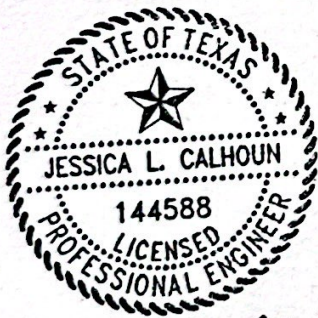

Chasin' Tails Pet Resort

A project by:
Chasin' Tails
Pet Resort, LLC

Water Pollution Abatement Plan Report



Jessica Calhoun
11/22/24

New Braunfels, Texas
November 2024

Prepared by:



HMT

ENGINEERING & SURVEYING

290 S. CASTELL AVE. STE. 100
NEW BRAUNFELS, TX. 78130
TBPE-FIRM F-10961
TBPLS FIRM 10153600

Texas Commission on Environmental Quality

Edwards Aquifer Application Cover Page

Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with [30 TAC 213](#).

Administrative Review

1. [Edwards Aquifer applications](#) must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains “possibly sensitive” features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited**.
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a “Mid-Review Modification”. Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ’s Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ’s San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

1. Regulated Entity Name: Chasin’ Tails Pet Resort					2. Regulated Entity No.:				
3. Customer Name: Chasin’ Tails Pet Resort, LLC					4. Customer No.:				
5. Project Type: (Please circle/check one)	<input checked="" type="radio"/> New	Modification			Extension		Exception		
6. Plan Type: (Please circle/check one)	<input checked="" type="radio"/> WPAP	<input type="radio"/> CZP	<input type="radio"/> SCS	<input type="radio"/> UST	<input type="radio"/> AST	<input type="radio"/> EXP	<input type="radio"/> EXT	Technical Clarification	Optional Enhanced Measures
7. Land Use: (Please circle/check one)	<input type="radio"/> Residential	<input checked="" type="radio"/> Non-residential				8. Site (acres):		2.68	
9. Application Fee:	\$4,000		10. Permanent BMP(s):				N/A		
11. SCS (Linear Ft.):	N/A		12. AST/UST (No. Tanks):				N/A		
13. County:	Comal		14. Watershed:				Dry Comal Creek		

Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the “Texas Groundwater Conservation Districts within the EAPP Boundaries” map found at:

http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	Hays	Travis	Williamson
Original (1 req.)	—	—	—
Region (1 req.)	—	—	—
County(ies)	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Barton Springs/ Edwards Aquifer <input type="checkbox"/> Hays Trinity <input type="checkbox"/> Plum Creek	<input type="checkbox"/> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<input type="checkbox"/> Austin <input type="checkbox"/> Buda <input type="checkbox"/> Dripping Springs <input type="checkbox"/> Kyle <input type="checkbox"/> Mountain City <input type="checkbox"/> San Marcos <input type="checkbox"/> Wimberley <input type="checkbox"/> Woodcreek	<input type="checkbox"/> Austin <input type="checkbox"/> Bee Cave <input type="checkbox"/> Pflugerville <input type="checkbox"/> Rollingwood <input type="checkbox"/> Round Rock <input type="checkbox"/> Sunset Valley <input type="checkbox"/> West Lake Hills	<input type="checkbox"/> Austin <input type="checkbox"/> Cedar Park <input type="checkbox"/> Florence <input type="checkbox"/> Georgetown <input type="checkbox"/> Jerrell <input type="checkbox"/> Leander <input type="checkbox"/> Liberty Hill <input type="checkbox"/> Pflugerville <input type="checkbox"/> Round Rock

San Antonio Region					
County:	Bexar	Comal	Kinney	Medina	Uvalde
Original (1 req.)	—	<u>X</u>	—	—	—
Region (1 req.)	—	<u>X</u>	—	—	—
County(ies)	—	<u>X</u>	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Trinity-Glen Rose	<input checked="" type="checkbox"/> Edwards Aquifer Authority	<input type="checkbox"/> Kinney	<input type="checkbox"/> EAA <input type="checkbox"/> Medina	<input type="checkbox"/> EAA <input type="checkbox"/> Uvalde
City(ies) Jurisdiction	<input type="checkbox"/> Castle Hills <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Helotes <input type="checkbox"/> Hill Country Village <input type="checkbox"/> Hollywood Park <input type="checkbox"/> San Antonio (SAWS) <input type="checkbox"/> Shavano Park	<input type="checkbox"/> Bulverde <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Garden Ridge <input type="checkbox"/> New Braunfels <input type="checkbox"/> Schertz	NA	<input type="checkbox"/> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

Jessica Calhoun, PE

Print Name of Customer/Authorized Agent

Jessica Calhoun

11/22/24

Signature of Customer/Authorized Agent

Date

****FOR TCEQ INTERNAL USE ONLY****

Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):

General Information Form

Texas Commission on Environmental Quality

For Regulated Activities on the Edwards Aquifer Recharge and Transition Zones and Relating to 30 TAC §213.4(b) & §213.5(b)(2)(A), (B) Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **General Information Form** is hereby submitted for TCEQ review. The application was prepared by:

Print Name of Customer/Agent: Jessica Calhoun, P.E

Date: 11/22/24

Signature of Customer/Agent:

Jessica Calhoun

Project Information

1. Regulated Entity Name: Chasin' Tails Pet Resort
2. County: Comal
3. Stream Basin: Dry Comal Creek Tributary 13 (Dry Comal Creek Watershed)
4. Groundwater Conservation District (If applicable): _____
5. Edwards Aquifer Zone:
☒ Recharge Zone
☐ Transition Zone
6. Plan Type:
☒ WPAP
☐ SCS
☐ Modification
☐ AST
☐ UST
☐ Exception Request

7. Customer (Applicant):

Contact Person: Kristi Sigmon
Entity: Chasin' Tails Pet Resort, LLC
Mailing Address: 1182 FM 1863
City, State: New Braunfels, Texas Zip: 78132
Telephone: 210-440-7808 FAX: N/A
Email Address: kristisigmon@gmail.com

8. Agent/Representative (If any):

Contact Person: Jessica Calhoun, P.E.
Entity: HMT Engineering & Surveying
Mailing Address: 290 S. Castell Avenue, Ste 100
City, State: New Braunfels, Texas Zip: 78130
Telephone: 830-625-8555 FAX: 830-625-8556
Email Address: jessica.calhoun@hmtnb.com

9. Project Location:

- ☐ The project site is located inside the city limits of _____.
☒ The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of _____.
☐ The project site is not located within any city's limits or ETJ.

10. ☒ The location of the project site is described below. The description provides sufficient detail and clarity so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

Beginning at TCEQ San Antonio regional office, head northeast towards Worchester Wood, turn right onto Judson Rd., drive approximately half a mile and turn right onto Nacogdoches Rd, turn left of FM 3009, then right onto Schoenthal Rd N. In 5 miles turn right onto FM 1863 and then drive 2.8 miles and 1182 FM 1863 will be on the left handside.

11. ☒ **Attachment A – Road Map.** A road map showing directions to and the location of the project site is attached. The project location and site boundaries are clearly shown on the map.

12. ☒ **Attachment B - USGS / Edwards Recharge Zone Map.** A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000') of the Edwards Recharge Zone is attached. The map(s) clearly show:

- ☒ Project site boundaries.
☒ USGS Quadrangle Name(s).
☒ Boundaries of the Recharge Zone (and Transition Zone, if applicable).
☒ Drainage path from the project site to the boundary of the Recharge Zone.

13. ☒ **The TCEQ must be able to inspect the project site or the application will be returned.**
Sufficient survey staking is provided on the project to allow TCEQ regional staff to locate

the boundaries and alignment of the regulated activities and the geologic or manmade features noted in the Geologic Assessment.

☐ Survey staking will be completed by this date: _____

14. ☒ **Attachment C – Project Description.** Attached at the end of this form is a detailed narrative description of the proposed project. The project description is consistent throughout the application and contains, at a minimum, the following details:

- ☒ Area of the site
- ☒ Offsite areas
- ☒ Impervious cover
- ☒ Permanent BMP(s)
- ☒ Proposed site use
- ☒ Site history
- ☒ Previous development
- ☒ Area(s) to be demolished

15. Existing project site conditions are noted below:

- ☒ Existing commercial site
- ☐ Existing industrial site
- ☐ Existing residential site
- ☐ Existing paved and/or unpaved roads
- ☐ Undeveloped (Cleared)
- ☐ Undeveloped (Undisturbed/Uncleared)
- ☐ Other: _____

Prohibited Activities

16. ☒ I am aware that the following activities are prohibited on the Recharge Zone and are not proposed for this project:

- (1) Waste disposal wells regulated under 30 TAC Chapter 331 of this title (relating to Underground Injection Control);
- (2) New feedlot/concentrated animal feeding operations, as defined in 30 TAC §213.3;
- (3) Land disposal of Class I wastes, as defined in 30 TAC §335.1;
- (4) The use of sewage holding tanks as parts of organized collection systems; and
- (5) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41(b), (c), and (d) of this title (relating to Types of Municipal Solid Waste Facilities).
- (6) New municipal and industrial wastewater discharges into or adjacent to water in the state that would create additional pollutant loading.

17. ☒ I am aware that the following activities are prohibited on the Transition Zone and are not proposed for this project:

- (1) Waste disposal wells regulated under 30 TAC Chapter 331 (relating to Underground Injection Control);
- (2) Land disposal of Class I wastes, as defined in 30 TAC §335.1; and
- (3) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41 (b), (c), and (d) of this title.

Administrative Information

18. The fee for the plan(s) is based on:

- ☒ For a Water Pollution Abatement Plan or Modification, the total acreage of the site where regulated activities will occur.
- ☐ For an Organized Sewage Collection System Plan or Modification, the total linear footage of all collection system lines.
- ☐ For a UST Facility Plan or Modification or an AST Facility Plan or Modification, the total number of tanks or piping systems.
- ☐ A request for an exception to any substantive portion of the regulations related to the protection of water quality.
- ☐ A request for an extension to a previously approved plan.

19. ☒ Application fees are due and payable at the time the application is filed. If the correct fee is not submitted, the TCEQ is not required to consider the application until the correct fee is submitted. Both the fee and the Edwards Aquifer Fee Form have been sent to the Commission's:

- ☐ TCEQ cashier
- ☐ Austin Regional Office (for projects in Hays, Travis, and Williamson Counties)
- ☒ San Antonio Regional Office (for projects in Bexar, Comal, Kinney, Medina, and Uvalde Counties)

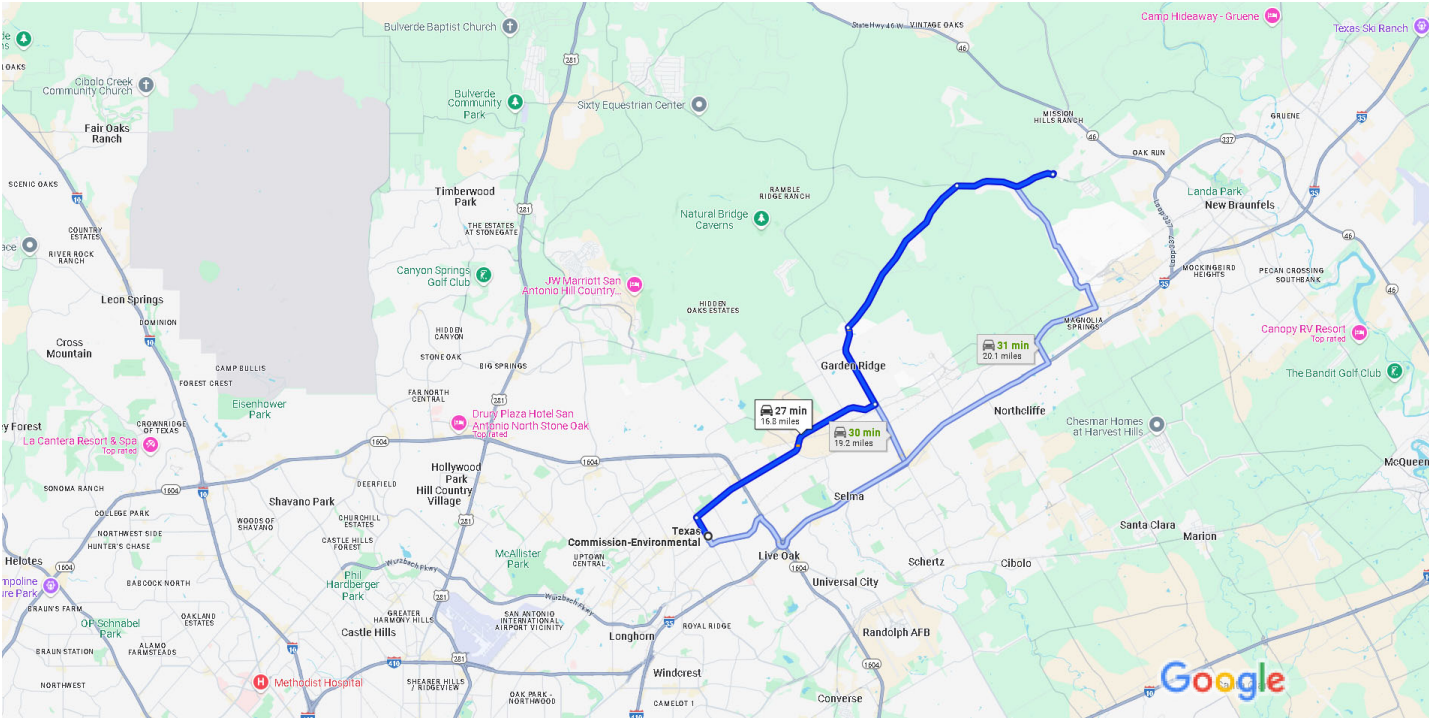
20. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

21. ☒ No person shall commence any regulated activity until the Edwards Aquifer Protection Plan(s) for the activity has been filed with and approved by the Executive Director.

Type text here



Texas Commission-Environmental, 14250 Drive 16.8 miles, 27 min
Judson Rd, San Antonio, TX 78233 to 1182 FM1863, New Braunfels,
TX 78132



Texas Commission-Environmental
14250 Judson Rd, San Antonio, TX 78233

Take Worchester Wood to Judson Rd

- 37 sec (400 ft)
- ↑ 1. Head northeast toward Worchester Wood
- 62 ft
- ← 2. Turn left toward Worchester Wood
- 112 ft
- ← 3. Turn left onto Worchester Wood
- 226 ft

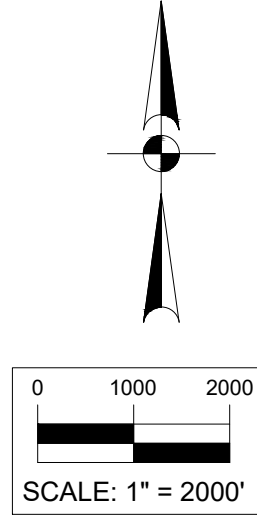
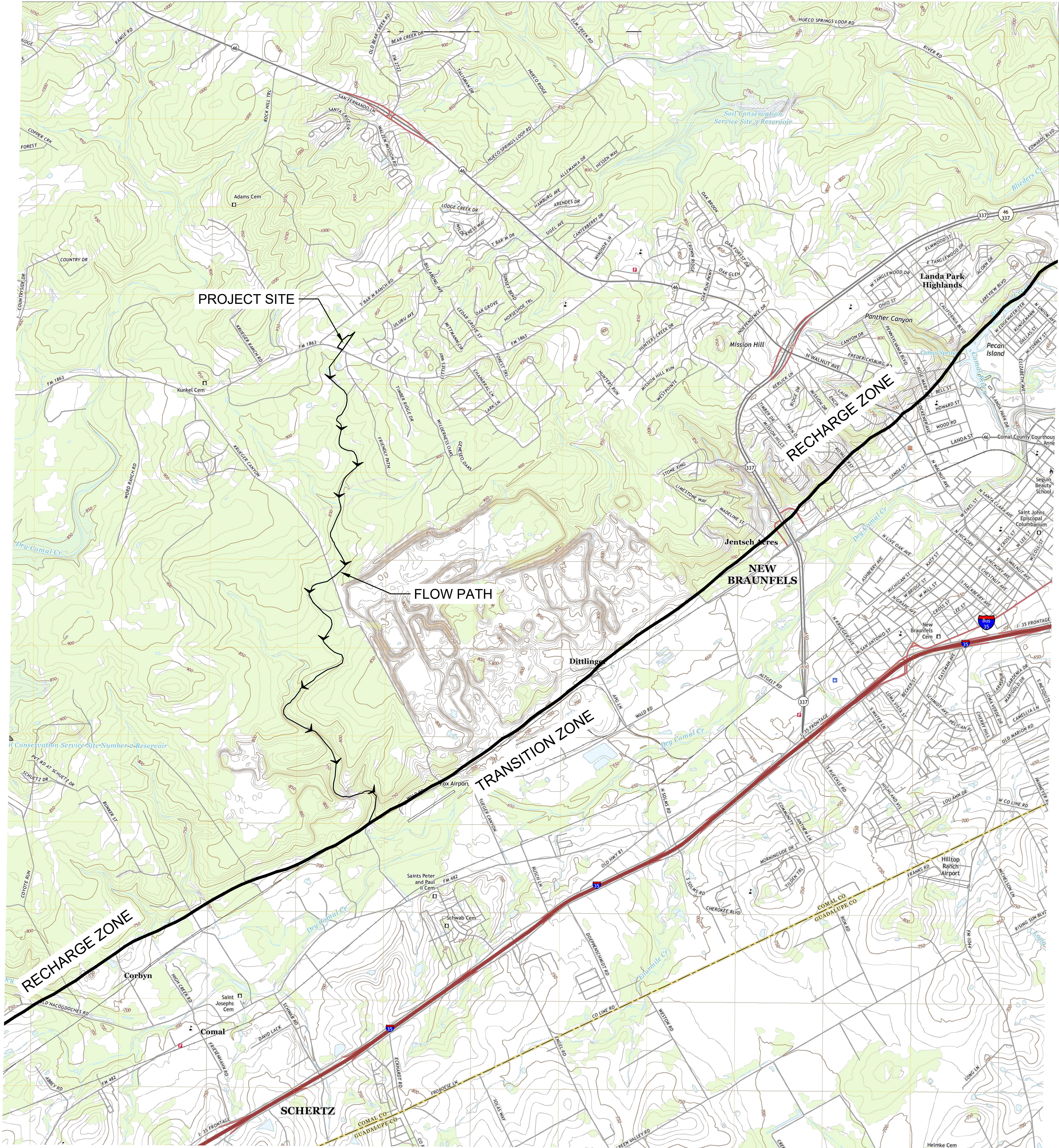
Drive from Nacogdoches Rd and Schoenthal Rd N to Comal
County

- 26 min (16.7 mi)
- ↘ 4. Turn right onto Judson Rd
- 📍 Pass by AutoZone Auto Parts (on the right in 0.5 mi)
- 0.6 mi
- ↘ 5. Turn right onto Nacogdoches Rd
- 📍 Pass by Wendy's (on the left in 1.5 mi)
- 6.0 mi

- ↩ 6. Turn left onto FM3009 N
2.4 mi
- ↪ 7. Turn right onto Schoenthal Rd N
5.0 mi
- ↪ 8. Turn right onto FM1863 E
2.8 mi
- ↩ 9. Turn left
⚠ Restricted usage road
35 sec (161 ft)

1182 FM1863

New Braunfels, TX 78132



DATE: OCTOBER 2024
DRAWN BY: ZAH
DESIGNED BY: ZAH
CHECKED BY: JC
REVIEWED BY: JC
PROJECT NO.: 564.001

SHEET
B

CHASIN' TAILS PET RESORT

ATTACHMENT B -
USGS/EDWARDS
RECHARGE ZONE MAP
CIVIL SITE CONSTRUCTION PLANS

6/2/2023

DRAFT



200 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
HMTNE.COM
P(830)625-8555 F(830)625-8556
TBPB FIRM F-10961
TBPB FIRM 1053600

GENERAL INFORMATION FORM
ATTACHMENT C
Project Description

The proposed Chasin' Tails Pet Resort project is located 1182 FM 1863, in New Braunfels, Texas. The site is located in Comal County. The site is currently a 2.68-acre residential site with 1,171 square feet (0.027 acres) of impervious cover created by two sheds that will remain and an existing asphalt road that will be removed, these improvements were built in 1966 before TCEQ Edwards Aquifer Program. A Water Pollution Abatement Plan has not previously been recorded for this property. The proposed conditions increase the impervious cover by 16,876 square feet to 17,219 square feet (0.395 acres) or 14.75% at full development.

The proposed Chasin' Tails Pet Resort project is a commercial pet resort site located in the Dry Comal Creek watershed. The proposed site improvements include the construction of a 7,233 square feet (0.166 acres) commercial building and 9,643 square feet (0.221 acres) of roadway and parking area at full development. Additionally, the 828 square feet of existing asphalt driveway will be removed. These improvements create an increase of 16,876 square feet (0.387 acres) of impervious cover making the total impervious cover 0.395 acres or 14.75% at full development of the site. The 14.75% impervious falls under the 20% or less impervious cover waiver eligibility. Additionally, most of the offsite area that flows through the property is undeveloped and flows through the site where there are no proposed improvements. Therefore, these areas are not used in our water quality calculations. Therefore, we wish to request to waive the requirements for permanent BMPs on site.

The construction will be completed in one phase with Chasin' Tails Pet Resort being the permitted entity that will operate the proposed site.

Geologic Assessment

Texas Commission on Environmental Quality

For Regulated Activities on The Edwards Aquifer Recharge/transition Zones and Relating to 30 TAC §213.5(b)(3), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. My signature certifies that I am qualified as a geologist as defined by 30 TAC Chapter 213.

Print Name of Geologist: Matt Anding

Telephone: 832-641-8143

Date: 06/14/2024

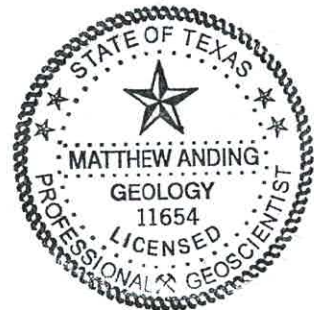
Fax: _____

Representing: Anding Environmental Consulting, LLC (Name of Company and TBPG or TBPE registration number)

Signature of Geologist:



Regulated Entity Name: Chasin' Tails Pet Resort, LLC



Project Information

1. Date(s) Geologic Assessment was performed: 06/10/2024

2. Type of Project:

☒ WPAP
☐ SCS

☐ AST
☐ UST

3. Location of Project:

☒ Recharge Zone
☐ Transition Zone
☐ Contributing Zone within the Transition Zone

4. ☒ **Attachment A - Geologic Assessment Table.** Completed Geologic Assessment Table (Form TCEQ-0585-Table) is attached.
5. ☒ Soil cover on the project site is summarized in the table below and uses the SCS Hydrologic Soil Groups* (Urban Hydrology for Small Watersheds, Technical Release No. 55, Appendix A, Soil Conservation Service, 1986). If there is more than one soil type on the project site, show each soil type on the site Geologic Map or a separate soils map.

Table 1 - Soil Units, Infiltration Characteristics and Thickness

Soil Name	Group*	Thickness(feet)
KrB	B	6'
MED	D	6'

** Soil Group Definitions (Abbreviated)*

- A. Soils having a high infiltration rate when thoroughly wetted.
- B. Soils having a moderate infiltration rate when thoroughly wetted.
- C. Soils having a slow infiltration rate when thoroughly wetted.
- D. Soils having a very slow infiltration rate when thoroughly wetted.

6. ☒ **Attachment B – Stratigraphic Column.** A stratigraphic column showing formations, members, and thicknesses is attached. The outcropping unit, if present, should be at the top of the stratigraphic column. Otherwise, the uppermost unit should be at the top of the stratigraphic column.
7. ☒ **Attachment C – Site Geology.** A narrative description of the site specific geology including any features identified in the Geologic Assessment Table, a discussion of the potential for fluid movement to the Edwards Aquifer, stratigraphy, structure(s), and karst characteristics is attached.
8. ☒ **Attachment D – Site Geologic Map(s).** The Site Geologic Map must be the same scale as the applicant's Site Plan. The minimum scale is 1": 400'
 Applicant's Site Plan Scale: 1" = 60'
 Site Geologic Map Scale: 1" = 60'
 Site Soils Map Scale (if more than 1 soil type): 1" = 60'
9. Method of collecting positional data:
 - ☒ Global Positioning System (GPS) technology.
 - ☐ Other method(s). Please describe method of data collection: _____
10. ☒ The project site and boundaries are clearly shown and labeled on the Site Geologic Map.
11. ☒ Surface geologic units are shown and labeled on the Site Geologic Map.

12. ☒ Geologic or manmade features were discovered on the project site during the field investigation. They are shown and labeled on the Site Geologic Map and are described in the attached Geologic Assessment Table.
- ☐ Geologic or manmade features were not discovered on the project site during the field investigation.
13. ☒ The Recharge Zone boundary is shown and labeled, if appropriate.
14. All known wells (test holes, water, oil, unplugged, capped and/or abandoned, etc.): If applicable, the information must agree with Item No. 20 of the WPAP Application Section.
- ☒ There are 1 (#) wells present on the project site and the locations are shown and labeled. (Check all of the following that apply.)
- ☐ The wells are not in use and have been properly abandoned.
- ☐ The wells are not in use and will be properly abandoned.
- ☒ The wells are in use and comply with 16 TAC Chapter 76.
- ☐ There are no wells or test holes of any kind known to exist on the project site.

Administrative Information

15. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

GEOLOGIC ASSESSMENT

ATTACHMENT A - GEOLOGIC ASSESSMENT TABLE

* DATUM: NAD_1983_StatePlane_Texas_South_Central_FIPS_4204

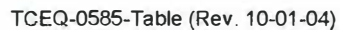
8A INFILLING	
N	None, exposed bedrock
C	Coarse - cobbles, breakdown, sand, gravel
O	Loose or soft mud or soil, organics, leaves, sticks, dark colors
F	Fines, compacted clay-rich sediment, soil profile, gray or red colors
V	Vegetation. Give details in narrative description
FS	Flowstone, cements, cave deposits
X	Other materials

12 TOPOGRAPHY

Cliff, Hilltop, Hillside, Drainage, Floodplain, Streambed

My signature certifies that I am qualified as a geologist as defined by 30 TAC Chapter 213.

Date:06/14/2024



GEOLOGIC ASSESSMENT
ATTACHMENT B - STRATIGRAPHIC COLUMN

(Edwards Aquifer)

STRATIGRAPHIC COLUMN

Hydrogeologic subdivision		Group, formation, or member	Hydro-logic function	Thickness (feet)	Lithology	Field identification	Cavern development	Porosity/ permeability type			
Upper Cretaceous	Upper confining units	Navarro and Taylor Groups, undivided	CU	600	Clay, chalky limestone	Gray-brown clay; marly limestone	None	Low porosity/low permeability			
		Austin Group	CU; rarely AQ	130 - 150	White to gray limestone	White-chalky limestone; <i>Gryphaea aucella</i>	None	Low porosity; rare water production from fractures/low permeability			
		Eagle Ford Group	CU	30 - 50	Brown, flaggy shale and argillaceous limestone	Thin flagstones; petroliferous	None	Primary porosity lost/low permeability			
		Buda Limestone	CU	40 - 50	Buff, light gray, dense mudstone	Porcelaneous limestone	Minor surface karst	Low porosity/low permeability			
		Del Rio Clay	CU	40 - 50	Blue-green to yellow-brown clay	Fossiliferous; <i>Ilymatogyra arietina</i>	None	None/primary upper confining unit			
	I	Georgetown Formation	CU	Less than 10	Gray to light tan marly limestone	Marker fossil: <i>Waconella wacoensis</i>	None	Low porosity/low permeability			
Lower Cretaceous	II	Edwards aquifer	Person Formation	Cyclic and marine members, undivided	AQ	80 - 100	Mudstone to packstone; <i>miliolid</i> grainstone; chert	Light tan, massive; some <i>Toucasia</i>	Many subsurface; may be associated with earlier karst development	Laterally extensive; both fabric and not fabric/ water-yielding; one of most permeable	
	III			Leached and collapsed members, undivided	AQ	80 - 100	Crystalline limestone; mudstone to grainstone; chert; collapsed breccia	Bioturbated iron-stained beds separated by massive limestone beds; <i>Montastrea sp.</i>	Extensive lateral development, large rooms	Majority not fabric/one of most permeable	
	IV			Regional dense member	CU	20 - 24	Dense, argillaceous mudstone	Wispy iron-oxide stains	None, only vertical fracture enlargement	Not fabric/low permeability; vertical barrier	
	V			Grainstone member	AQ	50 - 60	<i>Miliolid</i> grainstone; mudstone to wackestone; chert	White crossbedded grainstone; <i>Toucasia</i>	Few	Not fabric/recrystallization reduces permeability	
	VI			Kirschberg evaporite member	AQ	50 - 60	Highly altered crystalline limestone; chalky mudstone; chert	Boxwork voids, with neospar and travertine frame	Probably extensive cave development	Majority fabric/one of the most permeable	
	VII			Kainer Formation	Dolomitic member	AQ	110 - 130	Mudstone to grainstone; crystalline limestone; chert	Massively bedded light gray, <i>Toucasia</i> abundant	Caves related to structure or bedding planes	Mostly not fabric; some bedding plane-fabric/water-yielding; locally permeable

GEOLOGIC ASSESSMENT
ATTACHMENT C - SITE GEOLOGY



GEOLOGIC ASSESSMENT

1182 FM 1863
New Braunfels, Comal County, Texas



Prepared for:
Chasin' Tails Pet Resort, LLC

Prepared by:
Anding Environmental Consulting, LLC
June 2024

Geologic Assessment

1182 FM 1863

New Braunfels, Comal County, Texas

Prepared for:

Chasin' Tails Pet Resort, LLC

Prepared by:



Anding Environmental Consulting, LLC.

938 River Terrace

New Braunfels, TX 78130

June 2024

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1.2	PROJECT DESCRIPTION.....	1
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List of Tables

Table 3-1 Site Soils

Attachments

Attachment A	Geologic Assessment Table
Attachment B	Stratigraphic Column
Attachment C	Site Geology and Geologic Assessment
Attachment D	Site Geologic Maps
Attachment E	Photo Log

Acronyms

BMP	Best Management Practices
EAPP	Edwards Aquifer Protection Plan
FEMA	Federal Emergency Management Administration
GPS	Global Positioning System
TCEQ	Texas Commission on Environmental Quality
USDA	United States Department of Agriculture
USGS	United States Geological Survey

1.0 INTRODUCTION AND PURPOSE

1.1 Introduction

This Geologic Assessment was prepared in general accordance with to 30 TAC §213.5(b)(3), effective September 01, 2003, Texas Commission on Environmental Quality (TCEQ) requirements for regulated developments within the Edwards Aquifer Recharge Zone, and the “Instructions to Geologists”, TCEQ-0585-Instructions (Rev. 10-1-04). Per TCEQ guidance, a proposed project on the Site for future residential development requires a Geologic Assessment to identify all potential pathways for contaminant movement to the Edwards Aquifer and provide sufficient geologic information so that the appropriate Best Management Practices (BMPs) can be proposed in the Edwards Aquifer Protection Plan (EAPP). This Geologic Assessment has been prepared by a Texas Board of Professional Geoscientists licensed geologist, Mr. Matt Anding, P.G.

1.2 Project Description

The Site is located on 1182 FM 1863, New Braunfels, Comal County, Texas, just east of the intersection of FM 1863 and Mission Valley Road. The center of the Site is located at 29°42'54.46"N Latitude and 98°12'32.35"W Longitude (WGS 84), and is ~2.68 acres in size. The Site was historically utilized as a residential homestead with a house constructed in the center of the Site, which has since been removed. The property location is depicted on Figure D-1.

A project is in place to develop a commercial dog boarding facility on the Site.

2.0 METHODOLOGY

2.1 Research Information

The Geologic Assessment was performed by Matt Anding, P.G. and Amanda Anding, Environmental Scientist, with Anding Environmental Consulting, LLC (Anding Environmental), on June 10, 2024. Anding Environmental researched the geology of the area surrounding the Site. The research included, but was not limited to, the Geologic Atlas of Texas, San Antonio Sheet, Federal Emergency Management Agency (FEMA) maps, Edwards Aquifer Recharge Zone Maps, USGS 7.5 Minute Quadrangle Maps, Bureau of Economic Geology online digital data, historic aerials and topographic maps, and the United States Department of Agriculture (USDA) Soil Survey of Comal County, Texas.

2.2 Field Survey

After reviewing the available information, a field investigation was performed to identify any geologic or man-made potential recharge features. A transect spacing of approximately 25-50 feet, or less depending on vegetation thickness, was used to inspect the Site. A 2022 aerial photograph, in conjunction with a hand held sub-meter Trimble GeoXH Global Positioning System (GPS), was used to navigate on the property and search for potential recharge features, as recommended in the “Instructions to Geologists”, TCEQ-0585-Instructions (Rev. 10-1-04). The Geologic Assessment Form, Stratigraphic Column, and the Geologic Assessment Table have been filled with the appropriate information for this Site and are included in this report.

2.3 Data Gaps

No data gaps were incurred within the scope of this Geologic Assessment.

2.4 Limitations of Assessment

No Geologic Assessment can wholly eliminate uncertainty regarding potential pathways for contaminant movement to the Edwards Aquifer in connection with a property. Performance of a Geologic Assessment in accordance with TCEQ-0585 instructions is intended to reduce, but cannot eliminate, uncertainty regarding the potential for surficial points of infiltration in connection with a property, and the TCEQ recognizes reasonable limits of time and cost.

Anding Environmental assumes no responsibility for the discovery of any surficial or subsurface points of infiltration, caves, solution cavities or enlarged fractures/faults, sinkholes, or any other karst features not observed during this Geologic Assessment. Anding Environmental does not have any responsibility with regard to the Client's compliance with or fulfillment of its obligation under any law, ordinance, or regulation prevailing at any of the observed locations.

3.0 NARRATIVE DESCRIPTION OF SITE GEOLOGY

3.1 Site Characterization

The Site property is currently largely undeveloped and was historically utilized as a residential homestead. The Site is fully fenced in and has a concrete driveway with access from FM 1863. Historically, a residential house was located in the center of the Site, however the structure has been demolished and removed. A water well shed, and a storage shed are still located in the center of the Site. The remaining portions of the Site are vegetated with previously maintained grasses and trees including oak, ashe juniper, mesquite, and Texas persimmon. The Site is located on the western edge of New Braunfels development, with acreage home sties and ranchland to the west and more dense residential and commercial to the east. The Site is bordered by acreage homesites to the east and west, agriculture pasture to the north, and undeveloped ranch land to the south across FM 1863.

3.2 Site Geology

The Site is located on broad gently sloping terrain that consists of a largely undeveloped historic residential homestead. Site topography slopes from the northeast to the southwest towards FM 1863. The highest Site elevations is 928 ft amsl at the northern Site boundary, and the lowest elevation is 912 at the southern Site boundary. No significant drainages exist on the Site. Stormwater would appear to sheetflow to the southwest into a roadside drainage ditch (swale) along FM 1863, which then flows to the southeast along the road.

Per the TCEQ Edwards Aquifer Program GIS dataset, the entire Site is located within the Edwards Aquifer Recharge Zone. A map of the Site and Edwards Aquifer Zones is presented as Figure D-4.

The following resources were most utilized in mapping the Site geology:

- Digital Geologic Map Database for the State of Texas (USGS)
- 1992 Geologic Map of Texas (Bureau of Economic Geology)
- Geologic Framework and Hydrogeologic Characteristics of the Edwards Aquifer Outcrop, Comal County, Texas (USGS)
- Geologic Map of the Edwards Aquifer Recharge Zone, South-Central Texas (USGS)

The Site is mapped by the *Digital Geologic Map Database for the State of Texas* (USGS) and the *Geologic Map of the Edwards Aquifer Recharge Zone, South-Central Texas* (Blome et al, 2005) as almost entirely Del Rio Clay (Kdr) with the southwestern corner mapped as Georgetown Formation (Kgt) (**Figure D-5**). As the Site is located within the edge of the Balcones Fault Zone, multiple normal faults are mapped in the area. Hueco Springs Fault is located ~ 1.5 miles to the northwest, and the Balcones Escarpment is located ~2.8 miles to the southeast. A normal fault is mapped running through the Site, and two normal faults are mapped adjacent to the north and south, all with NE/SW trends.

Del Rio Clay (Upper Cretaceous) – The majority of the Site is mapped as Del Rio Clay (Kdr), a primary upper confining unit of the Edwards Aquifer. The Del Rio Clay has no recognized cavern development and no significant porosity or permeability. (Small and Hanson, 1995; Clark, 2003). Thickness 40–110 ft.

Georgetown Formation (Lower Cretaceous) – A very small portion of the Site in the southwestern corner is mapped as Georgetown Formation (Kgt). The Georgetown Formation is the uppermost unit of the Edwards Aquifer. This unit is characterized by reddish-brown and gray to light-tan, marly limestone with biomicritic texture (Young, 1967). The Georgetown is considered an upper confining unit, has very low porosity and permeability, and has little karstification or cavern development (Stein and Ozuna, 1995). Thickness 2–20 ft.

Buda Limestone (Upper Cretaceous) – Buda Limestone (Kbu) is mapped in the area, notably just east of the Site outside of the Site boundaries. Limestone beds in the upper part of the Buda are generally hard and dense and may exhibit conchoidal fracturing and a porcelaneous texture when broken. Limestone beds in the lower part of the Buda tend to be chalky (Collins, 2000). Regionally considered a confining unit. This unit has minor surface karst with low porosity and permeability (Small and Hanson, 1995). Thickness 40–90 ft.

The Site soils were observed to be fairly deep and no limestone bedrock was observed outcropping on the Site, only minor bouldering within the soil in a few locations. Anding Environmental observed no fault structures on the Site during the field reconnaissance.

A geologic map of the Site is presented as **Figure D-5. Attachment E, Photo Log**, displays photographs of Site conditions.

3.3 Site Soils

The majority of the Site (Del Rio Clay) is mapped Krum clays, with Medlin-warm-Eckrant Association mapped along the eastern Site boundary. **Table 3-1** displays soils mapped on the Site and **Figure D-6** illustrates the soils in relation to the Site.

Table 3-1 – Site Soils

KrB—Krum clay, 1% to 3% slopes
MED—Medlin, warm-Eckrant association, 8% to 30% slopes

Krum Clay (KrB) - The Krum soil series (Krb) is part of the Medlin -Eckrant Map Unit (MEC). These soils are often found on the gentle toe slopes below the Medlin. The topsoil is a dark gray to very dark gray clay that is approximately 16 inches thick. The grayish brown to brown subsoil is also clay and is 16 to 66 inches deep. Permeability of this layer is very slow. The weathered parent material is a pale brown to light yellowish brown clay and is 66 to 80 inches deep (Carson, 2000).

Medlin, warm-Eckrant Association (MED) -The regional topographic sequence typically finds Eckrant soils on the upper side slopes and on the crest of the hills or ridges, while the Medlin is on

the concave hillside below the Eckrant with the Krum below on the toe slope. The topsoil of the Medlin, warm-Eckrant soils (MED) are grayish brown stony to dark grayish brown clays about 9 to 11 inches thick. Stones may cover up to 40 percent of the surface but are usually much less. The underlying subsoil layers are light yellowish brown, light olive brown, olive brown, olive yellow or olive. The unique color and mottles also present are due to the very poor permeability and large amounts of shrink/swell clay present. The subsoil layers are 11 to 40 inches deep. The weathered parent material is 50 to 80 inches deep and a light gray to light brownish gray shaley clay. Mottles of olive yellow and yellow are common here due to the poor drainage and discontinuous oxygen content. These deep soils have formed in calcareous clay and shales with slopes of 1 to 30 percent (Carson, 2000).

In general, Anding Environmental observed Site soils to be rather deep throughout the Site, with only a few limestone bouldering observed in a few locations.

3.4 Site Specific Geologic Feature Descriptions

Anding Environmental observed no geologic features or potentially sensitive features during the Site reconnaissance. One (1) manmade feature, a drinking water well, is located in the center of the Site. Details regarding this feature can be found in the Geologic Assessment Table found in Attachment A of this report, and the feature locations are displayed on Figure D-7.

MB1 Manmade Feature in Bedrock – Water Well: A domestic drinking water well is located in the center of the Site, along with an associated well house, and is not considered a sensitive feature. Anding Environmental was unable to identify information regarding the well such as total/screening depth, installation date, etc. Anding Environmental was unable to find any information on the well from either the Texas Water Development Board website or TCEQ Water Well Viewer website, and the current landowner does not have any information other than a recent inspection. Anding Environmental evaluated the well house and surrounding area and identified no opportunities for surface water to rapidly infiltrate the subsurface via the wellhead. Therefore, this manmade feature is not considered a sensitive feature.

4.0 SUMMARY

Anding Environmental has conducted a Geologic Assessment for the referenced Site in accordance with 30 TAC §213.5(b)(3), TCEQ requirements for regulated developments within the Edwards Aquifer Recharge Zone, and the “Instructions to Geologists”, TCEQ-0585-Instructions (Rev. 10-1-04). One (1) manmade feature, a domestic water well, was observed on the Site and found to be a non-sensitive feature.

Please note that other karst features may exist on Site, either buried or obscured from view, which may have potential for openings to the subsurface. If any additional potentially karst features are discovered during future Site activities, please do not hesitate to contact Anding Environmental for additional assessments.

