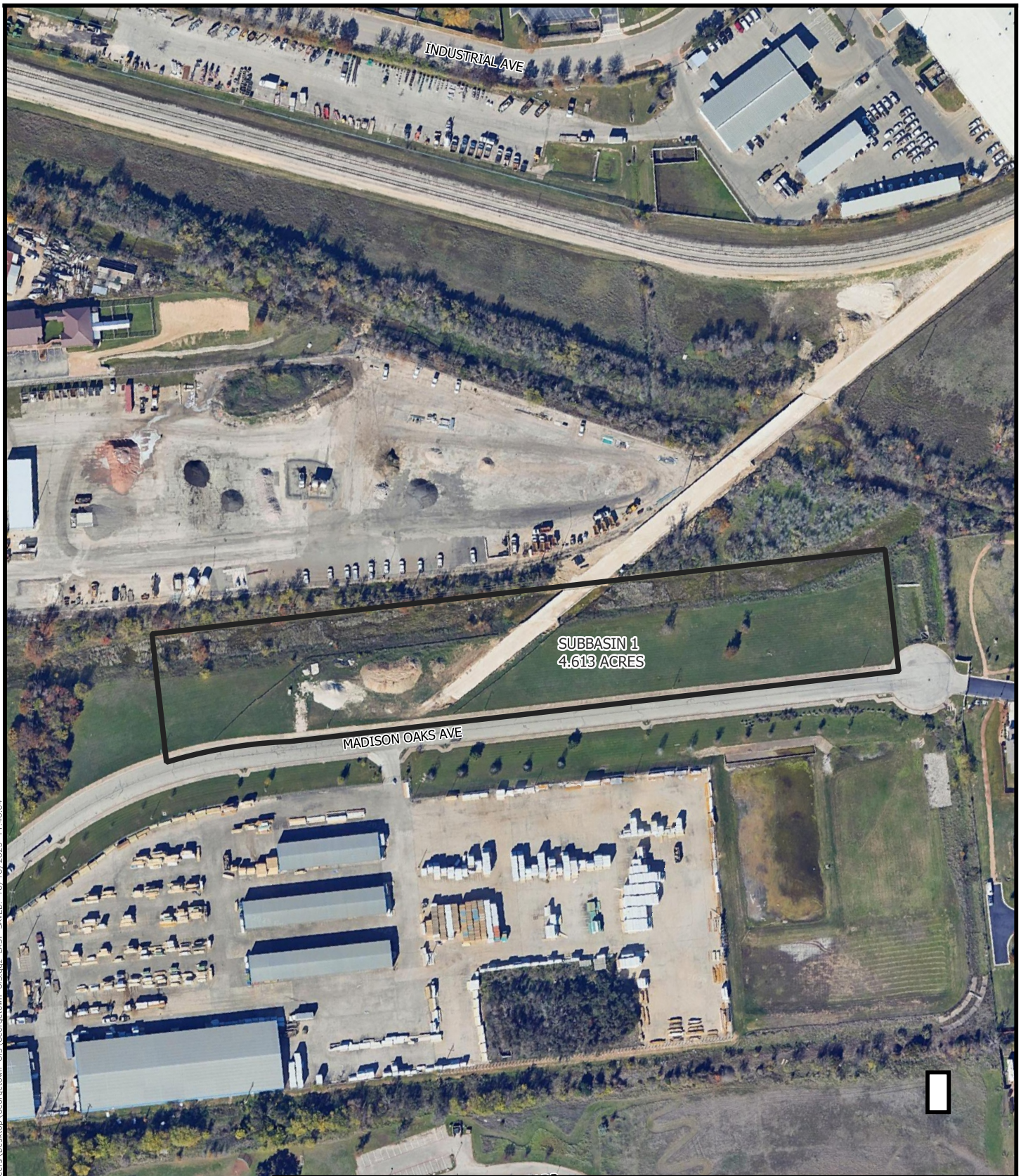


19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

**ATTACHMENT F
FORM 0602
STRUCTURAL PRACTICES.**

Due to the nature and layout of this project, structural practices are not practical. The project site is relatively small in overall scope and the use of silt fence will be the most effective way to mitigate unexpected sediment and erosion control from storm water runoff during construction.



© 2025 Kasberg, Patrick & Associates, LP KPA Firm Registration Number F-510
FILE: C:\Users\hmatthe\OneDrive - KPA Engineers\Desktop\Georgetown GIS\Georgetown GIS.qgz LAST SAVED: 10/10/2025 11:46:04



0 100 200 ft



KASBERG, PATRICK & ASSOCIATES, LP
CONSULTING ENGINEERS
TEMPLE, TEXAS 76501
Firm Registration No. F-510

MADISON OAKS PARK

EXHIBIT G — DRAINAGE AREA MAP

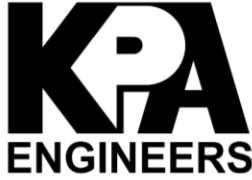


19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT H
FORM 0602
TEMPORARY SEDIMENT POND PLANS AND CALCULATIONS.

There are no temporary sediment ponds anticipated or proposed for this project.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT I
FORM 0602
INSPECTION AND MAINTENANCE FOR BMPs.

The contractor will be required to maintain, repair, or retrofit all temporary Best Management Practices (BMPs) through the duration of the project. The contractor will be required to inspect the BMPs at weekly intervals and after rainfall events as specified by the Erosion and Sediment Control Notes. The project inspector, from the City of Georgetown, will also inspect the BMPs to ensure they are in proper working condition. If any BMP is found to be unacceptable, the inspector will notify the contractor to remedy the problem immediately. Specific temporary BMP inspection and maintenance requirements are listed below. Construction notes for these BMPs, as well as additional notes can be found in the plan set details. Additionally, while they are not expected to be required, notes for other temporary BMPs such as filter dikes have also been included in the construction notes in the case they are deemed required during construction.

Silt Fence & Tree Protection

- Inspect all fencing weekly and after any rainfall event.
- Remove sediment when buildup reaches 6 inches.
- Replace any torn fabric.
- Replace or repair any sections crushed or collapsed in the course of construction activity.
- Fencing will be removed after construction is complete.

Concrete Washout

- The below ground concrete washout area will be constructed before construction commences.
- The washout area will be cleaned on a daily basis. All sediment, wastes, etc. will be removed from the site by the contractor.
- When necessary, repairs will be made to the washout area.
- The washout area will be removed after construction is complete.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT J

FORM 0602

SCHEDULE OF INTERIM AND PERMANENT SOIL STABILIZATION PRACTICES.

When evaluating the existing site conditions, limited project scope, nature, time of risk exposure and layout of this project, extensive temporary soil stabilization practices are impractical. The disturbance of topsoil for the majority of the project will be limited, at relatively shallow depths (less than one foot typically), and shallow slopes. For this reason, the main soil stabilization practice that will be implemented during (and after construction) will be the establishment of permanent vegetation on all areas of soil disturbance. This vegetation will help both in stabilizing the soil during and after construction, as well as in reducing the risk of sediment or dust contamination from the project site. Bare soils should be seeded or otherwise stabilized within 14 calendar days after final grading or where construction activity has temporarily ceased for more than 21 days.

Permanent Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(C), (D)(li), (E), and (5), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

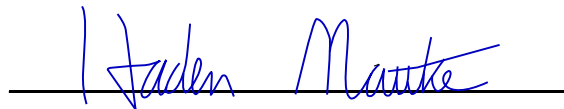
Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Permanent Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Haden Mattke, P.E., CFM

Date: 10/13/2025

Signature of Customer/Agent

A handwritten signature in blue ink that reads "Haden Mattke". The signature is written over a horizontal line.

Regulated Entity Name: Madison Oaks Park

Permanent Best Management Practices (BMPs)

Permanent best management practices and measures that will be used during and after construction is completed.

1. ☒ Permanent BMPs and measures must be implemented to control the discharge of pollution from regulated activities after the completion of construction.
☐ N/A
2. ☒ These practices and measures have been designed, and will be constructed, operated, and maintained to insure that 80% of the incremental increase in the annual mass loading of total suspended solids (TSS) from the site caused by the regulated activity is removed. These quantities have been calculated in accordance with technical guidance prepared or accepted by the executive director.
☒ The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site.

- ☐ A technical guidance other than the TCEQ TGM was used to design permanent BMPs and measures for this site. The complete citation for the technical guidance that was used is: _____
- ☐ N/A
3. ☒ Owners must insure that permanent BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the appropriate regional office within 30 days of site completion.
- ☐ N/A
4. Where a site is used for low density single-family residential development and has 20 % or less impervious cover, other permanent BMPs are not required. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.
- ☐ The site will be used for low density single-family residential development and has 20% or less impervious cover.
- ☐ The site will be used for low density single-family residential development but has more than 20% impervious cover.
- ☒ The site will not be used for low density single-family residential development.
5. The executive director may waive the requirement for other permanent BMPs for multi-family residential developments, schools, or small business sites where 20% or less impervious cover is used at the site. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.
- ☐ **Attachment A - 20% or Less Impervious Cover Waiver.** The site will be used for multi-family residential developments, schools, or small business sites and has 20% or less impervious cover. A request to waive the requirements for other permanent BMPs and measures is attached.
- ☐ The site will be used for multi-family residential developments, schools, or small business sites but has more than 20% impervious cover.
- ☒ The site will not be used for multi-family residential developments, schools, or small business sites.
6. ☒ **Attachment B - BMPs for Upgradient Stormwater.**

- ☐ A description of the BMPs and measures that will be used to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site is attached.
- ☒ No surface water, groundwater or stormwater originates upgradient from the site and flows across the site, and an explanation is attached.
- ☐ Permanent BMPs or measures are not required to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site, and an explanation is attached.
7. ☒ **Attachment C - BMPs for On-site Stormwater.**
- ☒ A description of the BMPs and measures that will be used to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff from the site is attached.
- ☐ Permanent BMPs or measures are not required to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff, and an explanation is attached.
8. ☒ **Attachment D - BMPs for Surface Streams.** A description of the BMPs and measures that prevent pollutants from entering surface streams, sensitive features, or the aquifer is attached. Each feature identified in the Geologic Assessment as sensitive has been addressed.
- ☐ N/A
9. ☒ The applicant understands that to the extent practicable, BMPs and measures must maintain flow to naturally occurring sensitive features identified in either the geologic assessment, executive director review, or during excavation, blasting, or construction.
- ☒ The permanent sealing of or diversion of flow from a naturally-occurring sensitive feature that accepts recharge to the Edwards Aquifer as a permanent pollution abatement measure has not been proposed.
- ☐ **Attachment E - Request to Seal Features.** A request to seal a naturally-occurring sensitive feature, that includes, for each feature, a justification as to why no reasonable and practicable alternative exists, is attached.
10. ☒ **Attachment F - Construction Plans.** All construction plans and design calculations for the proposed permanent BMP(s) and measures have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer, and are signed, sealed, and dated. The plans are attached and, if applicable include:
- ☒ Design calculations (TSS removal calculations)
- ☒ TCEQ construction notes
- ☒ All geologic features
- ☐ All proposed structural BMP(s) plans and specifications
- ☐ N/A

11. ☒ **Attachment G - Inspection, Maintenance, Repair and Retrofit Plan.** A plan for the inspection, maintenance, repairs, and, if necessary, retrofit of the permanent BMPs and measures is attached. The plan includes all of the following:
- ☒ Prepared and certified by the engineer designing the permanent BMPs and measures
 - ☒ Signed by the owner or responsible party
 - ☒ Procedures for documenting inspections, maintenance, repairs, and, if necessary retrofit
 - ☒ A discussion of record keeping procedures
- ☐ N/A
12. ☒ **Attachment H - Pilot-Scale Field Testing Plan.** Pilot studies for BMPs that are not recognized by the Executive Director require prior approval from the TCEQ. A plan for pilot-scale field testing is attached.
- ☐ N/A
13. ☒ **Attachment I - Measures for Minimizing Surface Stream Contamination.** A description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is attached. The measures address increased stream flashing, the creation of stronger flows and in-stream velocities, and other in-stream effects caused by the regulated activity, which increase erosion that results in water quality degradation.
- ☐ N/A

Responsibility for Maintenance of Permanent BMP(s)

Responsibility for maintenance of best management practices and measures after construction is complete.

14. ☒ The applicant is responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred.
- ☐ N/A
15. ☒ A copy of the transfer of responsibility must be filed with the executive director at the appropriate regional office within 30 days of the transfer if the site is for use as a multiple single-family residential development, a multi-family residential development, or a non-residential development such as commercial, industrial, institutional, schools, and other sites where regulated activities occur.
- ☐ N/A



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT A
FORM 0600
20% OR LESS IMPERVIOUS COVER WAIVER.

This project is not requesting a 20% or Less Impervious Cover Waiver as it is not applicable to this project.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT B
FORM 0600
BMPs FOR UPGRADIENT STORMWATER.

No upslope areas contribute surface runoff to the project site. Minimal on-site upgradient stormwater will cross the proposed sidewalk, and that which will come from vegetated areas only, as the roadway is crowned with roadside ditches on either side of the street. Any upgradient stormwater coming from the roadway will be captured by the existing curb and gutter, then collected in the existing storm sewer which bypass the site. During construction, silt fence will be installed as previously described to help treat any storm water that may come into contact with the site during project construction.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT C
FORM 0600
BMPs FOR ON SITE STORMWATER.

This project limits consists of approximately 0.57 acres. The only new impervious cover is 310 linear feet of 5' sidewalk and some miscellaneous appurtenant concrete pads for other park features. This portion of the project will be treated by a proposed Equivalent Water Quality Protection BMP in the form of naturally vegetated area downslope of the proposed sidewalk, proportionally sized based on a standard vegetative filter strip.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT D
FORM 0600
BMPs FOR SURFACE STREAMS.

The proposed Equivalent Water Quality Protection BMPs consisting of naturally vegetated areas will collect and treat the storm water originating on-site. These BMPs serve to prevent pollutants from entering any surface streams or the aquifer, as they will be treated before discharging further downstream.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT E
FORM 0600
REQUEST TO SEAL FEATURES.

There will be no sealing of or diversion of flow from a sensitive feature anticipated or proposed for this project.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

**ATTACHMENT F
FORM 0600
CONSTRUCTION PLANS.**

Construction Plans are attached to this application as Volume 2 of this application.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 12, 2025

ATTACHMENT G
FORM 0600
INSPECTION, MAINTENANCE, REPAIR AND RETROFIT PLAN.

The vegetative filter strips will be maintained by the City of Georgetown per their standard right-of-way maintenance agreements and procedures.

Once established, all vegetated areas will require the following maintenance:

- ***Pest Management***

An Integrated Pest Management (IPM) Plan should be developed for vegetated areas. This plan should specify how problem insects and weeds will be controlled with minimal or no use of insecticides and herbicides.

- ***Seasonal Mowing and Lawn Care***

If the filter strip is made up of turf grass, it should be mowed as needed to limit vegetation height to 18 inches, using a mulching mower (or removal of clippings). If native grasses are used, the filter may require less frequent mowing, but a minimum of twice annually. Grass clippings and brush debris should not be deposited on vegetated filter strip areas. Regular mowing should also include weed control practices; however, herbicide use should be kept to a minimum. Healthy grass can be maintained without using fertilizers because runoff usually contains sufficient nutrients. Irrigation of the site can help assure a dense and healthy vegetative cover.

- ***Inspection***

Inspect filter strips at least twice annually for erosion or damage to vegetation; however, additional inspection after periods of heavy runoff is most desirable. The strip should be checked for uniformity of grass cover, debris and litter, and areas of sediment accumulation. More frequent inspections of the grass cover during the first few years after establishment will help to determine if any problems are developing, and to plan for long-term restorative maintenance needs. Bare spots and areas of erosion identified during semi-annual inspections must be replanted and restored to meet specifications. Construction of a level spreader device may be necessary to reestablish shallow overland flow.

- ***Debris and Litter Removal***

Trash tends to accumulate in vegetated areas, particularly along highways. Any filter strip structure (i.e. level spreaders) should be kept free of obstructions to reduce floatables being flushed downstream, and for aesthetic reasons. The need for this practice is determined through periodic inspection, but should be performed no less than 4 times per year.

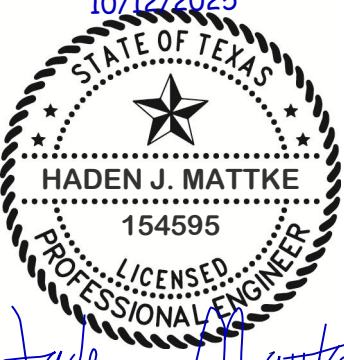
- ***Sediment Removal***

Sediment removal is not normally required in filter strips, since the vegetation normally grows through it and binds it to the soil. However, sediment may accumulate along the upstream boundary of the strip preventing uniform overland flow. Excess sediment should be removed by hand or with flat-bottomed shovels.

- ***Grass Reseeding and Mulching***

A healthy dense grass should be maintained on the filter strip. If areas are eroded, they should be filled, compacted, and reseeded so that the final grade is level. Grass damaged during the sediment removal process should be promptly replaced using the same seed mix used during filter strip establishment. If possible, flow should be diverted from the damaged areas until the grass is firmly established. Bare spots and areas of erosion identified during semi-annual inspections must be replanted and restored to meet specifications. Corrective maintenance, such as weeding or replanting should be done more frequently in the first two to three years after installation to ensure stabilization. Dense vegetation may require irrigation immediately after planting, and during particularly dry periods, particularly as the vegetation is initially established.

10/12/2025



Haden Mattke

Professional Engineer



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT H
FORM 0600
PILOT-SCALE FIELD TESTING PLAN.

There are no proposed BMPs in this project that are not recognized by the Executive Director and therefore there is no plan for pilot-scale field testing for this project.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

October 13, 2025

ATTACHMENT I
FORM 0600
MEASURES FOR MINIMIZING SURFACE STREAM CONTAMINATION.

As described elsewhere in this application, vegetated areas will effectively treat contaminants from storm water occurring due to the proposed improvements, thus minimizing, if not eliminating, any related surface stream contamination.

Additionally, the temporary BMPs previously described (silt fence, vegetation, etc.) will also serve to treat and minimize contaminated runoff during construction. These BMPs will also serve to decrease runoff velocities before exiting the project site.

Agent Authorization Form
For Required Signature
Edwards Aquifer Protection Program
Relating to 30 TAC Chapter 213
Effective June 1, 1999

I _____ Patrick Cavanaugh _____
Print Name
_____ Parks Development Manager _____
Title - Owner/President/Other
of _____ City of Georgetown _____
Corporation/Partnership/Entity Name
have authorized _____ Haden Mattke, P.E., CFM _____
Print Name of Agent/Engineer
of _____ Kasberg, Patrick & Associates _____
Print Name of Firm

to represent and act on the behalf of the above named Corporation, Partnership, or Entity for the purpose of preparing and submitting this plan application to the Texas Commission on Environmental Quality (TCEQ) for the review and approval consideration of regulated activities.

I also understand that:

1. The applicant is responsible for compliance with 30 Texas Administrative Code Chapter 213 and any condition of the TCEQ's approval letter. The TCEQ is authorized to assess administrative penalties of up to \$10,000 per day per violation.
2. For those submitting an application who are not the property owner, but who have the right to control and possess the property, additional authorization is required from the owner.
3. Application fees are due and payable at the time the application is submitted. The application fee must be sent to the TCEQ cashier or to the appropriate regional office. The application will not be considered until the correct fee is received by the commission.
4. A notarized copy of the Agent Authorization Form must be provided for the person preparing the application, and this form must accompany the completed application.
5. No person shall commence any regulated activity on the Edwards Aquifer Recharge Zone, Contributing Zone or Transition Zone until the appropriate application for the activity has been filed with and approved by the Executive Director.

SIGNATURE PAGE:

[Signature]
Applicant's Signature

10/13/2025
Date

THE STATE OF Texas §

County of Williamson §

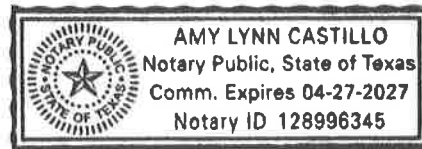
BEFORE ME, the undersigned authority, on this day personally appeared PATRICK CAVANAUGH known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 13th day of October, 2025

[Signature]
NOTARY PUBLIC

Amy Castillo
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: 04/27/2027



Application Fee Form

Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: Madison Oaks Park

Regulated Entity Location: Georgetown, Texas

Name of Customer: City of Georgetown

Contact Person: Patrick Cavanaugh

Phone: (512)930-3595

Customer Reference Number (if issued):CN 600412043

Regulated Entity Reference Number (if issued):RN _____

Austin Regional Office (3373)

☐ Hays

☐ Travis

☒ Williamson

San Antonio Regional Office (3362)

☐ Bexar

☐ Medina

☐ Uvalde

☐ Comal

☐ Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

☒ Austin Regional Office

☐ San Antonio Regional Office

☐ Mailed to: TCEQ - Cashier

☐ Overnight Delivery to: TCEQ - Cashier

Revenues Section

Mail Code 214

P.O. Box 13088

Austin, TX 78711-3088

12100 Park 35 Circle

Building A, 3rd Floor

Austin, TX 78753

(512)239-0357

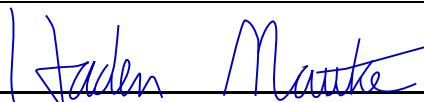
Site Location (Check All That Apply):

☒ Recharge Zone

☐ Contributing Zone

☐ Transition Zone

<i>Type of Plan</i>	<i>Size</i>	<i>Fee Due</i>
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	Acres	\$
Sewage Collection System	L.F.	\$
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	1 Each	\$ 500
Extension of Time	Each	\$

Signature: 

Date: 10/10/2025

Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

Water Pollution Abatement Plans and Modifications

Contributing Zone Plans and Modifications

<i>Project</i>	<i>Project Area in Acres</i>	<i>Fee</i>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

Organized Sewage Collection Systems and Modifications

<i>Project</i>	<i>Cost per Linear Foot</i>	<i>Minimum Fee- Maximum Fee</i>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

Underground and Aboveground Storage Tank System Facility Plans and Modifications

<i>Project</i>	<i>Cost per Tank or Piping System</i>	<i>Minimum Fee- Maximum Fee</i>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

Exception Requests

<i>Project</i>	<i>Fee</i>
Exception Request	\$500

Extension of Time Requests

<i>Project</i>	<i>Fee</i>
Extension of Time Request	\$150



TCEQ Core Data Form

For detailed instructions on completing this form, please read the Core Data Form Instructions or call 512-239-5175.

SECTION I: General Information

1. Reason for Submission (If other is checked please describe in space provided.)		
<input checked="" type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)	<input type="checkbox"/> Other	
2. Customer Reference Number (if issued)	Follow this link to search for CN or RN numbers in Central Registry**	3. Regulated Entity Reference Number (if issued)
CN 600412043		RN

SECTION II: Customer Information

4. General Customer Information		5. Effective Date for Customer Information Updates (mm/dd/yyyy)			
<input type="checkbox"/> New Customer <input type="checkbox"/> Update to Customer Information <input type="checkbox"/> Change in Regulated Entity Ownership <input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)					
<i>The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).</i>					
6. Customer Legal Name (If an individual, print last name first: eg: Doe, John)				<i>If new Customer, enter previous Customer below:</i>	
City of Georgetown					
7. TX SOS/CPA Filing Number		8. TX State Tax ID (11 digits)		9. Federal Tax ID (9 digits)	10. DUNS Number (if applicable)
11. Type of Customer:		<input type="checkbox"/> Corporation		<input type="checkbox"/> Individual	Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited
Government: <input checked="" type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> Local <input type="checkbox"/> State <input type="checkbox"/> Other		<input type="checkbox"/> Sole Proprietorship		<input type="checkbox"/> Other:	
12. Number of Employees				13. Independently Owned and Operated?	
<input type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input type="checkbox"/> 501 and higher				<input type="checkbox"/> Yes <input type="checkbox"/> No	
14. Customer Role (Proposed or Actual) – as it relates to the Regulated Entity listed on this form. Please check one of the following					
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Operator <input type="checkbox"/> Owner & Operator <input type="checkbox"/> Other: <input type="checkbox"/> Occupational Licensee <input type="checkbox"/> Responsible Party <input type="checkbox"/> VCP/BSA Applicant					
15. Mailing Address:					
City		State		ZIP	
				ZIP + 4	
16. Country Mailing Information (if outside USA)				17. E-Mail Address (if applicable)	

18. Telephone Number	19. Extension or Code	20. Fax Number (if applicable)
() -		() -

SECTION III: Regulated Entity Information

21. General Regulated Entity Information (If 'New Regulated Entity' is selected, a new permit application is also required.)								
<input checked="" type="checkbox"/> New Regulated Entity <input type="checkbox"/> Update to Regulated Entity Name <input type="checkbox"/> Update to Regulated Entity Information								
<i>The Regulated Entity Name submitted may be updated, in order to meet TCEQ Core Data Standards (removal of organizational endings such as Inc, LP, or LLC).</i>								
22. Regulated Entity Name (Enter name of the site where the regulated action is taking place.)								
Madison Oaks Park								
23. Street Address of the Regulated Entity: (No PO Boxes)	115 Madison Oaks Avenue							
	City	Georgetown	State	TX	ZIP	78626	ZIP + 4	
24. County	Williamson							

If no Street Address is provided, fields 25-28 are required.

