



F-22385

**CONTRIBUTING ZONE PLAN APPLICATION  
MR. W FIREWORKS SUPERSTORE  
MRW BABCOCK**



05.22.2025

20808 Babcock Road  
San Antonio, Texas 78201

# Texas Commission on Environmental Quality

## Edwards Aquifer Application Cover Page

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### Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with [30 TAC 213](#).

### Administrative Review

1. [Edwards Aquifer applications](#) must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains “possibly sensitive” features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

### Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited**.
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

### Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a “Mid-Review Modification”. Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ’s Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ’s San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

<b>1. Regulated Entity Name: MRW BABCOCK</b>					<b>2. Regulated Entity No.:</b>				
<b>3. Customer Name: Team KAM Enterprises Ltd.</b>					<b>4. Customer No.: CN606166502</b>				
<b>5. Project Type:</b> (Please circle/check one)	<input checked="" type="radio"/> New	<input type="radio"/> Modification			<input type="radio"/> Extension		<input type="radio"/> Exception		
<b>6. Plan Type:</b> (Please circle/check one)	<input type="radio"/> WPAP	<input checked="" type="radio"/> CZP	<input type="radio"/> SCS	<input type="radio"/> UST	<input type="radio"/> AST	<input type="radio"/> EXP	<input type="radio"/> EXT	<input type="radio"/> Technical Clarification	<input type="radio"/> Optional Enhanced Measures
<b>7. Land Use:</b> (Please circle/check one)	<input type="radio"/> Residential		<input checked="" type="radio"/> Non-residential			<b>8. Site (acres):</b>		4.45 AC	
<b>9. Application Fee:</b>	\$4,000		<b>10. Permanent BMP(s):</b>			N/A			
<b>11. SCS (Linear Ft.):</b>	N/A		<b>12. AST/UST (No. Tanks):</b>			N/A			
<b>13. County:</b>	Bexar		<b>14. Watershed:</b>			HELOTES CREEK			

# Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the “Texas Groundwater Conservation Districts within the EAPP Boundaries” map found at:

[http://www.tceq.texas.gov/assets/public/compliance/field\\_ops/eapp/EAPP%20GWCD%20map.pdf](http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf)

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	Hays	Travis	Williamson
Original (1 req.)	—	—	—
Region (1 req.)	—	—	—
County(ies)	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Barton Springs/ Edwards Aquifer <input type="checkbox"/> Hays Trinity <input type="checkbox"/> Plum Creek	<input type="checkbox"/> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<input type="checkbox"/> Austin <input type="checkbox"/> Buda <input type="checkbox"/> Dripping Springs <input type="checkbox"/> Kyle <input type="checkbox"/> Mountain City <input type="checkbox"/> San Marcos <input type="checkbox"/> Wimberley <input type="checkbox"/> Woodcreek	<input type="checkbox"/> Austin <input type="checkbox"/> Bee Cave <input type="checkbox"/> Pflugerville <input type="checkbox"/> Rollingwood <input type="checkbox"/> Round Rock <input type="checkbox"/> Sunset Valley <input type="checkbox"/> West Lake Hills	<input type="checkbox"/> Austin <input type="checkbox"/> Cedar Park <input type="checkbox"/> Florence <input type="checkbox"/> Georgetown <input type="checkbox"/> Jerrell <input type="checkbox"/> Leander <input type="checkbox"/> Liberty Hill <input type="checkbox"/> Pflugerville <input type="checkbox"/> Round Rock

San Antonio Region					
County:	Bexar	Comal	Kinney	Medina	Uvalde
Original (1 req.)	—	—	—	—	—
Region (1 req.)	—	—	—	—	—
County(ies)	—	—	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input checked="" type="checkbox"/> Trinity-Glen Rose	<input type="checkbox"/> Edwards Aquifer Authority	<input type="checkbox"/> Kinney	<input type="checkbox"/> EAA <input type="checkbox"/> Medina	<input type="checkbox"/> EAA <input type="checkbox"/> Uvalde
City(ies) Jurisdiction	<input type="checkbox"/> Castle Hills <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Helotes <input type="checkbox"/> Hill Country Village <input type="checkbox"/> Hollywood Park <input checked="" type="checkbox"/> San Antonio (SAWS) <input type="checkbox"/> Shavano Park	<input type="checkbox"/> Bulverde <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Garden Ridge <input type="checkbox"/> New Braunfels <input type="checkbox"/> Schertz	NA	<input type="checkbox"/> San Antonio ETJ (SAWS)	NA



I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

JAVIER VILAFANÁ  
Print Name of Customer/Authorized Agent

[Signature]  
Signature of Customer/Authorized Agent

05/21/25  
Date

**\*\*FOR TCEQ INTERNAL USE ONLY\*\***

Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):

# Contributing Zone Plan Application

Texas Commission on Environmental Quality

for Regulated Activities on the Contributing Zone to the Edwards Aquifer and Relating to 30 TAC §213.24(1), Effective June 1, 1999

*To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.*

*Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.*

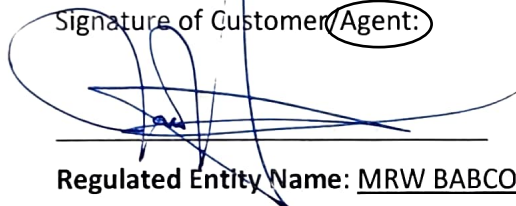
## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Contributing Zone Plan Application** is hereby submitted for TCEQ review and Executive Director approval. The application was prepared by:

Print Name of Customer/Agent: Javier Villafaña

Date: 05.21.2025

Signature of Customer/Agent:



Regulated Entity Name: MRW BABCOCK

## Project Information

1. County: Bexar
2. Stream Basin: Helotes Creek (1906A)
3. Groundwater Conservation District (if applicable): Trinity Glen Rose GCD
4. Customer (Applicant):

Contact Person: Wayne Wildman

Entity: Team KAM Enterprises Ltd.

Mailing Address: P.O. Box 114

City, State: Somerset, Texas

Telephone: 210.622.3112

Email Address: wildmans@flash.net

Zip: 78069

Fax: \_\_\_\_\_

5. Agent/Representative (If any):

Contact Person: Javier Villafaña

Entity: Mr. W Fireworks, Inc.

Mailing Address: P.O. Box 114

City, State: Somerset, Texas

Zip: 78069

Telephone: 210.622.3112

Fax: \_\_\_\_\_

Email Address: javier@mrwfireworks.com

6. Project Location:

- ☐ The project site is located inside the city limits of \_\_\_\_\_.
- ☒ The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of San Antonio.
- ☐ The project site is not located within any city's limits or ETJ.

7. ☒ The location of the project site is described below. Sufficient detail and clarity has been provided so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

20808 Babcock Road

8. ☒ **Attachment A - Road Map.** A road map showing directions to and the location of the project site is attached. The map clearly shows the boundary of the project site.

9. ☒ **Attachment B - USGS Quadrangle Map.** A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000') is attached. The map(s) clearly show:

- ☒ Project site boundaries.
- ☒ USGS Quadrangle Name(s).

10. ☒ **Attachment C - Project Narrative.** A detailed narrative description of the proposed project is attached. The project description is consistent throughout the application and contains, at a minimum, the following details:

- ☒ Area of the site
- ☒ Offsite areas
- ☒ Impervious cover
- ☒ Permanent BMP(s)
- ☒ Proposed site use
- ☒ Site history
- ☐ Previous development
- ☐ Area(s) to be demolished

11. Existing project site conditions are noted below:

- ☒ Existing commercial site
- ☐ Existing industrial site
- ☐ Existing residential site

- ☐ Existing paved and/or unpaved roads  
☒ Undeveloped (Cleared)  
☐ Undeveloped (Undisturbed/Not cleared)  
☐ Other: \_\_\_\_\_

12. The type of project is:

- ☐ Residential: # of Lots: \_\_\_\_\_  
☐ Residential: # of Living Unit Equivalents: \_\_\_\_\_  
☒ Commercial  
☐ Industrial  
☐ Other: \_\_\_\_\_

13. Total project area (size of site): 4.45 Acres

Total disturbed area: 0.76 Acres

14. Estimated projected population: N/A

15. The amount and type of impervious cover expected after construction is complete is shown below:

**Table 1 - Impervious Cover**

<i><b>Impervious Cover of Proposed Project</b></i>	<i><b>Sq. Ft.</b></i>	<i><b>Sq. Ft./Acre</b></i>	<i><b>Acres</b></i>
Structures/Rooftops	5,050	÷ 43,560 =	0.12
Parking	28,056	÷ 43,560 =	0.64
Other paved surfaces		÷ 43,560 =	
Total Impervious Cover	33,106	÷ 43,560 =	0.76

**Total Impervious Cover** 0.76 ac ÷ **Total Acreage** 4.45 ac X 100 = 17.1% Impervious Cover

16. ☒ **Attachment D - Factors Affecting Surface Water Quality.** A detailed description of all factors that could affect surface water quality is attached. If applicable, this includes the location and description of any discharge associated with industrial activity other than construction.

17. ☒ Only inert materials as defined by 30 TAC 330.2 will be used as fill material.

### ***For Road Projects Only***

***Complete questions 18 - 23 if this application is exclusively for a road project.***

☒ N/A

18. Type of project:

- ☐ TXDOT road project.
- ☐ County road or roads built to county specifications.
- ☐ City thoroughfare or roads to be dedicated to a municipality.
- ☐ Street or road providing access to private driveways.

19. Type of pavement or road surface to be used:

- ☐ Concrete
- ☐ Asphaltic concrete pavement
- ☐ Other: \_\_\_\_\_

20. Right of Way (R.O.W.):

Length of R.O.W.: \_\_\_\_\_ feet.

Width of R.O.W.: \_\_\_\_\_ feet.

$L \times W = \text{_____ Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} = \text{_____ acres.}$

21. Pavement Area:

Length of pavement area: \_\_\_\_\_ feet.

Width of pavement area: \_\_\_\_\_ feet.