5.0 REFERENCES

Bureau of Economic Geology, 1992, Geologic Map of Texas: University of Texas at Austin, Virgil E. Barnes, project supervisor, Hartmann, B.M. and Scranton, D.F., cartography, scale 1: 500,000

Collins, E.W., 2000, Geologic map of the New Braunfels, Texas, 30 x 60 minute quadrangle—Geologic framework of an urban-growth corridor along the Edwards aquifer, south-central Texas: University of Texas, Bureau of Economic Geology Miscellaneous Map 39, 28 p., 1 sheet, scale 1: 100,000.

Comal County Appraisal District. Property Search. <http://www.comalad.org/>

Federal Emergency Management Agency. Floodplain Maps. <https://msc.fema.gov/portal>

Stoeser, D.B., Shock, Nancy, Green, G.N., Dumonceaux, G. M., and Heran, W.D., in press, A Digital Geologic Map Database for the State of Texas: U.S. Geological Survey Data Series.

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United States Department of Agriculture (USDA), 2024. NRCS Web Soil Survey. *Custom Soil Report for Comal County, Texas*. Accessed June 2024.

U.S. Geological Survey. Topographic Maps. <https://ngmdb.usgs.gov/maps/topoview/viewer>

U.S. Geological Survey. Texas Geology. <http://mrdata.usgs.gov/sgmc/tx.html>

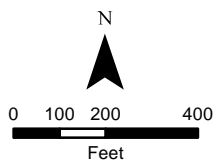
GEOLOGIC ASSESSMENT
ATTACHMENT D - SITE GEOLOGIC MAPS



Legend



Site



1182 FM 1863
New Braunfels, Comal County, TX

Site Location

Geologic Assessment
1182 FM 1863, New Braunfels, TX



938 River Terrace
New Braunfels, TX 78130

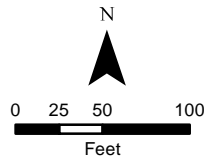
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24-011	6/7/2024	ANDING	001	D-1



Legend



Site



1182 FM 1863
New Braunfels, Comal County, TX

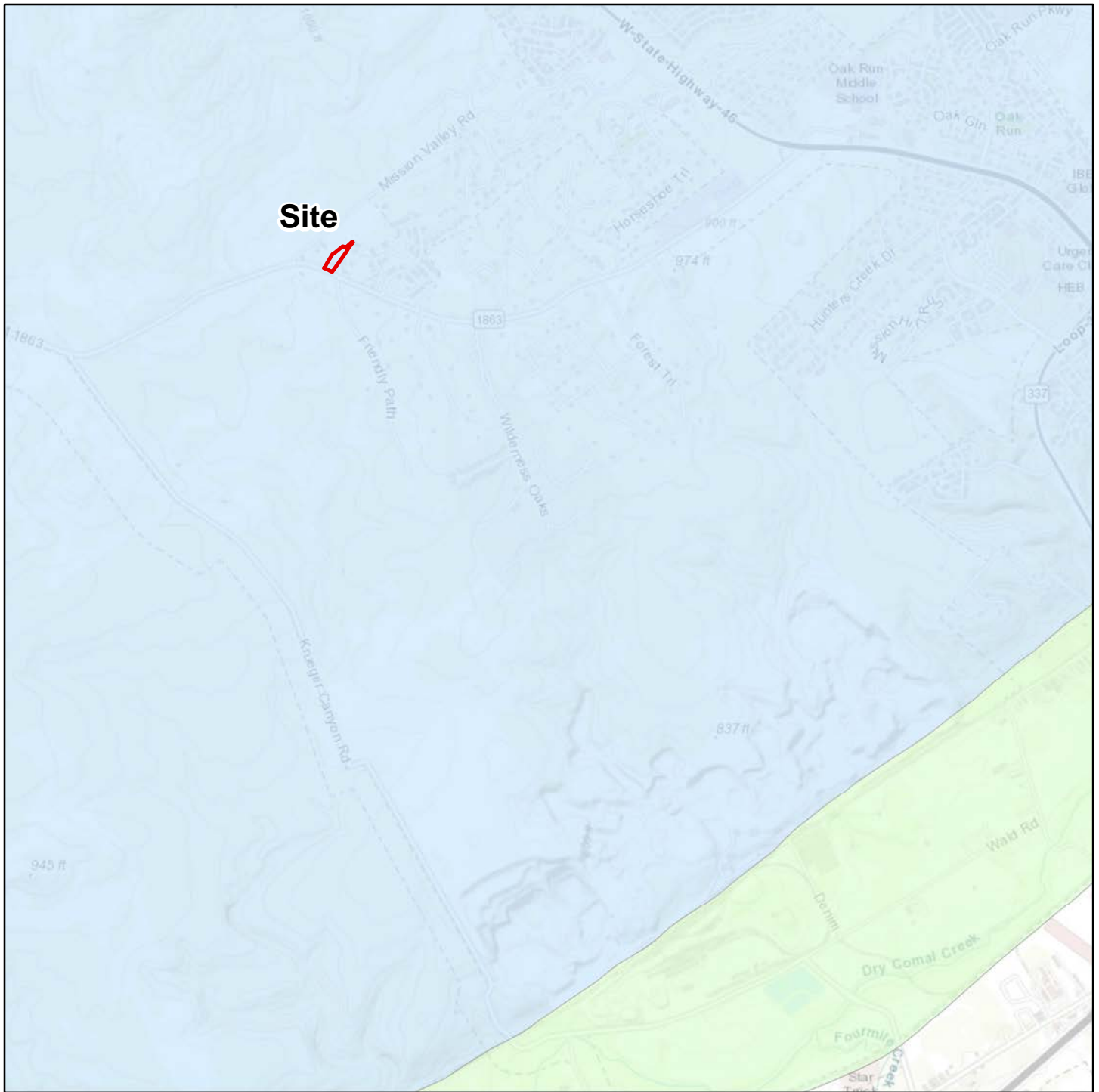
Site Aerial

Geologic Assessment
1182 FM 1863, New Braunfels, TX



938 River Terrace
New Braunfels, TX 78130

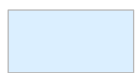
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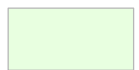
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Site



Edwards Aquifer Recharge Zone



Edwards Aquifer Transition Zone



1182 FM 1863
New Braunfels, Comal County, TX

Edwards Aquifer Zone Map

Geologic Assessment
1182 FM 1863, New Braunfels, TX



938 River Terrace
New Braunfels, TX 78130

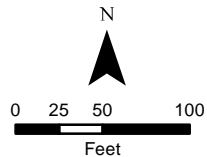
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24-011	6/7/2024	ANDING	003	D-3



Legend



Site



1182 FM 1863
New Braunfels, Comal County, TX

Site Topography

Geologic Assessment
 1182 FM 1863, New Braunfels,
 TX



938 River Terrace
 New Braunfels, TX 78130

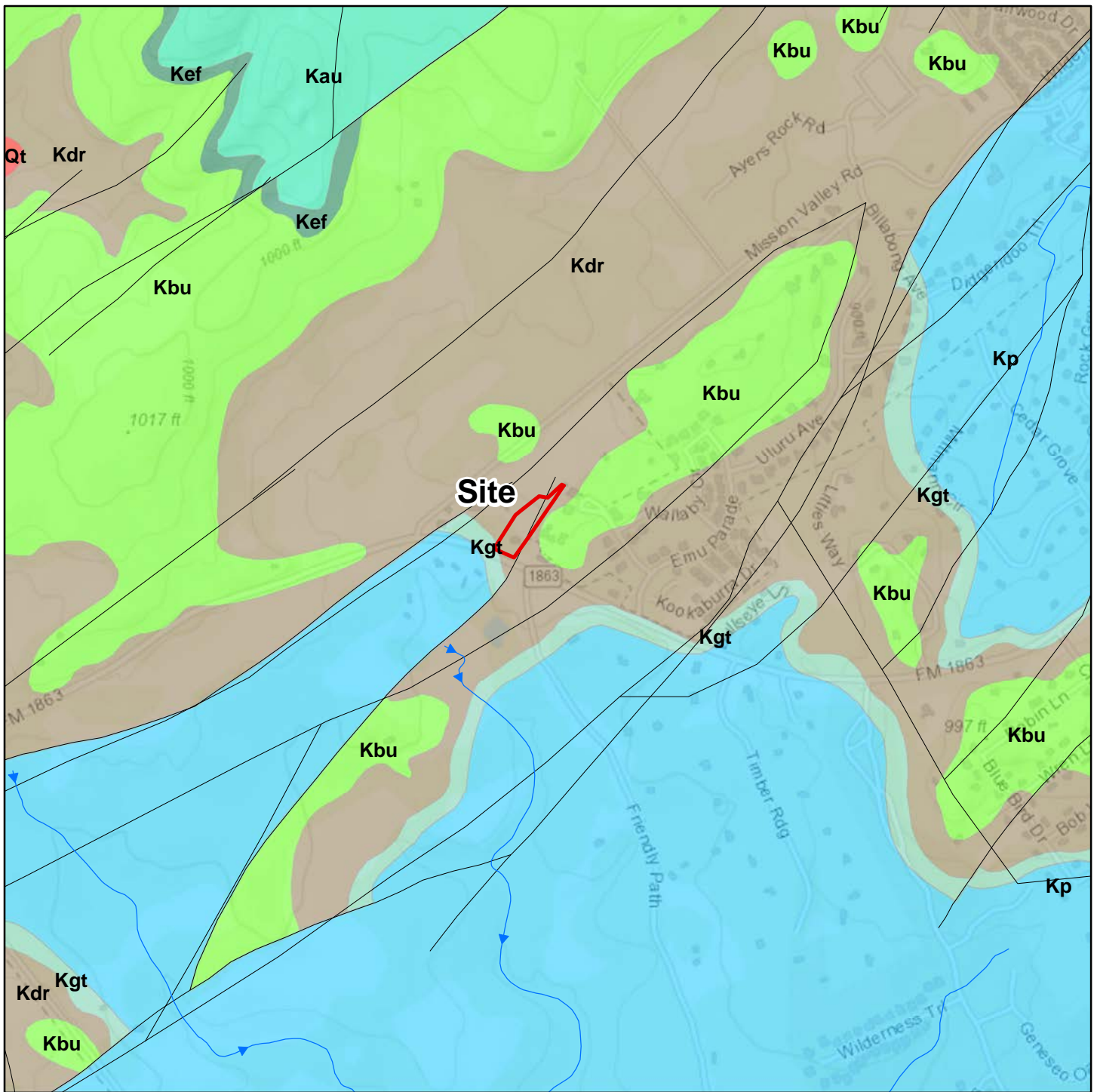
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DATE
 6/7/2024

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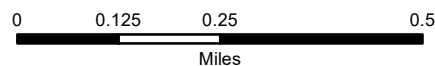
MAP NO.
 004

FIGURE
D-4



Legend

- ▶ NHD Mapped Drainage
 - Regionally Mapped Faults
 - Site
- Stratigraphic Unit**
- Kau - Austin Chalk
 - Kbu-Buda LS
 - Kdr-Del Rio Clay
 - Kef - Eagle Ford SH
 - Kgt – Georgetown
 - Kp (Kep) - Person
 - Qt - Terrace Deposits



1182 FM 1863
New Braunfels, Comal County, TX

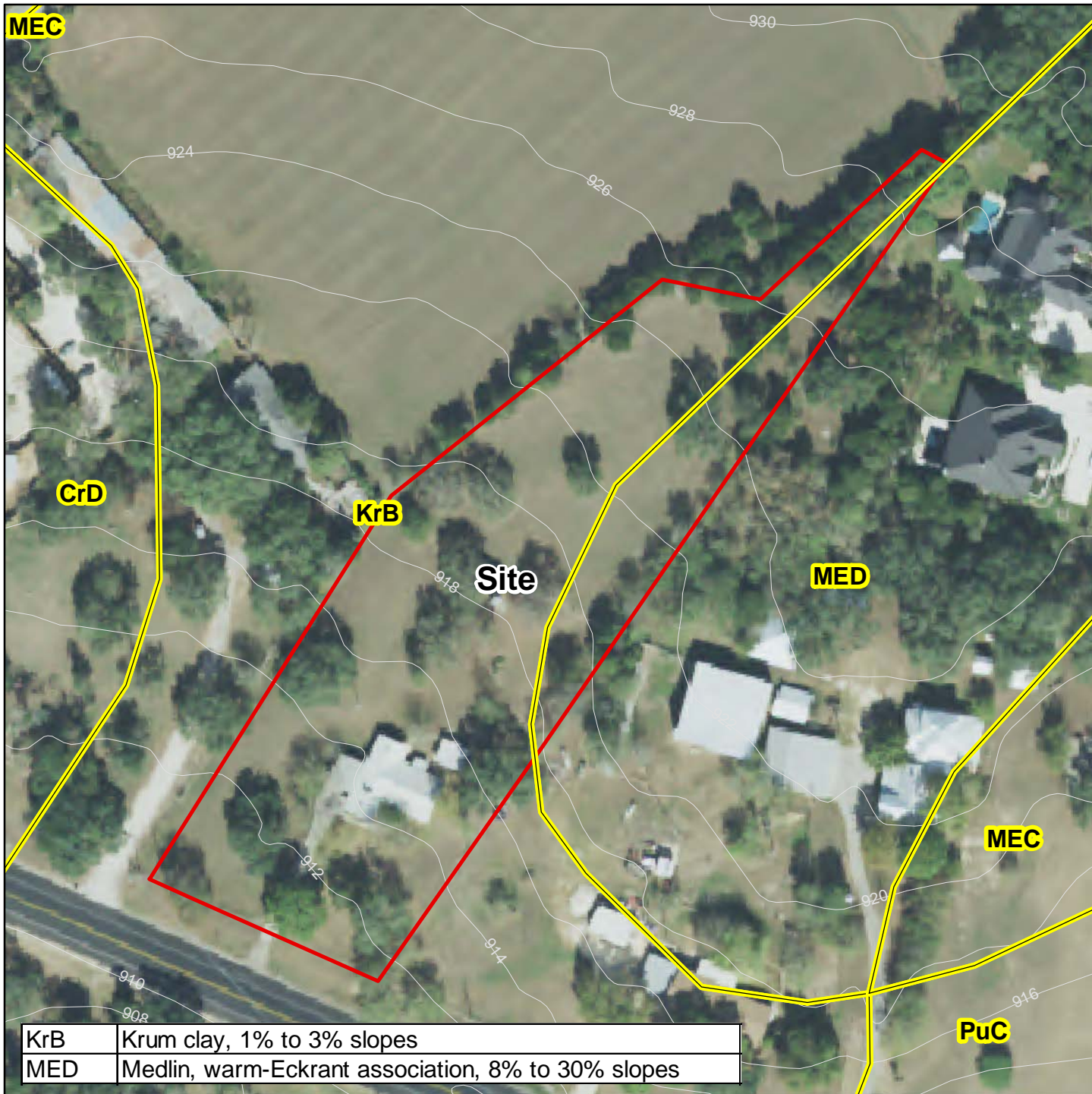
Regional Geology

Geologic Assessment
 1182 FM 1863, New
 Braunfels, TX



938 River Terrace
 New Braunfels, TX 78130

TC NO.	DATE	DRAWN BY	MAP NO.	FIGURE
24-011	6/14/2024	ANDING	005	D-5



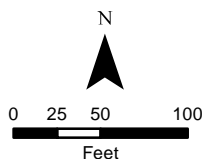
Legend



USDA Soil Taxonomy



Site



1182 FM 1863
New Braunfels, Comal County, TX

Site Soils

Geologic Assessment
1182 FM 1863, New Braunfels, TX



938 River Terrace
New Braunfels, TX 78130

TC NO.	DATE	DRAWN BY	MAP NO.	FIGURE
24-011	6/7/2024	ANDING	006	D-6

MEC

CrD

KrB

Kdr

MB1


Site

Kbu

MED

Kgt


Legend


 Domestic Water Well


 Site

 Soils

Surface Geology

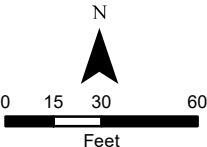
 Kbu-Buda LS

 Kdr-Del Rio Clay

 Kgt – Georgetown



1 inch = 60 feet



Site Findings and Geology Map

Geologic Assessment
1182 FM 1863, New Braunfels, TX



938 River Terrace
New Braunfels, TX 78130

TC NO.
24-011

DATE
6/14/2024

DRAWN
ANDING

MAP NO.
007

FIGURE
D-7

**GEOLOGIC ASSESSMENT
ATTACHMENT E - PHOTO LOG**

Attachment E - Photo Log
Site Investigation Photos



Site



Southern Site Boundary Along FM 1863



Western Site Boundary



Northern Site Boundary



Eastern Site Boundary



Center of Site



Typical Grass Vegetation Community



Typical Oak Savannah Vegetation Community



**Typical Ashe Juniper/Oak Vegetation
Community – Northern Site Boundary**



Typical Krum Clays



Krum Clays Soil Test Pit



Typical Medlin Soils



Medlin Soils Test Pit



Typical Limestone Bouldering in Soils



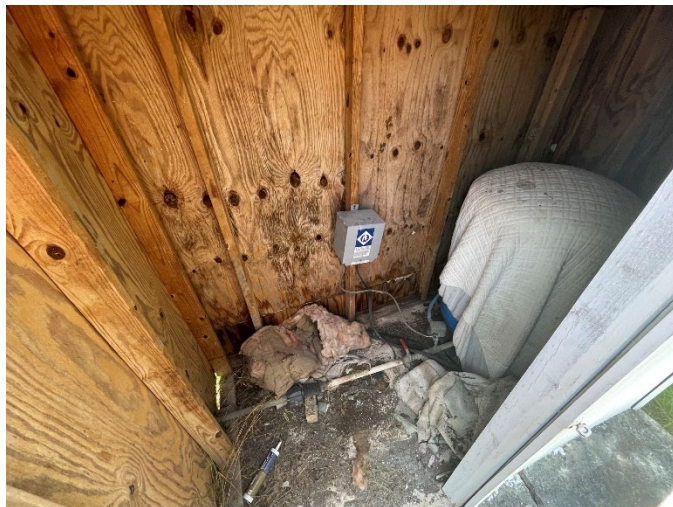
Driveway to Demolished/Removed House



Storage Shed



MB1 – Domestic Water Well House



MB1 – Domestic Water Well House

Water Pollution Abatement Plan Application

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Water Pollution Abatement Plan Application Form** is hereby submitted for TCEQ review and Executive Director approval. The form was prepared by:

Print Name of Customer/Agent: Jessica Calhoun, P.E., CFM

Date: 11/22/24

Signature of Customer/Agent:

Jessica Calhoun

Regulated Entity Name: Chasin' Tails Pet Resort

Regulated Entity Information

1. The type of project is:

- ☐ Residential: Number of Lots: _____
- ☐ Residential: Number of Living Unit Equivalents: _____
- ☒ Commercial
- ☐ Industrial
- ☐ Other: _____

2. Total site acreage (size of property): 2.68

3. Estimated projected population: 0

4. The amount and type of impervious cover expected after construction are shown below:

Table 1 - Impervious Cover Table

Impervious Cover of Proposed Project	Sq. Ft.	Sq. Ft./Acre	Acres
Structures/Rooftops	9,986	÷ 43,560 =	0.229
Parking	7,233	÷ 43,560 =	0.166
Other paved surfaces		÷ 43,560 =	
Total Impervious Cover	17,219	÷ 43,560 =	0.395

Total Impervious Cover 0.395 ÷ **Total Acreage** 2.68 X 100 = 14.75% **Impervious Cover**

5. ☒ **Attachment A - Factors Affecting Surface Water Quality.** A detailed description of all factors that could affect surface water and groundwater quality that addresses ultimate land use is attached.
6. ☒ Only inert materials as defined by 30 TAC §330.2 will be used as fill material.

For Road Projects Only

Complete questions 7 - 12 if this application is exclusively for a road project.

7. Type of project:

- ☐ TXDOT road project.
- ☐ County road or roads built to county specifications.
- ☐ City thoroughfare or roads to be dedicated to a municipality.
- ☐ Street or road providing access to private driveways.

8. Type of pavement or road surface to be used:

- ☐ Concrete
- ☐ Asphaltic concrete pavement
- ☐ Other: _____

9. Length of Right of Way (R.O.W.): _____ feet.

Width of R.O.W.: _____ feet.

L x W = _____ Ft² ÷ 43,560 Ft²/Acre = _____ acres.

10. Length of pavement area: _____ feet.

Width of pavement area: _____ feet.

L x W = _____ Ft² ÷ 43,560 Ft²/Acre = _____ acres.

Pavement area _____ acres ÷ R.O.W. area _____ acres x 100 = _____% impervious cover.

11. ☐ A rest stop will be included in this project.

☐ A rest stop will not be included in this project.

12. ☐ Maintenance and repair of existing roadways that do not require approval from the TCEQ Executive Director. Modifications to existing roadways such as widening roads/adding shoulders totaling more than one-half (1/2) the width of one (1) existing lane require prior approval from the TCEQ.

Stormwater to be generated by the Proposed Project

13. ☒ **Attachment B - Volume and Character of Stormwater.** A detailed description of the volume (quantity) and character (quality) of the stormwater runoff which is expected to occur from the proposed project is attached. The estimates of stormwater runoff quality and quantity are based on the area and type of impervious cover. Include the runoff coefficient of the site for both pre-construction and post-construction conditions.

Wastewater to be generated by the Proposed Project

14. The character and volume of wastewater is shown below:

<u>100%</u> Domestic	<u>1,000</u> Gallons/day
<u> </u> % Industrial	<u> </u> Gallons/day
<u> </u> % Commingled	<u> </u> Gallons/day
TOTAL gallons/day <u>1,000</u>	

15. Wastewater will be disposed of by:

☒ On-Site Sewage Facility (OSSF/Septic Tank):

☒ **Attachment C - Suitability Letter from Authorized Agent.** An on-site sewage facility will be used to treat and dispose of the wastewater from this site. The appropriate licensing authority's (authorized agent) written approval is attached. It states that the land is suitable for the use of private sewage facilities and will meet or exceed the requirements for on-site sewage facilities as specified under 30 TAC Chapter 285 relating to On-site Sewage Facilities.

☒ Each lot in this project/development is at least one (1) acre (43,560 square feet) in size. The system will be designed by a licensed professional engineer or registered sanitarian and installed by a licensed installer in compliance with 30 TAC Chapter 285.

☐ Sewage Collection System (Sewer Lines):

☐ Private service laterals from the wastewater generating facilities will be connected to an existing SCS.

☐ Private service laterals from the wastewater generating facilities will be connected to a proposed SCS.

☐ The SCS was previously submitted on.

☐ The SCS was submitted with this application.

☐ The SCS will be submitted at a later date. The owner is aware that the SCS may not be installed prior to Executive Director approval.

☐ The sewage collection system will convey the wastewater to the _____ (name) Treatment Plant. The treatment facility is:

☐ Existing.

☐ Proposed.

16. ☐ All private service laterals will be inspected as required in 30 TAC §213.5.

Site Plan Requirements

Items 17 – 28 must be included on the Site Plan.

17. ☒ The Site Plan must have a minimum scale of 1" = 400'.

Site Plan Scale: 1" = 60'.

18. 100-year floodplain boundaries:

☐ Some part(s) of the project site is located within the 100-year floodplain. The floodplain is shown and labeled.

☒ No part of the project site is located within the 100-year floodplain.

The 100-year floodplain boundaries are based on the following specific (including date of material) sources(s): FIRM 48091C0430F (effective September 2, 2009)

19. ☒ The layout of the development is shown with existing and finished contours at appropriate, but not greater than ten-foot contour intervals. Lots, recreation centers, buildings, roads, open space, etc. are shown on the plan.

☐ The layout of the development is shown with existing contours at appropriate, but not greater than ten-foot intervals. Finished topographic contours will not differ from the existing topographic configuration and are not shown. Lots, recreation centers, buildings, roads, open space, etc. are shown on the site plan.

20. All known wells (oil, water, unplugged, capped and/or abandoned, test holes, etc.):

☒ There are 1 (#) wells present on the project site and the locations are shown and labeled. (Check all of the following that apply)

☐ The wells are not in use and have been properly abandoned.

☐ The wells are not in use and will be properly abandoned.

☒ The wells are in use and comply with 16 TAC §76.

☐ There are no wells or test holes of any kind known to exist on the project site.

21. Geologic or manmade features which are on the site:

☒ All sensitive geologic or manmade features identified in the Geologic Assessment are shown and labeled.

☐ No sensitive geologic or manmade features were identified in the Geologic Assessment.

☐ **Attachment D - Exception to the Required Geologic Assessment.** A request and justification for an exception to a portion of the Geologic Assessment is attached.

- 22. ☒ The drainage patterns and approximate slopes anticipated after major grading activities.
- 23. ☒ Areas of soil disturbance and areas which will not be disturbed.
- 24. ☒ Locations of major structural and nonstructural controls. These are the temporary and permanent best management practices.
- 25. ☒ Locations where soil stabilization practices are expected to occur.
- 26. ☐ Surface waters (including wetlands).
☒ N/A
- 27. ☒ Locations where stormwater discharges to surface water or sensitive features are to occur.
☐ There will be no discharges to surface water or sensitive features.
- 28. ☒ Legal boundaries of the site are shown.

Administrative Information

- 29. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.
- 30. ☒ Any modification of this WPAP will require Executive Director approval, prior to construction, and may require submission of a revised application, with appropriate fees.

WATER POLLUTION ABATEMENT PLAN
ATTACHMENT A
Factors Affecting Water Quality

The Chasin' Tails Pet Resort site includes the construction of a 7,233 square feet (0.166 acres) commercial building and 9,643 square feet (0.221 acres) of roadway and parking area. The factor affecting water quality is runoff sediment transport from the construction being performed. However, temporary BMP measures were taken to ensure water quality is not impaired by construction.

WATER POLLUTION ABATEMENT PLAN
ATTACHMENT B
Volume and Character of Stormwater

The Chasin' Tails Pet Resort site covers 2.68 acres. The Drainage Area Map that demonstrates both existing and proposed contours (with the corresponding flow calculations) can be found in Exhibit C2.0 Chasin' Tails Pet Resort Drainage Map.

The site is currently a 2.68-acre residential site with 1,171 square feet (0.027 acres) of impervious cover created by two sheds that will remain and an existing asphalt road that will be removed. The remainder of the site is undeveloped. The proposed conditions increase the impervious cover by 16,876 square feet to 17,219 square feet (0.395 acres) or 14.75% at full development. This 14.75% impervious area falls below the 20% or less impervious cover exemption eligibility. Therefore, Chasin' Tails Pet Resort, LLC is requesting to waive the requirement for other Permanent Stormwater BMPs.

The existing runoff from the site was determined using the Rational Method. The existing runoff coefficient ranges from 0.16-0.22 based on a weighted average of impervious cover (asphalt), and undeveloped land based on slopes and land cover. The proposed conditions runoff coefficient a weighted average of impervious (concrete), impervious cover (asphalt), and undeveloped land based slopes and land cover. These values were derived from the most current revision of the City of San Antonio Design Guidance Manual. Tables showing the drainage areas and resulting flows are on the Drainage Area Map referenced above.



COMAL COUNTY

ENGINEER'S OFFICE

October 23, 2024

Jessica Calhoun, P.E.

HMT

via e-mail: Jessica.calhoun@hmtnb.com

Re: Chasin' Tails Dog Kennel WPAP On-Site Sewage Facility Suitability Letter, within Comal County, Texas

Dear Ms. Calhoun:

In accordance with TAC §213.5(b)(4)(F)(ii), Comal County has found that the entire referenced site is suitable for the use of private sewage facilities and will meet the special requirements for on-site sewage facilities located on the Edwards Aquifer recharge zone as specified in TAC §285.40-42 based on the following information submitted to our office on October 23, 2024:

- The Geologic Assessment, prepared by Anding Environmental
- OSSF Design prepared by Greg Johnson, P.E.

According to TAC §285.42(a), if any recharge feature is discovered during construction of an OSSF, all regulated activities near the feature shall be suspended immediately. The owner shall immediately notify the TCEQ San Antonio office of the discovery of the feature. All activities regulated under TAC §213 shall not proceed near the feature until Comal County, in conjunction with the TCEQ San Antonio office, has reviewed and approved a plan proposed to protect the feature, the structural integrity of the OSSF, and the water quality of the aquifer. The plan shall be sealed, signed, and dated by a professional engineer.

If you have any questions or need additional information, please do not hesitate to contact our office.

Sincerely,

Robert Boyd P.E.
Comal County Engineer

cc: Scott Haag, Comal County Commissioner Precinct No. 2



Date October 19, 2024

Permit Number _____

1. APPLICANT / AGENT INFORMATION

Owner Name BACKWOODS HOLDINGS, LLC SERIES 9
Mailing Address c/o 23011 FM 306
City, State, Zip CANYON LAKE, TX 78133
Phone # 830-935-4936
Email traci@psseptics.com

Agent Name GREG W. JOHNSON, P.E.
Agent Address 170 HOLLOW OAK
City, State, Zip NEW BRAUNFELS, TX 78132
Phone # (830) 905-2778
Email gregjohnsonpe@yahoo.com

2. LOCATION

Subdivision Name _____ Unit _____ Lot _____ Block _____
Survey Name / Abstract Number J.J. HARTMAN SURVEY NO. 358, A-259 Acreage 2.694
Address 1182 F.M. 1863 City NEW BRAUNFELS State TX Zip 78132

3. TYPE OF DEVELOPMENT

☐ Single Family Residential

Type of Construction (House, Mobile, RV, Etc.) _____

Number of Bedrooms _____

Indicate Sq Ft of Living Area _____

☒ Non-Single Family Residential

(Planning materials must show adequate land area for doubling the required land needed for treatment units and disposal area)

Type of Facility DOG KENNEL

Offices, Factories, Churches, Schools, Parks, Etc. - Indicate Number Of Occupants 5 EMPLOYEES & UP TO 70 DOGS

Restaurants, Lounges, Theaters - Indicate Number of Seats _____

Hotel, Motel, Hospital, Nursing Home - Indicate Number of Beds _____

Travel Trailer/RV Parks - Indicate Number of Spaces _____

Miscellaneous _____

Estimated Cost of Construction: \$ 500,000 (Structure Only)

Is any portion of the proposed OSSF located in the United States Army Corps of Engineers (USACE) flowage easement?

☐ Yes ☒ No (If yes, owner must provide approval from USACE for proposed OSSF improvements within the USACE flowage easement)

Source of Water ☐ Public ☒ Private Well ☐ Public Well ☐ Rainwater Collection

4. SIGNATURE OF OWNER

By signing this application, I certify that:

- The completed application and all additional information submitted does not contain any false information and does not conceal any material facts. I certify that I am the property owner or I possess the appropriate land rights necessary to make the permitted improvements on said property.
- Authorization is hereby given to the permitting authority and designated agents to enter upon the above described property for the purpose of site/soil evaluation and inspection of private sewage facilities..
- I understand that a permit of authorization to construct will not be issued until the Floodplain Administrator has performed the reviews required by the Comal County Flood Damage Prevention Order.
- I affirmatively consent to the online posting/public release of my e-mail address associated with this permit application, as applicable.

Signature of Owner _____

Date _____

AFFIDAVIT

THE COUNTY OF COMAL
STATE OF TEXAS

CERTIFICATION OF OSSF REQUIRING MAINTENANCE

According to Texas Commission on Environmental Quality Rules for On-Site Sewage Facilities (OSSF's), this document is filed in the Deed Records of Comal County, Texas.

I

The Texas Health and Safety Code, Chapter 366 authorizes the Texas Commission on Environmental Quality (TCEQ) to regulate on-site sewage facilities (OSSFs). Additionally, the Texas Water Code (TWC), § 5.012 and § 5.013, gives the commission primary responsibility for implementing the laws of the State of Texas relating to water and adopting rules necessary to carry out its powers and duties under the TWC. The commission, under the authority of the TWC and the Texas Health and Safety code, requires owner's to provide notice to the public that certain types of OSSFs are located on specific pieces of property. To achieve this notice, the commission requires a recorded affidavit. Additionally, the owner must provide proof of the recording to the OSSF permitting authority. This recorded affidavit is not a representation or warranty by the commission of the suitability of this OSSF, nor does it constitute any guarantee by the commission that the appropriate OSSF was installed.

II

An OSSF requiring a maintenance contract, according to 30 Texas Administrative Code §285.91(12) will be installed on the property described as **(insert legal description):**

_____ UNIT/PHASE/SECTION _____ BLOCK _____ LOT _____ SUBDIVISION

IF NOT IN SUBDIVISION: 2.694 ACREAGE J.J. HARTMAN SURVEY NO. 358, A-259 SURVEY

The property is owned by **(insert owner's full name):** _____

This OSSF must be covered by a continuous maintenance contract for the first two years. After the initial two-year service policy, the owner of an aerobic treatment system for a single family residence shall either obtain a maintenance contract within 30 days or maintain the system personally.

Upon sale or transfer of the above-described property, the permit for the OSSF shall be transferred to the buyer or new owner. A copy of the planning materials for the OSSF can be obtained from the Comal County Engineer's Office.

WITNESS BY HAND(S) ON THIS _____ DAY OF _____, 2024

Owner(s) signature(s)

Owner (s) Printed name (s)

_____ SWORN TO AND SUBSCRIBED BEFORE ME ON THIS _____ DAY OF _____, 2024

Notary Public Signature

THIS AREA FOR COMAL COUNTY CLERK RECORDING PURPOSES ONLY

X

(Notary Seal Here)

WASTEWATER TREATMENT FACILITY MONITORING AGREEMENT

Regulatory Authority COMAL
Block Creek Aerobic Services, LLC
444 A Old Hwy #9
Comfort, TX 78013
Off. (830) 995-3189
Fax. (830) 995-4051

Permit/License Number _____
Customer BACKWOODS HOLDINGS, LLC, series 9
Site Address 1182 FM 1863
City NEW BRAUNFELS Zip 78132
Mailing Address _____
County COMAL Map # CCEO 68, E3
Phone _____
Email _____

J.J. HARTMAN SURVEY NO. 358, A-259, being
2.694 acres

I. General: This Work for Hire Agreement (hereinafter referred to as "Agreement") is entered into by and between BACKWOODS HOLDINGS, LLC, series 9 (hereinafter referred to as "Customer") and Block Creek Aerobic Services, LLC. By this agreement, Block Creek Aerobic Services, LLC and its employees (hereinafter inclusively referred to as "Contractor") agree to render services at the site address stated above, as described herein, and the Customer agrees to fulfill his/her/their responsibilities, as described herein.

II. Effective Date:

This Agreement commences on LTO and ends on _____ for a total of two (2) years (initial agreement) or one (1) year (thereafter). If this is an initial agreement (new installation), the Customer shall notify the Contractor within two (2) business days of the system's first use to establish the date of commencement. If no notification is received by Contractor within ninety (90) days after completion of installation or where county authority mandates, the date of commencement will be the date the "License to operate" (Notice of Approval) was issued by the permitting authority. This agreement may or may not commence at the same time as any warranty period of installed equipment, but in no case shall it extend the specified warranty.

III. Termination of Agreement:

This Agreement may be terminated by either party for any reason, including for example, substantial failure of either party to perform in accordance with the terms of this Agreement, without fault or liability of the terminating party. The terminating party must provide written notice to the non-terminating party thirty (30) days prior to the termination of this Agreement. If this Agreement is terminated, Contractor will be paid at the rate of \$75.00 per hour for any work performed and for which compensation has not been received. After the deduction of all outstanding charges, any remaining monies from prepayment for services will be refunded to customer within thirty (30) days of termination of this Agreement. Either party terminating this Agreement for any reason, including non-renewal, shall notify in writing the equipment manufacturer and the appropriate regulatory agency a minimum of thirty (30) days prior to the date of such termination. Nonpayment of any kind shall be considered breach of contract and a termination of contract.

IV. Services:

Contractor will:

- a. Inspect and perform routine upkeep on the On-Site Sewage Facility (hereinafter referred to as OSSF) as recommended by the treatment system manufacturer, and required by state and/or local regulation, for a total of three visits to site per year. The list of items checked at each visit shall be the: control panel, Electrical circuits, timer, Aeration including compressor and diffusers, CFM/PSI measured, lids safety pans, pump, compressor, sludge levels, and anything else required as per the manufacturer.
- b. Provide a written record of visits to the site by means of an inspection tag attached to or contained in the control panel.
- c. Repair or replace, if Contractor has the necessary materials at site, any component of the OSSF found to be failing or inoperative during the course of a routine monitoring visit. If such services are not covered by warranty, and the service(s) cost less than \$100.00, Customer hereby authorizes Contractor to perform the service(s) and bill Customer for said service(s). When service costs are greater than \$100.00, or if contractor does not have the necessary supplies at the site, Contractor will notify Customer of the required service(s) and the associated cost(s). Customer must notify Contractor of arrangements to affect repair of system within two (2) business days after said notification.
- d. Provide sample collection and laboratory testing of TSS and BOD on a yearly basis (commercial systems only).
- e. Forward copies of this Agreement and all reports to the regulatory agency and the Customer.
- f. Visit site in response to Customer's request for unscheduled services within forty-eight (48) hours of the date of notification (weekends and holidays excluded) of said request. Unless otherwise covered by warranty, costs for such unscheduled responses will be billed to Customer.

V. Disinfection:

RC



Customer's Initials

Contractor's Initials

____ Not required; X required. The responsibility to maintain the disinfection device(s) and provide any necessary chemicals is that of the Customer.

VI. Electronic Monitoring:

Electronic Monitoring is not included in this Agreement.

VII. Performance of Agreement:

Commencement of performance by Contractor under this Agreement is contingent on the following conditions:

a. If this is an initial Agreement (new installation):

1. Contractor's receipt of a fully executed original copy or facsimile of this agreement and all documentation requested by Contractor.

If the above conditions are not met, Contractor is not obligated to perform any portion of this Agreement.

VIII. Customer's Responsibilities:

The customer is responsible for each and all of the following:

a. Provide all necessary yard or lawn maintenance and removal of all obstacles, including but not limited to dogs and other animals, vehicles, trees, brush, trash, or debris, as needed to allow the OSSF to function properly, and to allow Contractor safe and easy access to all parts of the OSSF.

b. Protect equipment from physical damage including but not limited to that damage caused by insects.

c. Maintain a current license to operate, and abide by the conditions and limitations of that license, and all requirements for and OSSF from the State and/or local regulatory agency, whichever requirements are more stringent, as well as the proprietary system's manufacturer recommendations.

d. Notify Contractor immediately of any and all alarms, and/or any and all problems with, including failure of, the OSSF.

e. Provide, upon request by Contractor, water usage records for the OSSF so that the Contractor can perform a proper evaluation of the performance of the OSSF.

f. Allow for samples at both the inlet and outlet of the OSSF to be obtained by Contractor for the purpose of evaluating the OSSF's performance. If these samples are taken to a laboratory for testing, with the exception of the service provided under Section IV (d) above, Customer agrees to pay Contractor for the sample collection and transportation, portal to portal, at a rate of \$35.00 per hour, plus the associated fees for laboratory testing.

g. Prevent the backwash or flushing of water treatment or conditioning equipment from entering the OSSF.

h. Prevent the condensation from air conditioning or refrigeration units, or the drains of icemakers, from hydraulically overloading the aerobic treatment units. Drain lines may discharge into the surface application pump tank if approved by system designer.

i. Provide for pumping and cleaning of tanks and treatment units, when and as recommended by Contractor, at Customer's expense.

j. Maintain site drainage to prevent adverse effects on the OSSF.

k. Pay promptly and fully, all Contractor's fees, bills, or invoices as described herein.

IX. Access by Contractor:

Contractor is hereby granted an easement to the OSSF for the purpose of performing services described herein. Contractor may enter the property during Contractor's normal business hours and/or other reasonable hours without prior notice to Customer to perform the Services and/or repairs described herein. Contractor shall have access to the OSSF electrical and physical components. Tanks and treatment units shall be accessible by means of man ways, or risers and removable covers, for the purpose of evaluation as required by State and/or local rules and the proprietary system manufacturer. It is Customers responsibility to keep lids exposed and accessible at all times.

X. Limit of Liability:

Contractor shall not be held liable for any incidental, consequential, or special damages, or for economic loss due to expense, or for loss of profits or income, or loss of use to Customer, whether in contract tort or any other theory. In no event shall Contractor be liable in an amount exceeding the total Fee for Services amount paid by Customer under this Agreement.

XI. Indemnification:

Customer (whether one or more) shall and does hereby agree to indemnify, hold harmless and defend Contractor and each of its successors, assigns, heirs, legal representatives, devisees, employees, agents and/or counsel (collectively "Indemnitees") from and against any and all liabilities, claims, damages, losses, liens, causes of action, suits, fines, judgments and other expenses (including, but not limited to, attorneys' fees and expenses and costs of investigation), of any kind, nature or description, (hereinafter collectively referred to as "Liabilities") arising out of, caused by, or resulting, in whole or in part, from this Agreement.

RC

Customer's Initials



Contractor's Initials

THIS INDEMNIFICATION APPLIES EVEN IF SUCH LIABILITIES ARE CAUSED BY THE CONCURRENT OR CONTRIBUTORY NEGLIGENCE OR BY THE STRICT LIABILITY OF ANY INDEMNITEE.

Customer hereby waives its right of recourse as to any Indemnitee when Indemnification applies, and Customer shall require its insurer(s) to waive its/their right of subrogation to the extent such action is required to render such waiver of subrogation effective. Customer shall be subrogated to Indemnitees with respect to all rights Indemnitees may have against third parties with respect to matters as to which Customer provides indemnity and/or defense to Indemnitees. No Indemnification is provided to Indemnitees when the liability or loss results from (1) the sole responsibility of such Indemnitee; or, (2) the willful misconduct of such Indemnitee. Upon irrevocable acceptance of this Indemnification obligation, Customer, in its sole discretion, shall select and pay counsel to defend Indemnitees of and from any action that is subject to this Indemnification provision. Indemnitees hereby covenant not to compromise or settle any claim or cause of action for which Customer has provided Indemnification without the consent of Customer.