25. Description to Physical Location:	The project is located at 115 Madison Oaks Ave, Georgetown, TX 78626 approximately 0.30 miles east of the intersection of Madison Oaks Ave and SH Spur 26, on the north side of Madison Oaks Ave.							
26. Nearest City					State	Nearest ZIP Code		
Georgetown				TX		78626		
<i>Latitude/Longitude are required and may be added/updated to meet TCEQ Core Data Standards. (Geocoding of the Physical Address may be used to supply coordinates where none have been provided or to gain accuracy).</i>								
27. Latitude (N) In Decimal:		30.618820253892302			28. Longitude (W) In Decimal:		-97.67698177577466	
Degrees	Minutes	Seconds		Degrees	Minutes	Seconds		
30	37	7.752		-97	40	37.135		
29. Primary SIC Code (4 digits)	30. Secondary SIC Code (4 digits)		31. Primary NAICS Code (5 or 6 digits)		32. Secondary NAICS Code (5 or 6 digits)			
1629			237990					
33. What is the Primary Business of this entity? (Do not repeat the SIC or NAICS description.)								
Public Park								
34. Mailing Address:	1101 North College Street							
	City	Georgetown	State	TX	ZIP	78626	ZIP + 4	
35. E-Mail Address:	patrick.cavanaugh@georgetowntexas.gov							
36. Telephone Number	37. Extension or Code				38. Fax Number (if applicable)			
(512) 930-3595					() -			

39. TCEQ Programs and ID Numbers Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.

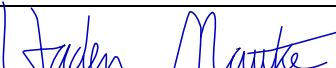
<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Wastewater	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

SECTION IV: Preparer Information

40. Name:	Haden J Mattke , P.E., CFM		41. Title:	Project Manager
42. Telephone Number	43. Ext./Code	44. Fax Number	45. E-Mail Address	
(512) 819-9478		(254) 773-6667	hmattke@kpaengineers.com	

SECTION V: Authorized Signature

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

Company:	Kasberg, Patrick & Associates	Job Title:	Project Manager	
Name (In Print):	Haden Mattke	Phone:	(512) 819- 9478	
Signature:			Date:	11/17/2025

City of Georgetown, Texas



Madison Oaks Park

Volume 2 of 2

**Texas Commission on Environmental Quality
Submittal for Edwards Aquifer Protection Plan**

Construction Plans

Georgetown Neighborhood Park Improvements

MADISON OAKS PARK: 115 MADISON OAKS AVE, GEORGETOWN, TX 78626

Site Development Plan

2025-18-SDP

VOLUME 3: MADISON OAKS PARK

A PROJECT BY

CITY OF GEORGETOWN: PARKS & RECREATION DEPARTMENT

CONTACT: PATRICK CAVANAUGH, PLA, ASLA
1101 N. COLLEGE STREET
GEORGETOWN, TEXAS 78626
(512) 930-3540
patrick.cavanaugh@georgetown.com
https://parks.georgetown.org/

LANDSCAPE ARCHITECT: COVEY PLANNING + LANDSCAPE ARCHITECTS

CONTACT: TYLER RICHBURG, PLA
800 S. AUSTIN AVENUE
GEORGETOWN, TEXAS 78626
(512) 887-5311
trichburg@coveylandscape.com
http://coveylandscape.com/

KPA ENGINEERS

CONTACT: TRAE SUTTON, PE, CFM
800 S. AUSTIN AVENUE
GEORGETOWN, TEXAS 78626
(254) 899-6360
tsutton@kpaengineers.com
http://kpaengineers.com/

PROJECT INFORMATION

PROPOSED USE:
NEIGHBORHOOD PARK

ZONING DISTRICT:
AG - AGRICULTURE

ACREAGE:
0.57 ACRES OF IMPROVEMENT AREA (24855 S.F.)

TOTAL IMPERVIOUS COVERAGE:
0.08 ACRES (3,395 S.F.)

UTILITY PROVIDER:
GEORGETOWN UTILITIES SYSTEMS
300-1 INDUSTRIAL AVENUE
GEORGETOWN, TX 78626
(512)-930-8140

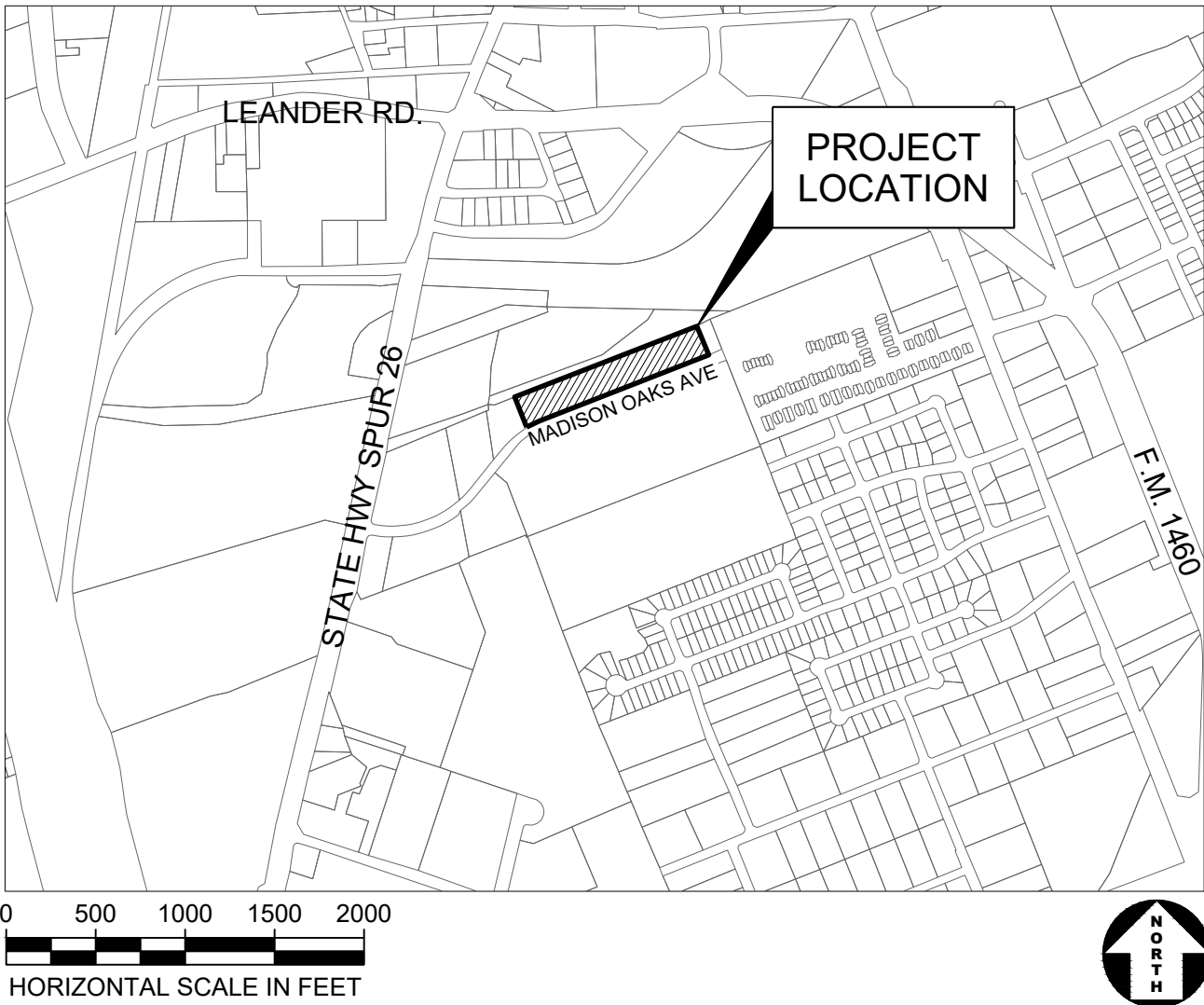
LEGAL DESCRIPTION OF PROPERTIES:

- S8330 - MADISON OAKS PH 2, BLOCK A, LOT 4, ACRES 4.274

INDEX OF SHEETS

DATE	ISSUE	SHEET TITLE	SHEET NUMBER	PAGE NUMBER
GENERAL SHEETS				
08/04/2025	BID SET	COVER SHEET	T-01	01 OF 23
08/04/2025	BID SET	GENERAL NOTES	T-02	02 OF 23
08/04/2025	BID SET	FINAL PLAT (1 of 2)	T-04	03 OF 23
08/04/2025	BID SET	FINAL PLAT (2 of 2)	T-05	04 OF 23
CIVIL				
08/04/2025	BID SET	TCEQ & GENERAL NOTES AND LEGEND	C-01	05 OF 23
08/04/2025	BID SET	EXISTING SITE PLAN	C-02	06 OF 23
08/04/2025	BID SET	TREE PROTECTION AND EROSION CONTROL NOTES AND DETAILS	C-03	07 OF 23
08/04/2025	BID SET	TREE PROTECTION AND EROSION CONTROL PLAN	C-04	08 OF 23
08/04/2025	BID SET	TREE SURVEY	C-05	09 OF 23
08/04/2025	BID SET	EXISTING TREE SCHEDULE AND MITIGATION CALCULATIONS	C-06	10 OF 23
08/04/2025	BID SET	PROPOSED SITE PLAN	C-07	11 OF 23
08/04/2025	BID SET	DIMENSIONAL CONTROL PLAN	C-08	12 OF 23
08/04/2025	BID SET	GRADING PLAN	C-09	13 OF 23
08/04/2025	BID SET	DRAINAGE AREA MAP	C-10	14 OF 23
08/04/2025	BID SET	DRAINAGE CALCULATIONS	C-11	15 OF 23
08/04/2025	BID SET	WATER SERVICE PLAN	C-12	16 OF 23
08/04/2025	BID SET	DETAILS SHEET 1 OF 2	C-13	17 OF 23
08/04/2025	BID SET	DETAILS SHEET 2 OF 2	C-14	18 OF 23
LANDSCAPE TITLE SHEET				
08/04/2025	BID SET	LANDSCAPE TITLE SHEET	LT-01	OF 23
LANDSCAPE CONSTRUCTION				
08/04/2025	BID SET	LANDSCAPE PLAN	LC-01	20 OF 23
08/04/2025	BID SET	LANDSCAPE SCHEDULES	LC-02	21 OF 23
08/04/2025	BID SET	LANDSCAPE DETAILS (1 of 2)	LC-03	22 OF 23
08/04/2025	BID SET	LANDSCAPE DETAILS (2 of 2)	LC-04	23 OF 23

PROJECT LOCATION



I, TYLER RICHBURG, HEREBY CERTIFY THAT THIS LANDSCAPE PLAN COMPLIES WITH THE REQUIREMENTS OF CHAPTER 8 OF THE UNIFIED DEVELOPMENT CODE.



LANDSCAPE ARCHITECT'S NAME AND SEAL

August 4, 2025
DATE

APPROVED BY:

CITY OF GEORGETOWN, TEXAS

DATE

GENERAL SITE DEVELOPMENT PLAN NOTES:

- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER, AND SUCCESSORS TO THE CURRENT PROPERTY OWNER, TO ENSURE THE SUBJECT PROPERTY AND ANY IMPROVEMENTS ARE MAINTAINED IN CONFORMANCE WITH THIS SITE DEVELOPMENT PLAN.
- THIS DEVELOPMENT SHALL COMPLY WITH ALL STANDARDS OF THE UNIFIED DEVELOPMENT CODE (UDC), THE CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND SPECIFICATIONS MANUAL, THE DEVELOPMENT MANUAL AND ALL OTHER APPLICABLE CITY STANDARDS.
- THIS SITE DEVELOPMENT PLAN SHALL MEET THE UDC STORMWATER REQUIREMENTS.
- ALL SIGNAGE REQUIRES A SEPARATE APPLICATION AND APPROVAL FROM THE INSPECTION SERVICES DEPARTMENT. NO SIGNAGE IS APPROVED WITH THE SITE DEVELOPMENT PLAN.
- SIDEWALKS SHALL BE PROVIDED IN ACCORDANCE WITH THE UDC.
- DRIVEWAYS WILL REQUIRE APPROVAL BY THE DEVELOPMENT ENGINEER OF THE CITY OF GEORGETOWN.
- OUTDOOR LIGHTING SHALL COMPLY WITH SECTION 7.04 OF THE UDC.
- THE PROPERTY SUBJECT TO THIS APPLICATION IS SUBJECT TO THE WATER QUALITY REGULATIONS OF THE CITY OF GEORGETOWN. (FIR PROPERTIES LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE)
- A GEOLOGIC ASSESSMENT, IN ACCORDANCE WITH THE CITY OF GEORGETOWN WATER QUALITY REGULATIONS, WAS COMPLETED ON 10/07/2022. ANY SPRINGS AND STREAMS AS IDENTIFIED IN THE GEOLOGIC ASSESSMENT ARE SHOWN HEREIN.
- SCREENING OF MECHANICAL EQUIPMENT, DUMPSTERS AND PARKING SHALL COMPLY WITH CHAPTER 8 OF THE UDC. THE SCREENING IS SHOWN ON THE LANDSCAPE AND ARCHITECTURAL PLANS, AS APPLICABLE.

- THE COMPANION LANDSCAPE PLAN HAS BEEN DESIGNED AND PLANT MATERIALS SHALL BE INSTALLED TO MEET ALL REQUIREMENTS OF THE UDC.
- ALL MAINTENANCE OF REQUIRED LANDSCAPE SHALL COMPLY WITH THE MAINTENANCE STANDARDS OF CHAPTER 8 OF THE UDC.
- A SEPARATE IRRIGATION PLAN SHALL BE REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION.
- ANY HERITAGE TREE NOTED ON THIS SITE DEVELOPMENT PLAN IS SUBJECT, IN PERPETUITY, TO THE MAINTENANCE, CARE, PRUNING AND REMOVAL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.
- THE CONSTRUCTION PORTION OF THESE PLANS WERE PREPARED, SEALED, SIGNED AND DATED BY A TEXAS LICENSED PROFESSIONAL ENGINEER. THEREFORE, BASED ON THE ENGINEER'S CONCURRENCE OF COMPLIANCE, THE CONSTRUCTION PLANS FOR CONSTRUCTION OF THE PROPOSED PROJECT ARE HEREBY APPROVED SUBJECT TO THE STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS MANUAL AND ALL OTHER APPLICABLE CITY, STATE AND FEDERAL REQUIREMENTS AND CODES.
- THIS PROJECT IS SUBJECT TO ALL CITY STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS IN EFFECT AT THE TIME OF SUBMITTAL OF THE PROJECT TO THE CITY.
- WHERE NO EXISTING OVERHEAD INFRASTRUCTURE EXISTS, UNDERGROUND ELECTRIC UTILITY LINES SHALL BE LOCATED ALONG THE STREET AND WITHIN THE SITE. WHERE EXISTING OVERHEAD INFRASTRUCTURE IS TO BE RELOCATED, IT SHALL BE RE-INSTALLED UNDERGROUND AND THE EXISTING FACILITIES SHALL BE REMOVED AT THE DISCRETION OF THE DEVELOPMENT ENGINEER.
- ALL ELECTRIC AND COMMUNICATION INFRASTRUCTURE SHALL COMPLY WITH UDC SECTION 13.06.

COVEY

Planning + Landscape Architecture

800 South Austin Avenue
Georgetown, Texas 78626
512.887.5311

Project:

GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
MADISON OAKS
PARK

GEORGETOWN, TEXAS

Project Number:

22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date:

August 4, 2025

Revisions:

Sheet Title:

COVER SHEET

Sheet Number:

T-01

PAGE 01 OF 23 SHEETS

Application Number:

2025-18-SDP

Texas Commission on Environmental Quality
Water Pollution Abatement Plan General Construction Notes

- Written construction notification must be given to the appropriate TCEQ regional office no later than 48 hours prior to commencement of the regulated activity. Information must include the date on which the regulated activity will commence, the name of the approved plan for the regulated activity, and the name of the prime contractor and the name and telephone number of the contact person.
- All contractors conducting regulated activities associated with this project must be provided with complete copies of the approved Water Pollution Abatement Plan and the TCEQ letter indicating the specific conditions of its approval. During the course of these regulated activities, the contractors are required to keep on-site copies of the approved plan and approval letter.
- If any sensitive feature is discovered during construction, all regulated activities near the sensitive feature must be suspended immediately. The appropriate TCEQ regional office must be immediately notified of any sensitive features encountered during construction. The regulated activities near the sensitive feature may not proceed until the TCEQ has reviewed and approved the methods proposed to protect the sensitive feature and the Edwards Aquifer from any potentially adverse impacts to water quality.
- No temporary aboveground hydrocarbon and hazardous substance storage tank system is installed within 150 feet of a domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- Prior to commencement of construction, all temporary erosion and sedimentation (E&S) control measures must be properly selected, installed, and maintained in accordance with the manufacturers specifications and good engineering practices. Controls specified in the temporary storm water section of the approved Edwards Aquifer Protection Plan are required during construction. If inspections indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations. The controls must remain in place until disturbed areas are revegetated and the areas have become permanently stabilized.
- If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
- Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake must be provided that can indicate when the sediment occupies 50% of the basin volume.
- Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
- All spoils (excavated material) generated from the project site must be stored on-site with proper E&S controls. For storage or disposal of spoils at another site on the Edwards Aquifer Recharge Zone, the owner of the site must receive approval of a water pollution abatement plan for the placement of fill material or mass grading prior to the placement of spoils at the other site.
- Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Where the initiation of stabilization measures by the 14th day after construction activity temporary or permanently cease is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable. Where construction activity on a portion of the site is temporarily ceased, and earth disturbing activities will be resumed within 21 days, temporary stabilization measures do not have to be initiated on that portion of site. In areas experiencing droughts where the initiation of stabilization measures by the 14th day after construction activity has temporarily or permanently ceased is precluded by seasonal arid conditions, stabilization measures shall be initiated as soon as practicable.
- The following records shall be maintained and made available to the TCEQ upon request: the dates when major grading activities occur; the dates when construction activities temporarily or permanently cease on a portion of the site; and the dates when stabilization measures are initiated.
- The holder of any approved Edward Aquifer protection plan must notify the appropriate regional office in writing and obtain approval from the executive director prior to initiating any of the following:
 - any physical or operational modification of any water pollution abatement structure(s), including but not limited to ponds, dams, berms, sewage treatment plants, and diversionary structures;
 - any change in the nature or character of the regulated activity from that which was originally approved or a change which would significantly impact the ability of the plan to prevent pollution of the Edwards Aquifer;
 - any development of land previously identified as undeveloped in the original water pollution abatement plan.

Austin Regional Office 2800 S. IH 35, Suite 100 Austin, Texas 78704-5712 Phone (512) 339-2929 Fax (512) 339-3795	San Antonio Regional Office 14250 Judson Road San Antonio, Texas 78233-4480 Phone(210) 490-3096 Fax (210) 545-4329
---	---

THESE GENERAL CONSTRUCTION NOTES MUST BE INCLUDED ON THE CONSTRUCTION PLANS PROVIDED TO THE CONTRACTOR AND ALL SUBCONTRACTORS.

TCEQ-0592 (Rev. 3/15/07)

General Notes

- All barricades, signs, and traffic control for this project shall conform to the latest edition of the Texas Manual on Uniform Traffic Control Devices for Streets and Highways.
- The bidders for this project shall familiarize themselves with all requirements of working in state and city of Georgetown rights-of-way and easements. The bidders shall familiarize themselves with all insurance requirements for said work and shall include in their bids, insurance costs and insurance premiums that provide for the state of Texas, the city of Georgetown and the engineer as additional insured's under the contractor's policies.
- Blasting is not permitted on this project.
- All construction operations shall be accomplished in accordance with applicable regulations of the U.S. Occupational Safety And Health Administration. Copies of the OSHA standards may be purchased from the U.S. government printing office: information and related reference materials may be obtained from OSHA; 903 San Jacinto, Austin, Texas.
- These plans prepared by Kasberg, Patrick & Associates, LP, do not extend to or include designs or systems pertaining to the safety of the contractor or its employees, agents or representatives in the performance of the work. The seal of Kasberg, Patrick & Associates, LP registered professional engineer(s) hereon does not extend to any such safety systems that may now or hereafter be incorporated in the work. The contractor shall prepare or obtain the appropriate safety systems, including the plans and specifications.
- Contractor shall comply with all applicable local, state and federal requirements regarding excess and waste material, including methods of handling and disposal.
- Contractor shall maintain access to public and private facilities during construction. Construction activities shall be coordinated with the city of Georgetown community owned utilities.
- Contractor shall notify the city of Georgetown community owned utilities a minimum of 3 working days, (Monday-Friday) in advance of construction startup, followed by a letter of confirmation. Contractor shall also give a minimum of 3 working days, (Monday-Friday), notice to all authorized inspectors, superintendents or persons in charge of private and public utilities affected by his operations prior to commencement of work.
- Location of existing utilities shown on the plans was compiled from record information. No warranty is implied as to the actual location of existing utilities. Contractor shall field verify locations of existing utilities prior to the commencement of construction. Contractor should call the city of Georgetown at (512) 930-3555. If there are any conflicts between proposed and existing utilities, or if the existing utilities are in any way different from what is shown on the drawings, then it shall be the contractor's responsibility to notify the city or other affected utility before proceeding with any construction. The contractor shall be responsible for resolving all conflicts at his expense. The city of Georgetown will consider any conflicts at said locations on a case-by-case basis in order to determine if the contractor should be reimbursed for his expense in solving said conflict.
- Contractor shall make all due precautions to protect existing facilities from damage. Any damage to existing facilities incurred as a result of these construction operations are to be repaired immediately by the contractor to at least the preexisting condition at no additional cost to the city of Georgetown.
- Contractor shall coordinate interruptions of all utilities and services with all applicable utility company or companies. All work shall be in accordance with the requirements of the applicable utility company or agency involved.
- When un-located or incorrectly located underground piping or a break in a line or other utilities and services are encountered during site work operations, the contractor shall notify the applicable utility company immediately to obtain procedure directions. Contractor shall cooperate with the applicable utility company in maintaining active services in operation.
- Contractor shall locate material storage areas away from storm water conveyance systems. Contractor shall provide protected storage areas for chemicals, paints, solvents, fertilizers and other potentially toxic materials off site.
- No open burning is allowed within the Georgetown city limits. Burning is allowed in Williamson county by air curtain destructors method and prior written approval from applicable government agencies at the contractor's expense. The contractor can haul cleared vegetation to an acceptable off-site location with written approval by the owner's representative. Prior to construction the contractor shall designate to the city of Georgetown's representative, which method will be used for disposal of cleared vegetation.
- Fuel storage is not allowed on this project.
- Contractor shall advise owner immediately, verbally and in writing, of any fuel or toxic material spills onto the project construction area and the actions to be taken to remedy the problem.
- Contractor is responsible for disposing of his fuels, materials, and contaminated excavations in a legally approved manner.
- Contractor is responsible for complying with all applicable environmental laws.
- Contractor is responsible for providing and maintaining sanitary facilities on this project for employees.

- Contractor shall coordinate all materials testing, including soil density tests and related soils analysis. Tests shall be accomplished by an independent laboratory under contract with the city of Georgetown, at the frequency, time and location as specified in the technical specifications. A copy of the test results shall be forwarded to the city of Georgetown's representative, the city of Georgetown utilities, and the contractor. Tests, which show unsatisfactory results, shall be repeated at the expense of the contractor subsequent to the contractor's remedial activities.
- The trench excavation and shoring safety plan system as required by the laws of the state of Texas and as outlined in the technical specifications will be required as a minimum trench safety measure and shall be submitted to the city of Georgetown for acceptance prior to the beginning of construction. Implementation of the submitted trench safety plan shall be the sole responsibility of the contractor.
- Existing paving, buildings and other items shown on the plans is not specifically related to the work of the contractor and is shown for information only.
- Any water hauled to the site during the installation shall be paid by the contractor.
- TxDOT requires 48-hour notification prior to any proposed work in state right of way.
- This project is a calendar day project and therefore shall be void of rain days as credit to construction time. The city of Georgetown will not accept rain days unless a month within the project time has had rain days in excess of the average rain days for that month. Days of drying for the project site will not be considered.

