

City of Georgetown, Texas



Vista Vera Park

Volume 1 of 2

**Texas Commission on Environmental Quality
Submittal for Edwards Aquifer Protection Plan**

WPAP Exception Request Application

11/26/2025



Haden Mattke

Texas Commission on Environmental Quality

Edwards Aquifer Application Cover Page

Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with [30 TAC 213](#).

Administrative Review

1. [Edwards Aquifer applications](#) must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains “possibly sensitive” features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited.**
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a “Mid-Review Modification”. Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ’s Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ’s San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

1. Regulated Entity Name: Vista Vera Park				2. Regulated Entity No.:					
3. Customer Name: City of Georgetown				4. Customer No.: 600412043					
5. Project Type: (Please circle/check one)	New	Modification		Extension	<u>Exception</u>				
6. Plan Type: (Please circle/check one)	WPAP	CZP	SCS	UST	AST	<u>EXP</u>	EXT	Technical Clarification	Optional Enhanced Measures
7. Land Use: (Please circle/check one)	Residential	<u>Non-residential</u>			8. Site (acres):		5.95		
9. Application Fee:	\$500	10. Permanent BMP(s):			VFS (Equivalent Protection)				
11. SCS (Linear Ft.):	n/a	12. AST/UST (No. Tanks):			n/a				
13. County:	Williamson	14. Watershed:			Turkey Creek – Brushy Creek				

Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the “Texas Groundwater Conservation Districts within the EAPP Boundaries” map found at:

http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	Hays	Travis	Williamson
Original (1 req.)	—	—	<u>1</u>
Region (1 req.)	—	—	<u>1</u>
County(ies)	—	—	<u>1</u>
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Barton Springs/ Edwards Aquifer <input type="checkbox"/> Hays Trinity <input type="checkbox"/> Plum Creek	<input type="checkbox"/> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<input type="checkbox"/> Austin <input type="checkbox"/> Buda <input type="checkbox"/> Dripping Springs <input type="checkbox"/> Kyle <input type="checkbox"/> Mountain City <input type="checkbox"/> San Marcos <input type="checkbox"/> Wimberley <input type="checkbox"/> Woodcreek	<input type="checkbox"/> Austin <input type="checkbox"/> Bee Cave <input type="checkbox"/> Pflugerville <input type="checkbox"/> Rollingwood <input type="checkbox"/> Round Rock <input type="checkbox"/> Sunset Valley <input type="checkbox"/> West Lake Hills	<input type="checkbox"/> Austin <input type="checkbox"/> Cedar Park <input type="checkbox"/> Florence <input checked="" type="checkbox"/> Georgetown <input type="checkbox"/> Jerrell <input type="checkbox"/> Leander <input type="checkbox"/> Liberty Hill <input type="checkbox"/> Pflugerville <input type="checkbox"/> Round Rock

San Antonio Region					
County:	Bexar	Comal	Kinney	Medina	Uvalde
Original (1 req.)	—	—	—	—	—
Region (1 req.)	—	—	—	—	—
County(ies)	—	—	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Trinity-Glen Rose	<input type="checkbox"/> Edwards Aquifer Authority	<input type="checkbox"/> Kinney	<input type="checkbox"/> EAA <input type="checkbox"/> Medina	<input type="checkbox"/> EAA <input type="checkbox"/> Uvalde
City(ies) Jurisdiction	<input type="checkbox"/> Castle Hills <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Helotes <input type="checkbox"/> Hill Country Village <input type="checkbox"/> Hollywood Park <input type="checkbox"/> San Antonio (SAWS) <input type="checkbox"/> Shavano Park	<input type="checkbox"/> Bulverde <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Garden Ridge <input type="checkbox"/> New Braunfels <input type="checkbox"/> Schertz	NA	<input type="checkbox"/> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

Haden Mattke, PE

Print Name of Customer/Authorized Agent

11/26/2025

Signature of Customer/Authorized Agent

Date

****FOR TCEQ INTERNAL USE ONLY****

Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):

General Information Form

Texas Commission on Environmental Quality

For Regulated Activities on the Edwards Aquifer Recharge and Transition Zones and Relating to 30 TAC §213.4(b) & §213.5(b)(2)(A), (B) Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

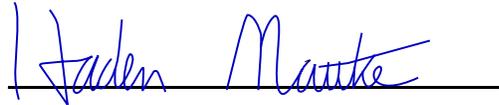
Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **General Information Form** is hereby submitted for TCEQ review. The application was prepared by:

Print Name of Customer/Agent: Haden Mattke, P.E., CFM

Date: 11/26/2025

Signature of Customer/Agent:



Project Information

1. Regulated Entity Name: Vista Vera Park
2. County: Williamson
3. Stream Basin: Chandler Branch - Brushy Creek
4. Groundwater Conservation District (If applicable): N/A

5. Edwards Aquifer Zone:

- Recharge Zone
 Transition Zone

6. Plan Type:

- | | |
|---------------------------------------|---|
| <input type="checkbox"/> WPAP | <input type="checkbox"/> AST |
| <input type="checkbox"/> SCS | <input type="checkbox"/> UST |
| <input type="checkbox"/> Modification | <input checked="" type="checkbox"/> Exception Request |

7. Customer (Applicant):

Contact Person: Patrick Cavanaugh
Entity: City of Georgetown
Mailing Address: 1101 North College Street
City, State: Georgetown, TX Zip: 78626
Telephone: 512-930-3595 FAX: _____
Email Address: patrick.cavanaugh@georgetowntexas.gov

8. Agent/Representative (If any):

Contact Person: Haden Mattke, P.E., CFM
Entity: Kasberg, Patrick & Associates
Mailing Address: 800 South Austin Avenue
City, State: Georgetown, Texas Zip: 78626
Telephone: 512-819-9478 FAX: _____
Email Address: hmattke@kpaengineers.com

9. Project Location:

- The project site is located inside the city limits of Georgetown, Texas.
- The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of _____.
- The project site is not located within any city's limits or ETJ.

10. The location of the project site is described below. The description provides sufficient detail and clarity so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

The project is located at 1120 Vista View Drive, Georgetown, TX 78626. From the intersection of Vista View Drive and Westinghouse Road, it is approximately 0.3 miles south on Vista View Drive on the west side of the street.

11. **Attachment A – Road Map.** A road map showing directions to and the location of the project site is attached. The project location and site boundaries are clearly shown on the map.

12. **Attachment B - USGS / Edwards Recharge Zone Map.** A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000') of the Edwards Recharge Zone is attached. The map(s) clearly show:

- Project site boundaries.
- USGS Quadrangle Name(s).
- Boundaries of the Recharge Zone (and Transition Zone, if applicable).
- Drainage path from the project site to the boundary of the Recharge Zone.

13. **The TCEQ must be able to inspect the project site or the application will be returned.** Sufficient survey staking is provided on the project to allow TCEQ regional staff to locate the boundaries and alignment of the regulated activities and the geologic or manmade features noted in the Geologic Assessment.

Survey staking will be completed by this date: *Survey staking will not be completed until construction begins (which will not start until this application is approved and project is awarded). If TCEQ wishes to make a site visit before, please contact us and we will be glad to arrange.

14. **Attachment C – Project Description.** Attached at the end of this form is a detailed narrative description of the proposed project. The project description is consistent throughout the application and contains, at a minimum, the following details:

- Area of the site
- Offsite areas
- Impervious cover
- Permanent BMP(s)
- Proposed site use
- Site history
- Previous development
- Area(s) to be demolished

15. Existing project site conditions are noted below:

- Existing commercial site
- Existing industrial site
- Existing residential site
- Existing paved and/or unpaved roads
- Undeveloped (Cleared)
- Undeveloped (Undisturbed/Uncleared)
- Other: Public Facility (park)

Prohibited Activities

16. I am aware that the following activities are prohibited on the Recharge Zone and are not proposed for this project:

- (1) Waste disposal wells regulated under 30 TAC Chapter 331 of this title (relating to Underground Injection Control);
- (2) New feedlot/concentrated animal feeding operations, as defined in 30 TAC §213.3;
- (3) Land disposal of Class I wastes, as defined in 30 TAC §335.1;
- (4) The use of sewage holding tanks as parts of organized collection systems; and
- (5) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41(b), (c), and (d) of this title (relating to Types of Municipal Solid Waste Facilities).
- (6) New municipal and industrial wastewater discharges into or adjacent to water in the state that would create additional pollutant loading.

17. I am aware that the following activities are prohibited on the Transition Zone and are not proposed for this project:

- (1) Waste disposal wells regulated under 30 TAC Chapter 331 (relating to Underground Injection Control);
- (2) Land disposal of Class I wastes, as defined in 30 TAC §335.1; and
- (3) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41 (b), (c), and (d) of this title.

Administrative Information

18. The fee for the plan(s) is based on:

- For a Water Pollution Abatement Plan or Modification, the total acreage of the site where regulated activities will occur.
- For an Organized Sewage Collection System Plan or Modification, the total linear footage of all collection system lines.
- For a UST Facility Plan or Modification or an AST Facility Plan or Modification, the total number of tanks or piping systems.
- A request for an exception to any substantive portion of the regulations related to the protection of water quality.
- A request for an extension to a previously approved plan.

19. Application fees are due and payable at the time the application is filed. If the correct fee is not submitted, the TCEQ is not required to consider the application until the correct fee is submitted. Both the fee and the Edwards Aquifer Fee Form have been sent to the Commission's:

- TCEQ cashier
- Austin Regional Office (for projects in Hays, Travis, and Williamson Counties)
- San Antonio Regional Office (for projects in Bexar, Comal, Kinney, Medina, and Uvalde Counties)

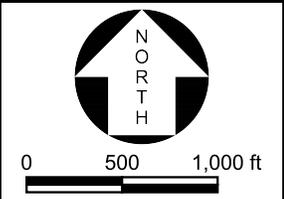
20. Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

21. No person shall commence any regulated activity until the Edwards Aquifer Protection Plan(s) for the activity has been filed with and approved by the Executive Director.



Project Location

© 2025 Kasberg, Patrick & Associates, LP KPA Firm Registration Number F-510
 FILE: C:\Users\hmatika\OneDrive - KPA Engineers\Desktop\Georgetown_GIS\gpr LAST SAVED: 11/24/2025 16:46:03

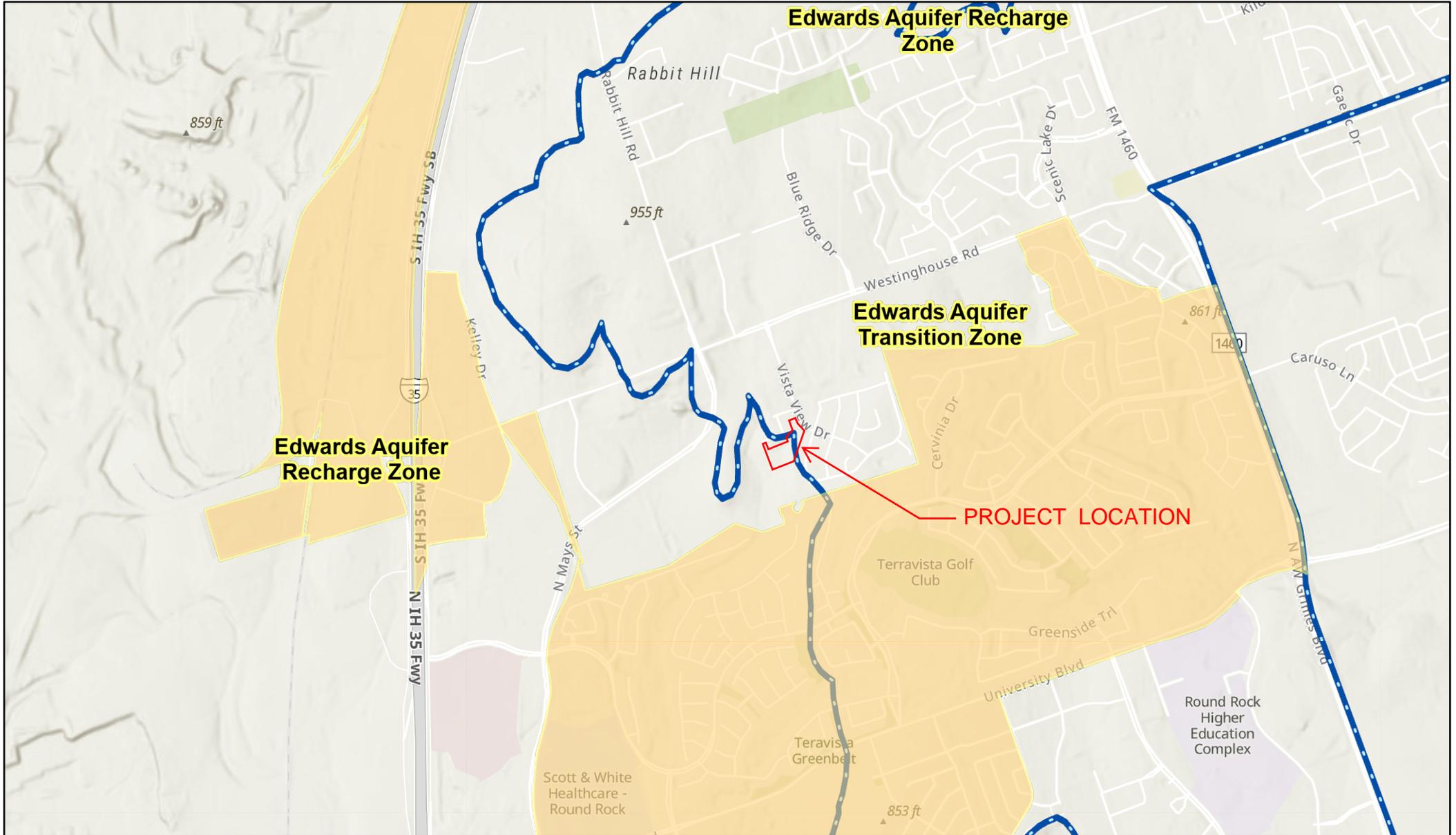


GEORGETOWN
 TEXAS
more than welcome

KASBERG, PATRICK & ASSOCIATES, LP
 CONSULTING ENGINEERS
 TEMPLE, TEXAS 76501
 Firm Registration No. F-510

VISTA VERA PARK
 EXHIBIT A – ROAD MAP

VISTA VERA EARZ MAP



6/4/2025, 3:44:36 PM

TCEQ_EDWARDS_OFFICIAL_MAPS

7.5 Minute Quad Grid

TX Counties

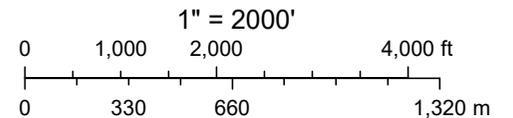
City/Place

Edwards Aquifer Boundary central line

Edwards Aquifer Boundary

Edwards Aquifer Label

World_Hillshade



Esri, NASA, NGA, USGS, FEMA, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community, TCEQ



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

November 26, 2025

ATTACHMENT C
FORM 20782
PROJECT DESCRIPTION.

The City of Georgetown is proposing improvements to existing public park property at 1120 Vista View Drive, Georgetown, TX 78626. From the intersection of Vista View Drive and Westinghouse Road, it is approximately 0.3 miles south on Vista View Drive on the west side of the street.

The improvements included in this project consist of installing approximately 1,040 linear feet of 5' wide concrete sidewalk throughout the project site, as well as concrete pads for public picnic tables, a shade structure, trash cans, a water fountain, and other appurtenant items.

The area within the limits of construction specifically is approximately 0.79 acres. Based on GIS/CAD, the entire site is 5.95 acres with no existing impervious area. The proposed improvements will result in 7,389 SF (0.17 acres) of added impervious cover, bringing the total percentage of impervious area for the site to approximately 2.85%.

The site is located in a developed area, with multifamily residential to the west and the associated single residential development encompassing all other sides, including the collector street serving the subdivision running along the eastern boundary. The project is located in both the Edwards Aquifer Recharge Zone and Edwards Aquifer Transition Zone. The eastern portion of the site that lies within the transition zone all drains toward the recharge zone, so the entire site is subject to Recharge Zone requirements. The limits of the Recharge and Transition Zones are shown in the attached plans and Quadrangle Map.

The site discharges to an upper reach of an Tributary 1 of the Chandler Branch of Brushy Creek. Some upslope areas to the northeast of the site and south of Westinghouse Road drain across the site. The upslope flows are conveyed to the site through an existing 42" RCP storm sewer, with an outfall on the east side of the site near Vista View drive. The discharge from this pipe is spread out via energy dissipators and a permanently installed rock berm that also functions as a level spreader.

There are no regulatory SFHA on the site. A calculated 1% AEP (100-year) floodplain is provided in the plans for reference, which is based on flows from the original construction plans for the subdivision (at that time known as Vista Pointe).

The subject project proposes a permanent BMP in the form of Equivalent Water Quality Protection. This BMP consists of naturally vegetated areas immediately adjacent to the proposed impervious areas on the downslope side. Though typically vegetative filter strips are used to cover large roadways, parking lots, etc. (at 15' of filter strip for 72' of roadway), through discussions with TCEQ regarding a project of similar scope and size, it was agreed that smaller shared use paths such as sidewalks could utilize smaller width vegetative areas as Equivalent Water Quality Protection measures—for example, a 5' sidewalk would equate to a 2.6' Vegetated Filter Strip. Our project consists of naturally vegetated areas in various widths along the proposed 5' sidewalk and other impervious areas,

proportional to a full size filter strip proposed next to a roadway. The City of Georgetown will regularly maintain this natural vegetation through their maintenance departments.

This application is seeking an exception for a Water Pollution Abatement Plan and Modifications report, as well as traditional design requirements for the Vegetative Filter Strip BMP. From a technical perspective, the exception being requested with this application applies to TAC 213.5(b)(4)(D)(ii)(I), which requires 80% TSS Removal based on the technical guidance prepared or accepted by the executive director (RG-348). The BMP will be in accordance with the standard design criteria for Vegetative Filter Strips, as specified in TCEQ Publication RG-348, with the exception of the minimum width requirement.



19 North Main Street • Temple, TX 76501 • (254) 773-3731
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November 26, 2025

FORM 20782
GEOLOGIC ASSESSMENT FORM.

A Geologic Assessment was performed on a site that includes this project area by Terracon Consultants, Inc., and is attached to this application.

Geologic Assessment

Texas Commission on Environmental Quality

For Regulated Activities on The Edwards Aquifer Recharge/transition Zones and Relating to 30 TAC §213.5(b)(3), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. My signature certifies that I am qualified as a geologist as defined by 30 TAC Chapter 213.

Print Name of Geologist: Russell C Ford

Telephone: 512 442-1122

Date: 6/1/22

Fax: _____

Representing: Terracon Consultants, Inc. (Name of Company and TBPG or TBPE registration number)

Signature of Geologist:

Regulated Entity Name: Vista Vera Park, Meadow Wood Cove, Georgetown, Texas

Project Information

1. Date(s) Geologic Assessment was performed: 5/20/22

2. Type of Project:

WPAP

AST

SCS

UST

3. Location of Project:

Recharge Zone

Transition Zone

Contributing Zone within the Transition Zone

4. Attachment A - Geologic Assessment Table. Completed Geologic Assessment Table (Form TCEQ-0585-Table) is attached.
5. Soil cover on the project site is summarized in the table below and uses the SCS Hydrologic Soil Groups* (Urban Hydrology for Small Watersheds, Technical Release No. 55, Appendix A, Soil Conservation Service, 1986). If there is more than one soil type on the project site, show each soil type on the site Geologic Map or a separate soils map.

Table 1 - Soil Units, Infiltration Characteristics and Thickness

Soil Name	Group*	Thickness(feet)
FhF2	D	0-5
HeSE	D	0-5
HoC2	D	0-5

* Soil Group Definitions (Abbreviated)

- A. Soils having a high infiltration rate when thoroughly wetted.
- B. Soils having a moderate infiltration rate when thoroughly wetted.
- C. Soils having a slow infiltration rate when thoroughly wetted.
- D. Soils having a very slow infiltration rate when thoroughly wetted.

6. Attachment B – Stratigraphic Column. A stratigraphic column showing formations, members, and thicknesses is attached. The outcropping unit, if present, should be at the top of the stratigraphic column. Otherwise, the uppermost unit should be at the top of the stratigraphic column.
7. Attachment C – Site Geology. A narrative description of the site specific geology including any features identified in the Geologic Assessment Table, a discussion of the potential for fluid movement to the Edwards Aquifer, stratigraphy, structure(s), and karst characteristics is attached.
8. Attachment D – Site Geologic Map(s). The Site Geologic Map must be the same scale as the applicant's Site Plan. The minimum scale is 1": 400'
 Applicant's Site Plan Scale: 1" = _'
 Site Geologic Map Scale: 1" = 40'
 Site Soils Map Scale (if more than 1 soil type): 1" = 40'
9. Method of collecting positional data:
 - Global Positioning System (GPS) technology.
 - Other method(s). Please describe method of data collection: _____
10. The project site and boundaries are clearly shown and labeled on the Site Geologic Map.
11. Surface geologic units are shown and labeled on the Site Geologic Map.

12. Geologic or manmade features were discovered on the project site during the field investigation. They are shown and labeled on the Site Geologic Map and are described in the attached Geologic Assessment Table.
- Geologic or manmade features were not discovered on the project site during the field investigation.
13. The Recharge Zone boundary is shown and labeled, if appropriate.
14. All known wells (test holes, water, oil, unplugged, capped and/or abandoned, etc.): If applicable, the information must agree with Item No. 20 of the WPAP Application Section.
- There are _____ (#) wells present on the project site and the locations are shown and labeled. (Check all of the following that apply.)
- The wells are not in use and have been properly abandoned.
- The wells are not in use and will be properly abandoned.
- The wells are in use and comply with 16 TAC Chapter 76.
- There are no wells or test holes of any kind known to exist on the project site.

Administrative Information

15. Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

ATTACHMENT A NO FEATURES OBSERVED

GEOLOGIC ASSESSMENT TABLE						PROJECT NAME: Vista Vera Park, Meadow Wood Cove, Georgetown, Texas														
LOCATION			FEATURE CHARACTERISTICS										EVALUATION		PHYSICAL SETTING					
1A	1B *	1C*	2A	2B	3	4			5	5A	6	7	8A	8B	9	10	11		12	
FEATUREID	LATITUDE	LONGITUDE	FEATURE TYPE	POINTS	FORMATION	DIMENSIONS (FEET)			TREND (DEGREES)	DOM	DENSITY (NO/FT)	APERTURE (FEET)	INFILL	RELATIVE INFILTRATION RATE	TOTAL	SENSITIVITY		CATCHMENT AREA (ACRES)	TOPOGRAPHY	
						X	Y	Z		10						<40	≥40	<1.6	≥1.6	

* DATUM NAD27

2A TYPE	TYPE	2B POINTS
C	Cave	30
SC	Solution cavity	20
SF	Solution-enlarged fracture(s)	20
F	Fault	20
O	Other natural bedrock features	5
MB	Manmade feature in bedrock	30
SW	Swallow hole	30
SH	Sinkhole	20
CD	Non-karst closed depression	5
Z	Zone, clustered or aligned features	30

8A INFILLING	
N	None, exposed bedrock
C	Coarse - cobbles, breakdown, sand, gravel
O	Loose or soft mud or soil, organics, leaves, sticks, dark colors
F	Fines, compacted clay-rich sediment, soil profile, gray or red colors
V	Vegetation. Give details in narrative description
FS	Flowstone, cements, cave deposits
X	Other materials

12 TOPOGRAPHY
Cliff, Hilltop, Hillside, Drainage, Floodplain, Streambed

I have read, I understood, and I have followed the Texas Natural Resource Conservation Commission's Instructions to Geologists. The information presented here complies with that document and is a true representation of the conditions observed in the field.

My signature certifies that I am qualified as a geologist as defined by 30 TAC 213

_____ Date _____

Attachment B

Stratigraphic Column

Vista Vera Park

Meadow Wood Cove

Georgetown, Texas

HYDROGEOLOGIC SUBDIVISION	FORMATION	THICKNESS (feet)	LITHOLOGY
Confining Unit	Buda Formation	35	Tan to brown, calcareous hard, crystalline limestone
Confining Unit	Del Rio Formation	65	Dark gray calcareous clay, numerous fossils present

Source: Senger, Collins and Kreitler, 1990



ATTACHMENT C

SITE-SPECIFIC GEOLOGY

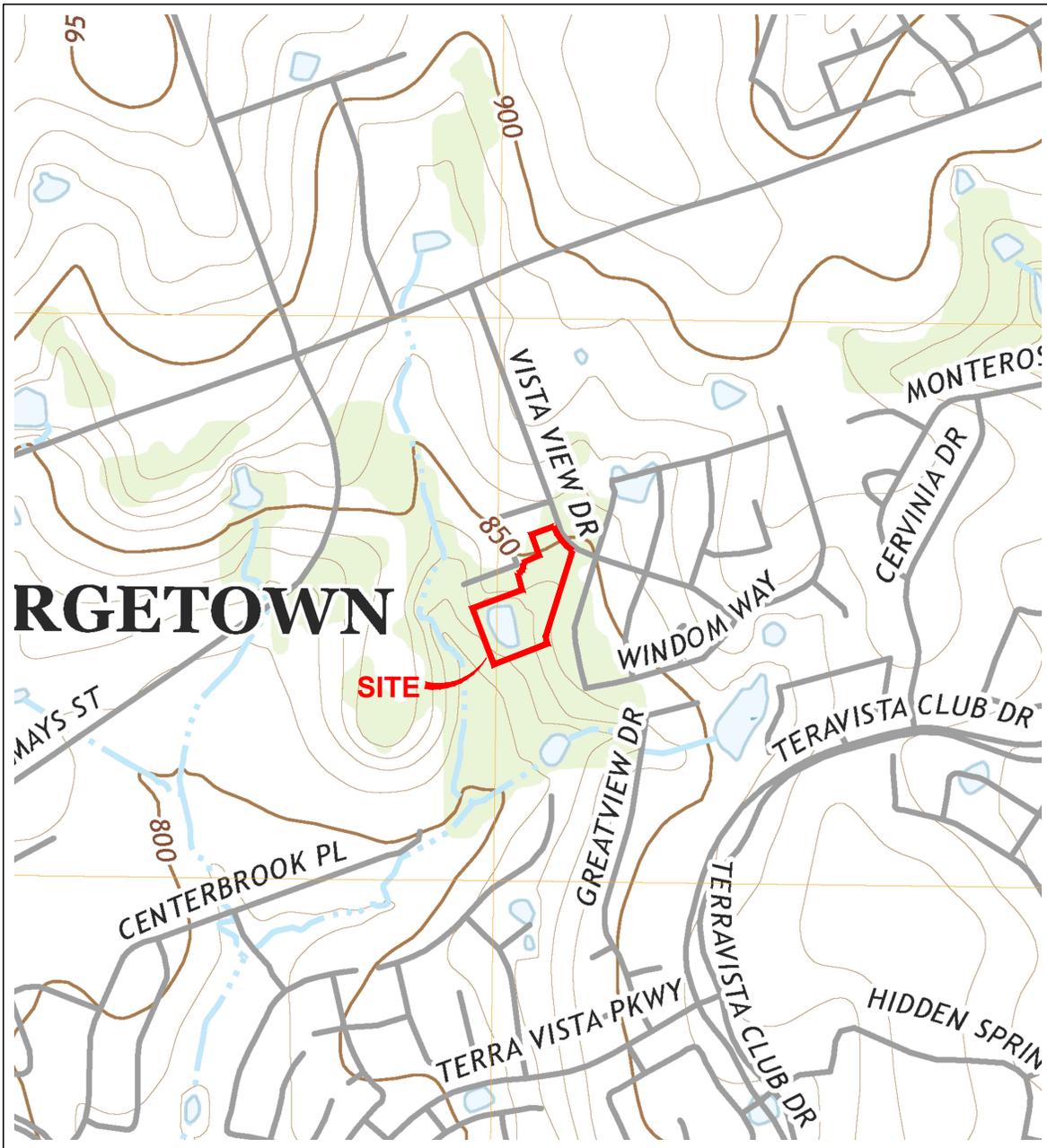
The Geologic Assessment (GA) of the Vista Vera Park site was performed by Mr. Russell C. Ford, P.G., of Terracon on May 20, 2022. The site consists of an approximate 5-acre tract of undeveloped land located off of Meadow Wood Cove in Georgetown, Texas.

Exhibit 1 (attached) is a site location map depicting the site in relation to the surrounding area. The areas immediately surrounding the site are primarily residential properties. The site is characterized as sloping to the southwest. Site elevation ranges from approximately 850 feet above mean sea level (msl) to about 810 feet msl. A small dry drainageway is located in the northern part of the site and a small stockpond is located in the far western portion of the site.

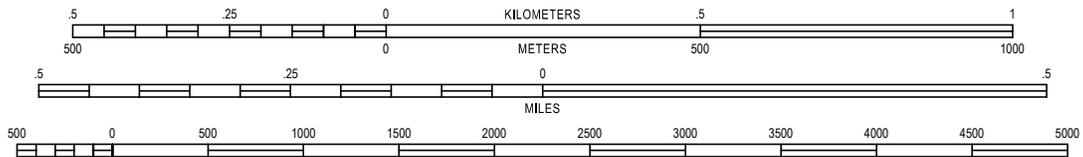
The surficial geologic units present at the site have been identified as the Buda Formation and the Del Rio Formation. Exhibit 2 (attached) is a geologic map of the site. The Del Rio consists of a dark gray, calcareous clay with numerous fossils. Thickness is about 65 feet. The formation forms the upper confining unit of the Edwards Aquifer. The Buda Formation consists of calcareous, fossiliferous hard limestone that is somewhat glauconitic. The Buda is about 35 feet thick in the area and also forms the upper confining unit for the Edwards Aquifer.

The site is located within both the recharge zone and transition zone of the Edwards Aquifer (see Exhibit 2). Table 1 (attached) is a stratigraphic column prepared for the site. Exposure of these units onsite is somewhat obscured by the existing soil cover and vegetation. A few outcrops of Buda Formation limestone were observed within the dry drainageway in the northern portion of the site. No faulting was observed on the site. The nearest mapped fault is located approximately 3/4 miles west of the site. The fault, which trends toward the northwest, is associated with the Balcones Fault zone which represents the dominant structural trend in the vicinity of the site. The completed Geologic Assessment form is attached.

No geologic features were observed on the site. Due to the lack of any sensitive recharge features, the potential for fluid movement to the Edwards aquifer beneath the property is considered low. No springs or streams were observed onsite. A review of the site maps contained in the City of Georgetown Ordinance 2015-14 indicated there are no known springs occupied by the Georgetown Salamander on the site and the nearest known occupied site is located approximately five miles northwest of the site (San Gabriel Spring).



SCALE 1:12,000



CONTOUR INTERVAL 10 FEET

NATIONAL GEODETIC VERTICAL DATUM OF 1988

Georgetown, Texas
 2019
 7.5 MINUTE SERIES (TOPOGRAPHIC)

Project Mngr:	RF
Drawn By:	ATX Drafting
Checked By:	RF
Approved By:	RF
Project No.	96227415
Scale:	AS SHOWN
File No.	96227415
Date:	May 31, 2022

Terracon
 Consulting Engineers and Scientists
 5307 INDUSTRIAL OAKS BLVD. - #160 AUSTIN, TX 78735
 PH. (512) 442-1122 FAX (512) 442-1181

TOPOGRAPHIC MAP
 Vista Vera Park
 Meadow Wood Cove
 Georgetown, Williamson County, Texas

EXHIBIT
1



LEGEND

- Site Boundary
- 820--- Topographic Contours
- Kbu** Buda Formation
- Kdr** Del Rio Formation

Project Mgr:	RF	Project No:	96227415
Drawn By:	ATX Drafting	Scale:	AS SHOWN
Checked By:	RF	File No:	96227415
Approved By:	RF	Date:	May 31, 2022

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SITE GEOLOGIC MAP
 Vista Vera Park
 Meadow Wood Cove
 Georgetown, Williamson County, Texas



LEGEND

-  Site Boundary
-  Topographic Contours
- FhF2** Ferris-Heiden Complex (5%-15% slopes)
- HesE** Heiden Extremely Stony Clay (3%-12% slopes)
- HoC2** Houston Black Clay (3%-5% slopes)



Project Mgr:	RF	Project No:	96227415
Drawn By:	ATX Drafting	Scale:	AS SHOWN
Checked By:	RF	File No:	96227415
Approved By:	RF	Date:	May 31, 2022

Terracon
 Consulting Engineers and Scientists
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 PH: (512) 442-1122 FAX: (512) 442-1181

SITE SOILS MAP
 Vista Vera Park
 Meadow Wood Cove
 Georgetown, Williamson County, Texas

Recharge and Transition Zone Exception Request Form

Texas Commission on Environmental Quality

30 TAC §213.9 Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

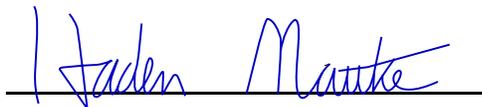
Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Recharge and Transition Zone Exception Request Form** is hereby submitted for TCEQ review and executive director approval. The request was prepared by:

Print Name of Customer/Agent: Haden Mattke, P.E., CFM

Date: 11/26/2025

Signature of Customer/Agent:



Regulated Entity Name: Vista Vera Park

Exception Request

- Attachment A - Nature of Exception.** A narrative description of the nature of each exception requested is attached. All provisions of 30 TAC §213 Subchapter A for which an exception is being requested have been identified in the description.
- Attachment B - Documentation of Equivalent Water Quality Protection.** Documentation demonstrating equivalent water quality protection for the Edwards Aquifer is attached.