XII. Severability:

If any provision of the "Proposal and Contract" shall be held to be invalid or unenforceable for any reason, the remaining provisions shall continue to be valid and enforceable. If a court finds that any provision of the "Agreement" is invalid or unenforceable, but that by limiting such provision it would become valid and enforceable, then such provision shall be deemed to be written, construed, and enforced as so limited.

XIII. Fee for Services:

The Fee for Services does not include any fees for equipment, material, labor necessary for non-warranty repairs, unscheduled inspections, or Customer requested visits to the site.

XIV. Payment:

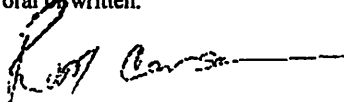
Full payment is due upon execution of this Agreement (Required of new Customer). For any other service(s) or repair(s) provided by Contractor the Customer shall pay the invoice(s) for said service(s) or repair(s) within thirty (30) days of the invoice date. The Contractor shall mail all invoices on the date of invoice. All payments not received within thirty (30) days from the invoice date will be subject to a \$29.00 late penalty and a 1.5% per month carrying charge, as well as any reasonable attorney's fees, and all collection and court costs incurred by Contractor in collection of unpaid debt(s). Contractor may terminate contract at any time for nonpayment for services. Any check returned to Contractor for any reason will be assessed a \$30.00 return check fee.

XV. Application or Transfer of payment:

The fees paid for this agreement may be transferred to subsequent property owner(s); however, this Agreement is not transferable. Customer shall advise the subsequent property owner(s) of the State requirement that they sign a replacement agreement authorizing Contractor to perform the herein described Services, and accepting Customer's Responsibilities. This replacement Agreement must be signed and received in Contractor's offices within ten (10) business days of date of transfer of property ownership. Contractor will apply all funds received from Customer first to any past due obligation arising from this Agreement including late fees or penalties, return check fees, and/or charges for services or repairs not paid within thirty (30) days of invoice date. Any remaining monies shall be applied to the funding of the replacement Agreement. The consumption of funds in this manner may cause a reduction in the termination date of effective coverage per this Agreement. See Section IV.

XVI. Entire Agreement:

This agreement contains the entire Agreement of the parties, and there are no other conditions in any other agreement, oral or written.



Rudy Carson

Block Creek Aerobic Services, LLC,
Contractor
MP# 0002036

Customer Signature

Date

Customer's Initials



Contractor's Initials

RC

**ON-SITE SEWERAGE FACILITY
SOIL EVALUATION REPORT INFORMATION**

Date Soil Survey Performed: October 15, 2024

Site Location: 2.694 ACRES OUT OF THE J.J. HARTMAN SURVEY No. 358, A-259

Proposed Excavation Depth: N/A

Requirements:

At least two soil excavations must be performed on the site, at opposite ends of the proposed disposal area.

Locations of soil boring or dug pits must be shown on the site drawing.

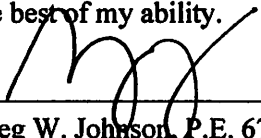
For subsurface disposal, soil evaluations must be performed to a depth of at least two feet below the proposed excavation depth. For surface disposal, the surface horizon must be evaluated.

Describe each soil horizon and identify any restrictive features on the form. Indicate depths where features appear.

SOIL BORING NUMBER <u> </u> SURFACE EVALUATION <u> </u>						
Depth (Feet)	Texture Class	Soil Texture	Gravel Analysis	Drainage (Mottles/ Water Table)	Restrictive Horizon	Observations
0	IV	CLAY	N/A	NONE OBSERVED	LIMESTONE @ 8"	BROWN
1						
2						
3						
4						
5						

SOIL BORING NUMBER <u> </u> SURFACE EVALUATION <u> </u>						
Depth (Feet)	Texture Class	Soil Texture	Gravel Analysis	Drainage (Mottles/ Water Table)	Restrictive Horizon	Observations
0	SAME		AS		ABOVE	
1						
2						
3						
4						
5						

I certify that the findings of this report are based on my field observations and are accurate to the best of my ability.



Greg W. Johnson, P.E. 67587-F2585, S.E. 11561

10/15/24

Date

FIRM #2585

AEROBIC DRIP SYSTEM
DESIGNED FOR:
BACKWOOD HOLDINGS, LLC
c/o 23011 FM 306
CANYON LAKE, TEXAS 78133

SITE DESCRIPTION:

Located in the J.J. Hartman Survey No. 358, A-259, at 1182 F.M. 1863, the septic system will serve a dog kennel that wash dogs, *(without the use of flea/tick treatments, dyes or other harsh chemicals)*, when leaving. Strength of the waste will be considered to be a strength of 600 mg/ltr BOD5. Shallow Type IV soils (See OSSF Soil Evaluation Report) were found throughout. Aerobic treatment with spray irrigation with extended aeration was selected as the most appropriate system for the conditions on this lot.

PROPOSED SYSTEM:

A three or four inch SCH-40 pipe discharges from the kennel building to a 1000 gallon dual compartment tank with standard inlet and outlet tees with a Zabel 8" A300 filter then into a 639 gal trash / 1447 gallon Flow Equalization tank containing dual alternating Liberty LE 50 0.5 HP sewage pumps. Effluent is pumped ten minutes each hour at a rate not to exceed 4.2 gpm, controlled by a Omron H3CR cycle timer, though 2" SCH40 PVC to a 2086 gallon aeration tank fitted with HiBlow HP150 aerator with Thomas air diffusers. Should the pump fail an audible visual alarm will sound and the alternate pump will activate. After aeration effluent gravity feeds through a Zabel 8" A300 filter then to a Maxx Air M-1500 aerobic treatment plant. The effluent, after processing enters a 2086 gallon pump chamber. The well pump is activated by a Grasslin Digi20 FM1D20 cycle timer and dual alternating controller (with manual reset) alternating fields with distribution four times per day with an twenty five minute run time with float setting at 1000 gallons. A high level audible and visual alarm will activate should the pump fail and activate the alternate pump. Distribution from each pump is through a 1.25" SCH-40 manifold fitted with a RG3 PPD10 meter, then to a 17,693 sf. spray field as per the attached schematic. Field area will be heavily seeded with hearty grass prior to system startup. **Risers are required on tank inspection ports as per 30 TAC 285.38 (9/1/2023). This includes access limitation (<65lbs lid or hardware secured lid), inspection and cleanout ports shall have risers over the port openings which extend to a minimum of two inches above grade. A secondary plug, cap, or other suitable restraint system shall be provided below the riser cap to prevent tank entry if the cap is unknowingly damaged or removed. Fencing recommended around treatment tanks to limit public access.**

DESIGN SPECIFICATIONS:

Q = 1000 gpd Design Rate

(5 employees @ 8gpd) = 40 gpd

Dog baths (80/week x 10min x 2gpm) / 7 d/wk = 229 gpd

Kennel (70 x 6gpd) = 420 gpd

Laundry 5 loads x 40 gal/load
Expected Total Daily Flow

200 gpd
889 gpd

Pretreatment tank size: 1000 gal two compartment w/ standard inlet and outlet tees fitted with a Zabel 8" A300 filter in outlet tee

Trash /Equalization Tank- 639/1447 gallon w/dual Liberty LE 50 0.5 HP pumps

Aeration Tank - 2086 gal fitted w/ air stones & HP150 w/ Zabel 8" A300 filter in outlet tee.

Plant Size: MAXX AIR M-1500 1500 gpd (TCEQ Approved)

Pump tank size: 2086 Gal (see gal/in chart)

Reserve capacity after High Level: 100 Gal (4 hrs flow Req'd)

Application Rate: Ra = 0.10 gal/sf

Total absorption area: $Q/Ra = 1000 \text{ GPD}/0.064 = 15,625 \text{ sf}$. Actual : 17,693 sf.

Pump requirement: 3 or 4 spray heads @ 3.1 gpm @ 42 psi = 9.3 & 12.4 gpm

Pump Requirement (cont.): (Dual 0.5 HP Ashland CPM -Series-115V)

1.25" SCH-40 PVC discharge manifold.

RG3 PPD10 meter on each supply line

Control Panel: RJR ALT-DT-LA Nema 4x Dual alternating controller w/ manual reset & Audible & visual high water level alarm & air pump malfunction.

Timers: Omron H3CR cycle timer on EQ tank & Grasslin Digi20 FM1D20 cycle timer on final pump tank

Note: All electrical wiring must be in conduit

WASTE FLOW CALCULATIONS:

Design Rate #BOD5 @ 1000 gpd x 600 mg/l x 8.34 #/gal / 1,000,000 = 5 lbs BOD5

This design utilizes extended aeration to lower the organic loading from the business.

Using aeration requirements in Chapter 217 Table F1 & F3 for extended aeration in the tanks are as follows:

Oxygen requirement: 2.2 lbs of O2/lb of BOD and 500 gal aeration volume per lbs of BOD5

Aeration Tank Sizing: 2086 gal aeration x 0.002 #/gal = 4.2 # BOD5 w/ two Thomas Air Diffusers

Required Aeration: $2.2 \text{ #O}_2 \text{ per lb of BOD5} = 2.2 * 5 \text{ #BOD5} = 11 \text{ #}$

Efficiency for fine air diffusers are 2-2.5% per foot of depth

HiBlow Each HP-150 generates 5 CFM / 58.2 CF/# * 1440 min/d = 123.7 #O2/day

123.7 #O2/day 10% efficiency / 2.2#/lbBOD2 = 5.62 #BOD5 with 3psi backpressure

Thomas air diffusers at set at 5' of water 2 psi back pressure w/ additional 1 psi loss through diffuser assembly #BOD5

Aeration Volume: 1500 gpd ATU reduces 3.75# BOD5 ATU's = 3.75 #

Actual Reduction 4.2 #BOD5 + 3.75# BOD5 = 7.95# > 5 # BOD5 Required

Based on Chapter 217 sizing this treatment arrangement will provide the required wastewater treatment.

PIPE AND FITTINGS:

All pipes and fittings in this drip tubing system shall be Schedule 40 PVC. All joints shall be sealed with approved solvent-type PVC cement. Clipper type cutters are recommended to prevent PVC burrs during cutting of pipes causing possible plugging.

EQUALIZATION PUMP TANK SETTINGS:

2086 gallon equalization tank (see gal/in.chart)

Reserve capacity after High Level: 500gal = 13.25" (>4hrs flow)

Volume below working level = 8" = 263 gal

Surge capacity = 32" = 1200 gal

Working level = 3" = 104 gal (>60 gal)

Digital cycle timer will allow the pump to cycle dose each hour for 20 min. @ 3gal/min and dose 60 gal.

Alarm will activate should the pump fail. Should one pump fail the alarm will sound and the alternate pump will continue to dose to aeration tank.

AEROBIC PUMP TANK SETTINGS:

2086 gallon tank = (see gal/in. chart)

Reserve capacity after High Level: 500gal = 13.25" (>4hrs flow)

Volume below working level = 12" = 396 gal

Working level = 1000 gal = 30.5"

Reserve Capacity = 334 gal = 10"

PRESSURE LOSS CALCULATIONS:

Flow rate to field is 9.3 gpm through 1.25" SCH-40

$PL = 1.2(FI)/100 * LENGTH$

$PL = 1.2(1.3)/100 * 349 \text{ ft} + 1.2(0.55)/100 * 90 \text{ ft} + 1.2(0.16)/100 * 64 \text{ ft} = 6.24 \text{ feet loss} = 2.7 \text{ psi}$

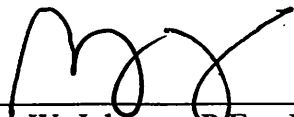
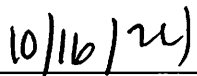
Maximum pressure loss in supply line

NOTES

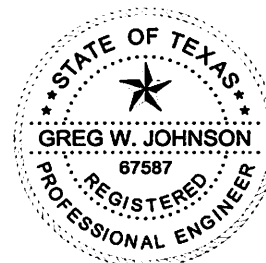
- ▶ A continuous maintenance contract is required to be maintained on this septic system with BOD5 monitoring every six months for the first two years.
- ▶ Septic system requires periodic pumping each one to five years depending on usage.
- ▶ Construction material, specifications and all construction methods shall conform to the requirements set forth in the construction standards for on-site sewage facilities from TCEQ.
- ▶ The installer must be licensed by the State of Texas and install according to design specifications and obtain inspections by authorized agent throughout the installation process.
- ▶ All piping must be a SCH-40 PVC.

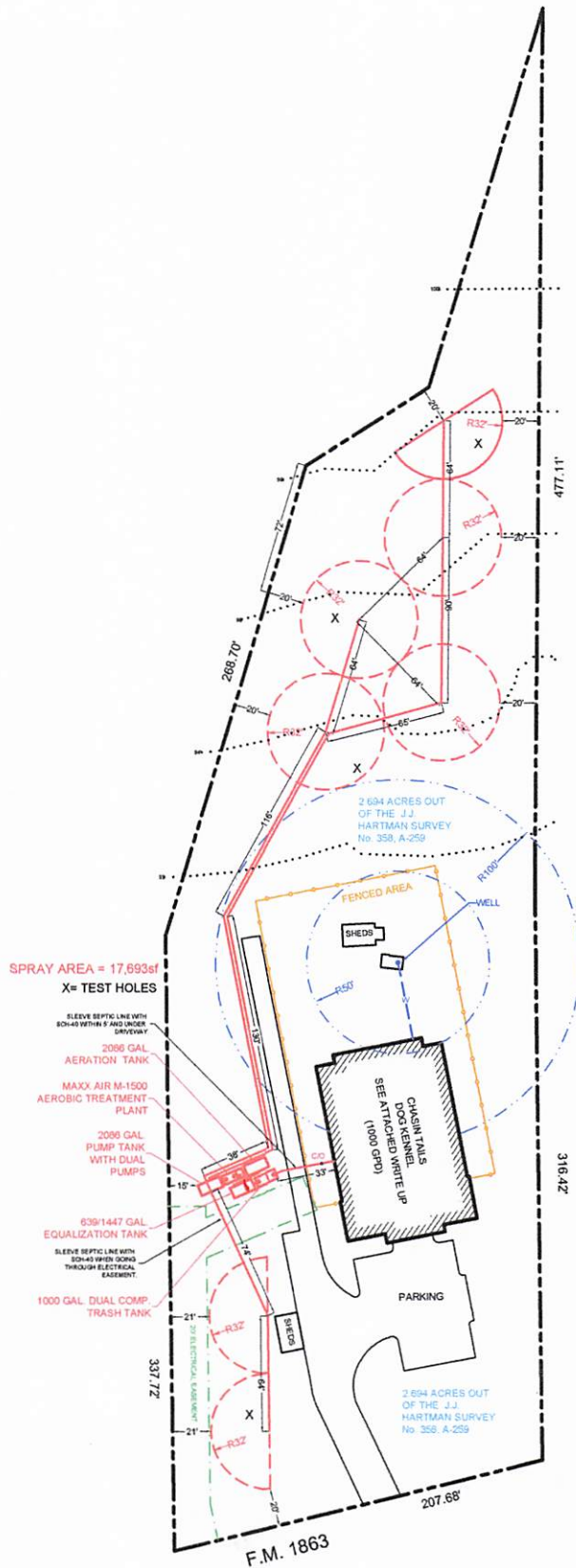
- ▶ All tanks must be installed greater than five feet from any structure and be level within 1" and bedded with a minimum of 4" of sand/sandy loam free of rock.
- ▶ Risers are required on tank inspection ports as per 30 TAC 285.38 (9/1/2023). This includes access limitation (<65lbs lid or hardware secured lid), inspection and cleanout ports shall have risers over the port openings which extend to a minimum of two inches above grade. A secondary plug, cap, or other suitable restraint system shall be provided below the riser cap to prevent tank entry if the cap is unknowingly damaged or removed. Fencing recommended around treatment tanks to limit public access. All septic tanks inlet and outlets must be sealed with a permanent waterproof sealant.
- ▶ A minimum of 1/8" per foot fall per foot is required on sewer line to the septic.
- ▶ All public waterlines must maintain ten feet separation from this septic system.
- ▶ Any public waterline crossing sewer line will be in accordance with TAC 30 Chapter 290.44 (e)(B)(ii) by centering the waterline line pipe a minimum of six inches above the sewer pipe and additionally, sleeving the waterline with SCH-40 PVC within nine feet of the sewer line. Sewer line to be bedded in 10% cement stabilized sand (at least 2.5 bags per cubic yard of mixture), minimum 6" above and 4" below sewer pipe and for total length of one pipe segment plus 12" beyond the joint on each end.
- ▶ (v) Where cement stabilized sand bedding is required, the cement stabilized sand shall have a minimum of 10% cement per cubic yard of cement stabilized sand mixture, based on loose dry weight volume (at least 2.5 bags of cement per cubic yard of mixture). The cement stabilized sand bedding shall be a minimum of six inches above and four inches below the wastewater main or lateral. The use of brown coloring in cement stabilized sand for wastewater main or lateral bedding is recommended for the identification of pressure rated wastewater mains during future construction.
- ▶ **Owner to submit monthly flow monitoring reports of daily flow readings for the first year.**
- ▶ **Toxic Chemicals are not to be introduced into septic system, like dyes and fleas/tick treatments, but should be stored in leak proof containers and disposed off site in accordance with federal, state, and local ordinances.**

Designed in accordance with Chapter 285, Subchapter D, §285.30, Texas Commission on Environmental Quality (Effective December 29, 2016).

 Greg W. Johnson, P.E. No. 67587 - F#2585
 170 Hollow Oak
 New Braunfels, Texas 78132 (830) 905-2778





OWNER:	BACKWOODS HOLDINGS, LLC. series 9		DRAWN BY:	EJS III
STREET ADDRESS:	1182 F.M. 1863			
LEGAL DESC:	J.J. HARTMAN SURVEY No. 358, A-259		ACREAGE:	2.694
PREPARED BY:	GREG W. JOHNSON, P.E. F#002585	SCALE:	1"=100'	DATE: 10/16/2024
				REVISED:

SPRAY AREA = 17,693sf

X= TEST HOLES

SLEEVE SEPTIC LINE WITH
SCH-40 WITHIN 5' AND UNDER
DRIVEWAY.

2086 GAL.
AERATION TANK

MAXX AIR M-1500
AEROBIC TREATMENT
PLANT

2086 GAL.
PUMP TANK
WITH DUAL
PUMPS

639/1447 GAL.
EQUALIZATION TANK

SLEEVE SEPTIC LINE WITH
SCH-40 WHEN GOING
THROUGH ELECTRICAL
EASEMENT.

1000 GAL. DUAL COMP.
TRASH TANK

337.72'

20' ELECTRICAL EASEMENT

F.M. 1863

SHEDS

R50'

WELL

CHASIN TAILS
DOG KENNEL
(1000 GPD)
SEE ATTACHED WRITE UP

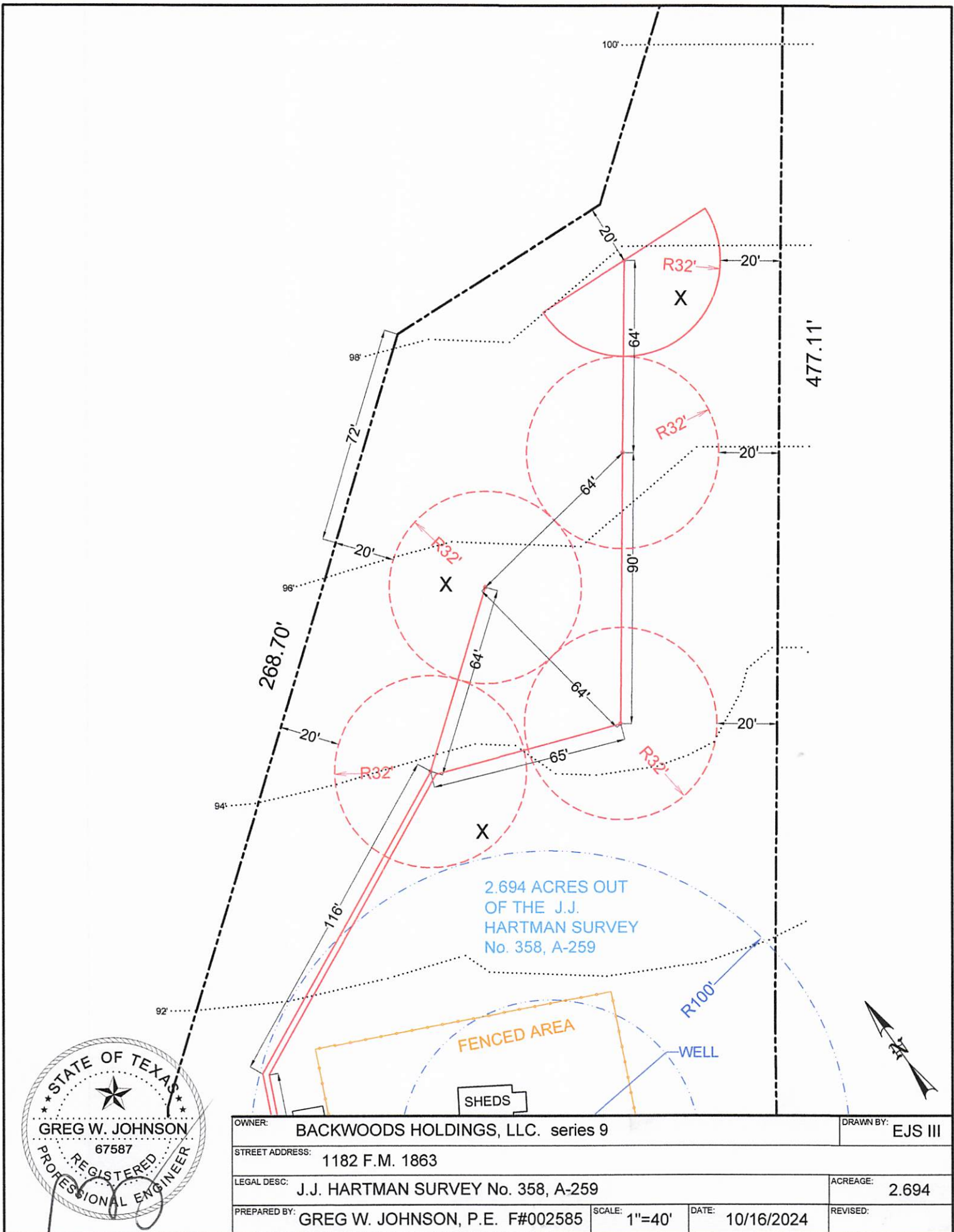
PARKING

2.694 ACRES OUT
OF THE J.J.
HARTMAN SURVEY
No. 358, A-259

207.68'



OWNER:	BACKWOODS HOLDINGS, LLC. series 9		DRAWN BY:	EJS III
STREET ADDRESS:	1182 F.M. 1863			
LEGAL DESC:	J.J. HARTMAN SURVEY No. 358, A-259		ACREAGE:	2.694
PREPARED BY:	GREG W. JOHNSON, P.E. F#002585	SCALE:	1"=40'	DATE: 10/16/2024
		REVISED:		



OWNER: BACKWOODS HOLDINGS, LLC. series 9			DRAWN BY: EJS III	
STREET ADDRESS: 1182 F.M. 1863				
LEGAL DESC: J.J. HARTMAN SURVEY No. 358, A-259			ACREAGE: 2.694	
PREPARED BY: GREG W. JOHNSON, P.E. F#002585		SCALE: 1"=40'	DATE: 10/16/2024	REVISED:



A100 Filter

A100 Filter 1/16" Filtration 8" and 12" Diameter

This filter is ideal for larger homes, multi-family homes or light commercial settings where increased flows or higher quality effluent is required. The A100-8 Series is sized to handle flow rates from 2500 to 5100 GPD and is available in three different lengths. The A100-12 Series, installed in more locations than any other filter on the market, is sized to handle flow rates from 5700 to 10000 GPD. The A100-12 Series can be used in almost any application. Independent research has shown the A100-12 series decreases TSS by 50-90% and CBOD5 by 20-40%. With 1/16" filtration, the A100-8 Series filter is available in 18", 26" and 32" lengths. The A100-12 Series filter is available in 20", 28" and 36" lengths.



A300 Filter

A300 Filter 1/32" Filtration 8" and 12" Diameter

The finer 1/32" level of filtration achieved with the A300-8 filter makes this the perfect effluent filter for small grease trap applications, dog kennels, laundromats and other applications where fine suspended solids are present. The A300 series offers flow rates of 1700-7900 GPD. The A300-12 Series provides 1/32" filtration and has been shown to reduce FOG by as much as 50-98%. The A300-12 series offers flow rates of 3000-6000 GPD. The A300-12 is also used for onsite wastewater systems which require a finer level of TSS removal. The A300-8 Series filter is available in 12", 26" and 32" lengths. The A300-12 Series filter is available in 20", 28" and 36" lengths.



A600 Filter

A600 Filter 1/64" Filtration 8" and 12" Diameter

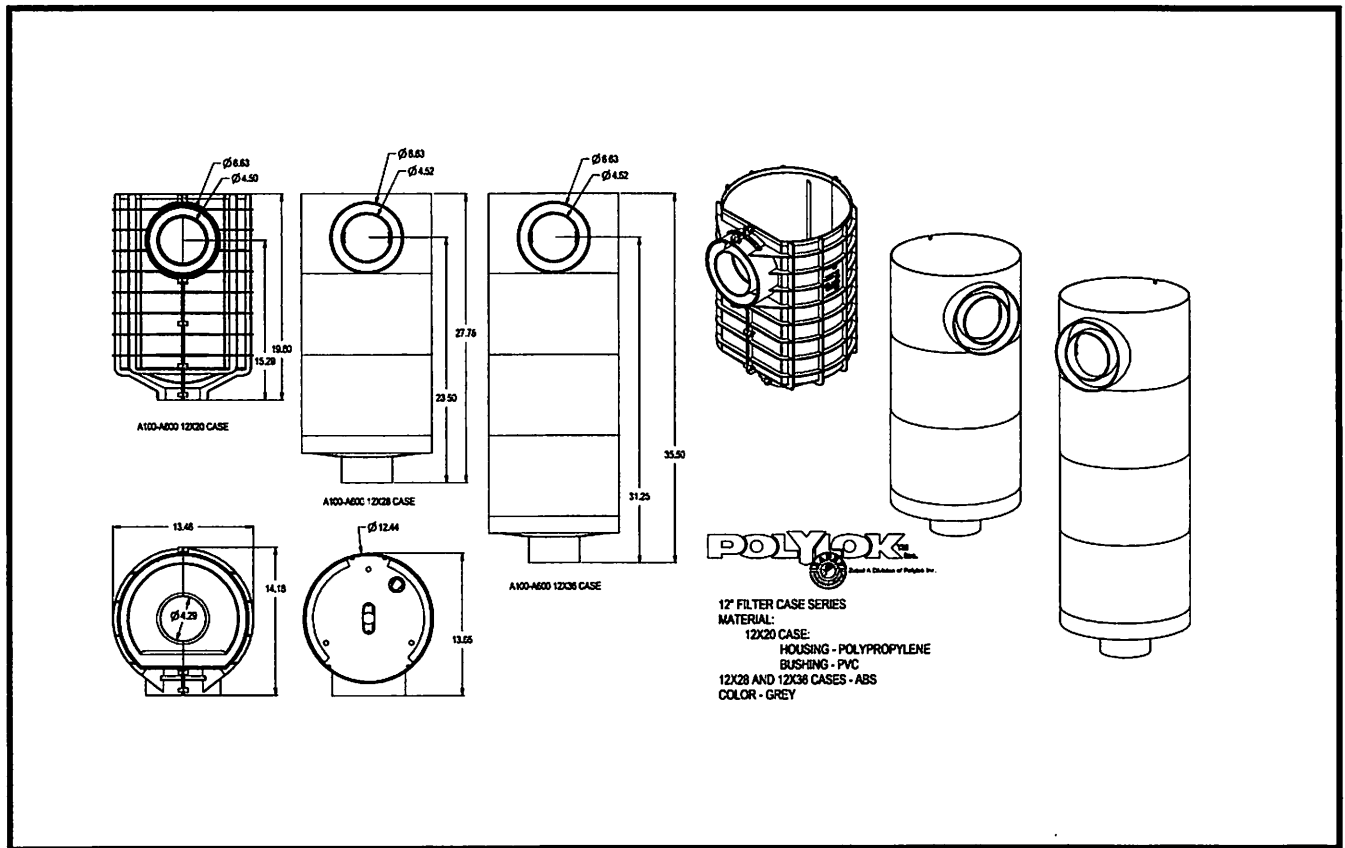
The A600 is ideal for specialty applications where very fine filtration is required and low flows are expected. Due to fine, 1/64" level filtration, every A600 comes equipped with a SmartFilter® switch and alarm. The SmartFilter® switch provides notification of required filter servicing through the use of both an audible and visual alarm. A minimum of a 3" drop is required in the tank for proper SmartFilter® operation. The A600-8 Series filter is available in 18", 26" and 32" lengths. The A600-12 Series is available in 20", 28" and 36" lengths. The A600 offers flow rates between 1000-4500 GPD.



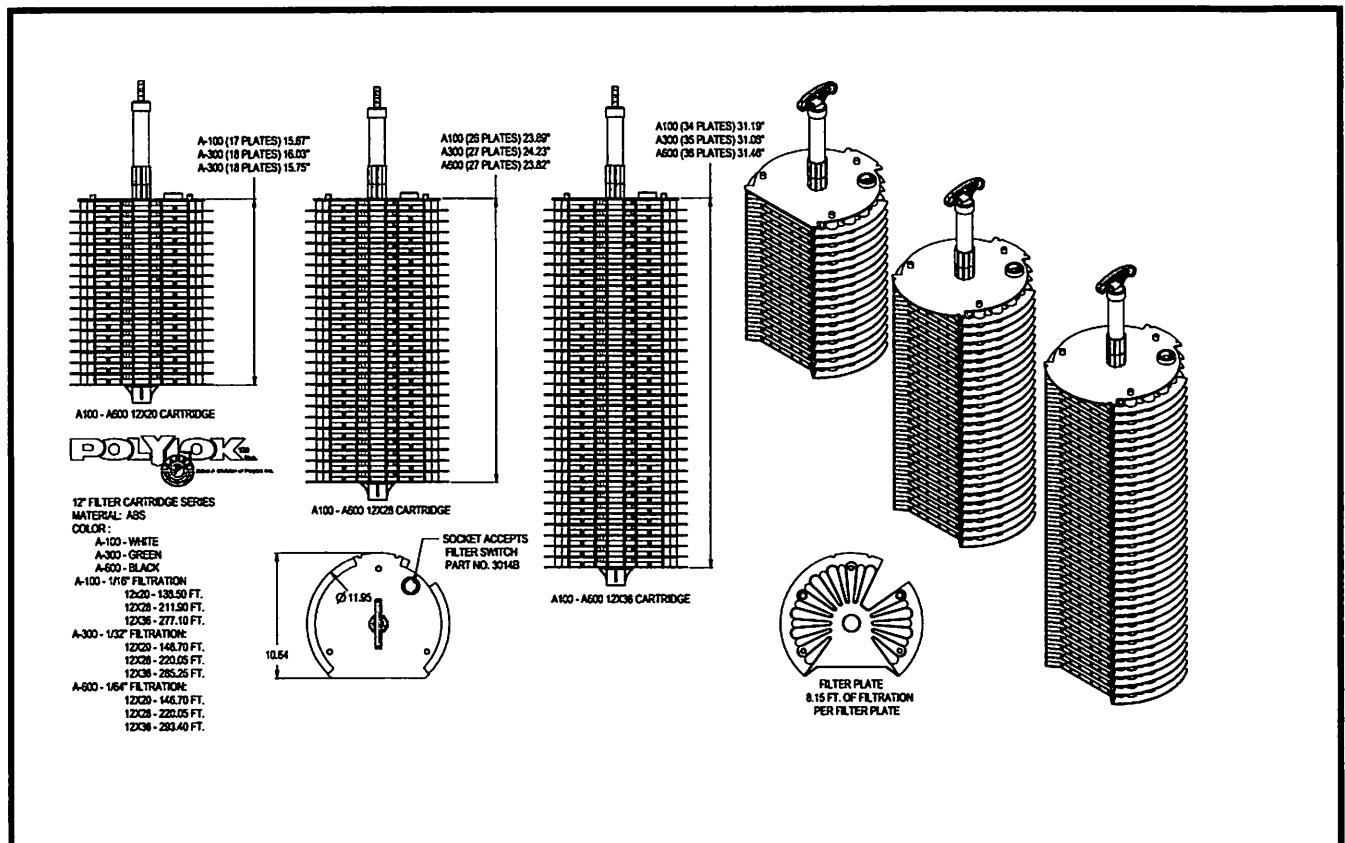
Outdoor SmartFilter® Alarm

Polylok, Zabel & Best filters accept the SmartFilter® switch and alarm.

ZABEL 12" CASES



ZABEL 12" FILTER SERIES



TANK NOTES:

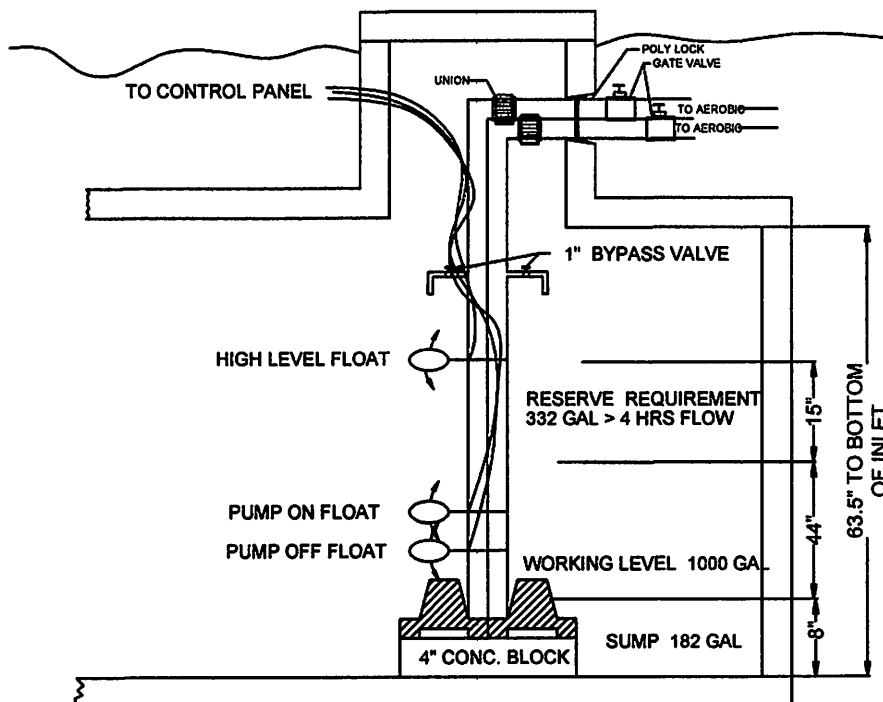
Tanks must be set to allow a minimum of 1/8" per foot fall from building.

Tightlines to the tank shall be SCH-40 PVC.

A two way sanitary tee is required between mobiles and tank.

A minimum of 4" of sand, sandy loam, clay loam free of rock shall be placed under and around tanks

ALL WIRING MUST BE IN COMPLIANCE WITH
THE MOST RECENT NATIONAL ELECTRIC CODE



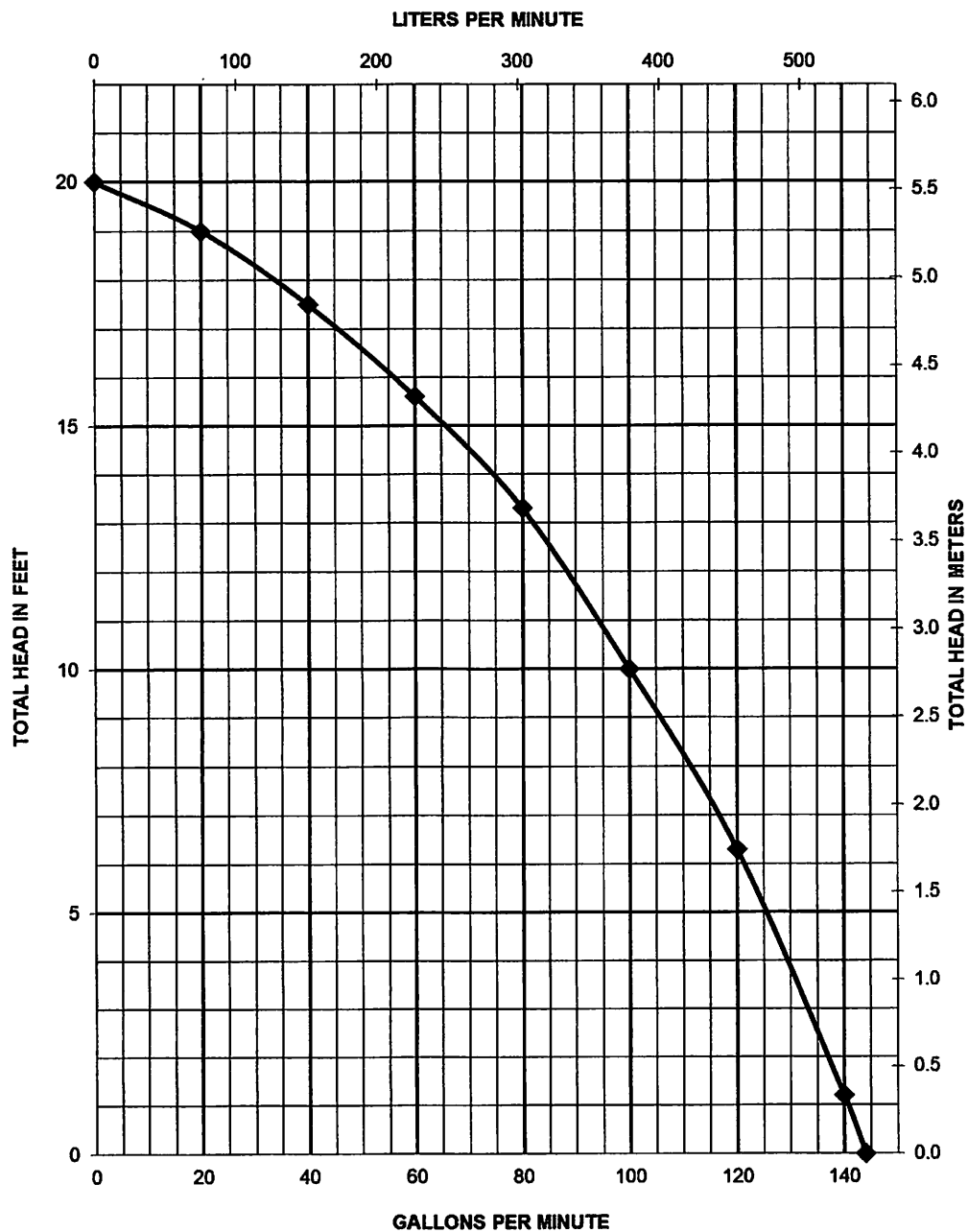
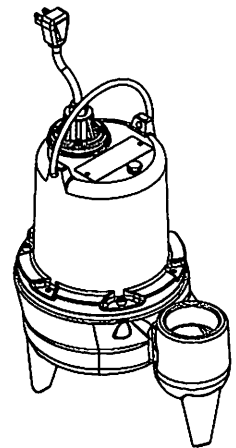
EQUALIZATION TANK 1447 GAL PUMP TANK
VOLUME = 22.8 GAL/IN