Month	Rain Days
January	7 days
February	7 days
March	7 days
April	7 days
May	8 days
June	6 days
July	6 days
August	5 days
September	7 days
October	7 days
November	7 days
December	7 days

Construction Layout/Project Coordination

- The city of Georgetown will provide the daily on-site construction representation for this project.
- Pre-construction conference
 - Prior to beginning work on the project and soon after the award of the contract, a conference will be held among the representatives of the city of Georgetown, the engineer, the contractor, and any subcontractor that will be involved in the work. At that time, the contractor shall submit charts or briefs, outlining the manner of execution of the work that is intended in order to complete the specified work within the allotted time. This conference will more completely establish the sequence of work to be followed and establish the estimated progress schedule for completion of the various tasks. When applicable, the pre-construction conference will be held only after installation of the erosion and sedimentation controls. This conference may take place on the site to demonstrate competence with the erosion and sedimentation control plan and water pollution abatement plan.
 - In addition, at this conference, the contractor shall be responsible for furnishing the engineer with all of the following, as specified herein or as directed by the engineer:
 - Samples of all materials to be used on the project with identification as to product name; name, location, phone number (including area code) and mailing address of product source and manufacturer, if different from source; content of product; amount of each ingredient in the product, and manufacturer's directions as to use and application of the product, if applicable.
 - Manufacturer's literature of all materials and equipment installed on the project.
- Protection of vehicular and pedestrian traffic is of the utmost importance for the project. The traffic control and sequence of construction plan shall address all anticipated situations in this regard with sufficient detail. The contractors plan will be reviewed by local TxDOT officials and the City of Georgetown.
- The plans for this project show proposed elevations, slopes and dimensions that are intended for actual placement. However, there may be some instances where existing conditions make it impractical to achieve the ideal. In those instances, the city of Georgetown will assist the contractor in making proper field changes to better account for field conditions.
- The engineer for the project shall mark the limits of construction prior to commencement of the project.

Site Grading Notes

- Contractor shall control dust caused by the work and comply with pollution control regulations of governing authorities.
- Contractor shall remove built up material on adjacent public roadways resulting from his work. Cleaning shall be at least once a day.
- Contractor shall protect stockpiled material such that storm water will not adversely affect erosion control, sidewalks, traffic, private property, or the San Gabriel River.
- Required fill embankment shall be placed and compacted per technical specifications in maximum 6-inch loose lifts and compacted as stated in the specifications.

Paving And Concrete Notes

- Any existing pavement, curbs and/or sidewalk damaged or removed by the contractor that are not a part of this contract shall be repaired by the contractor to at least the preexisting condition at his expense before acceptance of the work.
- The contractor shall provide the city of Georgetown community owned utilities engineer with a barricade and signing plan, which will include how traffic will be handled during construction. The barricades, signs and lights shall conform to the latest edition of the Texas Manual On Uniform Traffic Control Devices For Streets And Highways.
- All concrete to be class "a" for site work per technical specifications and all reinforcing steel to be ASTM A-615 grade 60, unless otherwise noted.
- Natural subgrade - loose, disturbed or undisturbed natural subgrade beneath pavement should be scarified and rolled. Subgrade compactions shall not exceed 100%. Proof-rolling and preparation of subgrade shall be in accordance with TxDOT item 216 "proof rolling" and item 132 embankment.
- Concrete rip rap shall be 4-inch thickness, class "b" concrete with 6" x 6" x #6 welded wire flat-sheet mesh. Finished concrete shall receive a broom finish and sprayed with type 2 membrane curing compound. The rip rap shall be placed with a 24-inch depth by 6-inch wide toe ditch at the bottom of slope edge and with an 18-inch depth by 6-inch wide toe ditch at the top of slope edge.

Project Notes

- The contractor to contact the city of Georgetown at (512) 930-3555 for existing utility locations prior to any excavation. In advance of construction, the contractor shall verify the locations of all utilities to be extended, tied to or altered, or subject to damage/inconvenience by the construction operations. The city of Georgetown water and wastewater maintenance responsibility ends at right-of-way row/easement lines.
- Contractor shall strip 6 inches of topsoil from all areas subject to grade modifications. Contractor shall remove any area of weak soil.
- Within city of Georgetown right-of-way, residential driveways shall have a 10% maximum grade. Non residential driveways are to have a 3% maximum grade for the first thirty (30) feet off the edge of pavement.
- The contractor shall be responsible and liable for all job site safety, management of job site personnel, supervision of the use of job site equipment and direction of all construction procedures, methods and elements required to complete the construction of the proposed improvements.
- The contractor shall protect all existing fences. In the event that a fence shall be removed, the contractor shall replace said fence or portion thereof with the same type of fencing to a quality of equal or better than the original fence.

Testing And Submittals

- The contractor shall be responsible for providing material samples as well as any manufacturers literature of materials used on this project as required by the engineer. Any costs associated with any sampling and testing shall be the responsibility of the contractor. These costs shall be considered as incidental and the contractor will not be entitled to any additional compensation.
- The contractor shall be responsible for and pay for all charges of testing laboratories for services in connection with initial tests made on all imported materials to the project sites including but not limited to embedment materials, fill material, backfill material, select material, crushed limestone base, subbase, concrete, steel, wood forms, liquid asphalt, aggregate, water, cement, curing compound, guard rail, etc. The tests for which the contractor will typically be responsible are Atterberg limits, sieve analysis, plasticity indices, mix design, California bearing ratios, proctors (moisture density curves) and all tests required by the specifications that prove the material brought to the project sites meets or exceeds the specifications and contract documents. The owner, the city of Georgetown, will pay all the charges of testing laboratories for services in connection with in place field densities, concrete cylinders testing, HMAC density tests and any in place test required for quality assurance. Retesting after failure of in place tests shall be at the expense of the contractor.

Americans with disabilities act

- This project is intended to conform to the Americans With Disabilities Act.
- The contractor shall be aware of construction procedures, finished product requirements of this act, and coordinate all activities to satisfy this act.

COVEY

Planning + Landscape Architecture

800 South Austin Avenue
Georgetown, Texas 78626
512.887.5311



AUGUST 4, 2025

Project:

GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
MADISON OAKS
PARK

GEORGETOWN, TEXAS

Project Number:

22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date:

August 4, 2025

Revisions:

Sheet Title:

GENERAL NOTES

Sheet Number:

T-02

PAGE 02 OF 23 SHEETS

Application Number:

2025-18-SDP



AUGUST 4, 2025

Project:

GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
MADISON OAKS
PARK

GEORGETOWN, TEXAS

Project Number:

22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date:

August 4, 2025

Revisions:

Sheet Title:

FINAL PLAT (1 OF 2)

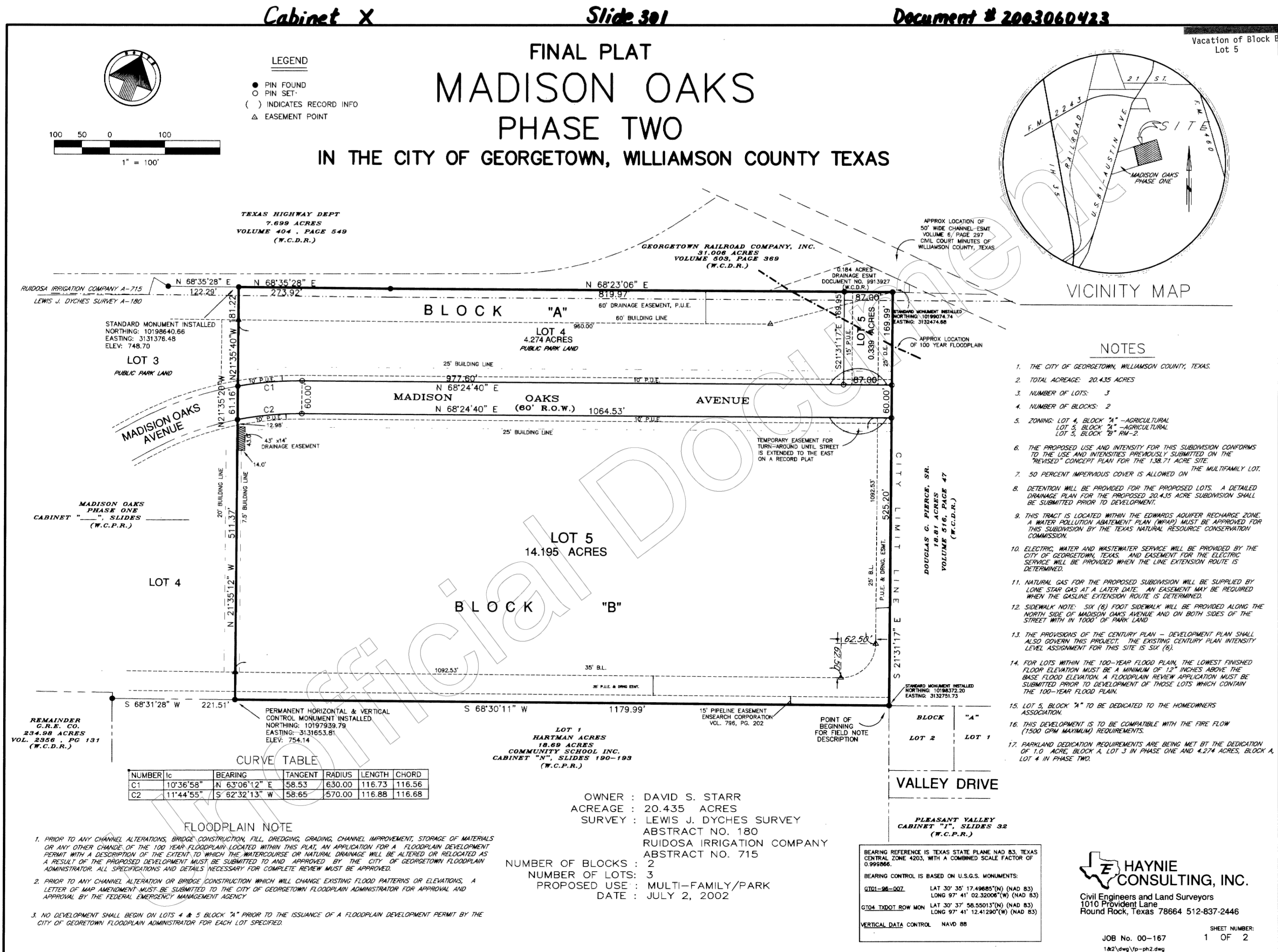
Sheet Number:

T-04

PAGE 03 OF 23 SHEETS

Application Number:

2025-18-SDP





AUGUST 4, 2025

Project:

GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
MADISON OAKS
PARK

GEORGETOWN, TEXAS

Project Number:

22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date:

August 4, 2025

Revisions:

Sheet Title:

FINAL PLAT (2 OF 2)

Sheet Number:

T-05

PAGE 04 OF 23 SHEETS

Application Number:

2025-18-SDP

Cabinet X

Slide 302

FINAL PLAT
MADISON OAKS
PHASE TWO
IN THE CITY OF GEORGETOWN, WILLIAMSON COUNTY TEXAS
JANUARY 2003

STATE OF TEXAS

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF WILLIAMSON

THAT I, DAVID S. STARR, SOLE OWNER OF THE CERTAIN TRACT OF LAND SHOWN HEREON AND DESCRIBED IN A DEED RECORDED DOCUMENT NO. 9712216 AMONG THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS, DO HEREBY STATE THAT THERE ARE NO LIEN HOLDERS OF THE CERTAIN TRACT OF LAND, AND DO HEREBY SUBDIVIDE SAID PARCEL AS SHOWN HEREON, AND DO HEREBY CONSENT TO ALL PLAT NOTE REQUIREMENTS SHOWN HEREON, AND DO HEREBY DEDICATE TO THE CITY OF GEORGETOWN THE STREETS, ALLEYS, RIGHTS-OF-WAY, EASEMENTS, AND PUBLIC PLACES SHOWN HEREON FOR SUCH PUBLIC PURPOSES AS THE CITY OF GEORGETOWN MAY DEEM APPROPRIATE. THIS SUBDIVISION IS TO BE KNOWN AS MADISON OAKS, PHASE TWO.

TO CERTIFY WHICH, WITNESS BY MY HAND THIS 27th DAY OF April, 2003 A.D.

David S. Starr
DAVID S. STARR
121 LISIO LOOP
GEORGETOWN, TEXAS 78628

FIELD NOTES DESCRIPTION
OF 20.435 ACRES

FIELD NOTES DESCRIPTION FOR 20.435 ACRES (890,151 SQ. FT.) TRACT OF LAND OUT OF THE LEWIS J. DYCHES SURVEY, ABSTRACT NO. 180 AND THE RUIDOSA IRRIGATION COMPANY SURVEY, ABSTRACT NO. 715 SITUATED IN THE CITY OF GEORGETOWN, WILLIAMSON COUNTY, TEXAS, SAID 20.435 ACRE TRACT BEING A PORTION OF THAT CERTAIN 23.5 ACRE TRACT AS CONVEYED TO DAVID S. STARR DESCRIBED IN DOCUMENT NO. 9712216, OF THE WILLIAMSON COUNTY DEED RECORDS (W.C.D.R.), WILLIAMSON COUNTY, TEXAS, SAID 20.435 ACRE (890,151 SQ. FT.) TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND, SAID POINT BEING THE MOST NORTHWEST CORNER OF LOT 2, BLOCK "A" PLEASANT VALLEY, A SUBDIVISION OF RECORD AS RECORDED IN CABINET I, SLIDE 32 OF THE WILLIAMSON COUNTY PLAT RECORDS (W.C.P.R.) ALSO BEING THE MOST NORTHEAST CORNER OF LOT 1, HARTMAN ACRES, A SUBDIVISION OF RECORD AS RECORDED IN CABINET "N" SLIDES 190-193 OF THE W.C.P.R., AND ALSO BEING THE SOUTHWEST CORNER OF THAT CERTAIN 18.81 ACRE TRACT AS CONVEYED TO DOUGLAS G. PIERCE, SR. AS DESCRIBED IN VOLUME 516, PAGE 47 OF THE W.C.D.R. FOR THE POINT OF BEGINNING AND THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 88° 30' 11" W, A DISTANCE OF 1,179.99 FEET ALONG THE LINE OF SAID LOT 1 HARTMAN ACRES TO AN 1/2" IRON ROD FOUND, SAID POINT BEING THE SOUTHEAST CORNER OF LOT 4, MADISON OAKS PHASE ONE FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, ALONG THE EASTERLY LINE OF MADISON OAKS PHASE ONE, THE FOLLOWING THREE COURSES AND DISTANCES:

1. N 21° 35' 12" W, A DISTANCE OF 511.37 FEET TO AN 1/2" IRON ROD SET,
2. N 21° 35' 20" W, A DISTANCE OF 61.16 FEET TO AN 1/2" IRON ROD SET,

3. N 21° 35' 40" W, A DISTANCE OF 181.22 FEET TO AN 1/2" IRON ROD FOUND, SAID POINT BEING IN THE SOUTHERLY LINE OF THAT CERTAIN 31.008 ACRE TRACT AS CONVEYED TO GEORGETOWN RAILROAD COMPANY, INC. AS DESCRIBED IN VOLUME 503, PAGE 389 OF THE W.C.D.R. AND BEING THE NORTHEAST CORNER OF SAID MADISON OAKS PHASE ONE, AND THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT,

THENCE, CONTINUING ALONG THE SOUTHERLY LINE OF SAID 31.006 ACRE TRACT, THE FOLLOWING TWO (2) COURSES AND DISTANCES:

1. N 68° 35' 28" E, A DISTANCE OF 273.92 FEET TO AN 1/2" IRON ROD FOUND,

2. N 68° 23' 06" E, A DISTANCE OF 906.97 FEET TO AN 1/2" IRON ROD FOUND, SAID POINT BEING THE NORTHEAST CORNER OF THE AFOREMENTIONED 18.81 ACRE TRACT FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 21° 31' 17" E, A DISTANCE OF 755.19 FEET ALONG THE WESTERLY LINE OF SAID 18.81 ACRE TRACT TO THE POINT OF BEGINNING AND CONTAINING 20.435 ACRES (890,151 SQ. FT.) TRACT OF LAND MORE OR LESS.

STATE OF TEXAS

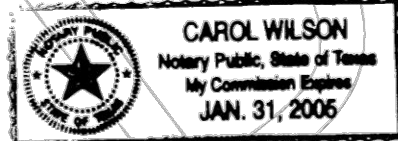
KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF WILLIAMSON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAVID S. STARR, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATION THEREIN EXPRESSED, IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 27th DAY OF April, 2003 A.D.

Carol Wilson
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS.



STATE OF TEXAS

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF WILLIAMSON

I, TIMOTHY E. HAYNIE, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR LAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF GEORGETOWN, TEXAS.

TO CERTIFY WHICH, WITNESS MY HAND AND SEAL AT GEORGETOWN, WILLIAMSON COUNTY, TEXAS, THIS 24th DAY OF April, 2003 A.D.

Timothy E. Haynie
TIMOTHY E. HAYNIE,
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 2380, STATE OF TEXAS



STATE OF TEXAS

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF WILLIAMSON

I, TIMOTHY E. HAYNIE, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PARCEL OF LAND IS IN THE EDWARDS AQUIFER RECHARGE ZONE AND IS ENCLOSED BY A ZONE A FLOOD AREA AS DENOTED HEREON, AND AS DEFINED BY FEDERAL EMERGENCY MANAGEMENT ADMINISTRATION FLOOD HAZARD BOUNDARY MAP, COMMUNITY PANEL NUMBER 48491C0230 C, EFFECTIVE DATE SEPTEMBER 27, 1991, AND THAT THIS LOT CONFORMS TO THE CITY OF GEORGETOWN SUBDIVISION REGULATIONS.

THE FULLY DEVELOPED, CONCENTRATED STORMWATER RUNOFF RESULTING FROM THE ONE HUNDRED (100) YEAR FREQUENCY STORM IS CONTAINED WITHIN THE DRAINAGE EASEMENTS SHOWN AND/OR PUBLIC RIGHTS-OF-WAY DEDICATED BY THIS PLAT.

TO CERTIFY WHICH, WITNESS MY HAND AND SEAL AT GEORGETOWN, WILLIAMSON COUNTY, TEXAS, THIS 24th DAY OF April, 2003 A.D.

Timothy E. Haynie
TIMOTHY E. HAYNIE,
REGISTERED PROFESSIONAL ENGINEER
NO. 36982, STATE OF TEXAS



CITY OF GEORGETOWN CERTIFICATIONS

THE SUBDIVISION, KNOWN AS MADISON OAKS, PHASE ONE HAS BEEN APPROVED FOR FILING FOR RECORD ACCORDING TO THE MINUTES OF THE MEETING OF THE GEORGETOWN CITY COUNCIL ON THE 25th DAY OF SEPTEMBER, 2002 A.D.

Gary Nezon
GARY NEZON, MAYOR
CITY OF GEORGETOWN, TEXAS

Sandra Lee
SANDRA LEE, CITY SECRETARY
CITY OF GEORGETOWN, TEXAS

I, PAUL BRANDENBURG, CITY MANAGER OF THE CITY OF GEORGETOWN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS AS TO WHICH APPROVAL IS REQUIRED.

DATE: 5-20-03

Paul Brandenburg
PAUL BRANDENBURG, CITY MANAGER
CITY OF GEORGETOWN, TEXAS

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF GEORGETOWN, TEXAS.

DATE: 5/27/03

Chris Adniesen
CHRIS ADNIESEN

CHAIR

DATE: 5-28-03

Amelia Sondgeroth
AMELIA SONDGEROTH

SECRETARY

BASED UPON THE ABOVE REPRESENTATIONS OF THE SURVEYOR AND ENGINEER WHOSE SEAL IS AFFIXED HERETO, AND AFTER A REVIEW OF THE PLAT AS REPRESENTED BY THE SAID SURVEYOR AND ENGINEER, I FIND THAT THIS PLAT COMPLIES WITH THE REQUIREMENTS OF CHAPTER 15.44 FLOOD DAMAGE PREVENTION, OF THE GEORGETOWN MUNICIPAL CODE. THIS CERTIFICATION IS MADE SOLELY UPON SUCH REPRESENTATIONS AND SHOULD NOT BE RELIED UPON FOR VERIFICATIONS OF THE FACTS ALLEGED. THE CITY OF GEORGETOWN DISCLAIMS ANY RESPONSIBILITY TO ANY MEMBER OF THE PUBLIC FOR INDEPENDENT VERIFICATIONS OF THE REPRESENTATION, FACTUAL OR OTHERWISE, CONTAINED IN THIS PLAT AND THE DOCUMENTS ASSOCIATED WITH IT.

DATE: 5/29/03

James R. Hester
BUILDING OFFICIAL

STATE OF TEXAS

KNOW ALL MEN BY THESE PRESENTS

COUNTY OF WILLIAMSON

I, Nancy E. Rister, CLERK OF THE COUNTY COURT OF SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE 20th DAY OF June, 2003 A.D., AT 1:37 O'CLOCK, P.M. AND DULY RECORDED ON THE 20th DAY OF June, 2003 A.D., AT 12:12 O'CLOCK, A.M. IN THE PLAT RECORDS OF SAID COUNTY IN CABINET X, SLIDE 301 and 302.

TO CERTIFY WHICH, WITNESS MY HAND AND SEAL AT THE COUNTY COURT OF SAID COUNTY, AT MY OFFICE IN GEORGETOWN, TEXAS, THE DATE LAST SHOWN ABOVE WRITTEN.

Nancy E. Rister
CLERK



COUNTY COURT OF WILLIAMSON COUNTY, TEXAS

BY: Judy Metzger, DEPUTY

ROAD NAME AND ADDRESS ASSIGNMENT VERIFIED THIS THE

21st DAY OF MAY, 2003

Al Mayfield
WILLIAMSON COUNTY ADDRESS COORDINATOR



JOB No. 99-49
162.dwg VPR-FINAL.DWG

SHEET NUMBER
2 OF 2

Texas Commission on Environmental Quality
Water Pollution Abatement Plan General Construction Notes

THE FOLLOWING/LISTED "CONSTRUCTION NOTES" ARE INTENDED TO BE ADVISORY IN NATURE ONLY AND DO NOT CONSTITUTE AN APPROVAL OR CONDITIONAL APPROVAL BY THE EXECUTIVE DIRECTOR (ED), NOR DO THEY CONSTITUTE A COMPREHENSIVE LISTING OF RULES OR CONDITIONS TO BE FOLLOWED DURING CONSTRUCTION. FURTHER ACTIONS MAY BE REQUIRED TO ACHIEVE COMPLIANCE WITH TCEQ REGULATIONS FOUND IN TITLE 30, TEXAS ADMINISTRATIVE CODE (TAC), CHAPTERS 213 AND 217, AS WELL AS LOCAL ORDINANCES AND REGULATIONS PROVIDING FOR THE PROTECTION OF WATER QUALITY. ADDITIONALLY, NOTHING CONTAINED IN THE FOLLOWING/LISTED "CONSTRUCTION NOTES" RESTRICTS THE POWERS OF THE ED, THE COMMISSION OR ANY OTHER GOVERNMENTAL ENTITY TO PREVENT, CORRECT, OR CURTAIL ACTIVITIES THAT RESULT OR MAY RESULT IN POLLUTION OF THE EDWARDS AQUIFER OR HYDROLOGICALLY CONNECTED SURFACE WATERS. THE HOLDER OF ANY EDWARDS AQUIFER PROTECTION PLAN CONTAINING "CONSTRUCTION NOTES" IS STILL RESPONSIBLE FOR COMPLIANCE WITH TITLE 30, TAC, CHAPTERS 213 OR ANY OTHER APPLICABLE TCEQ REGULATION, AS WELL AS ALL CONDITIONS OF AN EDWARDS AQUIFER PROTECTION PLAN THROUGH ALL PHASES OF PLAN IMPLEMENTATION. FAILURE TO COMPLY WITH ANY CONDITION OF THE ED'S APPROVAL, WHETHER OR NOT IN CONTRADICTION OF ANY "CONSTRUCTION NOTES," IS A VIOLATION OF TCEQ REGULATIONS AND ANY VIOLATION IS SUBJECT TO ADMINISTRATIVE RULES, ORDERS, AND PENALTIES AS PROVIDED UNDER TITLE 30, TAC § 213.10 (RELATING TO ENFORCEMENT). SUCH VIOLATIONS MAY ALSO BE SUBJECT TO CIVIL PENALTIES AND INJUNCTION. THE FOLLOWING/LISTED "CONSTRUCTION NOTES" IN NO WAY REPRESENT AN APPROVED EXCEPTION BY THE ED TO ANY PART OF TITLE 30 TAC, CHAPTERS 213 AND 217, OR ANY OTHER TCEQ APPLICABLE REGULATION.