Administrative Information

- Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.
- The applicant understands that no exception will be granted for a prohibited activity in Chapter 213.
- The applicant understands that prior approval under this section must be obtained from the executive director for the exception to be authorized.



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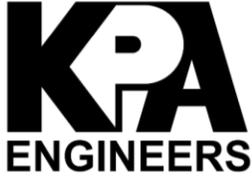
November 26, 2025

**ATTACHMENT A
FORM 0628
NATURE OF EXCEPTION.**

This project wishes to be granted an exception for a Water Pollution Abatement Plan. The project consists of approximately 1,040 linear feet of 5' wide concrete sidewalk throughout the project site, as well as concrete pads for public picnic tables, a shade structure, trash cans, a water fountain, and other appurtenant items. The resultant impervious cover for the site will be approximately 2.85%. The extent of the topsoil excavation for the sidewalk and parking area is very minimal, typically less than one foot.

In addition to the relatively small project size, limited topsoil excavation, and previously disturbed project area, this project proposes a permanent Equivalent Water Quality Protection BMP in the form of natural vegetation along the proposed sidewalk, proportional in size to a vegetative filter strip along a roadway. It is the intent of this application that this naturally vegetated area will serve as an equivalent permanent BMP and thus grant an exception to the requirements in the Edwards Aquifer Technical Guidance.

From a technical design perspective, the exception being requested with this application applies to TAC 213.5(b)(4)(D)(ii)(I), which requires 80% TSS Removal be in accordance with the technical guidance (RG-348) prepared or accepted by the executive director. The BMP will be in accordance with the standard design criteria for Vegetative Filter Strips, as specified in TCEQ Publication RG-348, with the exception of the minimum width requirement.



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November 26, 2025

ATTACHMENT B
FORM 0628
DOCUMENTATION OF EQUIVALENT WATER QUALITY PROTECTION.

The subject project proposes a permanent BMP in the form of Equivalent Water Quality Protection. This BMP consists of naturally vegetated areas immediately adjacent to the proposed impervious areas on the downslope side. Though typically vegetative filter strips are used to cover large roadways, parking lots, etc. (at 15' of filter strip for 72' of roadway), through discussions with TCEQ regarding a project of similar scope and size, it was agreed that smaller shared use paths such as sidewalks could utilize smaller width vegetative areas as Equivalent Water Quality Protection measures—for example, a 5' sidewalk would equate to a 2.6' Vegetated Filter Strip. Our project consists of naturally vegetated areas in various widths along the proposed 5' sidewalk and other impervious areas, proportional to a full size filter strip proposed next to a roadway. The City of Georgetown will regularly maintain this natural vegetation through their maintenance departments.

The temporary stormwater protection measure proposed for this project is silt fence.

Temporary Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

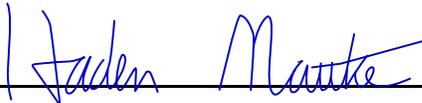
Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Haden Mattke, P.E., CFM

Date: 11/26/2025

Signature of Customer/Agent:



Regulated Entity Name: Vista Vera Park

Project Information

Potential Sources of Contamination

Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.

1. Fuels for construction equipment and hazardous substances which will be used during construction:

The following fuels and/or hazardous substances will be stored on the site: N/A

These fuels and/or hazardous substances will be stored in:

- Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

- Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
- Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- Fuels and hazardous substances will not be stored on the site.
- 2. **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3. Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4. **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

Sequence of Construction

- 5. **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
 - For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
 - For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6. Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: Brushy Creek

Temporary Best Management Practices (TBMPs)

Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.

- 7. **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
 - A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
 - A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
 - A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8. The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
 - There will be no temporary sealing of naturally-occurring sensitive features on the site.
9. **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10. **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
 - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
 - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
 - There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

- There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.
11. **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.
- N/A
12. **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13. All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14. If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15. Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

Soil Stabilization Practices

Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.

17. **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

18. Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
19. Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

Administrative Information

20. All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
21. If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
22. Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.



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November 26, 2025

**ATTACHMENT A
FORM 0602
SPILL RESPONSE ACTIONS.**

This project will prohibit the storage of hazardous substances, fuels, or oils on the project site and require they are stored at an approved offsite facility. The construction of the sidewalk will require the use of several types of equipment that will be fueled at an approved location off-site. This will present a slight risk of hydrocarbon or hazardous substance spills. In the event of such spills, the contaminated material will be collected and disposed at an approved hazardous material location. All proper authorities will be notified as soon as the spill is discovered. The emergency response phone number for TCEQ is 1-800-832-8224. The National Spill Response Hotline is 800-424-8802.



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November 26, 2025

ATTACHMENT B
FORM 0602
POTENTIAL SOURCES OF CONTAMINATION.

The only potential source of contamination for the project during construction is that of the construction equipment. However, as previously mentioned, no fuels or hazardous substances will be stored on-site. In the case of a spill, the Spill Response Action of this report will be utilized.



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November 26, 2025

ATTACHMENT C
FORM 0602
SEQUENCE OF MAJOR ACTIVITIES.

The sequence of major activities in the disturbance of the natural terrain will be as follows:

1. Install all of the temporary water pollution and abatement control measures. (Total Area Affected: 0.79 acres)
2. Excavate for and install sidewalk improvements. (Total Area Affected: 0.79 acres)
3. Establish vegetation in any disturbed areas.
4. Remove temporary water pollution and abatement control measures. (Total Area Affected: 0.79 acres)
5. The temporary control measures will be installed at the beginning of the project and remain throughout the entirety of the project until completion.



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ATTACHMENT D
FORM 0602
TEMPORARY BEST MANAGEMENT PRACTICES AND MEASURES.

The main temporary best management practice that will be utilized for the construction of this project is silt fence. Temporary BMPs will be employed and maintained for the duration of time for construction and establishment of vegetation of disturbed soils. If deemed necessary further down the line, additional silt fence and/or concrete washouts may be utilized.

Approximately 1,675 LF of silt fence is proposed along the proposed sidewalk route. The silt fence will slow the runoff, allowing the storm water to flow through the geotextile fabric and filter out sediment or other contaminants before passing through to the other side.

A concrete washout area (if needed) will also be utilized. The location will be determined by the contractor prior to the beginning of construction. Tree protection will also be utilized to help stabilize and protect larger trees around the project site. Other temporary BMPs such as stabilized construction entrances or filter dikes are not expected, but may be used if deemed required during construction.

Through these best management practice and measures, all storm water leaving the site should be maintained to the maximum extent possible to its natural (current) stabilized state. With the limited project construction site size and expected storm water flow patterns towards proposed silt fence, the storm water flows leaving the site should not impact the flows to any sensitive features around the area.



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November 26, 2025

ATTACHMENT E
FORM 0602
REQEUST TO TEMPORARILY SEAL A FEATURE.

There will be no temporary sealing of a feature anticipated or proposed for this project.

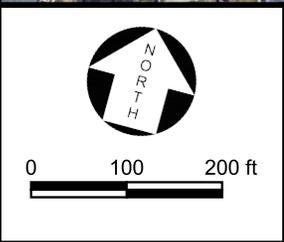
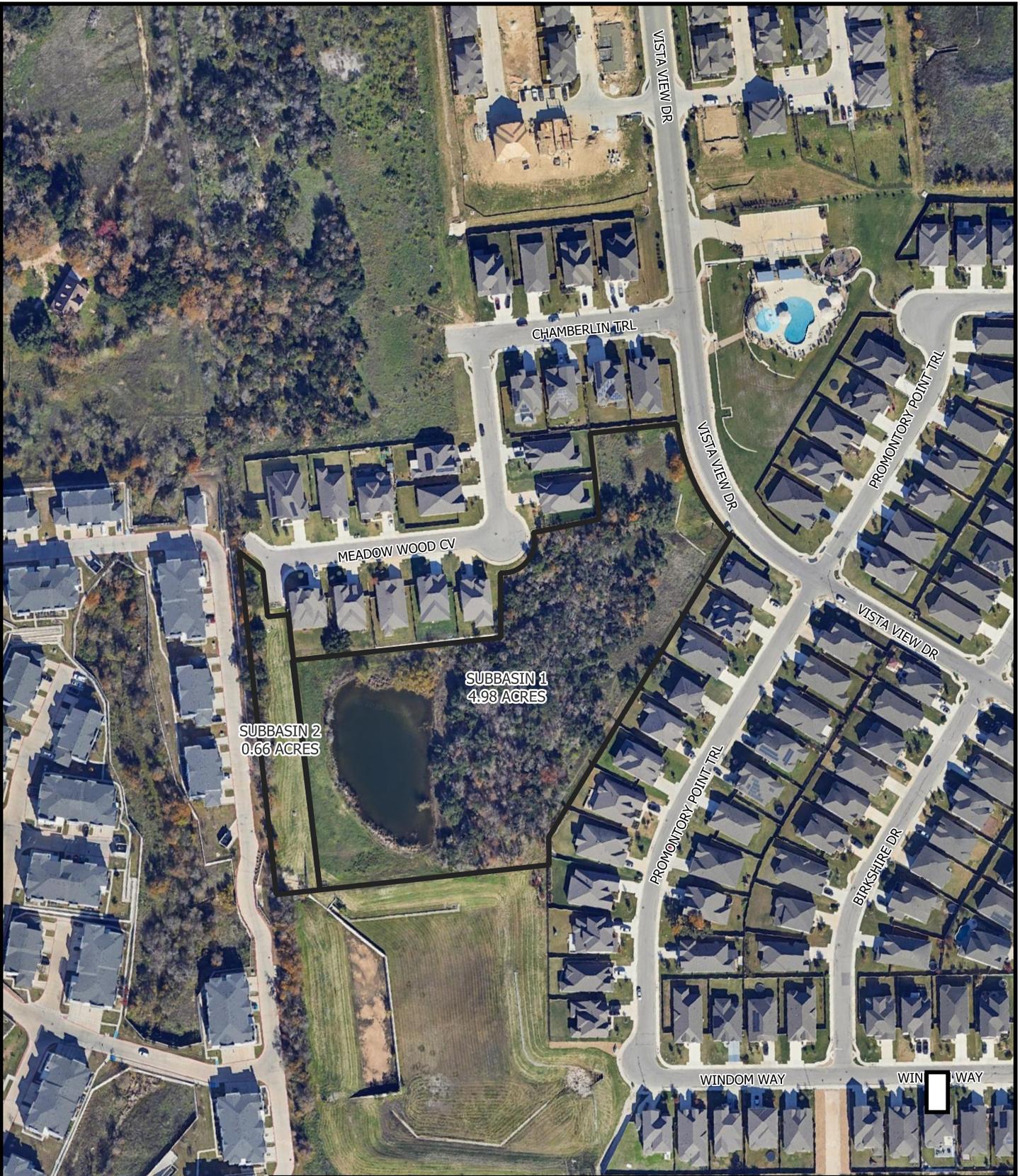


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November 26, 2025

**ATTACHMENT F
FORM 0602
STRUCTURAL PRACTICES.**

Due to the nature and layout of this project, structural practices are not practical. The project site is relatively small in overall scope and the use of silt fence will be the most effective way to mitigate unexpected sediment and erosion control from storm water runoff during construction.



GEORGETOWN
TEXAS
more than welcome

KASBERG, PATRICK & ASSOCIATES, LP
CONSULTING ENGINEERS
TEMPLE, TEXAS 76501
Firm Registration No. F-510

VISTA VERA PARK
EXHIBIT G – DRAINAGE AREA MAP



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November 26, 2025

**ATTACHMENT H
FORM 0602
TEMPORARY SEDIMENT POND PLANS AND CALCULATIONS.**

There are no temporary sediment ponds anticipated or proposed for this project.



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November 26, 2025

ATTACHMENT I
FORM 0602
INSPECTION AND MAINTENANCE FOR BMPs.

The contractor will be required to maintain, repair, or retrofit all temporary Best Management Practices (BMPs) through the duration of the project. The contractor will be required to inspect the BMPs at weekly intervals and after rainfall events as specified by the Erosion and Sediment Control Notes. The project inspector, from the City of Georgetown, will also inspect the BMPs to ensure they are in proper working condition. If any BMP is found to be unacceptable, the inspector will notify the contractor to remedy the problem immediately. Specific temporary BMP inspection and maintenance requirements are listed below. Construction notes for these BMPs, as well as additional notes can be found in the plan set details. Additionally, while they are not expected to be required, notes for other temporary BMPs such as filter dikes have also been included in the construction notes in the case they are deemed required during construction.

Silt Fence & Tree Protection

- Inspect all fencing weekly and after any rainfall event.
- Remove sediment when buildup reaches 6 inches.
- Replace any torn fabric.
- Replace or repair any sections crushed or collapsed in the course of construction activity.
- Fencing will be removed after construction is complete.

Concrete Washout

- The below ground concrete washout area will be constructed before construction commences.
- The washout area will be cleaned on a daily basis. All sediment, wastes, etc. will be removed from the site by the contractor.
- When necessary, repairs will be made to the washout area.
- The washout area will be removed after construction is complete.



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November 26, 2025

ATTACHMENT J
FORM 0602
SCHEDULE OF INTERIM AND PERMANENT SOIL STABILIZATION PRACTICES.

When evaluating the existing site conditions, limited project scope, nature, time of risk exposure and layout of this project, extensive temporary soil stabilization practices are impractical. The disturbance of topsoil for the majority of the project will be limited, at relatively shallow depths (less than one foot typically), and shallow slopes. For this reason, the main soil stabilization practice that will be implemented during (and after construction) will be the establishment of permanent vegetation on all areas of soil disturbance. This vegetation will help both in stabilizing the soil during and after construction, as well as in reducing the risk of sediment or dust contamination from the project site. Bare soils should be seeded or otherwise stabilized within 14 calendar days after final grading or where construction activity has temporarily ceased for more than 21 days.

Permanent Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(C), (D)(li), (E), and (5), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Permanent Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Haden Mattke, P.E., CFM

Date: 11/26/2025

Signature of Customer/Agent



Regulated Entity Name: Vista Vera Park

Permanent Best Management Practices (BMPs)

Permanent best management practices and measures that will be used during and after construction is completed.

- Permanent BMPs and measures must be implemented to control the discharge of pollution from regulated activities after the completion of construction.
 N/A
- These practices and measures have been designed, and will be constructed, operated, and maintained to insure that 80% of the incremental increase in the annual mass loading of total suspended solids (TSS) from the site caused by the regulated activity is removed. These quantities have been calculated in accordance with technical guidance prepared or accepted by the executive director.
 The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site.

A technical guidance other than the TCEQ TGM was used to design permanent BMPs and measures for this site. The complete citation for the technical guidance that was used is: _____

N/A

3. Owners must insure that permanent BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the appropriate regional office within 30 days of site completion.

N/A

4. Where a site is used for low density single-family residential development and has 20 % or less impervious cover, other permanent BMPs are not required. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

The site will be used for low density single-family residential development and has 20% or less impervious cover.

The site will be used for low density single-family residential development but has more than 20% impervious cover.

The site will not be used for low density single-family residential development.

5. The executive director may waive the requirement for other permanent BMPs for multi-family residential developments, schools, or small business sites where 20% or less impervious cover is used at the site. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

Attachment A - 20% or Less Impervious Cover Waiver. The site will be used for multi-family residential developments, schools, or small business sites and has 20% or less impervious cover. A request to waive the requirements for other permanent BMPs and measures is attached.

The site will be used for multi-family residential developments, schools, or small business sites but has more than 20% impervious cover.

The site will not be used for multi-family residential developments, schools, or small business sites.

6. **Attachment B - BMPs for Upgradient Stormwater.**

- A description of the BMPs and measures that will be used to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site is attached.
 - No surface water, groundwater or stormwater originates upgradient from the site and flows across the site, and an explanation is attached.
 - Permanent BMPs or measures are not required to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site, and an explanation is attached.
7. **Attachment C - BMPs for On-site Stormwater.**
- A description of the BMPs and measures that will be used to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff from the site is attached.
 - Permanent BMPs or measures are not required to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff, and an explanation is attached.
8. **Attachment D - BMPs for Surface Streams.** A description of the BMPs and measures that prevent pollutants from entering surface streams, sensitive features, or the aquifer is attached. Each feature identified in the Geologic Assessment as sensitive has been addressed.
- N/A
9. The applicant understands that to the extent practicable, BMPs and measures must maintain flow to naturally occurring sensitive features identified in either the geologic assessment, executive director review, or during excavation, blasting, or construction.
- The permanent sealing of or diversion of flow from a naturally-occurring sensitive feature that accepts recharge to the Edwards Aquifer as a permanent pollution abatement measure has not been proposed.
 - Attachment E - Request to Seal Features.** A request to seal a naturally-occurring sensitive feature, that includes, for each feature, a justification as to why no reasonable and practicable alternative exists, is attached.
10. **Attachment F - Construction Plans.** All construction plans and design calculations for the proposed permanent BMP(s) and measures have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer, and are signed, sealed, and dated. The plans are attached and, if applicable include:
- Design calculations (TSS removal calculations)
 - TCEQ construction notes
 - All geologic features
 - All proposed structural BMP(s) plans and specifications
- N/A

11. **Attachment G - Inspection, Maintenance, Repair and Retrofit Plan.** A plan for the inspection, maintenance, repairs, and, if necessary, retrofit of the permanent BMPs and measures is attached. The plan includes all of the following:
- Prepared and certified by the engineer designing the permanent BMPs and measures
 - Signed by the owner or responsible party
 - Procedures for documenting inspections, maintenance, repairs, and, if necessary retrofit
 - A discussion of record keeping procedures
- N/A
12. **Attachment H - Pilot-Scale Field Testing Plan.** Pilot studies for BMPs that are not recognized by the Executive Director require prior approval from the TCEQ. A plan for pilot-scale field testing is attached.
- N/A
13. **Attachment I -Measures for Minimizing Surface Stream Contamination.** A description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is attached. The measures address increased stream flashing, the creation of stronger flows and in-stream velocities, and other in-stream effects caused by the regulated activity, which increase erosion that results in water quality degradation.
- N/A

Responsibility for Maintenance of Permanent BMP(s)

Responsibility for maintenance of best management practices and measures after construction is complete.

14. The applicant is responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred.
- N/A
15. A copy of the transfer of responsibility must be filed with the executive director at the appropriate regional office within 30 days of the transfer if the site is for use as a multiple single-family residential development, a multi-family residential development, or a non-residential development such as commercial, industrial, institutional, schools, and other sites where regulated activities occur.
- N/A



19 North Main Street • Temple, TX 76501 • (254) 773-3731
800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

November 26, 2025

**ATTACHMENT A
FORM 0600
20% OR LESS IMPERVIOUS COVER WAIVER.**

This project is not requesting a 20% or Less Impervious Cover Waiver as it is not applicable to this project.



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November 26, 2025

ATTACHMENT B
FORM 0600
BMPs FOR UPGRADIENT STORMWATER.

Some upslope areas to the northeast of the site and south of Westinghouse Road drain across the site. The upslope flows are conveyed to the site through an existing 42" RCP storm sewer, with an outfall on the east side of the site near Vista View drive. The discharge from this pipe is spread out via energy dissipators and a permanently installed rock berm that also functions as a level spreader. This reduces the depth of flow, mitigating erosion potential downstream that would otherwise compromise the equivalent VFS protection. The peak flow originating onsite that crosses the equivalent VFS will be treated well before the offsite peak reaches the BMP, thus no additional TSS treatment should be needed for offsite flows, which are not anticipated to adversely impact the function of the proposed BMP.



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ATTACHMENT C
FORM 0600
BMPs FOR ON SITE STORMWATER.

The project limits consists of approximately 0.79 acres. The only new impervious cover is 1,040 linear feet of 5' sidewalk and some miscellaneous appurtenant concrete pads for other park features. This portion of the project will be treated by a proposed Equivalent Water Quality Protection BMP in the form of naturally vegetated area downslope of the proposed sidewalk, proportionally sized based on a standard vegetative filter strip.



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November 26, 2025

ATTACHMENT D
FORM 0600
BMPs FOR SURFACE STREAMS.

The proposed Equivalent Water Quality Protection BMPs consisting of naturally vegetated areas will collect and treat the storm water originating on-site. These BMPs serve to prevent pollutants from entering any surface streams or the aquifer, as they will be treated before discharging further downstream.



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November 26, 2025

ATTACHMENT E
FORM 0600
REQUEST TO SEAL FEATURES.

There will be no sealing of or diversion of flow from a sensitive feature anticipated or proposed for this project.



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November 26, 2025

**ATTACHMENT F
FORM 0600
CONSTRUCTION PLANS.**

Construction Plans are attached to this application as Volume 2.



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November 26, 2025

ATTACHMENT G
FORM 0600
INSPECTION, MAINTENANCE, REPAIR AND RETROFIT PLAN.

The vegetative filter strips will be maintained by the City of Georgetown per their standard right-of-way maintenance agreements and procedures.

Once established, all vegetated areas will require the following maintenance:

- ***Pest Management***

An Integrated Pest Management (IPM) Plan should be developed for vegetated areas. This plan should specify how problem insects and weeds will be controlled with minimal or no use of insecticides and herbicides.

- ***Seasonal Mowing and Lawn Care***

If the filter strip is made up of turf grass, it should be mowed as needed to limit vegetation height to 18 inches, using a mulching mower (or removal of clippings). If native grasses are used, the filter may require less frequent mowing, but a minimum of twice annually. Grass clippings and brush debris should not be deposited on vegetated filter strip areas. Regular mowing should also include weed control practices; however, herbicide use should be kept to a minimum. Healthy grass can be maintained without using fertilizers because runoff usually contains sufficient nutrients. Irrigation of the site can help assure a dense and healthy vegetative cover.

- ***Inspection***

Inspect filter strips at least twice annually for erosion or damage to vegetation; however, additional inspection after periods of heavy runoff is most desirable. The strip should be checked for uniformity of grass cover, debris and litter, and areas of sediment accumulation. More frequent inspections of the grass cover during the first few years after establishment will help to determine if any problems are developing, and to plan for long-term restorative maintenance needs. Bare spots and areas of erosion identified during semi-annual inspections must be replanted and restored to meet specifications. Construction of a level spreader device may be necessary to reestablish shallow overland flow.

- ***Debris and Litter Removal***

Trash tends to accumulate in vegetated areas, particularly along highways. Any filter strip structure (i.e. level spreaders) should be kept free of obstructions to reduce floatables being flushed downstream, and for aesthetic reasons. The need for this practice is determined through periodic inspection, but should be performed no less than 4 times per year.

- ***Sediment Removal***

Sediment removal is not normally required in filter strips, since the vegetation normally grows through it and binds it to the soil. However, sediment may accumulate along the upstream boundary of the strip preventing uniform overland flow. Excess sediment should be removed by hand or with flat-bottomed shovels.

- ***Grass Reseeding and Mulching***

A healthy dense grass should be maintained on the filter strip. If areas are eroded, they should be filled, compacted, and reseeded so that the final grade is level. Grass damaged during the sediment removal process should be promptly replaced using the same seed mix used during filter strip establishment. If possible, flow should be diverted from the damaged areas until the grass is firmly established. Bare spots and areas of erosion identified during semi-annual inspections must be replanted and restored to meet specifications. Corrective maintenance, such as weeding or replanting should be done more frequently in the first two to three years after installation to ensure stabilization. Dense vegetation may require irrigation immediately after planting, and during particularly dry periods, particularly as the vegetation is initially established.

11/26/2025



Haden Mattke

Professional Engineer



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800 South Austin Ave • Georgetown, TX 78626 • (512) 819-9478

November 26, 2025

**ATTACHMENT H
FORM 0600
PILOT-SCALE FIELD TESTING PLAN.**

There are no proposed BMPs in this project that are not recognized by the Executive Director and therefore there is no plan for pilot-scale field testing for this project.



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November 26, 2025

ATTACHMENT I
FORM 0600
MEASURES FOR MINIMIZING SURFACE STREAM CONTAMINATION.

As described elsewhere in this application, vegetated areas will effectively treat contaminants from storm water occurring due to the proposed improvements, thus minimizing, if not eliminating, any related surface stream contamination.

Additionally, the temporary BMPs previously described (silt fence, vegetation, etc.) will also serve to treat and minimize contaminated runoff during construction. These BMPs will also serve to decrease runoff velocities before exiting the project site.

Agent Authorization Form
For Required Signature
Edwards Aquifer Protection Program
Relating to 30 TAC Chapter 213
Effective June 1, 1999

I _____ Patrick Cavanaugh _____
Print Name

_____ Parks Development Manager _____
Title - Owner/President/Other

of _____ City of Georgetown _____
Corporation/Partnership/Entity Name

have authorized _____ Haden Mattke, P.E., CFM _____
Print Name of Agent/Engineer

of _____ Kasberg, Patrick & Associates _____
Print Name of Firm

to represent and act on the behalf of the above named Corporation, Partnership, or Entity for the purpose of preparing and submitting this plan application to the Texas Commission on Environmental Quality (TCEQ) for the review and approval consideration of regulated activities.

I also understand that:

1. The applicant is responsible for compliance with 30 Texas Administrative Code Chapter 213 and any condition of the TCEQ's approval letter. The TCEQ is authorized to assess administrative penalties of up to \$10,000 per day per violation.
2. For those submitting an application who are not the property owner, but who have the right to control and possess the property, additional authorization is required from the owner.
3. Application fees are due and payable at the time the application is submitted. The application fee must be sent to the TCEQ cashier or to the appropriate regional office. The application will not be considered until the correct fee is received by the commission.
4. A notarized copy of the Agent Authorization Form must be provided for the person preparing the application, and this form must accompany the completed application.
5. No person shall commence any regulated activity on the Edwards Aquifer Recharge Zone, Contributing Zone or Transition Zone until the appropriate application for the activity has been filed with and approved by the Executive Director.

SIGNATURE PAGE:

[Signature]
Applicant's Signature

10/13/2025
Date

THE STATE OF Texas §

County of Williamson §

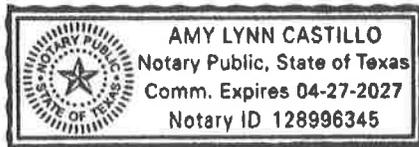
BEFORE ME, the undersigned authority, on this day personally appeared PATRICK CAVANAUGH known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 13th day of October, 2025

Amy Castillo
NOTARY PUBLIC

Amy Castillo
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: 04/27/2027



Application Fee Form

Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: Vista Vera Park

Regulated Entity Location: Georgetown, Texas

Name of Customer: City of Georgetown

Contact Person: Patrick Cavanaugh

Phone: (512)930-3595

Customer Reference Number (if issued): CN 600412043

Regulated Entity Reference Number (if issued): RN _____

Austin Regional Office (3373)

Hays

Travis

Williamson

San Antonio Regional Office (3362)

Bexar

Medina

Uvalde

Comal

Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

Austin Regional Office

San Antonio Regional Office

Mailed to: TCEQ - Cashier

Overnight Delivery to: TCEQ - Cashier

Revenues Section

Mail Code 214

P.O. Box 13088

Austin, TX 78711-3088

12100 Park 35 Circle

Building A, 3rd Floor

Austin, TX 78753

(512)239-0357

Site Location (Check All That Apply):

Recharge Zone

Contributing Zone

Transition Zone

<i>Type of Plan</i>	<i>Size</i>	<i>Fee Due</i>
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	Acres	\$
Sewage Collection System	L.F.	\$
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	1 Each	\$ 500
Extension of Time	Each	\$

Signature: 

Date: 11/26/2025

Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

Water Pollution Abatement Plans and Modifications

Contributing Zone Plans and Modifications

<i>Project</i>	<i>Project Area in Acres</i>	<i>Fee</i>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

Organized Sewage Collection Systems and Modifications

<i>Project</i>	<i>Cost per Linear Foot</i>	<i>Minimum Fee- Maximum Fee</i>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

Underground and Aboveground Storage Tank System Facility Plans and Modifications

<i>Project</i>	<i>Cost per Tank or Piping System</i>	<i>Minimum Fee- Maximum Fee</i>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

Exception Requests

<i>Project</i>	<i>Fee</i>
Exception Request	\$500

Extension of Time Requests

<i>Project</i>	<i>Fee</i>
Extension of Time Request	\$150



TCEQ Core Data Form

For detailed instructions on completing this form, please read the Core Data Form Instructions or call 512-239-5175.

SECTION I: General Information

1. Reason for Submission (If other is checked please describe in space provided.)		
<input checked="" type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)	<input type="checkbox"/> Other	
2. Customer Reference Number (if issued)	Follow this link to search for CN or RN numbers in Central Registry**	3. Regulated Entity Reference Number (if issued)
CN 600412043		RN

SECTION II: Customer Information

4. General Customer Information		5. Effective Date for Customer Information Updates (mm/dd/yyyy)	
<input type="checkbox"/> New Customer <input type="checkbox"/> Update to Customer Information <input type="checkbox"/> Change in Regulated Entity Ownership <input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)			
<i>The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).</i>			
6. Customer Legal Name (If an individual, print last name first: eg: Doe, John)		<i>If new Customer, enter previous Customer below:</i>	
City of Georgetown			
7. TX SOS/CPA Filing Number	8. TX State Tax ID (11 digits)	9. Federal Tax ID (9 digits)	10. DUNS Number (if applicable)
11. Type of Customer:		Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited	
Government: <input checked="" type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> Local <input type="checkbox"/> State <input type="checkbox"/> Other		<input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Other:	
12. Number of Employees		13. Independently Owned and Operated?	
<input type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input type="checkbox"/> 501 and higher		<input type="checkbox"/> Yes <input type="checkbox"/> No	
14. Customer Role (Proposed or Actual) – as it relates to the Regulated Entity listed on this form. Please check one of the following			
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Operator <input type="checkbox"/> Owner & Operator <input type="checkbox"/> Other: <input type="checkbox"/> Occupational Licensee <input type="checkbox"/> Responsible Party <input type="checkbox"/> VCP/BSA Applicant			
15. Mailing Address:			
City	State	ZIP	ZIP + 4
16. Country Mailing Information (if outside USA)		17. E-Mail Address (if applicable)	

18. Telephone Number () -	19. Extension or Code	20. Fax Number (if applicable) () -
--------------------------------------	------------------------------	--

SECTION III: Regulated Entity Information

21. General Regulated Entity Information (If 'New Regulated Entity' is selected, a new permit application is also required.)								
<input checked="" type="checkbox"/> New Regulated Entity <input type="checkbox"/> Update to Regulated Entity Name <input type="checkbox"/> Update to Regulated Entity Information								
<i>The Regulated Entity Name submitted may be updated, in order to meet TCEQ Core Data Standards (removal of organizational endings such as Inc, LP, or LLC).</i>								
22. Regulated Entity Name (Enter name of the site where the regulated action is taking place.)								
Vista Vera Park								
23. Street Address of the Regulated Entity: (No PO Boxes)	1120 Vista View Drive							
	City	Georgetown	State	TX	ZIP	78626	ZIP + 4	
24. County	Williamson							

If no Street Address is provided, fields 25-28 are required.