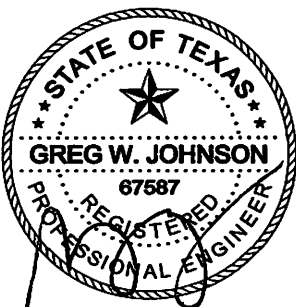
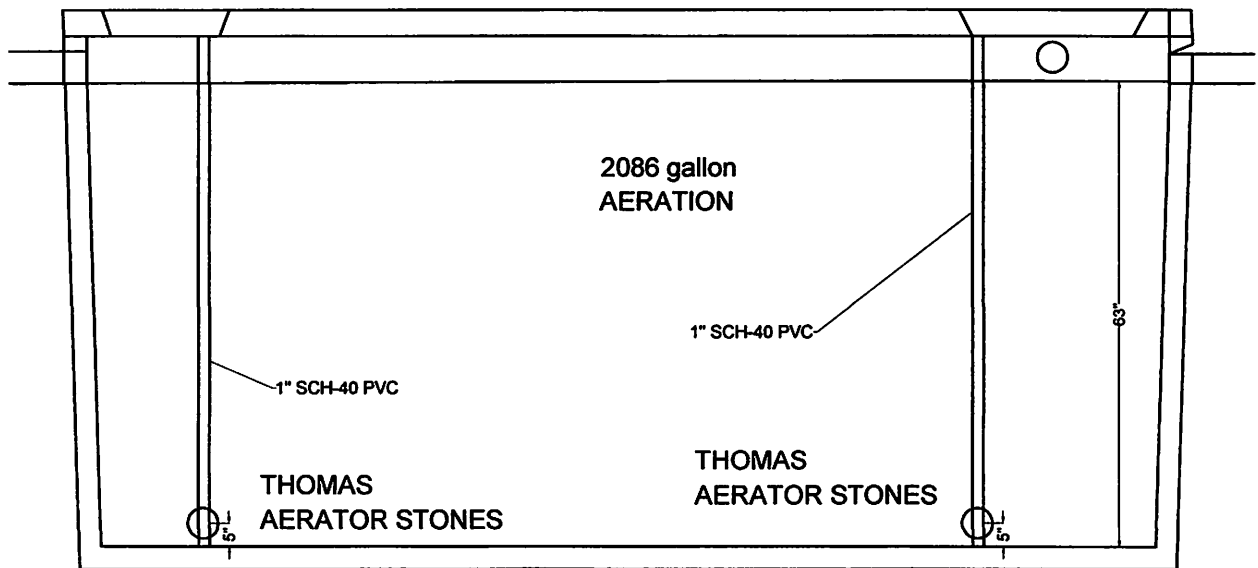
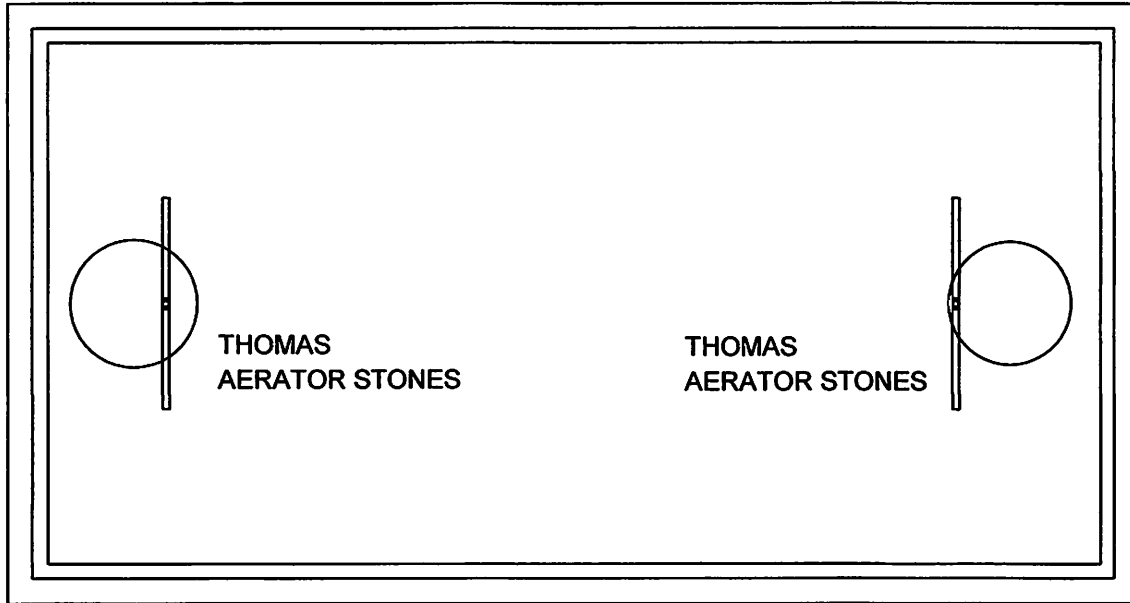


Pump Specifications

LE40 Series

4/10 HP Submersible Sewage Pump



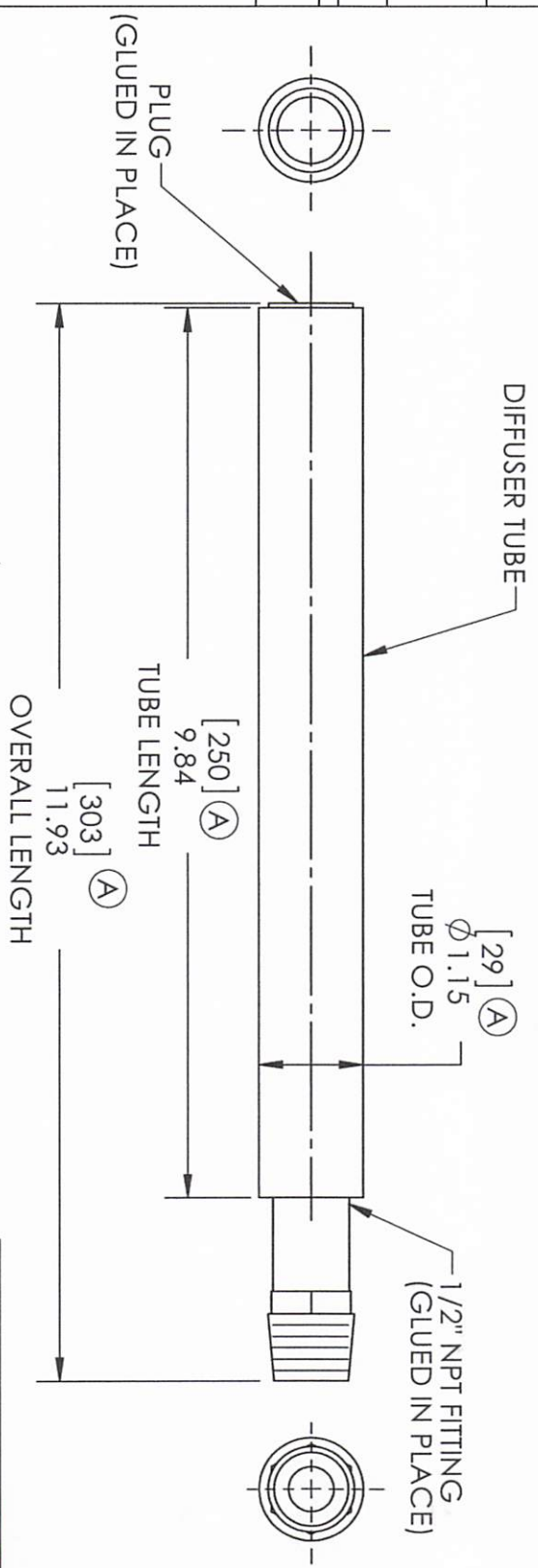


OWNER: BACKWOODS HOLDINGS, LLC Series 9			DRAWN BY: GWJ	
STREET ADDRESS: 1182 F.M. 1863				
LEGAL: J.J. HARMAN SURVEY # 358, A-259				ACRES: 2.694
PREPARED BY: GREG W. JOHNSON, P.E. F#002585	SCALE: NTS	DATE: 10/17/2024	REVISED:	

NOTES:
1. CONSISTS OF (3) COMPONENTS EACH:
(1) 1/2" NPT FITTING
(1) TUBE - POROUS PLASTIC
PORE SIZE 20-35 MICRONS
(1) PLUG

2. ALL DIMENSIONS ARE IN INCHES & MILLIMETERS AND ARE FOR REFERENCE ONLY UNLESS TOLERANCED.

3D VIEW
SCALE: NTS (A)



REV	DATE	ECN NO.	REVISION	BY	REV	DATE	ECN NO.	REVISION	BY
A	8/24/15	15-2038	RE-INSTATED, REVISED REDRAWN IN SOLIDWORKS ADDED 3D VIEW ADDED NOTE 2 AND ENGLISH DIMS	RLK					

MATERIAL: NOTED		UNLESS OTHERWISE NOTED, THIS DRAWING CONFORMS TO ANSI Y14 DRAFTING STANDARD.		DRAWN BY RLK	DATE 9/28/07	THOMAS by Gardner Denver
UNLESS OTHERWISE NOTED, SURFACE FINISH MEASURED IN Ra (µin)		UNSPECIFIED RADII: .XX ± FILLET: .XX ± DRAFT: °		CHECKED BY EAA	DATE 09/02/2015	
⊙ CONTROL CHARACTERISTIC		UNSPECIFIED TOLERANCES: ANGLES ± 2° .XXX ±		SCALE 1:2	THIRD ANGLE PROJECTION	
REL. FOR PROD DATE: 9/28/07		ECN NO.: 07-2201		PART NO. C50811		
SUPERSEDES: C50811 REV NONE		ECN NO.: 07-2201		TITLE DIFFUSER ASSEMBLY 1/2" PVC		REV A

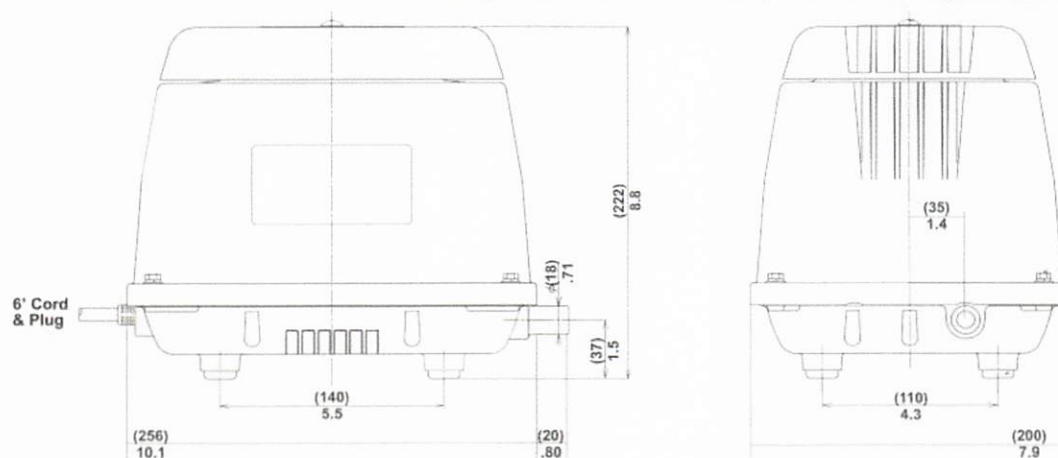
HP Series Linear Pumps

Models HP100, 120, 150 and 200



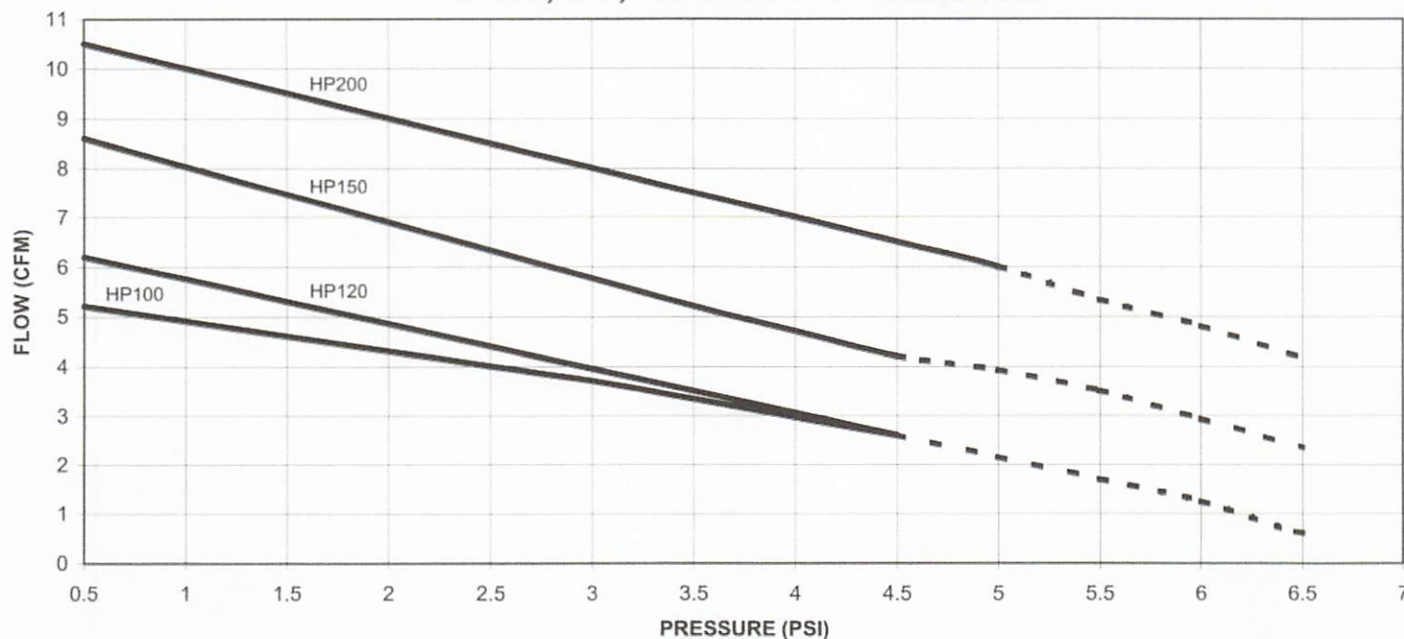
Model Number	HP100-0110	HP120-0110	HP150-0110	HP200-0110
Voltage (Vac)	120	120	120	120
Frequency (Hz)	60	60	60	60
Max. Cont. Pressure (psig)	4.5	4.5	4.5	5
Max. Inter. Pressure (psig)	6.5	7.5	6.5	6.5
Open Flow (c.f.m.)	5.2	6.1	8.6	10.5
Power Consumption (amps)	1.2	2.1	2.1	3.4
Sound Level (dBA@3 ft.)	38	40	48	47
Weight (lbs.)	19	19	20	20
Service Kit # Chambr. Bck.	120PC20011	120PC20011	200PC20011	200PC20011

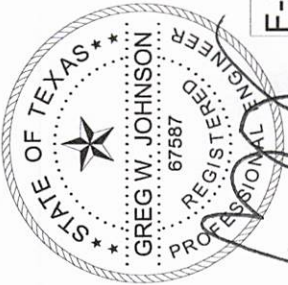
Performance data noted is representative of typical values. Specifications and performance data are subject to change without notice. Purchaser is responsible for determining suitability for product applications.



Dimensions in inches & (mm)

HP 100, 120, 150 & 200 PERFORMANCE



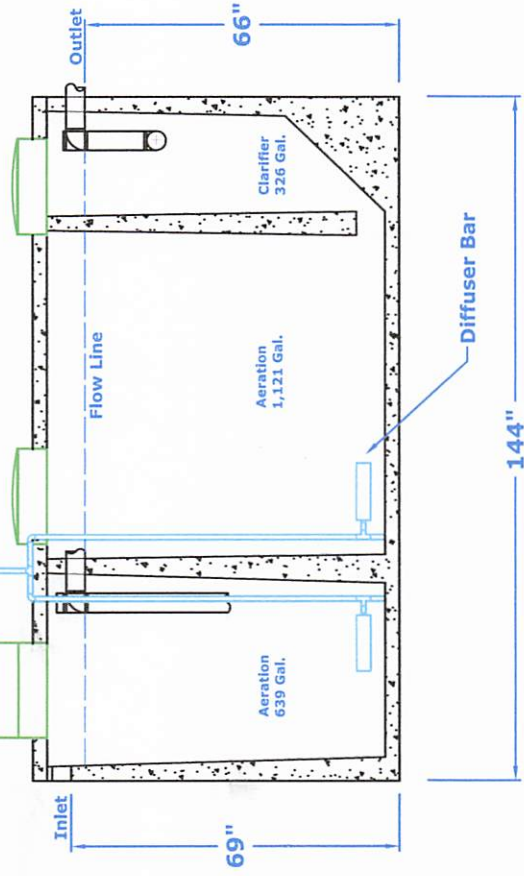


F-2585

10/17/24

See Note 7.

See Note 6.



MINIMUM EXCAVATION DIMENSIONS:

Width: 80"
Length: 156"

GENERAL NOTES:

1. Plant structure material to be precast concrete and steel.
2. Maximum burial depth is 30" from slab top to grade.
3. Weight = 16,600 lbs.
4. Treatment capacity is 1,500 GPD.
5. BOD Loading = 4.50 lbs. per day.
6. 20" Ø access riser w/ lid (Typical 3). Optional extension risers available.
7. Sch. 40 PVC Air Line to Maxx Air M-1500 Air Compressor (Max. 50 Lft from Plant).
8. Requires minimum 1,000 gallon trash tank unless otherwise specified by engineering.

**MAXX AIR M-1500 Duel Aeration
Aerobic Treatment Plant (Assembled)**

Model: M1500

NOV, 2015
By: A.S.

Scale:
* All Dimensions subject to allowable specification tolerances.

Dwg. #: ADV-M1500-2

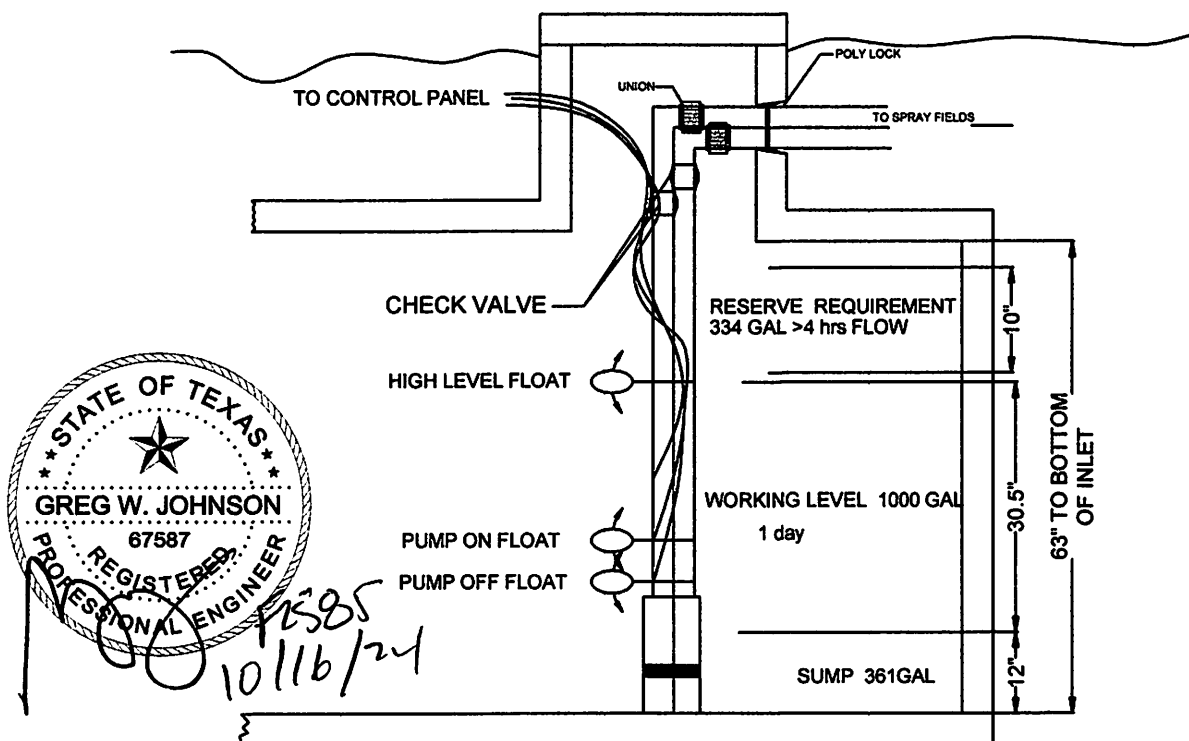


Advantage Wastewater Solutions LLC
444 A Old Hwy No 9
Comfort, TX 78013
830-995-3189
fax 830-995-4051

TANK NOTES:

A minimum of 4" of sand, sandy loam, clay loam free of rock shall be placed under and around tanks

ALL WIRING MUST BE IN COMPLIANCE WITH
THE MOST RECENT NATIONAL ELECTRIC CODE



FINAL TANK 2086 GAL PUMP TANK

CISTERN PUMPS

CPM Series

Ashland Pump – CPM Series

The Ashland Pump CPM Series is designed to operate in filtered effluent/gray water applications. The bottom suction design allows for maximum drawdown of fluid and the hydraulic stages are able to pass 1/8" solids without damage to the pump.

Installations in cistern tanks, rain basin catchments or anywhere drawdown levels need to be maximized are ideal applications for the Ashland Pump CPM Series.

APPLICATIONS

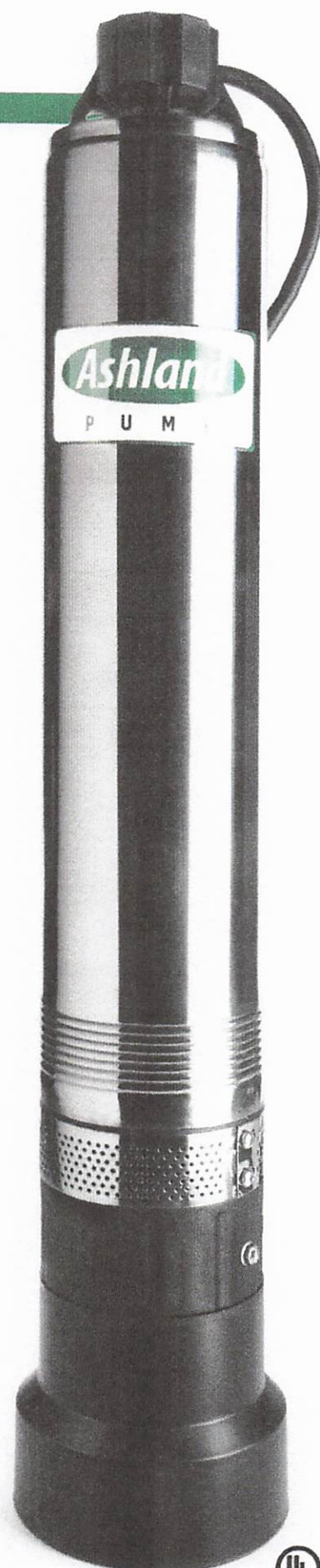
- Filtered Effluent Water Pumping
- Gray Water Pumping
- Water Feature / Aeration Applications
- Rain Water Basin Applications

FEATURES

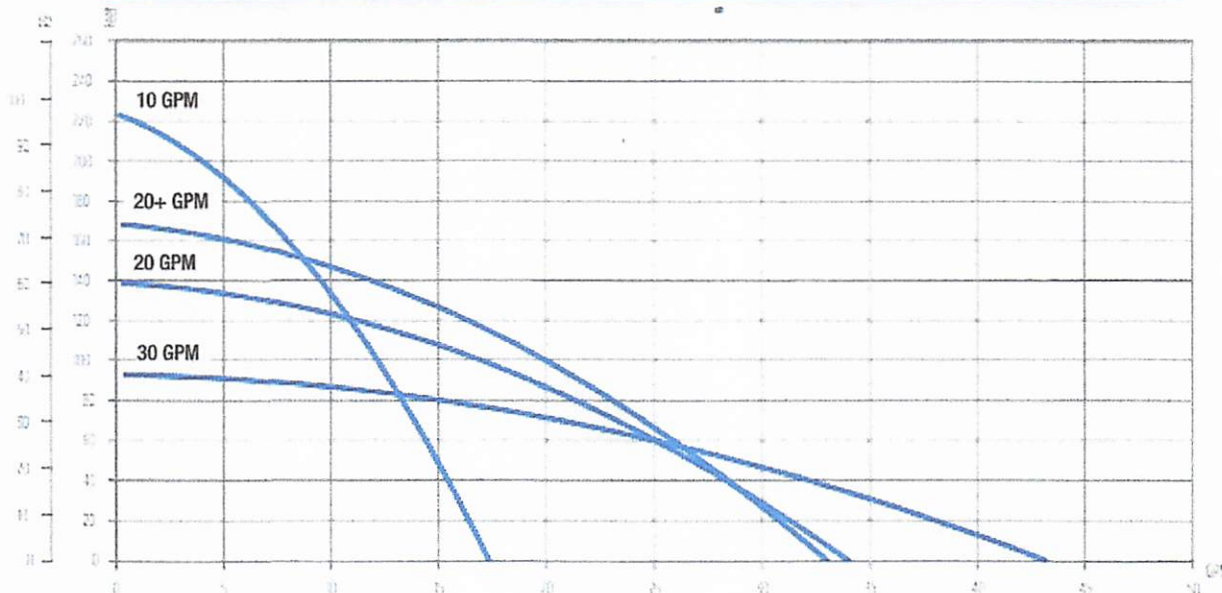
- Bottom suction design for maximum drawdown
- Able to pass 1/8" solids
- Available in 10, 20 and 30 GPM flow rates
- ½ HP, 115V and 230V single phase motors
- Heavy duty discharge with stainless steel internal threads
- 600 Volt, 10' SJ00W jacketed lead
- High shut-off pressure
- Quiet operation
- Standard removable base for stable mounting

ORDERING INFORMATION

CPM SERIES CISTERN PUMP						
Model/Order No.	GPM	HP	Voltage/Ph.	Stage Count	Length (in.)	Shipping Wt. (lbs.)
10CPM5-115	10	1/2	115/1	7	26	17
10CPM5-230	10		230/1	7	26	17
20CPM5-115	20		115/1	5	25	16
20CPM5-230	20		230/1	5	25	16
20+CPM5-115	20+		115/1	6	26	17
20+CPM5-230	20+		230/1	6	26	17
30CPM5-115	30		115/1	4	25	16
30CPM5-230	30		230/1	4	25	16



ASHLAND PUMP CPM SERIES CISTERN PUMP PERFORMANCE



Low Angle Performance Data

NOZZLE	PRESSURE			RADIUS		FLOW RATE		
	PSI	kPa	Bars	Ft.	M.	GPM	L/M	M ³ /H
#1.0	30	207	2.1	22	6.7	1.2	4.5	.27
	40	276	2.8	24	7.3	1.7	6.4	.39
	50	345	3.4	26	7.9	1.8	6.8	.41
	60	414	4.1	28	8.5	2.0	7.6	.45
#3.0	30	207	2.1	29	8.8	3.0	11.4	.68
	40	276	2.8	32	9.8	3.1	11.7	.70
	50	345	3.4	35	10.7	3.5	13.2	.80
	60	414	4.1	37	11.3	3.8	14.4	.86
#4.0	30	207	2.1	31	9.4	3.4	12.9	.77
	40	276	2.8	34	10.4	3.9	14.8	.89
	50	345	3.4	37	11.3	4.4	16.7	1.00
	60	414	4.1	38	11.6	4.7	17.8	1.07
#6.0	40	275	2.8	38	11.6	6.5	24.6	1.48
	50	344	3.4	40	12.2	7.3	27.7	1.66
	60	413	4.1	42	12.8	8.0	30.3	1.82
	70	482	4.8	44	13.4	8.6	32.6	1.96

*All precipitation rates calculated for 180° operation. For the precipitation rate for a 36

K
RAIN



P U M P

Honest, Professional, Dependable

1899 Cottage Street, Ashland, Ohio 44805

Telephone: 855 281-6830 • Fax: 877 326-1994 • ashlandpump.com

Temporary Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Jessica Calhoun, P.E., CFM

Date: 11/22/24

Signature of Customer/Agent:

Jessica Calhoun

Regulated Entity Name: Chasin' Tails Pet Resort

Project Information

Potential Sources of Contamination

Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.

1. Fuels for construction equipment and hazardous substances which will be used during construction:

☐ The following fuels and/or hazardous substances will be stored on the site: _____

These fuels and/or hazardous substances will be stored in:

- ☐ Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

- ☐ Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
- ☐ Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- ☒ Fuels and hazardous substances will not be stored on the site.
- 2. ☒ **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3. ☐ Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4. ☒ **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

Sequence of Construction

- 5. ☒ **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
 - ☒ For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
 - ☒ For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6. ☒ Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: Dry Comal Creek

Temporary Best Management Practices (TBMPs)

Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.

- 7. ☒ **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- ☒ A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
 - ☒ A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
 - ☒ A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
 - ☒ A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8. ☒ The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- ☐ **Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
- ☒ There will be no temporary sealing of naturally-occurring sensitive features on the site.
9. ☒ **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10. ☒ **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
 - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
 - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
 - ☐ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

- ☒ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.
11. ☐ **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.
- ☒ N/A
12. ☒ **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13. ☒ All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14. ☒ If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15. ☒ Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16. ☒ Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

Soil Stabilization Practices

Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.

17. ☒ **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

18. ☒ Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
19. ☒ Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

Administrative Information

20. ☒ All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
21. ☒ If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
22. ☒ Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.

TEMPORARY STORMWATER SECTION
ATTACHMENT A
Spill Response Actions

Contractor to notify all appropriate authorities if more than 25 gallons of hydrocarbons are spilled. The construction plans include the required notes regarding appropriate spill response actions as directed by TCEQ. There will be no temporary storage vessels of fuel or hydrocarbons to be stored on site.

If spills of any hydrocarbons occur, construction must contain spills by immediate action. Earthen materials must be kept readily available to provide a Dike. Sand should be used to help soak fuels. Property disposal of any materials used will be required.

Contractor must promote job site awareness to all employees involved. All employees must be made aware of the provisions in this report.

Spill Prevention and Control

The objective of this section is to describe measures to prevent or reduce the discharge of pollutants to drainage systems or watercourses from leaks and spills by reducing the chance for spills, stopping the source of spills, containing and cleaning up spills, properly disposing of spill materials, and training employees.

The following steps will help reduce the stormwater impacts of leaks and spills:

Education

- (1) Be aware that different materials pollute in different amounts. Make sure that each employee knows what a “significant spill” is for each material they use, and what is the appropriate response for “significant” and “insignificant” spills. Employees should also be aware of when spill must be reported to the TCEQ. Information available in 30 TAC 327.4 and 40 CFR 302.4
- (2) Educate employees and subcontractors on potential dangers to humans and the environment from spills and leaks.
- (3) Hold regular meetings to discuss and reinforce appropriate disposal procedures (incorporate into regular safety meetings).
- (4) Establish a continuing education program to indoctrinate new employees.
- (5) Have contractor’s superintendent or representative oversee and enforce proper spill prevention and control measures.

General Measures

- (1) To the extent that the work can be accomplished safely, spills of oil, petroleum products, substances listed under 40 CFR parts 110, 117, and 302, and sanitary and septic wastes should be contained and cleaned up immediately.
- (2) Store hazardous materials and wastes in covered containers and protect from vandalism.
- (3) Place a stockpile of spill cleanup materials where it will be readily accessible.
- (4) Train employees in spill prevention and cleanup.
- (5) Designate responsible individuals to oversee and enforce control measures.
- (6) Spills should be covered and protected from stormwater runoff during rainfall to the extent that it doesn't compromise cleanup activities.
- (7) Do not bury or wash spills with water.
- (8) Store and dispose of used clean up materials, contaminated materials, and recovered spill material that is no longer suitable for the intended purpose in conformance with the provisions in applicable BMPs.
- (9) Do not allow water used for cleaning and decontamination to enter storm drains or watercourses. Collect and dispose of contaminated water in accordance with applicable regulations.
- (10) Contain water overflow or minor water spillage and do not allow it to discharge into drainage facilities or watercourses.
- (11) Place Material Safety Data Sheets (MSDS), as well as proper storage, cleanup, and spill reporting instructions for hazardous materials stored or used on the project site in an open, conspicuous, and accessible location.
- (12) Keep waste storage areas clean, well-organized, and equipped with ample cleanup supplies as appropriate for the materials being stored. Perimeter controls, containment structures, covers, and liners should be repaired or replaced as needed to maintain proper function

Clean up

- (1) Clean up leaks and spills immediately.
- (2) Use a rag for small spills on paved surfaces, a damp mop for general cleanup, and absorbent material for larger spills. If the spilled material is hazardous, then the used cleanup materials are also hazardous and must be disposed of as hazardous waste.

- (3) Never hose down or bury dry material spills. Clean up as much of the material as possible and dispose of properly. See the waste management BMP's in this section for specific information.

Minor Spills

- (1) Minor spills typically involve small quantities of oil, gasoline, paint, etc. which can be controlled by the first responder at the discovery of the spill.
- (2) Use absorbent materials on small spills rather than hosing down or burying the spill.
- (3) Absorbent materials should be promptly removed and disposed of properly.
- (4) Follow the practice below for a minor spill:
 - (a) Contain the spread of the spill.
 - (b) Recover spilled materials.
 - (c) Clean the contaminated area and properly dispose of contaminated materials.

Semi-Significant Spills

Semi-significant spills still can be controlled by the first responder along with the aid of other personnel such as laborers and the foreman, etc. This response may require the cessation of all other activities.

Spills should be cleaned up immediately:

- (1) Contain spread of the spill.
- (2) Notify the project foreman immediately.
- (3) If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (absorbent materials, cat litter and/or rags). Contain the spill by encircling with the absorbent materials and do not let the spill spread widely.
- (4) If the spill occurs in dirt areas immediately contain the spill by constructing an earthen dike. Dig up and properly dispose of contaminated soil.
- (5) If the spill occurs during rain, cover spill with tarps or other material to prevent contaminating runoff.

Significant/Hazardous Spills

For significant or hazardous spills that are in reportable quantities (25 gallons):

- (1) Notify the TCEQ by telephone as soon as possible and within 24 hours at 512-339-2929 (Austin) or 210-490-3096 (San Antonio) between 8 AM and 5 PM. After hours, contact

the Environmental Release Hotline at 1-800-832-8224. It is the contractor's responsibility to have all emergency phone numbers at the construction site.

- (2) For spills of federal reportable quantities, in conformance with the requirements in 40 CFR parts 110, 119 and 302, the contractor should notify the National Response Center at (800) 424-8802.
- (3) Notification should first be made by telephone and followed up with a written report.
- (4) The services of a spills contractor or a Haz-Mat team should be obtained immediately. Construction personnel should not attempt to clean up until the appropriate and qualified staffs have arrived at the job site.
- (5) Other agencies which may need to be consulted include, but are not limited to, the City of Police Department, County Sheriff Office, Fire Departments, etc.

More information on spill rules and appropriate responses is available on the TCEQ website at: <https://www.tceq.texas.gov/response/spills>

Vehicle and Equipment Maintenance

- (1) If maintenance must occur onsite, use a designated area and a secondary containment, located away from drainage courses, to prevent the runoff of stormwater and the runoff of spills.
- (2) Regularly inspect onsite vehicles and equipment for leaks and repair immediately.
- (3) Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment onsite.
- (4) Always use secondary containment, such as a drain pan or drop cloth, to catch spills or leaks when removing or changing fluids.
- (5) Place drip pans or absorbent materials under paving equipment when not in use.
- (6) Use absorbent materials on small spills rather than hosing down or burying the spill. Remove the absorbent materials promptly and dispose of properly.
- (7) Promptly transfer used fluids to the proper waste or recycling drums. Don't leave full drip pans or other open containers lying around.
- (8) Oil filters disposed of in trashcans or dumpsters can leak oil and pollute stormwater. Place the oil filter in a funnel over a waste oil-recycling drum to drain excess oil before disposal. Oil filters can also be recycled. Ask the oil supplier or recycler about recycling oil filters.

- (9) Store cracked batteries in a non-leaking secondary container. Do this with all cracked batteries even if you think all the acid has drained out. If you drop a battery, treat it as if it is cracked. Put it into the containment area until you are not sure it is not leaking.

Vehicle and Equipment Fueling

- (1) If fueling must occur on site, use designated areas, located away from drainage courses, to prevent the runoff of stormwater and the runoff of spills.
- (2) Discourage “topping off” of fuel tanks.
- (3) Always use secondary containment, such as a drain pan, when fueling to catch spills/leaks.

TEMPORARY STORMWATER SECTION
ATTACHMENT B
Potential Sources of Contamination

The proposed Chasin' Tails Pet Resort site includes the removal of the 828 square feet (0.019 acres) of existing drive and the construction of a 7,233 square feet (0.166 acres) commercial building and 9,643 square feet (0.221 acres) of roadway and parking area. The possible sources of contamination include sediment transport from runoff and fuel spills by the Contractor while refueling equipment. Other small quantities of solvent for construction may be present. Contractor shall keep all fuel transfers and any other contaminants used secure. Silt fences will aid in the removal of transported sediment from the runoff.

Please see Attachment "A" for response actions.

TEMPORARY STORMWATER SECTION
ATTACHMENT C
Sequence of Major Activities

Construction sequencing- The construction will be performed in one phase.

1. Call New Braunfels Utilities (NBU) and TCEQ 48 hours prior to beginning any work.
Call Dig TESS for utilities locations.
2. Install temporary erosion controls prior to any clearing and grubbing.
3. Inspect erosion controls at weekly intervals, before and after significant rainfall events to ensure they are functioning properly.
4. Begin site demolition and clearing. (0.395 acres)
5. Complete gravel road compaction on site to match subgrade elevations. (0.395 acres)
6. Complete all construction per approved plans and stabilize all disturbed areas.
7. Complete final site inspection.
8. Complete any necessary final dress up of areas that were disturbed.
9. Remove and dispose of temporary erosion controls after site re-vegetation has occurred.

No areas greater than 10 acres will be disturbed at one time.

TEMPORARY STORMWATER SECTION
ATTACHMENT D
Temporary Best Management Practices and Measures

Temporary erosion controls are proposed for this project to include silt fence, a stabilized construction entrance, and a concrete wash out area. Please see C4.0 Chasin' Tails Pet Resort Erosion Control Plan for all temporary erosion control details.

Temporary sediment basins are not required because there are no drainage areas greater than 10 acres disturbed on site. However, a temporary storage, spoils, and staging area is proposed on site.

Approximately 614 linear feet of silt fence will be used during construction. This will be placed down gradient of all proposed construction.

From the TECQ RG 348 dated July 2005, silt fences provide protection. In addition, the contractor has been directed to minimize disturbance to a reasonable working space.

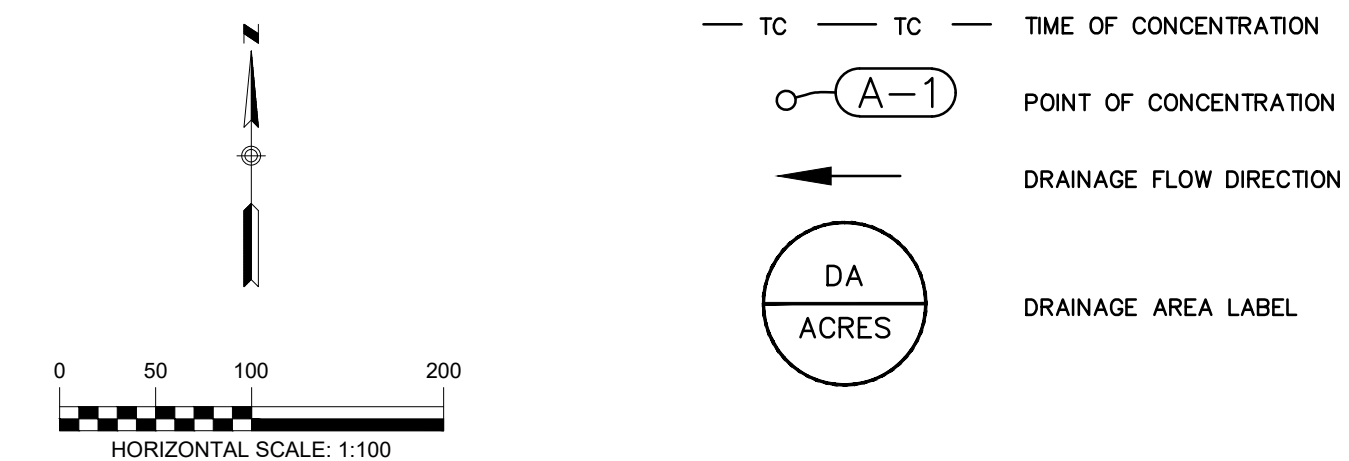
TEMPORARY STORMWATER SECTION
ATTACHMENT F
Structural Practices

During construction, silt fences will be used until construction is complete and vegetation and paving has been established. Additionally, the contractor will pile the spoils from excavation on the uphill side of the excavation, with a minimum of one foot between the excavation and the pile, in order to prevent storm water from entering the trenched area.

In addition, the contractor will be directed to minimize site disturbance and avoid having equipment in areas that are not necessary for the construction. Natural vegetation shall be left undisturbed and will help remove sediment if any bypass at silt fences or other structural measures occurs.

TEMPORARY STORMWATER SECTION
ATTACHMENT G
Drainage Area Map

The Drainage Area Map (with the corresponding flow calculations) can be found in Sheet C2.0 Chasin' Tails Pet Resort Drainage Map. The drainage area does not change between existing and proposed conditions.