- A WRITTEN NOTICE OF CONSTRUCTION MUST BE SUBMITTED TO THE TCEQ REGIONAL OFFICE AT LEAST 48 HOURS PRIOR TO THE START OF ANY REGULATED ACTIVITIES. THIS NOTICE MUST INCLUDE:
 - THE NAME OF THE APPROVED PROJECT;
 - THE ACTIVITY START DATE; AND
 - THE CONTACT INFORMATION OF THE PRIME CONTRACTOR.
- ALL CONTRACTORS CONDUCTING REGULATED ACTIVITIES ASSOCIATED WITH THIS PROJECT MUST BE PROVIDED WITH COMPLETE COPIES OF THE APPROVED WATER POLLUTION ABATEMENT PLAN (WPAP) AND THE TCEQ LETTER INDICATING THE SPECIFIC CONDITIONS OF ITS APPROVAL. DURING THE COURSE OF THESE REGULATED ACTIVITIES, THE CONTRACTORS ARE REQUIRED TO KEEP ON-SITE COPIES OF THE APPROVED PLAN AND APPROVAL LETTER.
- IF ANY SENSITIVE FEATURE(S) (CAVES, SOLUTION CAVITY, SINK HOLE, ETC.) IS DISCOVERED DURING CONSTRUCTION, ALL REGULATED ACTIVITIES NEAR THE SENSITIVE FEATURE MUST BE SUSPENDED IMMEDIATELY. THE APPROPRIATE TCEQ REGIONAL OFFICE MUST BE IMMEDIATELY NOTIFIED OF ANY SENSITIVE FEATURES ENCOUNTERED DURING CONSTRUCTION. CONSTRUCTION ACTIVITIES MAY NOT BE RESUMED UNTIL THE TCEQ HAS REVIEWED AND APPROVED THE APPROPRIATE PROTECTIVE MEASURES IN ORDER TO PROTECT ANY SENSITIVE FEATURE AND THE EDWARDS AQUIFER FROM POTENTIALLY ADVERSE IMPACTS TO WATER QUALITY.
- NO TEMPORARY OR PERMANENT HAZARDOUS SUBSTANCE STORAGE TANK SHALL BE INSTALLED WITHIN 150 FEET OF A WATER SUPPLY SOURCE, DISTRIBUTION SYSTEM, WELL, OR SENSITIVE FEATURE.
- PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY, ALL TEMPORARY EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES MUST BE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLANS AND MANUFACTURERS SPECIFICATIONS. IF INSPECTIONS INDICATE A CONTROL HAS BEEN USED INAPPROPRIATELY, OR INCORRECTLY, THE APPLICANT MUST REPLACE OR MODIFY THE CONTROL FOR SITE SITUATIONS. THESE CONTROLS MUST REMAIN IN PLACE UNTIL THE DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
- ANY SEDIMENT THAT ESCAPES THE CONSTRUCTION SITE MUST BE COLLECTED AND PROPERLY DISPOSED OF BEFORE THE NEXT RAIN EVENT TO ENSURE IT IS NOT WASHED INTO SURFACE STREAMS, SENSITIVE FEATURES, ETC.
- SEDIMENT MUST BE REMOVED FROM THE SEDIMENT TRAPS OR SEDIMENTATION BASINS NOT LATER THAN WHEN IT OCCUPIES 50% OF THE BASIN'S DESIGN CAPACITY.
- LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BEING DISCHARGED OFFSITE.
- ALL SPOILS (EXCAVATED MATERIAL) GENERATED FROM THE PROJECT SITE MUST BE STORED ON-SITE WITH PROPER E&S CONTROLS. FOR STORAGE OR DISPOSAL OF SPOILS AT ANOTHER SITE ON THE EDWARDS AQUIFER RECHARGE ZONE, THE OWNER OF THE SITE MUST RECEIVE APPROVAL OF A WATER POLLUTION ABATEMENT PLAN FOR THE PLACEMENT OF FILL MATERIAL OR MASS GRADING PRIOR TO THE PLACEMENT OF SPOILS AT THE OTHER SITE.
- IF PORTIONS OF THE SITE WILL HAVE A TEMPORARY OR PERMANENT CEASE IN CONSTRUCTION ACTIVITY LASTING LONGER THAN 14 DAYS, SOIL STABILIZATION IN THOSE AREAS SHALL BE INITIATED AS SOON AS POSSIBLE PRIOR TO THE 14TH DAY OF INACTIVITY. IF ACTIVITY WILL RESUME PRIOR TO THE 21ST DAY, STABILIZATION MEASURES ARE NOT REQUIRED. IF DROUGHT CONDITIONS OR INCLEMENT WEATHER PREVENT ACTION BY THE 14TH DAY, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE.
- THE FOLLOWING RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE TCEQ UPON REQUEST:
 - THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR;
 - THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; AND
 - THE DATES WHEN STABILIZATION MEASURES ARE INITIATED.
- THE HOLDER OF ANY APPROVED EDWARD AQUIFER PROTECTION PLAN MUST NOTIFY THE APPROPRIATE REGIONAL OFFICE IN WRITING AND OBTAIN APPROVAL FROM THE EXECUTIVE DIRECTOR PRIOR TO INITIATING ANY OF THE FOLLOWING:
 - A. ANY PHYSICAL OR OPERATIONAL MODIFICATION OF ANY WATER POLLUTION ABATEMENT STRUCTURE(S), INCLUDING BUT NOT LIMITED TO PONDS, DAMS, BERMS, SEWAGE TREATMENT PLANTS, AND DIVERSIONARY STRUCTURES;
 - B. ANY CHANGE IN THE NATURE OR CHARACTER OF THE REGULATED ACTIVITY FROM THAT WHICH WAS ORIGINALLY APPROVED OR A CHANGE WHICH WOULD SIGNIFICANTLY IMPACT THE ABILITY OF THE PLAN TO PREVENT POLLUTION OF THE EDWARDS AQUIFER;
 - C. ANY DEVELOPMENT OF LAND PREVIOUSLY IDENTIFIED AS UNDEVELOPED IN THE ORIGINAL WATER POLLUTION ABATEMENT PLAN.

AUSTIN REGIONAL OFFICE	SAN ANTONIO REGIONAL OFFICE
2800 S. IH 35, SUITE 100 AUSTIN, TEXAS 78704-5712 PHONE (512) 339-2929 FAX (512) 339-3795	14250 JUDSON ROAD SAN ANTONIO, TEXAS 78233-4480 PHONE (210) 490-3096 FAX (210) 545-4329

THESE GENERAL CONSTRUCTION NOTES MUST BE INCLUDED ON THE CONSTRUCTION PLANS PROVIDED TO THE CONTRACTOR AND ALL SUBCONTRACTORS.

TCEQ-0592 (REV. 7/15/15)

General Notes

- All barricades, signs, and traffic control for this project shall conform to the latest edition of the Texas Manual on Uniform Traffic Control Devices for Streets and Highways.
- The bidders for this project shall familiarize themselves with all requirements of working in state and city of Georgetown rights-of-way and easements. The bidders shall familiarize themselves with all insurance requirements for said work and shall include in their bids, insurance costs and insurance premiums that provide for the state of Texas, the city of Georgetown and the engineer as additional insured's under the contractor's policies.
- Blasting is not permitted on this project.
- All construction operations shall be accomplished in accordance with applicable regulations of the U.S. Occupational Safety And Health Administration. Copies of the OSHA standards may be purchased from the U.S. government printing office: information and related reference materials may be obtained from OSHA; 903 San Jacinto, Austin, Texas.
- These plans prepared by Kasberg, Patrick & Associates, LP, do not extend to or include designs or systems pertaining to the safety of the contractor or its employees, agents or representatives in the performance of the work. The seal of Kasberg, Patrick & Associates, LP registered professional engineer(s) hereon does not extend to any such safety systems that may now or hereafter be incorporated in the work. The contractor shall prepare or obtain the appropriate safety systems, including the plans and specifications.
- Contractor shall comply with all applicable local, state and federal requirements regarding excess and waste material, including methods of handling and disposal.
- Contractor shall maintain access to public and private facilities during construction. Construction activities shall be coordinated with the city of Georgetown community owned utilities.
- Contractor shall notify the city of Georgetown community owned utilities a minimum of 3 working days, (Monday-Friday) in advance of construction startup, followed by a letter of confirmation. Contractor shall also give a minimum of 3 working days, (Monday-Friday), notice to all authorized inspectors, superintendents or persons in charge of private and public utilities affected by his operations prior to commencement of work.
- Location of existing utilities shown on the plans was compiled from record information. No warranty is implied as to the actual location of existing utilities. Contractor shall field verify locations of existing utilities prior to the commencement of construction. Contractor should call the city of Georgetown at (512) 930-3555. If there are any conflicts between proposed and existing utilities, or if the existing utilities are in any way different from what is shown on the drawings, then it shall be the contractor's responsibility to notify the city or other affected utility before proceeding with any construction. The contractor shall be responsible for resolving all conflicts at his expense. The city of Georgetown will consider any conflicts at said locations on a case-by-case basis in order to determine if the contractor should be reimbursed for his expense in solving said conflict.
- Contractor shall make all due precautions to protect existing facilities from damage. Any damage to existing facilities incurred as a result of these construction operations are to be repaired immediately by the contractor to at least the preexisting condition at no additional cost to the city of Georgetown.
- Contractor shall coordinate interruptions of all utilities and services with all applicable utility company or companies. All work shall be in accordance with the requirements of the applicable utility company or agency involved.
- When un-located or incorrectly located underground piping or a break in a line or other utilities and services are encountered during site work operations, the contractor shall notify the applicable utility company immediately to obtain procedure directions. Contractor shall cooperate with the applicable utility company in maintaining active services in operation.
- Contractor shall locate material storage areas away from storm water conveyance systems. Contractor shall provide protected storage areas for chemicals, paints, solvents, fertilizers and other potentially toxic materials off site.
- No open burning is allowed within the Georgetown city limits. Burning is allowed in Williamson county by air curtain destructors method and prior written approval from applicable government agencies at the contractor's expense. The contractor can haul cleared vegetation to an acceptable off-site location with written approval by the owner's representative. Prior to construction the contractor shall designate to the city of Georgetown's representative, which method will be used for disposal of cleared vegetation.
- Fuel storage is not allowed on this project.
- Contractor shall advise owner immediately, verbally and in writing, of any fuel or toxic material spills onto the project construction area and the actions to be taken to remedy the problem.
- Contractor is responsible for disposing of his fuels, materials, and contaminated excavations in a legally approved manner.
- Contractor is responsible for complying with all applicable environmental laws.
- Contractor is responsible for providing and maintaining sanitary facilities on this project for employees.
- Contractor shall coordinate all materials testing, including soil density tests and related soils analysis. Tests shall be accomplished by an independent laboratory under contract with the city of Georgetown, at the frequency, time and location as specified in the technical specifications. A copy of the test results shall be forwarded to the city of Georgetown's representative, the city of Georgetown utilities, and the contractor. Tests, which show unsatisfactory results, shall be repeated at the expense of the contractor subsequent to the contractor's remedial activities.
- The trench excavation and shoring safety plan system as required by the laws of the state of Texas and as outlined in the technical specifications will be required as a minimum trench safety measure and shall be submitted to the city of Georgetown for acceptance prior to the beginning of construction. Implementation of the submitted trench safety plan shall be the sole responsibility of the contractor.
- Existing paving, buildings and other items shown on the plans is not specifically related to the work of the contractor and is shown for information only.
- Any water hauled to the site during the installation shall be paid by the contractor.
- TxDOT requires 48-hour notification prior to any proposed work in state right of way.
- This project is a calendar day project and therefore shall be void of rain days as credit to construction time. The city of Georgetown will not accept rain days unless a month within the project time has had rain days in excess of the average rain days for that month. Days of drying for the project site will not be considered.

Month	Rain Days	Month	Rain Days
January	7 days	July	6 days
February	7 days	August	5 days
March	7 days	September	7 days
April	7 days	October	7 days
May	8 days	November	7 days
June	6 days	December	7 days

Construction Layout/Project Coordination

- The city of Georgetown will provide the daily on-site construction representation for this project.
- Pre-construction conference
A. Prior to beginning work on the project and soon after the award of the contract, a conference will be held among the representatives of the city of Georgetown, the engineer, the contractor, and any subcontractor that will be involved in the work. At that time, the contractor shall submit charts or briefs, outlining the manner of execution of the work that is intended in order to complete the specified work within the allotted time. This conference will more completely establish the sequence of work to be followed and establish the estimated progress schedule for completion of the various tasks. When applicable, the pre-construction conference will be held only after installation of the erosion and sedimentation controls. This conference may take place on the site to demonstrate competence with the erosion and

sedimentation control plan and water pollution abatement plan.

- B. In addition, at this conference, the contractor shall be responsible for furnishing the engineer with all of the following, as specified herein or as directed by the engineer:
- Samples of all materials to be used on the project with identification as to product name; name, location, phone number (including area code) and mailing address of product source and manufacturer, if different from source; content of product; amount of each ingredient in the product, and manufacturer's directions as to use and application of the product, if applicable.
 - Manufacturer's literature of all materials and equipment installed on the project.
- Protection of vehicular and pedestrian traffic is of the utmost importance for the project. The traffic control and sequence of construction plan shall address all anticipated situations in this regard with sufficient detail. The contractors plan will be reviewed by local TxDOT officials and the City of Georgetown.
 - The plans for this project show proposed elevations, slopes and dimensions that are intended for actual placement. However, there may be some instances where existing conditions make it impractical to achieve the ideal. In those instances, the city of Georgetown will assist the contractor in making proper field changes to better account for field conditions.
 - The engineer for the project shall mark the limits of construction prior to commencement of the project.

Site Grading Notes

- Contractor shall control dust caused by the work and comply with pollution control regulations of governing authorities.
- Contractor shall remove built up material on adjacent public roadways resulting from his work. Cleaning shall be at least once a day.
- Contractor shall protect stockpiled material such that storm water will not adversely affect erosion control, sidewalks, traffic, private property, or the San Gabriel River.
- Required fill embankment shall be placed and compacted per technical specifications in maximum 6-inch loose lifts and compacted as stated in the specifications.

Paving And Concrete Notes

- Any existing pavement, curbs and/or sidewalk damaged or removed by the contractor that are not a part of this contract shall be repaired by the contractor to at least the preexisting condition at his expense before acceptance of the work.
- The contractor shall provide the city of Georgetown community owned utilities engineer with a barricade and signing plan, which will include how traffic will be handled during construction. The barricades, signs and lights shall conform to the latest edition of the Texas Manual On Uniform Traffic Control Devices For Streets And Highways.
- All concrete to be class "a" for site work per technical specifications and all reinforcing steel to be ASTM A-615 grade 60, unless otherwise noted.
- Natural subgrade - loose, disturbed or undisturbed natural subgrade beneath pavement should be scarified and rolled. Subgrade compactions shall not exceed 100%. Proof-rolling and preparation of subgrade shall be in accordance with TxDOT Item 216 "proof rolling" and Item 132 embankment.
- Concrete rip rap shall be 4-inch thickness, class "b" concrete with 6" x 6" x #6 welded wire flat-sheet mesh. Finished concrete shall receive a broom finish and sprayed with type 2 membrane curing compound. The rip rap shall be placed with a 24-inch depth by 6-inch wide toe ditch at the bottom of slope edge and with an 18-inch depth by 6-inch wide toe ditch at the top of slope edge.

Project Notes

- The contractor to contact the city of Georgetown at (512) 930-3555 for existing utility locations prior to any excavation. In advance of construction, the contractor shall verify the locations of all utilities to be extended, tied to or altered, or subject to damage/inconvenience by the construction operations. The city of Georgetown water and wastewater maintenance responsibility ends at right-of-way row\ easement lines.
- Contractor shall strip 6 inches of topsoil from all areas subject to grade modifications. Contractor shall remove any area of weak soil.
- Within city of Georgetown right-of-way, residential driveways shall have a 10% maximum grade. Non residential driveways are to have a 3% maximum grade for the first thirty (30) feet off the edge of pavement.
- The contractor shall be responsible and liable for all job site safety, management of job site personnel, supervision of the use of job site equipment and direction of all construction procedures, methods and elements required to complete the construction of the proposed improvements.
- The contractor shall protect all existing fences. In the event that a fence shall be removed, the contractor shall replace said fence or portion thereof with the same type of fencing to a quality of equal or better than the original fence.
- The contractor shall apply for a construction water meter through the City of Georgetown Utility Department. All fees and costs associated with the application process and monthly water bills are the responsibility of the contractor and are considered subsidiary to the project.

Testing And Submittals

- The contractor shall be responsible for providing material samples as well as any manufacturers literature of materials used on this project as required by the engineer. Any costs associated with any sampling and testing shall be the responsibility of the contractor. These costs shall be considered as incidental and the contractor will not be entitled to any additional compensation.
- The contractor shall be responsible for and pay for all charges of testing laboratories for services in connection with initial tests made on all imported materials to the project sites including but not limited to embedment materials, fill material, backfill material, select material, crushed limestone base, subbase, concrete, steel, wood forms, liquid asphalt, aggregate, water, cement, curing compound, guard rail, etc. The tests for which the contractor will typically be responsible are Atterberg limits, sieve analysis, plasticity indices, mix design, California bearing ratios, proctors (moisture density curves) and all tests required by the specifications that prove the material brought to the project sites meets or exceeds the specifications and contract documents. The owner, the city of Georgetown, will pay all the charges of testing laboratories for services in connection with in place field densities, concrete cylinders testing, HMAC density tests and any in place test required for quality assurance. Retesting after failure of in place tests shall be at the expense of the contractor.

Americans With Disabilities Act

- This project is intended to conform to the Americans With Disabilities Act.
- The contractor shall be aware of construction procedures, finished product requirements of this act, and coordinate all activities to satisfy this act.

Electric Notes

- For all nonresidential and multifamily development where no existing overhead infrastructure exists, underground electric lines shall be required along the streets and within the site.
- Where existing overhead infrastructure is to be relocated, it shall be re-installed underground and the existing facilities shall be removed at the discretion of the development engineer.
- All electric must follow all portions of UDC 13.06.

GENERAL

MON	MONUMENT
	FLAG POLE
IPS	IRON PIN SET
IPF	IRON PIN FOUND
d	SIGN
BM	BENCHMARK
	TREE SYMBOL
NS	NAIL SET/FOUND
FND	"X" IN CONCRETE FOUND/SET (LABEL)
BH	BORE HOLE
BP	BOLLARD POST
FP	FENCE POST
	GROUND LIGHT
GR	GROUNDING ROD
RRCBX	RAILROAD CONTROL BOX
	MARKER SIGN
MBX	MAIL BOX

ELECTRIC

EB	ELECTRIC BOX
LP	LIGHT POLE
PP	POWER POLE
GUY	GUY
JBX	MANHOLE
	JUNCTION BOX
TSP	TRAFFIC SIGNAL POLE/BOX/CONTROL PANEL

TELECOMM/CABLE

TRB	TELEPHONE RISER BOX
T	MANHOLE
CBX	CABLE BOX
CPED	CABLE PEDESTAL
JBX	JUNCTION BOX
TP	TELEPHONE POLE
PBX	PULL BOX

WATER

LFH	FIRE HYDRANT
WV	WATER VALVE 1
WV	WATER VALVE 2
WM	WATER METER
W	MANHOLE
I	PIPE FITTING
	REDUCER
HB	HOSE BIB
SCBX	SPRINKLER CONTROL BOX
SCV	SPRINKLER CONTROL VALVE

WASTEWATER

WW	MANHOLE
I	PIPE FITTING
CO	CLEANOUT

STORM SEWER

S	MANHOLE
	AREA DRAIN

GAS

GM	GAS METER
----	-----------

COVEY

Planning + Landscape Architecture

800 South Austin Avenue
Georgetown, Texas 78626
512.887.5311



Project:

GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS MADISON OAKS PARK

GEORGETOWN, TEXAS

Project Number:

22-CLA503



CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES ON THE PLANS.

Designed: ISI

Drawn: ISI

Reviewed: TWR

Submittal Date:

FEBRUARY 3, 2025

Revisions:

Sheet Title:

TCEQ & GENERAL NOTES AND LEGEND

Sheet Number:

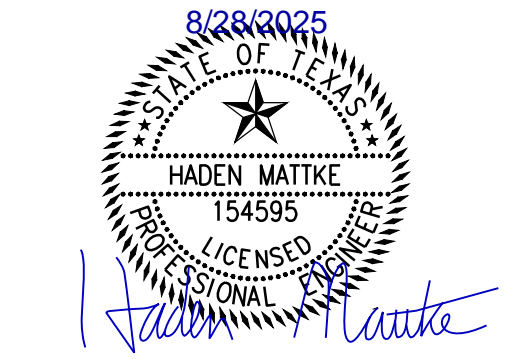
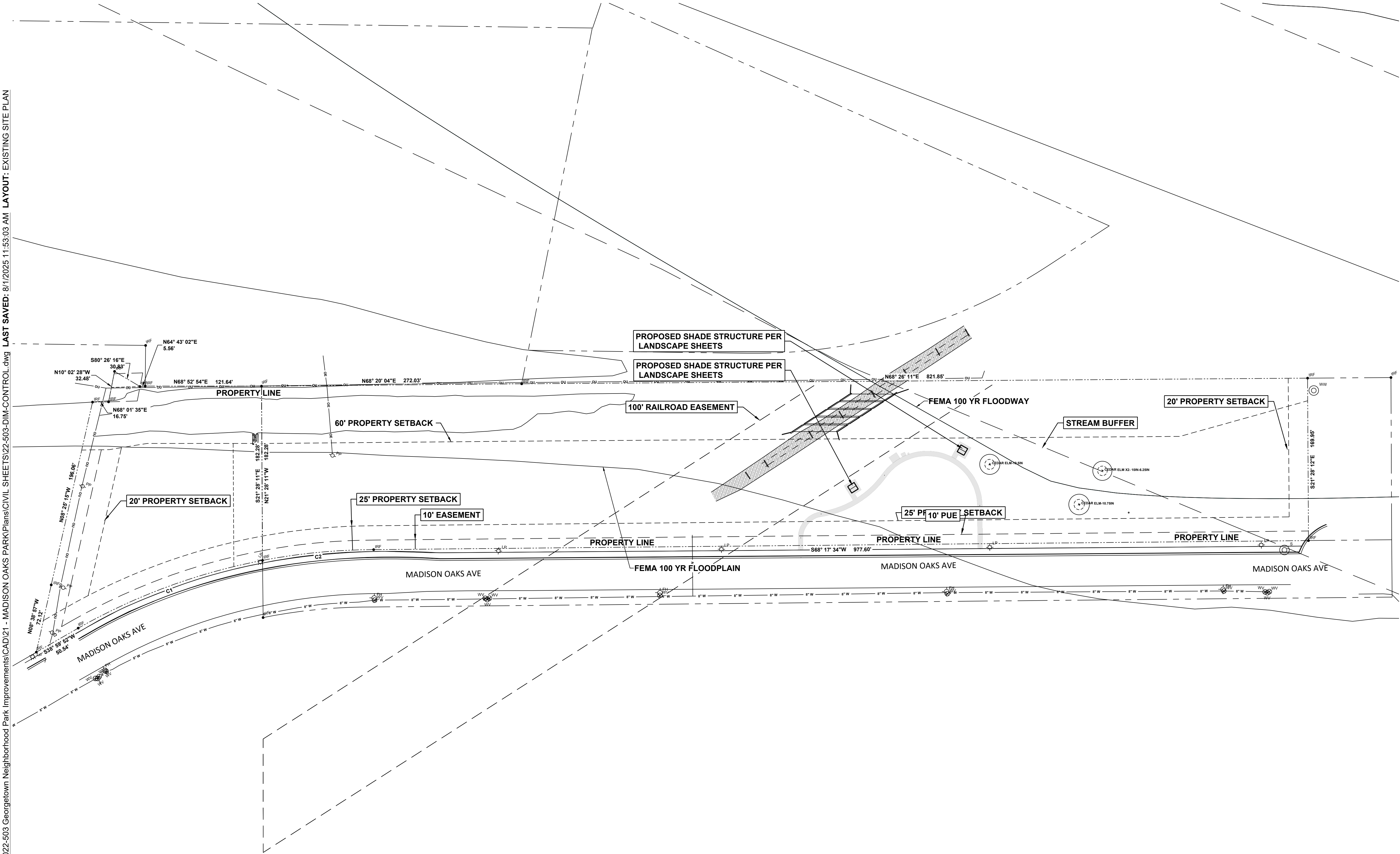
C-01