25. Description to Physical Location:	The project is located at 1120 Vista View Drive, Georgetown, TX 78626. From the intersection of Vista View Drive and Westinghouse Road, it is approximately 0.3 miles south on Vista View Drive on the west side of the street.								
26. Nearest City	Georgetown				State	TX	Nearest ZIP Code		78626
<i>Latitude/Longitude are required and may be added/updated to meet TCEQ Core Data Standards. (Geocoding of the Physical Address may be used to supply coordinates where none have been provided or to gain accuracy).</i>									
27. Latitude (N) In Decimal:		30.577382			28. Longitude (W) In Decimal:		-97.674823		
Degrees	Minutes	Seconds	Degrees	Minutes	Seconds				
30	34	38.6	-97	40	29.3				
29. Primary SIC Code (4 digits)	30. Secondary SIC Code (4 digits)		31. Primary NAICS Code (5 or 6 digits)		32. Secondary NAICS Code (5 or 6 digits)				
1629			237990						
33. What is the Primary Business of this entity? (Do not repeat the SIC or NAICS description.)									
Public Park									
34. Mailing Address:	1101 North College Street								
	City	Georgetown	State	TX	ZIP	78626	ZIP + 4		
35. E-Mail Address:	patrick.cavanaugh@georgetowntexas.gov								
36. Telephone Number	37. Extension or Code			38. Fax Number (if applicable)					
(512) 930-3595				() -					

39. TCEQ Programs and ID Numbers Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.

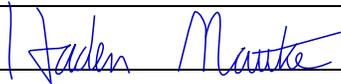
<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Wastewater	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

SECTION IV: Preparer Information

40. Name:	Haden J Mattke , P.E., CFM	41. Title:	Project Manager
42. Telephone Number	43. Ext./Code	44. Fax Number	45. E-Mail Address
(512) 819-9478		(254) 773-6667	hmattke@kpaengineers.com

SECTION V: Authorized Signature

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

Company:	Kasberg, Patrick & Associates	Job Title:	Project Manager
Name (In Print):	Haden Mattke	Phone:	(512) 819- 9478
Signature:		Date:	11/26/2025

City of Georgetown, Texas



Vista Vera Park

Volume 2 of 2

**Texas Commission on Environmental Quality
Submittal for Edwards Aquifer Protection Plan**

Construction Plans

Georgetown Neighborhood Park Improvements

VISTA VERA PARK: 1110 VISTA VIEW DR, GEORGETOWN, TX 78626

Site Development Plan

2025-19-SDP

VOLUME 2: VISTA VERA PARK

COVEY

Planning + Landscape Architecture

800 South Austin Avenue
Georgetown, Texas 78626
512.887.5311

A PROJECT BY

CITY OF GEORGETOWN: PARKS & RECREATION DEPARTMENT

CONTACT: PATRICK CAVANAUGH, PLA, ASLA
1101 N. COLLEGE STREET
GEORGETOWN, TEXAS 78626
(512) 930-3540
patrick.cavanaugh@georgetown.com
https://parks.georgetown.org/

LANDSCAPE ARCHITECT: COVEY PLANNING + LANDSCAPE ARCHITECTS

CONTACT: TYLER RICHBURG, PLA
800 S. AUSTIN AVENUE
GEORGETOWN, TEXAS 78626
(512) 887-5311
trichburg@coveylandscape.com
http://coveylandscape.com/

KPA ENGINEERS

CONTACT: HADEN MATTKE, PE, CFM
800 S. AUSTIN AVENUE
GEORGETOWN, TEXAS 78626
(254) 899-6311
hmattke@kpaengineers.com
http://kpaengineers.com/

PROJECT INFORMATION

PROPOSED USE:
NEIGHBORHOOD PARK

ZONING DISTRICT:
RS - RESIDENTIAL SINGLE FAMILY

ACREAGE:
0.79 ACRES OF IMPROVEMENT AREA (34,614 S.F.)

TOTAL IMPERVIOUS COVERAGE:
0.15 ACRES (6,776 S.F.)

UTILITY PROVIDER:
GEORGETOWN UTILITIES SYSTEMS
300-1 INDUSTRIAL AVENUE
GEORGETOWN, TX 78626
(512)-930-8140

LEGAL DESCRIPTION OF PROPERTIES:

- S12027 - VISTA POINTE PH 1 (REPLAT), ACRES 5.000

INDEX OF SHEETS

DATE	ISSUE	SHEET TITLE	SHEET NUMBER	PAGE NUMBER
GENERAL SHEETS				
10/28/2025	BID SET	COVER SHEET	T-01	01 OF 37
10/28/2025	BID SET	GENERAL NOTES	T-02	02 OF 37
10/28/2025	BID SET	FINAL PLAT (1 of 7)	T-03	03 OF 37
10/28/2025	BID SET	FINAL PLAT (2 of 7)	T-04	04 OF 37
10/28/2025	BID SET	FINAL PLAT (3 of 7)	T-05	05 OF 37
10/28/2025	BID SET	FINAL PLAT (4 of 7)	T-06	06 OF 37
10/28/2025	BID SET	FINAL PLAT (5 of 7)	T-07	07 OF 37
10/28/2025	BID SET	FINAL PLAT (6 of 7)	T-08	08 OF 37
10/28/2025	BID SET	FINAL PLAT (7 of 7)	T-09	09 OF 37
CIVIL				
10/28/2025	BID SET	TCEQ & GENERAL NOTES AND LEGEND	C-01	10 OF 37
10/28/2025	BID SET	EXISTING SITE PLAN	C-02	11 OF 37
10/28/2025	BID SET	TREE PROTECTION REFERENCE PLAN	C-03	12 OF 37
10/28/2025	BID SET	TREE PROTECTION AND EROSION CONTROL PLAN (1 OF 2)	C-04	13 OF 37
10/28/2025	BID SET	TREE PROTECTION AND EROSION CONTROL PLAN (2 OF 2)	C-05	14 OF 37
10/28/2025	BID SET	TREE PROTECTION AND EROSION CONTROL NOTES AND DETAILS	C-06	15 OF 37
10/28/2025	BID SET	TREE SURVEY	C-07	16 OF 37
10/28/2025	BID SET	EXISTING TREE SCHEDULE AND MITIGATION CALCULATIONS	C-08	17 OF 37
10/28/2025	BID SET	PROPOSED SITE PLAN	C-09	18 OF 37
10/28/2025	BID SET	DIMENSIONAL CONTROL PLAN - SIDEWALK EAST	C-10	19 OF 37
10/28/2025	BID SET	DIMENSIONAL CONTROL PLAN - SIDEWALK WEST	C-11	20 OF 37
10/28/2025	BID SET	GRADING PLAN - SIDEWALK EAST	C-12	21 OF 37
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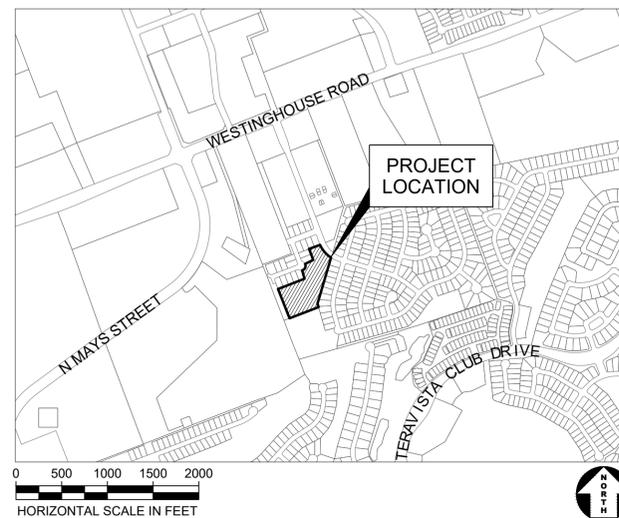
LANDSCAPE TITLE SHEET

10/28/2025	BID SET	LANDSCAPE REQUIREMENTS AND NOTES	LT-01	29 OF 37
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LANDSCAPE CONSTRUCTION

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10/28/2025	BID SET	LANDSCAPE PLAN (2 OF 2)	LC-03	32 OF 37
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PROJECT LOCATION



I, TYLER RICHBURG, HEREBY CERTIFY THAT THIS LANDSCAPE PLAN COMPLIES WITH THE REQUIREMENTS OF CHAPTER 8 OF THE UNIFIED DEVELOPMENT CODE.



October 28, 2025
DATE

APPROVED BY:

CITY OF GEORGETOWN, TEXAS

DATE

GENERAL SITE DEVELOPMENT PLAN NOTES:

- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER, AND SUCCESSORS TO THE CURRENT PROPERTY OWNER, TO ENSURE THE SUBJECT PROPERTY AND ANY IMPROVEMENTS ARE MAINTAINED IN CONFORMANCE WITH THIS SITE DEVELOPMENT PLAN.
- THIS DEVELOPMENT SHALL COMPLY WITH ALL STANDARDS OF THE UNIFIED DEVELOPMENT CODE (UDC), THE CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND SPECIFICATIONS MANUAL, THE DEVELOPMENT MANUAL AND ALL OTHER APPLICABLE CITY STANDARDS.
- THIS SITE DEVELOPMENT PLAN SHALL MEET THE UDC STORMWATER REQUIREMENTS.
- ALL SIGNAGE REQUIRES A SEPARATE APPLICATION AND APPROVAL FROM THE INSPECTION SERVICES DEPARTMENT. NO SIGNAGE IS APPROVED WITH THE SITE DEVELOPMENT PLAN.
- SIDEWALKS SHALL BE PROVIDED IN ACCORDANCE WITH THE UDC.
- DRIVEWAYS WILL REQUIRE APPROVAL BY THE DEVELOPMENT ENGINEER OF THE CITY OF GEORGETOWN.
- OUTDOOR LIGHTING SHALL COMPLY WITH SECTION 7.04 OF THE UDC.
- THE PROPERTY SUBJECT TO THIS APPLICATION IS SUBJECT TO THE WATER QUALITY REGULATIONS OF THE CITY OF GEORGETOWN. (FIR PROPERTIES LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE)
- A GEOLOGIC ASSESSMENT, IN ACCORDANCE WITH THE CITY OF GEORGETOWN WATER QUALITY REGULATIONS, WAS COMPLETED ON 10/07/2022. ANY SPRINGS AND STREAMS AS IDENTIFIED IN THE GEOLOGIC ASSESSMENT ARE SHOWN HEREIN.
- SCREENING OF MECHANICAL EQUIPMENT, DUMPSTERS AND PARKING SHALL COMPLY WITH CHAPTER 8 OF THE UDC. THE SCREENING IS SHOWN ON THE LANDSCAPE AND ARCHITECTURAL PLANS, AS APPLICABLE.

- THE COMPANION LANDSCAPE PLAN HAS BEEN DESIGNED AND PLANT MATERIALS SHALL BE INSTALLED TO MEET ALL REQUIREMENTS OF THE UDC.
- ALL MAINTENANCE OF REQUIRED LANDSCAPE SHALL COMPLY WITH THE MAINTENANCE STANDARDS OF CHAPTER 8 OF THE UDC.
- A SEPARATE IRRIGATION PLAN SHALL BE REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION.
- ANY HERITAGE TREE NOTED ON THIS SITE DEVELOPMENT PLAN IS SUBJECT, IN PERPETUITY, TO THE MAINTENANCE, CARE, PRUNING AND REMOVAL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.
- THE CONSTRUCTION PORTION OF THESE PLANS WERE PREPARED, SEALED, SIGNED AND DATED BY A TEXAS LICENSED PROFESSIONAL ENGINEER. THEREFORE, BASED ON THE ENGINEER'S CONCURRENCE OF COMPLIANCE, THE CONSTRUCTION PLANS FOR CONSTRUCTION OF THE PROPOSED PROJECT ARE HEREBY APPROVED SUBJECT TO THE STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS MANUAL AND ALL OTHER APPLICABLE CITY, STATE AND FEDERAL REQUIREMENTS AND CODES.
- THIS PROJECT IS SUBJECT TO ALL CITY STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS IN EFFECT AT THE TIME OF SUBMITTAL OF THE PROJECT TO THE CITY.
- WHERE NO EXISTING OVERHEAD INFRASTRUCTURE EXISTS, UNDERGROUND ELECTRIC UTILITY LINES SHALL BE LOCATED ALONG THE STREET AND WITHIN THE SITE. WHERE EXISTING OVERHEAD INFRASTRUCTURE IS TO BE RELOCATED, IT SHALL BE RE-INSTALLED UNDERGROUND AND THE EXISTING FACILITIES SHALL BE REMOVED AT THE DISCRETION OF THE DEVELOPMENT ENGINEER.
- ALL ELECTRIC AND COMMUNICATION INFRASTRUCTURE SHALL COMPLY WITH UDC SECTION 13.06.

Project:

GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK

FOR BIDDING PURPOSES ONLY

GEORGETOWN, TEXAS

Project Number:

22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date:

October 28, 2025

Revisions:

Sheet Title:

COVER SHEET

Sheet Number:

T-01

PAGE 01 OF 37 SHEETS

Application Number:

2025-19-SDP

**Texas Commission on Environmental Quality
Water Pollution Abatement Plan General Construction Notes**

- Written construction notification must be given to the appropriate TCEQ regional office no later than 48 hours prior to commencement of the regulated activity. Information must include the date on which the regulated activity will commence, the name of the approved plan for the regulated activity, and the name of the prime contractor and the name and telephone number of the contact person.
- All contractors conducting regulated activities associated with this project must be provided with complete copies of the approved Water Pollution Abatement Plan and the TCEQ letter indicating the specific conditions of its approval. During the course of these regulated activities, the contractors are required to keep on-site copies of the approved plan and approval letter.
- If any sensitive feature is discovered during construction, all regulated activities near the sensitive feature must be suspended immediately. The appropriate TCEQ regional office must be immediately notified of any sensitive features encountered during construction. The regulated activities near the sensitive feature may not proceed until the TCEQ has reviewed and approved the methods proposed to protect the sensitive feature and the Edwards Aquifer from any potentially adverse impacts to water quality.
- No temporary aboveground hydrocarbon and hazardous substance storage tank system is installed within 150 feet of a domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- Prior to commencement of construction, all temporary erosion and sedimentation (E&S) control measures must be properly selected, installed, and maintained in accordance with the manufacturers specifications and good engineering practices. Controls specified in the temporary storm water section of the approved Edwards Aquifer Protection Plan are required during construction. If inspections indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations. The controls must remain in place until disturbed areas are revegetated and the areas have become permanently stabilized.
- If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
- Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake must be provided that can indicate when the sediment occupies 50% of the basin volume.
- Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
- All spoils (excavated material) generated from the project site must be stored on-site with proper E&S controls. For storage or disposal of spoils at another site on the Edwards Aquifer Recharge Zone, the owner of the site must receive approval of a water pollution abatement plan for the placement of fill material or mass grading prior to the placement of spoils at the other site.
- Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Where the initiation of stabilization measures by the 14th day after construction activity temporary or permanently cease is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable. Where construction activity on a portion of the site is temporarily ceased, and earth disturbing activities will be resumed within 21 days, temporary stabiliation measures do not have to be initiated on that portion of site. In areas experiencing droughts where the initiation of stabilization measures by the 14th day after construction activity has temporarily or permanently ceased is precluded by seasonal arid conditions, stabilization measures shall be initiated as soon as practicable.
- The following records shall be maintained and made available to the TCEQ upon request: the dates when major grading activities occur; the dates when construction activities temporarily or permanently cease on a portion of the site; and the dates when stabilization measures are initiated.

12. The holder of any approved Edward Aquifer protection plan must notify the appropriate regional office in writing and obtain approval from the executive director prior to initiating any of the following:

- any physical or operational modification of any water pollution abatement structure(s), including but not limited to ponds, dams, berms, sewage treatment plants, and diversionary structures;
- any change in the nature or character of the regulated activity from that which was originally approved or a change which would significantly impact the ability of the plan to prevent pollution of the Edwards Aquifer;
- any development of land previously identified as undeveloped in the original water pollution abatement plan.

Austin Regional Office
2800 S. IH 35, Suite 100
Austin, Texas 78704-5712
Phone (512) 339-2929
Fax (512) 339-3795

San Antonio Regional Office
14250 Judson Road
San Antonio, Texas 78233-4480
Phone(210) 490-3096
Fax (210) 545-4329

THESE GENERAL CONSTRUCTION NOTES MUST BE INCLUDED ON THE CONSTRUCTION PLANS PROVIDED TO THE CONTRACTOR AND ALL SUBCONTRACTORS.

TCEQ-0592 (Rev. 3/15/07)

General Notes

- All barricades, signs, and traffic control for this project shall conform to the latest edition of the Texas Manual on Uniform Traffic Control Devices for Streets and Highways.
- The bidders for this project shall familiarize themselves with all requirements of working in state and city of Georgetown rights-of-way and easements. The bidders shall familiarize themselves with all insurance requirements for said work and shall include in their bids, insurance costs and insurance premiums that provide for the state of Texas, the city of Georgetown and the engineer as additional insured's under the contractor's policies.
- Blasting is not permitted on this project.
- All construction operations shall be accomplished in accordance with applicable regulations of the U.S. Occupational Safety And Health Administration. Copies of the OSHA standards may be purchased from the U.S. government printing office: information and related reference materials may be obtained from OSHA; 903 San Jacinto, Austin, Texas.
- These plans prepared by Kasberg, Patrick & Associates, LP, do not extend to or include designs or systems pertaining to the safety of the contractor or its employees, agents or representatives in the performance of the work. The seal of Kasberg, Patrick & Associates, LP registered professional engineer(s) hereon does not extend to any such safety systems that may now or hereafter be incorporated in the work. The contractor shall prepare or obtain the appropriate safety systems, including the plans and specifications.
- Contractor shall comply with all applicable local, state and federal requirements regarding excess and waste material, including methods of handling and disposal.
- Contractor shall maintain access to public and private facilities during construction. Construction activities shall be coordinated with the city of Georgetown community owned utilities.
- Contractor shall notify the city of Georgetown community owned utilities a minimum of 3 working days, (Monday-Friday) in advance of construction startup, followed by a letter of confirmation. Contractor shall also give a minimum of 3 working days, (Monday-Friday), notice to all authorized inspectors, superintendents or persons in charge of private and public utilities affected by his operations prior to commencement of work.
- Location of existing utilities shown on the plans was compiled from record information. No warranty is implied as to the actual location of existing utilities. Contractor shall field verify locations of existing utilities prior to the commencement of construction. Contractor should call the city of Georgetown at (512) 930-3555. If there are any conflicts between proposed and existing utilities, or if the existing utilities are in any way different from what is shown on the drawings, then it shall be the contractor's responsibility to notify the city or other affected utility before proceeding with any construction. The contractor shall be responsible for resolving all conflicts at his expense. The city of Georgetown will consider any conflicts at said locations on a case-by-case basis in order to determine if the contractor should be reimbursed for his expense in solving said conflict.
- Contractor shall make all due precautions to protect existing facilities from damage. Any damage to existing facilities incurred as a result of these construction operations are to be repaired immediately by the contractor to at least the preexisting condition at no additional cost to the city of Georgetown.
- Contractor shall coordinate interruptions of all utilities and services with all applicable utility company or companies. All work shall be in accordance with the requirements of the applicable utility company or agency involved.
- When un-located or incorrectly located underground piping or a break in a line or other utilities and services are encountered during site work operations, the contractor shall notify the applicable utility company immediately to obtain procedure directions. Contractor shall cooperate with the applicable utility company in maintaining active services in operation.
- Contractor shall locate material storage areas away from storm water conveyance systems. Contractor shall provide protected storage areas for chemicals, paints, solvents, fertilizers and other potentially toxic materials off site.
- No open burning is allowed within the Georgetown city limits. Burning is allowed in Williamson county by air curtain destructors method and prior written approval from applicable government agencies at the contractor's expense. The contractor can haul cleared vegetation to an acceptable off-site location with written approval by the owner's representative. Prior to construction the contractor shall designate to the city of Georgetown's representative, which method will be used for disposal of cleared vegetation.
- Fuel storage is not allowed on this project.
- Contractor shall advise owner immediately, verbally and in writing, of any fuel or toxic material spills onto the project construction area and the actions to be taken to remedy the problem.
- Contractor is responsible for disposing of his fuels, materials, and contaminated excavations in a legally approved manner.
- Contractor is responsible for complying with all applicable environmental laws.
- Contractor is responsible for providing and maintaining sanitary facilities on this project for employees.

- Contractor shall coordinate all materials testing, including soil density tests and related soils analysis. Tests shall be accomplished by an independent laboratory under contract with the city of Georgetown, at the frequency, time and location as specified in the technical specifications. A copy of the test results shall be forwarded to the city of Georgetown's representative, the city of Georgetown utilities, and the contractor. Tests, which show unsatisfactory results, shall be repeated at the expense of the contractor subsequent to the contractor's remedial activities.
- The trench excavation and shoring safety plan system as required by the laws of the state of Texas and as outlined in the technical specifications will be required as a minimum trench safety measure and shall be submitted to the city of Georgetown for acceptance prior to the beginning of construction. Implementation of the submitted trench safety plan shall be the sole responsibility of the contractor.
- Existing paving, buildings and other items shown on the plans is not specifically related to the work of the contractor and is shown for information only.
- Any water hauled to the site during the installation shall be paid by the contractor.
- TxDOT requires 48-hour notification prior to any proposed work in state right of way.
- This project is a calendar day project and therefore shall be void of rain days as credit to construction time. The city of Georgetown will not accept rain days unless a month within the project time has had rain days in excess of the average rain days for that month. Days of drying for the project site will not be considered.

Month	Rain Days
January	7 days
February	7 days
March	7 days
April	7 days
May	8 days
June	6 days
July	6 days
August	5 days
September	7 days
October	7 days
November	7 days
December	7 days

Construction Layout/Project Coordination

- The city of Georgetown will provide the daily on-site construction representation for this project.
- Pre-construction conference
 - Prior to beginning work on the project and soon after the award of the contract, a conference will be held among the representatives of the city of Georgetown, the engineer, the contractor, and any subcontractor that will be involved in the work. At that time, the contractor shall submit charts or briefs, outlining the manner of execution of the work that is intended in order to complete the specified work within the allotted time. This conference will more completely establish the sequence of work to be followed and establish the estimated progress schedule for completion of the various tasks. When applicable, the pre-construction conference will be held only after installation of the erosion and sedimentation controls. This conference may take place on the site to demonstrate competence with the erosion and sedimentation control plan and water pollution abatement plan.
 - In addition, at this conference, the contractor shall be responsible for furnishing the engineer with all of the following, as specified herein or as directed by the engineer:
 - Samples of all materials to be used on the project with identification as to product name; name, location, phone number (including area code) and mailing address of product source and manufacturer, if different from source; content of product; amount of each ingredient in the product, and manufacturer's directions as to use and application of the product, if applicable.
 - Manufacturer's literature of all materials and equipment installed on the project.
- Protection of vehicular and pedestrian traffic is of the utmost importance for the project. The traffic control and sequence of construction plan shall address all anticipated situations in this regard with sufficient detail. The contractors plan will be reviewed by local TxDOT officials and the City of Georgetown.
- The plans for this project show proposed elevations, slopes and dimensions that are intended for actual placement. However, there may be some instances where existing conditions make it impractical to achieve the ideal. In those instances, the city of Georgetown will assist the contractor in making proper field changes to better account for field conditions.
- The engineer for the project shall mark the limits of construction prior to commencement of the project.

Site Grading Notes

- Contractor shall control dust caused by the work and comply with pollution control regulations of governing authorities.
- Contractor shall remove built up material on adjacent public roadways resulting from his work. Cleaning shall be at least once a day.
- Contractor shall protect stockpiled material such that storm water will not adversely affect erosion control, sidewalks, traffic, private property, or the San Gabriel River.
- Required fill embankment shall be placed and compacted per technical specifications in maximum 6-inch loose lifts and compacted as stated in the specifications.

Paving And Concrete Notes

- Any existing pavement, curbs and/or sidewalk damaged or removed by the contractor that are not a part of this contract shall be repaired by the contractor to at least the preexisting condition at his expense before acceptance of the work.
- The contractor shall provide the city of Georgetown community owned utilities engineer with a barricade and signing plan, which will include how traffic will be handled during construction. The barricades, signs and lights shall conform to the latest edition of the Texas Manual On Uniform Traffic Control Devices For Streets And Highways.
- All concrete to be class "a" for site work per technical specifications and all reinforcing steel to be ASTM A-615 grade 60, unless otherwise noted.
- Natural subgrade - loose, disturbed or undisturbed natural subgrade beneath pavement should be scarified and rolled. Subgrade compactions shall not exceed 100%. Proof-rolling and preparation of subgrade shall be in accordance with TxDOT item 216 "proof rolling" and item 132 embankment.
- Concrete rip rap shall be 4-inch thickness, class "b" concrete with 6" x 6" x #6 welded wire flat-sheet mesh. Finished concrete shall receive a broom finish and sprayed with type 2 membrane curing compound. The rip rap shall be placed with a 24-inch depth by 6-inch wide toe ditch at the bottom of slope edge and with an 18-inch depth by 6-inch wide toe ditch at the top of slope edge.

Project Notes

- The contractor to contact the city of Georgetown at (512) 930-3555 for existing utility locations prior to any excavation. In advance of construction, the contractor shall verify the locations of all utilities to be extended, tied to or altered, or subject to damage/inconvenience by the construction operations. The city of Georgetown water and wastewater maintenance responsibility ends at right-of-way row/easement lines.
- Contractor shall strip 6 inches of topsoil from all areas subject to grade modifications. Contractor shall remove any area of weak soil.
- Within city of Georgetown right-of-way, residential driveways shall have a 10% maximum grade. Non residential driveways are to have a 3% maximum grade for the first thirty (30) feet off the edge of pavement.
- The contractor shall be responsible and liable for all job site safety, management of job site personnel, supervision of the use of job site equipment and direction of all construction procedures, methods and elements required to complete the construction of the proposed improvements.
- The contractor shall protect all existing fences. In the event that a fence shall be removed, the contractor shall replace said fence or portion thereof with the same type of fencing to a quality of equal or better than the original fence.

Testing And Submittals

- The contractor shall be responsible for providing material samples as well as any manufacturers literature of materials used on this project as required by the engineer. Any costs associated with any sampling and testing shall be the responsibility of the contractor. These costs shall be considered as incidental and the contractor will not be entitled to any additional compensation.
- The contractor shall be responsible for and pay for all charges of testing laboratories for services in connection with initial tests made on all imported materials to the project sites including but not limited to embedment materials, fill material, backfill material, select material, crushed limestone base, subbase, concrete, steel, wood forms, liquid asphalt, aggregate, water, cement, curing compound, guard rail, etc. The tests for which the contractor will typically be responsible are Atterberg limits, sieve analysis, plasticity indices, mix design, California bearing ratios, proctors (moisture density curves) and all tests required by the specifications that prove the material brought to the project sites meets or exceeds the specifications and contract documents. The owner, the city of Georgetown, will pay all the charges of testing laboratories for services in connection with in place field densities, concrete cylinders testing, HMAc density tests and any in place test required for quality assurance. Retesting after failure of in place tests shall be at the expense of the contractor.

Americans with disabilities act

- This project is intended to conform to the Americans With Disabilities Act.
- The contractor shall be aware of construction procedures, finished product requirements of this act, and coordinate all activities to satisfy this act.

COVEY
Planning + Landscape Architecture

800 South Austin Avenue
Georgetown, Texas 78626
512.887.5311



October 28, 2025

Project:

**GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
VISTA VERA PARK**

GEORGETOWN, TEXAS

Project Number:

22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date:

October 28, 2025

Revisions:

Sheet Title:

GENERAL NOTES

Sheet Number:

T-02

PAGE 02 OF 37 SHEETS

Application Number:

2025-19-SDP



October 28, 2025

Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK

GEORGETOWN, TEXAS

Project Number:
22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date:

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Revisions:

Sheet Title:
FINAL PLAT (1 OF 7)

Sheet Number:

T-03

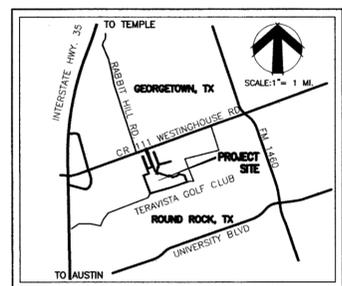
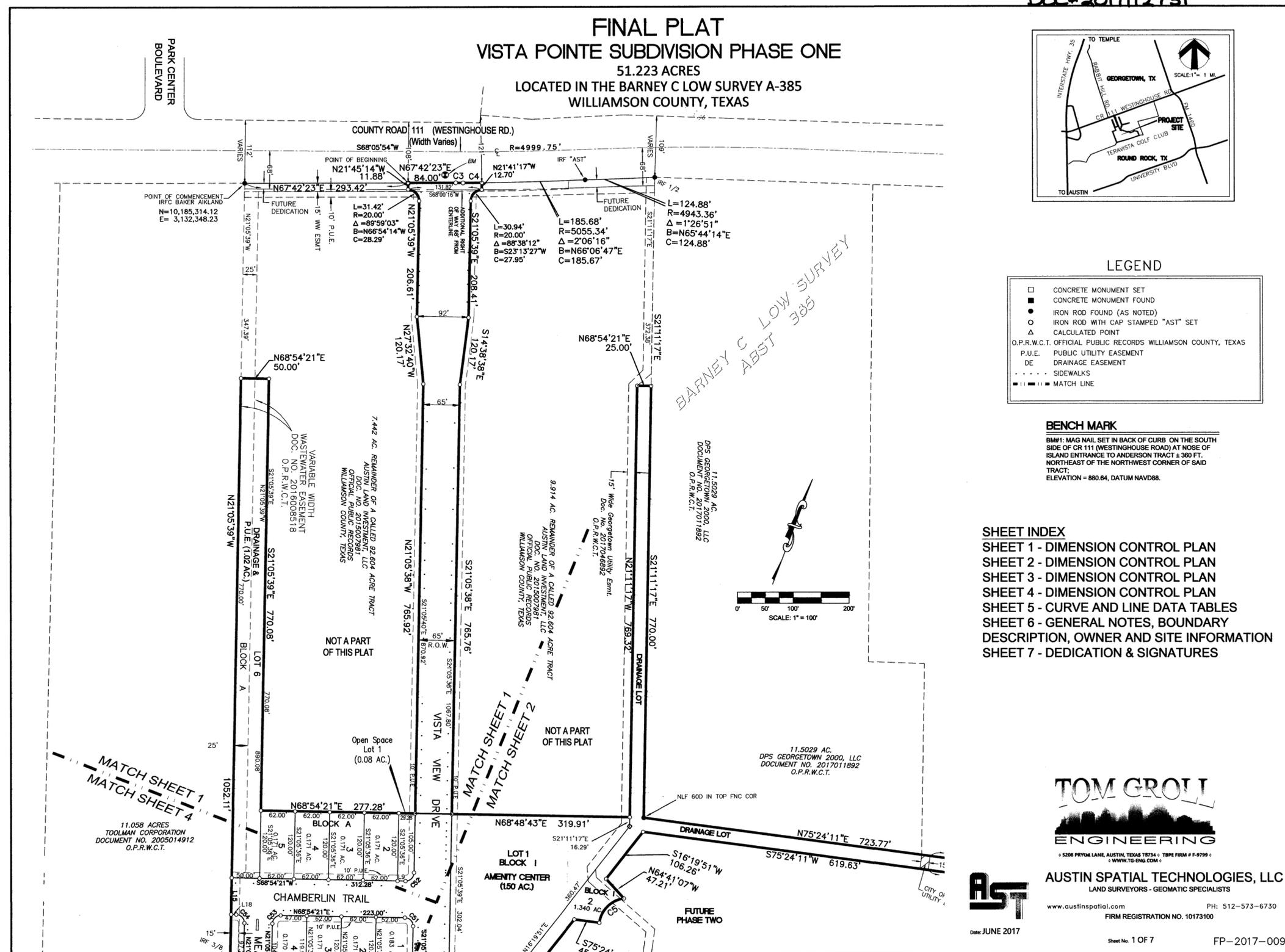
PAGE 03 OF 37 SHEETS

Application Number:

2025-19-SDP

Doc # 2017112731

FINAL PLAT
VISTA POINTE SUBDIVISION PHASE ONE
51.223 ACRES
LOCATED IN THE BARNEY C LOW SURVEY A-385
WILLIAMSON COUNTY, TEXAS



LEGEND

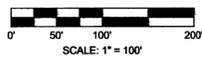
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- IRON ROD FOUND (AS NOTED)
- IRON ROD WITH CAP STAMPED "AST" SET
- △ CALCULATED POINT
- O.P.R.W.C.T. OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
- P.U.E. PUBLIC UTILITY EASEMENT
- DE DRAINAGE EASEMENT
- SIDEWALKS
- MATCH LINE

BENCH MARK

BM#1: MAG NAIL SET IN BACK OF CURB ON THE SOUTH SIDE OF CR 111 (WESTINGHOUSE ROAD) AT NOSE OF ISLAND ENTRANCE TO ANDERSON TRACT ± 360 FT. NORTHEAST OF THE NORTHWEST CORNER OF SAID TRACT.
ELEVATION = 880.64, DATUM NAVD88.