EX 1	14.21	Acres
Time of Concentration (T_c)	33.53	Minutes

COMPOSITE "C" VALUE					
0.16	0.17	0.18	0.20	0.21	0.22

Intensity					
2 Years	5 Years	10 Years	25 Years	50 Years	100 Years
2.98	3.71	4.33	5.19	5.85	6.55

Q (cfs)					
2 Years	5 Years	10 Years	25 Years	50 Years	100 Years
6.77	9.04	11.14	14.50	17.27	20.61

PR 1	14.21	Acres
Time of Concentration (T_c)	33.53	Minutes

COMPOSITE "C" VALUE					
0.16	0.17	0.18	0.20	0.21	0.22

Intensity					
2 Years	5 Years	10 Years	25 Years	50 Years	100 Years
2.98	3.71	4.33	5.19	5.85	6.55

Q (cfs)					
2 Years	5 Years	10 Years	25 Years	50 Years	100 Years
6.77	9.04	11.14	14.50	17.27	20.61


HMT
 ENGINEERING & SURVEYING

290 S. CASTELL AVE., STE. 100
 NEW BRAUNFELS, TX 78130
 TBPBELS FIRM F-10961
 TBPBELS FIRM 10153600

DRAINAGE MAP

CHASIN' TAILS PET RESORT

NO.	REVISION	NOTES	REVISION DESCRIPTION	REVISION DATE	

DRAWN BY: **RR**

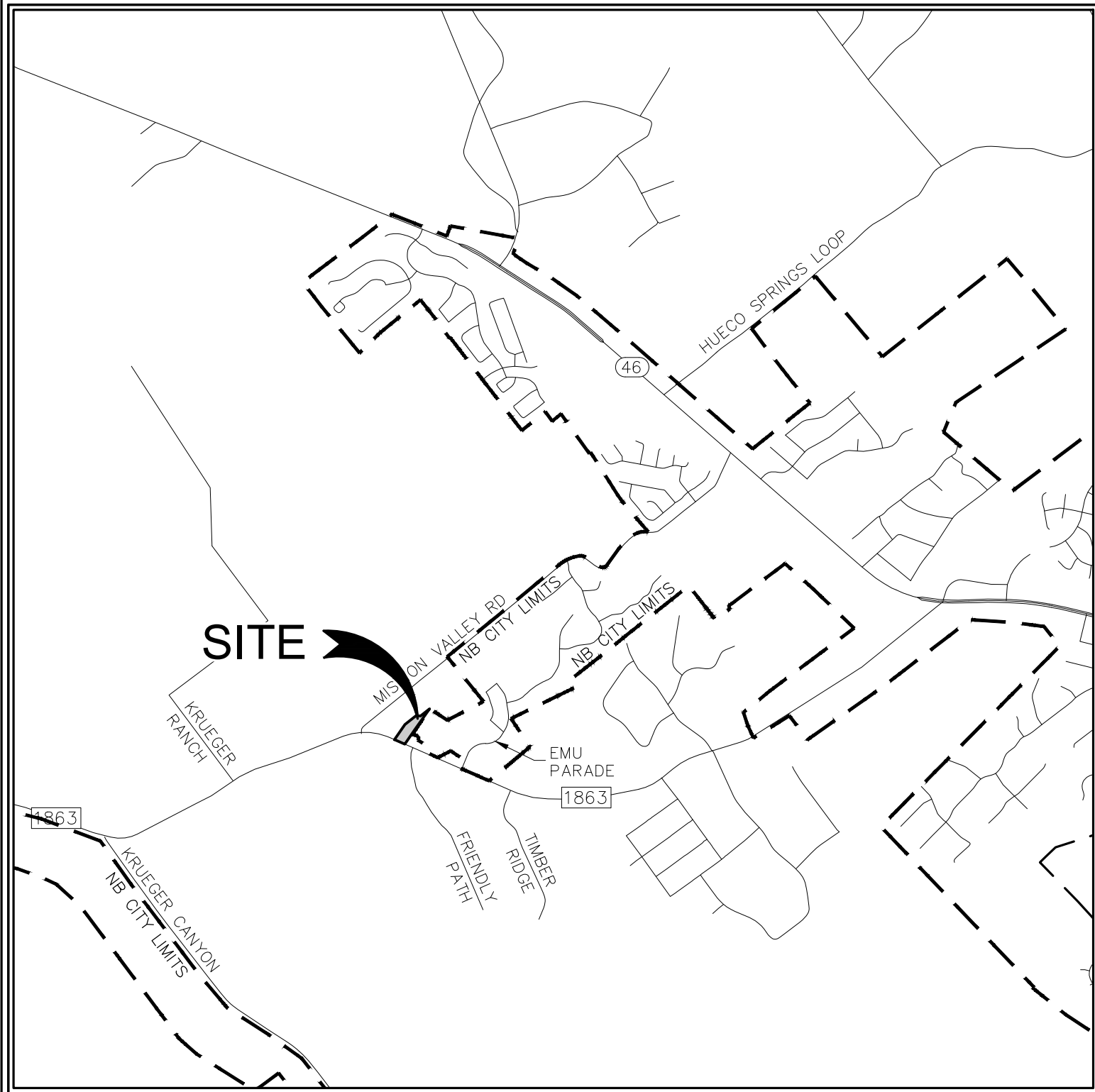
DESIGNED BY: **EP/MP**

REVIEWED BY: **EP**

HMT PROJECT NO.: **564.001**

SHEET

C2.0



PROJECT LOCATION MAP

SCALE: N.T.S.

LEGAL DESCRIPTION
2.661 ACRES, COMAL COUNTY, TEXAS.

PLEASE NOTE: NBU REQUIRES GPS POINTS FOR CERTAIN ELECTRIC, WATER AND WASTEWATER ATTRIBUTES, SOME OF WHICH MUST BE TAKEN PRIOR TO BACKFILL DURING CONSTRUCTION.

GPS POINTS SHALL BE REQUIRED FROM THE DEVELOPER'S CONTRACTOR OR ENGINEER. A MINIMUM OF THREE COORDINATE POINTS FOR GEOREFERENCING SHALL BE REQUIRED. THE WATER AND WASTEWATER GPS POINTS SHALL BE TO SURVEY GRADE. THE ELECTRIC GPS POINTS SHALL BE TO MAP GRADE.

ELECTRIC
POLES
TRANSFORMERS, BOTH ABOVE AND UNDERGROUND (FRONT LOCK)
PULL BOXES
STREET LIGHTS

COORDINATE GPS REQUIREMENTS WITH NBU INSPECTOR

GENERAL NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL DEVICES ARE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLANS AND LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. IF THE NEED ARISES, ADDITIONAL TEMPORARY TRAFFIC CONTROL DEVICES MAY BE ORDERED BY THE ENGINEERING REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
2. DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE OFFSITE IMPACT OF CONSTRUCTION MUST BE COMPLETED AND IN PLACE PRIOR TO ADDING IMPERVIOUS COVER TO THE SITE.
3. NO PORTION OF THE SUBDIVISION IS LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREA (100 YR. FLOOD), AS DEFINED BY THE COMAL COUNTY, TEXAS, FIRM PANEL NUMBER 48091C0455F EFFECTIVE DATE SEPTEMBER 2, 2009, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS
4. PROJECT IS LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.
5. GAS UTILITIES ARE NOT INCLUDED IN THE CIVIL CONSTRUCTION PLANS. FINAL GAS UTILITY DESIGN SHALL BE APPROVED BY THE CITY FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

NOTE TO CONTRACTOR:

1. BY THE ACT OF SUBMITTING A BID FOR THIS PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER, AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS HE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS, SPECIFICATIONS AND ALL OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF HIS OR HIS SUBCONTRACTORS' AND MATERIAL SUPPLIERS' KNOWLEDGE, ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.
2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN BASED UPON RECORD INFORMATION ONLY AND MAY NOT MATCH LOCATIONS AND/OR DEPTHS AS CONSTRUCTED. THE CONTRACTOR SHALL CONTACT EACH OF THE INDIVIDUAL UTILITIES FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL UTILITY CROSSINGS PRIOR TO BEGINNING ANY CONSTRUCTION. ANY QUANTITIES PROVIDED BY HMT OR OWNER ON THE PLANS, OPINION OF PROBABLE COST, BID SUMMARIES, ETC. ARE FOR CURSORY USE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING SIGNED AND SEALED CONSTRUCTION PLANS. IF A DISCREPANCY EXISTS, CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY.
3. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATION AND ELEVATION OF ALL DOWNSTREAM CONNECTION POINTS PRIOR TO CONSTRUCTION. IF A DISCREPANCY EXISTS, CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY.
4. CONTRACTOR SHALL INSTALL ALL GRAVITY SEWER, GRAVITY STORM SEWER, CURBS AND PAVEMENT FROM THE MOST DOWNSTREAM POINT OF CONNECTION. IF IMPROVEMENTS ARE CONSTRUCTED FROM UPSTREAM TO DOWNSTREAM, THEN THE CONTRACTOR WILL TAKE FULL RISK AND LIABILITY OF ANY ISSUES THAT MIGHT ARISE FROM FLOWLINE ELEVATION DISCREPANCIES, UTILITY CONFLICTS, ETC.
5. CONTRACTOR IS RESPONSIBLE FOR THE STOCKPILING OF ANY EXCESS DIRT. ALL BIDS FROM CONTRACTOR SHOULD ACCOUNT FOR THE REMOVAL AND PLACEMENT OF ALL EARTHWORK TO INCLUDE STOCKPILING, EXPORT, IMPORT, ETC. IF A LOCATION OF PLACEMENT OF EXCESS DIRT IS NOT SHOWN ON THE PLANS, THEN CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY TO DETERMINE THE MOST SUITABLE STOCKPILE LOCATION.

1863 DOG PARK

NEW BRAUNFELS ETJ, COMAL COUNTY, TEXAS

CIVIL SITE CONSTRUCTION PLANS

CHASIN' TAILS PET RESORT, LLC

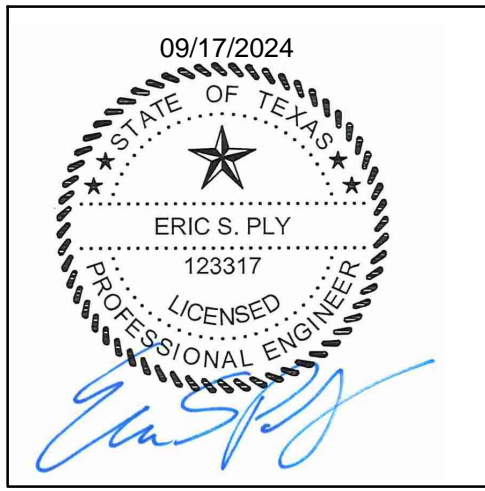
1182 F.M. 1863

NEW BRAUNFELS, TX 78130

REQUIRED PERMITS

1. TCEQ
2. TXDOT
3. NBU ELECTRIC

SEPTEMBER 2024



ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER OF RECORD. IN ACCEPTING THESE PLANS, THE CITY OF NEW BRAUNFELS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE ENGINEER OF RECORD.

Eric S. Ply

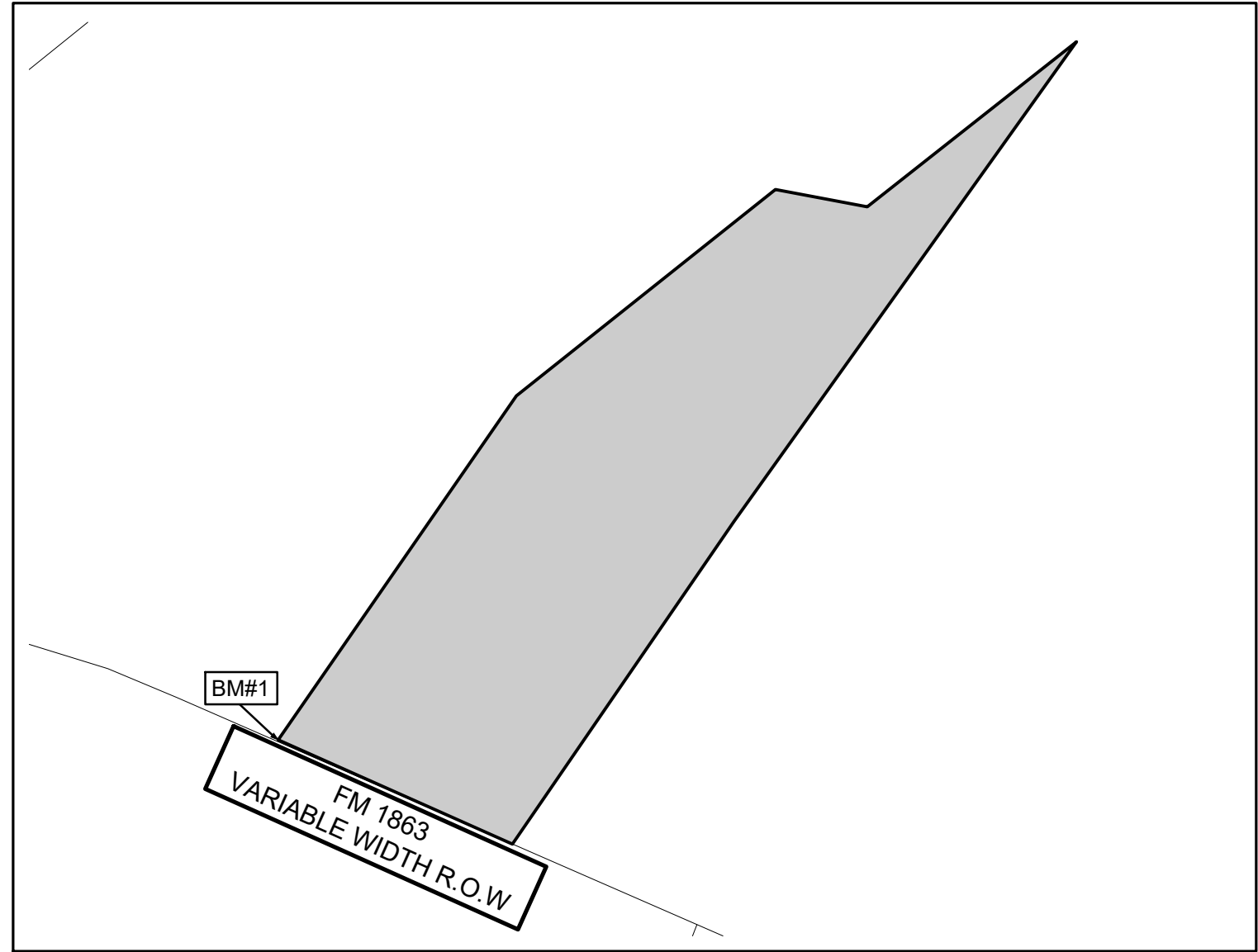
ERIC S. PLY
P.E. Registration No. 123317

PREPARED BY:



290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
HMTNB.COM
P(830)625-8555*F(830)625-8556
TBPELS FIRM F-10961
TBPELS FIRM 10153600

Sheet List Table	
Sheet Number	Sheet Title
C0.1	COVER
C0.2	GENERAL NOTES
C1.0	EXISTING CONDITIONS & DEMO PLAN
C2.0	DRAINAGE MAP
C3.0	SITE PLAN
C3.1	CIVIL DETAILS
C4.0	EROSION CONTROL PLAN
C4.1	EROSION CONTROL DETAILS
C5.0	FIRE PROTECTION PLAN
C6.0	GRADING PLAN



PROJECT BENCHMARK

MAG NAIL IN ASPHALT N. FM 1863 APPROXIMATELY 35.5' SOUTH OF THE SOUTHWEST CORNER OF THIS PROPERTY
ELEVATION: 910.66'

CONSTRUCTION NOTES:

ANY EXISTING OFF-SITE IMPROVEMENTS THAT ARE DAMAGED OR UNDERCUT BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER AND APPROVED BY THE OWNER OF THE EXISTING IMPROVEMENT AT THE CONTRACTOR'S EXPENSE. (NO SEPARATE PAY ITEM)

WORK COMPLETED BY THE CONTRACTOR WHICH HAS NOT RECEIVED A WORK ORDER OR CONSENT OF THE OWNER OR ENGINEER WILL BE SUBJECT TO REMOVAL AND REPLACEMENT BY AND AT THE EXPENSE OF THE CONTRACTOR.

CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS UPON PROJECT COMPLETION. THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIAL IN THE 100YR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN DEVELOPMENT PERMIT.

BARRICADES AND WARNING SIGNS SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND SHALL BE LOCATED TO PROVIDE MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT WHILE PROVIDING CONTINUOUS TRAFFIC FLOW AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL DEVICES DURING CONSTRUCTION.

CONTRACTOR IS REQUIRED TO VERIFY PROJECT ELEVATIONS. THE TERM "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY BOTH HORIZONTAL AND VERTICAL ALIGNMENT.

WHEN MATCHING EXISTING PAVEMENTS, CURBS, DRIVES, AND WALKS, THEY SHALL BE SAW CUT FULL DEPTH AND REMOVED TO ALLOW FOR PROPOSED CONSTRUCTION. IF ANY EXISTING JOINT IS ENCOUNTERED, PRECAUTION SHALL BE TAKEN DURING REMOVAL OF CONCRETE SO AS NOT TO DAMAGE EXISTING DOWELS. ALL EXISTING DOWELS SHALL BE EXPOSED AND CLEANED.

ITEM OF WORK DESIGNATED "BY OTHERS" SHALL NOT BE CONSIDERED PART OF THIS CONTRACT.

ALL "COMPACTED SUBGRADE" SHALL CONSIST OF NATIVE MATERIAL, SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES AND COMPACTED TO 95% DENSITY ACCORDING TO DENSITY TEST METHOD TEX-115E OR ACCORDING TO ASTM D-698 AND TESTED BY ASTM D-2922.

ALL "FLEXIBLE BASE" SHALL BE TYPE "A", GRADE 4, ACCORDING TO TXDOT ITEM 247, COMPACTED TO 95% MODIFIED DENSITY AT A MOISTURE CONTENT BETWEEN -2 AND +3 OF OPTIMUM PERCENT MOISTURE ACCORDING TO ASTM D-1557 (MODIFIED PROCTOR) AND TESTED BY ASTM D-2922.

ASPHALT PAVEMENT SHALL BE THE TYPE SPECIFIED ON THE PLANS AND ACCORDING TO TXDOT ITEM 340 "HOT MIX ASPHALT CONCRETE PAVEMENT".

PRIME COAT USING MC-30 AT A RATE OF 0.2 GALLONS PER SQUARE YARD SHALL BE PLACED OVER PREPARED BASE AT LEAST ONE DAY PRIOR TO LAYING ASPHALTIC CONCRETE PAVEMENT. ANY NECESSARY TACK COAT SHALL BE MC-30 AT 0.05 GALLONS PER SQUARE YARD. IT IS REQUIRED THAT BOTH THE PRIME COAT AND THE TACK COAT BE APPLIED AT THE TEMPERATURE SPECIFIED UNDER TXDOT ITEM 300.3.

CONCRETE SHALL BE CLASS "A" ACCORDING TO TXDOT ITEM 421 UNLESS OTHERWISE ON PLANS.

REINFORCING STEEL SHALL BE FROM NEW BILLET AND SHALL CONFORM TO TXDOT ITEM 440. ALL DIMENSIONS RELATING TO REINFORCING STEEL ARE TO CENTER OF BARS EXCEPT WHEN REFERRING TO CLEARANCE.

ALL SAWED JOINTS SHALL BE SAWED WITHIN 24 HOURS OF POURING.

ABSOLUTELY NO WELDING OF REINFORCING BARS OR TORCHING TO BEND REINFORCING BARS SHALL BE ALLOWED WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.

ORDINARY COMPACTION CONTROL IS REQUIRED ON THIS PROJECT.

ALL ROLLING FOR COMPACTION OF ASPHALTIC CONCRETE PAVEMENT SHALL BE COMPLETED BEFORE THE MIXTURE TEMPERATURE DROPS BELOW 175 DEG. (F).

ALL FILL MATERIAL SHALL BE SUBJECT TO THE ENGINEER'S APPROVAL.

ALL PVC SLEEVES SHALL BE INSTALLED 3 FEET BELOW FINISHED GRADE AND ENDS SHALL BE MARKED SO THAT LOCATIONS OF SLEEVES CAN BE EASILY IDENTIFIED.

CONTRACTOR SHALL COORDINATE WITH DRY UTILITY INSTALLERS AND SHARED TRENCHING SHALL BE UTILIZED. CUTTING THE STREETS AFTER COMPLETION BY DRY UTILITIES SHALL NOT BE ACCEPTABLE.

EROSION / SEDIMENTATION CONTROL

AT A MINIMUM, THESE CONTROLS SHALL CONSIST OF ROCK BERMS AND/OR SILT FENCES CONSTRUCTED PARALLEL TO AND DOWN GRADIENT FROM THE TRENCHES. THE ROCK BERM OR SILT FENCES SHALL BE INSTALLED IN A MANNER SUCH THAT ANY RAINFALL RUNOFF SHALL BE FILTERED. HAY BALES SHALL NOT BE USED FOR TEMPORARY EROSION AND SEDIMENTATION CONTROLS.

ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE MAINTAINED DURING CONSTRUCTION BY THE CONTRACTOR. THE CONTRACTOR SHALL REMOVE THE CONTROLS WHEN VEGETATION IS ESTABLISHED AND THE CONSTRUCTION AREA IS STABILIZED [31 TAC 313.5 (C)(12)]. ADDITIONAL PROTECTION MAY BE REQUIRED IF EXCESSIVE SOLIDS ARE BEING DISCHARGED FROM THE SITE.

ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE REMOVED BY THE CONTRACTOR AT FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER/ENGINEER.

PLACEMENT OF TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION PLANS. ACTUAL LOCATIONS MAY VARY SLIGHTLY FROM THE PLANS, BUT WILL BE VERIFIED BY THE ENGINEER/INSPECTOR IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INSPECT THE CONTROLS AT WEEKLY INTERVALS AND AFTER EVERY SIGNIFICANT RAINFALL TO INSURE DISTURBANCE OF THE STRUCTURES HAS NOT OCCURRED. SEDIMENT DEPOSITED AFTER A RAINFALL SHALL BE REMOVED FROM THE SITE OR PLACED IN AN ENGINEER APPROVED DESIGNATED DISPOSAL AREA.

CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT NO EROSION CONTROL MEASURES BLOCK THE DRAINAGE SYSTEM FROM WORKING AS DESIGNED.

UTILITIES

LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HERE ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION, INCLUDING THOSE NOT SHOWN ON THE DRAWINGS.

ANY EXISTING UTILITIES, ON OR OFF THE SITE, THAT ARE DAMAGED OR UNDERCUT BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER AND APPROVED BY THE RESPECTIVE UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE.

CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES AND GOVERNMENTAL AGENCIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION AT:

THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES 48 HOURS PRIOR TO EXCAVATION	
NEW BRAUNFELS UTILITIES (WATER AND SEWER)	(830) 608-8971
NEW BRAUNFELS UTILITIES (ELECTRIC)	(830) 608-8951
SPECTRUM CABLE	(800) 245-4545
CENTERPOINT ENERGY (GAS)	(830) 643-6434
AT&T	(830) 303-1333
TEXAS ONE CALL SYSTEM	(800) 245-4545
ENERGY TRANSFER (PETROLEUM PIPELINE)	(210) 262-2486

CONTRACTOR SHALL REFERENCE NEW BRAUNFELS UTILITIES PLANS FOR FINAL ELECTRICAL LINE DESIGNS AND LAYOUT.

GENERAL NBU NOTES

REVISED 3/31/11

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THE PROJECT SHALL BE APPROVED BY NEW BRAUNFELS UTILITIES AND COMPLY WITH THE CURRENT "NEW BRAUNFELS UTILITIES WATER SYSTEMS CONNECTION/CONSTRUCTION POLICY".

2. CONTRACTOR SHALL NOT PROCEED WITH ANY PIPE INSTALLATION WORK UNTIL THEY OBTAIN A COPY OF THE PLANS FROM THE CONSULTANT OR ENGINEER AND NOTIFY NBU WATER SYSTEMS ENGINEERING AT 830-608-8971 WITH AT LEAST TWO (2) WORKING DAYS (48 NOTICE. WORK COMPLETED BY THE CONTRACTOR, WHICH HAS NOT RECEIVED A NOTICE TO PROCEED FROM NEW BRAUNFELS UTILITIES WATER SYSTEMS ENGINEERING WILL BE SUBJECT TO REMOVAL AND REPLACEMENT BY AND AT THE EXPENSE OF THE CONTRACTOR.

3. THE DEVELOPER DEDICATES THE WATER / WASTEWATER MAINS UPON COMPLETION BY THE CONTRACTOR AND ACCEPTANCE BY THE NEW BRAUNFELS UTILITIES WATER SYSTEM. NBU WILL OWN AND MAINTAIN SAID WATER / WASTEWATER MAINS WHICH ARE LOCATED WITHIN PLATTED UTILITY EASEMENTS OR PUBLIC ROW OF PROPOSED DEVELOPMENTS. (AS APPLICABLE).

4. CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNERS AND THE ENGINEER AND HIS EMPLOYEES, PARTNERS OFFICERS, DIRECTORS, OR CONSULTANTS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER, ENGINEER'S DIRECTORS, OFFICERS, EMPLOYEES, OR CONSULTANTS.

5. CONTRACTOR TO CONTACT THE ENGINEER-OF-RECORD (EOR) FOR ANY FIELD CHANGES. ANY REVISIONS OR CHANGES TO THE APPROVED CONSTRUCTION PLANS WILL REQUIRE ADDITIONAL APPROVAL BY NBU IN WRITING.

6. CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION, ANY DAMAGES DONE TO EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, LANDSCAPING AND STRUCTURES, AND EXISTING UTILITIES (NOT ADJUSTED ON PLANS). COST OF RESTORATIONS, IF ANY, SHALL BE THE CONTRACTOR'S ENTIRE EXPENSE.

8. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN VICINITY OF TREES SHALL PROCEED WITH CAUTION.

9. CONTRACTOR SHALL PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, FEES AND TAXES AND GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE WORK.

10. NO EXTRA PAYMENT SHALL BE ALLOWED FOR WORK CALLED FOR ON THE PLANS BUT NOT INCLUDED ON THE BID SCHEDULE. THIS INCIDENTAL WORK WILL BE REQUIRED AND SHALL BE INCLUDED UNDER THE PAY ITEM TO WHICH IT RELATES.

11. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS UPON PROJECT COMPLETION. THE CONTRACTOR SHALL NOT PERMANENTLY PLACE ANY WASTE MATERIALS IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN DEVELOPMENT PERMIT.

12. THE CONTRACTOR SHALL NOT PLACE ANY MATERIALS ON THE RECHARGE ZONE OF THE EDWARDS AQUIFER WITHOUT AN APPROVED WATER POLLUTION ABATEMENT PLAN FROM THE TCEQ 31 TAC 313.4 AND 31 TAC 313.9.

13. BARRICADES AND WARNING SIGNS SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND SHALL BE LOCATED TO PROVIDE MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT WHILE PROVIDING CONTINUOUS TRAFFIC FLOW AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL DEVICES DURING CONSTRUCTION.

14. CONTRACTOR IS REQUIRED TO VERIFY PROJECT ELEVATIONS. THE TERM "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY BOTH HORIZONTAL AND VERTICAL ALIGNMENT.

15. THE LOCATION OF UTILITIES, EITHER UNDERGROUND OR OVERHEAD, SHOWN WITHIN THE RIGHT OF WAY ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR BEFORE BEGINNING CONSTRUCTION OPERATIONS.

16. OSHA REGULATIONS PROHIBIT OPERATIONS THAT WILL BRING PERSONS OR EQUIPMENT WITHIN 10 FEET OF AN ENERGIZED LINE. WHERE WORKMEN AND/OR EQUIPMENT HAVE TO WORK CLOSE TO AN ENERGIZED ELECTRICAL LINE, THE CONTRACTOR SHALL NOTIFY THE ELECTRICAL POWER COMPANY INVOLVED AND MAKE WHATEVER ADJUSTMENTS NECESSARY TO ENSURE THE SAFETY OF THOSE WORKMEN.

17. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION. CONTRACTORS SHALL CALL THE ONE CALL SYSTEM FOR WATER/WASTEWATER LOCATION.

18. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192 (8), GAS COMPANIES MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

19. THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE TRAFFIC CONTROL AND WILL BE RESPONSIBLE FOR FURNISHING ALL TRAFFIC CONTROL DEVICES, AND FLAGGERS. THE CONSTRUCTION METHODS SHALL BE CONDUCTED TO PROVIDE THE LEAST POSSIBLE INTERFERENCE TO TRAFFIC SO AS TO PERMIT THE CONTINUOUS MOVEMENT OF THE TRAFFIC IN ONE DIRECTION AT ALL TIMES. THE CONTRACTOR SHALL CLEAN UP AND REMOVE FROM THE WORK AREA ANY LOOSE MATERIAL RESULTING FROM CONTRACTOR OPERATIONS AT THE END OF EACH WORKDAY.

20. PRIOR TO ORDERING MATERIALS TO BE USED IN CONSTRUCTION, CONTRACTOR SHALL PROVIDE THE ENGINEER WITH FOUR (4) COPIES OF THE SOURCE, TYPE, GRADATION, MATERIAL SPECIFICATION DATA AND / OR SHOP DRAWINGS, AS APPLICABLE, TO SATISFY THE REQUIREMENTS OF THE FOLLOWING ITEMS AND ALL MATERIAL ITEMS REFERRED TO IN THESE LISTED ITEMS:

A. WATER MAINS AND SERVICES

B. WASTEWATER MAINS AND SERVICES

21. THRUST BLOCKS WILL NOT BE ALLOWED ON THE SYSTEM WITHOUT SPECIAL APPROVAL. JOINTS WILL BE RESTRAINED WITH RESTRAINING SYSTEMS APPROVED BY NBU AND RESTRAINT LENGTH SHALL BE SUBMITTED TO NBU AT THE TIME OF PLAN SUBMITTAL.

22. WATER JETTING THE BACKFILL WITHIN A STREET WILL NOT BE PERMITTED. WASTEWATER TRENCHES SUBJECT TO TRAFFIC SHALL CONFORM TO NBU CONNECTION AND CONSTRUCTION POLICY MANUAL.

23. WHERE THE MINIMUM 9 FOOT SEPARATION DISTANCE BETWEEN WASTEWATER LINES AND WATER LINES / MAINS CANNOT BE MAINTAINED, THE INSTALLATION OF WASTEWATER LINES SHALL BE IN STRICT ACCORDANCE WITH 30 TAC 217.

24. CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

25. UTILITY TRENCH COMPACTION WITH STREET R.O.W.

A. ALL UTILITY TRENCH COMPACTION TEST WITHIN THE STREET PAVEMENT SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEO-TECHNICAL ENGINEER.

B. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") LOOSE.

C. EACH LAYER OF MATERIAL SHALL BE COMPACTED AS SPECIFIED AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEXT METHODS TEX-113-E, TEX-114-E, TEX-115-E.

D. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF NEW BRAUNFELS STREET INSPECTOR.

E. UPON COMPLETION OF TESTING THE GEO-TECHNICAL ENGINEER SHALL PROVIDE THE CITY OF NEW BRAUNFELS STREET INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

SIGNAGE NOTES

INSTALLATION

THE CONTRACTOR SHALL FURNISH AND INSTALL ALL REGULATORY, WARNING AND STREET NAME SIGNS AND SIGN MOUNTS IN ACCORDANCE WITH APPROVED ENGINEERING PLANS.

MOUNTING

THE WEDGE ANCHOR STEEL SYSTEM AND THIN-WALLED TUBING POST SHALL BE USED FOR SIGNS WITH UP TO 10 SQUARE FEET OF SIGN AREA. MATERIALS AND INSTALLATION SHOULD FOLLOW THE TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) TRAFFIC STANDARDS SMD (GEN) - 08 AND SMD (TWT) - 08.

THE TRIANGULAR SLIP BASE SYSTEM AND 10 BWG TUBING POST SHALL BE USED FOR SIGNS THAT HAVE 10 TO 16 SQUARE FEET OF SIGN AREA. MATERIALS AND INSTALLATION SHOULD FOLLOW THE TXDOT TRAFFIC STANDARDS SMD (GEN) - 08 AND SMD (SLIP-1)-08.

OBJECT MARKERS MATERIALS AND INSTALLATION SHOULD FOLLOW THE TXDOT TRAFFIC STANDARDS D & OM (1 - 5) - 10.

MATERIALS

SIGN MATERIALS INCLUDING ALUMINUM SIGN BLANKS AND SIGN FACE MATERIALS SHOULD FOLLOW THE TXDOT TRAFFIC STANDARDS TSR (1 - 5) - 08 AND DEPARTMENTAL MATERIAL SPECIFICATIONS DMS-7110 AND DMS-6300.

THE CITY OF NEW BRAUNFELS WILL INSPECT ALL SIGNS AT FINAL INSPECTION.

GROUNDWATER

IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, CONTRACTOR, SUBCONTRACTORS, BUILDERS, GEO-TECHNICAL ENGINEER, AND PROJECT ENGINEER TO IMMEDIATELY NOTIFY THE OFFICE OF THE CITY ENGINEER AND PROJECT ENGINEER IF THE PRESENCE OF GROUNDWATER WITHIN THE SITE IS EVIDENT. UPON NOTIFICATION THE PROJECT ENGINEER SHALL RESPOND WITH PLAN REVISIONS FOR THE MITIGATION OF THE GROUNDWATER ISSUE. THE CITY ENGINEER SHALL RESPOND WITHIN TWO (2) BUSINESS DAYS UPON RECEIPT OF THE MITIGATION PLAN. ALL CONSTRUCTION ACTIVITY, IMPACTED BY THE DISCOVERY OF GROUNDWATER, SHALL BE SUSPENDED UNTIL THE CITY ENGINEER GRANTS A WRITTEN APPROVAL OF THE GROUNDWATER MITIGATION PLAN.

RECORD DRAWINGS

AS PER PLATTING ORDINANCE SECTION 118-38M: WHEN ALL OF THE IMPROVEMENTS ARE FOUND TO BE CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND WITH THE CITY'S STANDARDS, AND UPON RECEIPT OF ONE SET OF "RECORD DRAWING" PLANS, AND A DIGITAL COPY OF ALL PLANS (PDF COPY) THE CITY ENGINEER SHALL ACCEPT SUCH IMPROVEMENTS FOR THE CITY OF NEW BRAUNFELS, SUBJECT TO THE GUARANTY OF MATERIAL AND WORKMANSHIP PROVISIONS IN THIS SECTION.

CONSTRUCTION NOTE

ENGINEER OF RECORD IS RESPONSIBLE TO ENSURE THAT EROSION CONTROL MEASURES AND STORMWATER CONTROL SUFFICIENT TO MITIGATE OFF SITE IMPACTS ARE IN PLACE AT ALL STAGES OF CONSTRUCTION.

DRAINAGE NOTE

DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE THE IMPACT OF CONSTRUCTION SHALL BE INSTALLED PRIOR TO ADDING IMPERVIOUS COVER.

FINISHED FLOOR ELEVATIONS

THE ELEVATION OF THE FINISHED FLOOR SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SWALE PREVENTING RUNOFF FROM ENTERING THE GARAGE.

SOILS TESTING

PROCTORS SHALL BE SAMPLED FROM ON-SITE MATERIAL (ON-SITE IS DEFINED AS LIMITS OF CONSTRUCTION FOR THIS

-PLAN SET) AND A COPY OF THE PROCTOR RESULTS SHALL BE DELIVERED TO THE CITY OF NEW BRAUNFELS STREET INSPECTOR PRIOR TO ANY DENSITY TESTS.

ROADWAY

ALL ROADWAY COMPACTION TESTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEOTECHNICAL ENGINEER. FLEXIBLE BASE OR FILL/EMBANKMENT MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED EIGHT INCHES (8") LOOSE. THE REQUIRED DENSITY FOR THE FILL/EMBANKMENT MATERIAL SHALL MEET THE REQUIREMENTS OF TXDOT'S SPECIFICATION ITEM 132. THE REQUIRED DENSITY FOR THE FLEXIBLE BASE MATERIAL SHALL MEET THE REQUIREMENTS OF TXDOT'S SPECIFICATION ITEM 247. EACH LAYER OF MATERIAL, INCLUSIVE OF SUBGRADE, SHALL BE COMPACTED AS SPECIFIED AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF NEW BRAUNFELS STREET INSPECTOR. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY 200 LF FOR EACH LIFT. UPON COMPLETION OF TESTING, THE GEOTECHNICAL ENGINEER WILL PROVIDE THE CITY OF NEW BRAUNFELS STREET INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FLEXIBLE BASE, AND FILL MATERIAL, AND SUBGRADE, HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. ADDITIONAL DENSITY TESTS MAY BE REQUESTED BY THE CITY OF NEW BRAUNFELS INSPECTOR.

ITEM 340

ASPHALTIC CONCRETE PAVEMENT SHALL BE THE TYPE OF HOT MIX ASPHALT AS DEFINED IN TXDOT'S STANDARD SPECIFICATIONS FOR CURRENT TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREET AND BRIDGES.

THE CITY OF NEW BRAUNFELS WILL NOT ACCEPT THE USE OF RECYCLED ASPHALT PAVEMENT (RAP) OR RECYCLED ASPHALT SHINGLES (RAS) IN ASPHALT MIXTURES FOR NEW ROADWAYS. ANY DEBRIS INCLUSIONS WITHIN NEW ASPHALT PAVEMENTS WILL RESULT IN ASPHALT REMOVAL AND REPLACEMENT FROM CURB TO CURB FOR LIMITS TO BE DETERMINED BY THE CITY OF NEW BRAUNFELS.

THE ASPHALTIC CONCRETE PAVEMENT SURFACE COURSE SHALL BE PLANT MIXED, HOT LAID TYPE "D" MEETING THE SPECIFICATION REQUIREMENTS OF TXDOT ITEM 340. THE ASPHALTIC CONCRETE PAVEMENT SUB-SURFACE COURSES SHALL BE PLANT MIXED, HOT LAID TYPE "B" MEETING THE SPECIFICATION REQUIREMENTS OF TXDOT ITEM 340. THE MIXTURE SHALL BE DESIGNED PER THE DESIGN REQUIREMENTS SPECIFIED IN TXDOT ITEM 340 AND SHALL BE COMPACTED TO BETWEEN 91 AND 95 PERCENT OF THE MAXIMUM THEORETICAL DENSITY AS DETERMINED BY TXDOT TEST METHOD TEX-227-F. PLACE THE MIXTURE WHEN THE ROADWAY SURFACE TEMPERATURE IS AT OR ABOVE 80°F. COMPLETE ALL COMPACTION OPERATIONS BEFORE THE PAVEMENT TEMPERATURE DROPS BELOW 160°F. THE ASPHALT CEMENT CONTENT BY PERCENT OF TOTAL MIXTURE WEIGHT SHALL FALL WITHIN A TOLERANCE OF +0.5 PERCENT FROM A SPECIFIC MIX DESIGN.

UTILITY TRENCH COMPACTION (ADDED TO THE CONSTRUCTION PLANS ON ALL UTILITY PLAN SHEETS).

ALL UTILITY TRENCH COMPACTION TESTS WITHIN THE STREET PAVEMENT/SIDEWALK SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEOTECHNICAL ENGINEER. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") LOOSE. DETERMINE THE MAXIMUM LIFT THICKNESS BASED ON THE ABILITY OF THE COMPACTING OPERATION AND EQUIPMENT USED TO MEET THE REQUIRED DENSITY. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF NEW BRAUNFELS STREET INSPECTOR. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY 200 LF FOR EACH LIFT AND EVERY OTHER SERVICE LINE. UPON COMPLETION OF TESTING THE GEOTECHNICAL ENGINEER SHALL PROVIDE THE CITY OF NEW BRAUNFELS STREET INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. ADDITIONAL DENSITY TESTS MAY BE REQUESTED BY THE CITY OF NEW BRAUNFELS INSPECTOR.

CURB CUT DUE TO CONSTRUCTION OF NEW RIGHT-OF-WAY CONSTRUCTION (INDICATE THE 2 OPTIONS ON THE CONSTRUCTION PLANS).

SAWCUT EXISTING STREET AND MATCH TO NEW CONSTRUCTION.

SAWCUT EXISTING CURB TO THE INTO EXISTING CONSTRUCTION.

CONSTRUCTION STABILIZED ENTRANCE

SAWCUT CURB FOR CONSTRUCTION ENTRANCE.

STABILIZED CONSTRUCTION AREA SHALL BE CONSTRUCTED OF 3"x3" ROCK TO BE PLACED A MINIMUM LENGTH OF 25-FT. AND MAINTAINED SO THAT CONSTRUCTION DEBRIS DOES NOT FALL WITHIN THE CITY RIGHT-OF-WAY. RIGHT-OF-WAY MUST BE CLEARED FROM MUD, ROCKS, ETC. AT ALL TIMES.

(NOTES TO BE PLACED ON ALL WW PLAN & DETAIL SHEETS)

ENSURE ALL DRIVEWAY APPROACHES ARE BUILT IN GENERAL ACCORDANCE WITH A.D.A. SPECIFICATIONS. NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS, OR DRIVEWAYS.

SIGNING AND PAVEMENT MARKING PLAN NOTES

THE CONTRACTOR SHALL FURNISH AND INSTALL ALL REGULATORY AND WARNING SIGNS, STREETS NAME SIGNS AND SIGN MOUNTS IN ACCORDANCE WITH APPROVED ENGINEERING PLANS. THE CITY WILL INSPECT ALL SIGNS AT FINAL INSPECTION.

THE CONTRACTOR SHALL INSTALL ALL PAVEMENT MARKINGS IN ACCORDANCE WITH APPROVED ENGINEERING PLANS. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST TWENTY-FOUR (24 HOURS PRIOR TO THE INSTALLATION OF ALL SEALER AND FINAL MARKINGS. THE CITY WILL INSPECT ALL MARKINGS AT FINAL APPLICATION.

SEEDING AND ESTABLISHMENT OF VEGETATION WITHIN EARTHEN CHANNELS, STORMWATER BASINS AND DISTURBED AREAS

SEEDING FOR THE PURPOSE OF ESTABLISHING VEGETATION WITHIN CONSTRUCTED EARTHEN CHANNELS, BASINS AND DISTURBED AREAS SHALL BE CONDUCTED IN ACCORDANCE WITH ITEM 164 (SEEDING FOR EROSION CONTROL OF TXDOT'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS, STREETS AND BRIDGES MANUAL. ONLY SEED TYPES AND MIXES SPECIFIED FOR THE SAN ANTONIO DISTRICT (DISTRICT 15 IN TABLE 1 AND 2 UNDER ITEM 164 SHALL BE UTILIZED. DURING THE COOL SEASON (SEPT 1-NOV 30, CEREAL RYE AND SEED SPECIES SPECIFIED FOR THE SAN ANTONIO DISTRICT IN TABLE 3 MAY BE USED. FOR COOL SEASON SEEDING APPLICATIONS, COOL SEASON SEED MIXES SHALL BE USED IN CONJUNCTION WITH SEED MIXES FOR THE SAN ANTONIO DISTRICT AS SPECIFIED IN TABLE 1 AND 2 UNDER ITEM 164.


IT MAY BE DEEMED NECESSARY TO INCORPORATE TOPSOIL AND SOIL AMENDMENTS (I.E. COMPOST FERTILIZER INTO EXISTING SOIL IN ORDER TO FACILITATE VEGETATION GROWTH. TOPSOIL, COMPOST AND FERTILIZER ADDITIONS SHALL BE CONDUCTED ACCORDING TO ITEMS 160, 161 AND 166 OF TXDOT'S STANDARD SPECIFICATIONS MANUAL, RESPECTIVELY.