SHEET 05 OF 32

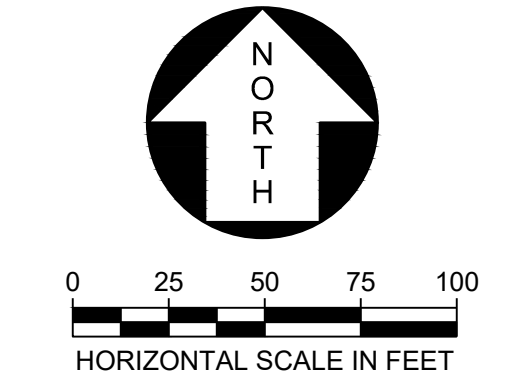
Application Number:

2025-18-SDP

FILE: P:\Georgetown\2022\2022-503 Georgetown Neighborhood Park Improvements\CAD\21 - MADISON OAKS PARK\Plans\CIVIL SHEETS\22-503-DIM-CONTROL.dwg LAST SAVED: 8/1/2025 11:53:03 AM LAYOUT: EXISTING SITE PLAN



Project:
**GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
MADISON OAKS
PARK**



GEORGETOWN, TEXAS

Project Number:
22-CLA503



Designed: ISI

Drawn: ISI

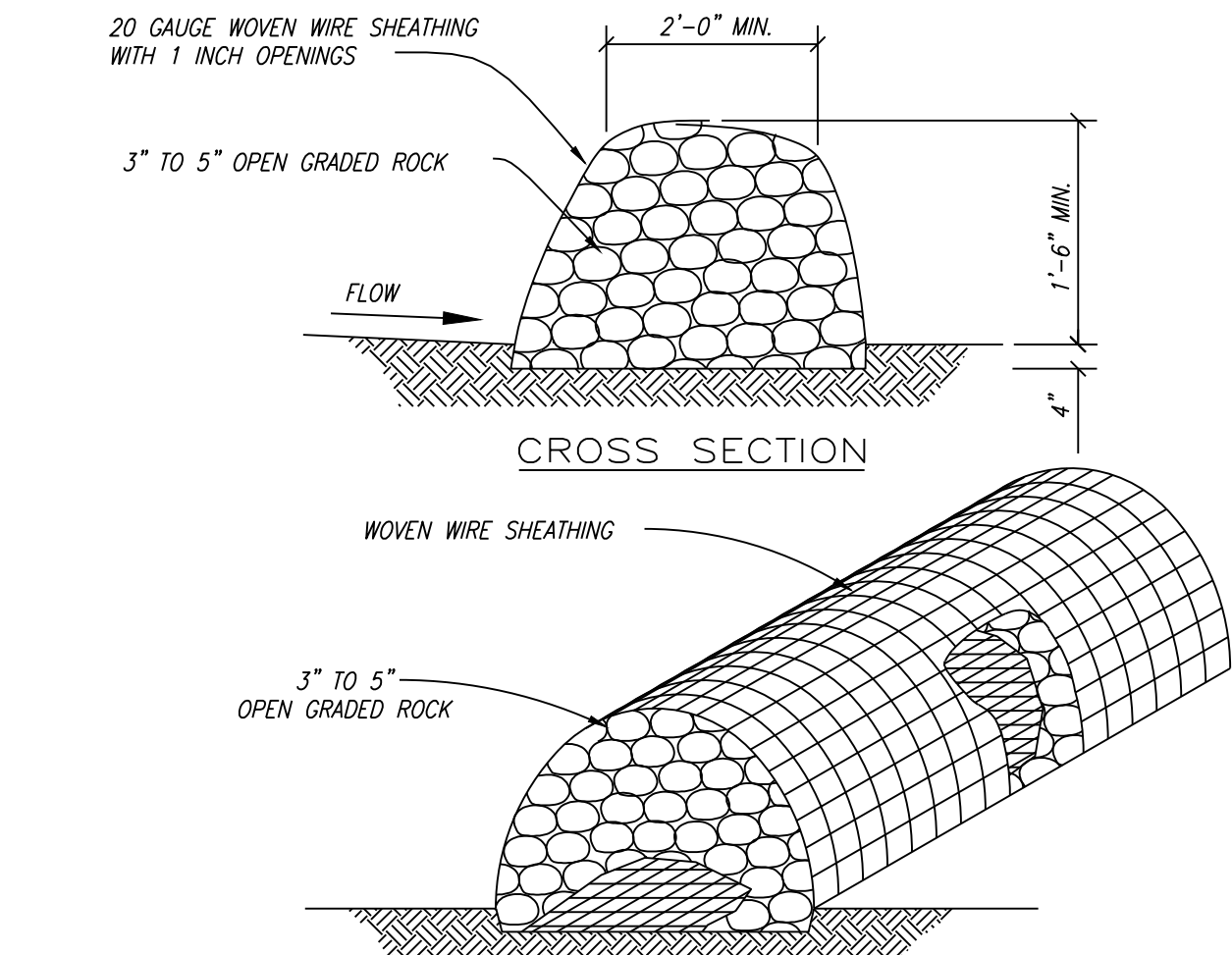
Reviewed: TWR

Submittal Date:
FEBRUARY 3, 2025

Revisions:

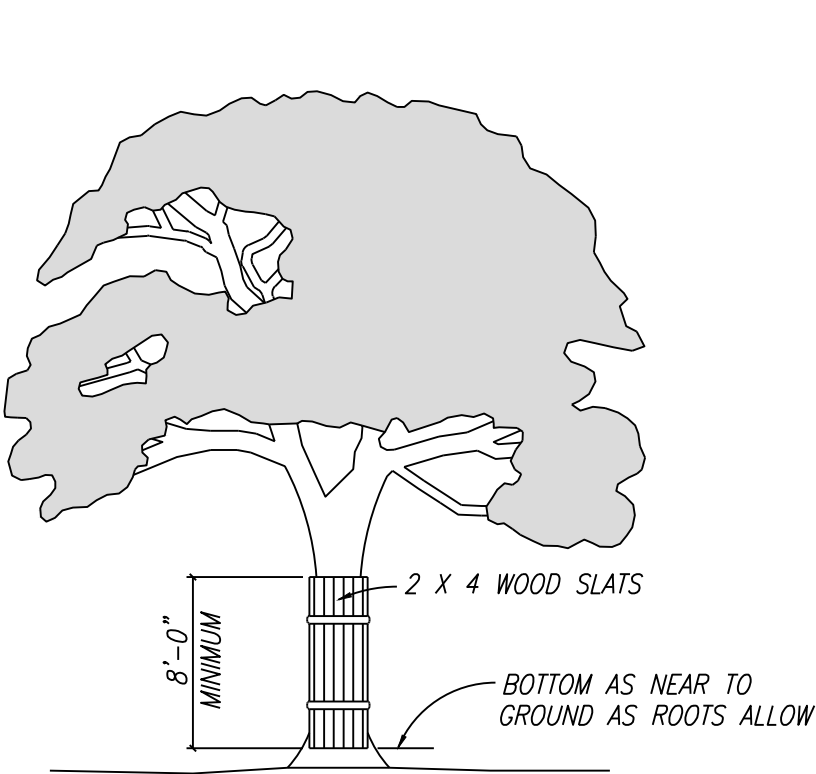
Sheet Title:
EXISTING SITE PLAN

Sheet Number:
C-02
SHEET 06 OF 32
Application Number:
2025-18-SDP



- Layout the silt fence following as closely as possible to the contour.
- Clear the ground of debris, rocks, plants (including grasses taller than 2") to provide a smooth flow approach surface. Excavate 4" deep x 4" wide trench on upstream side of face per plans.
- Drive the heavy duty t-post at least 12 inches into the ground and at a slight angle towards the flow.
- Attach the 2" x 4" 12 gauge welded wire mesh to the t-post with 11 1/2 gauge galvanized t-post clips. The top of the wire to be 24" above ground level. The welded wire mesh to be overlapped 6" and tied at least 6 times with hog rings.
- The silt fence to be installed with a skirt a minimum of 11" wide placed on the uphill side of the fence inside excavated trench. The fabric to overlap the top of the wire by 1".
- Anchor the silt fence by backfilling with excavated dirt and rocks.
- Geotextile splices should be a minimum of 18" wide attached in at least 6 places. Splices in concentrated flow areas will not be accepted.

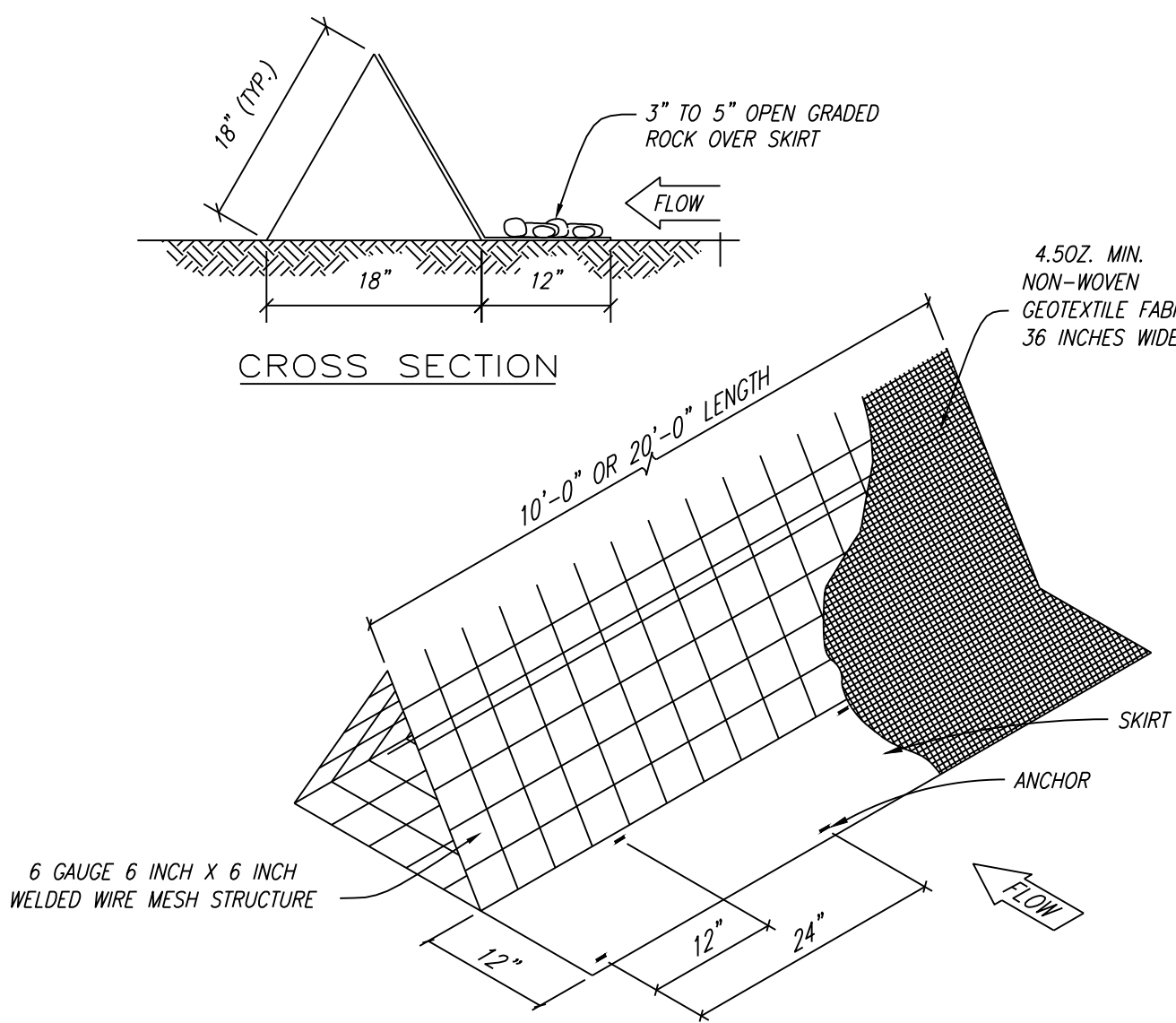
NOT TO SCALE



NOTES

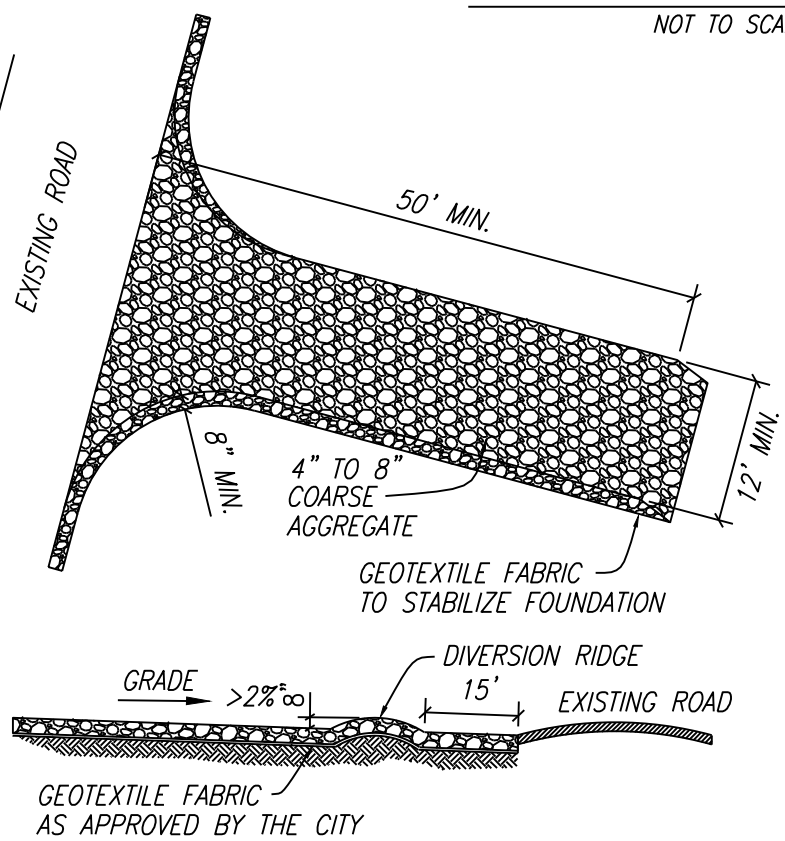
1. WHERE ANY EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN FOUR FEET (4'-0") TO A TREE TRUNK PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A MINIMUM OF 12" ABOVE THE GROUND. SET THE LIMITS OF LOWER BRANCHING IN ADDITION TO THE REDUCED FENCING PROVIDED.
2. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN TWO (2) DAYS, COVER WITH MULCH OR ORGANIC MATERIAL TO PREVENT DRYING OF THE EXPOSED SOIL. TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
3. PRIOR EXCAVATION OR GRADE CUTTING WITHIN TREE DRILLPIE. MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW. MINIMIZE THE DISTURBANCE TO THE UNDISTURBED ROOT ZONE.
4. TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES SHOULD BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS SHOULD BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
5. LEADY DRAINAGE REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
6. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN FOUR INCHES (4") SHALL BE PERMITTED WITHIN THE DRILLPIE OF A TREE. NO SOIL IS PERMITTED ON THE ROOT FLARE OF A TREE.
7. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS.

NOT TO SCALE



- Lay out the filter dike following as closely as possible to the contour.
- Clear the ground of debris, rocks or plants that will interfere with installation.
- Place the filter dike sections one at a time, with the skirt on the uphill side towards the direction of flow anchoring each section to the ground before the next section is placed.
- Anchors should be placed on 2'-0" centers alternating from front to back so that there is actually only 1'-0" in between anchors.
- Securely fasten the skirt from one section of filter dike to the next.
- Filter dikes shall maintain continuous contact with the ground.
- After the site is completely stabilized, the dikes and any remaining silt should be removed.
- Silt should be disposed of in a manner that will not contribute to additional siltation.

NOT TO SCALE



- Clear the area of debris, rocks or plants that will interfere with installation.
- Grade the area for the entrance to flow back on to the construction site. Runoff from the stabilized construction area should not be allowed to flow onto the adjacent road.
- Entrance onto a public street will not be accepted.
- Place geotextile fabric if required.
- Place rock as required.

- The entrance should be maintained in a condition, which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment.
- All sediment spilled, dropped, washed or tracked on to public rights-of-way should be removed immediately by contractor.
- When necessary, wheels should be cleaned to remove sediment prior to entrance onto public rights-of-way.
- When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin.
- All sediment should be prevented from entering any storm drain, ditch or water course by using approved methods.

NOT TO SCALE

Filter fabric to extend 5'-0" beyond inlet opening, upstream of inlet. Terminate fabric in street gutter with sand bags placed in gutter flowline.

From September 15 to March 1, seeding to be with a combination of 2 pounds per 1,000 square feet of unhulled bermuda and 2 pounds per 1,000 square feet of winter rye with a purity of 95% with 90% germination. From March 2, to September 14, seeding to be with hulled bermuda grass (cynodon dactylon) at a rate of 2 pounds per 1,000 square feet with a purity of 95% with 85% germination.

13. Any root exposed by construction activity to be pruned flush with the soil. Backfill root areas with good quality topsoil as soon as possible. If exposed root areas are not backfilled within two days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.

16. Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development immediately adjacent to a protected tree, erect the fence approximately two to four feet (2'-4') behind the area in question.

18. If erosion and sedimentation control systems are existing from prior contracts, owner's representative and the contractor to examine the existing erosion and sedimentation control systems for damage prior to construction. Any damage to preexisting erosion and sedimentation controls noted to be repaired at owners expense.

19. Intentional release of vehicle or equipment fluids onto the ground is not allowed. contaminated soil resulting from accidental spill to be removed and disposed of properly.

AUGUST 4, 2025

GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
MADISON OAKS
PARK

22-CLA503

Revisions:

TREE PROTECTION AND EROSION CONTROL NOTES AND DETAILS

C-03

PAGE 07 OF 23 SHEETS

Application Number:

2025-18-SDP



AUGUST 4, 2025

Project:

GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
MADISON OAKS
PARK



0 10 20 30 40
HORIZONTAL SCALE IN FEET

GEORGETOWN, TEXAS

Project Number:

22-CLA503



CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA.
CONTRACTOR IS RESPONSIBLE FOR
DETERMINING THE HORIZONTAL AND VERTICAL
LOCATION OF ALL UTILITIES PRIOR TO
CONSTRUCTION. CONTRACTOR SHALL BE
RESPONSIBLE FOR ANY REPAIRS TO EXISTING
UTILITIES DUE TO DAMAGE INCURRED DURING
CONSTRUCTION. CONTRACTOR SHALL NOTIFY
THE LANDSCAPE ARCHITECT OF ANY
DISCREPANCIES ON THE PLANS.

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date:

August 4, 2025

Revisions:

Sheet Title:

TREE PROTECTION AND
EROSION CONTROL
NOTES AND DETAILS

Sheet Number:

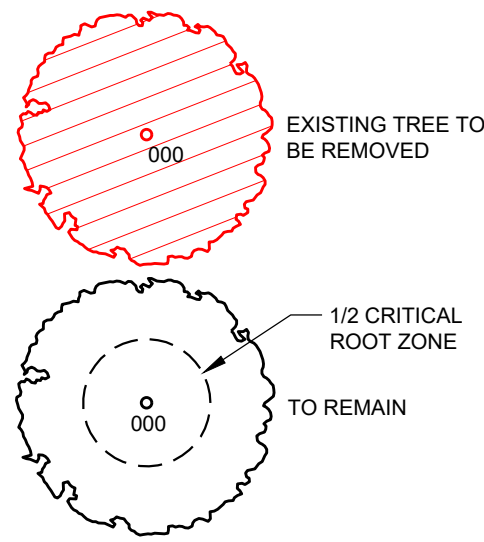
C-04

PAGE 08 OF 23 SHEETS

Application Number:

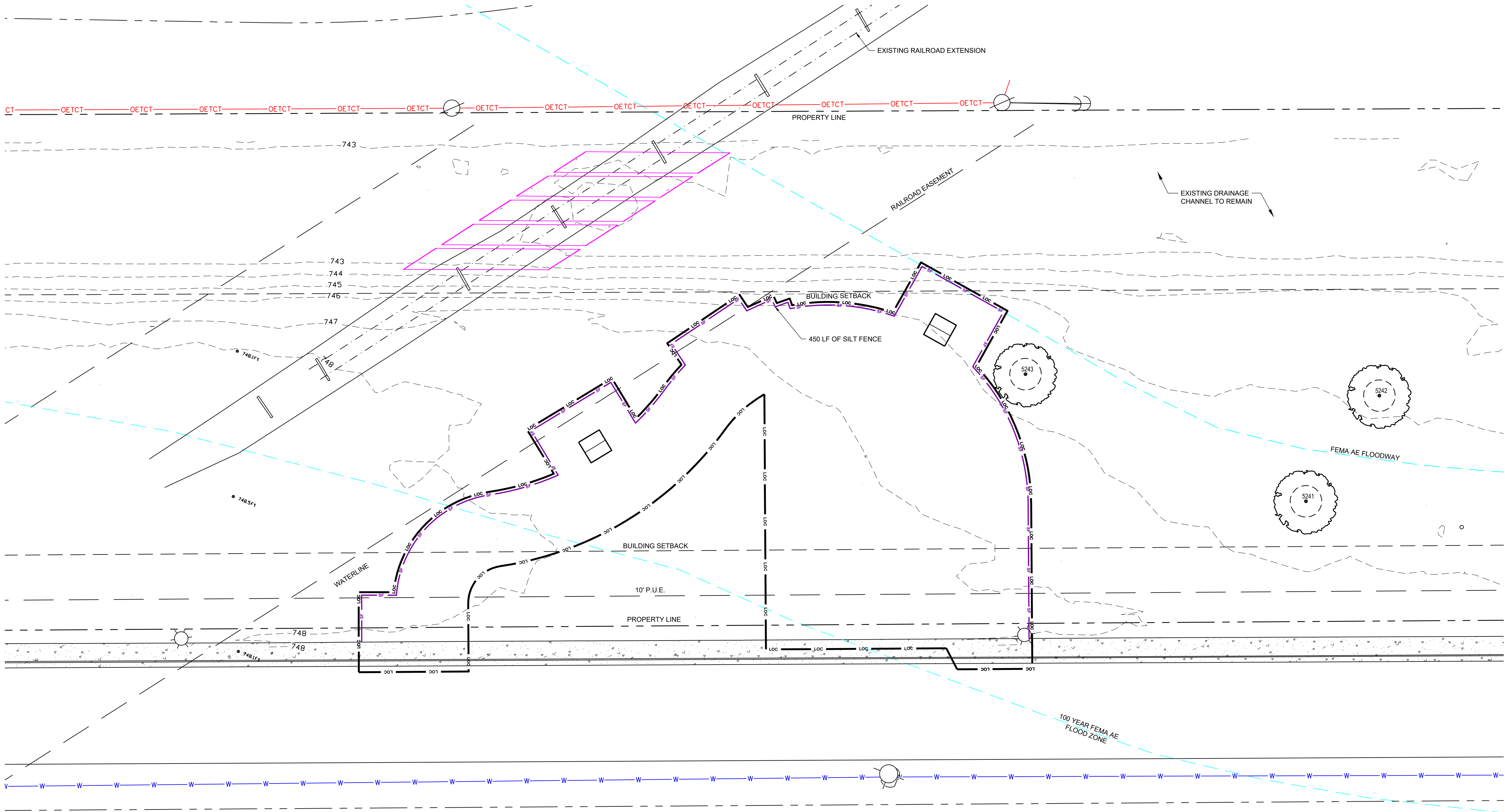
2025-18-SDP

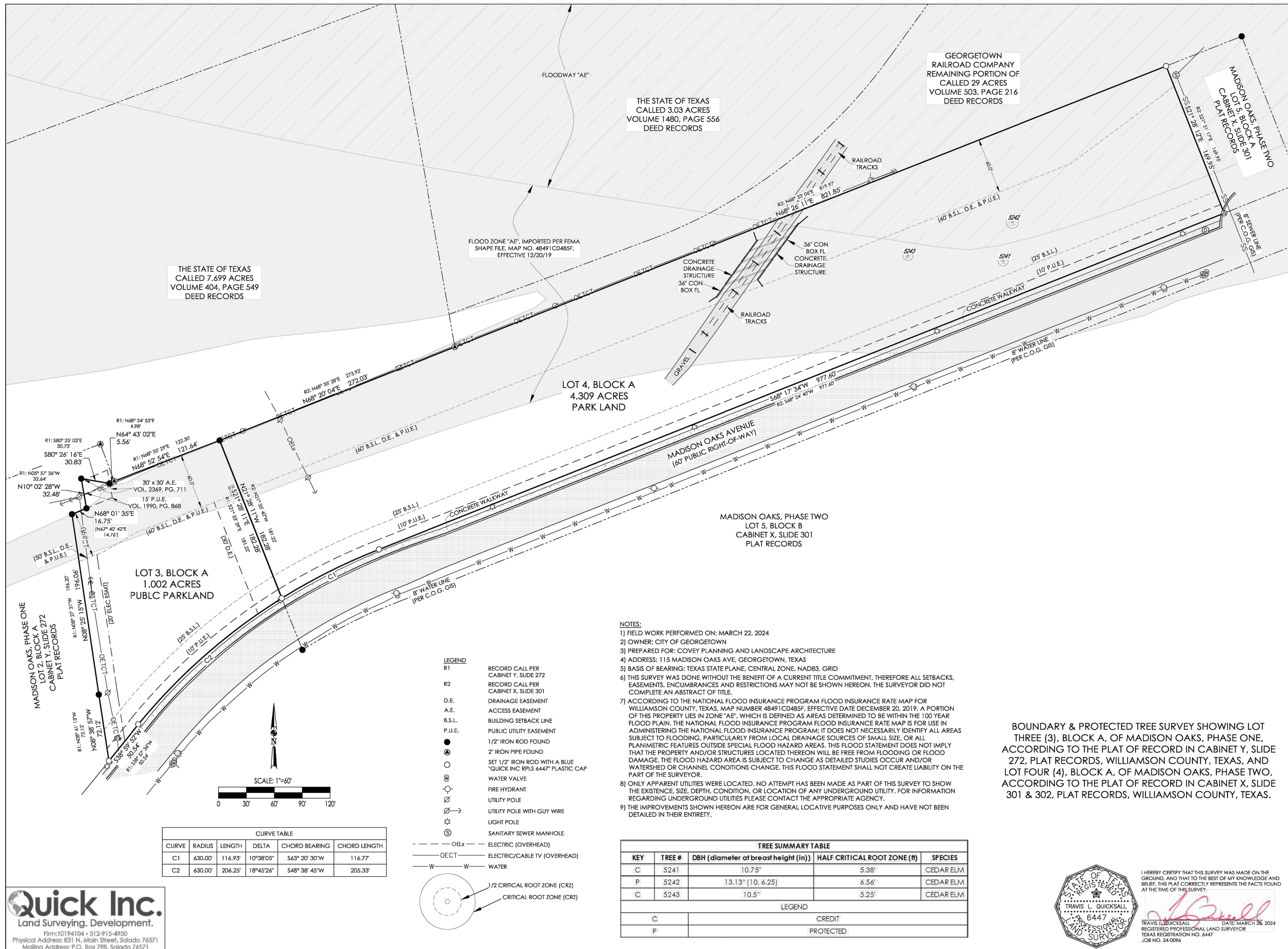
TREE SYMBOL LEGEND



SITE SYMBOL LEGEND

- (1) RECORD CALL PER CABINET Q, SLIDE 1-3
- 1/2" IRON ROD FOUND
- SET 1/2" IRON ROD WITH A BLUE "QUICK INC RPLS 6447" PLASTIC CAP
- [S] SIGN TO REMAIN
- [E] ELECTRIC BOX TO REMAIN
- [W] WATER METER TO REMAIN
- [B] WATER VALVE TO REMAIN
- [D] STORM DRAIN MANHOLE TO REMAIN
- [T] TELEPHONE PEDESTAL TO REMAIN
- [S] SANITARY SEWER MANHOLE TO REMAIN
- [MB] MAILBOX TO REMAIN
- W WATER
- ELX ELECTRIC (UNDERGROUND)
- SS SANITARY SEWER
- FEMA 100 YEAR FLOOD PLAIN
- TP TREE PROTECTION FENCE
- SF SILT FENCE
- LOC LIMIT OF CONSTRUCTION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- OETCT OVERHEAD COMMUNICATIONS







AUGUST 4, 2025

Project:

GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
MADISON OAKS
PARK

GEORGETOWN, TEXAS

Project Number:

22-CLA503



CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA.
CONTRACTOR IS RESPONSIBLE FOR
DETERMINING THE HORIZONTAL AND VERTICAL
LOCATION OF ALL UTILITIES PRIOR TO
CONSTRUCTION. CONTRACTOR SHALL BE
RESPONSIBLE FOR ANY REPAIRS TO EXISTING
UTILITIES DUE TO DAMAGE INCURRED DURING
CONSTRUCTION. CONTRACTOR SHALL NOTIFY
THE LANDSCAPE ARCHITECT OF ANY
DISCREPANCIES ON THE PLANS.

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date:

August 4, 2025

Revisions:

Sheet Title:

TREE PROTECTION AND
EROSION CONTROL
NOTES AND DETAILS

Sheet Number:

C-06

PAGE 10 OF 23 SHEETS

Application Number:

2025-18-SDP

Tree Schedule						
Key	Tree #	Size (INCHES)	Half Critical Root Zone (In Feet)	Botanical Name	Common Name	Notes
C	5241	11"	5.5'	Ulmis cressifolia	CEDAR ELM	
P	5242	14"	7"	Ulmis cressifolia	CEDAR ELM	
C	5243	11"	5.5'	Ulmis cressifolia	CEDAR ELM	
Key Legend		P=	Protected		D=	Dead or Diseased
		HT=	Heritage		NP=	Not Protected
		R=	Removal Protected		C=	Credit
		R-HT=	Removal Heritage		PS=	Prohibited Species
All protection will be performed in accordance with Section 8 of the City of Georgetown Municipal Code.						



Tree Mitigation Summary Template

Tree Mitigation Summary

Required Protected Tree Preservation Percentage (UDC Sec. 8.02.030.E)
Percentage of Protected Trees that must be retained on site (not applicable to residential subdivisions or Heritage Trees)

Project acreage: 4.27
Total number of Protected Trees (this does not include Heritage trees) existing on-site (before removals): 1
Average number of protected trees per acre (total protected existing trees/total acres): 0.23
Applicable Required Protected Tree Preservation percentage (20% if 11 or more trees/acre; 30% if 10 or less per acre) Some PUDs may have greater required percentages: 30%
Number of existing protected trees to remain on-site (total protected trees x required protected preservation percentage): 1

Owed Mitigation for Protected Removals 8.02.040.C.1.

Total protected inches removed 0
Protected tree mitigation inches owed within the required percentage (40% times total protected removed inches) at 1:1 ratio: N/A
Protected tree mitigation inches owed more than the allowable percentage (for trees removed past 20% or 30% (site dependent) the ratio increases of 1.5:1 (then these inches removed times 40%): N/A
Overall protected tree mitigation inches owed (total of all protected categories): N/A

Credit Trees – On-Site Existing Trees (3 - <12" trees only) 8.02.040C.2.
May count for up to 75% of overall required Protected Tree mitigation inches (does not count towards Heritage Tree mitigation)
Note: Credit trees count tree per tree toward landscape requirement tree replacements not in inches (see 8.04.020)

Maximum available on-site credit tree inches discount (total protected inches removed x 75%): N/A
Number of on-site credit tree inches (6 - <12" trees) utilized (note: ratio differs for residential vs. non-residential see details and requirements in the UDC): N/A
Number of on-site credit tree inches (3 - <6" trees) utilized (note: ratio and requirements in the UDC): N/A

On-Site Replacement (Planted) Trees 8.02.040.C.3.
Inches of shade trees planted on-site (Shade trees must be a minimum of 3" caliper and from the City's Preferred list see additional requirements in the UDC): 0

Soil Aeration & Supplemental Nutrients Credit – Up To 30% 8.02.040.C.5.
Must provide Fiscal Surety before Certificate of Occupancy may be Issued

Maximum dollar amount that can count towards soil aeration & supplemental nutrient credit (use amount calculated for fee-in-lieu of all protected tree mitigation owed x 30%): N/A
Soil aeration and supplemental nutrient payment: N/A
Total inches used for soil aeration or supplemental nutrient: N/A

Owed Mitigation for Heritage Tree Removals 8.02.030.C.1.b.

Overall Heritage Tree mitigation inches owed (at 3:1 ratio): N/A
Total inches of trees planted (minimum size is 3" caliper shade tree from the preferred list): N/A

Cash Payment 8.02.040.C.4.b.
Goes into the Tree Fund for both Protected and Heritage Trees


The amount owed by fee-in-lieu (total fee protected and heritage): N/A
Protected Tree fee-in-lieu payment (there are two fee categories of protected trees 12-17", 18-25". Trees which are 26"+ of non-heritage species have a 2:1 ratio at the larger protected size fee 8.02.020 C.1. cost per inch is described in 8.02.020 C.4.: N/A
Heritage Tree fee-in-lieu payment (3:1 x \$225/inch): N/A

UDC Development Manual
Effective: September 18, 2023

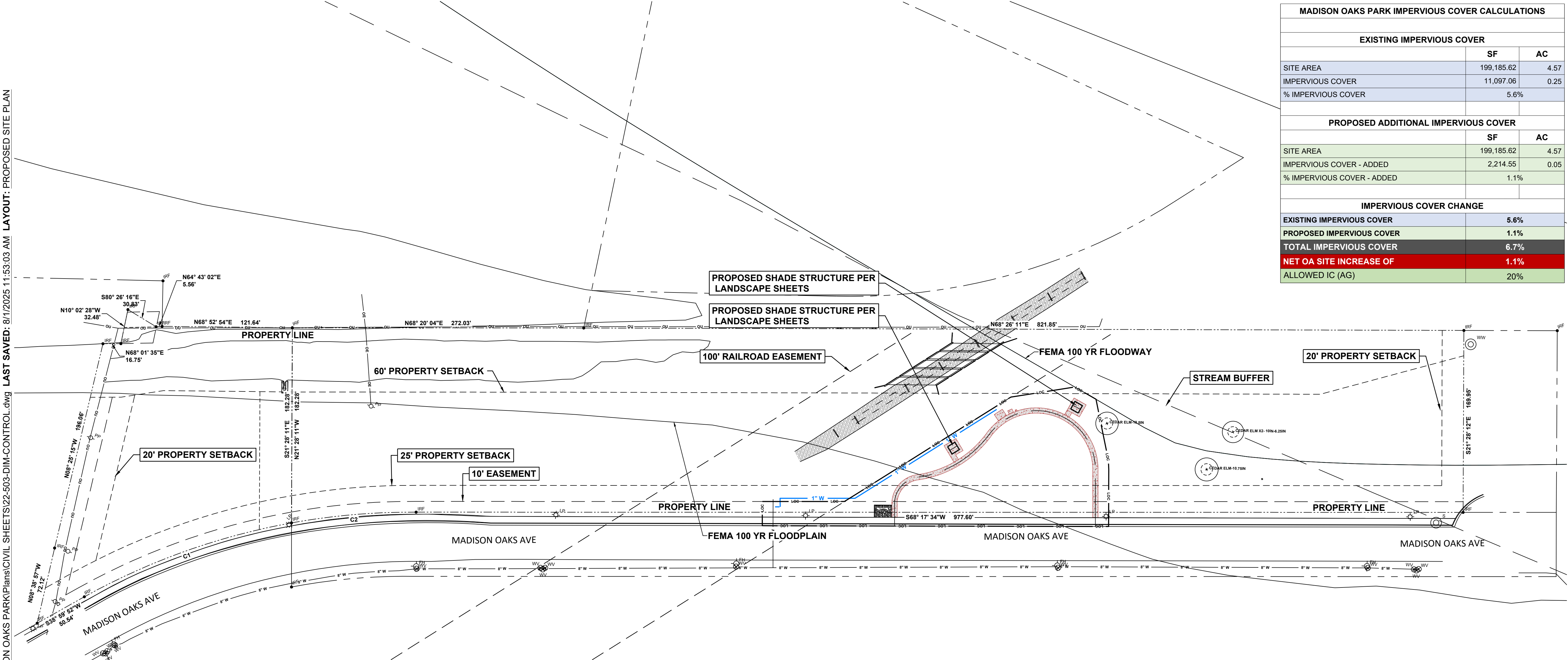
City of Georgetown, Texas
www.georgetown.org

Tree Mitigation Summary
Page 1 of 1

I PATRICK CAVANAUGH , CERTIFIED ARBORIST (#WE-10004A) HEREBY CERTIFY THAT THE TREE SPECIES SURVEYS ARE ACCURATE SIZE AND SPECIES. ALL TREES ARE HEALTHY.


WF-10004A
CERTIFIED ARBORIST SIGNATURE AND LICENSE NUMBER

FILE: P:\Georgetown\2022\2022-503 Georgetown Neighborhood Park Improvements\CAD\21 - MADISON OAKS PARK\Plans\CIVIL SHEETS\22-503-DIM-CONTROL.dwg LAST SAVED: 8/1/2025 11:53:03 AM LAYOUT: PROPOSED SITE PLAN



MADISON OAKS PARK IMPERVIOUS COVER CALCULATIONS		
EXISTING IMPERVIOUS COVER		
	SF	AC
SITE AREA	199,185.62	4.57
IMPERVIOUS COVER	11,097.06	0.25
% IMPERVIOUS COVER	5.6%	
PROPOSED ADDITIONAL IMPERVIOUS COVER		
	SF	AC
SITE AREA	199,185.62	4.57
IMPERVIOUS COVER - ADDED	2,214.55	0.05
% IMPERVIOUS COVER - ADDED	1.1%	
IMPERVIOUS COVER CHANGE		
EXISTING IMPERVIOUS COVER	5.6%	
PROPOSED IMPERVIOUS COVER	1.1%	
TOTAL IMPERVIOUS COVER	6.7%	
NET OA SITE INCREASE OF	1.1%	
ALLOWED IC (AG)	20%	

- CITY OF GEORGETOWN CONSTRUCTION NOTES**
- THESE CONSTRUCTION PLANS WERE PREPARED, SEALED AND DATED BY A TEXAS LICENSED PROFESSIONAL ENGINEER. THEREFORE BASED ON THE ENGINEER'S CONCURRENCE OF COMPLIANCE, THE CONSTRUCTION PLANS FOR CONSTRUCTION OF THE PROPOSED PROJECT ARE HEREBY APPROVED SUBJECT TO THE STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS MANUAL AND ALL OTHER APPLICABLE CITY, STATE AND FEDERAL REQUIREMENTS AND CODES.
 - THIS PROJECT IS SUBJECT TO ALL CITY STANDARD SPECIFICATIONS AND DETAILS IN EFFECT AT THE TIME OF SUBMITTAL OF THE PROJECT OF THE CITY.
 - THE SITE CONSTRUCTION PLANS SHALL MEET ALL REQUIREMENTS OF THE APPROVED SITE PLAN.
 - WASTEWATER MAINS AND SERVICE LINES SHALL BE SDR 26 PVC.
 - WASTEWATER MAINS SHALL BE INSTALLED WITHOUT HORIZONTAL OR VERTICAL BENDS.
 - MAXIMUM DISTANCE BETWEEN WASTEWATER MANHOLES IS 500 FEET.
 - WASTEWATER MAINS SHALL BE LOW PRESSURE AIR TESTED AND MANDREL TESTED BY THE CONTRACTOR ACCORDING TO CITY OF GEORGETOWN AND TCEQ REQUIREMENTS.
 - WASTEWATER MANHOLES SHALL BE VACUUM TESTED AND COATED BY THE CONTRACTOR ACCORDING TO CITY OF GEORGETOWN AND TCEQ REQUIREMENTS.
 - WASTEWATER MAINS SHALL BE CAMERA TESTED BY THE CONTRACTOR AND SUBMITTED TO THE CITY ON DVD FORMAT PRIOR TO PAVING THE STREETS.
 - PRIVATE WATER SYSTEM FIRE LINES SHALL BE TESTED BY THE CONTRACTOR TO 200 PSI FOR 2 HOURS.
 - PRIVATE WATER SYSTEM FIRE LINES SHALL BE DUCTILE IRON PIPING FROM THE WATER MAIN TO THE BUILDING SPRINKLER SYSTEM, AND 200 PSI C900 PVC FOR ALL OTHERS.
 - PUBLIC WATER SYSTEM MAINS SHALL BE 150 PSI C900 PVC AND TESTED BY THE CONTRACTOR AT 150 PSI FOR 4 HOURS.
 - ALL BENDS AND CHANGES IN DIRECTION ON WATER MAINS SHALL BE RESTRAINED AND THRUST BLOCKED.
 - LONG FIRE HYDRANT LEADS SHALL BE RESTRAINED.
 - ALL WATER LINES ARE TO BE BACTERIA TESTED BY THE CONTRACTOR ACCORDING TO THE CITY STANDARDS AND SPECIFICATIONS.
 - WATER AND SEWER MAIN CROSSINGS SHALL MEET ALL REQUIREMENTS OF THE TCEQ AND THE CITY.
 - FLEXIBLE BASE MATERIAL FOR PUBLIC STREETS SHALL BE TXDOT TYPE A GRADE 1.
 - HOT MIX ASPHALTIC CONCRETE PAVEMENT SHALL BE TYPE D UNLESS OTHERWISE SPECIFIED AND SHALL BE A MINIMUM OF 2 INCHES THICK ON PUBLIC STREETS AND ROADWAYS.
 - ALL SIDEWALK RAMPS ARE TO BE INSTALLED WITH THE PUBLIC INFRASTRUCTURE.
 - A MAINTENANCE BOND IS REQUIRED TO BE SUBMITTED TO THE CITY PRIOR TO ACCEPTANCE OF THE PUBLIC IMPROVEMENTS. THIS BOND SHALL BE ESTABLISHED FOR 1 YEAR IN THE AMOUNT OF 25% OF THE COST OF THE PUBLIC IMPROVEMENTS AND SHALL FOLLOW THE CITY FORMAT.
 - RECORD DRAWINGS OF THE PUBLIC IMPROVEMENTS SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER PRIOR TO ACCEPTANCE OF THE PROJECT. THESE DRAWINGS SHALL BE ON MYLAR OR ON TIFF OR PDF (300 DPI). IF A DISK IS SUBMITTED, A BOND SET SHALL BE INCLUDED WITH THE DISK.

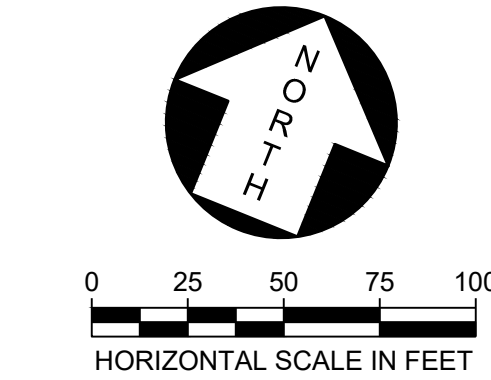
PROPERTY LINE CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	206.247	630.000	018.7573	S48° 38' 44.84"W	205.327
C2	116.934	630.000	010.6347	S63° 20' 30.33"W	116.767

- NOTES**
- ALL LIGHTING FIXTURES SHALL BE DESIGNED TO COMPLETELY CONCEAL AND FULLY SHIELD, WITHIN AN OPAQUE HOUSING, THE LIGHT SOURCE FROM VISIBILITY FROM ANY STREET RIGHT-OF-WAY. THE CONE OF LIGHT SHALL NOT CROSS ANY ADJACENT PROPERTY LINE. THE ILLUMINATION SHALL NOT EXCEED 2-FOOT CANDLES AT A HEIGHT OF THREE FEET AT THE PROPERTY LINE. ONLY INCANDESCENT, FLUORESCENT, COLOR-CORRECTED HIGH-PRESSURE SODIUM OR METAL HALIDE MAY BE USED. ALL VEHICLE OR PEDESTRIAN ACCESS SHALL BE SUFFICIENTLY LIGHTED TO ENSURE SECURITY OF PROPERTY AND PERSONS.
 - ALL ROOF, WALL AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED IN ACCORDANCE WITH CHAPTER 8 OF THE UDC. IF ROOF AND WALL MOUNTED EQUIPMENT OF ANY TYPE INCLUDING DUCT WORK AND LARGE VENTS IS PROPOSED IT SHALL BE SHOWN ON THE SITE PLAN AND SCREENING IDENTIFIED. SCREENING OF MECHANICAL EQUIPMENT SHALL RESULT IN THE MECHANICAL EQUIPMENT BLENDING IN WITH THE PRIMARY BUILDING AND NOT APPEARING SEPARATE FROM THE BUILDING AND SHALL BE SCREENED FROM VIEW OF ANY RIGHTS-OF-WAY OR ADJOINING PROPERTIES.
 - PER CHAPTER 8, THE DUMPSTER ENCLOSURES MUST BE ONE (1) FOOT ABOVE THE HEIGHT OF THE WASTE CONTAINER. USE PROTECTIVE POLES IN CORNERS AND AT IMPACT AREAS. FENCE POSTS SHALL BE OF RUST PROTECTED METAL OR CONCRETE. A MINIMUM 6" SLAB IS REQUIRED AND MUST BE SLOPED TO DRAIN; THE ENCLOSURE MUST HAVE STEEL FRAMED GATES WITH SPRING LOADED HINGES AND FASTENERS TO KEEP CLOSED. SCREENING MUST BE ON ALL FOUR SIDES BY MASONRY WALL OR APPROVED FENCE OR SCREENING WITH OPAQUE GATES.



Project:

**GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
MADISON OAKS
PARK**



GEORGETOWN, TEXAS

Project Number:

22-CLA503



CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES ON THE PLANS.