$L \times W = \text{_____ Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} = \text{_____ acres.}$

Pavement area \_\_\_\_\_ acres  $\div$  R.O.W. area \_\_\_\_\_ acres  $\times 100 = \text{_____ \%}$  impervious cover.

22. ☐ A rest stop will be included in this project.
- ☐ A rest stop will not be included in this project.
23. ☐ Maintenance and repair of existing roadways that do not require approval from the TCEQ Executive Director. Modifications to existing roadways such as widening roads/adding shoulders totaling more than one-half (1/2) the width of one (1) existing lane require prior approval from the TCEQ.

***Stormwater to be generated by the Proposed Project***

24. ☒ **Attachment E - Volume and Character of Stormwater.** A detailed description of the volume (quantity) and character (quality) of the stormwater runoff which is expected to occur from the proposed project is attached. The estimates of stormwater runoff quality and quantity are based on area and type of impervious cover. Include the runoff coefficient of the site for both pre-construction and post-construction conditions.

***Wastewater to be generated by the Proposed Project***

25. ☐ Wastewater is to be discharged in the contributing zone. Requirements under 30 TAC §213.6(c) relating to Wastewater Treatment and Disposal Systems have been satisfied.
- ☒ N/A

26. Wastewater will be disposed of by:

☐ On-Site Sewage Facility (OSSF/Septic Tank):

☐ **Attachment F - Suitability Letter from Authorized Agent.** An on-site sewage facility will be used to treat and dispose of the wastewater from this site. The appropriate licensing authority's (authorized agent) written approval is attached. It states that the land is suitable for the use of private sewage facilities and will meet or exceed the requirements for on-site sewage facilities as specified under 30 TAC Chapter 285 relating to On-site Sewage Facilities.

☐ Each lot in this project/development is at least one (1) acre (43,560 square feet) in size. The system will be designed by a licensed professional engineer or registered sanitarian and installed by a licensed installer in compliance with 30 TAC Chapter 285.

☐ Sewage Collection System (Sewer Lines):

The sewage collection system will convey the wastewater to the \_\_\_\_\_ (name) Treatment Plant. The treatment facility is:

☐ Existing.

☐ Proposed.

☒ N/A

### ***Permanent Aboveground Storage Tanks(ASTs) ≥ 500 Gallons***

***Complete questions 27 - 33 if this project includes the installation of AST(s) with volume(s) greater than or equal to 500 gallons.***

☒ N/A

27. Tanks and substance stored:

**Table 2 - Tanks and Substance Storage**

<i>AST Number</i>	<i>Size (Gallons)</i>	<i>Substance to be Stored</i>	<i>Tank Material</i>
1			
2			
3			
4			
5			

**Total x 1.5 = \_\_\_\_\_ Gallons**

28. ☐ The AST will be placed within a containment structure that is sized to capture one and one-half (1 1/2) times the storage capacity of the system. For facilities with more than

5 of 11

one tank system, the containment structure is sized to capture one and one-half (1 1/2) times the cumulative storage capacity of all systems.

- ☐ **Attachment G - Alternative Secondary Containment Methods.** Alternative methods for providing secondary containment are proposed. Specifications showing equivalent protection for the Edwards Aquifer are attached.

29. Inside dimensions and capacity of containment structure(s):

**Table 3 - Secondary Containment**

<i>Length (L)(Ft.)</i>	<i>Width(W)(Ft.)</i>	<i>Height (H)(Ft.)</i>	<i>L x W x H = (Ft3)</i>	<i>Gallons</i>

**Total: \_\_\_\_\_ Gallons**

30. Piping:

- ☐ All piping, hoses, and dispensers will be located inside the containment structure.
- ☐ Some of the piping to dispensers or equipment will extend outside the containment structure.
- ☐ The piping will be aboveground
- ☐ The piping will be underground

31. ☐ The containment area must be constructed of and in a material impervious to the substance(s) being stored. The proposed containment structure will be constructed of: \_\_\_\_\_.

32. ☐ **Attachment H - AST Containment Structure Drawings.** A scaled drawing of the containment structure is attached that shows the following:

- ☐ Interior dimensions (length, width, depth and wall and floor thickness).
- ☐ Internal drainage to a point convenient for the collection of any spillage.
- ☐ Tanks clearly labeled
- ☐ Piping clearly labeled
- ☐ Dispenser clearly labeled

33. ☐ Any spills must be directed to a point convenient for collection and recovery. Spills from storage tank facilities must be removed from the controlled drainage area for disposal within 24 hours of the spill.

- ☐ In the event of a spill, any spillage will be removed from the containment structure within 24 hours of the spill and disposed of properly.

- ☐ In the event of a spill, any spillage will be drained from the containment structure through a drain and valve within 24 hours of the spill and disposed of properly. The drain and valve system are shown in detail on the scaled drawing.

## ***Site Plan Requirements***

***Items 34 - 46 must be included on the Site Plan.***

34. ☒ The Site Plan must have a minimum scale of 1" = 400'.  
Site Plan Scale: 1" = 40'.
35. 100-year floodplain boundaries:
- ☐ Some part(s) of the project site is located within the 100-year floodplain. The floodplain is shown and labeled.
- ☒ No part of the project site is located within the 100-year floodplain.  
The 100-year floodplain boundaries are based on the following specific (including date of material) sources(s): FIRM MAP 48029C0095F.
36. ☒ The layout of the development is shown with existing and finished contours at appropriate, but not greater than ten-foot contour intervals. Lots, recreation centers, buildings, roads, etc. are shown on the site plan.
- ☐ The layout of the development is shown with existing contours at appropriate, but not greater than ten-foot contour intervals. Finished topographic contours will not differ from the existing topographic configuration and are not shown. Lots, recreation centers, buildings, roads, etc. are shown on the site plan.
37. ☒ A drainage plan showing all paths of drainage from the site to surface streams.
38. ☒ The drainage patterns and approximate slopes anticipated after major grading activities.
39. ☒ Areas of soil disturbance and areas which will not be disturbed.
40. ☒ Locations of major structural and nonstructural controls. These are the temporary and permanent best management practices.
41. ☒ Locations where soil stabilization practices are expected to occur.
42. ☐ Surface waters (including wetlands).  
☒ N/A
43. ☐ Locations where stormwater discharges to surface water.  
☒ There will be no discharges to surface water.
44. ☐ Temporary aboveground storage tank facilities.  
☒ Temporary aboveground storage tank facilities will not be located on this site.



45. ☐ Permanent aboveground storage tank facilities.  
☒ Permanent aboveground storage tank facilities will not be located on this site.
46. ☒ Legal boundaries of the site are shown.

### ***Permanent Best Management Practices (BMPs)***

***Practices and measures that will be used during and after construction is completed.***

47. ☐ Permanent BMPs and measures must be implemented to control the discharge of pollution from regulated activities after the completion of construction.  
☒ N/A
48. ☐ These practices and measures have been designed, and will be constructed, operated, and maintained to insure that 80% of the incremental increase in the annual mass loading of total suspended solids (TSS) from the site caused by the regulated activity is removed. These quantities have been calculated in accordance with technical guidance prepared or accepted by the executive director.  
☐ The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site.  
☐ A technical guidance other than the TCEQ TGM was used to design permanent BMPs and measures for this site. The complete citation for the technical guidance that was used is: \_\_\_\_\_.  
☒ N/A
49. ☐ Owners must insure that permanent BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the appropriate regional office within 30 days of site completion.  
☒ N/A
50. Where a site is used for low density single-family residential development and has 20 % or less impervious cover, other permanent BMPs are not required. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.  
☐ The site will be used for low density single-family residential development and has 20% or less impervious cover.  
☐ The site will be used for low density single-family residential development but has more than 20% impervious cover.  
☒ The site will not be used for low density single-family residential development.

51. The executive director may waive the requirement for other permanent BMPs for multi-family residential developments, schools, or small business sites where 20% or less impervious cover is used at the site. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

- ☒ **Attachment I - 20% or Less Impervious Cover Waiver.** The site will be used for multi-family residential developments, schools, or small business sites and has 20% or less impervious cover. A request to waive the requirements for other permanent BMPs and measures is attached.
- ☐ The site will be used for multi-family residential developments, schools, or small business sites but has more than 20% impervious cover.
- ☐ The site will not be used for multi-family residential developments, schools, or small business sites.

52. ☐ **Attachment J - BMPs for Upgradient Stormwater.**

- ☐ A description of the BMPs and measures that will be used to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site is attached.
- ☐ No surface water, groundwater or stormwater originates upgradient from the site and flows across the site, and an explanation is attached.
- ☒ Permanent BMPs or measures are not required to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site, and an explanation is attached.

53. ☒ **Attachment K - BMPs for On-site Stormwater.**

- ☐ A description of the BMPs and measures that will be used to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff from the site is attached.
- ☒ Permanent BMPs or measures are not required to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff, and an explanation is attached.

54. ☐ **Attachment L - BMPs for Surface Streams.** A description of the BMPs and measures that prevent pollutants from entering surface streams is attached.

☒ N/A

55. ☒ **Attachment M - Construction Plans.** Construction plans and design calculations for the proposed permanent BMPs and measures have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer, and are signed, sealed, and dated. Construction plans for the proposed permanent BMPs and measures are

attached and include: Design calculations, TCEQ Construction Notes, all proposed structural plans and specifications, and appropriate details.

☐ N/A

56. ☐ **Attachment N - Inspection, Maintenance, Repair and Retrofit Plan.** A site and BMP specific plan for the inspection, maintenance, repair, and, if necessary, retrofit of the permanent BMPs and measures is attached. The plan fulfills all of the following:

- ☐ Prepared and certified by the engineer designing the permanent BMPs and measures
- ☐ Signed by the owner or responsible party
- ☐ Outlines specific procedures for documenting inspections, maintenance, repairs, and, if necessary, retrofit.
- ☐ Contains a discussion of record keeping procedures

☒ N/A

57. ☐ **Attachment O - Pilot-Scale Field Testing Plan.** Pilot studies for BMPs that are not recognized by the Executive Director require prior approval from the TCEQ. A plan for pilot-scale field testing is attached.