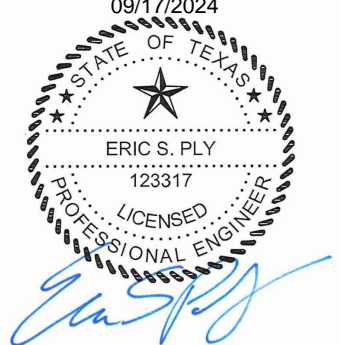
AREAS REQUIRING PERMANENT VEGETATION (EARTHEN CHANNELS, PONDS, ETC.) ARE REQUIRED TO MEET TXDOT SPECIFICATIONS FOR ITEM 160 TOPSOIL. TESTING PER TEX-129-E WILL BE REQUIRED AT THE CITY'S REQUEST.

WATERING MAY ALSO BE NECESSARY TO FACILITATE AND EXPEDITE THE SPROUTING AND GROWTH OF VEGETATION. ITEM 168 OF TXDOT'S STANDARD SPECIFICATIONS MANUAL SHALL BE ADHERED TO FOR VEGETATIVE WATERING.

IF EXTENDED DROUGHT CONDITIONS EXIST THAT HINDER OR PROHIBIT THE GROWTH AND ESTABLISHMENT OF VEGETATION, THE CONTRACTOR/DEVELOPER SHALL PROVIDE A PLAN TO THE CITY OF NEW BRAUNFELS DESCRIBING THE MEASURES THAT WILL BE TAKEN TO STABILIZE EARTHEN DRAINAGE INFRASTRUCTURE UNTIL A TIME WHEN GROWING CONDITIONS BECOME MORE FAVORABLE.

2300 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPELS FIRM F-10961
TBPELS FIRM 10153600





GENERAL NOTES

CHASIN' TAILS PET RESORT

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE:

DRAWN BY: **RR**

DESIGNED BY: **EP/MP**

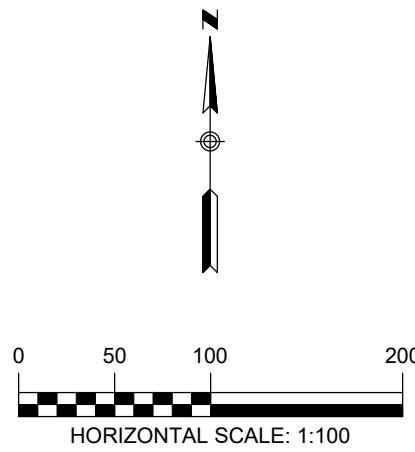
REVIEWED BY: **EP**

HMT PROJECT NO.: **564.001**

SHEET

C0.2

Drawing Name: M:_Projects\564 -Chasin' Tails Pet Resort\CDs\Reports\Drainage\564.001 DA Map.dwg User: cjb Sep 16, 2024 - 10:10am



- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - DRAINAGE AREA
 - TIME OF CONCENTRATION
 - POINT OF CONCENTRATION
 - DRAINAGE FLOW DIRECTION
 - DRAINAGE AREA LABEL

PR 1		35.40		Acres	
Time of Concentration (T _c)		33.53		Minutes	
COMPOSITE "C" VALUE					
0.16	0.18	0.19	0.20	0.21	0.23
Intensity					
2 Years	5 Years	10 Years	25 Years	50 Years	100 Years
2.98	3.71	4.33	5.19	5.85	6.55
Q (cfs)					
2 Years	5 Years	10 Years	25 Years	50 Years	100 Years
17.39	23.21	28.56	37.13	44.18	52.66

EX 1		35.40	Acres
Time of Concentration (T _c)		33.53	Minutes

COMPOSITE "C" VALUE					
0.16	0.17	0.18	0.20	0.21	0.22

Intensity					
2 Years	5 Years	10 Years	25 Years	50 Years	100 Years
2.98	3.71	4.33	5.19	5.85	6.55

Q (cfs)					
2 Years	5 Years	10 Years	25 Years	50 Years	100 Years
16.86	22.53	27.75	36.13	43.03	51.34

290 S. CASTELL AVE., STE. 100

NEW BRAUNFELS, TX 78130

TBPELS FIRM F-10961

TBPELS FIRM 10153600

HMT

ENGINEERING & SURVEYING

09/17/2024

OF

ERIC S. PLY

123317

LICENSED

PROFESSIONAL ENGINEER

DRAINAGE MAP

CHASIN' TAILS PET RESORT

NO.	REVISION	DESCRIPTION	DATE
1			

DATE:

DRAWN BY: RR

DESIGNED BY: EP/MP

REVIEWED BY: EP

HMT PROJECT NO.: 564.001

SHEET

C2.0



LORIN BREHMER
1.286 ACRE
VOL. 249, PG. 584
D.R.C.C.

ROBERT CAMARENO
4.916 ACRE
DOC# 200806023365
O.P.R.C.C.



- EXISTING POWER
POLE

- CONCRETE PAVING

KEY NOTES

- C3.1)**

NOTES:

1. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE STATED.
2. ALL SIDEWALKS SHALL HAVE A CROSS SLOPE OF NO GREATER THAN 2.0%.
3. AS PER UDC SECTION 35-506(a)(1)(C)(2) EXISTING SIDEWALKS, CURBS, AND DRIVE APPROACHES SHALL COMPLY WITH TEXAS ACCESSIBILITY STANDARDS AND CURRENT CITY OF SAN ANTONIO DESIGN STANDARDS.
4. REFERENCE ARCHITECTURAL PLANS FOR PAVEMENT TO STRUCTURAL SHALL HAVE PRECEDENCE.
5. GEOTECHNICAL REPORT NOT PROVIDED. CONTRACTOR SHALL COORDINATE WITH OWNER FOR EXACT PAVEMENT SPECIFICATIONS.

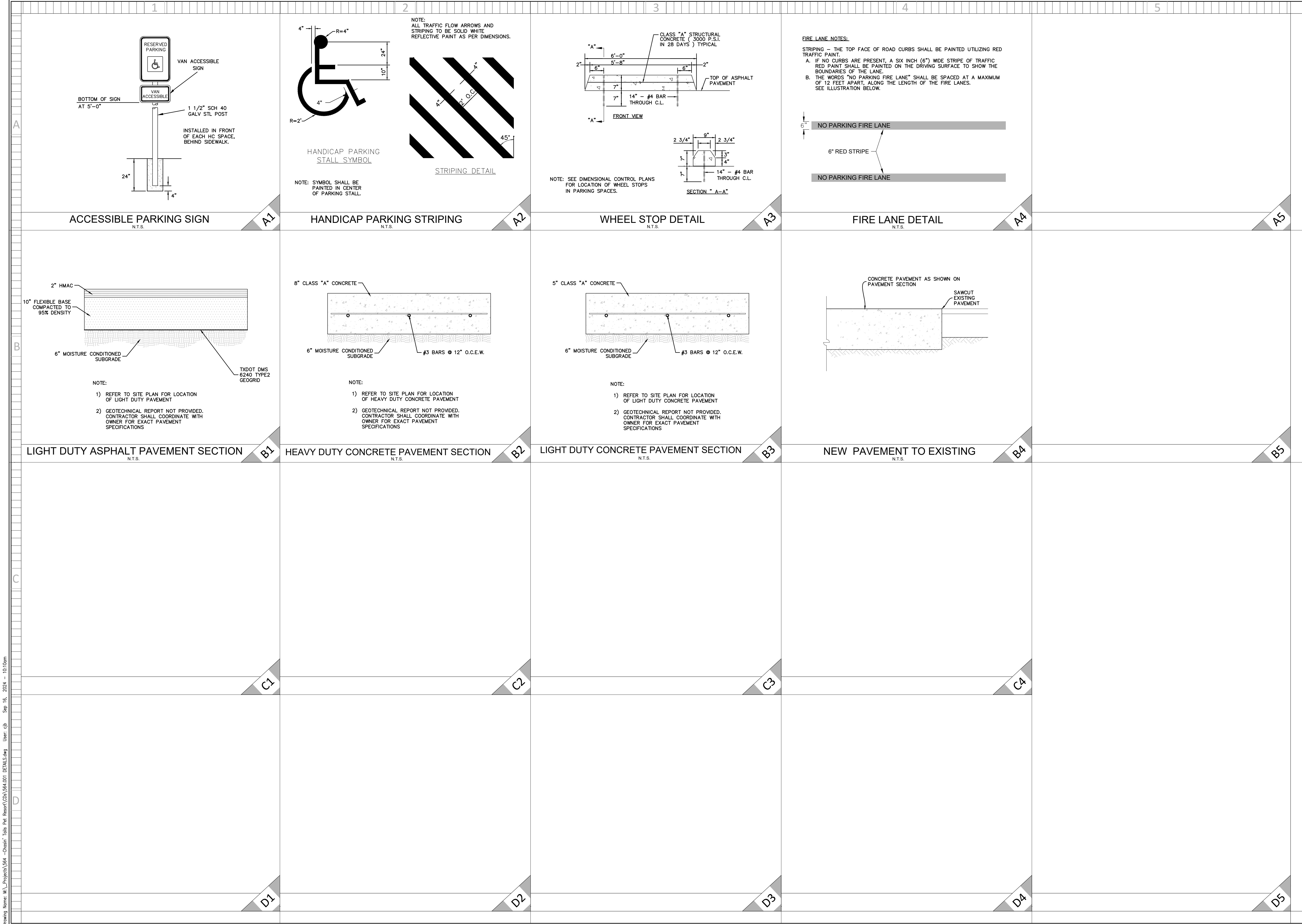
SITE PLAN

SITE PLAN

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DATE:
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DESIGNED BY: EP/MP
REVIEWED BY: EP
HMT PROJECT NO.: 564.001

SHEET
C3.0



290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPCLS FIRM F-10961
TBPCLS FIRM 10153600

HMT
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CIVIL DETAILS

CHASIN' TAILS PET RESORT

NO.	REVISION DESCRIPTION	REVISION DATE

DATE:

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DESIGNED BY: EP/MP

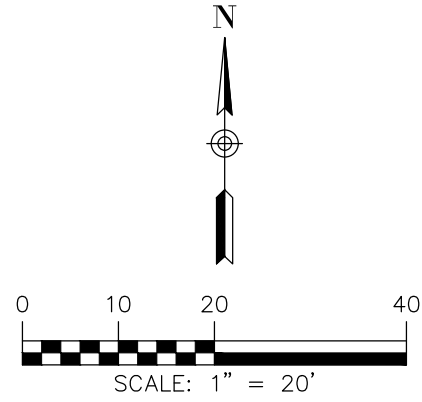
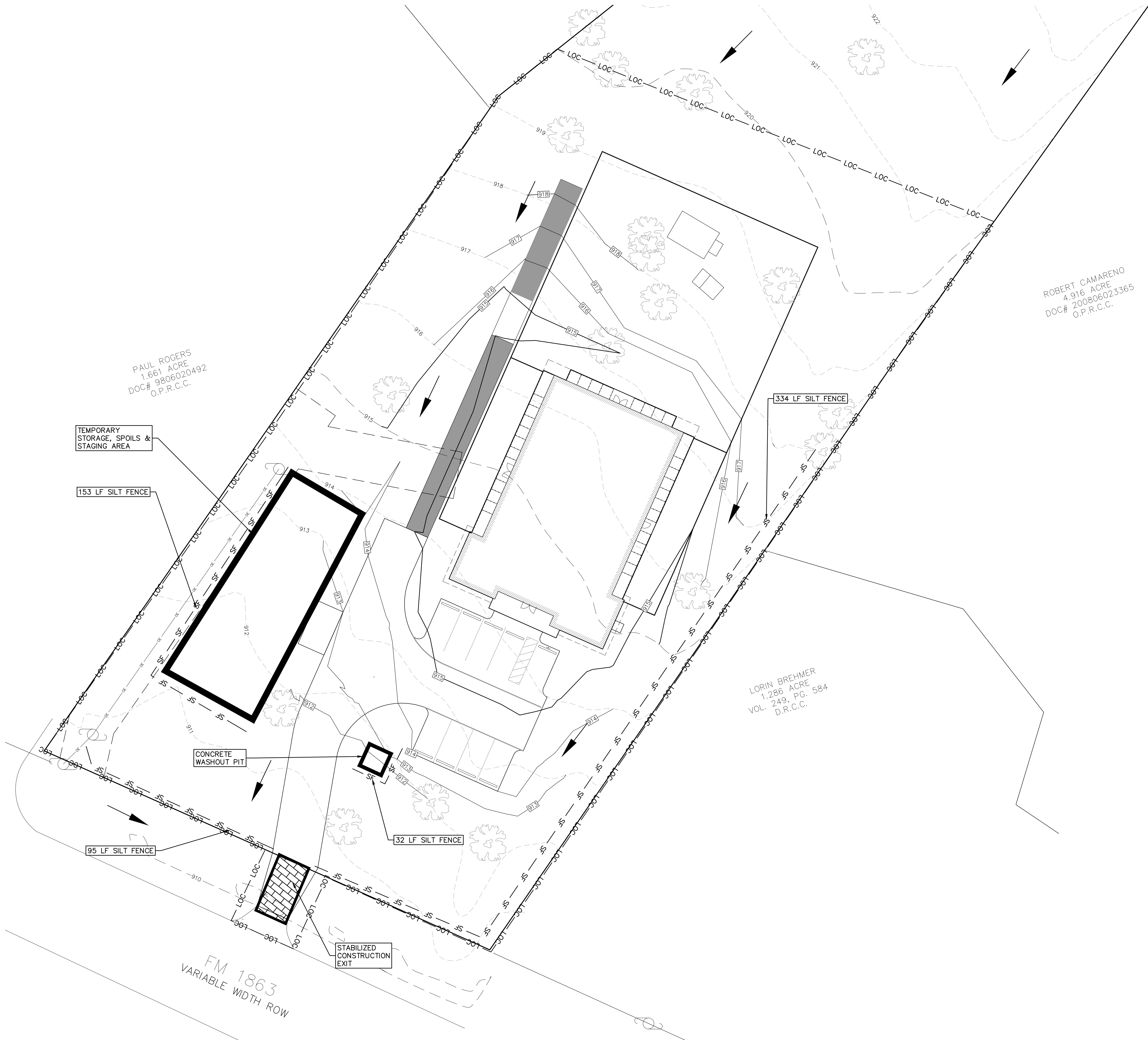
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Drawing Name: M:_Projects\564 -Chasin' Tails Pet Resort\CD\564.001 EROSION.dwg User: cjb Sep 16, 2024 - 10:11am



LEGEND

- 700 EXISTING CONTOURS
- 700 PROPOSED CONTOURS
- B.L. BUILDING SETBACK LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- DRAINAGE FLOW DIRECTION
- SF SF SILT FENCE
- LOC LOC LIMIT OF CONSTRUCTION
- STABILIZED CONSTRUCTION ENTRANCE

NOTE:

PER TPDES REQUIREMENTS, DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENT) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.

SILT FENCE AT PROPERTY LINE MAY BE SHOWN GRAPHICALLY OFFSET FROM PROPERTY LINE TO AVOID OVERLAP OF LINEWORK. CONTRACTOR SHALL NOT INSTALL EROSION CONTROL MEASURES BEYOND LIMITS OF CONSTRUCTION REGARDLESS OF GRAPHIC REPRESENTATION.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

EROSION CONTROL PLAN

CHASIN' TAILS PET RESORT

NO.	REVISION DATE	REVISION DESCRIPTION

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CONCRETE WASHOUT AREAS

THE PURPOSE OF CONCRETE WASHOUT AREAS IS TO PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFFSITE, PERFORMING ONSITE WASHOUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

THE FOLLOWING STEPS WILL HELP REDUCE STORMWATER POLLUTION FROM CONCRETE WASTES:

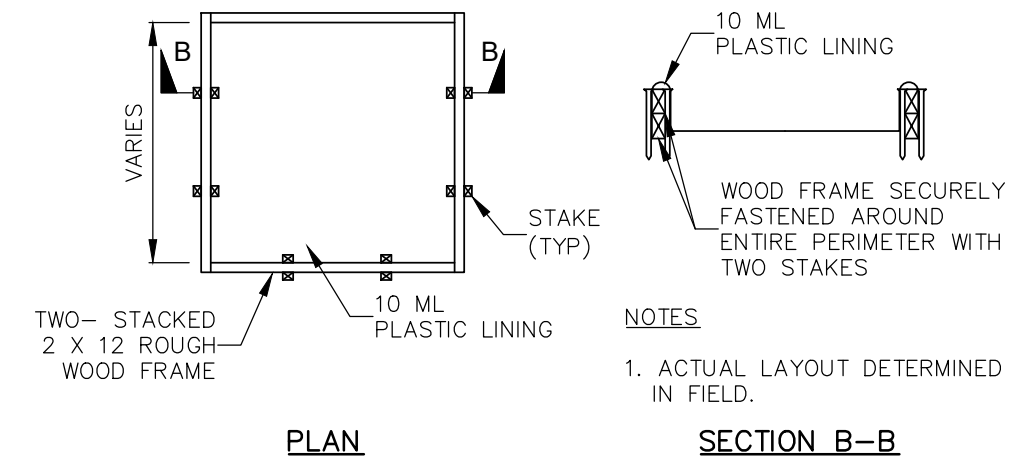
- INCORPORATE REQUIREMENTS FOR CONCRETE WASTE MANAGEMENT INTO MATERIAL SUPPLIER AND SUBCONTRACTOR AGREEMENTS.
- AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE.
- PERFORM WASHOUT OF CONCRETE TRUCKS IN DESIGNATED AREAS ONLY.
- DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
- DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ONSITE, EXCEPT IN DESIGNATED AREAS.

FOR ONSITE WASHOUT:

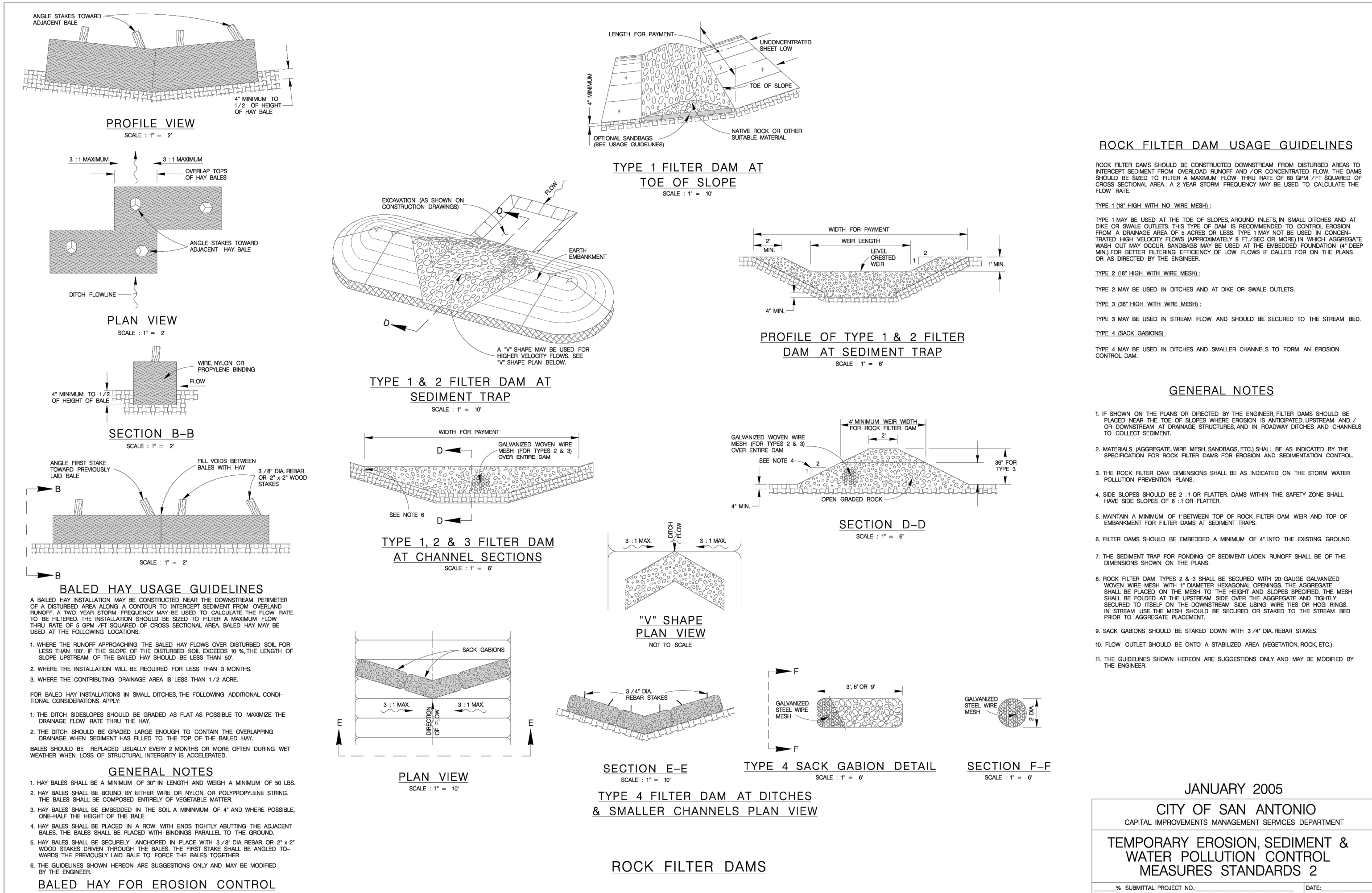
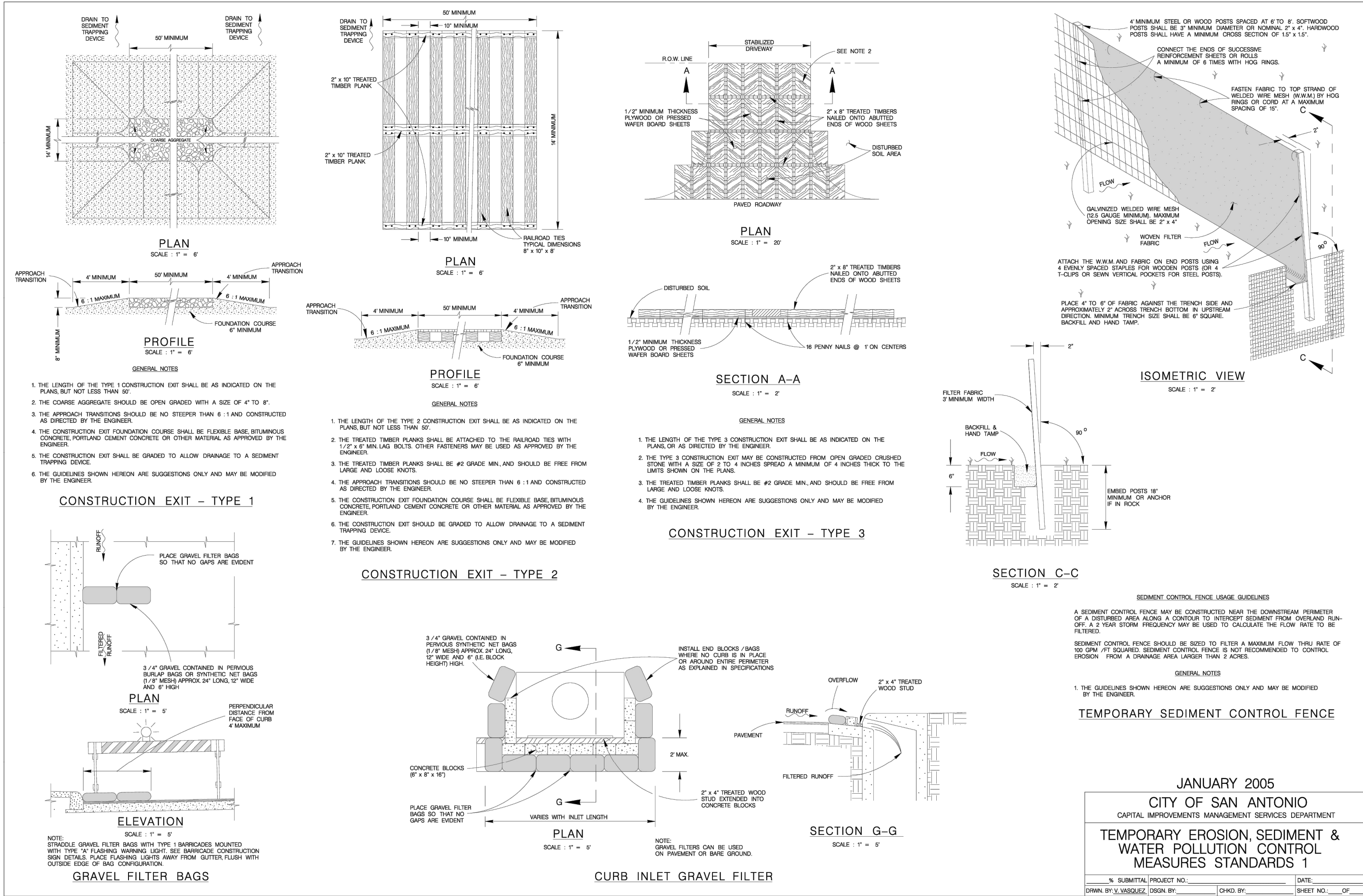
- LOCATE WASHOUT AREA AT LEAST 50 FEET FROM SENSITIVE FEATURES, STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DO NOT ALLOW RUNOFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE.
- WASH OUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED PROPERLY.

BELOW GRADE CONCRETE WASHOUT FACILITIES ARE TYPICAL. THESE CONSIST OF A LINED EXCAVATION SUFFICIENTLY LARGE TO HOLD EXPECTED VOLUME OF WASHOUT MATERIAL. ABOVE GRADE FACILITIES ARE USED IF EXCAVATION IS NOT PRACTICAL. TEMPORARY CONCRETE WASHOUT FACILITY (TYPE ABOVE GRADE) SHOULD BE CONSTRUCTED AS SHOWN ON THE DETAILS AT THE END OF THIS SECTION, WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL IN POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE BACKFILLED AND REPAIRED.



CONCRETE WASHOUT PIT DETAIL
TYPE "ABOVE GRADE"
NOT TO SCALE



NOTE:

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENT) AND SHALL BE STABILIZED WITHIN 14 DAYS, UNLESS ACTIVITY RESUMES IN 21 DAYS, PER TPDES REQUIREMENTS.

EROSION CONTROL
DETAILS

REVISION	DESCRIPTION	DATE

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REVIEWED BY: EP
HMT PROJECT NO.: 564.001

SHEET
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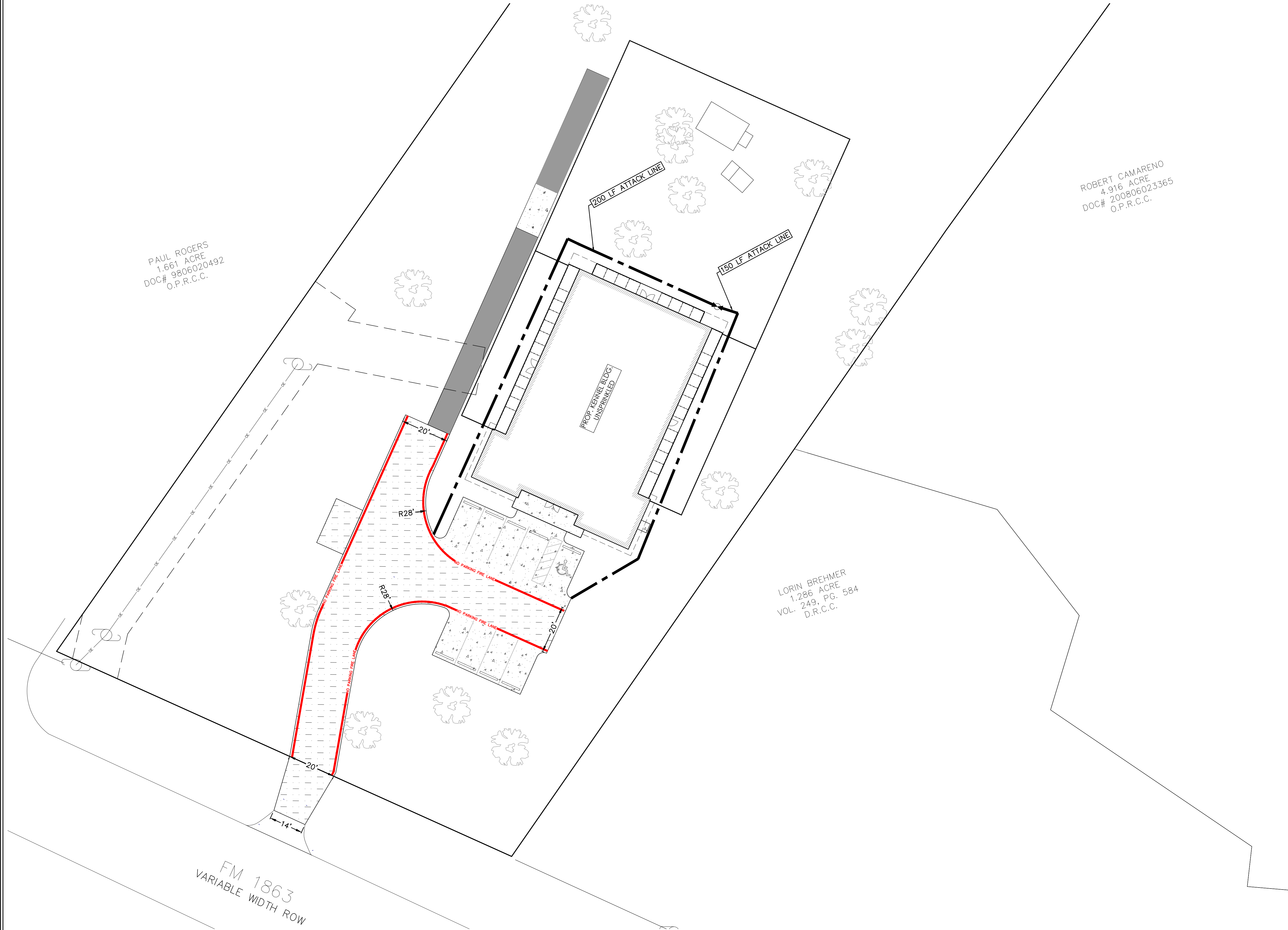


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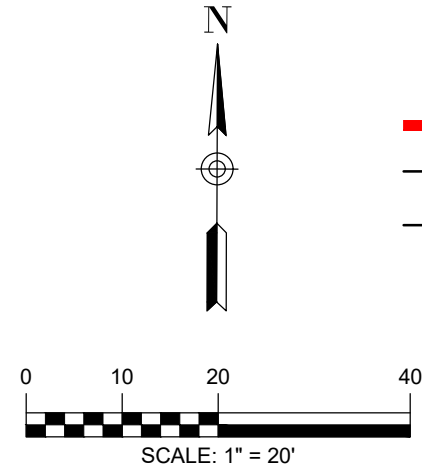


THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

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LEGEND

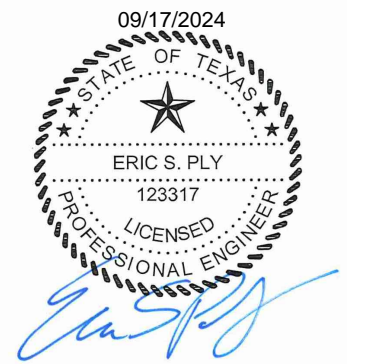
- NO PARKING FIRE LANE
- FIRE LANE STRIPING
- ATTACK LINE
- SUPPLY LINE
- POINT OF HOSE LAY OVERLAP

NO.	REVISION DESCRIPTION	REVISION DATE

DATE:
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DESIGNED BY: EP/MP
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HMT PROJECT NO.: 564.001

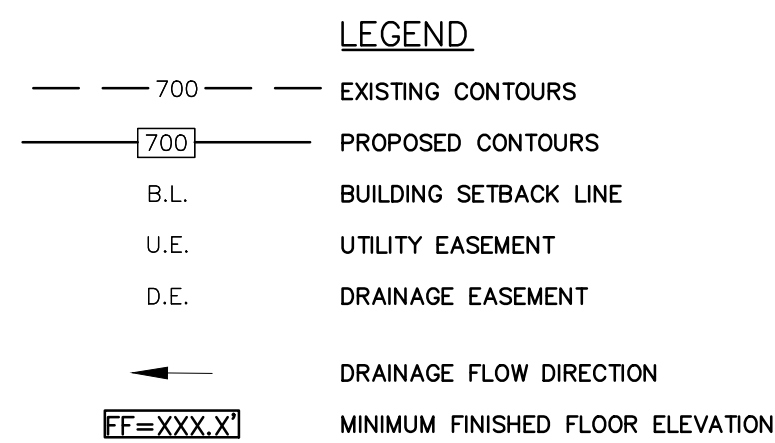
FIRE PROTECTION PLAN

CHASIN' TAILS PET RESORT



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NEW BRAUNFELS, TX 78130
TBPELS FIRM F-10961
TBPELS FIRM 10153600

SHEET
C5.0



ROBERT CAMARENO
4.916 ACRE
DOC# 200806023365
O.P.R.C.C.

LORIN BREHMER
1.286 ACRE
VOL. 249, PG. 584
D.R.C.C.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.



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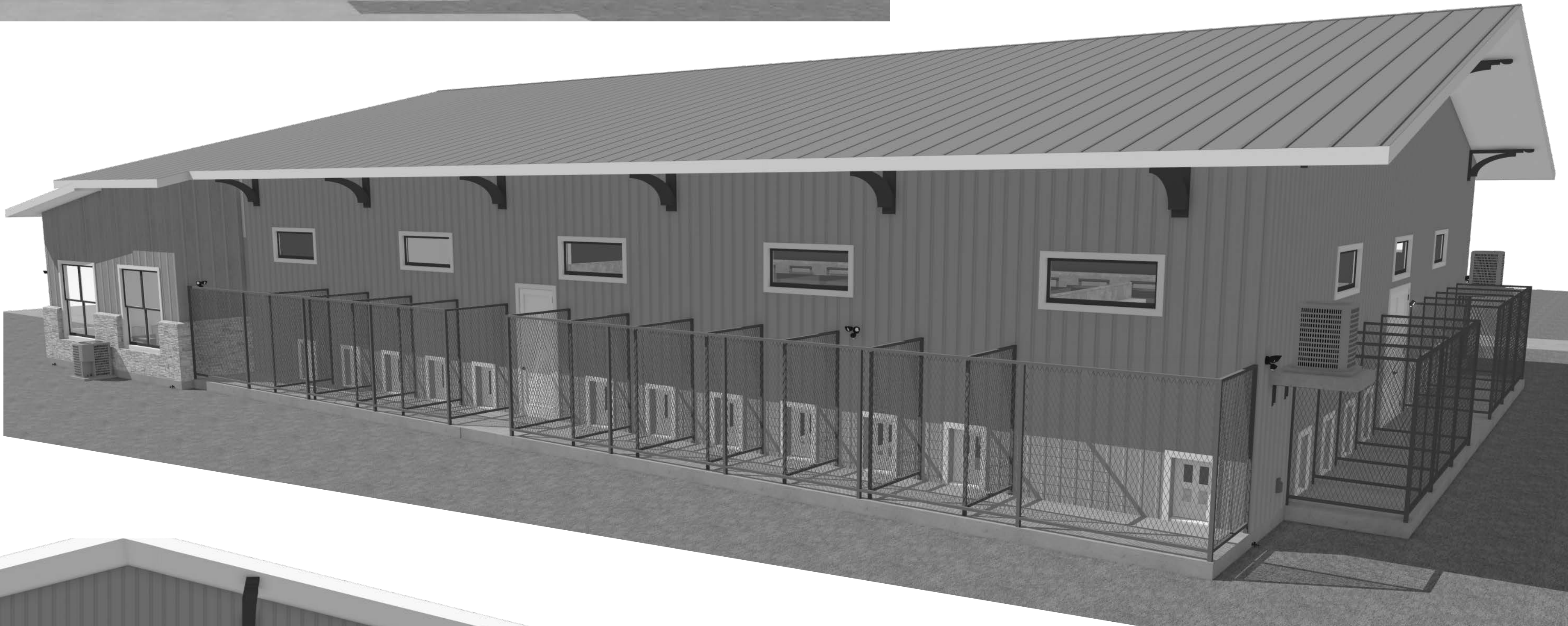


CHASIN' TAILS PET RESORT

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ENGINEERING:

J EDWARDS HOME DESIGNS IS NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE, NOR ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WIND BRACING OR FOUNDATIONS. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED REGARDING FRAMING, WIND BRACING AND FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WIND BRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. J EDWARDS HOME DESIGNS IS NOT HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY MATTER OR FORM IF ANY PROBLEMS ARISE.

GENERAL PROJECT NOTES:

1. THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
2. ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
3. BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
4. WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE DESIGNER IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS &/OR SPECS.
5. DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY ERRORS OR NEGLIGENCE MADE BY ROOFING CONTRACTOR, CONCERNING FLASHING & WATER PROOFING ON THIS PROJECT
6. THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.
7. THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/ MATERIALS SELECTED WHEN INSTALLED
8. ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES.
9. DESIGNER IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
10. ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT, IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY. CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
11. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
12. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
13. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
14. ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.
15. THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
16. THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
17. VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
18. IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE DESIGNER OR OWNER BEFORE PROCEEDING WITH THE WORK.
19. FINAL SELECTIONS FOR ALL FINISHES, FINISH MATERIALS, COLORS, TEXTURES, ETC. SHALL BE MADE BY THE BUILDER OR OWNER.
20. ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
21. WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
22. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES, VERIFY ACTUAL SIZES, AND ROUGH OPENING REQUIREMENTS WITH WINDOW MANUFACTURER.
23. PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
24. IF APPLICABLE, PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER. BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
25. WEATHERSTRIP ATTIC ACCESS DOOR(S).
26. CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS. PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE.
27. PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS PATIOS AND STUCCO WALLS
28. PROVIDE WEATHERSEAL AND A 9 1/2" MASONRY DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
29. ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2x6 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" O.C.
30. THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP. THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
31. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
32. ALL FIREPLACES 12" NON-COMBUSTIBLE SURROUND
33. ALL OVERHANGS TO BE 18" FROM THE FRAME WALL UNLESS NOTED OTHERWISE.
34. U.N.O. ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING.
35. ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
36. WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.
37. THE DESIGN & SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT (ENGINEER, TRUSS MANUFACTURER, ETC.) CHOSEN BY THE BUILDER/OWNER TO DO SAID DESIGN.
38. ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
39. CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAW FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.
40. CHIMNEY CAP TO BE BUILT WITH NON COMBUSTIBLE MATERIALS.
41. LAVATORIES AND SINKS SHOWN ARE NOT ACTUAL FIXTURE. CHECK WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
42. APPLIANCE DIMENSIONS MAY VARY. CHECK WITH BUILDER FOR EXACT DIMENSIONS.
43. PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
44. TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
45. CROWN MOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER.
46. ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
47. ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
48. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
49. COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
50. PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST
51. SUPPLY 220v & 110v OR GAS & 110v TO HVAC UNIT(S) IN ATTIC. (REFER TO SPECS) PROVIDE POWER AS REQ'D. AT A/C COMPRESSOR UNITS.
52. PROVIDE FOR LIGHT NEAR HVAC UNIT(S) IN ATTIC.
53. PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
54. SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL SMOKE DETECTORS SHALL BE HARD WIRED TO PRIMARY ELECTRICAL SERVICES WITH BATTERY BACKUP.
55. ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL BUILDING CODES.
56. ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE FROM FACE OF STUDS AND/ OR STONE VENEER UNLESS OTHERWISE NOTED.
57. CONTRACTOR SHALL NOTIFY DESIGNER UPON DISCOVERY OF ANY ERRORS OR DISCREPANCY OF DIMENSIONS, CLEARANCES, OR OTHER ITEMS AS SHOWN OR NOTED IN THESE DRAWINGS.
58. COORDINATE ALL WINDOW SIZES AND LOCATIONS AS NOTED ON FLOOR PLAN WITH SELECTED ELEVATION OPTIONS.
59. HVAC SYSTEM SHALL BE DESIGNED BY MECHANICAL SUB-CONTRACTOR AND APPROVED BY DESIGNER OR GENERAL CONTRACTOR. SYSTEM SHALL HAVE A S.E.E.R. RATING OF 14 OR AS REQUIRED BY LOCAL BUILDING CODES. UNITS SHALL BE DESIGNED AS DIRECTED BY CONTRACTOR. PROVIDE ALL SUCTION LINES FROM UNITS TO EXTERIOR CONDENSER UNITS AS INDICATED ON SITE PLAN. PROVIDE 4" THICK CONCRETE PADS WITH 6X6X10 WWF REINFORCING. LOCATE AIR HANDLING UNITS IN ATTIC SPACE NEAR RETURN AIR CHASES AS INDICATED ON THE FLOOR PLAN.
60. FOUNDATION PLAN TO BE DESIGNED BY A QUALIFIED ENGINEER.
61. PROVIDE ATTIC VENTING AS REQUIRED BY LOCAL CODES.