SHEET INDEX

- SHEET 1 - DIMENSION CONTROL PLAN
- SHEET 2 - DIMENSION CONTROL PLAN
- SHEET 3 - DIMENSION CONTROL PLAN
- SHEET 4 - DIMENSION CONTROL PLAN
- SHEET 5 - CURVE AND LINE DATA TABLES
- SHEET 6 - GENERAL NOTES, BOUNDARY DESCRIPTION, OWNER AND SITE INFORMATION
- SHEET 7 - DEDICATION & SIGNATURES



AUSTIN SPATIAL TECHNOLOGIES, LLC
LAND SURVEYORS - GEOMATIC SPECIALISTS

www.oustinspatial.com PH: 512-573-6730
FIRM REGISTRATION NO. 10173100



Date: JUNE 2017

Sheet No. 1 OF 7 FP-2017-009



October 28, 2025

Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK

GEORGETOWN, TEXAS

Project Number:
22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date:
October 28, 2025

Revisions:

Sheet Title:
FINAL PLAT (2 OF 7)

Sheet Number:

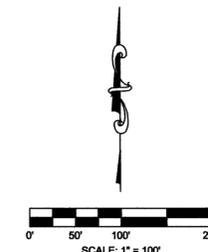
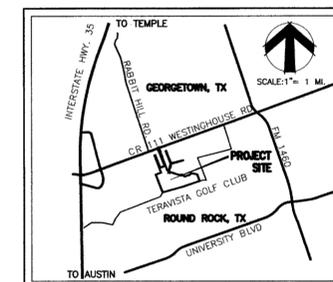
T-04

PAGE 04 OF 37 SHEETS

Application Number:
2025-19-SDP

Doc #2017112731

FINAL PLAT VISTA POINTE SUBDIVISION PHASE ONE 51.223 ACRES LOCATED IN THE BARNEY C LOW SURVEY A-385 WILLIAMSON COUNTY, TEXAS



BENCH MARK

BM#1: MAG NAIL SET IN BACK OF CURB ON THE SOUTH SIDE OF CR 111 (WESTINGHOUSE ROAD) AT NOSE OF ISLAND ENTRANCE TO ANDERSON TRACT ± 380 FT. NORTHEAST OF THE NORTHWEST CORNER OF SAID TRACT.
ELEVATION = 880.64, DATUM NAVD88.



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LAND SURVEYORS - GEOMATIC SPECIALISTS

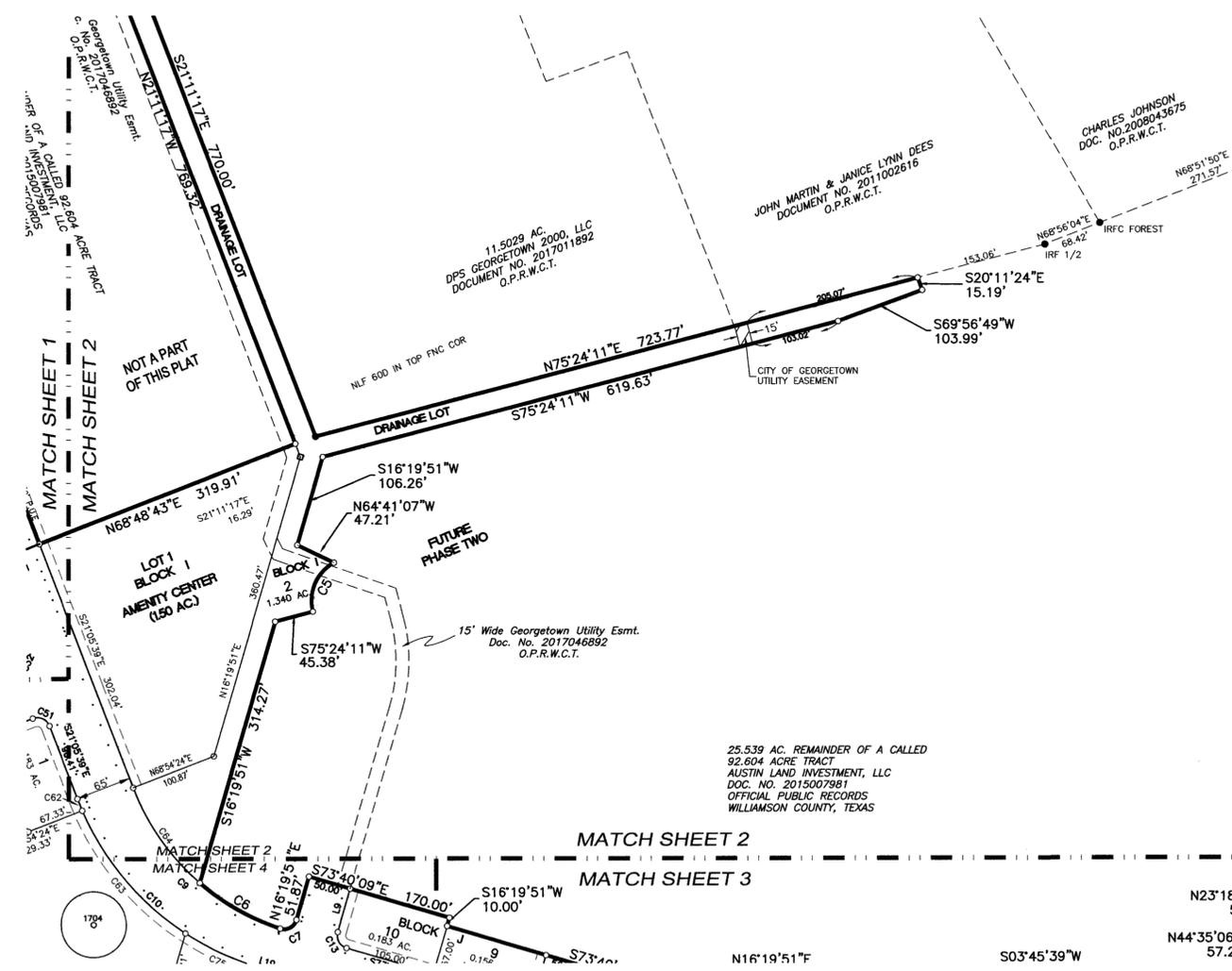
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FIRM REGISTRATION NO. 10173100



Date: JUNE 2017

Sheet No. 2 OF 7

FP-2017-009



LEGEND

□	CONCRETE MONUMENT SET
■	CONCRETE MONUMENT FOUND
●	IRON ROD FOUND (AS NOTED)
○	IRON ROD WITH CAP STAMPED "AST" SET
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October 28, 2025

Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK

GEORGETOWN, TEXAS

Project Number:
22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submitted Date:
October 28, 2025

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FINAL PLAT (3 OF 7)

Sheet Number:

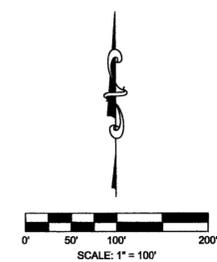
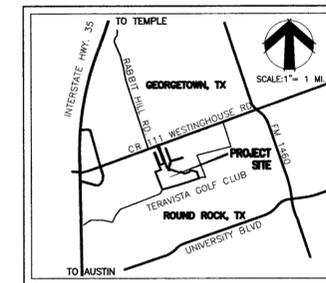
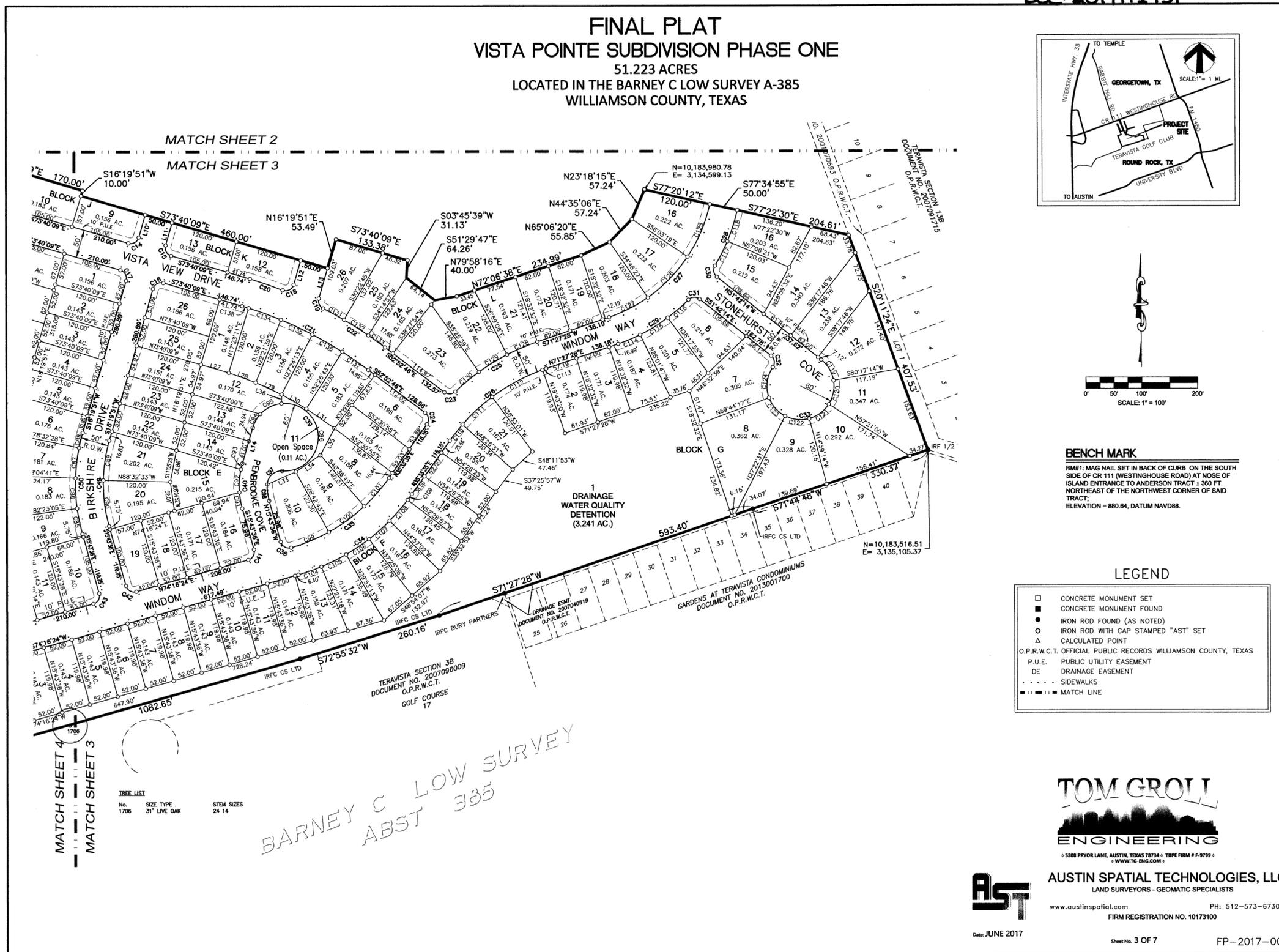
T-05

PAGE 05 OF 37 SHEETS

Application Number:
2025-19-SDP

Doc #2017112731

FINAL PLAT VISTA POINTE SUBDIVISION PHASE ONE 51.223 ACRES LOCATED IN THE BARNEY C LOW SURVEY A-385 WILLIAMSON COUNTY, TEXAS



BENCH MARK
BM#1: MAG NAIL SET IN BACK OF CURB ON THE SOUTH SIDE OF CR 111 (WESTINGHOUSE ROAD) AT NOSE OF ISLAND ENTRANCE TO ANDERSON TRACT ± 360 FT. NORTHEAST OF THE NORTHWEST CORNER OF SAID TRACT. ELEVATION = 880.64, DATUM NAVD88.

LEGEND

- CONCRETE MONUMENT SET
- CONCRETE MONUMENT FOUND
- IRON ROD FOUND (AS NOTED)
- IRON ROD WITH CAP STAMPED "AST" SET
- △ CALCULATED POINT
- P.U.E. OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
- P.U.E. PUBLIC UTILITY EASEMENT
- DE DRAINAGE EASEMENT
- SIDEWALKS
- MATCH LINE

TREE LIST

No.	SIZE TYPE	STEM SIZES
1706	31" LIVE OAK	24 14

BARNEY C LOW SURVEY
ABST 385



Date: JUNE 2017



AUSTIN SPATIAL TECHNOLOGIES, LLC
LAND SURVEYORS - GEOMATIC SPECIALISTS

www.austinspatial.com PH: 512-573-6730
FIRM REGISTRATION NO. 10173100

Sheet No. 3 OF 7

FP-2017-009



October 28, 2025

Project:
**GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
VISTA VERA PARK**

GEORGETOWN, TEXAS

Project Number:
22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date:
October 28, 2025

Revisions:

Sheet Title:
FINAL PLAT (4 OF 7)

Sheet Number:

T-06

PAGE 06 OF 37 SHEETS

Application Number:
2025-19-SDP

DOC # 2017112731

FINAL PLAT
VISTA POINTE SUBDIVISION PHASE ONE
51.223 ACRES
LOCATED IN THE BARNEY C LOW SURVEY A-385
WILLIAMSON COUNTY, TEXAS

REMAINDER OF 110.648 ACRES
REMAINING TO STEEGERS & ASSOCIATES
DOCUMENT NO. W.C.T.

MATCH SHEET 1
MATCH SHEET 4

11.058 ACRES
TOOLMAN CORPORATION
DOCUMENT NO. 2005014912
O.P.R.W.C.T.

N=10,183,886.74
E= 3,132,536.95

BARNEY C LOW SURVEY
ABST 385

TREE LIST

No.	SIZE	TYPE	STEM SIZES
1704	36"	OAK	18 15 15 10
1705	36"	LIVE OAK	18 14 12 9
1707	26"	LIVE OAK	12 10 9 8
1708	31"	LIVE OAK	17 15 14
1709	32"	LIVE OAK	15 10 10 8 6 (REMOVAL OF HERITAGE TREE)
1710	27"	LIVE OAK	14 11 8 7
1286	27"	LIVE OAK	15 15 10
1197	56"	LIVE OAK	15 12 11 11 10 10 3

HORIZONTAL MEASUREMENTS
CALCULATED BY ANTHONY S. STEEGERS
AND ASSOCIATES, L.L.C.
DOCUMENT NO. W.C.T.

IRFC CSLTD

N=10,182,854.51
E= 3,132,938.20

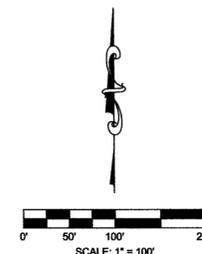
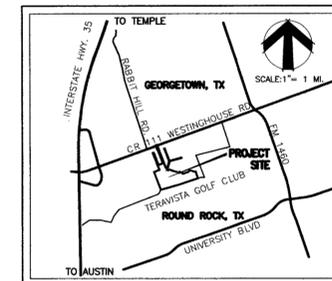
13 DRAINAGE
WATER QUALITY
DETENTION
(4.71 AC.)

BLOCK C

CITY OF GEORGETOWN
UTILITY EASEMENT

TERAVISTA SECTION 3B
DOCUMENT NO. 2007096009
O.P.R.W.C.T.
OPEN SPACE
18

MATCH SHEET 4
MATCH SHEET 3



BENCH MARK
BM#1: MAG NAIL SET IN BACK OF CURB ON THE SOUTH
SIDE OF CR 111 (WESTINGHOUSE ROAD) AT NOSE OF
ISLAND ENTRANCE TO ANDERSON TRACT ± 360 FT.
NORTHEAST OF THE NORTHWEST CORNER OF SAID
TRACT.
ELEVATION = 880.64, DATUM NAVD88.

LEGEND

- CONCRETE MONUMENT SET
- CONCRETE MONUMENT FOUND
- IRON ROD FOUND (AS NOTED)
- IRON ROD WITH CAP STAMPED "AST" SET
- △ CALCULATED POINT
- P.R.W.C.T. OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
- P.U.E. PUBLIC UTILITY EASEMENT
- DE DRAINAGE EASEMENT
- SIDEWALKS
- MATCH LINE



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FIRM REGISTRATION NO. 10173100



Date: JUNE 2017

Sheet No. 4 OF 7

FP-2017-009



October 28, 2025

Doc # 2017112731

FINAL PLAT
VISTA POINTE SUBDIVISION PHASE ONE
51.223 ACRES
LOCATED IN THE BARNEY C LOW SURVEY A-385
WILLIAMSON COUNTY, TEXAS

CURVE DATA TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	108.00'	275.29'	22°28'38"	S60°35'25"E	107.31'
C2	24.04'	15.00'	91°49'36"	N62°14'39"E	21.55'
C3	13.66'	5055.34'	0°09'17"	N68°00'40"E	13.66'
C4	34.18'	5055.34'	0°23'15"	N67°21'32"E	34.18'
C5	66.49'	50.00'	76°11'35"	N23°29'58"E	61.70'
C6	108.00'	275.29'	22°28'38"	S60°35'25"E	107.31'
C7	24.04'	15.00'	91°49'36"	N62°14'39"E	21.55'
C8	3.12'	275.00'	0°38'58"	S21°25'08"E	3.12'
C9	243.57'	275.00'	50°44'54"	S46°28'06"E	235.69'
C10	298.22'	325.00'	52°34'30"	S47°22'54"E	287.87'
C11	23.56'	15.00'	90°00'00"	S28°40'09"E	21.21'
C12	23.56'	15.00'	90°00'00"	N61°19'51"E	21.21'
C13	23.56'	15.00'	90°00'00"	S28°40'09"E	21.21'
C14	23.56'	15.00'	90°00'00"	N61°19'51"E	21.21'
C15	23.56'	15.00'	90°00'00"	S28°40'09"E	21.21'
C16	23.56'	15.00'	90°00'00"	N61°19'51"E	21.21'
C17	23.56'	15.00'	90°00'00"	S28°40'09"E	21.21'
C18	24.80'	15.00'	94°44'36"	N63°42'09"E	22.07'
C19	20.74'	15.00'	79°12'24"	S23°16'21"E	19.12'
C20	62.09'	750.00'	4°44'36"	S71°17'51"E	62.07'
C21	254.00'	700.00'	20°47'23"	S63°16'27"E	252.60'
C22	130.86'	750.00'	9°59'48"	S57°52'40"E	130.69'
C23	21.06'	15.00'	80°26'41"	N86°53'54"E	19.37'
C24	23.15'	15.00'	88°26'20"	S08°39'36"E	20.92'
C25	173.01'	400.00'	24°46'54"	N59°04'01"E	171.66'
C26	219.29'	350.00'	35°53'53"	N53°30'31"E	215.72'
C27	282.17'	275.00'	58°47'26"	N42°03'31"E	269.96'
C28	107.27'	325.00'	18°54'42"	S22°04'53"W	106.79'
C29	149.80'	325.00'	26°24'29"	S58°15'13"W	148.47'
C30	21.80'	15.02'	83°07'20"	S10°06'29"E	19.93'
C31	21.80'	15.02'	83°09'34"	S86°41'33"W	19.93'
C32	22.56'	15.00'	86°10'39"	S08°36'54"E	20.49'
C33	278.74'	60.00'	266°10'39"	N81°23'06"E	87.64'
C34	253.38'	375.00'	38°42'50"	S54°55'00"W	248.59'
C35	219.07'	325.00'	38°37'13"	S54°52'11"W	214.94'
C36	23.59'	15.00'	90°05'37"	N60°46'24"W	21.23'
C37	53.15'	95.00'	32°03'26"	N00°18'07"E	52.46'
C39	270.54'	60.00'	258°20'35"	S34°29'52"E	93.03'
C40	81.13'	145.00'	32°03'26"	S00°18'07"W	80.07'
C41	23.56'	15.00'	90°00'00"	S29°16'24"W	21.21'
C42	23.56'	15.00'	90°00'00"	N60°43'36"W	21.21'
C43	23.56'	15.00'	90°00'00"	S29°16'24"W	21.21'
C44	120.59'	50.00'	138°11'23"	N36°37'54"W	93.42'
C45	23.56'	15.00'	90°00'00"	N60°43'36"W	21.21'
C46	21.03'	25.00'	48°11'23"	N08°22'06"E	20.41'
C47	276.96'	495.00'	32°03'26"	N00°18'08"E	273.36'
C48	248.98'	445.00'	32°03'26"	N00°18'08"E	245.75'
C49	153.86'	275.00'	32°03'26"	N00°18'08"E	151.86'
C50	181.84'	325.00'	32°03'26"	N00°18'08"E	179.48'
C51	23.56'	15.00'	90°00'00"	N66°05'39"W	21.21'
C52	23.56'	15.00'	90°00'00"	S23°54'21"W	21.21'
C53	23.56'	15.00'	89°59'57"	S23°54'23"W	21.21'
C54	23.56'	15.00'	90°00'03"	S66°05'37"E	21.21'
C55	20.87'	25.00'	47°49'37"	S45°22'07"E	20.27'
C56	162.65'	50.00'	186°22'48"	N23°54'23"E	99.85'
C57	21.02'	25.00'	48°10'05"	N86°59'15"W	20.40'
C58	23.56'	15.00'	89°59'35"	S23°54'36"W	21.21'
C61	23.56'	15.00'	90°00'00"	N23°54'24"E	21.21'
C62	14.60'	325.00'	2°34'24"	S22°22'51"E	14.60'
C63	187.84'	325.00'	33°06'55"	S40°13'30"E	185.24'
C64	135.58'	275.00'	28°14'50"	S35°13'04"E	134.21'
C65	37.70'	49.78'	43°23'27"	S47°38'27"E	36.80'
C66	87.95'	50.00'	100°46'54"	S24°18'27"W	77.04'
C67	37.00'	50.00'	42°23'52"	N84°06'09"W	36.16'

CURVE DATA TABLE

C75	95.79'	325.00'	16°53'12"	S65°13'33"E	95.44'
C76	59.52'	495.00'	6°53'22"	S07°41'25"W	59.48'
C77	59.52'	495.00'	6°53'22"	S00°48'03"W	59.48'
C78	59.52'	495.00'	6°53'22"	S06°05'19"E	59.48'
C79	53.51'	495.00'	6°11'36"	S12°37'48"E	53.48'
C80	9.92'	50.00'	11°22'06"	S26°46'44"W	9.90'
C81	60.34'	445.00'	7°46'09"	S12°26'46"W	60.30'
C82	79.76'	445.00'	10°16'08"	S03°25'37"W	79.65'
C83	79.76'	445.00'	10°16'08"	S06°50'31"E	79.65'
C84	29.13'	445.00'	3°45'00"	N13°51'05"W	29.12'
C85	46.01'	325.00'	8°06'41"	N11°40'15"W	45.97'
C86	54.10'	325.00'	9°32'14"	N02°50'48"W	54.04'
C87	54.10'	325.00'	9°32'14"	N06°41'25"E	54.04'
C88	27.63'	325.00'	4°52'19"	N13°53'42"E	27.63'
C89	71.39'	275.00'	14°52'24"	S08°53'39"W	71.19'
C90	82.48'	275.00'	17°11'03"	S07°08'04"E	82.17'
C91	29.24'	145.00'	11°33'16"	N09°56'58"W	29.19'
C92	40.88'	145.00'	16°09'07"	N03°54'14"E	40.74'
C93	11.01'	145.00'	4°21'03"	N14°09'19"E	11.01'
C94	28.08'	60.00'	26°48'46"	N29°44'14"E	27.82'
C95	43.33'	60.00'	41°22'44"	N63°49'59"E	42.40'
C96	199.13'	60.00'	190°09'05"	S00°24'07"E	119.53'
C97	40.33'	25.00'	92°25'23"	S48°27'44"W	36.10'
C98	29.52'	95.00'	17°48'05"	N06°49'33"W	29.40'
C99	73.13'	325.00'	12°53'30"	N67°44'03"E	72.97'
C100	78.43'	325.00'	13°49'34"	N64°22'30"E	78.24'
C101	67.51'	325.00'	11°54'09"	N41°30'39"E	67.39'
C102	8.95'	50.00'	10°15'10"	S79°23'59"W	8.94'
C103	101.73'	50.00'	116°34'07"	N37°11'22"W	85.07'
C104	43.38'	375.00'	6°37'43"	N70°57'33"E	43.36'
C105	49.30'	375.00'	7°31'55"	N63°52'44"E	49.26'
C106	49.30'	375.00'	7°31'55"	N56°20'50"E	49.26'
C107	49.30'	375.00'	7°31'55"	N48°48'55"E	49.26'
C108	49.30'	375.00'	7°31'55"	N41°17'00"E	49.26'
C109	12.81'	375.00'	1°57'28"	N36°32'19"E	12.81'
C110	36.74'	350.00'	6°00'55"	N38°34'02"E	36.73'
C111	72.54'	350.00'	11°52'29"	N47°30'44"E	72.41'
C112	102.79'	347.09'	16°58'03"	N61°54'16"E	102.41'
C113	7.21'	78.04'	5°17'47"	S70°16'40"W	7.21'
C114	42.52'	325.98'	7°28'27"	N67°42'45"E	42.49'
C115	58.24'	326.07'	10°14'02"	N58°49'50"E	58.16'
C116	49.03'	325.79'	8°37'23"	N49°21'53"E	48.99'
C117	49.04'	327.47'	8°34'47"	N27°13'53"E	48.99'
C118	58.24'	326.54'	10°13'07"	N17°44'43"E	58.16'
C119	43.97'	60.00'	41°59'28"	S30°42'30"E	43.00'
C120	44.36'	60.00'	42°21'46"	S11°28'07"W	43.36'
C121	44.36'	60.00'	42°21'46"	S53°49'53"W	43.36'
C122	44.36'	60.00'	42°21'46"	N83°48'22"W	43.36'
C123	44.36'	60.00'	42°21'46"	N41°26'36"W	43.36'
C124	57.32'	60.00'	54°44'08"	N07°06'21"E	55.16'
C125	102.14'	275.00'	21°16'52"	S23°18'14"W	101.56'
C126	102.14'	275.00'	21°16'52"	S44°35'07"W	101.56'
C127	77.89'	275.00'	16°13'41"	S63°20'24"W	77.63'
C128	58.94'	400.00'	8°26'34"	S67°14'11"W	58.89'
C129	58.94'	400.00'	8°26'34"	S58°47'37"W	58.89'
C130	55.13'	400.00'	7°53'47"	S50°37'27"W	55.08'
C131	42.61'	750.00'	3°15'19"	S61°14'54"E	42.60'
C132	50.66'	750.00'	3°52'12"	S57°41'09"E	50.65'
C133	37.59'	750.00'	2°52'17"	S54°18'54"E	37.58'
C134	61.69'	700.00'	5°02'59"	S70°08'53"E	61.67'
C135	61.69'	700.00'	5°02'59"	S65°05'54"E	61.67'
C136	61.69'	700.00'	5°02'59"	S60°02'55"E	61.67'
C137	56.74'	700.00'	4°38'39"	S55°12'05"E	56.72'
C138	12.17'	700.00'	0°59'46"	S73°10'16"E	12.17'
C139	44.89'	495.00'	05°11'45"	N13°43'58"E	44.87'

LINE DATA TABLE

LINE	BEARING	DISTANCE
L1	N16°19'51"E	51.87'
L2	S16°19'51"W	10.00'
L3	S03°45'39"W	31.13'
L4	S51°29'47"E	64.26'
L5	N79°58'16"E	40.00'
L6	N72°06'38"E	234.99'
L7	N44°35'06"E	57.24'
L8	N23°18'15"E	57.24'
L9	S16°19'51"W	52.00'
L10	N16°19'51"E	42.00'
L11	N16°19'51"E	42.00'
L12	N16°19'51"E	44.62'
L13	N16°19'51"E	55.53'
L14	N16°19'51"E	65.94'
L15	N21°05'39"W	65.00'
L16	S21°05'18"E	23.49'
L17	S66°15'20"E	35.11'
L18	S68°54'21"W	9.27'
L19	N73°40'09"W	10.59'
L20	N03°37'47"W	36.07'
L21	N03°37'47"W	50.40'
L22	N03°37'47"W	14.32'
L23	N05°15'50"E	9.81'
L24	N05°15'50"E	43.87'
L25	N05°15'50"E	40.59'
L26	N13°58'55"E	52.87'
L27	S73°40'09"E	51.70'
L28	S70°09'23"E	51.26'
L29	S65°05'42"E	51.12'
L30	S60°02'38"E	51.12'
L31	S55°00'31"E	61.12'
L32	S55°00'31"E	48.29'
L33	S66°35'31"W	55.99'
L34	N56°23'20"E	53.11'
L35	N27°59'02"E	53.66'
L36	S00°53'23"W	16.15'
L37	S21°05'11"E	35.08'
L38	S68°54'50"W	30.00'
L39	N21°05'11"W	68.27'
L40	N66°15'20"W	45.41'
L41	N23°44'40"E	25.40'
L42	N68°54'28"E	7.05'

Project:

**GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
VISTA VERA PARK**

GEORGETOWN, TEXAS

Project Number:

22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date:

October 28, 2025

Revisions:

Sheet Title:

FINAL PLAT (5 OF 7)

Sheet Number:

T-07

PAGE 07 OF 37 SHEETS

Application Number:

2025-19-SDP



5200 PRYOR LANE, AUSTIN, TEXAS 78756 • TBP# FIRM # F-9799 •
WWW.TGS-ENG.COM



AUSTIN SPATIAL TECHNOLOGIES, LLC
LAND SURVEYORS - GEOMATIC SPECIALISTS

www.austinspatial.com PH: 512-573-6730
FIRM REGISTRATION NO. 10173100



October 28, 2025

Project:

**GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
VISTA VERA PARK**

GEORGETOWN, TEXAS

Project Number:

22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submitted Date:

October 28, 2025

Revisions:

Sheet Title:

FINAL PLAT (6 OF 7)

Sheet Number:

T-08

PAGE 08 OF 37 SHEETS

Application Number:

2025-19-SDP

DOC # 2017112731

**FINAL PLAT
VISTA POINTE SUBDIVISION PHASE ONE
51.223 ACRES
LOCATED IN THE BARNEY C LOW SURVEY A-385
WILLIAMSON COUNTY, TEXAS**

PROPERTY DESCRIPTION

BEING 51.223 ACRES OF LAND LOCATED IN THE BARNEY C. LOW SURVEY, ABSTRACT 385, WILLIAMSON COUNTY, TEXAS AND BEING A PORTION OF A 92.604 ACRE TRACT DESCRIBED IN A DEED TO AUSTIN LAND INVESTMENTS, LLC IN DOCUMENT NO. 2015007981 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS SAID 49.720 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS WITH ALL BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD83 4203.