☒ N/A

58. ☐ **Attachment P - Measures for Minimizing Surface Stream Contamination.** A description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is attached. The measures address increased stream flashing, the creation of stronger flows and in-stream velocities, and other in-stream effects caused by the regulated activity, which increase erosion that result in water quality degradation.

☒ N/A

***Responsibility for Maintenance of Permanent BMPs and Measures after Construction is Complete.***

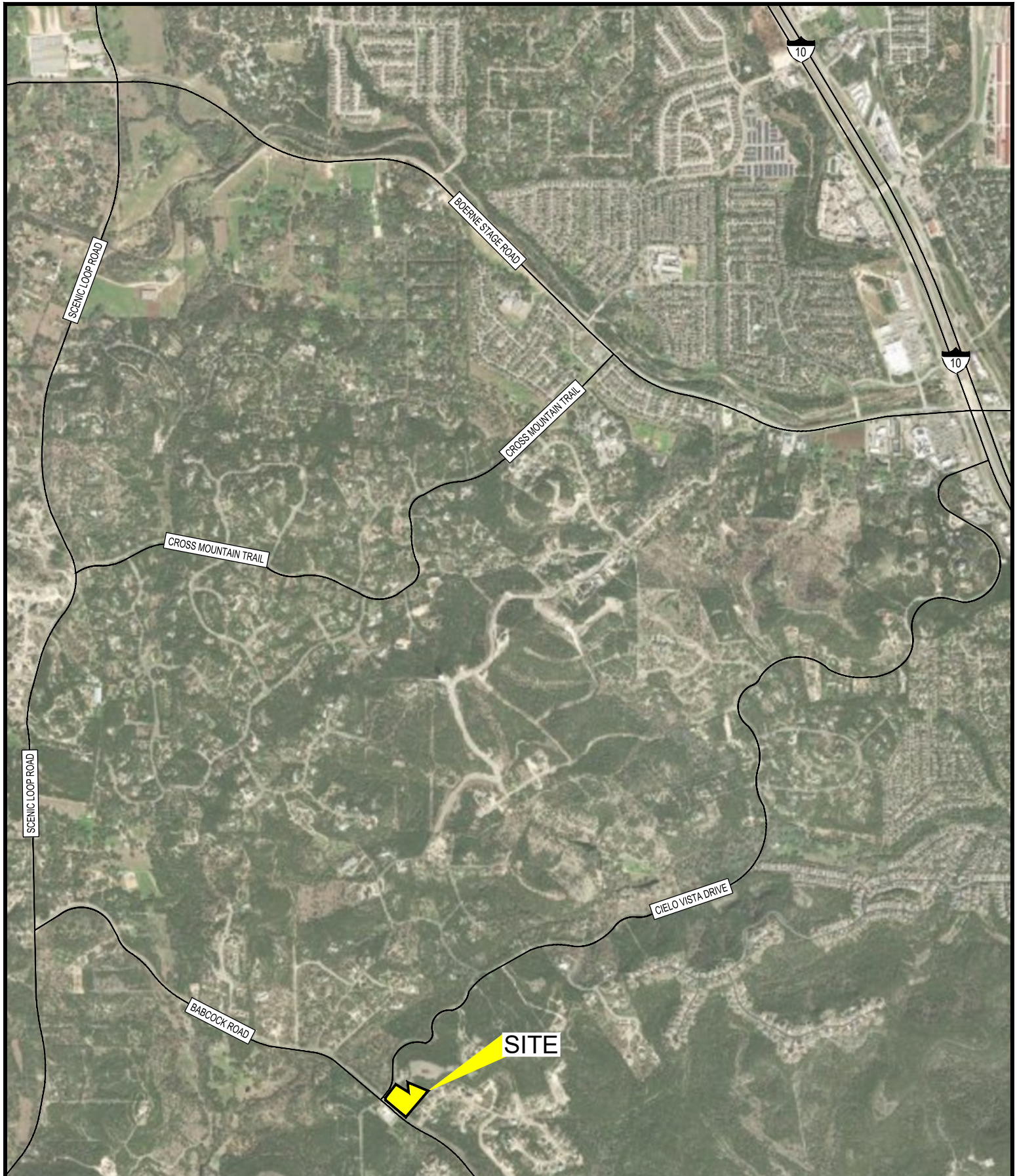
59. ☐ The applicant is responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred.
60. ☒ A copy of the transfer of responsibility must be filed with the executive director at the appropriate regional office within 30 days of the transfer if the site is for use as a multiple single-family residential development, a multi-family residential development,

or a non-residential development such as commercial, industrial, institutional, schools, and other sites where regulated activities occur.

### ***Administrative Information***

- 61. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions.
- 62. ☒ Any modification of this Contributing Zone Plan may require TCEQ review and Executive Director approval prior to construction, and may require submission of a revised application, with appropriate fees.
- 63. ☒ The site description, controls, maintenance, and inspection requirements for the storm water pollution prevention plan (SWPPP) developed under the EPA NPDES general permits for stormwater discharges have been submitted to fulfill paragraphs 30 TAC §213.24(1-5) of the technical report. All requirements of 30 TAC §213.24(1-5) have been met by the SWPPP document.
- ☒ The Temporary Stormwater Section (TCEQ-0602) is included with the application.





ENGINEER:



F-22385

## MRW BABOCK - FIREWORKS SUPERSTORE

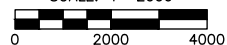
MRW BABCOCK - FIREWORKS SUPERSTORE

20808 # FW BABCOCK RD

SAN ANTONIO, TX 78201



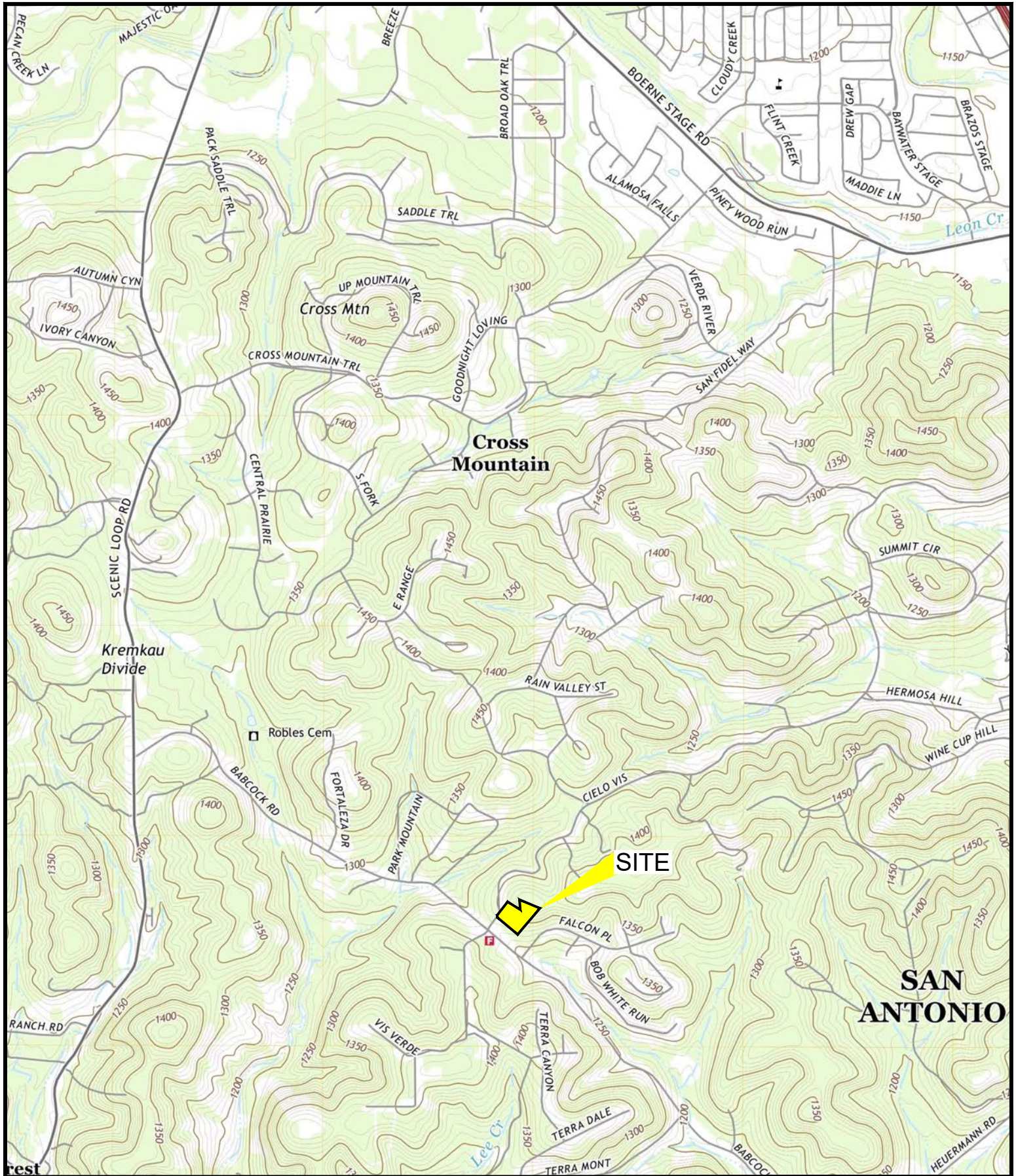
SCALE: 1"=2000'



AERIAL OVERALL MAP

ATT A





ENGINEER:



F-22385

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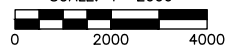
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SCALE: 1"=2000'



USGS MAP (7.5 MIN QUAD)

VAN RAUB, TEXAS

ATT B





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P.O. BOX 114  
SOMERSET, TEXAS 78069  
F-22385

May 22, 2025

**ATTACHMENT C**  
**PROJECT NARRATIVE**

The proposed project will consist of construction one building with a concrete foundation, gravel parking lot, additional concrete flatwork for ADA parking spaces, sidewalks, a 6" fire line water services, and tree preservation as shown.