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FINAL

4H CONSTRUCTION

BUILDER:

PROJECT ADDRESS

1182 FM 1863
NEW BRAUNFELS, TX 78132

DESIGNER:

J Edwards
Home Designs

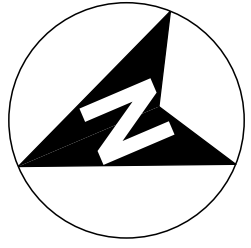
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A I
B D
AMERICAN INSTITUTE OF
BUILDING DESIGNERS

DATE:

8/15/2024

SHEET:

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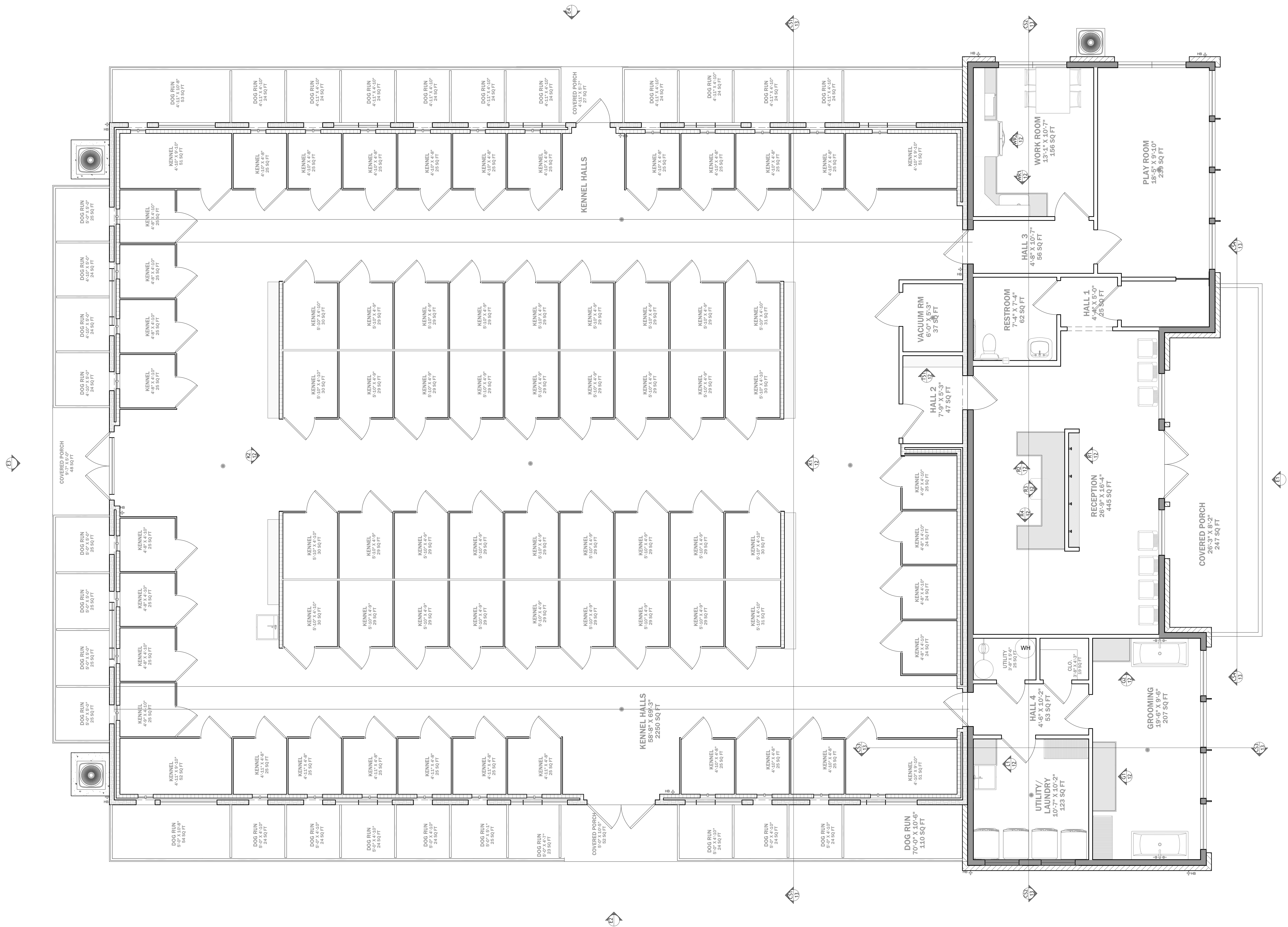
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DATE:
8/15/2024



ADDRESS
1182 FM 1863
NEW BRAUNFELS, TX 78132

FINAL



FIRST FLOOR PLAN OVERVIEW

- GENERAL ANNOTATIONS
- 1R1S
2R2S
AFF
A/V
C.O.
COVID
CPT
DBL.
D/O
DISP.
D.V.
DW
FF
FLR
K/S
MICRO
REF/REFG
SLP
SHLVS
T&G
U.C.
WIC
WH
WS

1 ROD 1 SHELF
2 RODS 2 SHELVES
ABOVE FINISH FLOOR
AUDIO VISUAL
CASED OPENING
COVERED
CARPET
DOUBLE
DOUBLE OVEN
GARBAGE DISPOSAL
DIRECT VENT
DISHWASHER
FINISHED FLOOR
KNEE SPACE
MICRO
REFRIGERATOR
SLOPED (CEILING OR FLOOR)
SHELVES
TONGUE AND GROOVE
UNDER COUNTER
WALK IN CLOSET
WATER HEATER
WATER SOFTENER
- WINDOW AND DOOR ANNOTATIONS
- AWN
DC
DH
DV
DR
FX
HDR HT
LS
LT
O. H.D.
OPNG
PKT
PNL
PT
RS
SC
SH
SLD
STL
TRANS

AWNING
DOUBLE CASEMENT WINDOW
DOUBLE HUNG
DIVIDED LIGHT
DOOR
FIXED GLASS
HEADER HEIGHT
LEFT SLIDER WINDOW
LITE
OVERHEAD DOOR
OPENING
POCKET DOOR
PANEL
PASS THROUGH
RIGHT SLIDER WINDOW
SINGLE CASEMENT WINDOW
SINGLE HUNG
SLIDER
STEEL
TRANSOM

BUILDING AREA		
KENNEL(AC/HT)	4540	SF
RECEPTION/WORKROOMS (AC/HT)	1402	SF
FRONT PORCH	254	SF
COVERED SIDE/REAR PORCH(S)	127	SF
DOG RUNS	859	SF
TOTAL LIVABLE (AC)	5942	SF
BRICK LUG	56	SF
TOTAL SLAB	7238	SF
TOTAL BUILDING AREA	7238	SF

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FINAL

4H CONSTRUCTION

BUILDER:

1182 FM 1863
NEW BRAUNFELS, TX 78132

PROJECT ADDRESS

KRISTI SIGMON
CHASIN' TAILS PET RESORT

DESIGNER:

J Edwards
Home Designs

J EDWARDS HOME DESIGNS, LLC
324 COMAL AVENUE
NEW BRAUNFELS, TX 78130
JULIE@JEDWARDSHOMEDESIGNS.COM
830-460-3455

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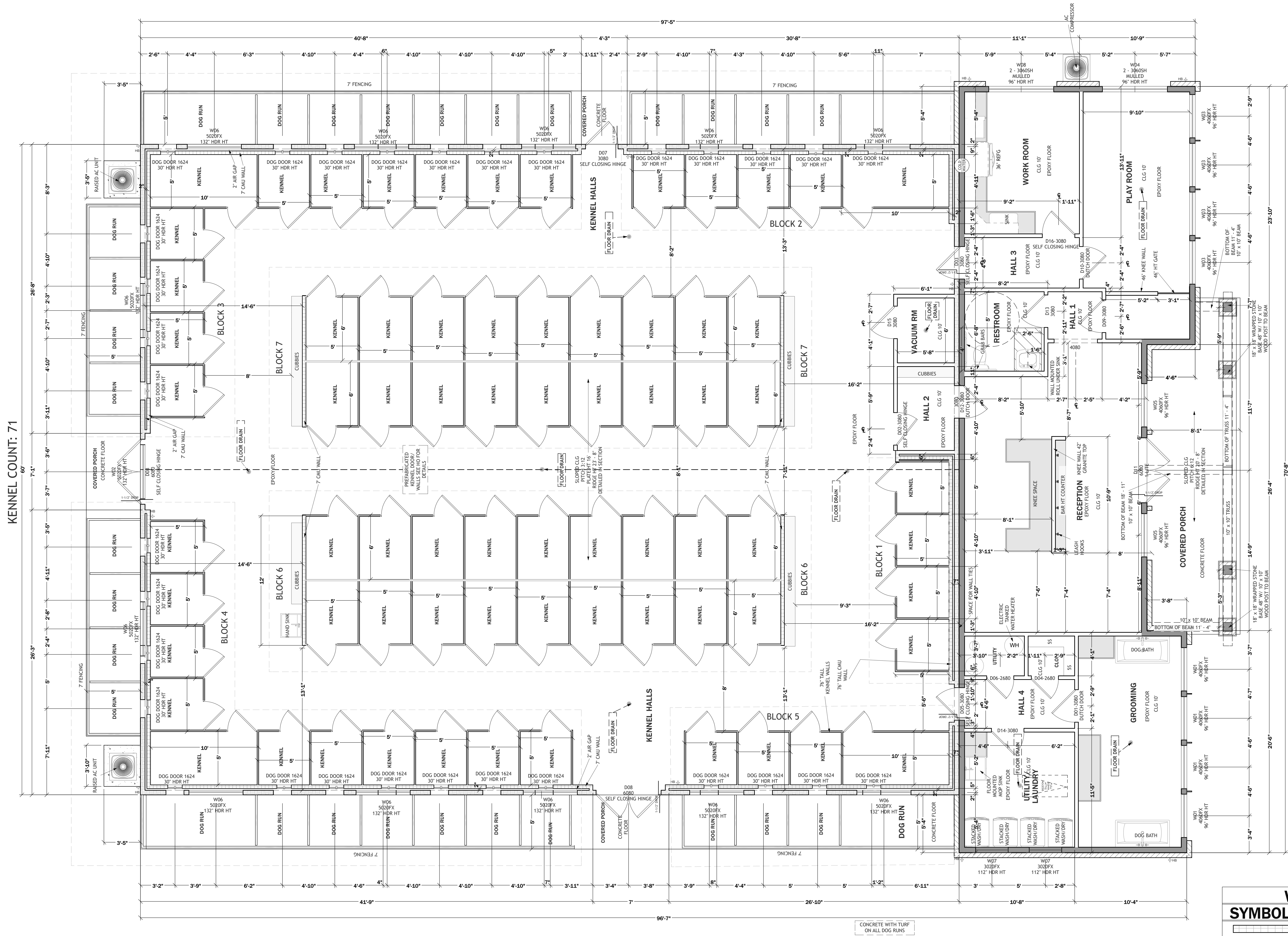
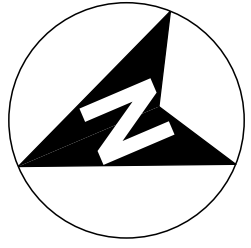
8/15/2024

SCALE:

1/4" = 1'

SHEET:

3



KENNEL COUNT: 71

WALL SCHEDULE	
SYMBOL	WALL TYPE
	CMU 4
	CORRUGATED METAL

FIRST FLOOR PLAN DIMENSIONAL

FINAL

4H CONSTRUCTION

1182 FM 1863
NEW BRAUNFELS, TX 78132

PROJECT ADDRESS

CHASIN' TAILS PET RESORT

KRISTI SIGMON

J EDWARDS HOME DESIGNS LLC
324 COMAL AVENUE
NEW BRAUNFELS, TX 78130
JULIE@JEDWARDSHOMEDESIGNS.COM
830-460-3455

Home Designs

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










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







DATE:
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SCALE:
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SHEET:
4

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DOOR SCHEDULE - CONTRACTOR MUST VERIFY DOOR COUNT, STYLE, TYPE AND LOCATION.										
ELEV	NUMBER	FLOOR	ROOM NAME	QTY	WIDTH	HEIGHT	HINGE SIDE	SWING SIDE	TYPE	LABEL
	D01	1	GROOMING/HALL 4	1	36"	96"	R	OUT	HINGED	D01-3080 DUTCH DOOR
	D02	1	HALL 2/KENNEL HALLS	1	36"	96"	R	IN	HINGED	D02-3080 SELF CLOSING HINGE
	D03	1	HALL 3/DOG RUN	1	36"	96"	R	OUT	HINGED	D03-3080 SELF CLOSING HINGE
	D04	1	HALL 4/CLO.	1	30"	96"	R	IN	HINGED	D04-2680
	D05	1	HALL 4/DOG RUN	1	36"	96"	L	OUT	HINGED	D05-3080 SELF CLOSING HINGE
	D06	1	HALL 4/UTILITY	1	30"	96"	R	IN	HINGED	D06-2680
	D07	1	KENNEL HALLS/ COVERED PORCH	1	36"	96"	L	OUT	HINGED	D07-3080 SELF CLOSING HINGE
	D08	1	KENNEL HALLS/ COVERED PORCH	2	72"	96"	L/R	OUT	DOUBLE HINGED	D08-6080 SELF CLOSING HINGE
	D09	1	PLAY ROOM/HALL 1	1	36"	96"	R	OUT	HINGED	D09-3080
	D10	1	PLAY ROOM/HALL 3	1	36"	96"	R	IN	HINGED	D10-3080 DUTCH DOOR
	D11	1	RECEPTION/COVERED PORCH	1	72"	96"	L/R	OUT	DOUBLE HINGED	D11-6080 1-LITE
	D12	1	RECEPTION/DOG RUN	1	36"	96"	L	IN	HINGED	D12-3080 DUTCH DOOR
	D13	1	RESTROOM/HALL 1	1	36"	96"	R	IN	HINGED	D13-3080
	D14	1	UTILITY/LAUNDRY/HALL 4	1	36"	96"	R	IN	HINGED	D14-3080
	D15	1	VACUUM RM/KENNEL HALLS	1	36"	96"	R	OUT	HINGED	D15-3080
	D16	1	WORK ROOM/HALL 3	1	36"	96"	R	IN	HINGED	D16-3080 SELF CLOSING HINGE

WINDOW SCHEDULE - CONTRACTOR MUST VERIFY WINDOW COUNT, STYLE, TYPE, AND LOCATION										
ELEV	NUMBER	FLOOR	ROOM NAME	QTY	WIDTH	HEIGHT	HDR HT	TYPE	LABEL	
	W01	1	GROOMING	4	48"	72"	96"	FIXED GLASS	W01 4060FX 96" HDR HT	
	W02	1	KENNEL HALLS/ COVERED PORCH	1	60"	24"	132"	FIXED GLASS	W02 5020FX 132" HDR HT	
	W03	1	PLAY ROOM	4	48"	72"	96"	FIXED GLASS	W03 4060FX 96" HDR HT	
	W04	1	PLAY ROOM	1	72"	72"	96"	MULLED UNIT	W04 2 - 3060SH MULLED 96" HDR HT	
	W05	1	RECEPTION/COVERED PORCH	2	48"	72"	96"	FIXED GLASS	W05 4060FX 96" HDR HT	
	W06	1	UNSPECIFIED/DOG RUN	12	60"	24"	132"	FIXED GLASS	W06 5020FX 132" HDR HT	
	W07	1	UTILITY/LAUNDRY	2	36"	24"	112"	FIXED GLASS	W07 3020FX 112" HDR HT	
	W08	1	WORK ROOM	1	72"	72"	96"	MULLED UNIT	W08 2 - 3060SH MULLED 96" HDR HT	

WINDOW AND DOOR SCHEDULE

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DESIGNER:



J EDWARDS HOME DESIGNS LLC
324 COMAL AVENUE
NEW BRAUNFELS, TX 78130
JULIE@JEDWARDSHOMEDESIGNS.COM
830-460-3455

MEMBER



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BUILDING DESIGNERS

DATE:

8/15/2024

SCALE:

1/4" = 1'

SHEET:

5

BUILDER:

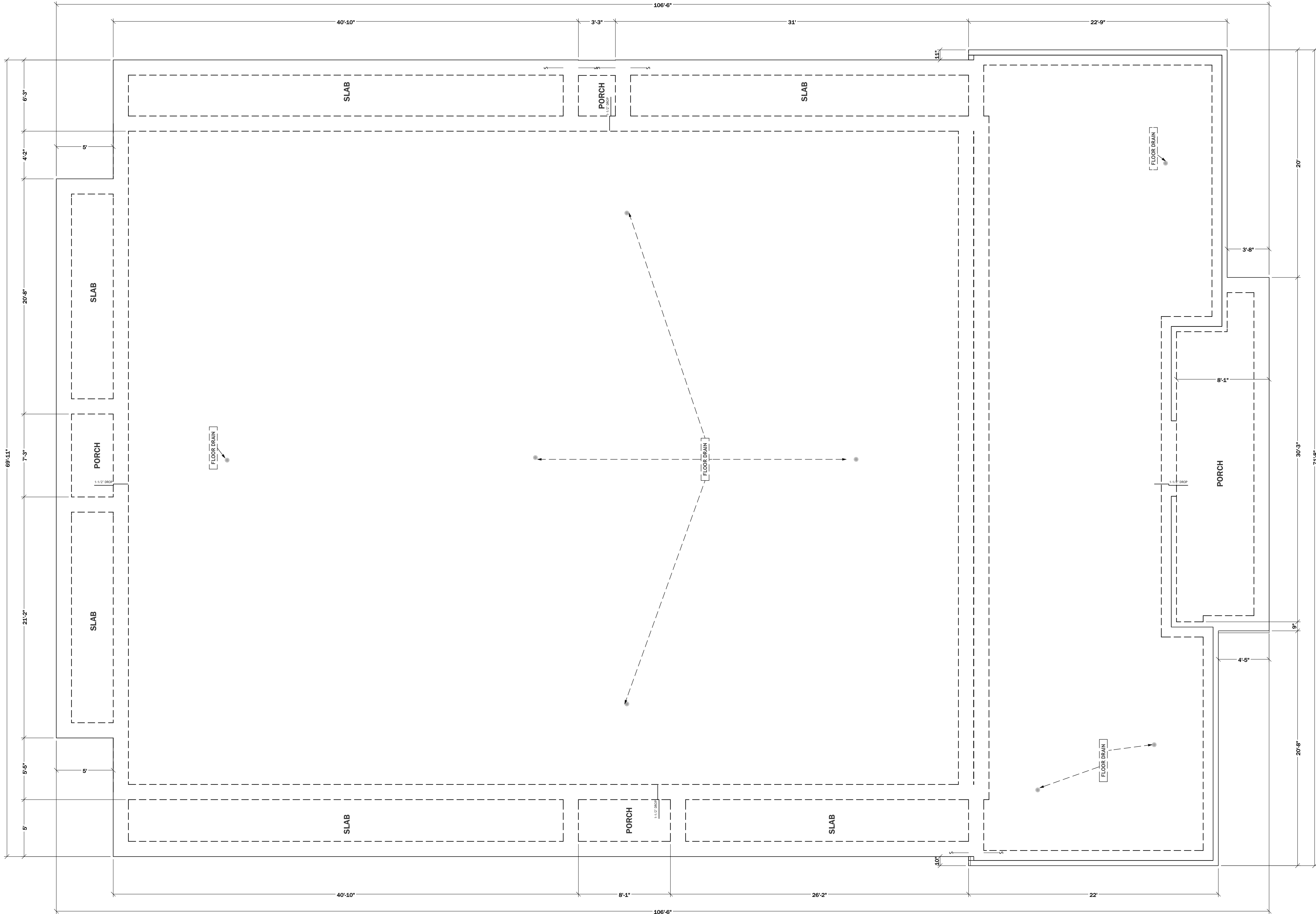
1182 FM 1863
NEW BRAUNFELS, TX 78132

PROJECT ADDRESS:

CHASIN' TAILS PET RESORT

FINAL

4H CONSTRUCTION



FOUNDATION PLAN
(DIMENSIONAL ONLY) FOUNDATION TO BE
PROFESSIONALLY ENGINEERED

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3242 CORAL AVENUE
NEW BRAUNFELS, TX 78130
JULIE@JEDWARDSHOMEDESIGNS.COM
830-460-3455

DESIGNER:

KRISTI SIGMON

CHASIN' TAILS PET RESORT

PROJECT ADDRESS

1182 FM 1863
NEW BRAUNFELS, TX 78132

BUILDER:

4H CONSTRUCTION

FINAL

DATE:
8/15/2024

SCALE:
1/4" = 1'

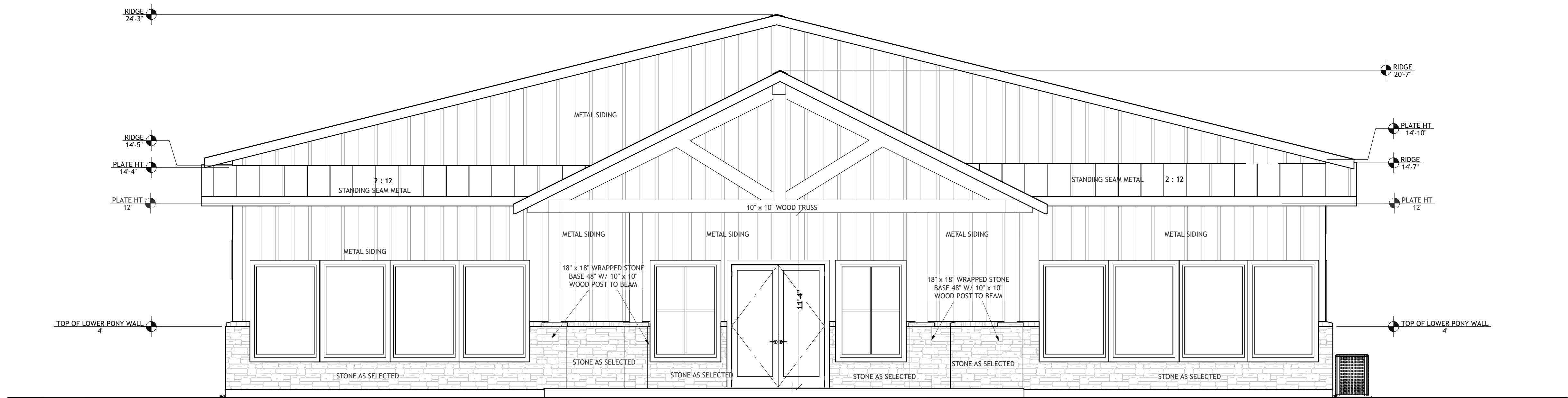
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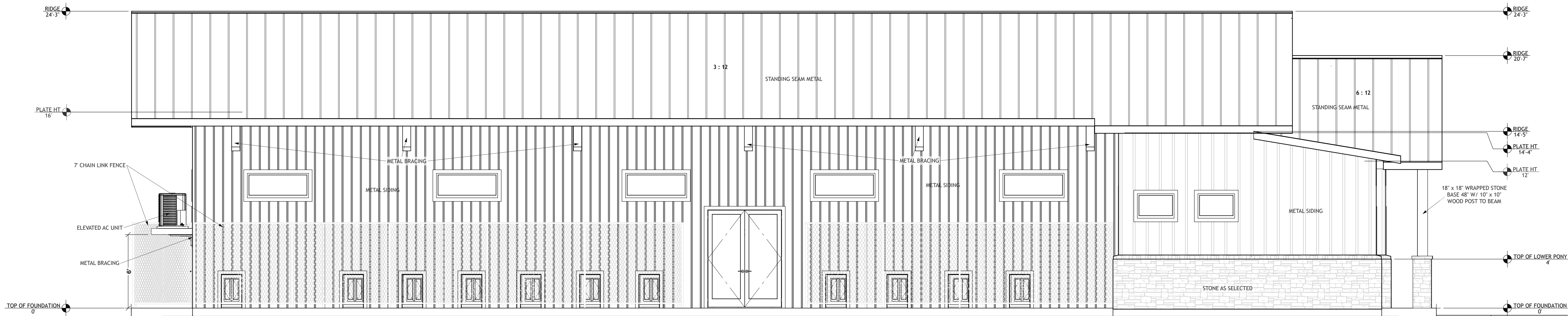
ROOF PLAN

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DESIGNER:  J EDWARDS HOME DESIGNS LLC 3242 CORAL AVENUE NEW BRAUNFELS, TX 78130 WWW.JEDWARDSHOMEDESIGNS.COM JULIE@JEDWARDSHOMEDESIGNS.COM 830-460-3455	MEMBER  AMERICAN INSTITUTE OF BUILDING DESIGNERS	DATE: 8/15/2024	SCALE: 1/4" = 1'	SHEET: 7
PROJECT ADDRESS 1182 FM 1863 NEW BRAUNFELS, TX 78132				
BUILDER: 4H CONSTRUCTION				
FINAL				



FRONT ELEVATION



LEFT ELEVATION

ELEVATIONS

FINAL

4H CONSTRUCTION

1182 FM 1863
NEW BRAUNFELS, TX 78132

CHASIN' TAILS PET RESORT

J EDWARDS HOME DESIGNS LLC
3242 CORRAL AVENUE
NEW BRAUNFELS, TX 78130
JULIE@JEDWARDSHOMEDESIGNS.COM
836-460-3455

DESIGNER: *J Edwards*
Home Designs

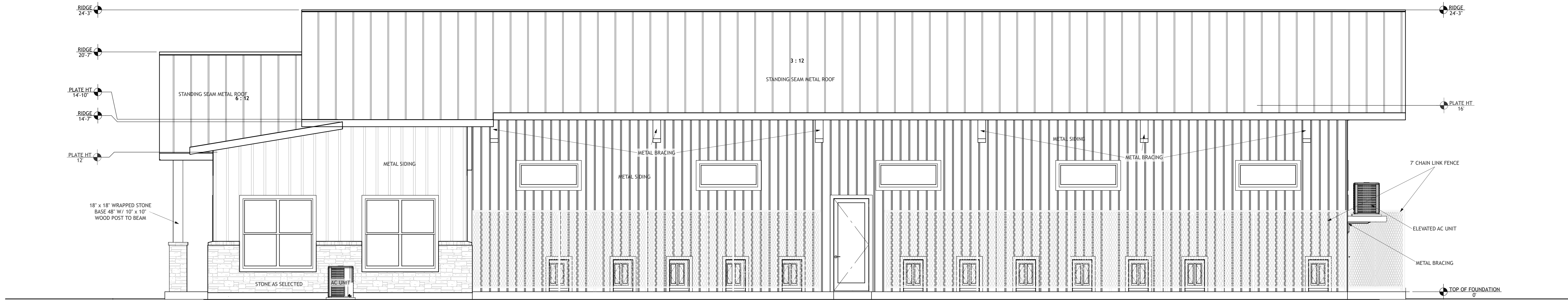
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BUILDING DESIGNERS

DATE:
8/15/2024

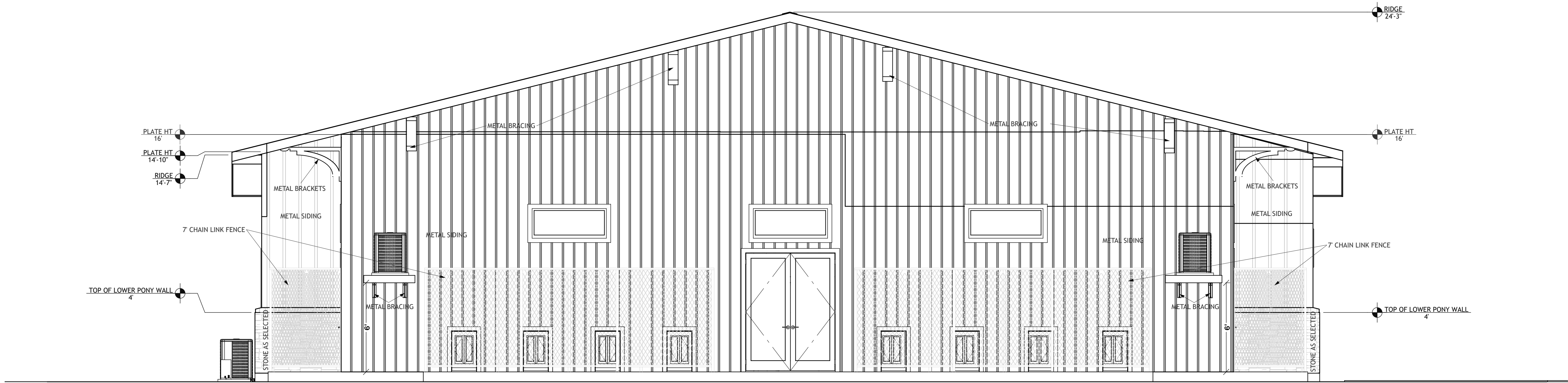
SCALE:
1/4" = 1'

SHEET:
8

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RIGHT ELEVATION



REAR ELEVATION

ELEVATIONS

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FINAL

4H CONSTRUCTION

1182 FM 1863
NEW BRAUNFELS, TX 78132

PROJECT ADDRESS

KRISTI SIGMON
CHASIN' TAILS PET RESORT

J EDWARDS HOME DESIGNS, LLC
3224 CONAL AVENUE
NEW BRAUNFELS, TX 78130
JULIE@JEDWARDSHOMEDESIGNS.COM
830-460-3455

DESIGNER:

J Edwards
Home Designs

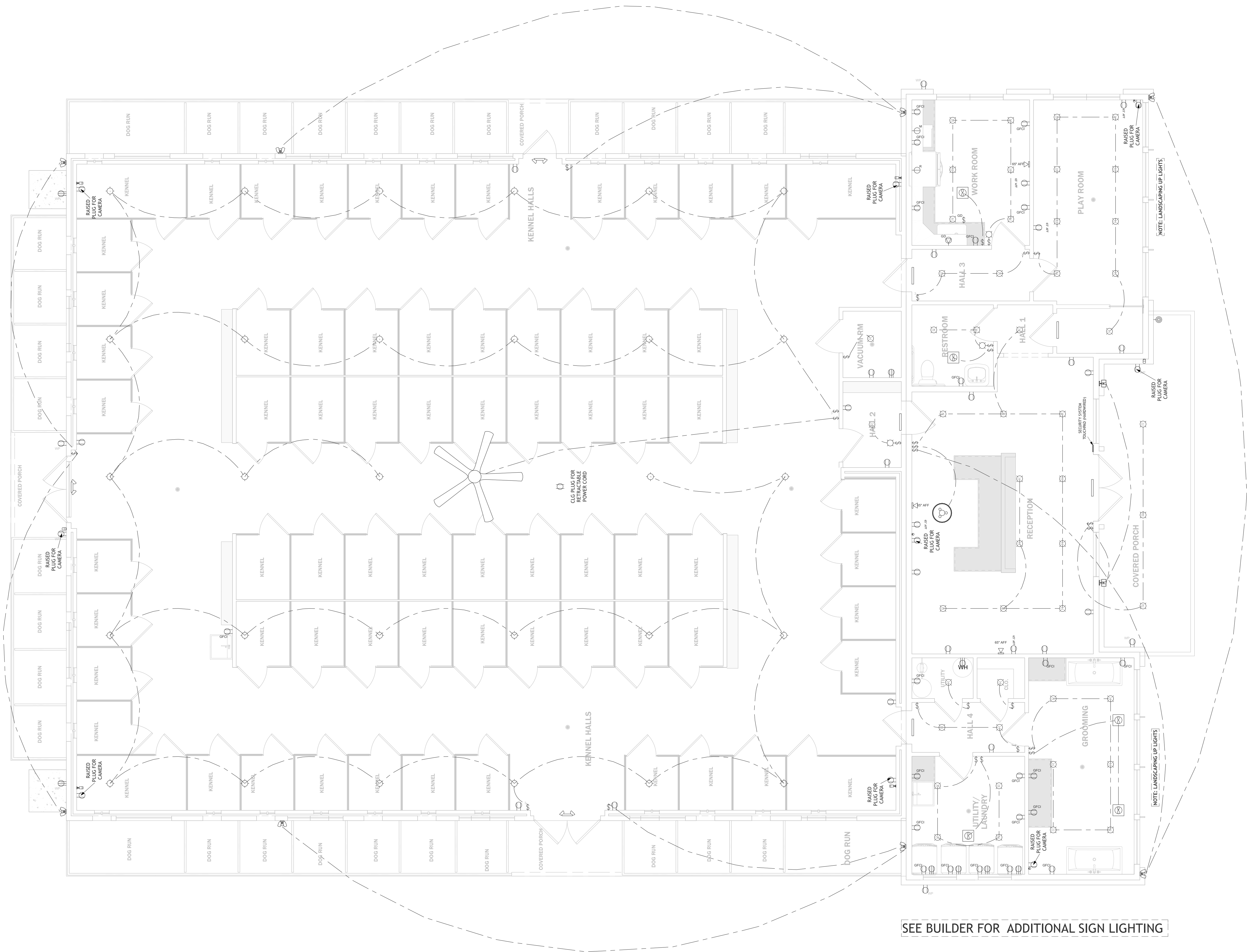
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DATE:
8/15/2024

SCALE:
1/4" = 1'

SHEET:
9



ELECTRICAL SCHEDULE - CONTRACTOR MUST VERIFY FIXTURE, SWITCH, AND OUTLET COUNT, STYLE, TYPE, AND LOCATION.		
SYMBOL	LABEL	QTY
	220V	6
	220V WEATHERPROOF	2
	COUNTRY INDUSTRIAL PENDANT	29
	DUPLEX	25
	DUPLEX (WEATHERPROOF)	6
	DUPLEX CEILING RECEPTACLE	1
	EMERGENCY LIGHT & EXIT	3
	GFCI	22
	GARBAGE DISPOSAL OUTLET	1
	GARBAGE DISPOSAL SWITCH	1
	HANGING LIGHT	1
	MICROWAVE OUTLET	1
	MOTION SENSOR FLOOR LIGHT	8
	REFRIGERATOR OUTLET	1
	SECURITY CAMERA 1 WALL MOUNT	3
	SECURITY CAMERA 2 MOTION SENSOR	2
	SECURITY SYSTEM TOUCHPAD 2	1
	SINGLE POLE	19
	THREE WAY	6
	UNIVERSAL EXIT SIGN	5
	WIFI SECURITY CAMERA 2	4
	CEILING FAN	1
	EXHAUST FAN	5
	OCCUPANCY MOTION SENSOR SWITCH	3
	RECESSED DOWN LIGHT	49
	COACH LIGHT	2
	DUPLEX - 65" ABOVE FINISHED FLOOR	5
	CABLE/TV- 65" AFF	3
	LANDSCAPE JUNCTION BOX	1

ELECTRICAL PLAN

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FINAL

4H CONSTRUCTION

PROJECT ADDRESS

1182 FM 1863
NEW BRAUNFELS, TX 78132

BUILDER:

DESIGNER:

J Edwards

Home Designs

MEMBER

A

BD

AMERICAN INSTITUTE OF BUILDING DESIGN

DATE:

8/15/2024

SCALE:

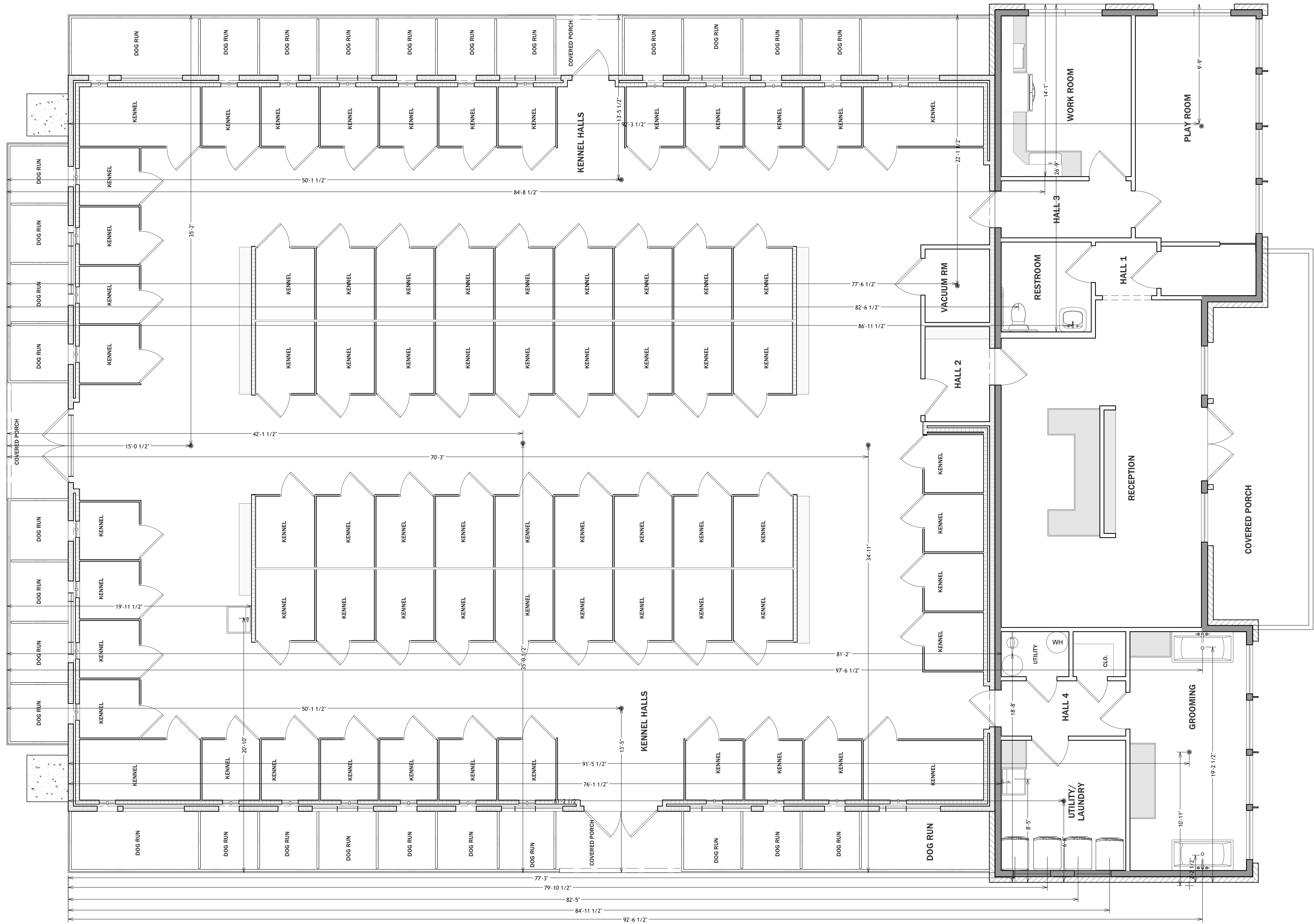
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SHEET:

10

CHASIN' TAILS PET RESORT

KRISTI SIGMON



PLUMBING PLAN

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DESIGNER:

J Edwards

Home Designs

MEMBER

A

BD

AMERICAN INSTITUTE OF BUILDING DESIGNERS

DATE:

8/15/2024

SCALE:

1/4" = 1'

SHEET:

11

PROJECT ADDRESS

1182 FM 1863
NEW BRAUNFELS, TX 78132

BUILDER:

4H CONSTRUCTION

KRISTI SIGMON

CHASIN' TAILS PET RESORT



COPYRIGHT INFORMATION:

4H CONSTRUCTION

1182 FM 1863
NEW BRAUNFELS, TX 78132

KRISTI SIGMON

J EDWARDS HOME DESIGNS LLC
324 COWAL AVENUE
NEW BRAUNFELS, TX 78130
WWW.JEDWARDSHOMEDESIGNS.COM
JULIE@JEDWARDSHOMEDESIGNS.COM
830-460-3455