Designed: ISI

Drawn: ISI

Reviewed: TWR

Submittal Date:

FEBRUARY 3, 2025

Revisions:

Sheet Title:

PROPOSED SITE PLAN

Sheet Number:

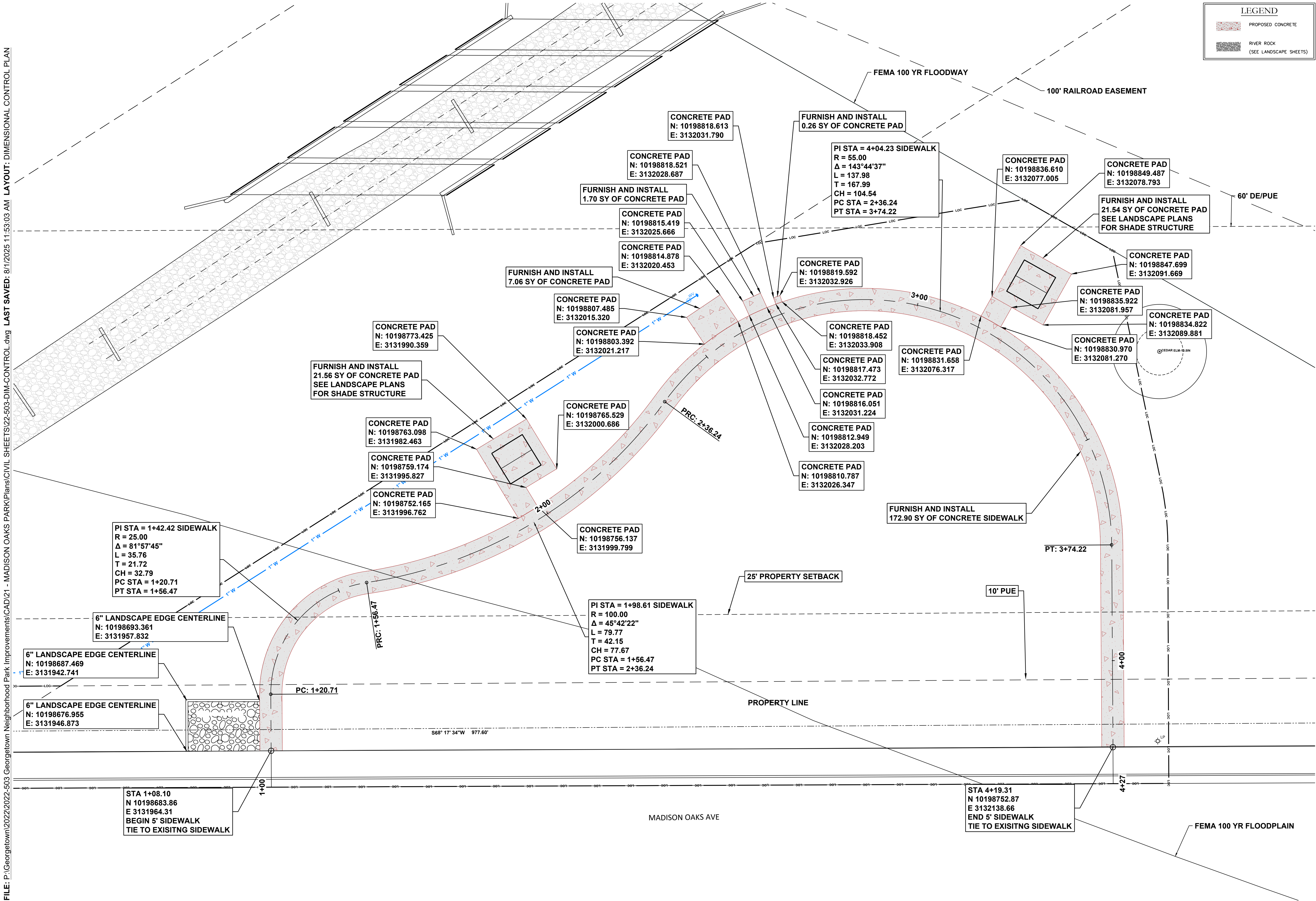
C-07

SHEET 11 OF 32

Application Number:

2025-18-SDP

FILE: P:\Georgetown\2022\2022-503 Georgetown Neighborhood Park Improvements\CAD\21 - MADISON OAKS PARK\Plans\CIVIL SHEETS\22-503-DIM-CONTROL.dwg LAST SAVED: 8/1/2025 11:53:03 AM LAYOUT: DIMENSIONAL CONTROL PLAN



Project:

**GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
MADISON OAKS
PARK**



0 5 10 15 20
HORIZONTAL SCALE IN FEET

GEORGETOWN, TEXAS

Project Number:

22-CLA503



CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA.
CONTRACTOR IS RESPONSIBLE FOR
DETERMINING THE HORIZONTAL AND VERTICAL
LOCATION OF ALL UTILITIES PRIOR TO
CONSTRUCTION. CONTRACTOR SHALL BE
RESPONSIBLE FOR ANY REPAIRS TO EXISTING
UTILITIES DUE TO DAMAGE INCURRED DURING
CONSTRUCTION. CONTRACTOR SHALL NOTIFY
THE LANDSCAPE ARCHITECT OF ANY
DISCREPANCIES ON THE PLANS.

Designed: ISI

Drawn: ISI

Reviewed: TWR

Submittal Date:

FEBRUARY 3, 2025

Revisions:

Sheet Title:

**DIMENSIONAL CONTROL
PLAN**

Sheet Number:

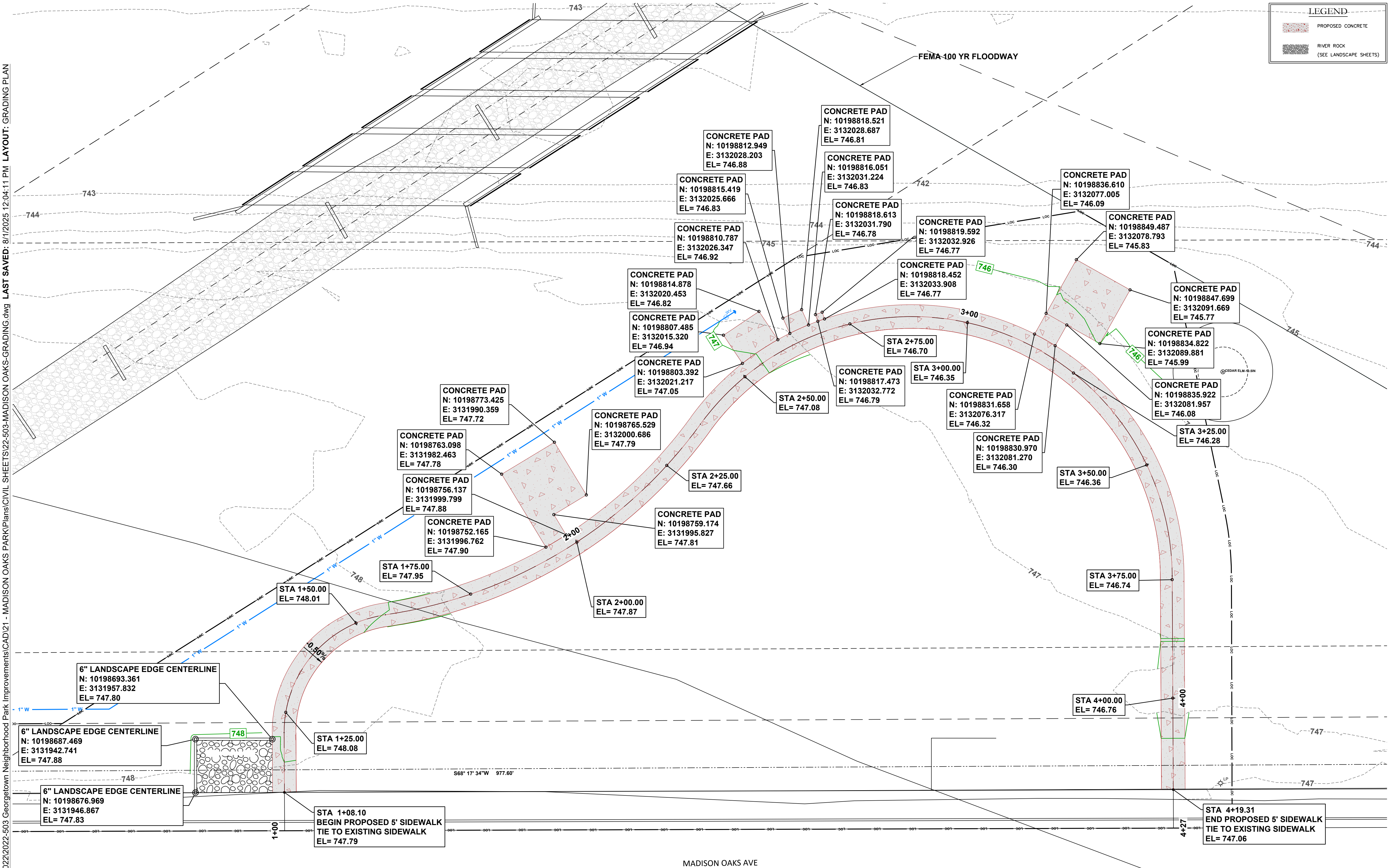
C-08

SHEET 12 OF 32

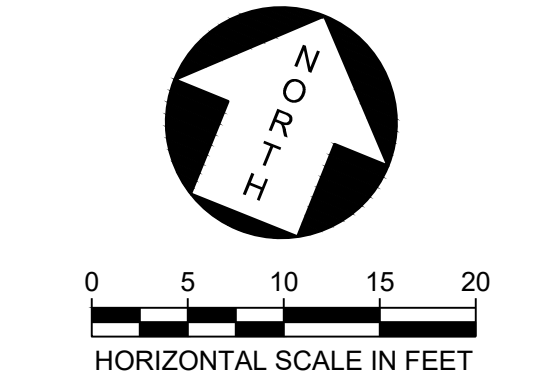
Application Number:

2025-18-SDP

FILE: P:\Georgetown\2022-2025-503 Georgetown Neighborhood Park Improvements\CAD\21 - MADISON OAKS PARK\Plans\CIVIL SHEETS\22-503-MADISON OAKS-GRADING.dwg LAST SAVED: 8/1/2025 12:04:11 PM LAYOUT: GRADING PLAN



Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS
MADISON OAKS PARK



GEORGETOWN, TEXAS

Project Number:
22-CLA503



CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES ON THE PLANS.

Designed: ISI

Drawn: ISI

Reviewed: TWR

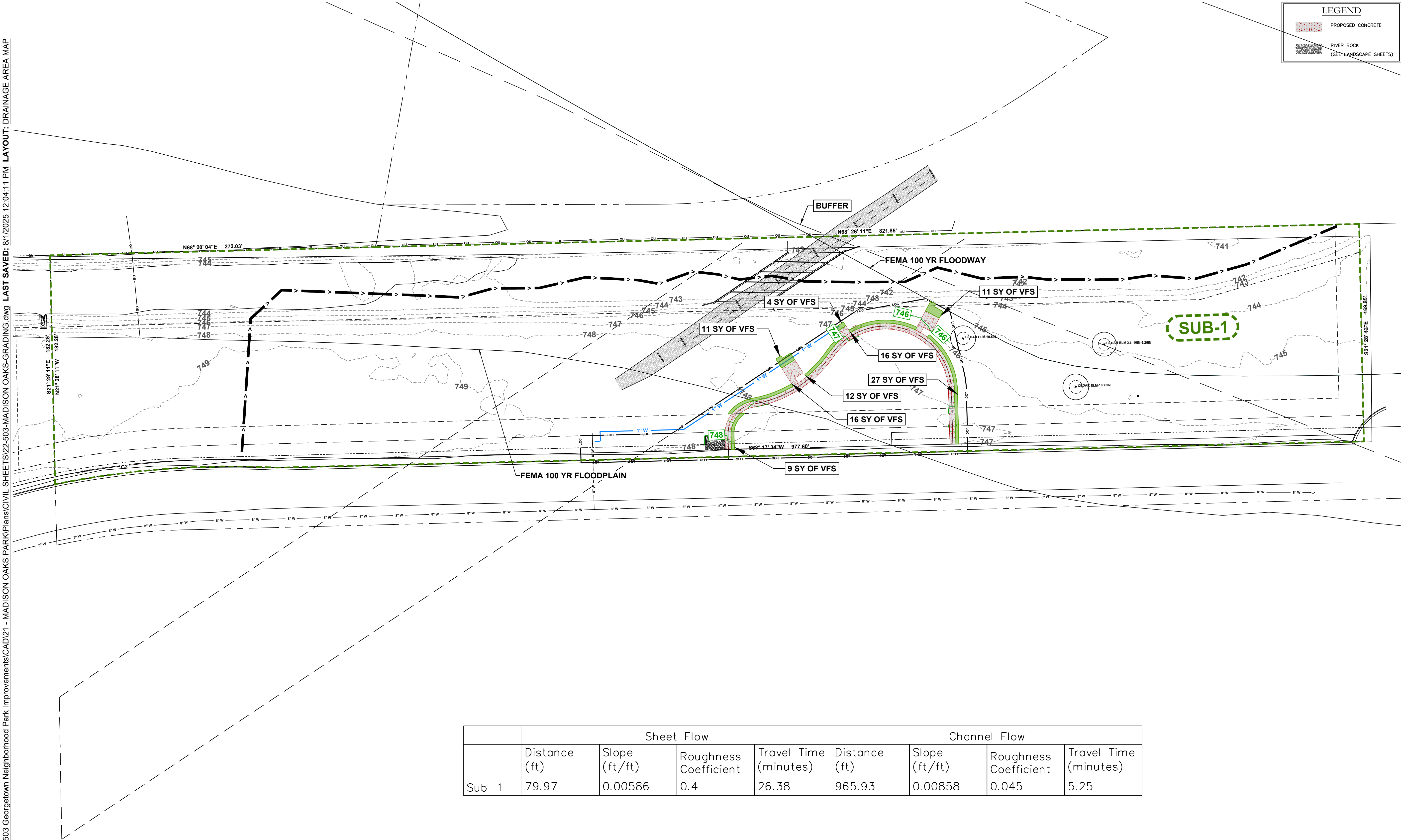
Submission Date:
FEBRUARY 3, 2025

Revisions:

Sheet Title:
GRADING PLAN

Sheet Number:
C-09
SHEET 13 OF 32
Application Number:
2025-18-SDP

FILE: P:\Georgetown\2022\2022-503 Georgetown Neighborhood Park Improvements\CAD\21 - MADISON OAKS PARK\Plans\CIVIL SHEETS\22-503-MADISON OAKS-GRADING.dwg LAST SAVED: 8/1/2025 12:04:11 PM LAYOUT: DRAINAGE AREA MAP



	Sheet Flow				Channel Flow			
	Distance (ft)	Slope (ft/ft)	Roughness Coefficient	Travel Time (minutes)	Distance (ft)	Slope (ft/ft)	Roughness Coefficient	Travel Time (minutes)
Sub-1	79.97	0.00586	0.4	26.38	965.93	0.00858	0.045	5.25

LEGEND

PROPOSED CONCRETE

RIVER ROCK
(SEE LANDSCAPE SHEETS)

COVEY

Planning + Landscape Architecture

800 South Austin Avenue
Georgetown, Texas 78626
512.887.5311

K&A

KASBERG, PATRICK & ASSOCIATES, LP
CONSULTING ENGINEERS
GEORGETOWN, TEXAS 78626

8/28/2025

STATE OF TEXAS

★

HADEN MATTHEW
154595
PROFESSIONAL ENGINEER

Haden Matthew

Project:

GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
MADISON OAKS
PARK

↑

North

0 20 40 60 80

HORIZONTAL SCALE IN FEET

GEORGETOWN, TEXAS

Project Number:

22-CLA503

★ Texas 811

CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA.
CONTRACTOR IS RESPONSIBLE FOR
DETERMINING THE HORIZONTAL AND VERTICAL
LOCATION OF ALL UTILITIES PRIOR TO
CONSTRUCTION. CONTRACTOR SHALL BE
RESPONSIBLE FOR ANY REPAIRS TO EXISTING
UTILITIES DUE TO DAMAGE INCURRED DURING
CONSTRUCTION. CONTRACTOR SHALL NOTIFY
THE LANDSCAPE ARCHITECT OF ANY
DISCREPANCIES ON THE PLANS.

Designed: ISI

Drawn: ISI

Reviewed: TWR

Submittal Date:

FEBRUARY 3, 2025

Revisions:

Sheet Title:

DRAINAGE AREA MAP

Sheet Number:

C-10

SHEET 14 OF 32

Application Number:

2025-18-SDP

FILE: P:\Georgetown\2022\2022-503 Georgetown Neighborhood Park Improvements\CAD\21 - MADISON OAKS PARK\Plans\CIVIL SHEETS\22-503-MADISON OAKS-GRADING.dwg LAST SAVED: 8/1/2025 12:04:11 PM LAYOUT: DRAINAGE CALCULATIONS

	Existing				Proposed			
	2 Year	10 Year	25 Year	100 Year	2 Year	10 Year	25 Year	100 Year
Time to Peak (hrs)	12.3667	12.35	12.35	12.35	12.3667	12.35	12.35	12.35
Maximum Outflow (cfs)	6.01	12.04	16.63	25.06	6.05	12.08	16.67	25.09
Outflow Volume (ac-ft)	0.75255	1.50534	2.09474	3.20473	0.76021	1.51419	2.1041	3.21469
Outflow Depth (in)	2.11	4.21	5.86	8.97	2.13	4.24	5.89	9
Outflow Average (cfs)	0.38	0.76	1.06	1.61	0.38	0.76	1.06	1.62
Maximum Direct Flow (cfs)	6.01	12.04	16.63	25.06	6.05	12.08	16.67	25.09
Direct Runoff Volume (ac-ft)	0.75255	1.50534	2.09474	3.20473	0.76021	1.51419	2.1041	3.21469
Direct Flow Depth (in)	2.11	4.21	5.86	8.97	2.13	4.24	5.89	9
Direct Flow Average (cfs)	0.38	0.76	1.06	1.61	0.38	0.76	1.06	1.62
Maximum Precipitation (in)	0.06	0.1	0.13	0.18	0.06	0.1	0.13	0.18
Precipitation Total (in)	3.96	6.36	8.14	11.4	3.96	6.36	8.14	11.4
Precipitation Volume (ac-ft)	1.41504	2.27264	2.90869	4.0736	1.41504	2.27264	2.90869	4.0736
Maximum Loss (in)	0.02	0.02	0.02	0.02	0.02	0.02	0.02	0.02
Loss Total (in)	1.84	2.13	2.25	2.39	1.82	2.1	2.22	2.36
Loss Volume (ac-ft)	0.65823	0.75978	0.80405	0.85463	0.65056	0.75093	0.79468	0.84468
Maximum Excess (in)	0.04	0.08	0.11	0.16	0.04	0.08	0.11	0.16
Excess Total (in)	2.12	4.23	5.89	9.01	2.14	4.26	5.92	9.04
Excess Volume (ac-ft)	0.75681	1.51286	2.10464	3.21897	0.76448	1.52171	2.11401	3.22892
Lag time (minutes)	18.98	18.98	18.98	18.98	18.98	18.98	18.98	18.98

	Drainage Area (acres)	Impervious Surface Existing (ac)	Impervious Surface Proposed (ac)	Existing Curve Number	Proposed Curve Number	Impervious Surface Existing (%)	Impervious Surface Proposed (%)	Time of Concentration (minutes)	Lag Time (minutes)	Maximum Runoff Existing (cfs)	Maximum Runoff Proposed (cfs)
Sub-1	4.309	0.241	0.289	80	80	5.6	6.7	31.63333	18.98	6.01	6.05

Proposed Runoff Increase Summary	
2 Year	0.04
10 Year	0.04
25 Year	0.04
100 Year	0.03



Project:

GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
MADISON OAKS
PARK

GEORGETOWN, TEXAS

Project Number:

22-CLA503



CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA.
CONTRACTOR IS RESPONSIBLE FOR
DETERMINING THE HORIZONTAL AND VERTICAL
LOCATION OF ALL UTILITIES PRIOR TO
CONSTRUCTION. CONTRACTOR SHALL BE
RESPONSIBLE FOR ANY REPAIRS TO EXISTING
UTILITIES DUE TO DAMAGE INCURRED DURING
CONSTRUCTION. CONTRACTOR SHALL NOTIFY
THE LANDSCAPE ARCHITECT OF ANY
DISCREPANCIES ON THE PLANS.

Designed: ISI

Drawn: ISI

Reviewed: TWR

Submittal Date:

FEBRUARY 3, 2025

Revisions:

Sheet Title:

DRAINAGE
CALCULATIONS

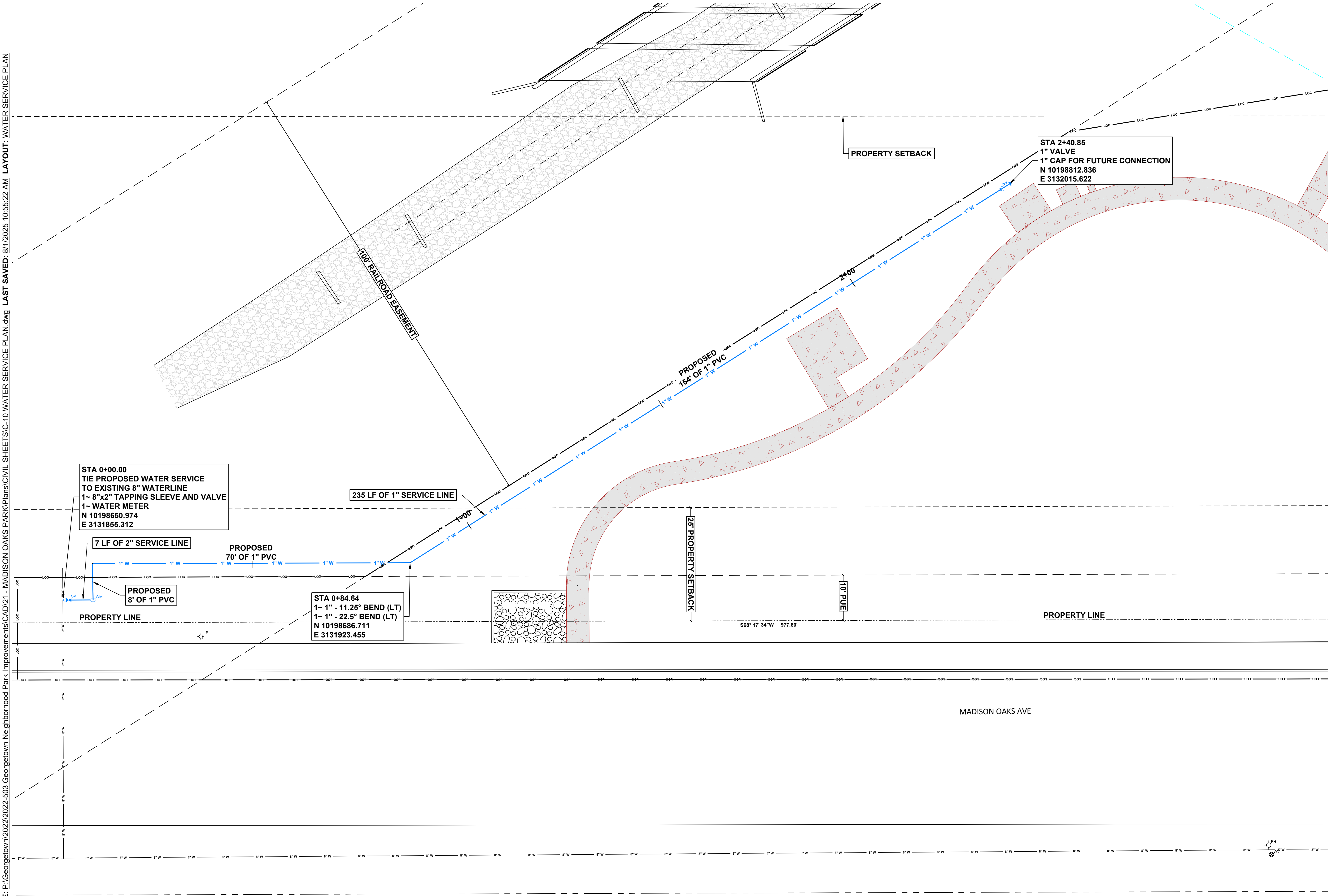
Sheet Number:

C-11
SHEET 15 OF 32

Application Number:

2025-18-SDP

FILE: P:\Georgetown\2022\2022-503 Georgetown Neighborhood Park Improvements\CAD\21 - MADISON OAKS PARK\Plans\CIVIL SHEETS\C-10 WATER SERVICE PLAN.dwg LAST SAVED: 8/1/2025 10:55:22 AM LAYOUT: WATER SERVICE PLAN



COVEY

Planning + Landscape Architecture

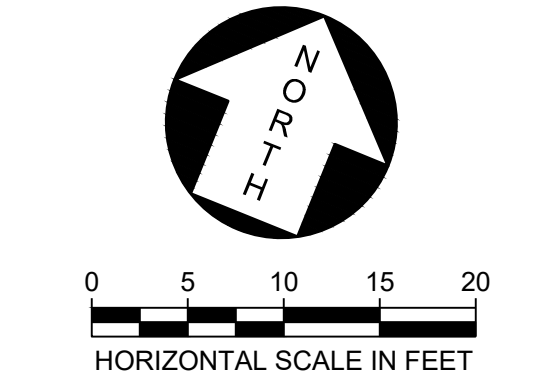
800 South Austin Avenue
Georgetown, Texas 78626
512.887.5311

KASBERG, PATRICK & ASSOCIATES, LP
CONSULTING ENGINEERS
GEORGETOWN, TEXAS 78626



Project:

GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS MADISON OAKS PARK



GEORGETOWN, TEXAS

Project Number:
22-CLA503



CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA.
CONTRACTOR IS RESPONSIBLE FOR
DETERMINING THE HORIZONTAL AND VERTICAL
LOCATION OF ALL UTILITIES PRIOR TO
CONSTRUCTION. CONTRACTOR SHALL BE
RESPONSIBLE FOR ANY REPAIRS TO EXISTING
UTILITIES DUE TO DAMAGE INCURRED DURING
CONSTRUCTION. CONTRACTOR SHALL NOTIFY
THE LANDSCAPE ARCHITECT OF ANY
DISCREPANCIES ON THE PLANS.