The site is located outside of the San Antonio City Limits, but lies within the San Antonio ETJ. The lot is also situated **inside** the Edwards Aquifer Contributing Zone, and does not contain the 100-year floodplain as per FEMA Firm panel 48029C0095F (eff. 09/29/2010).



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May 22, 2025

## **ATTACHMENT D**

### **FACTORS AFFECTING SURFACE WATER QUALITY**

Potential sources of pollution from the construction site that may be expected to affect the quality of storm water discharges of said site include:

- a) Soil erosion due to clearing of site for drainage and pavement
- b) Oil, grease, fuel & hydraulic fluid contamination from construction vehicle drippings
- c) Miscellaneous trash and litter from construction workers and material wrappings
- d) Construction debris
- e) Concrete truck washout
- f) Hydrocarbons from asphalt paving operations





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May 22, 2025

## **ATTACHMENT E**

### **VOLUME AND CHARACTER OF STORMWATER**

The quality of the stormwater runoff will be that of a retail building with a metal roof and concrete fire lane & ADA parking. The majority of the impervious cover is from the roof and parking area where runoff from the roof will be contaminated mostly by airborne pollutants and runoff produced by the project site will be caused by oils and other pollutants from vehicles.

EXISTING CONDITIONS											
STUDY PT	AREA	Tc	AC	C	I5	I25	I100		Q5	Q25	Q100
	OSDA1	8	2.58	0.58	6.87	9.61	12.16		10.28	14.38	18.20
	EX1	6	5.14	0.53	7.52	10.53	13.30		20.49	28.69	36.23
DP1	OSDA1-EX1	11	7.71	0.55	6.13	8.56	10.81		25.99	36.30	45.84

PROPOSED CONDITIONS											
STUDY PT	AREA	Tc	AC	C	I5	I25	I100		Q5	Q25	Q100
	OSDA1	8	2.58	0.58	6.87	9.61	12.16		10.28	14.38	18.20
	DA1	7	5.14	0.58	7.17	10.03	12.69		21.38	29.90	37.83
DP1	OSDA1-DA1	11	7.71	0.58	6.13	8.56	10.81		27.41	38.28	48.34



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**ATTACHMENT F**

**SUITABILITY LETTER FROM AUTHORIZED AGENT**

N/A



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**ATTACHMENT G**

**ALTERNATIVE SECONDARY CONTAINMENT METHODS**

N/A



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**ATTACHMENT H**

**AST CONTAINMENT STRUCTURE DRAWINGS**

N/A



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May 22, 2025

## **ATTACHMENT I**

### **20% OR LESS IMPERVIOUS COVER WAIVER**

The proposed improvements for the project results in 17.1% post-development impervious cover, which is less than the 20% impervious cover where Permanent BMP's are required to treat storm water runoff. There are no Permanent BMP's proposed for this project.

Team KAM Enterprises. LTD. Is a small business with less than 100 employees and grosses less than \$1 million dollars annually.

Therefore, Team Kam Enterprises, LTD requests a waiver from the requirements for other permanent BMP's as the total impervious cover is less than 20%.



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F-22385

May 22, 2025

## **ATTACHMENT J**

### **BMP's FOR UPGRADIENT STORMWATER**

Permanent BMPs or measures are not required to prevent pollution of surface water groundwater, or stormwater that originates upgradient from the site and flows across the site.



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May 22, 2025

## **ATTACHMENT K**

### **BMP's FOR ON-SITE STORM WATER**

The overall post-project impervious cover is less than the 20%, therefore no Permanent Best Management Practices are required to treat on-site runoff.



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May 22, 2025

## **ATTACHMENT L**

### **BMP's FOR SURFACE STREAMS**

The proposed development is less than 20% impervious cover, therefore no Permanent BMP's are required to treat on-site runoff.



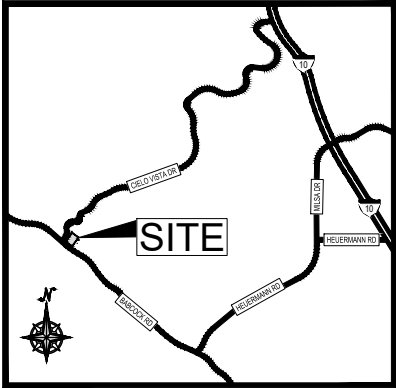


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F-22385

May 22, 2025

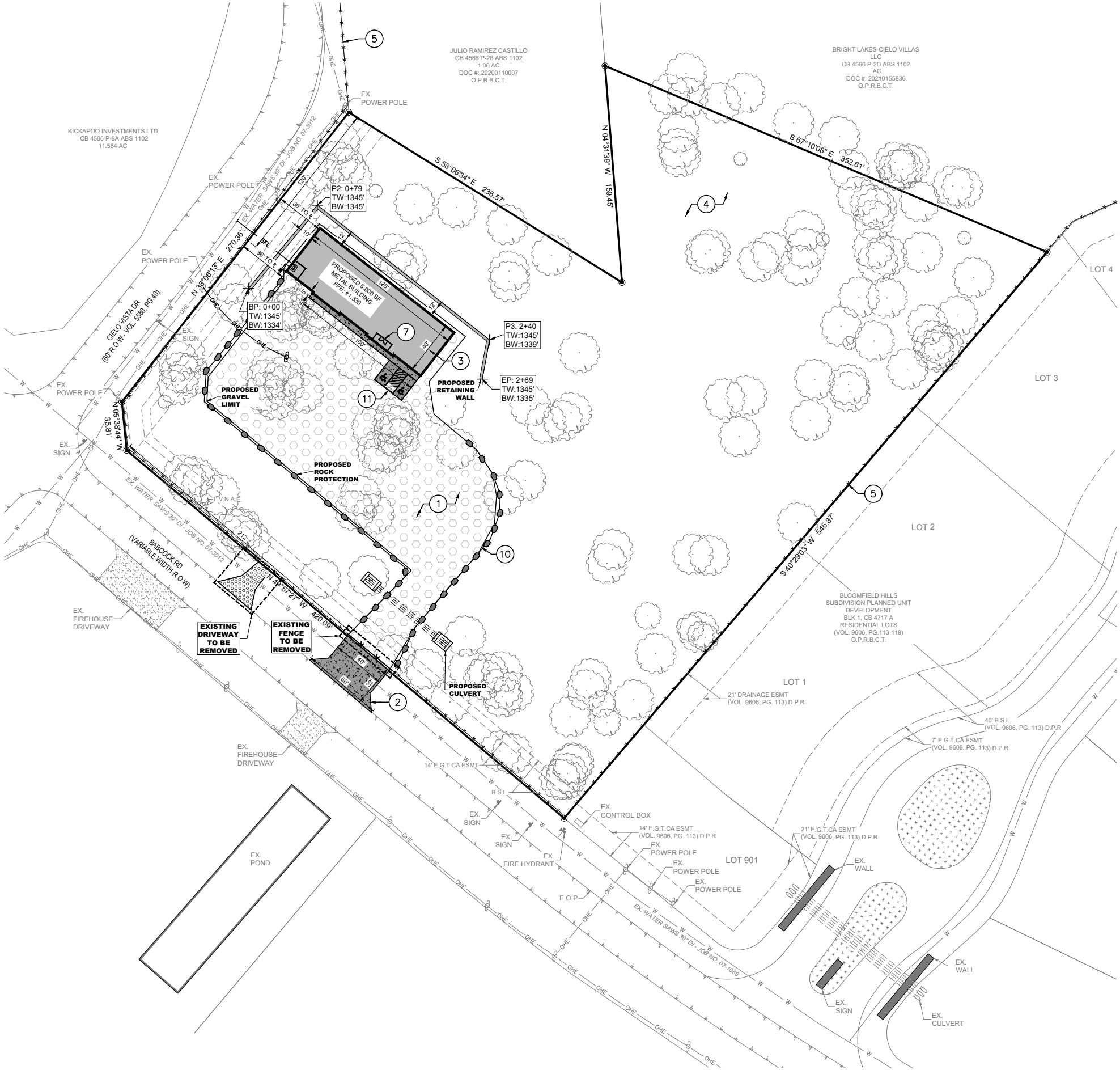
**ATTACHMENT M**  
**CONSTRUCTION PLANS**

See attached Construction Plans.



KEYNOTES

1	PROPOSED GRAVEL MILLINGS PARKING LOT
2	PROPOSED COMMERCIAL DRIVEWAY ENTRANCE PER TxDOT SPEC'S. SEE SHT. C8/DTL 11
3	PROPOSED FIREWORKS METAL SUPERSTORE
4	AREA TO REMAIN UNDISTURBED
5	EXISTING FENCE TO REMAIN
6	FIRE RISER ROOM LOCATION
7	MAIN ENTRANCE LOCATION
8	BOLLARDS AND FDC LOCATION
9	PROPOSED 5' SIDEWALK
10	LIMITS OF GRAVEL
11	ADA PARKING. SEE SHT. C8/DTL 3
12	EX. POWER POLES TO REMAIN UNDISTURBED



SCALE: 1"=40'  
0 40 80

LEGEND

GAS VALVE	
FIRE HYDRANT	
LIGHT POLE	
WATER VALVE	
SANITARY SEWER MANHOLE	
STORM WATER MANHOLE	
SIGN	
POWER POLE	
1/2" IRON ROD FOUND	
STORM GRATE	
PIN FLAG OR PAINT STRIPE	
1/2" IRON ROD W/CAP	
ROAD W/O CURB	
CONCRETE DRIVE	
CONCRETE FLAT WORK	
PROPOSED BUILDING	
EXISTING CONTOURS	
PROPOSED CONTOURS	
6" FIRE LINE	
4" FIRE LINE	
WATER LINE	
CHAIN LINK FENCE	
OVER HEAD UTILITY	
PROPERTY LINE	
PROPOSED SPOT GRADES	
SILT FENCE	
FIRE LANE	
CURB	
EXISTING CONCRETE	
EXISTING GRAVEL	
TURF	
ROCK PROTECTION	