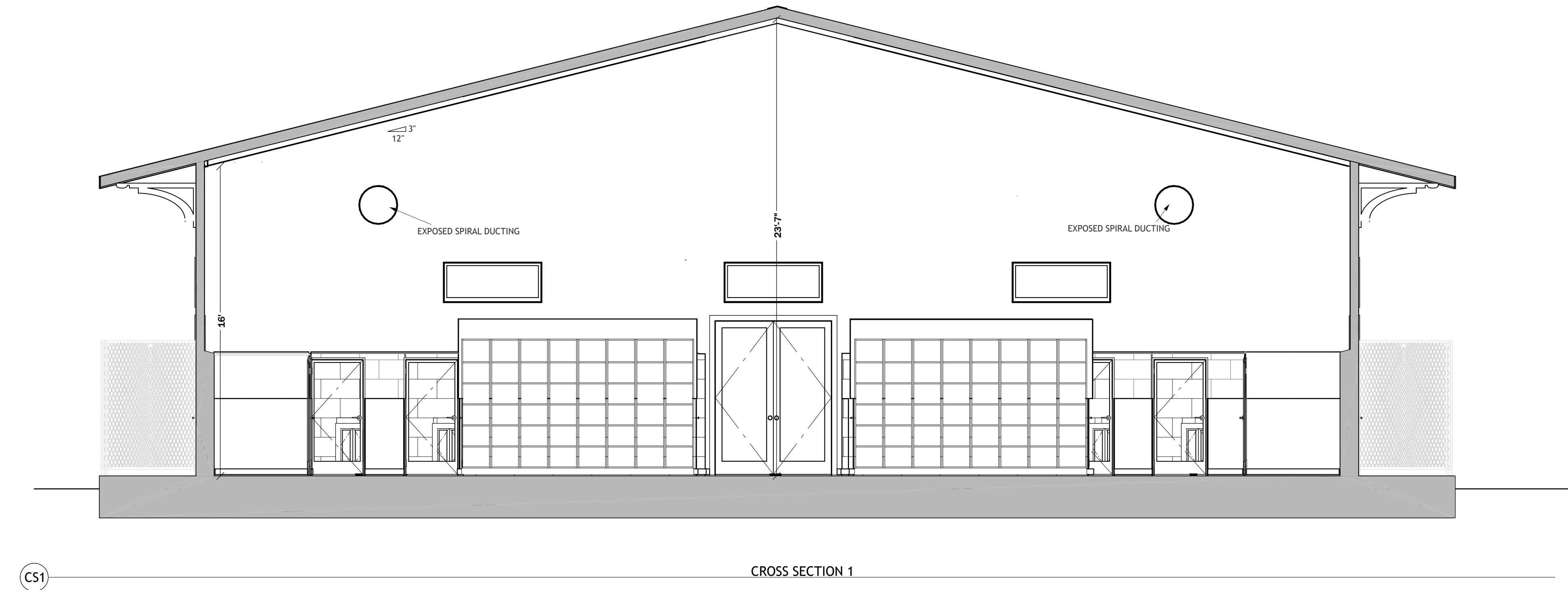
Edwards
Home Designs

MEMBER
A | I
B | D
AMERICAN INSTITUTE of
BUILDING DESIGN

DATE:
3/15/2024

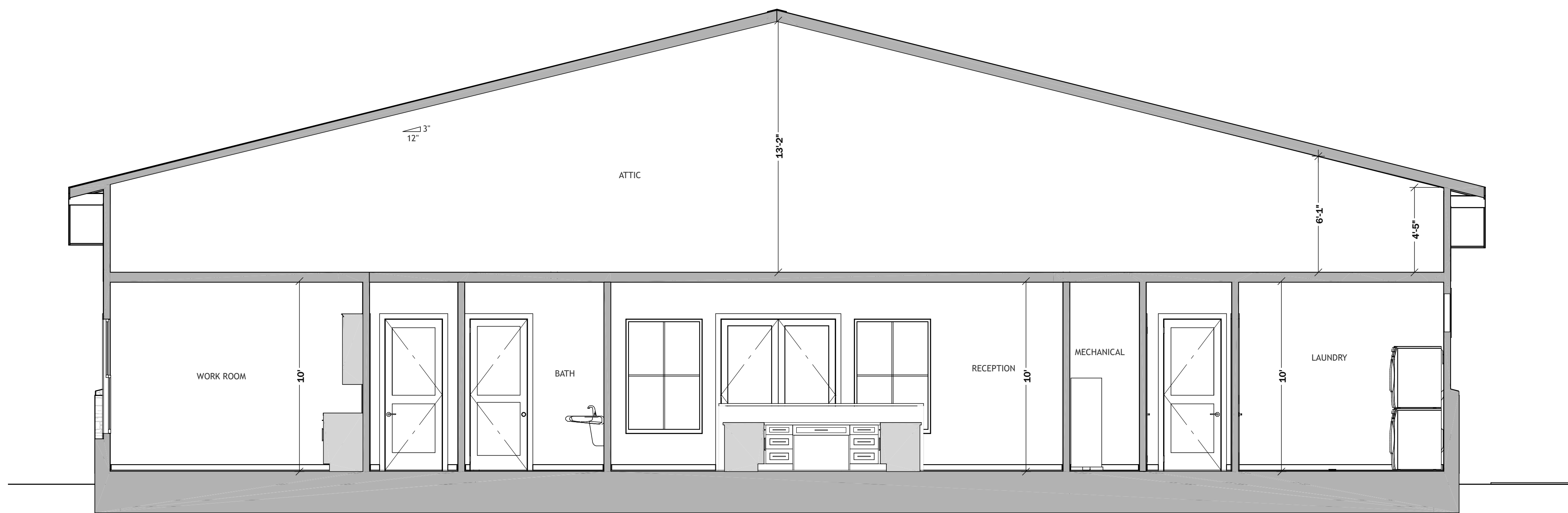
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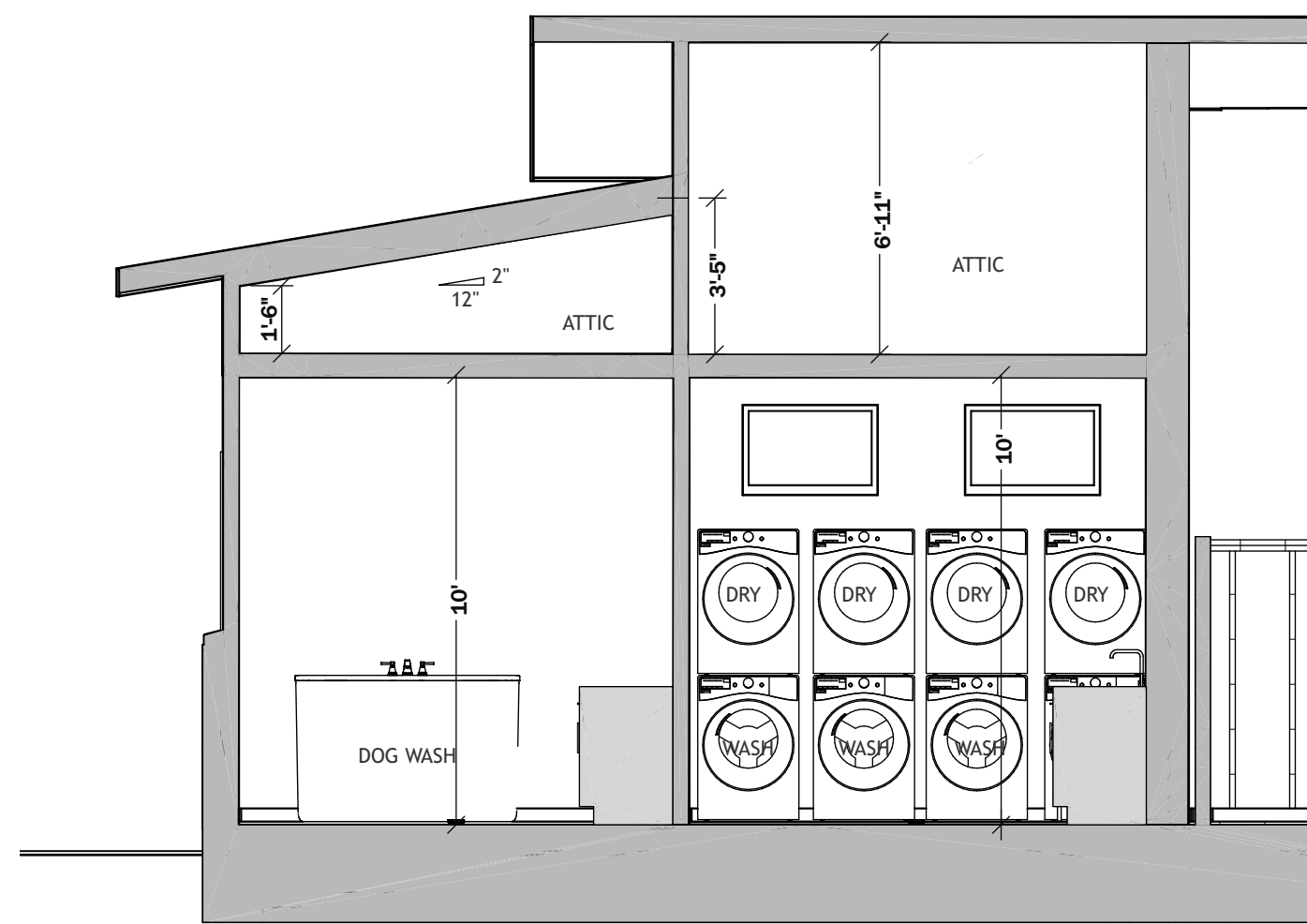
CS1

CROSS SECTION 1



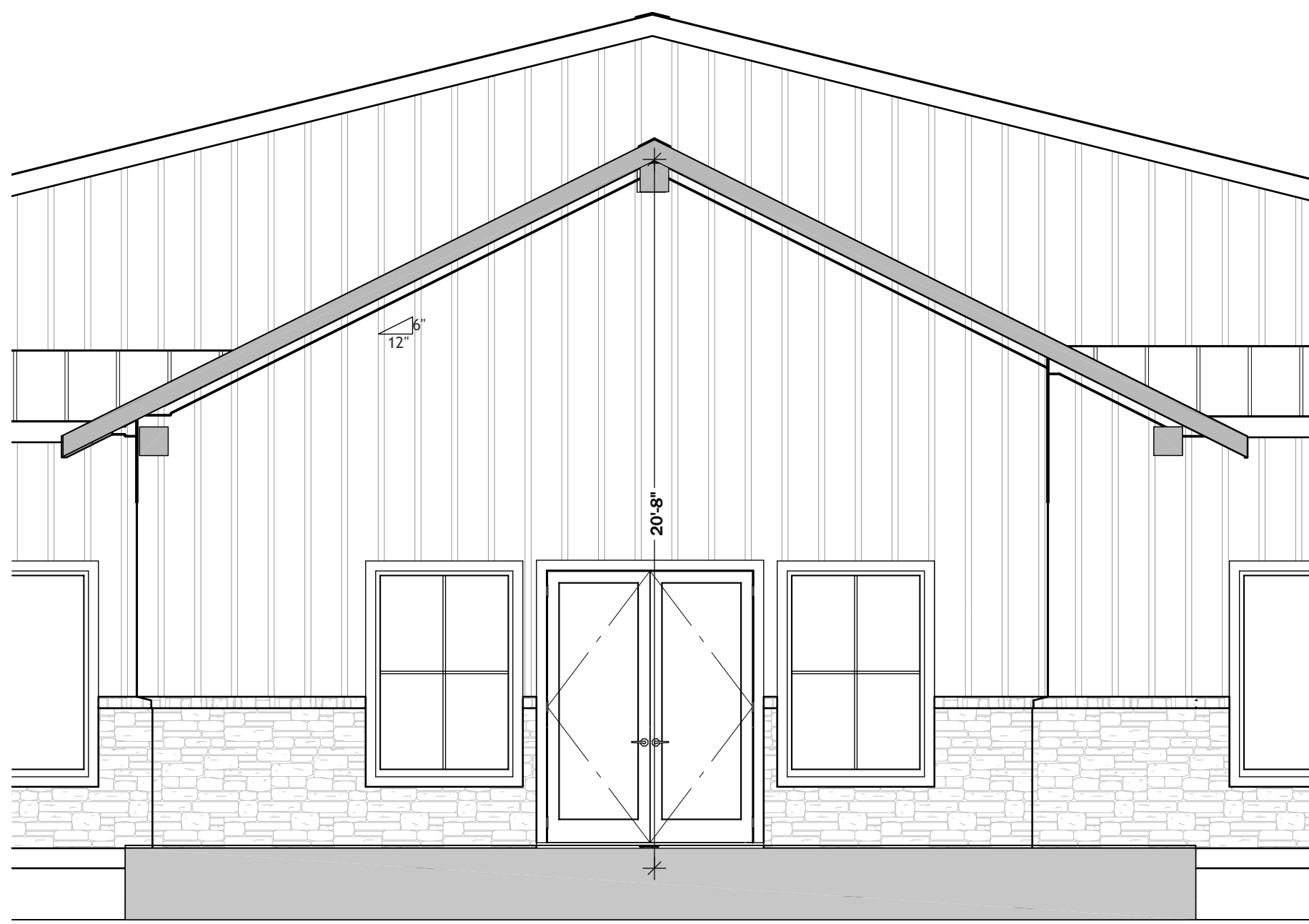
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CROSS SECTION 2



CS3

CROSS SECTION 3



CS4

CROSS SECTION 4

CROSS SECTION

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DESIGNER: *J Edwards*
Home Designs

MEMBER
AIBD
AMERICAN INSTITUTE OF
BUILDING DESIGNERS

DATE:
8/15/2024

SCALE:
1/4" = 1'

SHEET:
13

CHASIN' TAILS PET RESORT

PROJECT ADDRESS
1182 FM 1863
NEW BRAUNFELS, TX 78132

BUILDER:
4H CONSTRUCTION

FINAL

TEMPORARY STORMWATER SECTION
ATTACHMENT I
Inspection and Maintenance of BMPs

The Contractor will be directed to inspect and maintain all temporary BMPs. The design engineer will also make regular visits to the project and will provide visual inspections as well. Any deficiency noted must be corrected immediately by the contractor.

Maintenance:

1. Inspect all silt fences and concrete wash out areas weekly and directly after any rainfalls greater than 1 inch.
2. Remove sediment when buildup reaches 6 inches on silt fence or install a second line of silt fence parallel.
3. Replace any torn fabric in the silt fence.
4. Replace or repair any sections crushed or collapsed in the course of construction.
5. See stormwater pollution plan details as shown in the construction plans for proper size and installation.
6. Contractor to maintain a daily log and note any deficiencies to temporary BMPs and corrective action taken. Rainfall events shall also be noted.

BMP Inspection Report Attachment I

Operator: _____
 Job Name: _____
 Location: _____
 Inspector: _____
 Is this site over the Aquifer recharge or contributing zone _____

Date: _____
 Receiving Waters: _____
 Map Grid: _____
 Inspector Qualifications: _____
 If this site is in compliance with the SWPPP and Permit _____

Visual Inspection of the Site	Y	N	N/A	Comments
NOI Posted?				
Site Notice Posted?				
Was a copy of the NOI sent to the Reporting agency?				
SWPPP Plan in Box?				
Copy of WPAP in the box? (If applies)				
SWPPP Information updates				
Material list updated?				
Project Milestone current with intended dates?				
All current locations of BMP's Identified on plans?				
Areas under operators control clearly Identified on site map?				
Trash Containers and Restrooms noted?				
Stabilized areas updated or noted on plans?				
Site Conditions				
Entrance and exits free from off site tracking?				
Trash and Debris being contained on site?				
Material storage area effectively controlling pollutants?				
Wash out pit working order?				
Are all pollutants contained on site?				
Erosion Control devices in working order?				
Are all BMP's Adequate for this site at this times				
Hazardous Waste				
Is there materials being exposed to storm water runoff?				
Any signs of major leaks or spills?				
Any leaks or spills of reputable Quantity need to be reported?				

BMP Inspection Report
Attachment I

Job Name: _____ Date: _____

Location	What Failed and Amount	Reason	Modification to be made	Correction Date
_____	_____	_____	_____	_____
	_____	_____	_____	_____
		_____	_____	
Location	What Failed and Amount	Reason	Modification to be made	Correction Date
_____	_____	_____	_____	_____
	_____	_____	_____	_____
		_____	_____	
Location	What Failed and Amount	Reason	Modification to be made	Correction Date
_____	_____	_____	_____	_____
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Location	What Failed and Amount	Reason	Modification to be made	Correction Date
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		_____	_____	
Location	What Failed and Amount	Reason	Modification to be made	Correction Date
_____	_____	_____	_____	_____
	_____	_____	_____	_____
		_____	_____	

I certify under the penalty of law that this document and all attachments were prepared under my direction or Supervision in accordance with a system designed to assure that qualified personnel properly gathered and Evaluated the information submitted. Based on my inquiry of the person or persons who manage the system? Or those persons directly responsible for gathering the information, the information submitted is, too the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for Submitting false information, including the possibility of fine and imprisonment for knowing violations.

Qualified BMP Inspector: _____

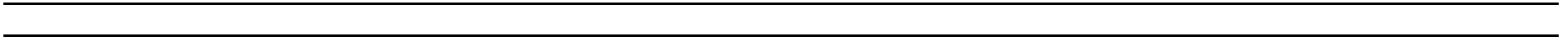
BMP Inspection Report
Attachment I

Job Name: _____ Date: _____

Construction Activities and location

Block/Lot or Address	Work being done	Date

NOTES: _____



TEMPORARY STORMWATER SECTION
ATTACHMENT J
Schedule of Interim and Permanent Soil Stabilization Practices

Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Where the initiation of stabilization measures by the 14th day after construction activity temporary or permanently cease is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable. Where construction activity on a portion of the site is temporarily ceased, and earth disturbing activities will be resumed within 21 days, temporary stabilization measures do not have to be initiated on that portion of site.

If after 21 days, and construction activity will not resume, hydromulch shall be applied to all disturbed areas except in drainage channels or where slopes exceed 3:1. In areas experiencing droughts where the initiation of stabilization measures by the 14th day after construction activity has temporarily or permanently ceased is precluded by seasonal arid conditions, stabilization measures shall be initiated as soon as practicable.

All erosion control measures must remain in place until such stabilization has successfully occurred.

Owner shall consult with design engineer to determine all necessary measures to stabilize the site if construction does not resume.

TCEQ RG 348 dated July 2005 shall be used as a guide in determining these areas that may require stabilization.

Permanent Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(C), (D)(li), (E), and (5), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Permanent Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Jessica Calhoun, P.E., CFM

Date: 11/22/24

Signature of Customer/Agent

Jessica Calhoun

Regulated Entity Name: Chasin' Tails Pet Resort

Permanent Best Management Practices (BMPs)

Permanent best management practices and measures that will be used during and after construction is completed.

1. ☒ Permanent BMPs and measures must be implemented to control the discharge of pollution from regulated activities after the completion of construction.
☐ N/A
2. ☒ These practices and measures have been designed, and will be constructed, operated, and maintained to insure that 80% of the incremental increase in the annual mass loading of total suspended solids (TSS) from the site caused by the regulated activity is removed. These quantities have been calculated in accordance with technical guidance prepared or accepted by the executive director.
☒ The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site.

- ☐ A technical guidance other than the TCEQ TGM was used to design permanent BMPs and measures for this site. The complete citation for the technical guidance that was used is: _____
- ☐ N/A
3. ☐ Owners must insure that permanent BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the appropriate regional office within 30 days of site completion.
- ☒ N/A
4. Where a site is used for low density single-family residential development and has 20 % or less impervious cover, other permanent BMPs are not required. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.
- ☐ The site will be used for low density single-family residential development and has 20% or less impervious cover.
- ☐ The site will be used for low density single-family residential development but has more than 20% impervious cover.
- ☒ The site will not be used for low density single-family residential development.
5. The executive director may waive the requirement for other permanent BMPs for multi-family residential developments, schools, or small business sites where 20% or less impervious cover is used at the site. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.
- ☒ **Attachment A - 20% or Less Impervious Cover Waiver.** The site will be used for multi-family residential developments, schools, or small business sites and has 20% or less impervious cover. A request to waive the requirements for other permanent BMPs and measures is attached.
- ☐ The site will be used for multi-family residential developments, schools, or small business sites but has more than 20% impervious cover.
- ☐ The site will not be used for multi-family residential developments, schools, or small business sites.
6. ☒ **Attachment B - BMPs for Upgradient Stormwater.**

- ☐ A description of the BMPs and measures that will be used to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site is attached.
 - ☒ No surface water, groundwater or stormwater originates upgradient from the site and flows across the site, and an explanation is attached.
 - ☒ Permanent BMPs or measures are not required to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site, and an explanation is attached.
7. ☒ **Attachment C - BMPs for On-site Stormwater.**
- ☐ A description of the BMPs and measures that will be used to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff from the site is attached.
 - ☒ Permanent BMPs or measures are not required to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff, and an explanation is attached.
8. ☒ **Attachment D - BMPs for Surface Streams.** A description of the BMPs and measures that prevent pollutants from entering surface streams, sensitive features, or the aquifer is attached. Each feature identified in the Geologic Assessment as sensitive has been addressed.
- ☒ N/A
9. ☒ The applicant understands that to the extent practicable, BMPs and measures must maintain flow to naturally occurring sensitive features identified in either the geologic assessment, executive director review, or during excavation, blasting, or construction.
- ☒ The permanent sealing of or diversion of flow from a naturally-occurring sensitive feature that accepts recharge to the Edwards Aquifer as a permanent pollution abatement measure has not been proposed.
 - ☐ **Attachment E - Request to Seal Features.** A request to seal a naturally-occurring sensitive feature, that includes, for each feature, a justification as to why no reasonable and practicable alternative exists, is attached.
10. ☒ **Attachment F - Construction Plans.** All construction plans and design calculations for the proposed permanent BMP(s) and measures have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer, and are signed, sealed, and dated. The plans are attached and, if applicable include:
- ☐ Design calculations (TSS removal calculations)
 - ☐ TCEQ construction notes
 - ☐ All geologic features
 - ☐ All proposed structural BMP(s) plans and specifications
- ☒ N/A

11. ☒ **Attachment G - Inspection, Maintenance, Repair and Retrofit Plan.** A plan for the inspection, maintenance, repairs, and, if necessary, retrofit of the permanent BMPs and measures is attached. The plan includes all of the following:
- ☐ Prepared and certified by the engineer designing the permanent BMPs and measures
 - ☐ Signed by the owner or responsible party
 - ☐ Procedures for documenting inspections, maintenance, repairs, and, if necessary retrofit
 - ☐ A discussion of record keeping procedures
- ☒ N/A
12. ☐ **Attachment H - Pilot-Scale Field Testing Plan.** Pilot studies for BMPs that are not recognized by the Executive Director require prior approval from the TCEQ. A plan for pilot-scale field testing is attached.
- ☒ N/A
13. ☒ **Attachment I - Measures for Minimizing Surface Stream Contamination.** A description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is attached. The measures address increased stream flashing, the creation of stronger flows and in-stream velocities, and other in-stream effects caused by the regulated activity, which increase erosion that results in water quality degradation.
- ☐ N/A

Responsibility for Maintenance of Permanent BMP(s)

Responsibility for maintenance of best management practices and measures after construction is complete.

14. ☐ The applicant is responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred.
- ☒ N/A
15. ☐ A copy of the transfer of responsibility must be filed with the executive director at the appropriate regional office within 30 days of the transfer if the site is for use as a multiple single-family residential development, a multi-family residential development, or a non-residential development such as commercial, industrial, institutional, schools, and other sites where regulated activities occur.
- ☒ N/A



290 S. Castell Avenue, Ste 100
New Braunfels, TX 78130
TBPE-FIRM F-10961
TBPLS FIRM 10153600

November 22, 2024

Texas Commission on Environmental Quality Region 8
14250 Judson Road
San Antonio, Texas 78233-4480

Re: Chasin' Tails Pet Resort; Located at 8570 River Road; Comal County, Texas

Water Protection Abatement Plan Section – Attachment A
Request for 20% or Less Impervious Cover Waiver

To Whom It May Concern,

We are requesting a waiver on behalf of Chasin' Tails Pet Resort, LLC for the proposed Chasin' Tails Pet Resort site located at 1182 FM 1863, New Braunfels, Texas in Comal County, Texas. The site is currently a 2.68-acre residential site with 1,171 square feet (0.027 acres) of impervious cover created by two sheds that will remain and an existing asphalt road that will be removed. These improvements were built in 1966 before TCEQ Edwards Aquifer Program. There is a total existing impervious cover of 1,171 square feet that were not permitted.

Chasin' Tails Pet Resort, LLC is proposing a 7,233 square feet (0.166 acres) commercial building and 9,643 square feet (0.221 acres) of roadway and parking area at full development. These improvements create an increase of 16,876 square feet (0.387 acres) of impervious cover making the total impervious cover 0.395 acres or 14.75% at full development of the site. The 14.75% impervious falls under the 20% or less impervious cover waiver eligibility. Therefore, we wish to request to waive the requirements for permanent BMPs on site.

If you have any questions or require additional information, please contact us.

Sincerely,

A handwritten signature in black ink that reads 'Jessica Calhoun' in a cursive script.

Jessica Calhoun, P.E., CFM
Project Manager

PERMANENT STORMWATER SECTION
ATTACHMENT B
BMPs for Upgradient Stormwater

There are no permanent BMPs for upgradient stormwater for the Chasin' Tails Pet Resort site because most of the offsite area that flows through the property is undeveloped and flows through the site where there are no proposed improvements.

PERMANENT STORMWATER SECTION
ATTACHMENT C
BMPs for On-Site Stormwater

There are no proposed Permanent BMPs for the on-site stormwater for the Chasin' Tails Pet Resort site because the impervious cover is less than 20% for the site and Chasin' Tails Pet Resort, LLC is requesting a waiver.

PERMANENT STORMWATER SECTION
ATTACHMENT D
BMPs for Surface Streams

There are no proposed Permanent BMPs for the on-site stormwater for the Chasin' Tails Pet Resort site because the impervious cover is less than 20% for the site and Chasin' Tails Pet Resort, LLC is requesting a waiver.

However, runoff from the site will travel over undisturbed vegetation to provide natural filtration before entering the Guadalupe River. The vegetation will filter out runoff sediment from the proposed improvements and will reduce the velocity of the runoff therefore reducing the chance of erosion from the site. The storm water from the proposed site will enter into the surface stream system as shallow flow, thereby further reducing the likelihood of erosion.

PERMANENT STORMWATER SECTION
ATTACHMENT F
Construction Plans

The plans include no permanent BMPs because the impervious cover is less than 20% for the site and Chasin' Tails Pet Resort, LLC is requesting a waiver.

PERMANENT STORMWATER SECTION
ATTACHMENT G
Inspection, Maintenance, Repair and Retrofit Plan

The plans include no permanent BMPs and therefore there is no inspection, maintenance, repair and retrofit plan.

PERMANENT STORMWATER SECTION
ATTACHMENT I
Measures for Minimizing Surface Stream Contamination

The runoff from the site will travel over undisturbed vegetation to provide natural filtration before entering the Dry Comal Creek. The vegetation will filter out runoff sediment from the proposed improvements and will reduce the velocity of the runoff therefore reducing the chance of erosion from the site. The storm water from the proposed site will enter into the surface stream system as shallow flow, thereby further reducing the likelihood of erosion.

Agent Authorization Form
For Required Signature
Edwards Aquifer Protection Program
Relating to 30 TAC Chapter 213
Effective June 1, 1999

I _____ Kristi Sigmon _____,
Print Name

_____ Chasin' Tails Pet Resort _____,
Title - Owner/President/Other

of _____ Chasin' Tails Pet Resort, LLC _____,
Corporation/Partnership/Entity Name

have authorized _____ Jessica Calhoun, P.E. _____
Print Name of Agent/Engineer

of _____ HMT Engineering & Surveying _____
Print Name of Firm

to represent and act on the behalf of the above named Corporation, Partnership, or Entity for the purpose of preparing and submitting this plan application to the Texas Commission on Environmental Quality (TCEQ) for the review and approval consideration of regulated activities.

I also understand that:

1. The applicant is responsible for compliance with 30 Texas Administrative Code Chapter 213 and any condition of the TCEQ's approval letter. The TCEQ is authorized to assess administrative penalties of up to \$10,000 per day per violation.
2. For those submitting an application who are not the property owner, but who have the right to control and possess the property, additional authorization is required from the owner.
3. Application fees are due and payable at the time the application is submitted. The application fee must be sent to the TCEQ cashier or to the appropriate regional office. The application will not be considered until the correct fee is received by the commission.
4. A notarized copy of the Agent Authorization Form must be provided for the person preparing the application, and this form must accompany the completed application.
5. No person shall commence any regulated activity on the Edwards Aquifer Recharge Zone, Contributing Zone or Transition Zone until the appropriate application for the activity has been filed with and approved by the Executive Director.

SIGNATURE PAGE:

[Signature]
Applicant's Signature

11-6-24
Date

THE STATE OF Texas §
County of Gillespie §

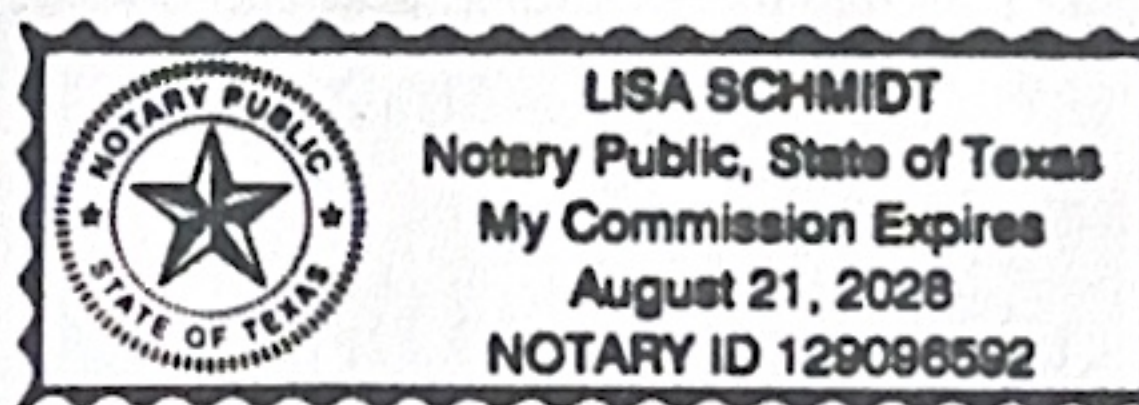
BEFORE ME, the undersigned authority, on this day personally appeared Kristi Sigmon known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 6th day of November, 2024

[Signature]
NOTARY PUBLIC

Lisa Schmidt
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: 8-21-2028



Owner Authorization Form

Texas Commission on Environmental Quality

for Required Signature

Edwards Aquifer Protection Program

Relating to 30 TAC Chapter 213

Effective June 1, 1999

Land Owner Authorization

I, _____ of _____
Land Owner Signatory Name Land Owner Name (Legal Entity or Individual)

am the owner of the property located at

Legal description of the property referenced in the application

and am duly authorized in accordance with §213.4(c)(2) and §213.4(d)(1) or §213.23(c)(2) and §213.23(d) relating to the right to submit an application, signatory authority, and proof of authorized signatory.

I do hereby authorize _____
Applicant Name (Legal Entity or Individual)

to conduct _____
Description of the proposed regulated activities

at _____
Precise location of the authorized regulated activities

Land Owner Acknowledgement

I understand that _____
Land Owner Name (Legal Entity or Individual)

Is ultimately responsible for compliance with the approved or conditionally approved Edwards Aquifer protection plan and any special conditions of the approved plan through all phases of plan implementation even if the responsibility for compliance and the right to possess and control the property referenced in the application has been contractually assumed by another legal entity. I further understand that any failure to comply with any condition of the executive director's approval is a violation is subject to administrative rule or orders and penalties as provided under §213.10 (relating to Enforcement). Such violation may also be subject to civil penalties and injunction.

Land Owner Signature

[Signature]
Land Owner Signature

11-6-24
Date

THE STATE OF § Texas
County of § Gilespe

BEFORE ME, the undersigned authority, on this day personally appeared Kristi Sigmon
known to me to be the person whose name is subscribed to the foregoing instrument, and
acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 6th day of November 2024

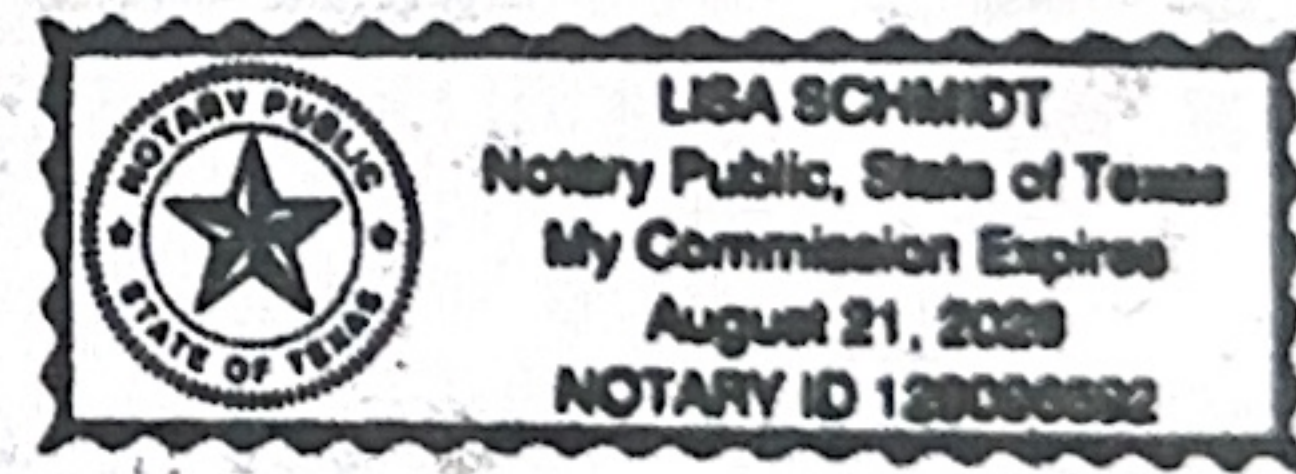
[Signature]
NOTARY PUBLIC

Lisa Schmidt
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: 8/21/2028

Attached: (Mark all that apply)

- ☐ Lease Agreement
- ☐ Signed Contract
- ☐ Deed Recorded Easement
- ☐ Other legally binding document



Applicant Acknowledgement

I, Kristi Sigmon of Chasin' Tails Pet Resort, LLC
Applicant Signatory Name Applicant Name (Legal Entity or Individual)
acknowledge that Backwood Holdings LLC
Land Owner Name (Legal Entity or Individual)
has provided Chasin' Tails Pet Resort, LLC
Applicant Name (Legal Entity or Individual)
with the right to possess and control the property referenced in the Edwards Aquifer protection plan.
I understand that Chasin' Tails Pet Resort, LLC
Applicant Name (Legal Entity or Individual)
is contractually responsible for compliance with the approved or conditionally approved Edwards
Aquifer protection plan and any special conditions of the approved plan through all phases of plan
implementation. I further understand that failure to comply with any condition of the executive
director's approval is a violation is subject to administrative rule or orders and penalties as provided
under §213.10 (relating to Enforcement). Such violation may also be subject to civil penalties and
injunction.

Applicant Signature

[Signature]
Applicant Signature

11-6-24
Date

THE STATE OF § Texas
County of § Gillespie

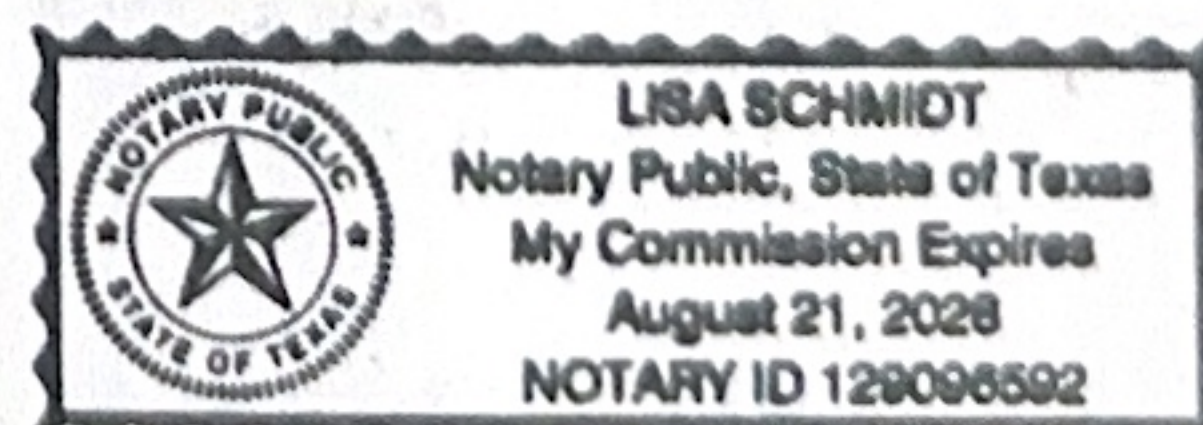
BEFORE ME, the undersigned authority, on this day personally appeared Kristi Sigmon
known to me to be the person whose name is subscribed to the foregoing instrument, and
acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 6th day of November 2024

[Signature]
NOTARY PUBLIC

Lisa Schmidt
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: 8-21-2028



Application Fee Form

Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: Chasin' Tails Pet Resort

Regulated Entity Location: 1182 FM 1863, New Braunfels, Texas 78132

Name of Customer: Chasin' Tails Pet Resort, LLC

Contact Person: Kristi Sigmon

Phone: 210-440-7808

Customer Reference Number (if issued):CN _____

Regulated Entity Reference Number (if issued):RN _____

Austin Regional Office (3373)

☐ Hays

☐ Travis

☐ Williamson

San Antonio Regional Office (3362)

☐ Bexar

☐ Medina

☐ Uvalde

☒ Comal

☐ Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

☐ Austin Regional Office

☒ San Antonio Regional Office

☐ Mailed to: TCEQ - Cashier

☐ Overnight Delivery to: TCEQ - Cashier

Revenues Section

Mail Code 214

P.O. Box 13088

Austin, TX 78711-3088

12100 Park 35 Circle

Building A, 3rd Floor

Austin, TX 78753

(512)239-0357

Site Location (Check All That Apply):

☒ Recharge Zone

☐ Contributing Zone

☐ Transition Zone

<i>Type of Plan</i>	<i>Size</i>	<i>Fee Due</i>
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	2.68 Acres	\$ 4,000
Sewage Collection System	L.F.	\$
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	Each	\$
Extension of Time	Each	\$

Signature: Jessica Calhoun

Date: _____

Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

Water Pollution Abatement Plans and Modifications

Contributing Zone Plans and Modifications

<i>Project</i>	<i>Project Area in Acres</i>	<i>Fee</i>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

Organized Sewage Collection Systems and Modifications

<i>Project</i>	<i>Cost per Linear Foot</i>	<i>Minimum Fee- Maximum Fee</i>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

Underground and Aboveground Storage Tank System Facility Plans and Modifications

<i>Project</i>	<i>Cost per Tank or Piping System</i>	<i>Minimum Fee- Maximum Fee</i>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

Exception Requests

<i>Project</i>	<i>Fee</i>
Exception Request	\$500



TCEQ Core Data Form

For detailed instructions on completing this form, please read the Core Data Form Instructions or call 512-239-5175.

SECTION I: General Information

1. Reason for Submission (If other is checked please describe in space provided.)		
<input checked="" type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)		<input type="checkbox"/> Other
2. Customer Reference Number (if issued)	Follow this link to search for CN or RN numbers in Central Registry**	3. Regulated Entity Reference Number (if issued)
CN		RN

SECTION II: Customer Information

4. General Customer Information		5. Effective Date for Customer Information Updates (mm/dd/yyyy)		08/27/2024					
<input checked="" type="checkbox"/> New Customer <input type="checkbox"/> Update to Customer Information <input type="checkbox"/> Change in Regulated Entity Ownership <input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)									
<i>The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).</i>									
6. Customer Legal Name (If an individual, print last name first: eg: Doe, John)				<i>If new Customer, enter previous Customer below:</i>					
Chasin' Tails Pet Resort, LLC									
7. TX SOS/CPA Filing Number		8. TX State Tax ID (11 digits)		9. Federal Tax ID (9 digits)	10. DUNS Number (if applicable)				
805788899				99-2745306					
11. Type of Customer:		<input type="checkbox"/> Corporation		<input checked="" type="checkbox"/> Individual	Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited				
Government: <input type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> Local <input type="checkbox"/> State <input type="checkbox"/> Other		<input type="checkbox"/> Sole Proprietorship		<input type="checkbox"/> Other:					
12. Number of Employees				13. Independently Owned and Operated?					
<input checked="" type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input type="checkbox"/> 501 and higher				<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
14. Customer Role (Proposed or Actual) – as it relates to the Regulated Entity listed on this form. Please check one of the following									
<input type="checkbox"/> Owner <input type="checkbox"/> Operator <input checked="" type="checkbox"/> Owner & Operator <input type="checkbox"/> Other: <input type="checkbox"/> Occupational Licensee <input type="checkbox"/> Responsible Party <input type="checkbox"/> VCP/BSA Applicant									
15. Mailing Address:		1182 FM 1863							
City		New Braunfels		State	TX	ZIP	78132	ZIP + 4	4647
16. Country Mailing Information (if outside USA)						17. E-Mail Address (if applicable)			
						kristisigmon@gmail.com			
18. Telephone Number				19. Extension or Code		20. Fax Number (if applicable)			

SECTION III: Regulated Entity Information

21. General Regulated Entity Information (If 'New Regulated Entity' is selected, a new permit application is also required.)								
<input checked="" type="checkbox"/> New Regulated Entity <input type="checkbox"/> Update to Regulated Entity Name <input type="checkbox"/> Update to Regulated Entity Information								
<i>The Regulated Entity Name submitted may be updated, in order to meet TCEQ Core Data Standards (removal of organizational endings such as Inc, LP, or LLC).</i>								
22. Regulated Entity Name (Enter name of the site where the regulated action is taking place.)								
Chasin' Tails Pet Resort								
23. Street Address of the Regulated Entity: (No PO Boxes)	1182 FM 1863							
	City	New Braunfels	State	TX	ZIP	78132	ZIP + 4	4647
24. County	Comal							

If no Street Address is provided, fields 25-28 are required.

25. Description to Physical Location:									
26. Nearest City					State		Nearest ZIP Code		
New Braunfels					TX		78132		
<i>Latitude/Longitude are required and may be added/updated to meet TCEQ Core Data Standards. (Geocoding of the Physical Address may be used to supply coordinates where none have been provided or to gain accuracy).</i>									
27. Latitude (N) In Decimal:			29.714800			28. Longitude (W) In Decimal:			
Degrees			Minutes		Seconds		Degrees		
29			42		53.28		98		
							12		
							32.94		
29. Primary SIC Code (4 digits)		30. Secondary SIC Code (4 digits)		31. Primary NAICS Code (5 or 6 digits)			32. Secondary NAICS Code (5 or 6 digits)		
0752		5999		812910			459910		
33. What is the Primary Business of this entity? (Do not repeat the SIC or NAICS description.)									
Pet Boarding									
34. Mailing Address:	1182 FM 1863								
	City	New Braunfels	State	TX	ZIP	78132	ZIP + 4	4647	
35. E-Mail Address:		Kristisigmon@gmail.com							
36. Telephone Number			37. Extension or Code			38. Fax Number (if applicable)			
(210) 440-7808						() -			

39. TCEQ Programs and ID Numbers Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.


<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
		WPAP		
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Wastewater	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

SECTION IV: Preparer Information

40. Name:	Jessica Calhoun			41. Title:	Senior Project Manager
42. Telephone Number	43. Ext./Code	44. Fax Number	45. E-Mail Address		
(210) 255-7873		() -	jessica.calhoun@hmtnb.com		

SECTION V: Authorized Signature

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

Company:	HMT Engineering & Surveying		Job Title:	Senior Project Manager	
Name (In Print):	Jessica Calhoun			Phone:	(210) 255- 7873
Signature:				Date:	11/22/2024