COMMENCING at an iron rod with cap stamped "Baker Atlanta" located on the southerly right of way line of County Road 111 (Westinghouse Road with width varies) and in the east line of a called 11.058 acre tract described in a deed recorded in Document No. 2005014912 of said Official Public Records same being the northwest corner of said 92.604 acre tract and the northwest corner of the herein described tract;

THENCE, with said southerly right of way line N67°42'23"E, 293.42 POINT OF BEGINNING of the herein described tract;

THENCE, continuing with said southerly right of way line the following courses and distances:

1. N67°42'23"E, 84.00 feet to the beginning of a curve to the left;
2. With the arc of a curve to the left 13.66 feet having a radius of 5055.34 feet, a central angle of 00°09'17" and a chord bearing and distance of N68°00'40"E, 13.66 feet to a Mag Nail found;
3. Continuing with the arc of said curve to the left 34.18 feet having a radius of 5055.34 feet, a central angle of 00°23'15" and a chord bearing and distance of N67°21'32"E, 34.18 feet to a 1/4-inch iron rod with cap stamped "AST" set at the beginning of a compound curve to the left;
- THENCE, leaving said southerly right of way line and crossing said 92.604 acre tract the following courses and distances:
 1. S21°41'17"E, 12.70 feet;
 2. with a curve to the left, 30.94 feet, having a radius of 20.00 feet, a central angle of 88°38'12" and a chord bearing and distance of S23°13'27"W, 27.95 feet;
 3. S21°05'39"E, 206.41 feet;
 4. S14°38'38"E, 120.17 feet;
 5. S21°05'38"E, 765.76 feet;
 6. N68°48'43"E, 319.91 feet;
 7. N21°11'17"W, 799.32 feet;
 8. N68°54'21"E, 25.00 feet to the westerly line of a called 11.5029 acre tract described in a deed to DPS GEORGETOWN and recorded in Document No. 2017011892 of said Official Public Records same being the easterly line of said 92.604 acre tract;

THENCE, with the westerly line of said 11.5029 acre tract, same being the easterly line of said 92.604 acre tract, S21°11'17"E, 770.00 feet to a nail in a fence post at the southwest corner of said 11.5029 acre tract, being an interior ell corner of said 92.604 acre tract;

THENCE, with the southerly line of said 11.5029 acre tract, same being the northerly line of said 92.604 acre tract, N75°24'11"E, 723.77 feet;

THENCE, leaving the southerly line of said 11.5029 acre tract, and crossing said 92.604 acre tract the following courses and distances:

1. S20°11'24"E, 15.19 feet;
2. S89°36'49"W, 104.00 feet;
3. S75°24'11"W, 619.92 feet;
4. S16°19'51"W, 106.26 feet;
5. S73°40'09"E, 47.21 feet to the beginning of a non-tangent curve to the left;
6. with a curve to the left, 66.49 feet, having a radius of 50.00 feet, a central angle of 76°11'35" and a chord bearing and distance of S23°29'58"W, 61.70 feet;
7. S75°24'11"W, 45.38 feet;
8. S16°19'51"W, 314.26 feet to the beginning of a non-tangent curve to the left;
9. with said curve to the left, 108.90 feet, having a radius of 275.29 feet, a central angle of 22°28'38" and a chord bearing and distance of S60°35'25"E, 107.31 feet to a point of compound curvature;
10. with said compound curve to the left, 24.04 feet, having a radius of 15.00 feet, a central angle of 91°49'36" and a chord bearing and distance of N62°14'39"E, 21.55 feet;
11. N16°19'51"E, 51.87 feet;
12. S73°40'09"E, 170.00 feet;
13. S16°19'51"W, 10.00 feet;
14. S73°40'09"E, 680.00 feet;
15. N16°19'51"E, 53.49 feet;
16. S73°40'09"E, 133.36 feet;
17. S03°45'39"W, 31.13 feet;
18. S51°39'35"E, 64.14 feet;
19. N79°58'16"E, 40.00 feet;
20. N72°06'38"E, 33.45 feet;
21. N72°06'38"E, 45.11 feet;
22. N72°06'38"E, 32.42 feet;
23. N72°06'38"E, 44.74 feet;
24. N72°06'38"E, 17.27 feet;
25. N72°06'38"E, 62.00 feet;
26. N65°06'20"E, 55.85 feet;
27. N44°35'06"E, 57.24 feet;
28. N23°18'15"E, 57.24 feet;
29. S77°22'12"E, 120.00 feet;
30. S77°34'55"E, 50.02 feet;
31. S77°22'30"E, 204.81 feet to the westerly line of Lot 1, Block "1" Terra Vista Section 13B, a subdivision of record Document No. 2007091715 of said Official Public Records;

THENCE, with the easterly line of said 92.604 acre tract, same being the westerly line of said Lot 1, S20°11'24"E, 407.53 feet to a 1/4-inch iron rod found at the southeast corner of said 92.604 acre tract and being the most northerly northeast corner of the Gardens at Teravista a Condominium Regime of record in Document No. 2013001700 of said Official Public Records;

THENCE, with the southerly line of said 92.604 acre tract the following courses and distances:

1. S71°44'48"W, 330.37 feet to a 1/4-inch iron rod with cap stamped "CS LTD" for angle point;
2. S71°27'28"W, passing at 469.18 feet an iron rod with cap stamped "BURY PARTNERS" at the northwest corner of said Gardens at Teravista Condominiums, same being the northeast corner of Lot 17 Teravista Section 3B, a subdivision of record in Document No. 2007096009 of said Official Public Records, and continuing for a total distance of 593.40 feet to a 1/4-inch iron rod with cap stamped "CS LTD" for angle point;
3. S72°50'32"W, passing at 227.85 feet the common northerly corner of Lots 17 and 18 of said Section 3B and continuing for a total distance of 260.16 feet to a 1/4-inch iron rod with cap stamped "CS LTD" for angle point and;
4. S74°16'29"W, 1062.65 feet to the southwest corner of said 92.604 acre tract and being on the easterly line of a called 94.387 acre tract described in a deed to Horizontal Westinghouse Investors, LLC and recorded in Document No. 2015005809 of said Official Public Records, same being the northwest corner of said Lot 18, Teravista Section 3B ;

THENCE, with the westerly line of said 92.604 acre tract, same being the easterly line of said 94.387 acre tract the following two (2) courses and distances:

1. N21°54'30"W, 203.45 feet to an iron rod with cap stamped "CS LTD" for angle point and;
2. N21°05'32"W, passing the most easterly northeast corner of said 94.387 acre tract at 883.95 feet and continuing for a total distance of 904.04 feet to a 1/4-inch iron rod found for the southwest corner of said 11.058 acre tract;

THENCE, leaving said 94.387 acre tract and continuing with the westerly line of said 92.604 acre tract and the south and easterly lines of said 11.058 acre tract the following two (2) courses and distances:

1. N68°53'29"E, 337.63 feet to a 3/8-inch iron rod found for the southeast corner of said 11.058 acre tract and;
 2. N21°05'39"W, 1052.11 feet;
- THENCE, leaving said westerly line and once again crossing said 92.604 acre tract,
1. S21°05'39"E, 50.00 feet;
 2. S21°05'39"E, 770.00 feet;
 3. N68°54'21"E, 277.27 feet;
 4. N21°05'38"W, 765.92 feet;
 5. N27°32'40"W, 120.17 feet;
 6. N21°05'39"W, 206.61 feet to the beginning of a curve to the left;
 7. with a curve to the left, 31.42 feet, having a radius of 20.00 feet, a central angle of 88°59'03" and a chord bearing and distance of N66°54'14"W, 28.29 feet;
 8. N21°45'14"W, 11.88 feet to the POINT OF BEGINNING and containing 51.223 acres of land, more or less.

OWNER:

HERITAGE HOMES OF TEXAS, LLC
8920 BUSINESS PARK DRIVE, SUITE 350
AUSTIN, TEXAS 78759

TOTAL LENGTH OF STREETS:	7480 LF
SINGLE FAMILY LOTS:	130 23.49 ACRES
LANDSCAPE LOTS:	2 0.19 ACRES
PARKLAND LOT:	1 5.00 ACRES
AMENITY LOT:	1 1.50 ACRES
DRAINAGE/UTILITIES LOT:	5 11.26 ACRES
PHASE 1 TOTAL ACREAGE	51.22 ACRES

PHASE 1 TOTAL LOTS:	139
PHASE 1 TOTAL BLOCKS:	11



Date: JUNE 2017



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WWW.TG-ENG.COM

AUSTIN SPATIAL TECHNOLOGIES, LLC
LAND SURVEYORS - GEOMATIC SPECIALISTS

www.austinspatial.com PH: 512-573-6730
FIRM REGISTRATION NO. 10173100

Sheet No. 6 OF 7

FP-2017-009



October 28, 2025

Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK

GEORGETOWN, TEXAS

Project Number:
 22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submission Date:
 October 28, 2025

Revisions:

Sheet Title:
FINAL PLAT (7 OF 7)

Sheet Number:

T-09

PAGE 09 OF 37 SHEETS

Application Number:
2025-19-SDP

DOC# 2017112731

**FINAL PLAT
 VISTA POINTE SUBDIVISION PHASE ONE
 51.223 ACRES
 LOCATED IN THE BARNEY C LOW SURVEY A-385
 WILLIAMSON COUNTY, TEXAS**

STATE OF TEXAS {
 KNOW ALL MEN BY THESE PRESENTS
 COUNTY OF WILLIAMSON {

I, MATTHEW SCRIVENER, ON BEHALF OF MERITAGE HOMES OF TEXAS, LLC, SOLE OWNER OF THE CERTAIN 51.223 ACRE TRACT OF LAND SHOWN HEREON AND DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 2017061902 OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS, AND DO HEREBY STATE THAT THERE ARE NO LIEN HOLDERS OF THE CERTAIN TRACT OF LAND, AND DO HEREBY SUBDIVIDE SAID TRACT AS SHOWN HEREON, AND DO HEREBY CONSENT TO ALL PLAT NOTE REQUIREMENTS SHOWN HEREON, AND DO HEREBY DEDICATE TO THE CITY OF GEORGETOWN THE STREETS, ALLEYS, RIGHTS-OF-WAY, EASEMENTS AND PUBLIC PLACES SHOWN HEREON FOR SUCH PUBLIC PURPOSES AS THE CITY OF GEORGETOWN MAY DEEM APPROPRIATE. THIS SUBDIVISION IS TO BE KNOWN AS VISTA POINTE PHASE ONE.

TO CERTIFY WHICH, WITNESS BY MY HAND THIS 20 DAY OF JUNE, 2017.

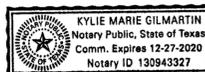
Matthew Scrivener
 MATTHEW SCRIVENER, V.P. LAND DEVELOPMENT
 MERITAGE HOMES OF TEXAS, LLC
 8920 BUSINESS PARK DRIVE, SUITE 350
 AUSTIN, TX 78759

STATE OF TEXAS {
 KNOW ALL MEN BY THESE PRESENTS
 COUNTY OF WILLIAMSON {

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED MATTHEW SCRIVENER KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 20 DAY OF JUNE, 2017.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
 MY COMMISSION EXPIRES ON: 12-27-2020



STATE OF TEXAS {
 KNOW ALL MEN BY THESE PRESENTS
 COUNTY OF TRAVIS {

I, THOMAS J. GROLL, P.E., REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS SUBDIVISION IS PARTIALLY WITHIN THE EDWARDS AQUIFER RECHARGE ZONE AND PARTIALLY WITHIN THE EDWARDS AQUIFER TRANSITION ZONE, AND IS NOT ENCRoACHED BY A ZONE A FLOOD AREA, AS DENOTED HEREIN, AND AS DEFINED BY FEDERAL EMERGENCY MANAGEMENT ADMINISTRATION FLOOD HAZARD BOUNDARY MAP, COMMUNITY PANEL NUMBER 48491CO485E, EFFECTIVE DATE SEPTEMBER 26, 2008, AND THAT EACH LOT CONFORMS TO THE CITY OF GEORGETOWN REGULATIONS. THE FULLY DEVELOPED, CONCENTRATED STORM WATER RUNOFF RESULTING FROM THE ONE HUNDRED (100) YEAR FREQUENCY STORM IS CONTAINED WITHIN THE DRAINAGE EASEMENTS SHOWN AND/OR PUBLIC RIGHTS-OF-WAY DEDICATED BY THIS PLAT.

TO CERTIFY WHICH, WITNESS MY HAND AND SEAL AT AUSTIN, TRAVIS, TEXAS, THIS 20TH DAY OF JUNE, 2017.

Thomas J. Groll
 THOMAS J. GROLL, P.E.
 REGISTERED PROFESSIONAL ENGINEER NO. 90976
 STATE OF TEXAS



STATE OF TEXAS {
 KNOW ALL MEN BY THESE PRESENTS
 COUNTY OF WILLIAMSON {

I, PAUL C. SAUVE, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF GEORGETOWN, TEXAS.

TO CERTIFY WHICH, WITNESS MY HAND AND SEAL AT AUSTIN, TRAVIS, TEXAS, THIS 20TH DAY OF JUNE, 2017.

Paul C. Sauve, Jr.
 PAUL C. SAUVE, JR.
 REGISTERED PROFESSIONAL SURVEYOR NO. 2518
 STATE OF TEXAS



CITY OF GEORGETOWN CERTIFICATIONS

CITY FLOODPLAIN COORDINATOR

BASED UPON THE ABOVE REPRESENTATIONS OF THE ENGINEER OR SURVEYOR WHOSE SEAL IS AFFIXED HERETO, AND AFTER A REVIEW OF THE PLAT AS REPRESENTED BY THE SAID ENGINEER OR SURVEYOR, I FIND THAT THIS PLAT COMPLIES WITH THE REQUIREMENTS OF CHAPTER 15.44, FLOOD DAMAGE PREVENTION, OF THE GEORGETOWN MUNICIPAL CODE. THIS CERTIFICATION IS MADE SOLELY UPON SUCH REPRESENTATIONS AND SHOULD NOT BE RELIED UPON FOR VERIFICATIONS OF THE FACTS ALLEGED. THE CITY OF GEORGETOWN DISCLAIMS ANY RESPONSIBILITY TO ANY MEMBER OF THE PUBLIC OR INDEPENDENT VERIFICATIONS OF THE REPRESENTATION, FACTUAL OR OTHERWISE, CONTAINED IN THIS PLAT AND THE DOCUMENTS ASSOCIATED WITH IT.

Glen Holcomb 11-9-2017
 CITY OF GEORGETOWN
 Glen Holcomb, Building Official

I, SOFIA NELSON, PLANNING DIRECTOR OF THE CITY OF GEORGETOWN, TEXAS, DO HEREBY CERTIFY THIS PLAT IS APPROVED FOR FILING OF RECORD WITH THE COUNTY CLERK OF WILLIAMSON COUNTY, TEXAS.

Sofia Nelson 11-9-2017
 SOFIA NELSON, PLANNING DIRECTOR DATE

STATE OF TEXAS {
 KNOW ALL MEN BY THESE PRESENTS
 COUNTY OF WILLIAMSON {

I, NANCY E. RISTER, CLERK OF THE COUNTY COURT OF SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH ITS CERTIFICATE WAS FILED FOR RECORD IN MY OFFICE ON THE 21 DAY OF Dec 2017 A.D. AT 9:20 O'CLOCK A.M. AND DULY RECORDED ON THE 21 DAY OF Dec 2017 A.D. AT 9:48 O'CLOCK A.M. AS DOCUMENT NO. 2017112731 IN THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS.

TO CERTIFY WHICH, WITNESS MY HAND AND SEAL AT THE COUNTY COURT OF SAID COUNTY, AT MY OFFICE IN GEORGETOWN, TEXAS THE DATE LAST SHOWN ABOVE WRITTEN.

Connie Phelps
 CLERK
 COUNTY COURT OF WILLIAMSON COUNTY, TEXAS
 Connie Phelps



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AUSTIN SPATIAL TECHNOLOGIES, LLC
 LAND SURVEYORS - GEOMATIC SPECIALISTS

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 FIRM REGISTRATION NO. 10173100



Date: JUNE 2017

Sheet No. 7 OF 7

FP-2017-009

FILE: P:\Georgetown\2022\2022-503 Georgetown Neighborhood Park Improvements\CAD\21 - VISTA VERA PARK\Plans\CIVIL SHEETS\C-01 TCEQ & GENERAL NOTES AND LEGEND.dwg LAYOUT: C-01 TCEQ & GENERAL NOTES AND LEGEND LAST SAVED: 11/5/2025 8:36:12 AM

Texas Commission on Environmental Quality
Water Pollution Abatement Plan General Construction Notes

THE FOLLOWING/LISTED "CONSTRUCTION NOTES" ARE INTENDED TO BE ADVISORY IN NATURE ONLY AND DO NOT CONSTITUTE AN APPROVAL OR CONDITIONAL APPROVAL BY THE EXECUTIVE DIRECTOR (ED), NOR DO THEY CONSTITUTE A COMPREHENSIVE LISTING OF RULES OR CONDITIONS TO BE FOLLOWED DURING CONSTRUCTION. FURTHER ACTIONS MAY BE REQUIRED TO ACHIEVE COMPLIANCE WITH TCEQ REGULATIONS FOUND IN TITLE 30, TEXAS ADMINISTRATIVE CODE (TAC), CHAPTERS 213 AND 217, AS WELL AS LOCAL ORDINANCES AND REGULATIONS PROVIDING FOR THE PROTECTION OF WATER QUALITY. ADDITIONALLY, NOTHING CONTAINED IN THE FOLLOWING/LISTED "CONSTRUCTION NOTES" RESTRICTS THE POWERS OF THE ED, THE COMMISSION OR ANY OTHER GOVERNMENTAL ENTITY TO PREVENT, CORRECT, OR CURTAIL ACTIVITIES THAT RESULT OR MAY RESULT IN POLLUTION OF THE EDWARDS AQUIFER OR HYDROLOGICALLY CONNECTED SURFACE WATERS. THE HOLDER OF ANY EDWARDS AQUIFER PROTECTION PLAN CONTAINING "CONSTRUCTION NOTES" IS STILL RESPONSIBLE FOR COMPLIANCE WITH TITLE 30, TAC, CHAPTERS 213 OR ANY OTHER APPLICABLE TCEQ REGULATION, AS WELL AS ALL CONDITIONS OF AN EDWARDS AQUIFER PROTECTION PLAN THROUGH ALL PHASES OF PLAN IMPLEMENTATION. FAILURE TO COMPLY WITH ANY CONDITION OF THE ED'S APPROVAL, WHETHER OR NOT IN CONTRADICTION OF ANY "CONSTRUCTION NOTES," IS A VIOLATION OF TCEQ REGULATIONS AND ANY VIOLATION IS SUBJECT TO ADMINISTRATIVE RULES, ORDERS, AND PENALTIES AS PROVIDED UNDER TITLE 30, TAC § 213.10 (RELATING TO ENFORCEMENT). SUCH VIOLATIONS MAY ALSO BE SUBJECT TO CIVIL PENALTIES AND INJUNCTION. THE FOLLOWING/LISTED "CONSTRUCTION NOTES" IN NO WAY REPRESENT AN APPROVED EXCEPTION BY THE ED TO ANY PART OF TITLE 30 TAC, CHAPTERS 213 AND 217, OR ANY OTHER TCEQ APPLICABLE REGULATION.

- 1. A WRITTEN NOTICE OF CONSTRUCTION MUST BE SUBMITTED TO THE TCEQ REGIONAL OFFICE AT LEAST 48 HOURS PRIOR TO THE START OF ANY REGULATED ACTIVITIES. THIS NOTICE MUST INCLUDE:
- THE NAME OF THE APPROVED PROJECT;
- THE ACTIVITY START DATE; AND
- THE CONTACT INFORMATION OF THE PRIME CONTRACTOR.
2. ALL CONTRACTORS CONDUCTING REGULATED ACTIVITIES ASSOCIATED WITH THIS PROJECT MUST BE PROVIDED WITH COMPLETE COPIES OF THE APPROVED WATER POLLUTION ABATEMENT PLAN (WPAP) AND THE TCEQ LETTER INDICATING THE SPECIFIC CONDITIONS OF ITS APPROVAL. DURING THE COURSE OF THESE REGULATED ACTIVITIES, THE CONTRACTORS ARE REQUIRED TO KEEP ON-SITE COPIES OF THE APPROVED PLAN AND APPROVAL LETTER.
3. IF ANY SENSITIVE FEATURE(S) (CAVES, SOLUTION CAVITY, SINK HOLE, ETC.) IS DISCOVERED DURING CONSTRUCTION, ALL REGULATED ACTIVITIES NEAR THE SENSITIVE FEATURE MUST BE SUSPENDED IMMEDIATELY. THE APPROPRIATE TCEQ REGIONAL OFFICE MUST BE IMMEDIATELY NOTIFIED OF ANY SENSITIVE FEATURES ENCOUNTERED DURING CONSTRUCTION. CONSTRUCTION ACTIVITIES MAY NOT BE RESUMED UNTIL THE TCEQ HAS REVIEWED AND APPROVED THE APPROPRIATE PROTECTIVE MEASURES IN ORDER TO PROTECT ANY SENSITIVE FEATURE AND THE EDWARDS AQUIFER FROM POTENTIALLY ADVERSE IMPACTS TO WATER QUALITY.
4. NO TEMPORARY OR PERMANENT HAZARDOUS SUBSTANCE STORAGE TANK SHALL BE INSTALLED WITHIN 150 FEET OF A WATER SUPPLY SOURCE, DISTRIBUTION SYSTEM, WELL, OR SENSITIVE FEATURE.
5. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY, ALL TEMPORARY EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES MUST BE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLANS AND MANUFACTURERS SPECIFICATIONS. IF INSPECTIONS INDICATE A CONTROL HAS BEEN USED INAPPROPRIATELY, OR INCORRECTLY, THE APPLICANT MUST REPLACE OR MODIFY THE CONTROL FOR SITE SITUATIONS. THESE CONTROLS MUST REMAIN IN PLACE UNTIL THE DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
6. ANY SEDIMENT THAT ESCAPES THE CONSTRUCTION SITE MUST BE COLLECTED AND PROPERLY DISPOSED OF BEFORE THE NEXT RAIN EVENT TO ENSURE IT IS NOT WASHED INTO SURFACE STREAMS, SENSITIVE FEATURES, ETC.
7. SEDIMENT MUST BE REMOVED FROM THE SEDIMENT TRAPS OR SEDIMENTATION BASINS NOT LATER THAN WHEN IT OCCUPIES 50% OF THE BASIN'S DESIGN CAPACITY.
8. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BEING DISCHARGED OFFSITE.
9. ALL SPOILS (EXCAVATED MATERIAL) GENERATED FROM THE PROJECT SITE MUST BE STORED ON-SITE WITH PROPER E&S CONTROLS. FOR STORAGE OR DISPOSAL OF SPOILS AT ANOTHER SITE ON THE EDWARDS AQUIFER RECHARGE ZONE, THE OWNER OF THE SITE MUST RECEIVE APPROVAL OF A WATER POLLUTION ABATEMENT PLAN FOR THE PLACEMENT OF FILL MATERIAL OR MASS GRADING PRIOR TO THE PLACEMENT OF SPOILS AT THE OTHER SITE.
10. IF PORTIONS OF THE SITE WILL HAVE A TEMPORARY OR PERMANENT CEASE IN CONSTRUCTION ACTIVITY LASTING LONGER THAN 14 DAYS, SOIL STABILIZATION IN THOSE AREAS SHALL BE INITIATED AS SOON AS POSSIBLE PRIOR TO THE 14TH DAY OF INACTIVITY. IF ACTIVITY WILL RESUME PRIOR TO THE 21ST DAY, STABILIZATION MEASURES ARE NOT REQUIRED. IF DROUGHT CONDITIONS OR INCLEMENT WEATHER PREVENT ACTION BY THE 14TH DAY, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE.
11. THE FOLLOWING RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE TCEQ UPON REQUEST:
- THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR;
- THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; AND
- THE DATES WHEN STABILIZATION MEASURES ARE INITIATED.
12. THE HOLDER OF ANY APPROVED EDWARD AQUIFER PROTECTION PLAN MUST NOTIFY THE APPROPRIATE REGIONAL OFFICE IN WRITING AND OBTAIN APPROVAL FROM THE EXECUTIVE DIRECTOR PRIOR TO INITIATING ANY OF THE FOLLOWING:
A. ANY PHYSICAL OR OPERATIONAL MODIFICATION OF ANY WATER POLLUTION ABATEMENT STRUCTURE(S), INCLUDING BUT NOT LIMITED TO PONDS, DAMS, BERMS, SEWAGE TREATMENT PLANTS, AND DIVERSIONARY STRUCTURES;
B. ANY CHANGE IN THE NATURE OR CHARACTER OF THE REGULATED ACTIVITY FROM THAT WHICH WAS ORIGINALLY APPROVED OR A CHANGE WHICH WOULD SIGNIFICANTLY IMPACT THE ABILITY OF THE PLAN TO PREVENT POLLUTION OF THE EDWARDS AQUIFER;
C. ANY DEVELOPMENT OF LAND PREVIOUSLY IDENTIFIED AS UNDEVELOPED IN THE ORIGINAL WATER POLLUTION ABATEMENT PLAN.

AUSTIN REGIONAL OFFICE SAN ANTONIO REGIONAL OFFICE
2800 S. IH 35, SUITE 100 14250 JUDSON ROAD
AUSTIN, TEXAS 78704-5712 SAN ANTONIO, TEXAS 78233-4480
PHONE (512) 339-2929 PHONE (210) 490-3096
FAX (512) 339-3795 FAX (210) 545-4329

THESE GENERAL CONSTRUCTION NOTES MUST BE INCLUDED ON THE CONSTRUCTION PLANS PROVIDED TO THE CONTRACTOR AND ALL SUBCONTRACTORS.

TCEQ-0592 (REV. 7/15/15)

Construction Layout/Project Coordination

- 1. The city of Georgetown will provide the daily on-site construction representation for this project.
2. Pre-construction conference
A. Prior to beginning work on the project and soon after the award of the contract, a conference will be held among the representatives of the city of Georgetown, the engineer, the contractor, and any subcontractor that will be involved in the work. At that time, the contractor shall submit charts or briefs, outlining the manner of execution of the work that is intended in order to complete the specified work within the allotted time. This conference will more completely establish the sequence of work to be followed and establish the estimated progress schedule for completion of the various tasks. When applicable, the pre-construction conference will be held only after installation of the erosion and sedimentation controls. This conference may take place on the site to demonstrate competence with the erosion and

General Notes

- 1. All barricades, signs, and traffic control for this project shall conform to the latest edition of the Texas Manual on Uniform Traffic Control Devices for Streets and Highways.
2. The bidders for this project shall familiarize themselves with all requirements of working in state and city of Georgetown rights-of-way and easements. The bidders shall familiarize themselves with all insurance requirements for said work and shall include in their bids, insurance costs and insurance premiums that provide for the state of Texas, the city of Georgetown and the engineer as additional insured's under the contractor's policies.
3. Blasting is not permitted on this project.
4. All construction operations shall be accomplished in accordance with applicable regulations of the U.S. Occupational Safety And Health Administration. Copies of the OSHA standards may be purchased from the U.S. government printing office; information and related reference materials may be obtained from OSHA; 903 San Jacinto, Austin, Texas.
5. These plans prepared by Kasberg, Patrick & Associates, LP, do not extend to or include designs or systems pertaining to the safety of the contractor or its employees, agents or representatives in the performance of the work. The seal of Kasberg, Patrick & Associates, LP registered professional engineer(s) hereon does not extend to any such safety systems that may now or hereafter be incorporated in the work. The contractor shall prepare or obtain the appropriate safety systems, including the plans and specifications.
6. Contractor shall comply with all applicable local, state and federal requirements regarding excess and waste material, including methods of handling and disposal.
7. Contractor shall maintain access to public and private facilities during construction. Construction activities shall be coordinated with the city of Georgetown community owned utilities.
8. Contractor shall notify the city of Georgetown community owned utilities a minimum of 3 working days. (Monday-Friday) in advance of construction startup, followed by a letter of confirmation. Contractor shall also give a minimum of 3 working days, (Monday-Friday), notice to all authorized inspectors, superintendents or persons in charge of private and public utilities affected by his operations prior to commencement of work.
9. Location of existing utilities shown on the plans was compiled from record information. No warranty is implied as to the actual location of existing utilities. Contractor shall field verify locations of existing utilities prior to the commencement of construction. Contractor should call the city of Georgetown at (512) 930-3555. If there are any conflicts between proposed and existing utilities, or if the existing utilities are in any way different from what is shown on the drawings, then it shall be the contractor's responsibility to notify the city or other affected utility before proceeding with any construction. The contractor shall be responsible for resolving all conflicts at his expense. The city of Georgetown will consider any conflicts at said locations on a case-by-case basis in order to determine if the contractor should be reimbursed for his expense in solving said conflict.
10. Contractor shall make all due precautions to protect existing facilities from damage. Any damage to existing facilities incurred as a result of these construction operations are to be repaired immediately by the contractor to at least the preexisting condition at no additional cost to the city of Georgetown.
11. Contractor shall coordinate interruptions of all utilities and services with all applicable utility company or companies. All work shall be in accordance with the requirements of the applicable utility company or agency involved.
12. When un-located or incorrectly located underground piping or a break in a line or other utilities and services are encountered during site work operations, the contractor shall notify the applicable utility company immediately to obtain procedure directions. Contractor shall cooperate with the applicable utility company in maintaining active services in operation.
13. Contractor shall locate material storage areas away from storm water conveyance systems. Contractor shall provide protected storage areas for chemicals, paints, solvents, fertilizers and other potentially toxic materials off site.
14. No open burning is allowed within the Georgetown city limits. Burning is allowed in Williamson county by air curtain destructors method and prior written approval from applicable government agencies at the contractor's expense. The contractor can haul cleared vegetation to an acceptable off-site location with written approval by the owner's representative. Prior to construction the contractor shall designate to the city of Georgetown's representative, which method will be used for disposal of cleared vegetation.
15. Fuel storage is not allowed on this project.
16. Contractor shall advise owner immediately, verbally and in writing, of any fuel or toxic material spills onto the project construction area and the actions to be taken to remedy the problem.
17. Contractor is responsible for disposing of his fuels, materials, and contaminated excavations in a legally approved manner.
18. Contractor is responsible for complying with all applicable environmental laws.
19. Contractor is responsible for providing and maintaining sanitary facilities on this project for employees.

- 20. Contractor shall coordinate all materials testing, including soil density tests and related soils analysis. Tests shall be accomplished by an independent laboratory under contract with the city of Georgetown, at the frequency, time and location as specified in the technical specifications. A copy of the test results shall be forwarded to the city of Georgetown's representative, the city of Georgetown utilities, and the contractor. Tests, which show unsatisfactory results, shall be repeated at the expense of the contractor subsequent to the contractor's remedial activities.
21. The trench excavation and shoring safety plan system as required by the laws of the state of Texas and as outlined in the technical specifications will be required as a minimum trench safety measure and shall be submitted to the city of Georgetown for acceptance prior to the beginning of construction. Implementation of the submitted trench safety plan shall be the sole responsibility of the contractor.
22. Existing paving, buildings and other items shown on the plans is not specifically related to the work of the contractor and is shown for information only.
23. Any water hauled to the site during the installation shall be paid by the contractor.
24. TxDOT requires 48-hour notification prior to any proposed work in state right of way.
25. This project is a calendar day project and therefore shall be void of rain days as credit to construction time. The city of Georgetown will not accept rain days unless a month within the project time has had rain days in excess of the average rain days for that month. Days of drying for the project site will not be considered.

Table with 4 columns: Month, Rain Days, Month, Rain Days. Rows include January through June.

Construction Layout/Project Coordination

- 1. The city of Georgetown will provide the daily on-site construction representation for this project.
2. Pre-construction conference
A. Prior to beginning work on the project and soon after the award of the contract, a conference will be held among the representatives of the city of Georgetown, the engineer, the contractor, and any subcontractor that will be involved in the work. At that time, the contractor shall submit charts or briefs, outlining the manner of execution of the work that is intended in order to complete the specified work within the allotted time. This conference will more completely establish the sequence of work to be followed and establish the estimated progress schedule for completion of the various tasks. When applicable, the pre-construction conference will be held only after installation of the erosion and sedimentation controls. This conference may take place on the site to demonstrate competence with the erosion and

sedimentation control plan and water pollution abatement plan.

- B. In addition, at this conference, the contractor shall be responsible for furnishing the engineer with all of the following, as specified herein or as directed by the engineer:
• Samples of all materials to be used on the project with identification as to product name; name, location, phone number (including area code) and mailing address of product source and manufacturer, if different from source; content of product; amount of each ingredient in the product, and manufacturer's directions as to use and application of the product, if applicable.
• Manufacturer's literature of all materials and equipment installed on the project.

- 3. Protection of vehicular and pedestrian traffic is of the utmost importance for the project. The traffic control and sequence of construction plan shall address all anticipated situations in this regard with sufficient detail. The contractors plan will be reviewed by local TxDOT officials and the City of Georgetown.

- 4. The plans for this project show proposed elevations, slopes and dimensions that are intended for actual placement. However, there may be some instances where existing conditions make it impractical to achieve the ideal. In those instances, the city of Georgetown will assist the contractor in making proper field changes to better account for field conditions.

- 5. The engineer for the project shall mark the limits of construction prior to commencement of the project.

Site Grading Notes

- 1. Contractor shall control dust caused by the work and comply with pollution control regulations of governing authorities.
2. Contractor shall remove built up material on adjacent public roadways resulting from his work. Cleaning shall be at least once a day.
3. Contractor shall protect stockpiled material such that storm water will not adversely affect erosion control, sidewalks, traffic, private property, or the San Gabriel River.
4. Required fill embankment shall be placed and compacted per technical specifications in maximum 6-inch loose lifts and compacted as stated in the specifications.