OWNER:



MR. W FIREWORKS, INC  
12221 FM 476  
SOMERSET, TEXAS 78069  
P.O. BOX 114  
SOMERSET, TEXAS 78069

MRW - BABCOCK


MR. W FIREWORKS SUPERSTORE

20808 # FW BABCOCK RD  
SAN ANTONIO, TX 78201

ENGINEER:

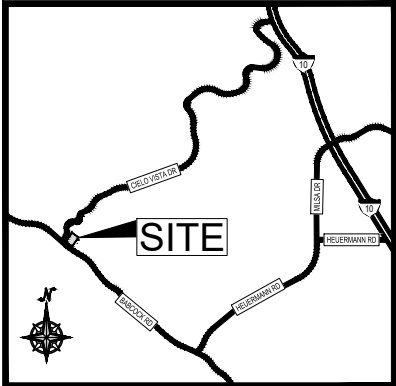


F-22385  
MR. W FIREWORKS, INC  
12221 FM 476  
SOMERSET, TEXAS 78069  
P.O. BOX 114  
SOMERSET, TEXAS 78069



JOSEPH E. TOBER  
108918  
PROF. LICENSED ENGINEER  
5/27/2025

SITE & DEMO  
PLAN  
C2.0

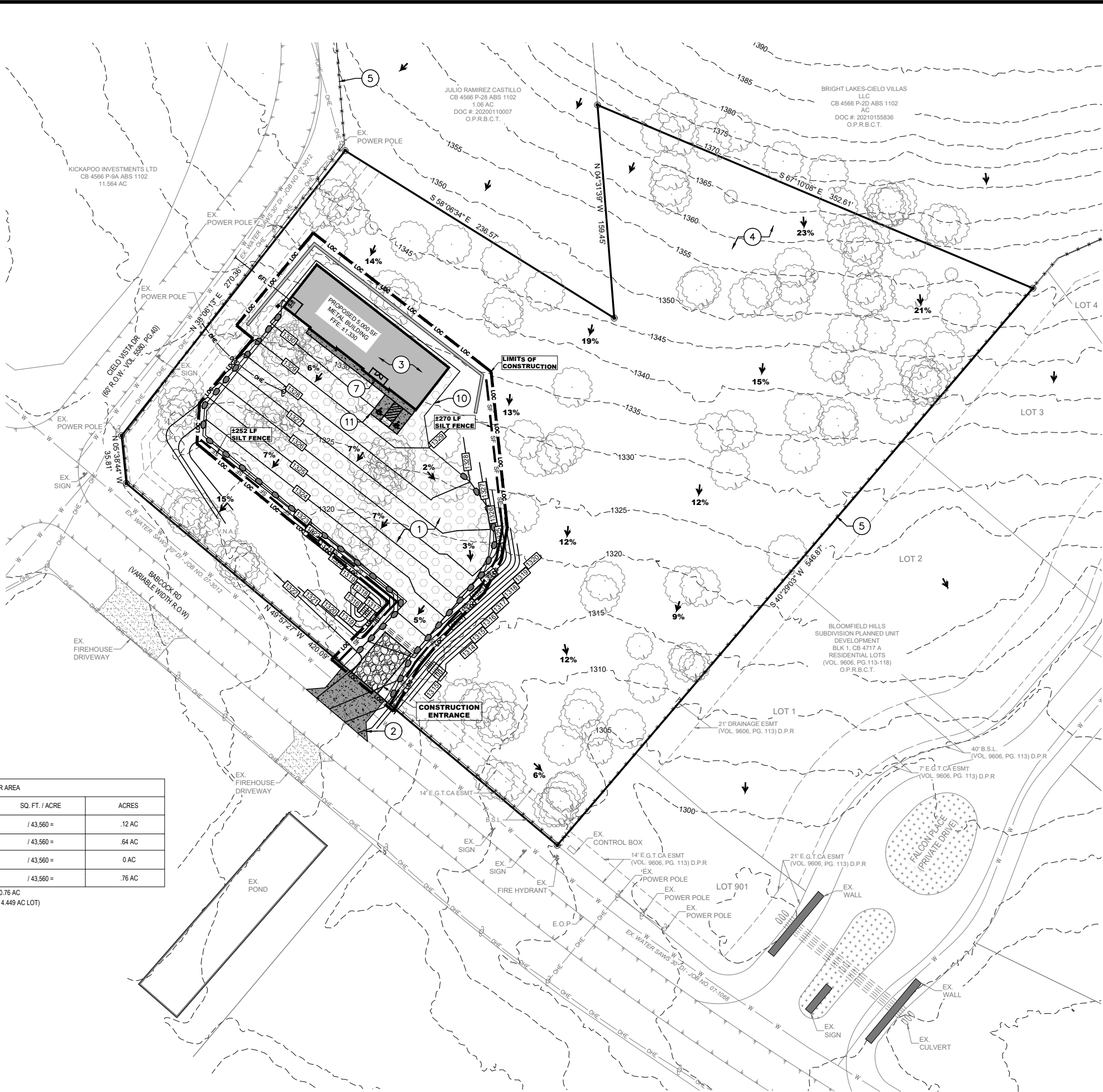


KEYNOTES

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2	PROPOSED COMMERCIAL DRIVEWAY ENTRANCE PER TxDOT SPEC'S. SEE SHT. C8/DTL 11
3	PROPOSED FIREWORKS METAL SUPERSTORE
4	AREA TO REMAIN UNDISTURBED
5	EXISTING FENCE TO REMAIN
6	FIRE RISER ROOM LOCATION
7	MAIN ENTRANCE LOCATION
8	BOLLARDS AND FDC LOCATION
9	PROPOSED 5' SIDEWALK
10	LIMITS OF GRAVEL
11	ADA PARKING. SEE SHT. C8/DTL 3
12	EX. POWER POLES TO REMAIN UNDISTURBED

IMPERVIOUS COVER AREA			
SQ. FT. / ACRE	SQ. FT.	SQ. FT. / ACRE	ACRES
STRUCTURES / ROOFTOPS	5,050 SF	/ 43,560 =	.12 AC
GRAVEL / CONCRETE	28,056 SF	/ 43,560 =	.64 AC
OTHER PAVED SURFACES	0 SF	/ 43,560 =	0 AC
TOTAL IMPERVIOUS COVER	33,106 SF	/ 43,560 =	.76 AC

33,106 SF = 0.76 AC  
(17.08% OF TOTAL 4.449 AC LOT)



SCALE: 1"=40'  
0 40 80

LEGEND

GAS VALVE	
FIRE HYDRANT	
LIGHT POLE	
WATER VALVE	
SANITARY SEWER MANHOLE	
STORM WATER MANHOLE	
SIGN	
POWER POLE	
1/2" IRON ROD FOUND	
STORM GRATE	
PIN FLAG OR PAINT STRIPE	
1/2" IRON ROD W/CAP	
ROAD W/O CURB	
CONCRETE DRIVE	
CONCRETE FLAT WORK	
PROPOSED BUILDING	
EXISTING CONCRETE	
EXISTING GRAVEL	
6" FIRE LINE	
4" FIRE LINE	
WATER LINE	
CHAIN LINK FENCE	
OVER HEAD UTILITY	
PROPERTY LINE	
PROPOSED SPOT GRADES	
SILT FENCE	
FIRE LANE	
CURB	
EXISTING CONTOURS	
PROPOSED CONTOURS	
TURF	
ROCK PROTECTION	

OWNER:



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SOMERSET, TEXAS 78069

MRW - BABCOCK

MR. W FIREWORKS SUPERSTORE

20808 # FW BABCOCK RD  
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ENGINEER:



F-22385  
MR. W FIREWORKS, INC  
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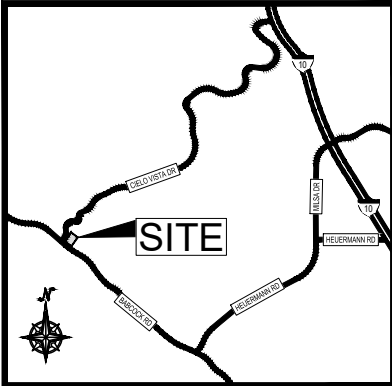