Designed: ISI

Drawn: ISI

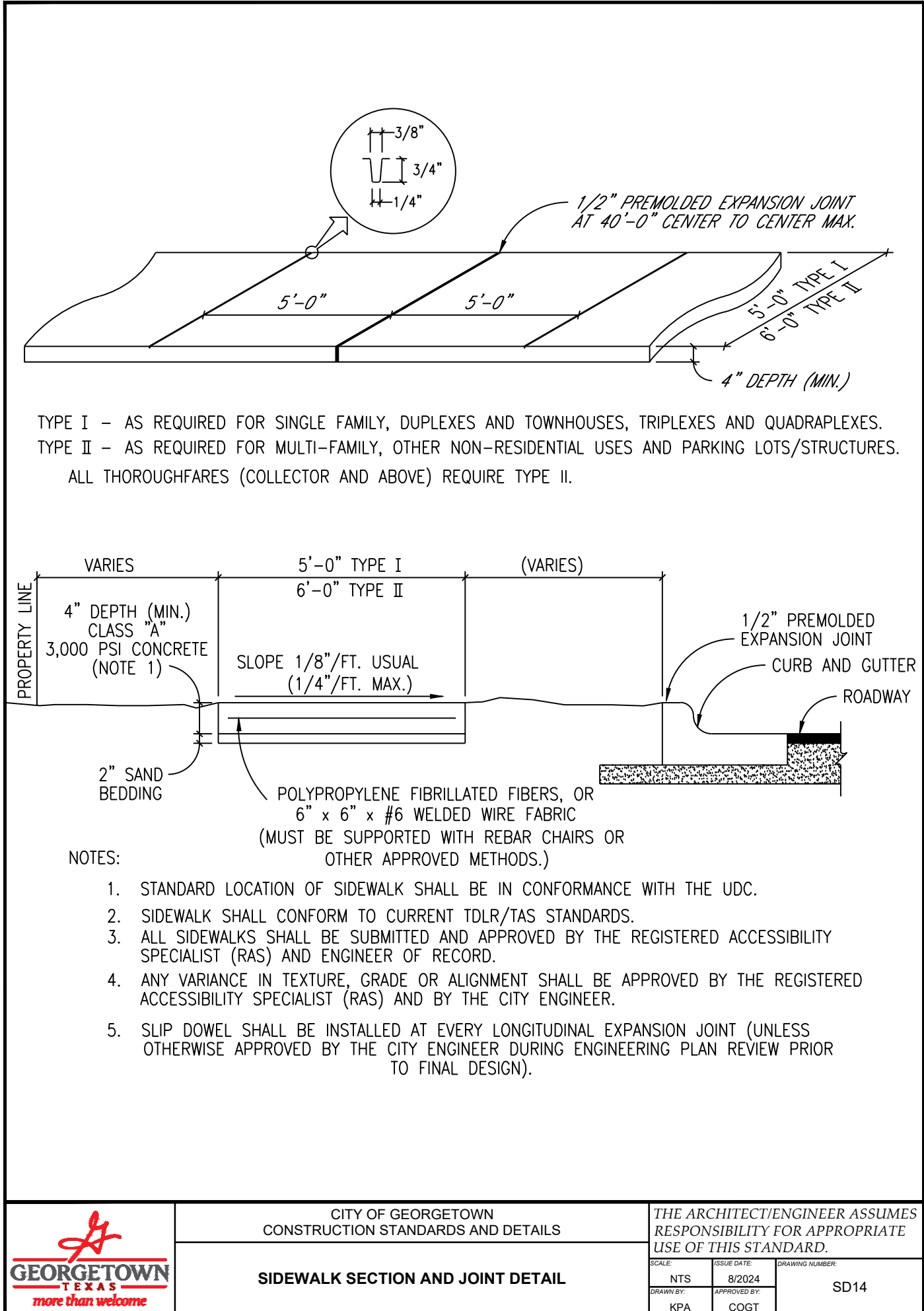
Reviewed: TWR


Submittal Date:
FEBRUARY 3, 2025

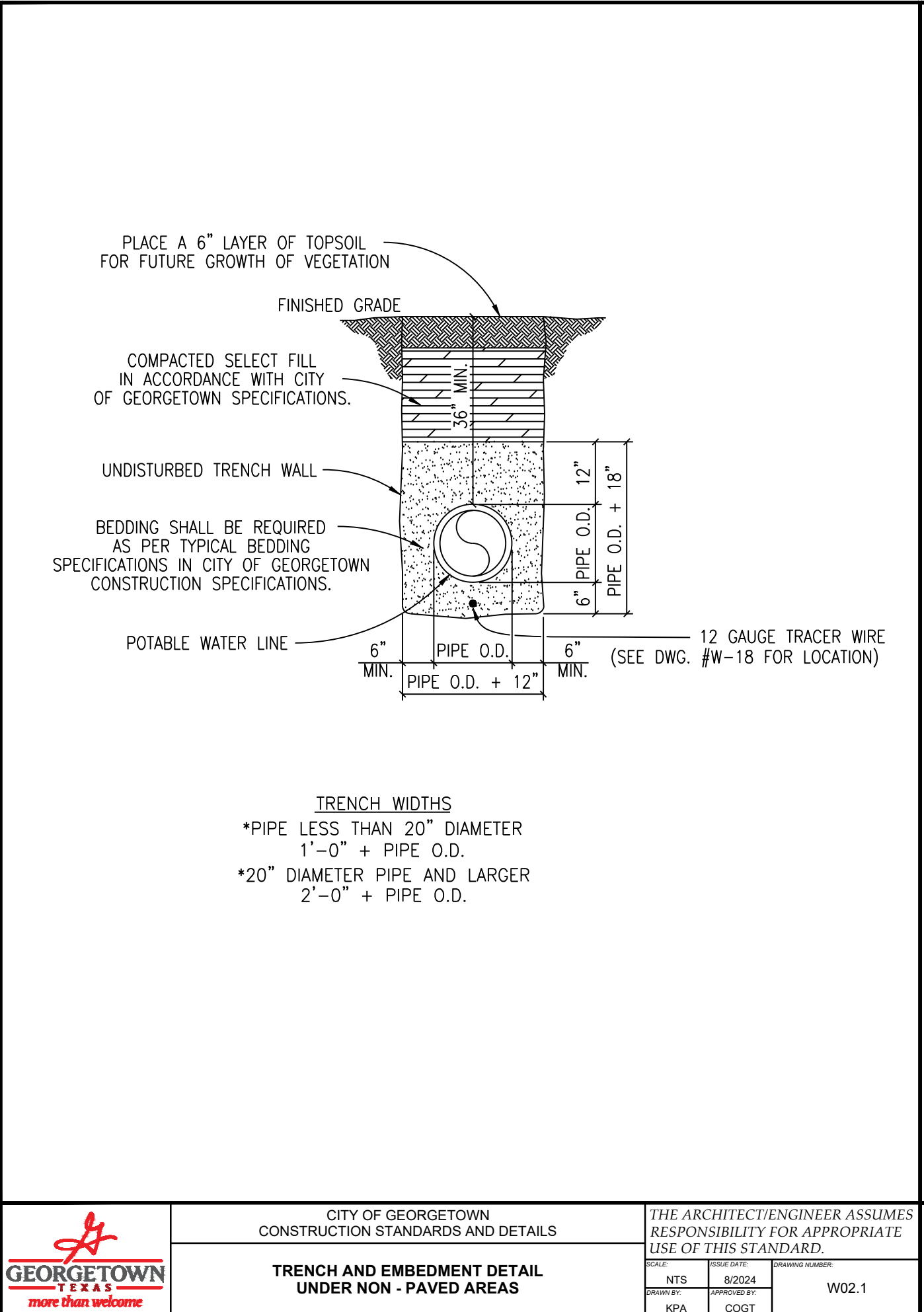
Revisions:

Sheet Title:
WATER SERVICE PLAN

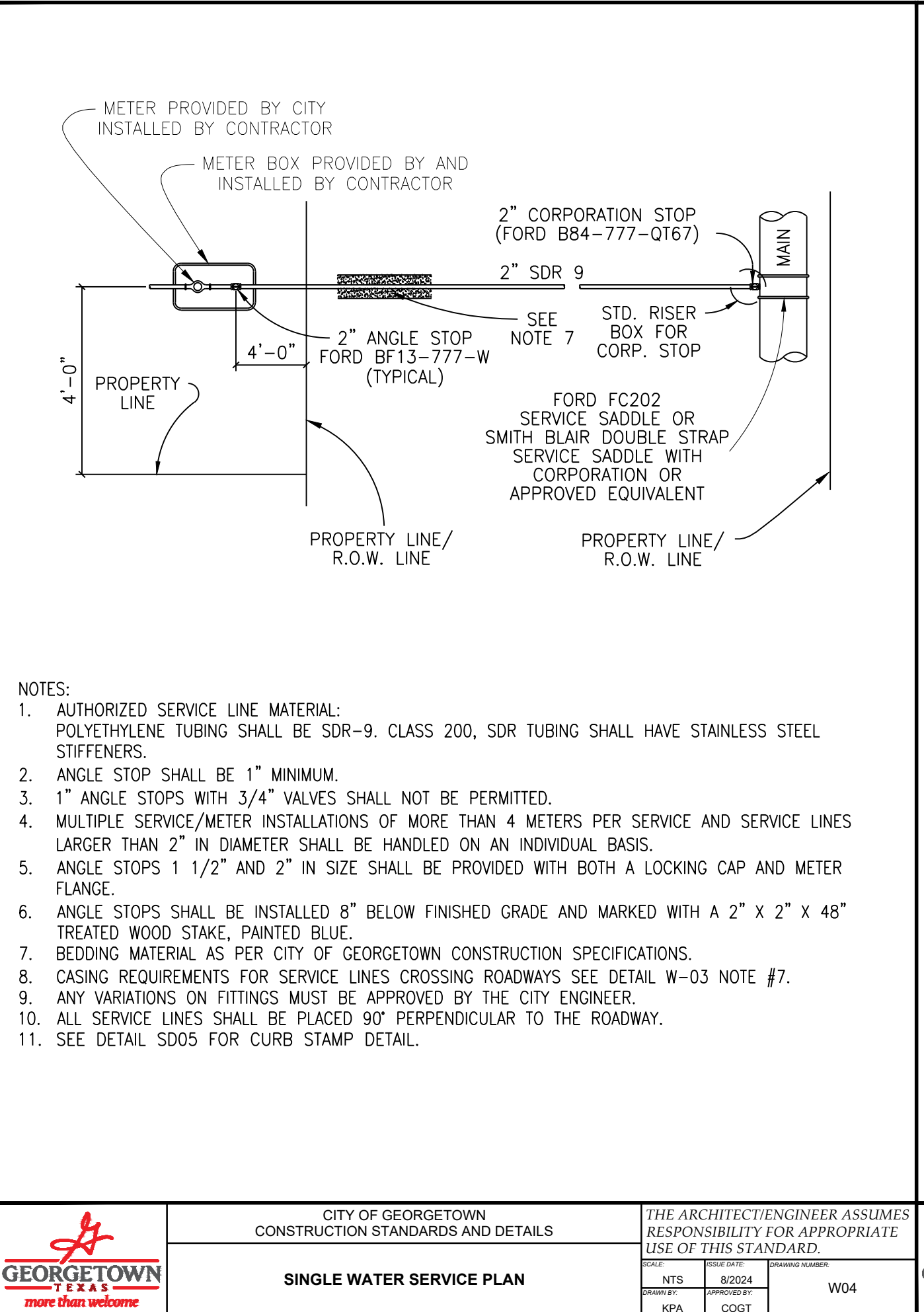
Sheet Number:
C-12
SHEET 16 OF 32
Application Number:
2025-18-SDP



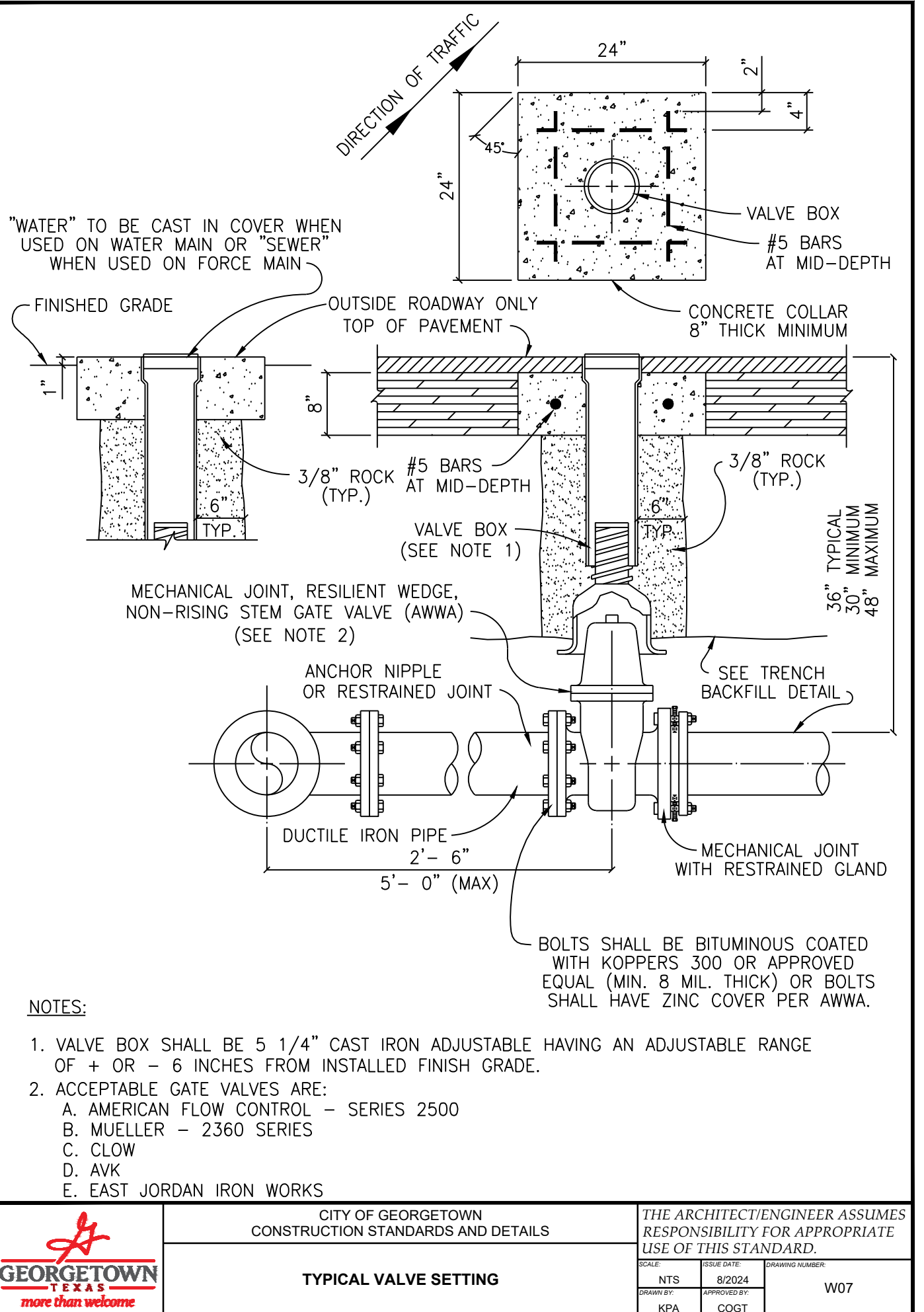
	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.		
	SIDEWALK SECTION AND JOINT DETAIL	DATE NTS 8/2024	DESIGNED BY KPA	PROJECT NUMBER SD14




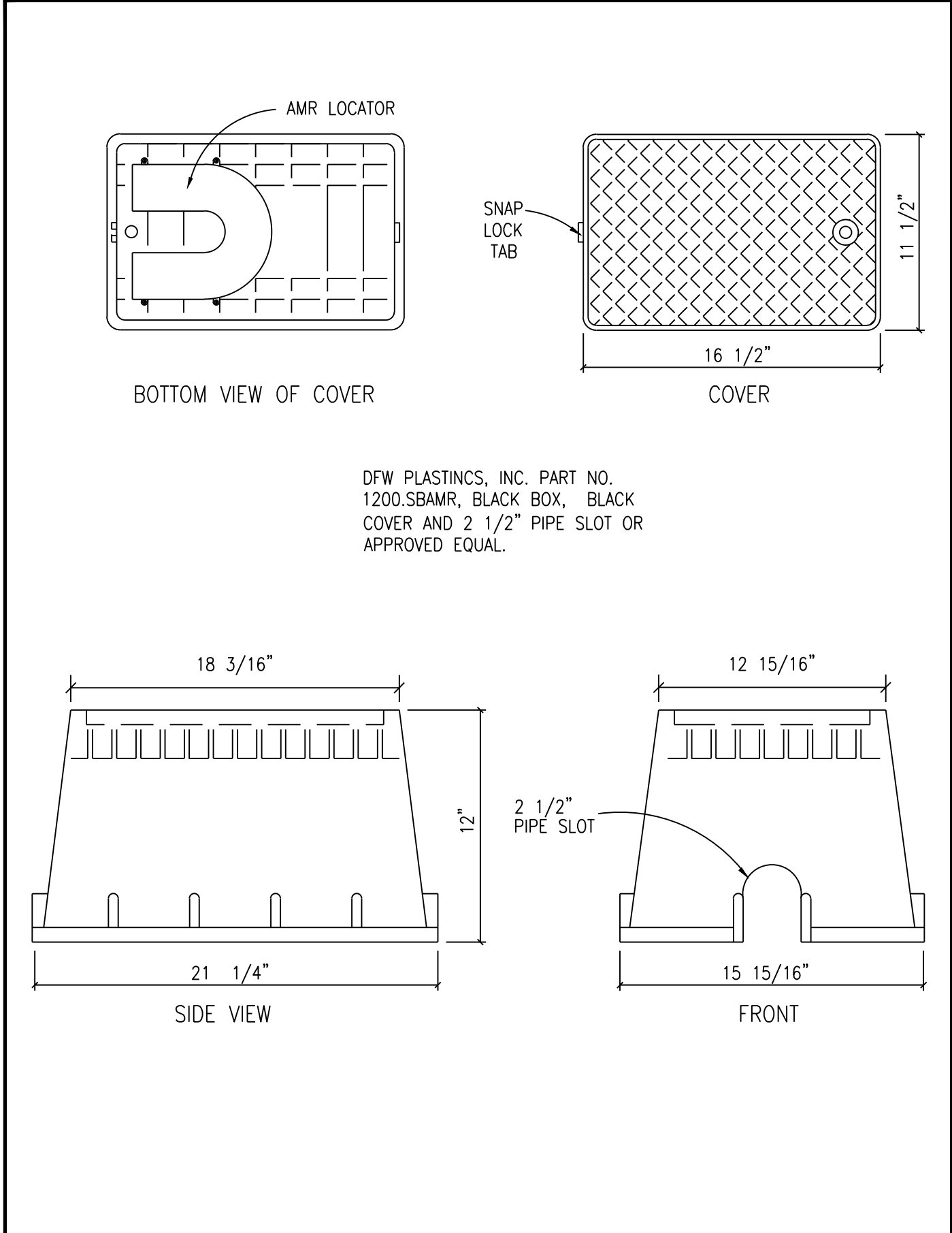
	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.		
	TRENCH AND EMBEDMENT DETAIL UNDER NON - PAVED AREAS	DATE NTS 8/2024	DESIGNED BY KPA	PROJECT NUMBER W02.1




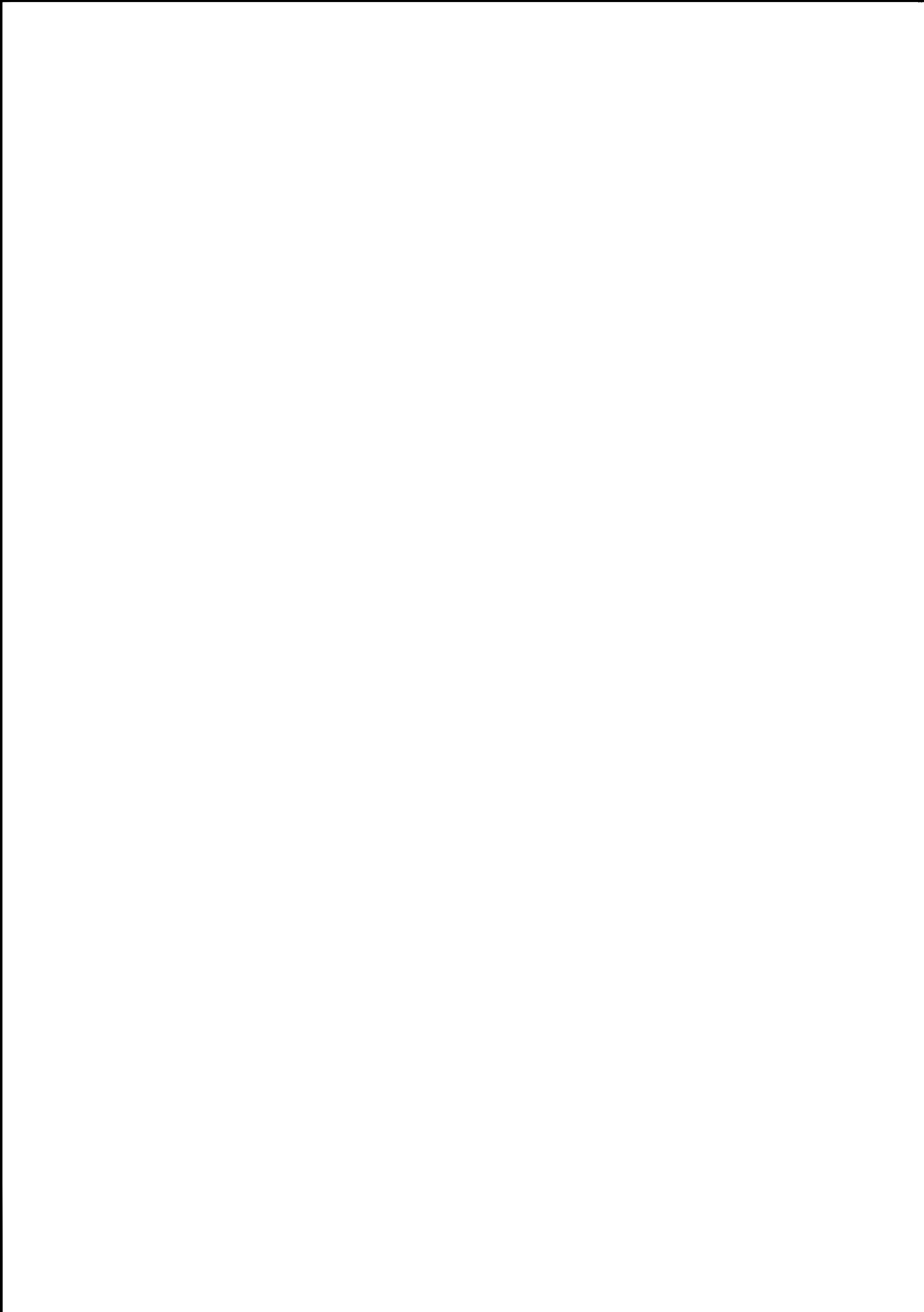
	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.		
	SINGLE WATER SERVICE PLAN	DATE NTS 8/2024	DESIGNED BY KPA	PROJECT NUMBER W04



	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.		
	TYPICAL VALVE SETTING	DATE NTS 8/2024	DESIGNED BY KPA	PROJECT NUMBER W07



	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.		
	METER BOX (NON-TRAFFIC AREAS)	DATE NTS 8/2024	DESIGNED BY KPA	PROJECT NUMBER W21



	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.		
	METER BOX (NON-TRAFFIC AREAS)	DATE NTS 8/2024	DESIGNED BY KPA	PROJECT NUMBER W21



	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.		
	METER BOX (NON-TRAFFIC AREAS)	DATE NTS 8/2024	DESIGNED BY KPA	PROJECT NUMBER W21




	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.		
	METER BOX (NON-TRAFFIC AREAS)	DATE NTS 8/2024	DESIGNED BY KPA	PROJECT NUMBER W21

Project:
**GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
MADISON OAKS
PARK**

GEORGETOWN, TEXAS

Project Number:
22-CLA503


CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA.
CONTRACTOR IS RESPONSIBLE FOR
DETERMINING THE HORIZONTAL AND VERTICAL
LOCATION OF ALL UTILITIES PRIOR TO
CONSTRUCTION. CONTRACTOR SHALL BE
RESPONSIBLE FOR ANY REPAIRS TO EXISTING
UTILITIES DUE TO DAMAGE INCURRED DURING
CONSTRUCTION. CONTRACTOR SHALL NOTIFY
THE LANDSCAPE ARCHITECT OF ANY
DISCREPANCIES ON THE PLANS.

Designed: ISI

Drawn: ISI

Reviewed: TWR

Submittal Date:

FEBRUARY 3, 2025

Revisions:

Sheet Title:

DETAILS SHEET 1 OF 2

Application Number:

2025-18-SDP