Paving And Concrete Notes

- 1. Any existing pavement, curbs and/or sidewalk damaged or removed by the contractor that are not a part of this contract shall be repaired by the contractor to at least the preexisting condition at his expense before acceptance of the work.
2. The contractor shall provide the city of Georgetown community owned utilities engineer with a barricade and signing plan, which will include how traffic will be handled during construction. The barricades, signs and lights shall conform to the latest edition of the Texas Manual On Uniform Traffic Control Devices For Streets And Highways.
3. All concrete to be class "a" for site work per technical specifications and all reinforcing steel to be ASTM A-615 grade 60, unless otherwise noted.
4. Natural subgrade - loose, disturbed or undisturbed natural subgrade beneath pavement should be scarified and rolled. Subgrade compactions shall not exceed 100%. Proof-rolling and preparation of subgrade shall be in accordance with TxDOT item 216 "proof rolling" and item 132 embankment.
5. Concrete rip rap shall be 4-inch thickness, class "b" concrete with 6" x 6" x #6 welded wire flat-sheet mesh. Finished concrete shall receive a broom finish and sprayed with type 2 membrane curing compound. The rip rap shall be placed with a 24-inch depth by 6-inch wide toe ditch at the bottom of slope edge and with an 18-inch depth by 6-inch wide toe ditch at the top of slope edge.

Project Notes

- 1. The contractor to contact the city of Georgetown at (512) 930-3555 for existing utility locations prior to any excavation. In advance of construction, the contractor shall verify the locations of all utilities to be extended, tied to or altered, or subject to damage/inconvenience by the construction operations. The city of Georgetown water and wastewater maintenance responsibility ends at right-of-way row/leasehold lines.
2. Contractor shall strip 6 inches of topsoil from all areas subject to grade modifications. Contractor shall remove any area of weak soil.
3. Within city of Georgetown right-of-way, residential driveways shall have a 10% maximum grade. Non residential driveways are to have a 3% maximum grade for the first thirty (30) feet off the edge of pavement.
4. The contractor shall be responsible and liable for all job site safety, management of job site personnel, supervision of the use of job site equipment and direction of all construction procedures, methods and elements required to complete the construction of the proposed improvements.
5. The contractor shall protect all existing fences. In the event that a fence shall be removed, the contractor shall replace said fence or portion thereof with the same type of fencing to a quality of equal or better than the original fence.

Testing And Submittals

- 1. The contractor shall be responsible for providing material samples as well as any manufacturer's literature of materials used on this project as required by the engineer. Any costs associated with any sampling and testing shall be the responsibility of the contractor. These costs shall be considered as incidental and the contractor will not be entitled to any additional compensation.
2. The contractor shall be responsible for and pay for all charges of testing laboratories for services in connection with initial tests made on all imported materials to the project sites including but not limited to embedment materials, fill material, backfill material, select material, crushed limestone base, subbase, concrete, steel, wood forms, liquid asphalt, aggregate, water, cement, curing compound, guard rail, etc. The tests for which the contractor will typically be responsible are Atterberg limits, sieve analysis, plasticity indices, mix design, California bearing ratios, proctors (moisture density curves) and all tests required by the specifications that prove the material brought to the project sites meets or exceeds the specifications and contract documents. The owner, the city of Georgetown, will pay all the charges of testing laboratories for services in connection with in place field densities, concrete cylinders testing, HMAC density tests and any in place test required for quality assurance. Retesting after failure of in place tests shall be at the expense of the contractor.

Americans With Disabilities Act

- 1. This project is intended to conform to the Americans With Disabilities Act.
2. The contractor shall be aware of construction procedures, finished product requirements of this act, and coordinate all activities to satisfy this act.

Electric Notes

- 1. For all nonresidential and multifamily development where no existing overhead infrastructure exists, underground electric lines shall be required along the streets and within the site.
2. Where existing overhead infrastructure is to be relocated, it shall be re-installed underground and the existing facilities shall be removed at the discretion of the development engineer.
3. All electric must follow all portions of UDC 13.06.

GENERAL

- MONUMENT
FLAG POLE
IRON PIN SET
IRON PIN FOUND
SIGN
BENCHMARK
TREE SYMBOL
NAIL SET/FOUND
"X" IN CONCRETE FOUND/SET (LABEL)
BORE HOLE
BOLLARD POST
FENCE POST
GROUND LIGHT
GROUNDING ROD
RAILROAD CONTROL BOX
MARKER SIGN
MAIL BOX

ELECTRIC

- ELECTRIC BOX
LIGHT POLE
POWER POLE
GUY
MANHOLE
JUNCTION BOX
TRAFFIC SIGNAL POLE/BOX/CONTROL PANEL

TELECOMM/CABLE

- TELEPHONE RISER BOX
MANHOLE
CABLE BOX
CABLE PEDESTAL
JUNCTION BOX
TELEPHONE POLE
PULL BOX

WATER

- FIRE HYDRANT
WATER VALVE 1
WATER VALVE 2
WATER METER
MANHOLE
PIPE FITTING
REDUCER
HOSE BIB
SPRINKLER CONTROL BOX
SPRINKLER CONTROL VALVE

WASTEWATER

- MANHOLE
PIPE FITTING
CLEANOUT

STORM SEWER

- MANHOLE
AREA DRAIN

GAS

- GAS METER

COVEY
Planning + Landscape Architecture

800 South Austin Avenue
Georgetown, Texas 78626
512.887.5311

KASBERG, PATRICK & ASSOCIATES, LP
CONSULTING ENGINEERS
GEORGETOWN, TEXAS 78626



Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK

GEORGETOWN, TEXAS

Project Number:
23-CLA510



CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES ON THE PLANS.

Designed: ISI

Drawn: ISI

Reviewed: TWR

Submittal Date:
OCTOBER 28, 2025

Revisions:

Sheet Title:
TCEQ & GENERAL NOTES AND LEGEND

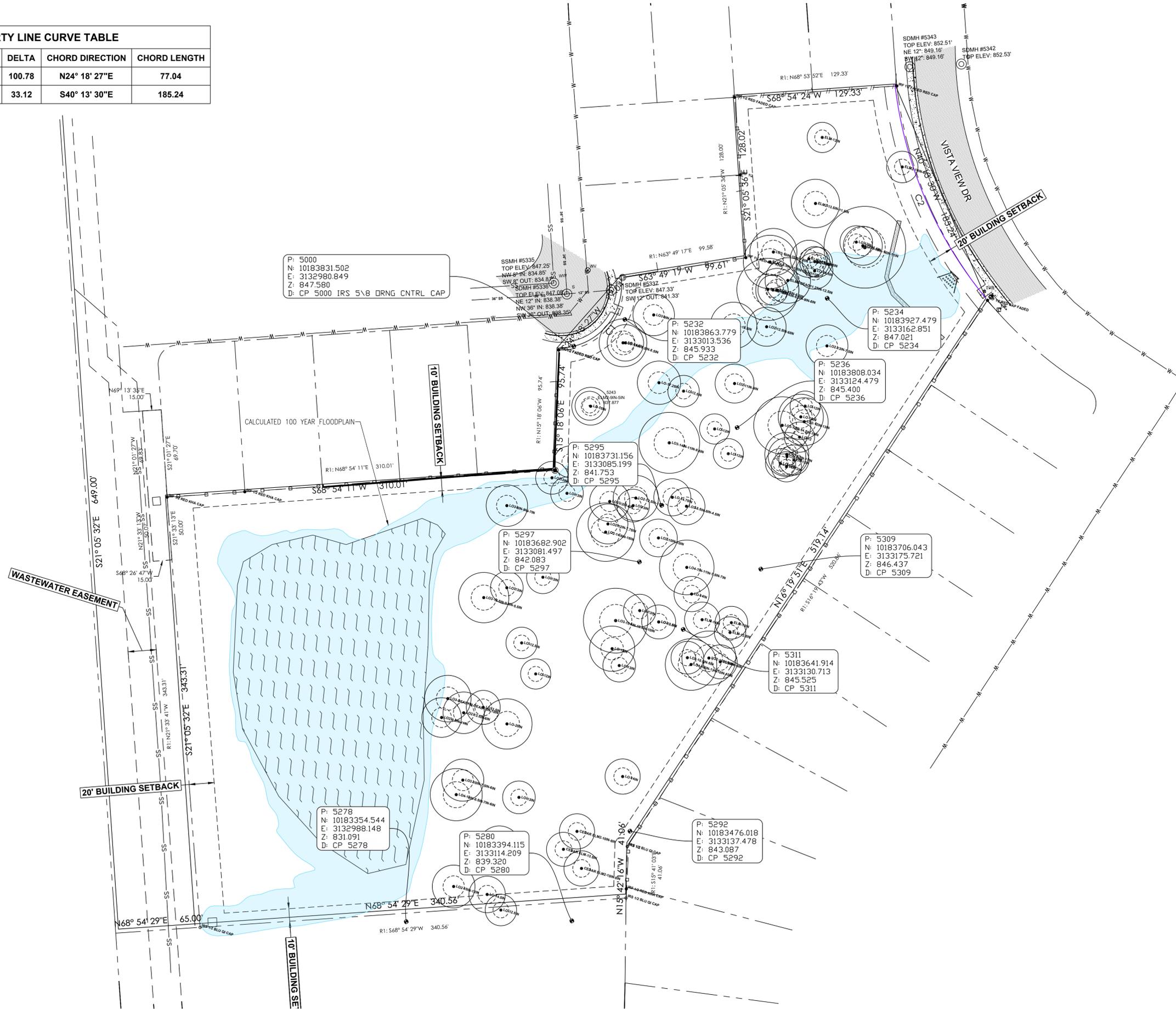
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C-01 SHEET 10 OF 37

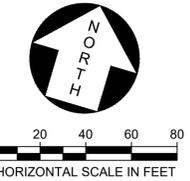
Application Number:
2025-19-SDP

FILE: P:\Georgetown\2022\2022-503 Georgetown Neighborhood Park Improvements\CAD\21 - VISTA VERA PARK\Plans\GENERAL\C-02 EXISTING SITE PLAN.dwg LAST SAVED: 11/15/2025 8:08:06 AM LAYOUT: C-02 EXISTING SITE PLAN

PROPERTY LINE CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	87.95	50.00	100.78	N24° 18' 27"E	77.04
C2	187.84	325.00	33.12	S40° 13' 30"E	185.24



Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK



GEORGETOWN, TEXAS

Project Number:
23-CLA510



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Designed: ISI

Drawn: ISI

Reviewed: TWR

Submittal Date:

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Revisions:

Sheet Title:
EXISTING SITE PLAN

Sheet Number:

C-02

PAGE 11 OF 37 SHEETS

Application Number:

2025-19-SDP



REFERENCE: C-04

REFERENCE: C-05

COVEY

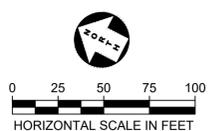
Planning + Landscape Architecture

800 South Austin Avenue
Georgetown, Texas 78626
512.887.5311



October 28, 2025

Project:
**GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
VISTA VERA PARK**



GEORGETOWN, TEXAS

Project Number:
22-CLA503



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Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date:
October 28, 2025

Revisions:

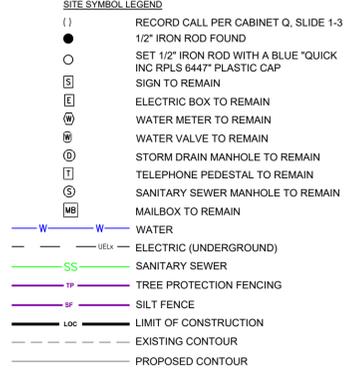
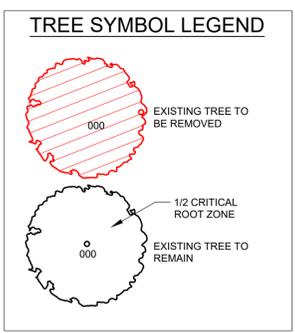
Sheet Title:
**TREE PROTECTION
REFERENCE PLAN**

Sheet Number:

C-03

PAGE 12 OF 37 SHEETS

Application Number:
2025-19-SDP



GENERAL NOTES:

- ALL SILT FENCE IS TO REMAIN UNTIL GRASS IS ESTABLISHED AS DETERMINED BY LANDSCAPE ARCHITECT. ONCE SILT FENCE IS REMOVED, ALL DISTURBED AREAS ARE TO RECEIVE NEW HYDROSEED.

NOTE: ANY TREES GREATER THAN 6" CALIPER AND LESS THAN 12" DIAMETER BREST HEIGHT WITHIN THE LIMIT OF CONSTRUCTION ARE TO REMAIN AND RECEIVE TREE PROTECTION FENCING AS SHOWN IN THE STANDARD DETAILS. ANY CONFLICT BETWEEN THESE TREES NOT SHOWN IN THE PLANS AND THE PROPOSED IMPROVEMENTS ARE TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER FOR INSTRUCTION ON HOW TO PROCEED.

NOTE: THESE TREES WERE NOT REQUIRED TO BE SURVEYED PER UDC SECTION 8.05.020(A)(1)(A)



Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK



GEORGETOWN, TEXAS
Project Number:
22-CLA503



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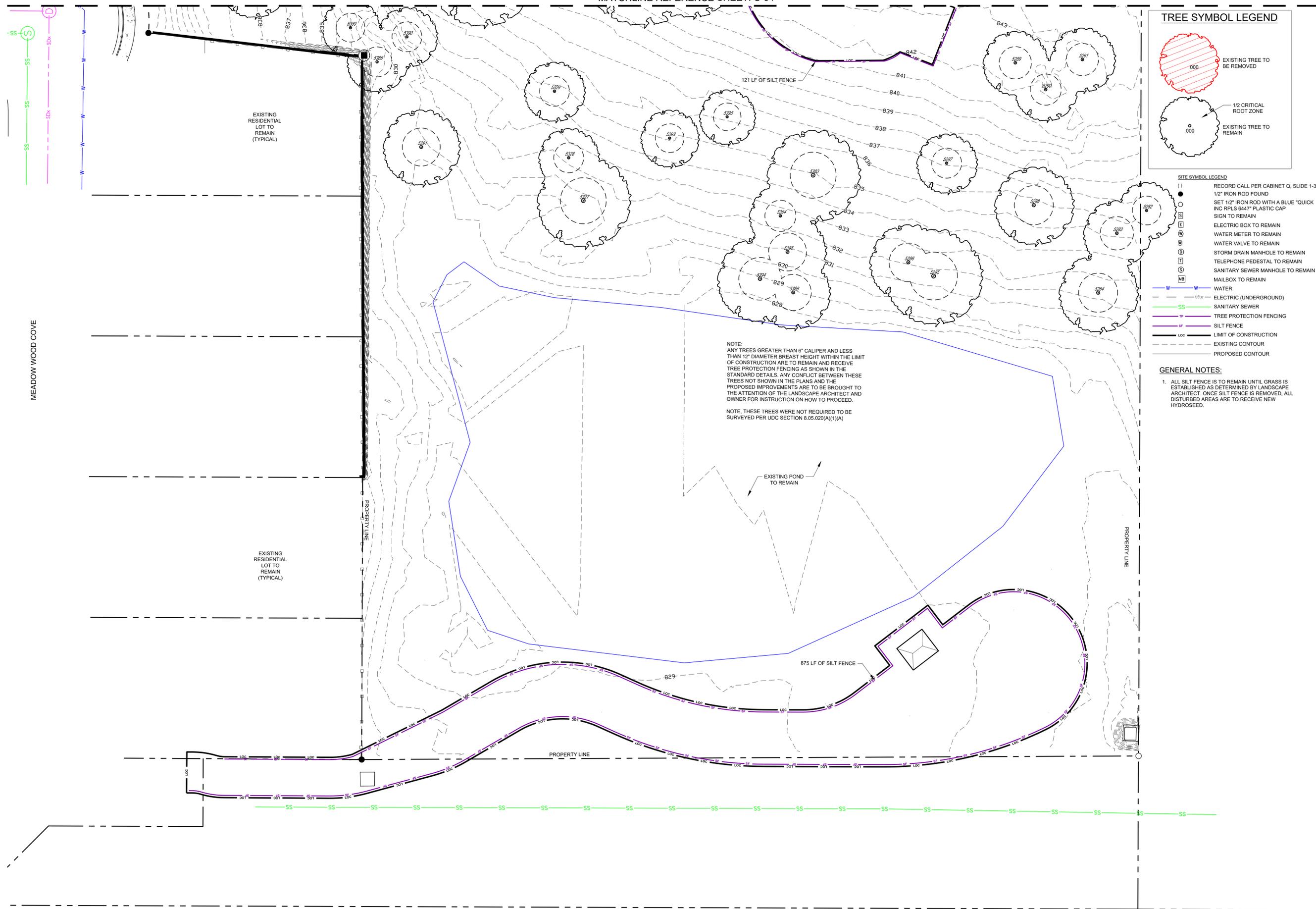
Designed: TWR
Drawn: CMB
Reviewed: RWS
Submittal Date:
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Revisions:

NO.	DATE	DESCRIPTION

Sheet Title:
TREE PROTECTION AND EROSION CONTROL PLAN (1 OF 2)

Sheet Number:
C-04
PAGE 13 OF 37 SHEETS
Application Number:
2025-19-SDP



TREE SYMBOL LEGEND

- EXISTING TREE TO BE REMOVED
- 1/2 CRITICAL ROOT ZONE
- EXISTING TREE TO REMAIN

SITE SYMBOL LEGEND

- RECORD CALL PER CABINET Q, SLIDE 1-3
- 1/2" IRON ROD FOUND
- SET 1/2" IRON ROD WITH A BLUE "QUICK INC RPLS 6447" PLASTIC CAP
- SIGN TO REMAIN
- ELECTRIC BOX TO REMAIN
- WATER METER TO REMAIN
- WATER VALVE TO REMAIN
- STORM DRAIN MANHOLE TO REMAIN
- TELEPHONE PEDESTAL TO REMAIN
- SANITARY SEWER MANHOLE TO REMAIN
- MAILBOX TO REMAIN
- WATER
- ELECTRIC (UNDERGROUND)
- SANITARY SEWER
- TREE PROTECTION FENCING
- SILT FENCE
- LIMIT OF CONSTRUCTION
- EXISTING CONTOUR
- PROPOSED CONTOUR

GENERAL NOTES:

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NOTE: ANY TREES GREATER THAN 6" CALIPER AND LESS THAN 12" DIAMETER GREATEST HEIGHT WITHIN THE LIMIT OF CONSTRUCTION ARE TO REMAIN AND RECEIVE TREE PROTECTION FENCING AS SHOWN IN THE STANDARD DETAILS. ANY CONFLICT BETWEEN THESE TREES NOT SHOWN IN THE PLANS AND THE PROPOSED IMPROVEMENTS ARE TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER FOR INSTRUCTION ON HOW TO PROCEED.

NOTE: THESE TREES WERE NOT REQUIRED TO BE SURVEYED PER UDC SECTION 8.05.020(A)(1)(A)



Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK



GEORGETOWN, TEXAS
 Project Number:
 22-CLA503

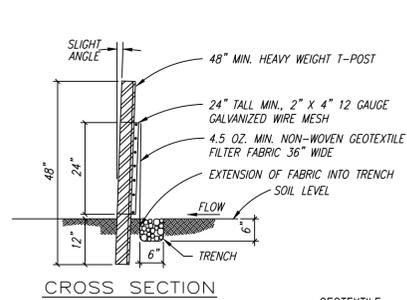


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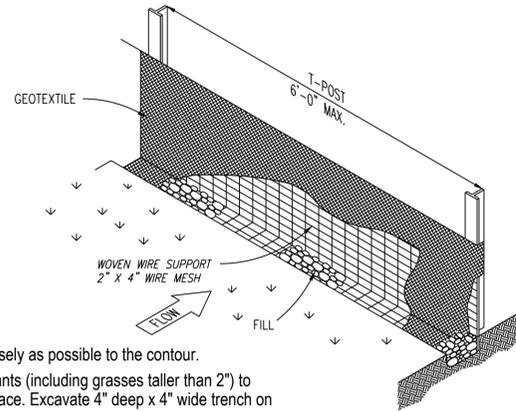
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 Reviewed: RWS
 Submittal Date:
 October 28, 2025
 Revisions:

Sheet Title:
TREE PROTECTION AND EROSION CONTROL PLAN (2 OF 2)

Sheet Number:
C-05
 PAGE 14 OF 37 SHEETS
 Application Number:
2025-19-SDP



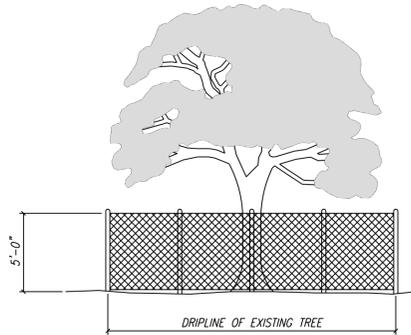
Inspection and maintenance guidelines:
 - Inspect all fencing weekly, and after any rainfall event.
 - Remove sediment when buildup reaches 6 inches.
 - Replace any torn fabric.
 - Replace or repair any sections crushed or collapsed in the course of construction activity.



Installation:

- Layout the silt fence following as closely as possible to the contour.
- Clear the ground of debris, rocks, plants (including grasses taller than 2") to provide a smooth flow approach surface. Excavate 4" deep x 4" wide trench on upstream side of face per plans.
- Drive the heavy duty t-post at least 12 inches into the ground and at a slight angle towards the flow.
- Attach the 2" x 4" 12 gauge welded wire mesh to the t-post with 11 1/2 gauge galvanized t-post clips, the top of the wire to be 24" above ground level. The welded wire mesh to be overlapped 6" and tied at least 6 times with hog rings.
- The silt fence to be installed with a skirt a minimum of 11" wide placed on the uphill side of the fence inside excavated trench. The fabric to overlap the top of the wire by 1".
- Anchor the silt fence by backfilling with excavated dirt and rocks.
- Geotextile splices should be a minimum of 18" wide attached in at least 6 places. Splices in concentrated flow areas will not be accepted.

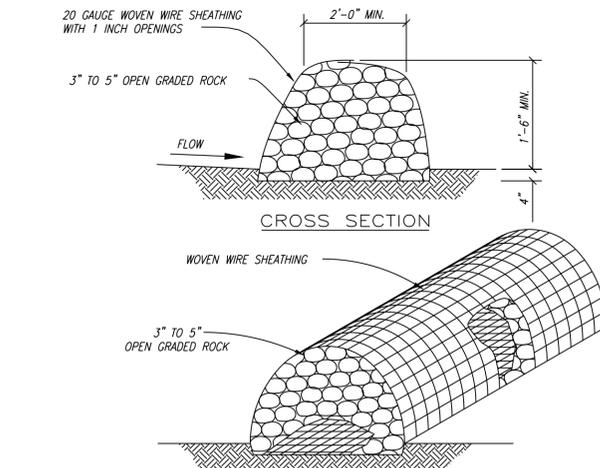
SILT FENCE DETAIL
 NOT TO SCALE



Notes:

1. Tree protection fences shall be installed prior to the commencement of any site preparation work (clearing, grubbing or grading).
2. Fences shall completely surround the tree, or clusters of trees; will be located at the outermost limit of the tree branches (dripline), and will be maintained throughout the construction project in order to prevent the following:
 - A. Soil compaction in the root zone area resulting from vehicular traffic, or storage of equipment or materials.
 - B. Root zone disturbances due to grade changes (greater than six inches (6") cut or fill or trenching not reviewed and authorized by the city.
 - C. Wounds to exposed roots, trunks or limbs by mechanical equipment.
 - D. Other activities detrimental to trees, such as chemical storage, cement truck cleaning and fire.
3. Exceptions to installing fences at tree driplines may be permitted in the following cases:
 - A. Where permeable paving is to be installed, erect the fence at the outer limits of the permeable paving area.
 - B. Where trees are close to proposed buildings, erect the fence no closer than six feet (6'-0") to building.

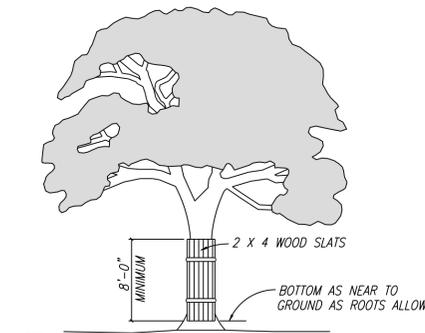
TREE PROTECTION - CHAIN LINK FENCE
 NOT TO SCALE



Installation:
 - Layout the rock berm following as closely as possible to the contour.
 - Clear the ground of debris, rocks or plants that will interfere with installation.
 - Place woven wire fabric on the ground along the proposed installation with enough overlap to completely encircle the finished size of the berm.
 - Place the rock along the center of the wire to the designated height.
 - Wrap the structure with the previously placed wire mesh secure enough so that when walked across the structure retains it's shape.
 - Secure with tie wire.
 - The ends of the berm should be tied into existing upslope grade and the berm should be buried in a trench approx. 4 inches deep to prevent failure of the control.
 - The rock berm should be left in place until all upstream areas are stabilized and accumulated silt removed.

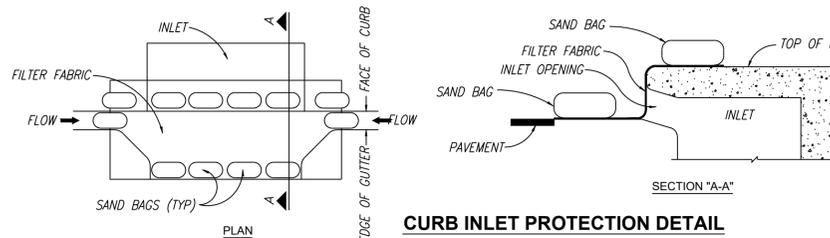
Inspection and Maintenance Guidelines:
 - Inspection should be made weekly and after each rainfall event by the responsible party. for installations in streambeds, additional daily inspections should be made.
 - Remove sediment and other debris when buildup reaches 6 inches and dispose of the accumulated silt in an approved manner.
 - Repair any loose wire sheathing.
 - The berm should be reshaped as needed during inspection.
 - The berm should be replaced when the structure ceases to function as intended due to silt accumulation among the rocks, washout, construction traffic damage, etc.

ROCK BERM DETAIL
 NOT TO SCALE



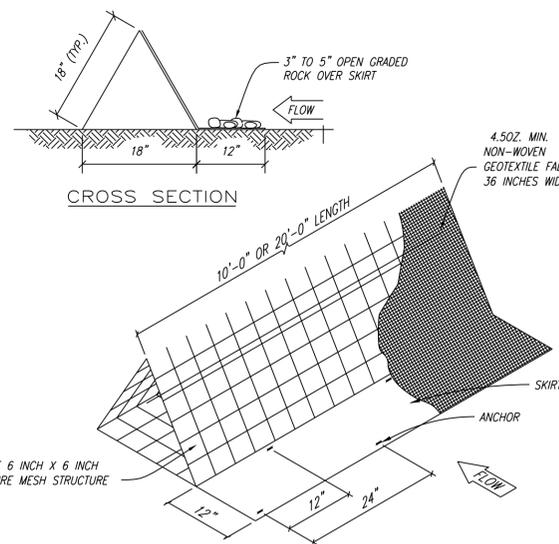
NOTES:
 1. WHERE ANY EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN FOUR FEET (4'-0") TO A TREE TRUNK PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF EIGHT FEET (8'-0"), OR TO THE LIMITS OF LOWER BRANCHING IN ADDITION TO THE REDUCED FENCING PROVIDED.
 2. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN TWO (2) DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE, AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
 3. PRIOR EXCAVATION OR GRADE CUTTING WITHIN TREE DRIPLINE, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT, TO MINIMIZE DAMAGE TO REMAINING ROOTS.
 4. TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES SHOULD BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS SHOULD BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
 5. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
 6. NO LANDSCAPE TOPSOIL, DRESSING GREATER THAN FOUR INCHES (4") SHALL BE PERMITTED WITHIN THE DRIPLINE OF A TREE. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
 7. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS.

TREE PROTECTION - WOOD SLATS



CURB INLET PROTECTION DETAIL
 NOT TO SCALE

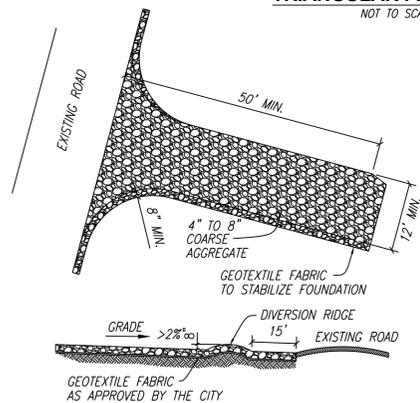
Note:
 Filter fabric to extend 5'-0" beyond inlet opening, upstream of inlet. Terminate fabric in street gutter with sand bags placed in gutter flowline.



Installation:
 - Layout the filter dike following as closely as possible to the contour.
 - Clear the ground of debris, rocks or plants that will interfere with installation.
 - Place the filter dike sections one at a time, with the skirt on the uphill side towards the direction of flow anchoring each section to the ground before the next section is placed.
 - Anchors should be placed on 2'-0" centers alternating from front to back so that there is actually only 1'-0" in between anchors.
 - Securely fasten the skirt from one section of filter dike to the next.
 - Filter dikes shall maintain continuous contact with the ground.
 - After the site is completely stabilized, the dikes and any remaining silt should be removed. Silt should be disposed of in a manner that will not contribute to additional siltation.

Inspection and Maintenance Guidelines:
 - Inspection should be made weekly or after each rainfall event and repair or replacement should be made promptly as needed by the contractor.
 - Inspect and realign berms as needed to prevent gaps between the sections.
 - Accumulated silt should be removed after each rainfall event, and disposed of in a manner which shall not cause additional siltation.

TRIANGULAR FILTER DIKE
 NOT TO SCALE



Installation:
 - Clear the area of debris, rocks or plants that will interfere with installation.
 - Grade the area for the entrance to flow back on to the construction site. Runoff from the stabilized construction - Entrance onto a public street will not be accepted.
 - Place geotextile fabric if required.
 - Place rock as required.

Inspections and maintenance guidelines:
 - The entrance should be maintained in a condition, which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment.
 - All sediment spilled, dropped, washed or tracked on to public rights-of-way should be removed immediately by contractor.
 - When necessary, wheels should be cleaned to remove sediment prior to entrance onto public rights-of-way.
 - When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin.
 - All sediment should be prevented from entering any storm drain, ditch or water course by using approved methods.

STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE

EROSION/SEDIMENTATION AND TREE PROTECTION NOTES

1. The contractor to install and maintain erosion/sedimentation controls and tree/natural area protective fencing prior to any site preparation work (clearing, grubbing, grading, or excavation). Contractor to remove erosion/sedimentation controls at the completion of project and grass restoration.
2. The placement of erosion/sedimentation controls to be in accordance with the approved erosion and sedimentation control plan and water pollution abatement plan. Deviations from the approved plan shall be submitted to and approved by the owner's representative.
3. All disturbed areas to be restored as noted in the water pollution abatement plan.
4. The seeding for erosion control to be applied over areas disturbed by construction as follows:

From September 15 to March 1, seeding to be with a combination of 2 pounds per 1,000 square feet of unhulled bermuda and 2 pounds per 1,000 square feet of winter rye with a purity of 95% with 90% germination. From march 2, to September 14, seeding to be with hulled bermuda grass (cynoden dactolyn) at a rate of 2 pounds per 1,000 square feet with a purity of 95% with 85% germination.
5. The planted area to be irrigated or sprinkled in a manner that will not erode the topsoil, but will sufficiently soak the soil to a depth of four (4) inches. The irrigation to occur at 10-day intervals during the first two months. Rainfall occurrences of 1/2 inch or greater to postpone the watering schedule one week.
6. Restoration to be acceptable when the grass has grown to at least 1-1/2 inches high with 95% coverage, provided no bare spots larger than 25 square feet exist.
7. A minimum of four (4) inches of topsoil to be placed in all areas disturbed by construction.
8. The contractor to hydromulch or sod (as shown on plans) all exposed cuts and fills upon completion of construction, except where cuts are made in solid rock.
9. Erosion and sedimentation controls to be installed or maintained in a manner which does not result in soil buildup within tree dripline.
10. To avoid soil compaction, contractor shall not allow vehicular traffic, parking, or storage of equipment or materials in the tree dripline areas.
11. Where a fence is closer than four (4) feet to a tree trunk, protect the trunk with strapped-on planking to a height of eight (8) feet (or to the limits of lower branching) in addition to the fencing.
12. Trees to be removed in a manner which does not impact trees to be preserved.
13. Any root exposed by construction activity to be pruned flush with the soil. Backfill root areas with good quality topsoil as soon as possible. If exposed root areas are not backfilled within two days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
14. Contractor to prune vegetation to provide clearance for structures, vehicular traffic, and equipment before damage occurs (ripping of branches, etc.). All finished pruning to be done according to recognized, approved standards of the industry (reference the "National Arborist Association pruning standards for shade trees").
15. The contractor is to inspect the controls at weekly intervals and after every rainfall exceeding 1/4 inch to verify that they have not been significantly disturbed. Any accumulated sediment after a significant rainfall to be removed and placed in the owner designated spoil disposal site. The contractor to conduct periodic inspections of all erosion/sedimentation controls and to make any repairs or modifications necessary to assure continued effective operation of each device.
16. Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development immediately adjacent to a protected tree, erect the fence approximately two to four feet (2'-4') behind the area in question.
17. No above and/or below ground temporary fuel storage facilities to be stored on the project site.
18. If erosion and sedimentation control systems are existing from prior contracts, owner's representative and the contractor to examine the existing erosion and sedimentation control systems for damage prior to construction. Any damage to preexisting erosion and sedimentation controls noted to be repaired at owners expense.
19. Intentional release of vehicle or equipment fluids onto the ground is not allowed. contaminated soil resulting from accidental spill to be removed and disposed of properly.