5.21.2025

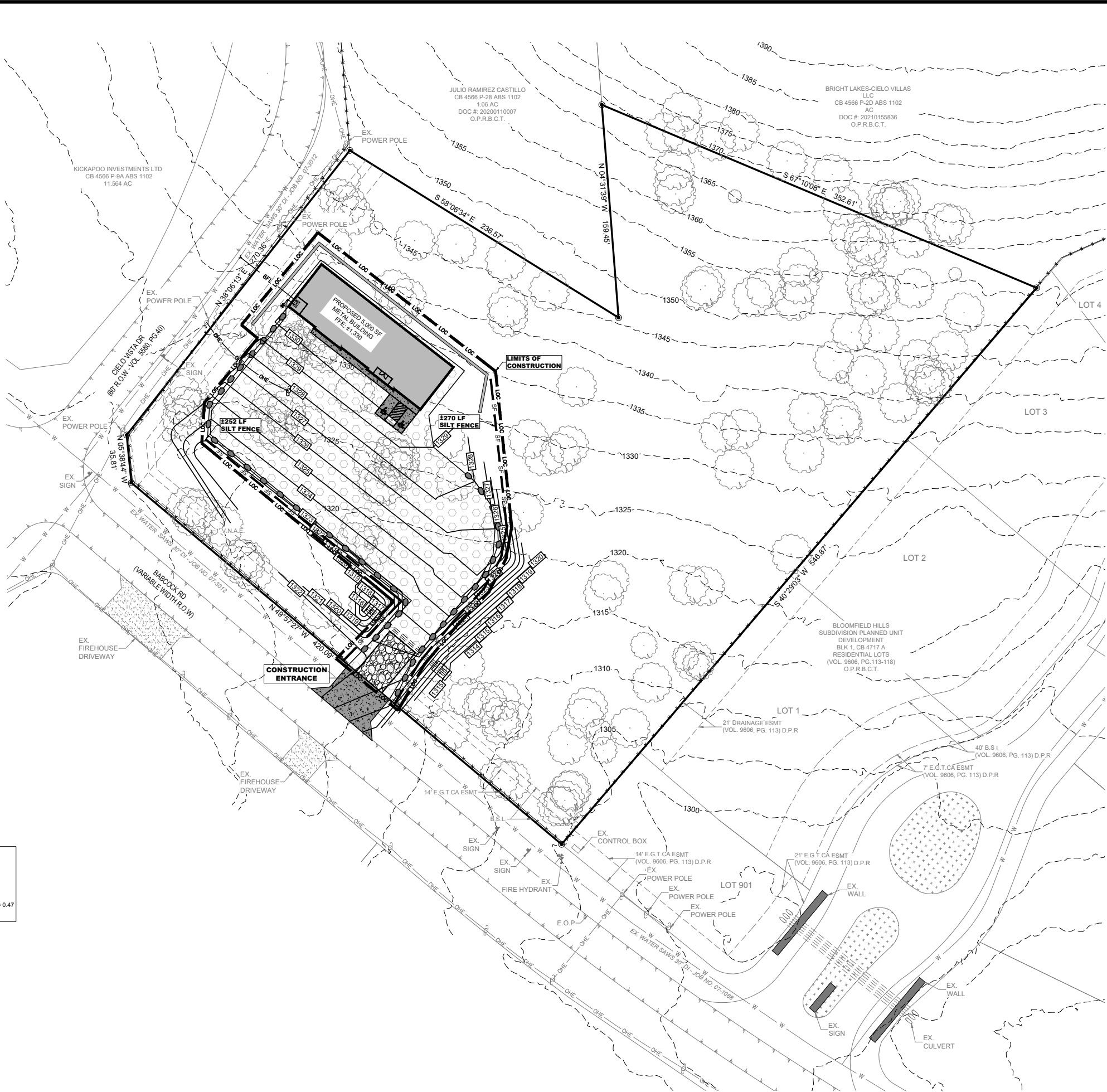
CONTRIBUTING  
ZONE PLAN

C2.1





LOCATION MAP  
NOT TO SCALE



- LIMITS OF CONSTRUCTION NOTE:
1. PROJECT AREA: 4.449 AC (193,814 SF)
  2. DISTURBED AREA: 1.029 AC (44,807 SF)
  3. IMPERVIOUS COVER AREA: 17.1% .76 AC (33,106 SF)
  4. PRE-RUNOFF(C-VALUE) = 0.47 POST-RUNOFF(C-VALUE) = 0.47
  5. CONSTRUCTION START DATE: APRIL 2025

\* NOTE: ACTUAL LAYOUT DETERMINED IN FIELD. SHOULD BE PLACED IN THE PROXIMITY OF THE CONSTRUCTION ENTRANCE/EXIT AND NOT LOCATED NEAR A WELL, FLOODPLAIN, OR OTHER POTENTIAL SOURCES OF CONTAMINATION.



SCALE: 1"=40'  
0 40 80

LEGEND

- SILT FENCE — SF — SF —
- LIMITS OF CONSTRUCTION — LOC — LOC —
- STABILIZED CONSTRUCTION ENTRANCE/EXIT
- STAGING AREA
- CONCRETE WASH-OUT PIT
- CONCRETE DRIVE
- CONCRETE FLAT WORK
- PROPOSED BUILDING
- EXISTING CONTOURS — 1172 —
- PROPOSED CONTOURS — 801 —
- 6" FIRE LINE — 6FL —
- 4" FIRE LINE — 4FL —
- OVER HEAD UTILITY — OHU — OHU —
- EXISTING CONCRETE
- EXISTING GRAVEL
- ROCK PROTECTION

OWNER:

**MR. W FIREWORKS**

MR. W FIREWORKS, INC  
12221 FM 476  
SOMERSET, TEXAS 78069  
P.O. BOX 114  
SOMERSET, TEXAS 78069

**MRW - BABCOCK**

**MR. W FIREWORKS SUPERSTORE**

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SAN ANTONIO, TX 78201

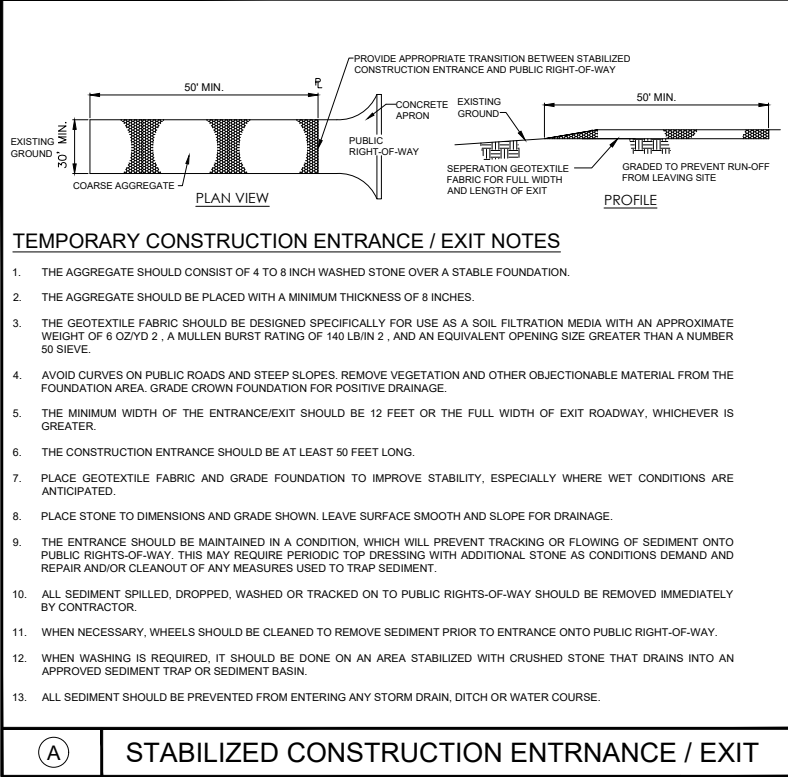
ENGINEER:

**MR. W FIREWORKS**

F-22385  
MR. W FIREWORKS, INC  
12221 FM 476  
SOMERSET, TEXAS 78069  
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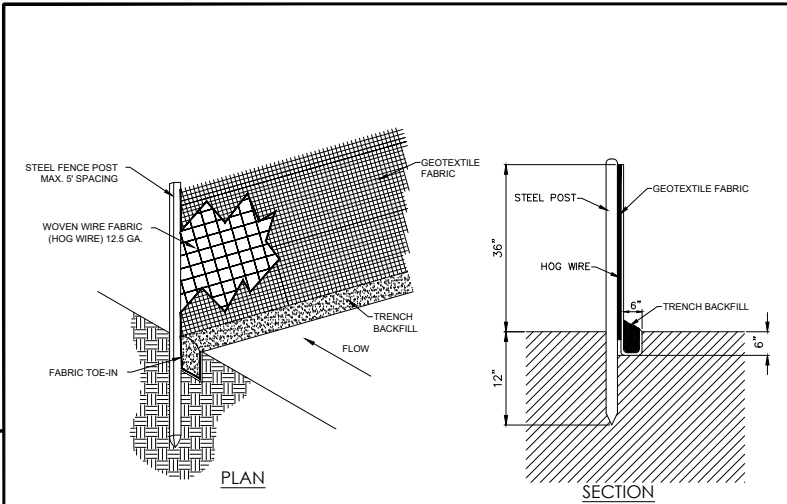
STATE OF TEXAS  
JOSEPH E. TOBER  
108918  
PROFESSIONAL ENGINEER  
5.21.2025

TEMPORARY BMP  
PLAN  
**C2.2**



Ⓐ

STABILIZED CONSTRUCTION ENTRNANCE / EXIT

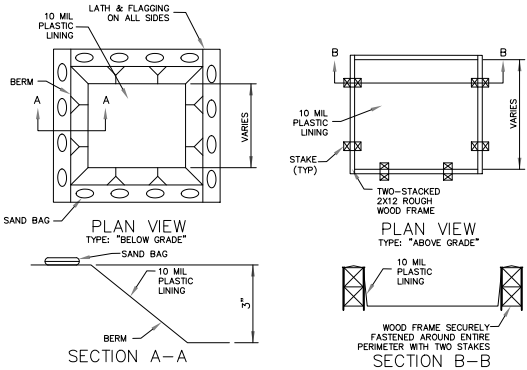


**SILT FENCE NOTES**

1. SILT FENCE MATERIAL SHOULD BE POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE WOVEN OR NONWOVEN FABRIC. THE FABRIC WIDTH SHOULD BE 36 INCHES, WITH A MINIMUM UNIT WEIGHT OF 4.5 OZ/YD, MULLEN BURST STRENGTH EXCEEDING 190 LB/IN 2 , ULTRAVIOLET STABILITY EXCEEDING 70%, AND MINIMUM APPARENT OPENING SIZE OF U.S. SIEVE NO. 30.
2. FENCE POSTS SHOULD BE MADE OF HOT ROLLED STEEL, AT LEAST 4 FEET LONG WITH TEE OR Y-BAR CROSS SECTION, SURFACE PAINTED OR GALVANIZED, MINIMUM NOMINAL WEIGHT 1.25 LB/FT 2 , AND BRINDELL HARDNESS EXCEEDING 140.
3. WOVEN WIRE BACKING TO SUPPORT THE FABRIC SHOULD BE GALVANIZED 2" X 4" WELDED WIRE, 12.5 GAUGE MINIMUM.
4. STEEL POSTS, WHICH SUPPORT THE SILT FENCE, SHOULD BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 1 FOOT DEEP AND SPACED NOT MORE THAN 5 FEET ON CENTER.
5. LAY OUT FENCING DOWN-SLOPE OF DISTURBED AREA, FOLLOWING THE CONTOUR AS CLOSELY AS POSSIBLE. THE FENCE SHOULD BE SITED SO THAT THE MAXIMUM DRAINAGE AREA IS ¼ ACRE/100 FEET OF FENCE.
6. THE TOE OF THE SILT FENCE SHOULD BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN-SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G., PAVEMENT OR ROCK OUTCROP), WEIGHT FABRIC FLAP WITH 3 INCHES OF PEA GRAVEL ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
7. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
8. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHOULD BE A 3-FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
9. SILT FENCE SHOULD BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
10. REMOVE SEDIMENT WHEN BUILDUP REACHES 6 INCHES, OR INSTALL A SECOND LINE OF FENCING PARALLEL TO THE OLD FENCE.
11. REPLACE ANY TORN FABRIC OR INSTALL A SECOND LINE OF FENCING PARALLEL TO THE TORN SECTION.
12. REPLACE OR REPAIR ANY SECTIONS CRUSHED OR COLLAPSED IN THE COURSE OF CONSTRUCTION ACTIVITY. IF A SECTION OF FENCE IS OBSTRUCTING VEHICULAR ACCESS, CONSIDER RELOCATING IT TO A SPOT WHERE IT WILL PROVIDE EQUAL PROTECTION, BUT WILL NOT OBSTRUCT VEHICLES. A TRIANGULAR FILTER DIKE MAY BE PREFERABLE TO A SILT FENCE AT COMMON VEHICLE ACCESS POINTS.