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October 28, 2025

Project:

GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK

GEORGETOWN, TEXAS

Project Number:

22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submital Date:

October 28, 2025

Revisions:

Sheet Title:

TREE PROTECTION AND EROSION CONTROL NOTES AND DETAILS

Sheet Number:

C-06

PAGE 15 OF 37 SHEETS

Application Number:

2025-19-SDP



Tree Mitigation Summary Template

Tree Mitigation Summary
Required Protected Tree Preservation Percentage (UDC Sec. 8.02.030.F)
Percentage of Protected Trees that must be retained on site (not applicable to residential subdivisions or Heritage Trees)
Project acreage: 5
Total number of Protected Trees (this does not include Heritage trees) existing on-site (before removals): 87
Average number of protected trees per acre (total protected existing trees/total acres): 17.40
Applicable Required Protected Tree Preservation percentage (20% if 11 or more trees/acre; 30% if 10 or less per acre) Some PUDs may have greater required percentages: 20%
Number of existing protected trees to remain on-site (total protected trees x required protected preservation percentage): 18
Owed Mitigation for Protected Removals 8.02.040 C.1.
Total protected inches removed 0
Protected tree mitigation inches owed within the required percentage (40% times total protected removed inches) at 1:1 ratio: N/A
Protected tree mitigation inches owed more than the allowable percentage (for trees removed past 20% or 30% (site dependent) the ratio increases of 1.5:1 (then these inches removed times 40%): N/A
Overall protected tree mitigation inches owed (total of all protected categories): N/A
Credit Trees - On-Site Existing Trees (3 - <12" trees only) 8.02.040C.2.
May count for up to 75% of overall required Protected Tree mitigation inches (does not count towards Heritage Tree mitigation)
Note: Credit trees count tree per tree toward landscape requirement tree replacements not in inches (see 8.04.020)
Maximum available on-site credit tree inches discount (total protected inches removed x 75%): N/A
Number of on-site credit tree inches (6 - <12" trees) utilized (note: ratio differs for residential vs. non-residential see details and requirements in the UDC): N/A
Number of on-site credit tree inches (3 - <6" trees) utilized (note: ratio and requirements in the UDC): N/A
On-Site Replacement (Planted) Trees 8.02.040 C.3.
Inches of shade trees planted on-site (Shade trees must be a minimum of 3" caliper and from the City's Preferred list see additional requirements in the UDC): 0
Soil Aeration & Supplemental Nutrients Credit - Up To 30% 8.02.040 C.5.
Must provide Fiscal Surety before Certificate of Occupancy may be issued
Maximum dollar amount that can count towards soil aeration & supplemental nutrient credit (use amount calculated for fee-in-lieu of all protected tree mitigation owed x 30%): N/A
Soil aeration and supplemental nutrient payment: N/A
Total inches used for soil aeration or supplemental nutrient: N/A
Owed Mitigation for Heritage Tree Removals 8.02.030 C.1.b.
Overall Heritage Tree mitigation inches owed (at 3:1 ratio): N/A
Total inches of trees planted (minimum size is 3" caliper shade tree from the preferred list): N/A
Cash Payment 8.02.040 C.4.b.
Goes into the Tree Fund for both Protected and Heritage Trees
The amount owed by fee-in-lieu (total fee protected and heritage): N/A
Protected Tree fee-in-lieu payment (there are two fee categories of protected trees 12-17", 18-25". Trees which are 26"+ of non-heritage species have a 2:1 ratio at the larger protected size fee 8.02.020 C.1. cost per inch is described in 8.02.020 C.4.: N/A
Heritage Tree fee-in-lieu payment (3:1 x \$225/inch): N/A

UDC Development Manual Effective: September 18, 2023 City of Georgetown, Texas www.georgetown.org Tree Mitigation Summary Page 1 of 1

I PATRICK CAVANAUGH, CERTIFIED ARBORIST (#WE-10004A) HEREBY CERTIFY THAT THE TREE SPECIES SURVEYS ARE ACCURATE SIZE AND SPECIES. ALL TREES ARE HEALTHY.

CERTIFIED ARBORIST SIGNATURE AND LICENSE NUMBER WF-10004A

Tree Schedule table with columns: Key, Tree #, Size (INCHES), Half Critical Root Zone (In Feet), Botanical Name, Species, Notes, Removal. Contains 59 rows of tree data.

All protection will be performed in accordance with Section 8 of the City of Georgetown Municipal Code.

Key Legend table with columns: Key, Legend, Legend. Includes: P= Protected, HT= Heritage, R= Removal Protected, R-HT= Removal Heritage, D= Dead or Diseased, NP= Not Protected, C= Credit, PS= Prohibited Species.

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October 28, 2025

Project: GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK

GEORGETOWN, TEXAS

Project Number: 22-CLA503

Designed: TWR

Drawn: CMB

Reviewed: RWS

Submittal Date: October 28, 2025

Revisions:

Sheet Title: EXISTING TREE SCHEDULE AND MITIGATION CALCULATIONS

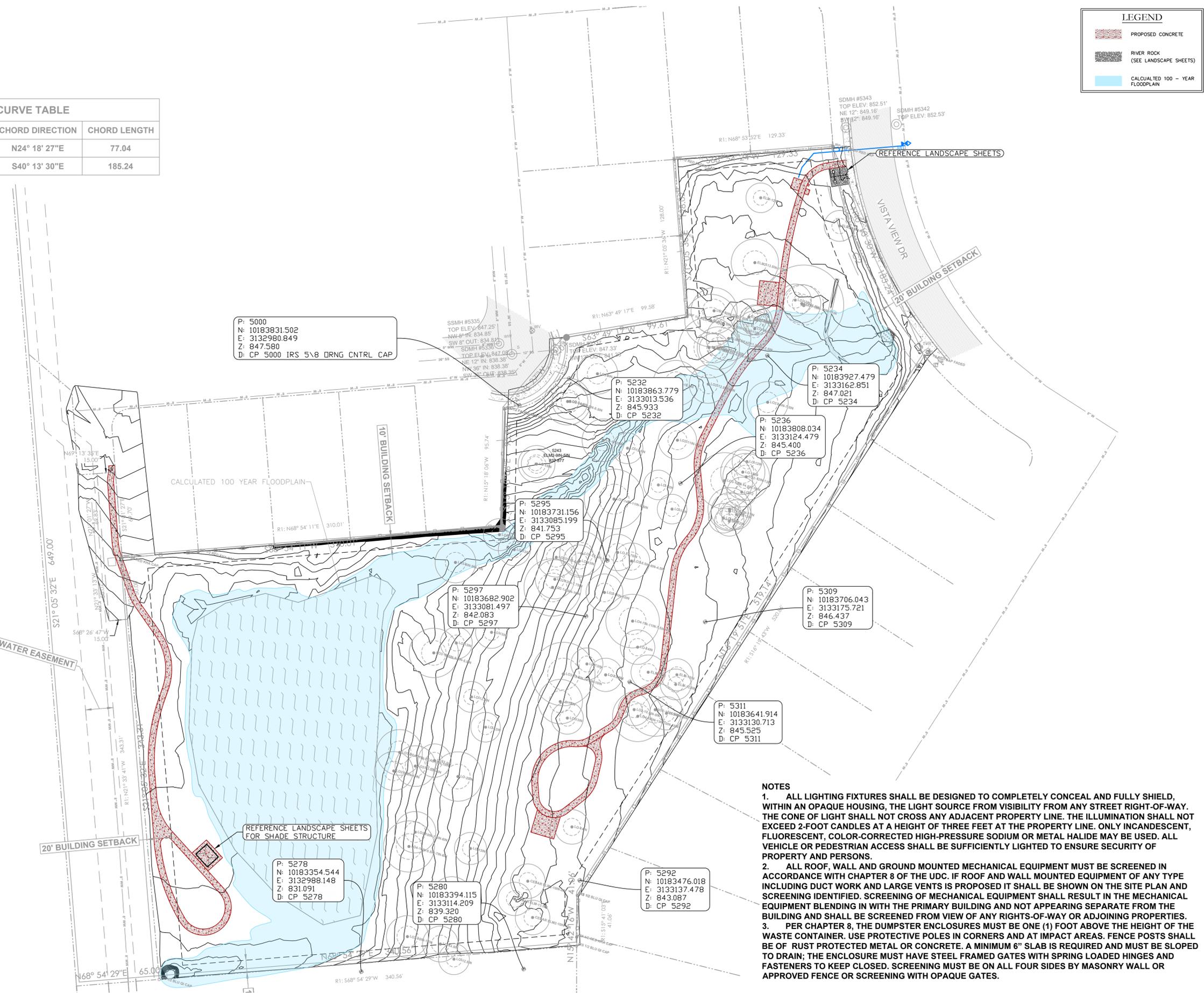
Sheet Number: C-08

PAGE 17 OF 37 SHEETS Application Number: 2025-19-SDP

FILE: P:\Georgetown\2022\2022-503 Georgetown Neighborhood Park Improvements\CAD\21 - VISTA VERA PARK\Plans\GENERAL\PROPOSED SITE PLAN.dwg LAST SAVED: 11/5/2025 8:10:19 AM LAYOUT: C-03 PROPOSED SITE PLAN

PROPERTY LINE CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	87.95	50.00	100.78	N24° 18' 27"E	77.04
C2	187.84	325.00	33.12	S40° 13' 30"E	185.24

VISTA VERA PARK IMPERVIOUS COVER CALCULATIONS	
PROPOSED ADDITIONAL IMPERVIOUS COVER	
SITE AREA - SF	245,785.00
IMPERVIOUS COVER - ADDED - sf	7,388.45
% IMPERVIOUS COVER - ADDED	3.006%
IMPERVIOUS COVER CHANGE	
PROPOSED IMPERVIOUS COVER	3.006%
TOTAL IMPERVIOUS COVER	3.006%
NET OA SITE INCREASE OF	3.006%



LEGEND

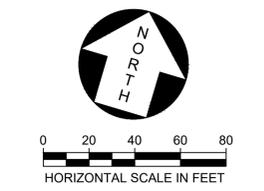
- PROPOSED CONCRETE
- RIVER ROCK (SEE LANDSCAPE SHEETS)
- CALCULATED 100 - YEAR FLOODPLAIN

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KASBERG, PATRICK & ASSOCIATES, LP
 CONSULTING ENGINEERS
 GEORGETOWN, TEXAS 78626



Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK



GEORGETOWN, TEXAS
 Project Number:
 23-CLA510

Texas 811

CAUTION!!!
 EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES ON THE PLANS.

Designed: ISI
 Drawn: ISI
 Reviewed: TWR
 Submittal Date:
 OCTOBER 28, 2025

Revisions:

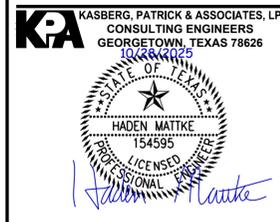
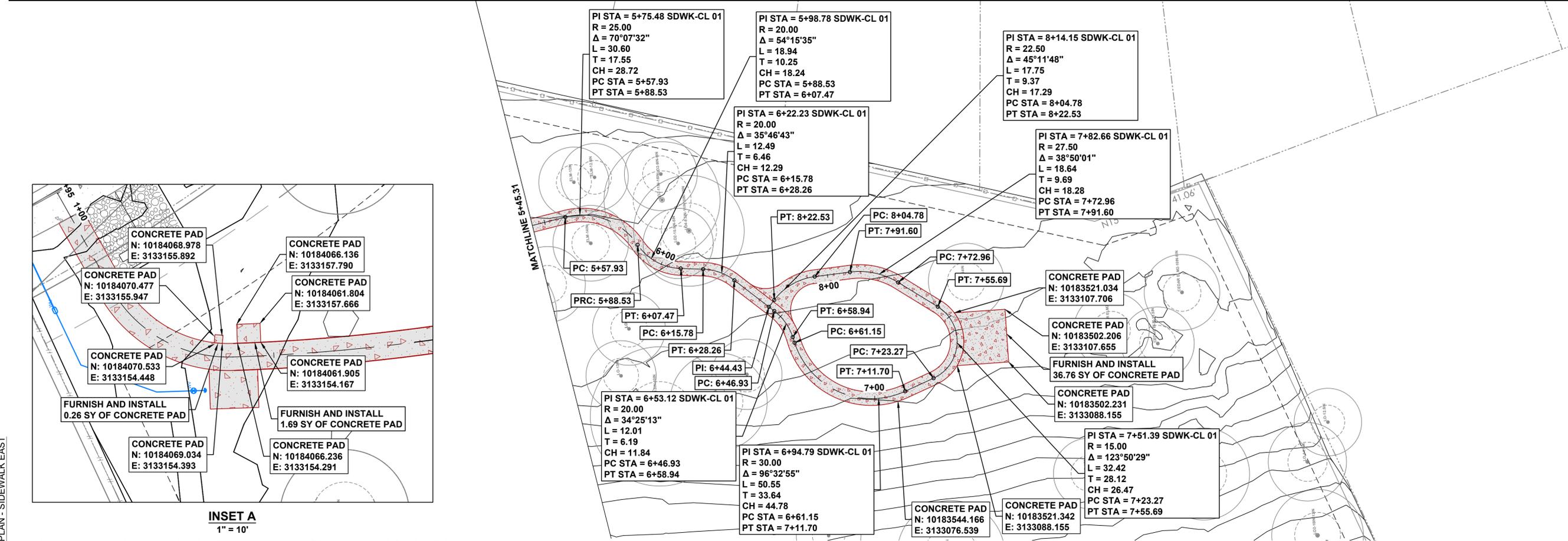
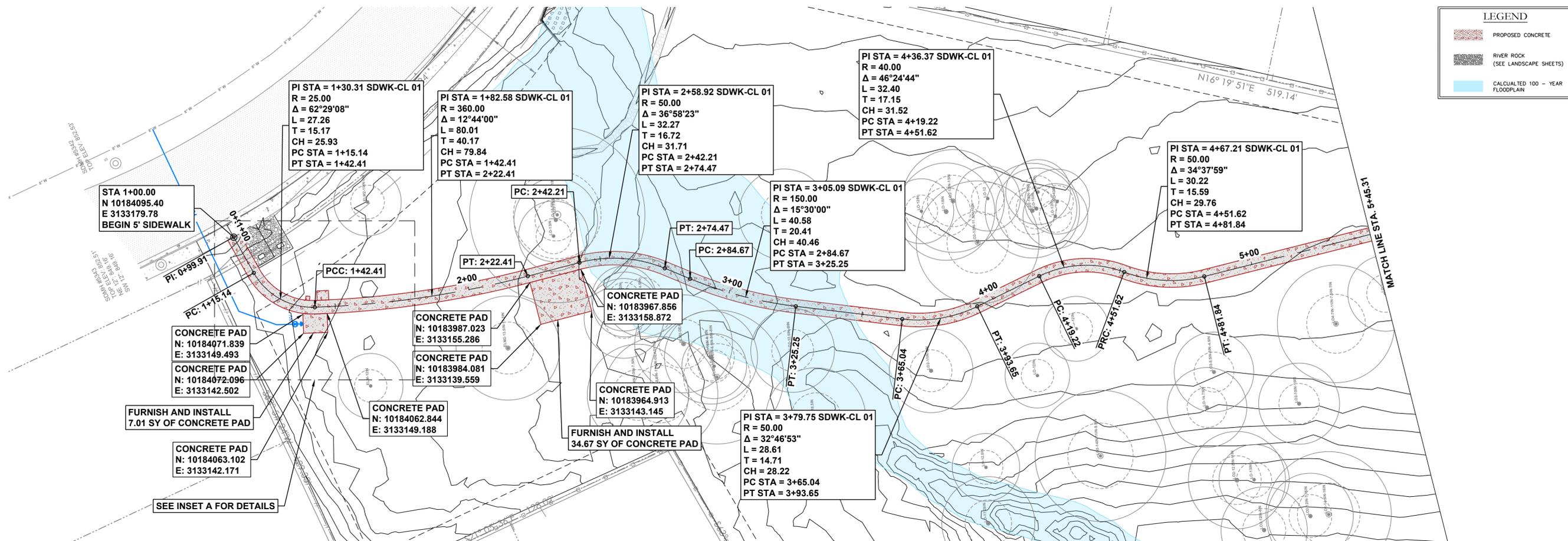
Sheet Title:
PROPOSED SITE PLAN

Sheet Number:
C-09
 PAGE 18 OF 37 SHEETS

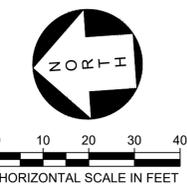
Application Number:
2025-19-SDP

- NOTES**
- ALL LIGHTING FIXTURES SHALL BE DESIGNED TO COMPLETELY CONCEAL AND FULLY SHIELD, WITHIN AN OPAQUE HOUSING, THE LIGHT SOURCE FROM VISIBILITY FROM ANY STREET RIGHT-OF-WAY. THE CONE OF LIGHT SHALL NOT CROSS ANY ADJACENT PROPERTY LINE. THE ILLUMINATION SHALL NOT EXCEED 2-FOOT CANDLES AT A HEIGHT OF THREE FEET AT THE PROPERTY LINE. ONLY INCANDESCENT, FLUORESCENT, COLOR-CORRECTED HIGH-PRESSURE SODIUM OR METAL HALIDE MAY BE USED. ALL VEHICLE OR PEDESTRIAN ACCESS SHALL BE SUFFICIENTLY LIGHTED TO ENSURE SECURITY OF PROPERTY AND PERSONS.
 - ALL ROOF, WALL AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED IN ACCORDANCE WITH CHAPTER 8 OF THE UDC. IF ROOF AND WALL MOUNTED EQUIPMENT OF ANY TYPE INCLUDING DUCT WORK AND LARGE VENTS IS PROPOSED IT SHALL BE SHOWN ON THE SITE PLAN AND SCREENING IDENTIFIED. SCREENING OF MECHANICAL EQUIPMENT SHALL RESULT IN THE MECHANICAL EQUIPMENT BLENDING IN WITH THE PRIMARY BUILDING AND NOT APPEARING SEPARATE FROM THE BUILDING AND SHALL BE SCREENED FROM VIEW OF ANY RIGHTS-OF-WAY OR ADJOINING PROPERTIES.
 - PER CHAPTER 8, THE DUMPSTER ENCLOSURES MUST BE ONE (1) FOOT ABOVE THE HEIGHT OF THE WASTE CONTAINER. USE PROTECTIVE POLES IN CORNERS AND AT IMPACT AREAS. FENCE POSTS SHALL BE OF RUST PROTECTED METAL OR CONCRETE. A MINIMUM 6" SLAB IS REQUIRED AND MUST BE SLOPED TO DRAIN; THE ENCLOSURE MUST HAVE STEEL FRAMED GATES WITH SPRING LOADED HINGES AND FASTENERS TO KEEP CLOSED. SCREENING MUST BE ON ALL FOUR SIDES BY MASONRY WALL OR APPROVED FENCE OR SCREENING WITH OPAQUE GATES.

FILE: P:\Georgetown\2022\2022-503 Georgetown Neighborhood Park Improvements\CAD\21 - VISTA VERA PARK\Plans\GENERAL\C-05 DIMENSIONAL CONTROL PLAN - SIDEWALK WEST.dwg LAST SAVED: 11/5/2025 8:11:28 AM LAYOUT: C-04 DIMENSIONAL CONTROL PLAN - SIDEWALK EAST



Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK



GEORGETOWN, TEXAS
 Project Number:
 23-CLA510



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Designed: ISI
 Drawn: ISI
 Reviewed: TWR
 Submittal Date:
 OCTOBER 28, 2025

Revisions:

Sheet Title:
DIMENSIONAL CONTROL PLAN - SIDEWALK EAST

Sheet Number:
C-10
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Application Number:
2025-19-SDP

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LEGEND

- PROPOSED CONCRETE
- RIVER ROCK (SEE LANDSCAPE SHEETS)
- CALCULATED 100 - YEAR FLOODPLAIN

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KASBERG, PATRICK & ASSOCIATES, LP
 CONSULTING ENGINEERS
 GEORGETOWN, TEXAS 78626

HADEN MATTHEW
 154595
 LICENSED PROFESSIONAL ENGINEER

Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK

0 10 20 30 40
 HORIZONTAL SCALE IN FEET

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 HORIZONTAL SCALE IN FEET

GEORGETOWN, TEXAS
 Project Number:
 23-CLA510

Texas 811

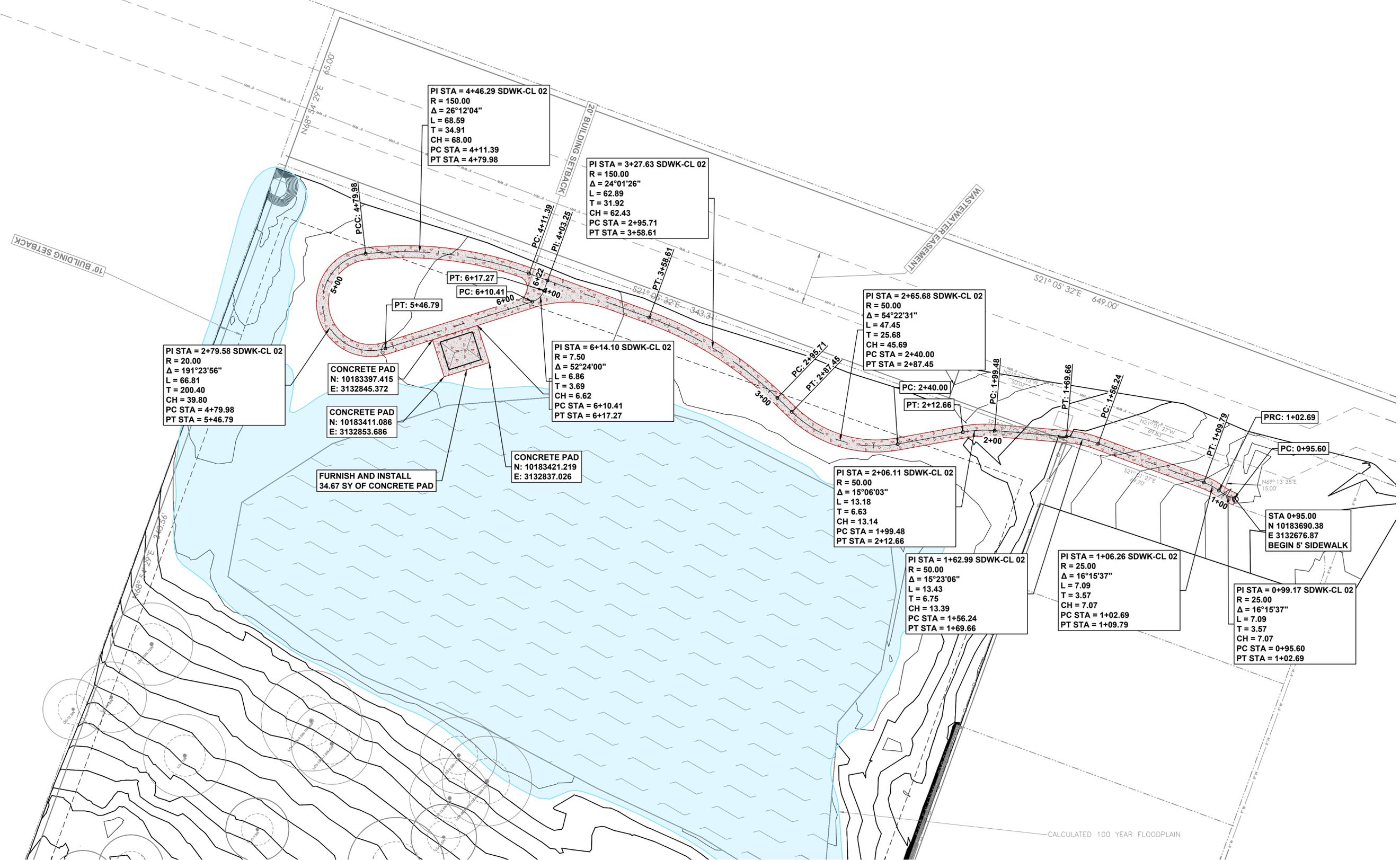
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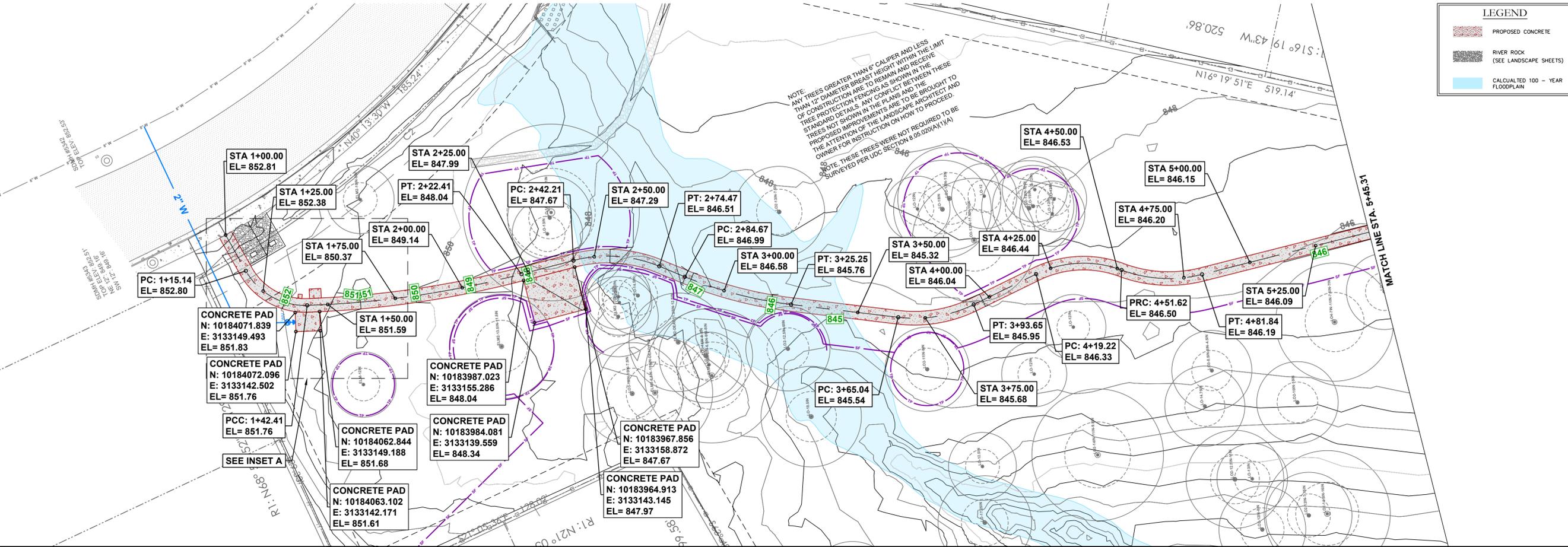
Revisions:

Sheet Title:
DIMENSIONAL CONTROL PLAN - SIDEWALK WEST

Sheet Number:
C-11
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2025-19-SDP



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LEGEND

- PROPOSED CONCRETE
- RIVER ROCK (SEE LANDSCAPE SHEETS)
- CALCULATED 100 - YEAR FLOODPLAIN

KASBERG, PATRICK & ASSOCIATES, LP
 CONSULTING ENGINEERS
 GEORGETOWN, TEXAS 78626

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 154595
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Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK

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 HORIZONTAL SCALE IN FEET

0 5 10 15 20
 HORIZONTAL SCALE IN FEET

GEORGETOWN, TEXAS
 Project Number:
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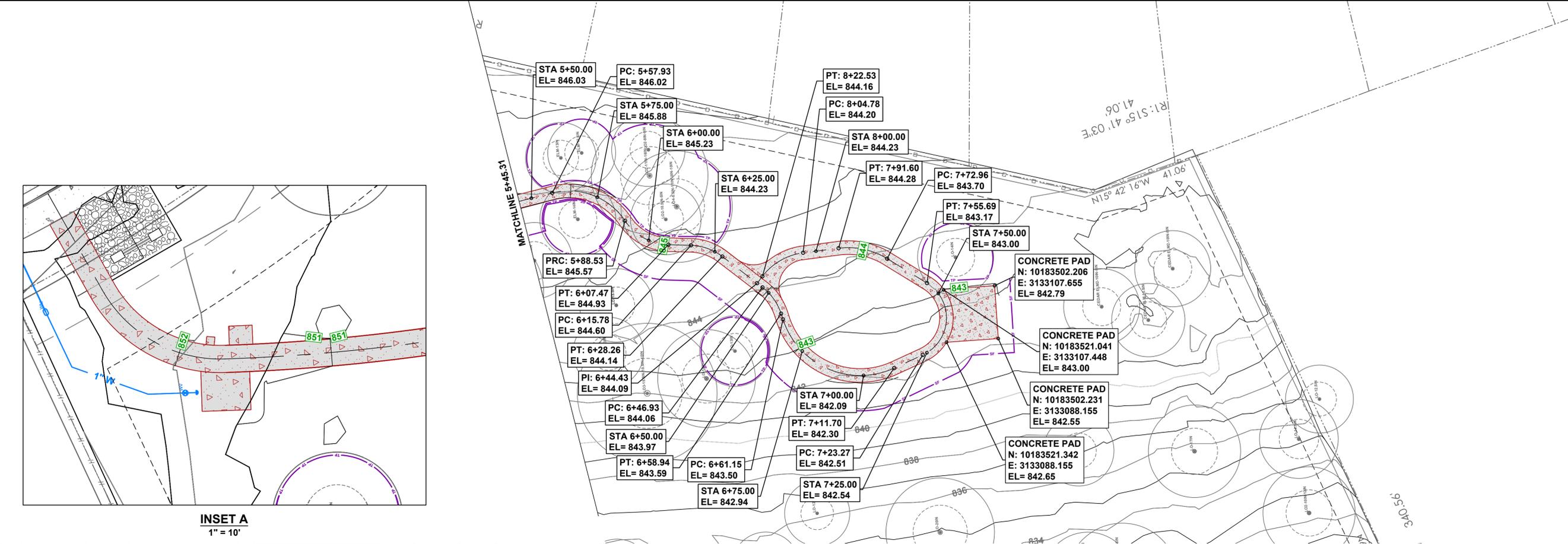
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 OCTOBER 28, 2025

Revisions:

Sheet Title:
GRADING PLAN - SIDEWALK EAST

Sheet Number:
C-12
 PAGE 21 OF 37 SHEETS

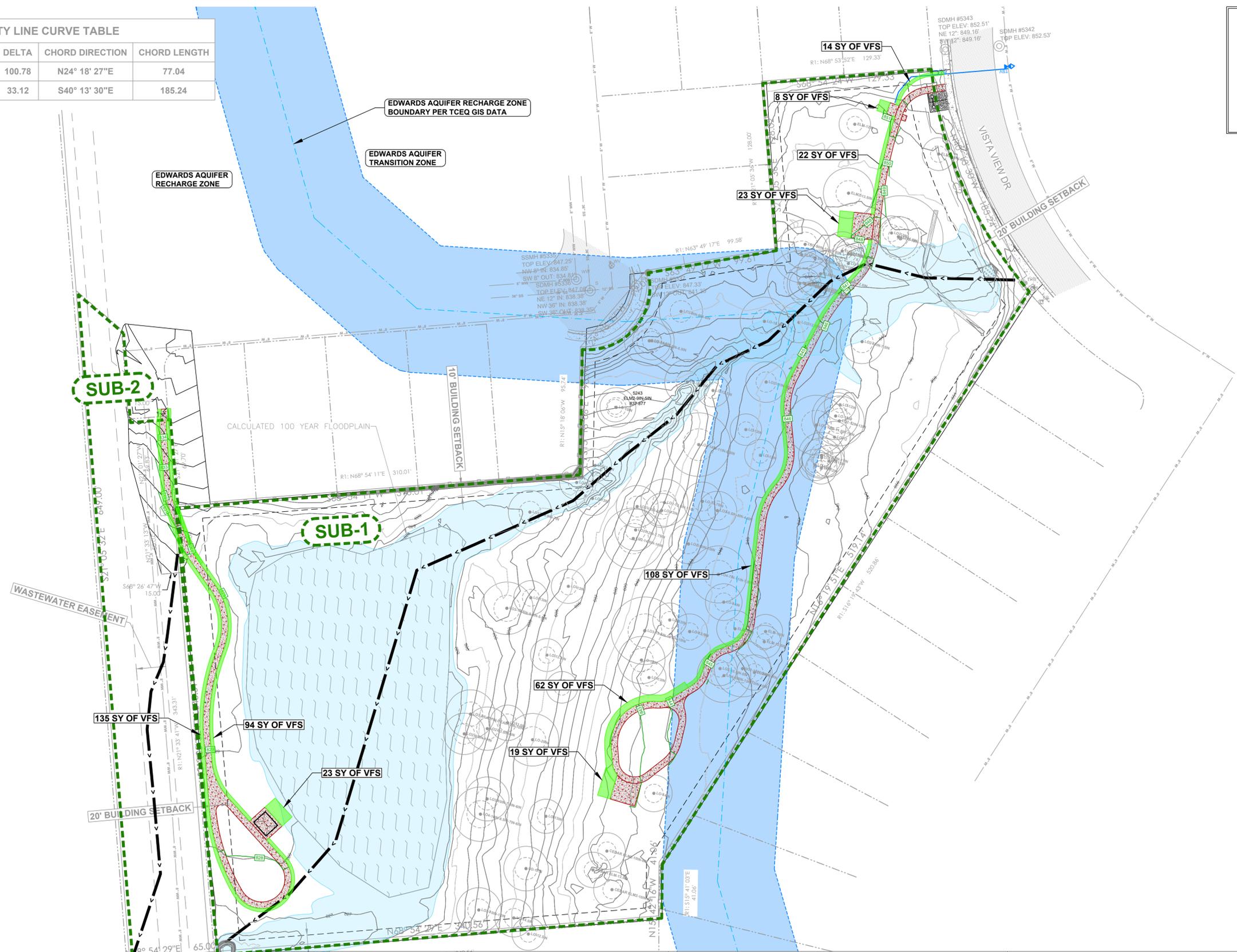
Application Number:
2025-19-SDP



INSET A
 1" = 10'

FILE: P:\Georgetown\2022\2022-503 Georgetown Neighborhood Park Improvements\CAD\21 - VISTA VERA PARK\Plans\GENERAL\C-08 DRAINAGE AREA MAP.dwg LAST SAVED: 11/5/2025 8:16:16 AM LAYOUT: C-08 DRAINAGE AREA MAP

PROPERTY LINE CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	87.95	50.00	100.78	N24° 18' 27"E	77.04
C2	187.84	325.00	33.12	S40° 13' 30"E	185.24



LEGEND

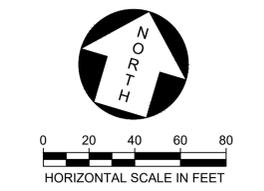
- PROPOSED CONCRETE
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- CALCULATED 100 - YEAR FLOODPLAIN
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Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK



GEORGETOWN, TEXAS
 Project Number:
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Designed: ISI
 Drawn: ISI
 Reviewed: TWR
 Submittal Date:
OCTOBER 28, 2025

Revisions:

Sheet Title:
DRAINAGE AREA MAP

Sheet Number:
C-14
 PAGE 23 OF 37 SHEETS

Application Number:
2025-19-SDP

	Sheet Flow				Shallow Concentrated Flow				Channel Flow			
	Distance (ft)	Slope (ft/ft)	Roughness Coefficient	Travel Time (minutes)	Distance (ft)	Slope (ft/ft)	Roughness Coefficient	Travel Time (minutes)	Distance (ft)	Slope (ft/ft)	Roughness Coefficient	Travel Time (minutes)
Sub-1	150	0.03547	0.4	21.18	215.84	0.06198	0.045	0.9	501.89	0.02859	0.045	1.49
Sub-2	38.25	0.08909	0.4	4.91	175.56	0.04395	0.045	0.87	100	0.05057	0.045	0.22

FILE: P:\Georgetown\2022\2022-503 Georgetown Neighborhood Park Improvements\CAD\21 - VISTA VERA PARK\Plans\GENERAL\C-08 DRAINAGE AREA MAP.dwg LAST SAVED: 11/5/2025 8:16:16 AM LAYOUT: C-08 DRAINAGE CALCULATIONS

Existing 2 Year			Existing 10 Year			Existing 25 Year			Existing 100 Year		
	Sub-1	Sub-2									
Time to Peak (hrs)	12.2833	12.0833	Time to Peak (hrs)	12.2667	12.0833	Time to Peak (hrs)	12.2667	12.0833	Time to Peak (hrs)	12.2667	12.0833
Maximum Outflow (cfs)	7.69	1.39	Maximum Outflow (cfs)	15.56	2.79	Maximum Outflow (cfs)	21.85	3.9	Maximum Outflow (cfs)	33.09	5.89
Outflow Volume (ac-ft)	0.83881	0.10788	Outflow Volume (ac-ft)	1.69854	0.21836	Outflow Volume (ac-ft)	2.40952	0.30971	Outflow Volume (ac-ft)	3.71623	0.47759
Outflow Depth (in)	2.02	2.02	Outflow Depth (in)	4.08	4.09	Outflow Depth (in)	5.79	5.81	Outflow Depth (in)	8.93	8.95
Outflow Average (cfs)	0.42	0.05	Outflow Average (cfs)	0.86	0.11	Outflow Average (cfs)	1.21	0.16	Outflow Average (cfs)	1.87	0.24
Maximum Direct Flow (cfs)	7.69	1.39	Maximum Direct Flow (cfs)	15.56	2.79	Maximum Direct Flow (cfs)	21.85	3.9	Maximum Direct Flow (cfs)	33.09	5.89
Direct Runoff Volume (ac-ft)	0.83881	0.10788	Direct Runoff Volume (ac-ft)	1.69854	0.21836	Direct Runoff Volume (ac-ft)	2.40952	0.30971	Direct Runoff Volume (ac-ft)	3.71623	0.47759
Direct Flow Depth (in)	2.02	2.02	Direct Flow Depth (in)	4.08	4.09	Direct Flow Depth (in)	5.79	5.81	Direct Flow Depth (in)	8.93	8.95
Direct Flow Average (cfs)	0.42	0.05	Direct Flow Average (cfs)	0.86	0.11	Direct Flow Average (cfs)	1.21	0.16	Direct Flow Average (cfs)	1.87	0.24
Maximum Precipitation (in)	0.06	0.06	Maximum Precipitation (in)	0.1	0.1	Maximum Precipitation (in)	0.13	0.13	Maximum Precipitation (in)	0.18	0.18
Precipitation Total (in)	3.98	3.98	Precipitation Total (in)	6.35	6.35	Precipitation Total (in)	8.2	8.2	Precipitation Total (in)	11.5	11.5
Precipitation Volume (ac-ft)	1.65568	0.21227	Precipitation Volume (ac-ft)	2.6416	0.33867	Precipitation Volume (ac-ft)	3.4112	0.43733	Precipitation Volume (ac-ft)	4.784	0.61333
Maximum Loss (in)	0.03	0.03	Maximum Loss (in)	0.02	0.02	Maximum Loss (in)	0.02	0.02	Maximum Loss (in)	0.02	0.02
Loss Total (in)	1.95	1.95	Loss Total (in)	2.25	2.25	Loss Total (in)	2.39	2.39	Loss Total (in)	2.54	2.54
Loss Volume (ac-ft)	0.81322	0.10426	Loss Volume (ac-ft)	0.93662	0.12008	Loss Volume (ac-ft)	0.9931	0.12732	Loss Volume (ac-ft)	1.05541	0.13531
Maximum Excess (in)	0.04	0.04	Maximum Excess (in)	0.08	0.08	Maximum Excess (in)	0.11	0.11	Maximum Excess (in)	0.16	0.16
Excess Total (in)	2.03	2.03	Excess Total (in)	4.1	4.1	Excess Total (in)	5.81	5.81	Excess Total (in)	8.96	8.96
Excess Volume (ac-ft)	0.84246	0.10801	Excess Volume (ac-ft)	1.70498	0.21859	Excess Volume (ac-ft)	2.4181	0.31001	Excess Volume (ac-ft)	3.72859	0.47802
Lag time (minutes)	14.15	3.6									
Proposed 2 Year			Proposed 10 Year			Proposed 25 Year			Proposed 100 Year		
	Sub-1	Sub-2									
Time to Peak (hrs)	12.2667	12.0833	Time to Peak (hrs)	12.2667	12.0833	Time to Peak (hrs)	12.2667	12.0833	Time to Peak (hrs)	12.2667	12.0833
Maximum Outflow (cfs)	7.88	1.4	Maximum Outflow (cfs)	15.74	2.8	Maximum Outflow (cfs)	22.03	3.91	Maximum Outflow (cfs)	33.24	5.9
Outflow Volume (ac-ft)	0.86887	0.10937	Outflow Volume (ac-ft)	1.73318	0.22008	Outflow Volume (ac-ft)	2.44625	0.31153	Outflow Volume (ac-ft)	3.75527	0.47953
Outflow Depth (in)	2.09	2.05	Outflow Depth (in)	4.17	4.13	Outflow Depth (in)	5.88	5.84	Outflow Depth (in)	9.03	8.99
Outflow Average (cfs)	0.44	0.06	Outflow Average (cfs)	0.87	0.11	Outflow Average (cfs)	1.23	0.16	Outflow Average (cfs)	1.89	0.24
Maximum Direct Flow (cfs)	7.88	1.4	Maximum Direct Flow (cfs)	15.74	2.8	Maximum Direct Flow (cfs)	22.03	3.91	Maximum Direct Flow (cfs)	33.24	5.9
Direct Runoff Volume (ac-ft)	0.86887	0.10937	Direct Runoff Volume (ac-ft)	1.73318	0.22008	Direct Runoff Volume (ac-ft)	2.44625	0.31153	Direct Runoff Volume (ac-ft)	3.75527	0.47953
Direct Flow Depth (in)	2.09	2.05	Direct Flow Depth (in)	4.17	4.13	Direct Flow Depth (in)	5.88	5.84	Direct Flow Depth (in)	9.03	8.99
Direct Flow Average (cfs)	0.44	0.06	Direct Flow Average (cfs)	0.87	0.11	Direct Flow Average (cfs)	1.23	0.16	Direct Flow Average (cfs)	1.89	0.24
Maximum Precipitation (in)	0.06	0.06	Maximum Precipitation (in)	0.1	0.1	Maximum Precipitation (in)	0.13	0.13	Maximum Precipitation (in)	0.18	0.18
Precipitation Total (in)	3.98	3.98	Precipitation Total (in)	6.35	6.35	Precipitation Total (in)	8.2	8.2	Precipitation Total (in)	11.5	11.5
Precipitation Volume (ac-ft)	1.65568	0.21227	Precipitation Volume (ac-ft)	2.6416	0.33867	Precipitation Volume (ac-ft)	3.4112	0.43733	Precipitation Volume (ac-ft)	4.784	0.61333
Maximum Loss (in)	0.02	0.02									
Loss Total (in)	1.88	1.93	Loss Total (in)	2.17	2.22	Loss Total (in)	2.3	2.35	Loss Total (in)	2.44	2.5
Loss Volume (ac-ft)	0.78313	0.10277	Loss Volume (ac-ft)	0.90197	0.11836	Loss Volume (ac-ft)	0.95635	0.1255	Loss Volume (ac-ft)	1.01636	0.13337
Maximum Excess (in)	0.04	0.04	Maximum Excess (in)	0.08	0.08	Maximum Excess (in)	0.11	0.11	Maximum Excess (in)	0.16	0.16
Excess Total (in)	2.1	2.05	Excess Total (in)	4.18	4.13	Excess Total (in)	5.9	5.85	Excess Total (in)	9.06	9
Excess Volume (ac-ft)	0.87255	0.1095	Excess Volume (ac-ft)	1.73963	0.2203	Excess Volume (ac-ft)	2.45485	0.31183	Excess Volume (ac-ft)	3.76764	0.47996
Lag time (minutes)	14.15	3.6									

	Drainage Area (acres)	Impervious Surface Existing (ac)	Impervious Surface Proposed (ac)	Existing Curve Number	Proposed Curve Number	Impervious Surface Existing (%)	Impervious Surface Proposed (%)	Time of Concentration (minutes)	Lag Time (minutes)	Maximum Runoff Existing (cfs)	Maximum Runoff Proposed (cfs)
Sub-1	4.982	0.000	0.184	80	80	0	3.7	23.58333	14.15	32.75	32.9
Sub-2	0.661	0.000	0.009	80	80	0	1.43	6	3.6	5.83	5.84
Total	5.6430	0.0000	0.1938								

	Proposed Runoff Increase Summary		
	Sub-1	Sub-2	Unrouted Total
2 Year	0.19	0.01	0.2
10 Year	0.18	0.01	0.19
25 Year	0.18	0.01	0.19
100 Year	0.15	0.01	0.16



Project:
GEORGETOWN NEIGHBORHOOD PARK IMPROVEMENTS VISTA VERA PARK

GEORGETOWN, TEXAS

Project Number:
23-CLA510



CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES ON THE PLANS.

Designed: ISI

Drawn: ISI

Reviewed: TWR

Submittal Date:

OCTOBER 28, 2025

Revisions:

Sheet Title:

DRAINAGE CALCULATIONS

Sheet Number:

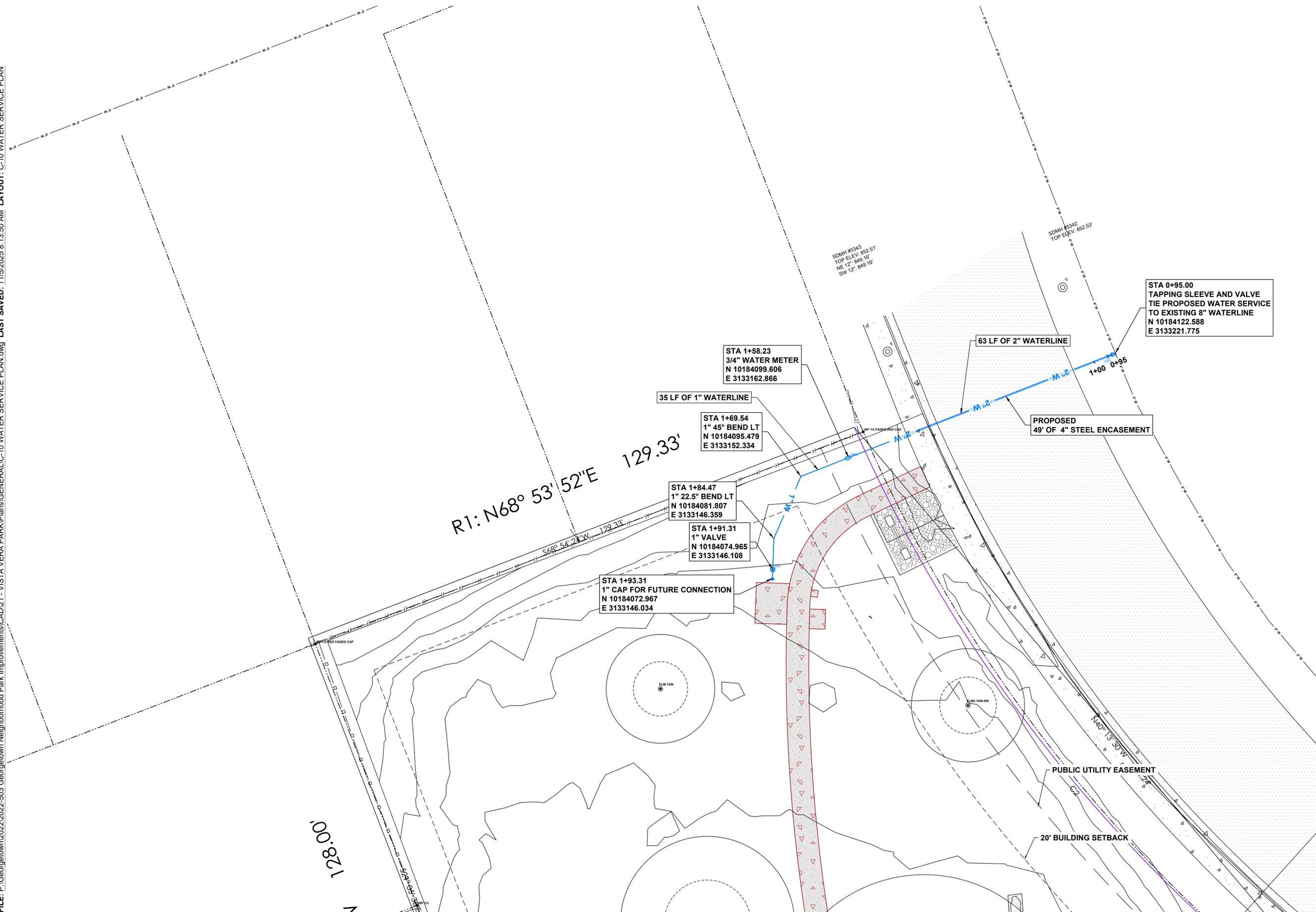
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PAGE 24 OF 37 SHEETS

Application Number:

2025-19-SDP

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CONSULTING ENGINEERS
GEORGETOWN, TEXAS 78626



Project:
**GEORGETOWN
NEIGHBORHOOD
PARK
IMPROVEMENTS
VISTA VERA PARK**



GEORGETOWN, TEXAS

Project Number:

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Designed: ISI

Drawn: ISI

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Revisions:

Sheet Title:

WATER SERVICE PLAN

Sheet Number:

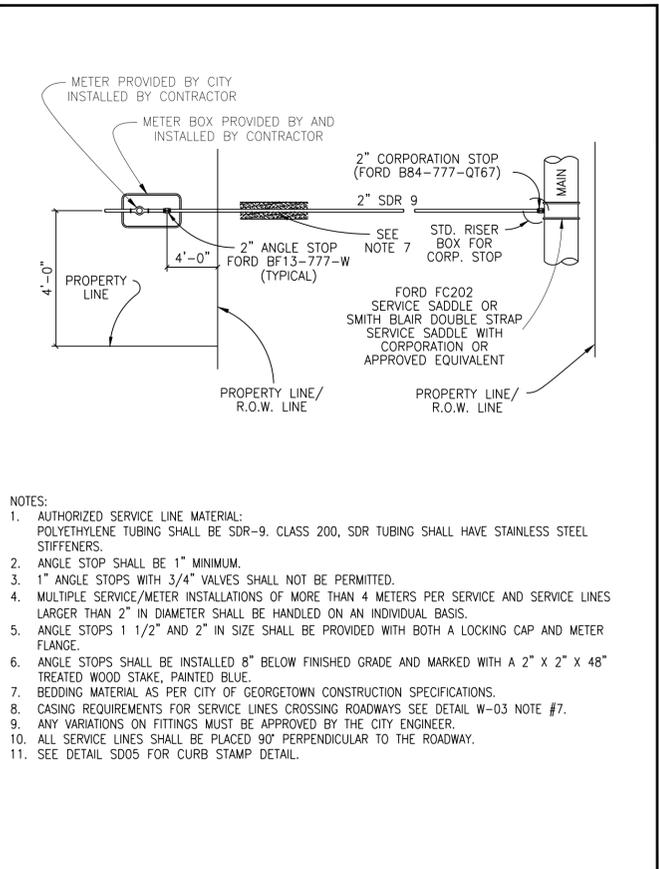
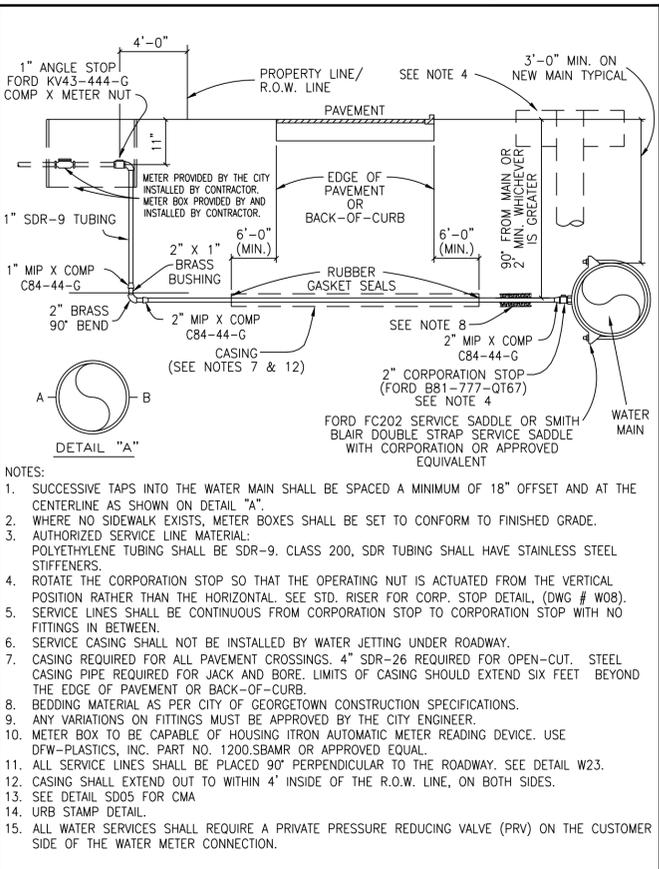
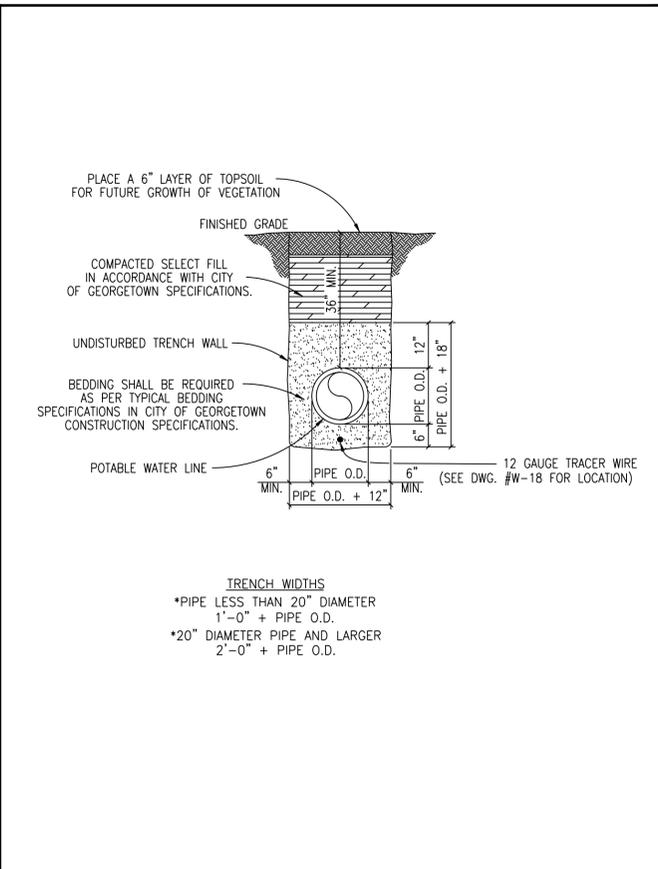
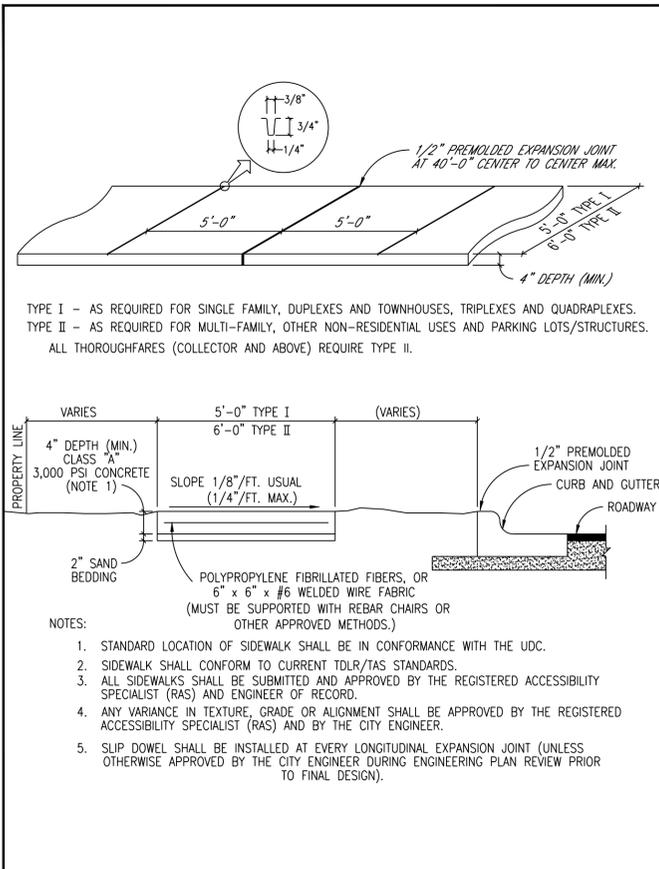
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Application Number:

2025-19-SDP

FILE: P:\Georgetown\2022\2022-503 Georgetown Neighborhood Park Improvements\CAD\21 - VISTA VERA PARK\Plans\DETAILS - MISC\C-12 DETAILS SHEET 2 OF 2.dwg LAST SAVED: 11/5/2025 8:28:39 AM LAYOUT: CIVIL DETAILS 1 OF 2

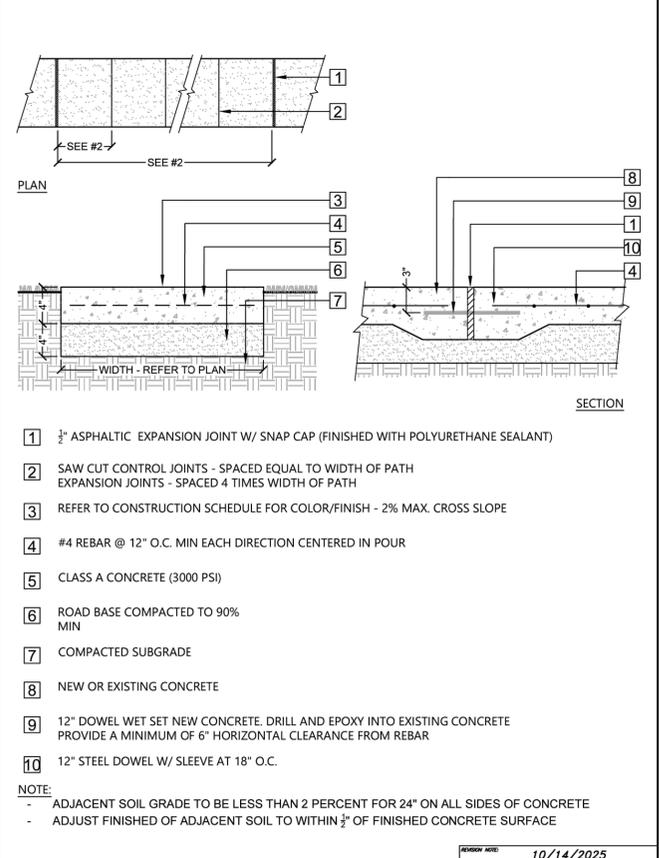
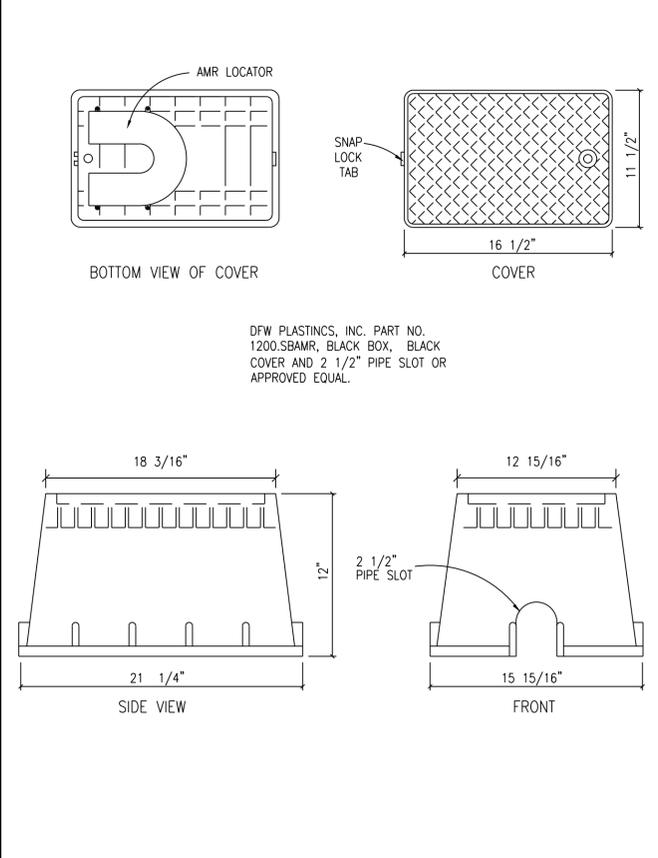
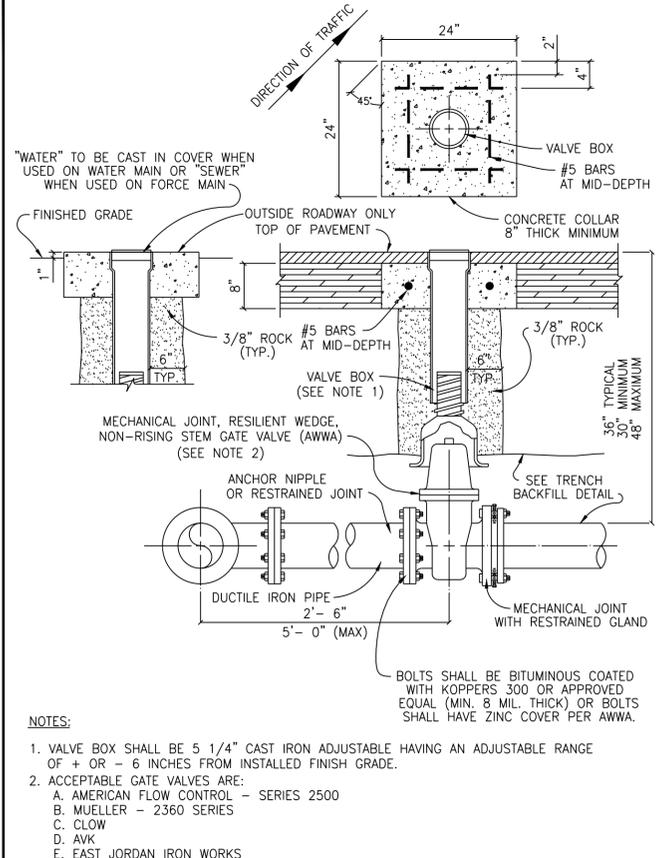


	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
	SIDEWALK SECTION AND JOINT DETAIL	NTS 8/2024 SD14 KPA COGT

	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
	TRENCH AND EMBEDMENT DETAIL UNDER NON - PAVED AREAS	NTS 8/2024 W02.1 KPA COGT

	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
	TYPICAL WATER SERVICE-ELEVATION	NTS 8/2024 W03 KPA COGT

	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
	SINGLE WATER SERVICE PLAN	NTS 8/2024 W04 KPA COGT



	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
	TYPICAL VALVE SETTING	NTS 8/2024 W07 KPA COGT

	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
	METER BOX (NON-TRAFFIC AREAS)	NTS 8/2024 W21 KPA COGT

	CITY OF GEORGETOWN CONSTRUCTION STANDARDS AND DETAILS	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
	COG Parkland Pedestrian Concrete	NTS 10/14/2025 LC-01 KPA COGT



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Reviewed: TWR

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Revisions:

Sheet Title:
CIVIL DETAILS 1 OF 2

Sheet Number:

C-17

PAGE 26 OF 37 SHEETS

Application Number:
2025-19-SDP