Ⓑ

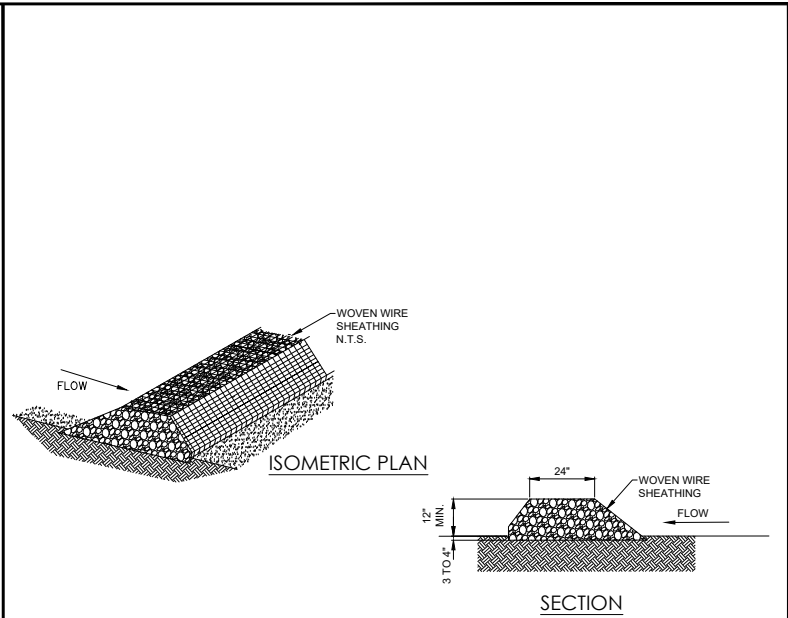
SILT FENCE DETAIL



- CONCRETE WASH OUT PIT NOTES:**
1. DETAIL ILLUSTRATES MINIMUM DIMENSIONS. PIT CAN BE INCREASED IN SIZE DEPENDING ON EXPECTED FREQUENCY OF USE.
  2. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL IN POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
  3. WASHOUT PIT SHALL BE LOCATED IN AN AREA EASILY ACCESSIBLE TO CONSTRUCTION TRAFFIC.
  4. WASHOUT PIT SHALL NOT BE LOCATED IN AREAS SUBJECT TO FLOODING FROM STORM WATER RUNOFF.
  5. DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.

Ⓓ

CONCRETE TRUCK WASHOUT PIT

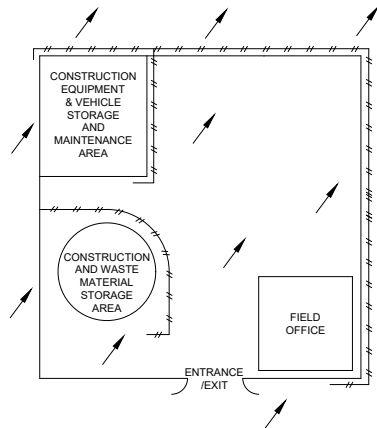


**ROCK BERM NOTES**

1. THE BERM STRUCTURE SHOULD BE SECURED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM OPENING OF 1 INCH AND A MINIMUM WIRE DIAMETER OF 20 GAUGE GALVANIZED AND SHOULD BE SECURED WITH SHOAT RINGS.
2. CLEAN, OPEN GRADED 3 TO 5-INCH DIAMETER ROCK SHOULD BE USED, EXCEPT IN AREAS WHERE HIGH VELOCITIES OR LARGE VOLUMES OF FLOW ARE EXPECTED, WHERE 5-TO 8-INCH DIAMETER ROCKS MAY BE USED.
3. LAY OUT THE WOVEN WIRE SHEATHING PERPENDICULAR TO THE FLOW LINE.
4. BERM SHOULD HAVE A TOP WIDTH OF 2 FEET MINIMUM WITH SIDE SLOPES BEING 2:1 (H:V) OR FLATTER.
5. PLACE THE ROCK ALONG THE SHEATHING TO A HEIGHT NOT LESS THAN 18".
6. WRAP THE WIRE SHEATHING AROUND THE ROCK AND SECURE WITH TIE WIRE SO THAT THE ENDS OF THE SHEATHING OVERLAP AT LEAST 2 INCHES, AND THE BERM RETAINS ITS SHAPE WHEN WALKED UPON.
7. BERM SHOULD BE BUILT ALONG THE CONTOUR AT ZERO PERCENT GRADE OR AS NEAR AS POSSIBLE.
8. THE ENDS OF THE BERM SHOULD BE TIED INTO EXISTING UPSLOPE GRADE AND THE BERM SHOULD BE BURIED IN A TRENCH APPROXIMATELY 3 TO 4 INCHES DEEP TO PREVENT FAILURE OF THE CONTROL.
9. INSPECTION SHOULD BE MADE WEEKLY AND AFTER EACH RAINFALL BY THE RESPONSIBLE PARTY. FOR INSTALLATIONS IN STREAMBEDS, ADDITIONAL DAILY INSPECTIONS SHOULD BE MADE. THE BERM SHOULD BE RESHAPED AS NEEDED DURING INSPECTION.
10. REMOVE SEDIMENT AND OTHER DEBRIS WHEN BUILDUP REACHES 6 INCHES AND DISPOSE OF THE ACCUMULATED SILT OF IN AN APPROVED MANNER AND REPAIR ANY LOOSE WIRE SHEATHING.
11. THE BERM SHOULD BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
12. THE ROCK BERM SHOULD BE LEFT IN PLACE UNTIL ALL UPSTREAM AREAS ARE STABILIZED AND ACCUMULATED SILT REMOVED.

Ⓒ

ROCK BERM DETAIL (NOT USED)



- LEGEND**
- SILT FENCE
  - FLOW ARROWS

NOTE: CONTRACTOR SHALL ADJUST STORM WATER POLLUTION PREVENTION PLAN CONTROLS AS NECESSARY TO PROMOTE EROSION CONTROL IN AND AROUND DESIGNATED STAGING AREA.

Ⓔ

TYP. CONSTRUCTION STAGING AREA

OWNER:



MR. W FIREWORKS, INC  
12221 FM 476  
SOMERSET, TEXAS 78069  
P.O. BOX 114  
SOMERSET, TEXAS 78069

MRW - BABCOCK

MR. W FIREWORKS SUPERSTORE

20808 # FW BABCOCK RD  
SAN ANTONIO, TX 78201

ENGINEER:



F-22385

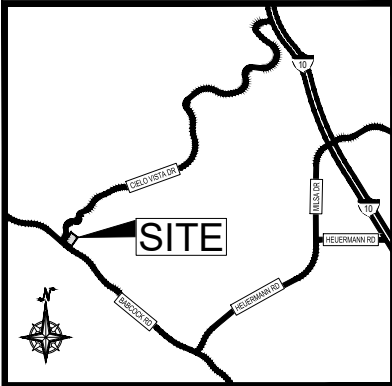
MR. W FIREWORKS, INC  
12221 FM 476  
SOMERSET, TEXAS 78069  
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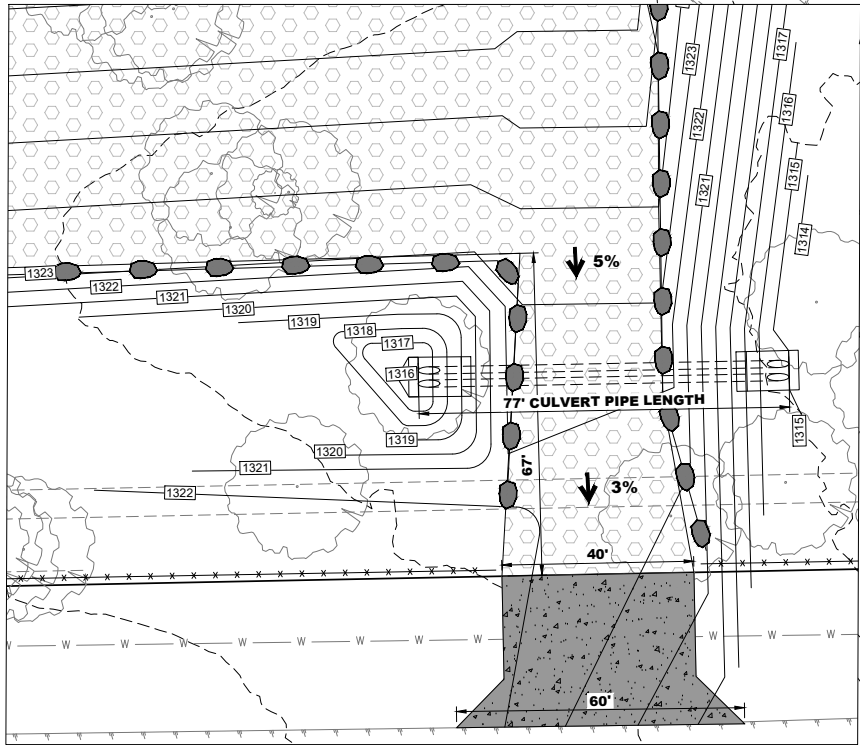
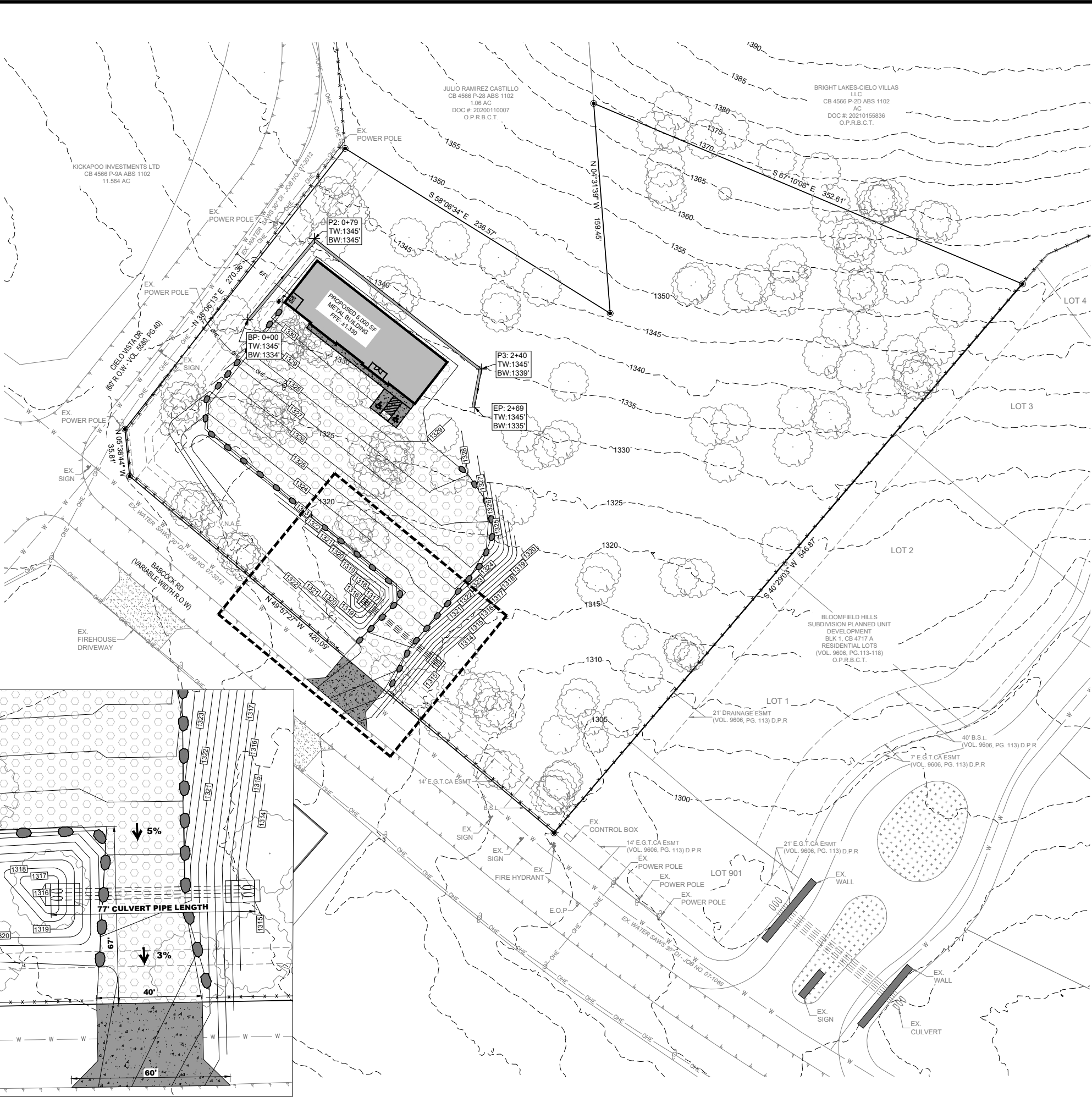
TEMPORARY BMP  
DETAILS

C2.3





LOCATION MAP  
NOT TO SCALE



SCALE: 1"=40'  
0 40 80

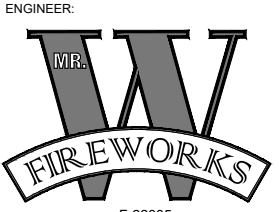
LEGEND

- GAS VALVE
- FIRE HYDRANT
- LIGHT POLE
- WATER VALVE
- SANITARY SEWER MANHOLE
- STORM WATER MANHOLE
- SIGN
- POWER POLE
- 1/2" IRON ROD FOUND
- STORM GRATE
- PIN FLAG OR PAINT STRIPE
- 1/2" IRON ROD W/CAP
- ROAD W/O CURB
- CONCRETE DRIVE
- CONCRETE FLAT WORK
- PROPOSED BUILDING
- 6" FIRE LINE
- 4" FIRE LINE
- WATER LINE
- CHAIN LINK FENCE
- OVER HEAD UTILITY
- PROPERTY LINE
- PROPOSED SPOT GRADES
- FIRE LANE
- CURB
- SILT FENCE
- OVER HEAD UTILITY
- EXISTING CONTOURS
- PROPOSED CONTOURS
- CONCRETE
- GRAVEL
- TURF
- ROCK PROTECTION
- HAND PULL



MR. W FIREWORKS, INC  
12221 FM 476  
SOMERSET, TEXAS 78069  
P.O. BOX 114  
SOMERSET, TEXAS 78069

**MRW - BABCOCK**  
**MR. W FIREWORKS SUPERSTORE**  
20808 # FW BABCOCK RD  
SAN ANTONIO, TX 78201



F-22385  
MR. W FIREWORKS, INC  
12221 FM 476  
SOMERSET, TEXAS 78069  
P.O. BOX 114  
SOMERSET, TEXAS 78069



GRADING  
PLAN  
**C3.0**



MR. W FIREWORKS, INC.  
P.O. BOX 114  
SOMERSET, TEXAS 78069  
F-22385

May 22, 2025

**ATTACHMENT N**

**INSPECTION, MAINTENANCE, REPAIR, AND RETROFIT PLAN**

N/A



MR. W FIREWORKS, INC.  
P.O. BOX 114  
SOMERSET, TEXAS 78069  
F-22385

May 22, 2025

**ATTACHMENT O**

**PILOT SCALE FIELD TESTING PLAN**

N/A





MR. W FIREWORKS, INC.  
P.O. BOX 114  
SOMERSET, TEXAS 78069  
F-22385

May 22, 2025

## **ATTACHMENT P**

### **MEASURES FOR MINIMIZING SURFACE STREAM CONTAMINATION**

Any discharge from the disturbed area will drain to existing vegetation prior to exiting the site to existing infrastructure downstream.

# Temporary Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

*To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.*

*Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.*

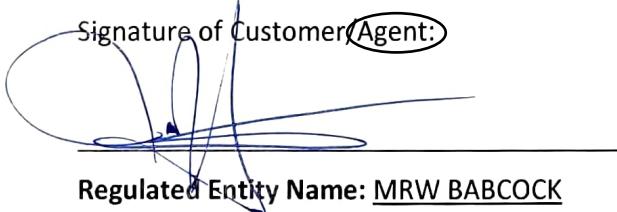
## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Javier Villafaña

Date: 05/22/25

Signature of Customer/Agent:



Regulated Entity Name: MRW BABCOCK

## Project Information

### Potential Sources of Contamination

*Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.*

1. Fuels for construction equipment and hazardous substances which will be used during construction:

☐ The following fuels and/or hazardous substances will be stored on the site: \_\_\_\_\_

These fuels and/or hazardous substances will be stored in:

- ☐ Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

- ☐ Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
- ☐ Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- ☒ Fuels and hazardous substances will not be stored on the site.
- 2. ☒ **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3. ☒ Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4. ☒ **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

### ***Sequence of Construction***

- 5. ☒ **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
  - ☐ For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
  - ☐ For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6. ☒ Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: Helotes Creek

### ***Temporary Best Management Practices (TBMPs)***

*Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.*

- 7. ☒ **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- ☐ A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
  - ☒ A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
  - ☒ A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
  - ☒ A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8. ☒ The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- ☐ **Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
- ☒ There will be no temporary sealing of naturally-occurring sensitive features on the site.
9. ☒ **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10. ☒ **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
  - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
  - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
  - ☐ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

- ☒ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.
11. ☐ **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.
- ☒ N/A
12. ☐ **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13. ☒ All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14. ☒ If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15. ☒ Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16. ☒ Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

## ***Soil Stabilization Practices***

*Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.*

17. ☒ **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

18. ☒ Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
19. ☒ Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

### ***Administrative Information***

20. ☒ All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
21. ☒ If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
22. ☒ Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.

**Agent Authorization Form**  
For Required Signature  
Edwards Aquifer Protection Program  
Relating to 30 TAC Chapter 213  
Effective June 1, 1999

I Wayne Wildman  
Print Name  
President  
Title - Owner/President/Other  
of Team KAM Enterprises Ltd.  
Corporation/Partnership/Entity Name  
have authorized Javier Villafaña  
Print Name of Agent/Engineer  
of Mr. W Fireworks, Inc.  
Print Name of Firm

to represent and act on the behalf of the above named Corporation, Partnership, or Entity for the purpose of preparing and submitting this plan application to the Texas Commission on Environmental Quality (TCEQ) for the review and approval consideration of regulated activities.

I also understand that:

1. The applicant is responsible for compliance with 30 Texas Administrative Code Chapter 213 and any condition of the TCEQ's approval letter. The TCEQ is authorized to assess administrative penalties of up to \$10,000 per day per violation.
2. For those submitting an application who are not the property owner, but who have the right to control and possess the property, additional authorization is required from the owner.
3. Application fees are due and payable at the time the application is submitted. The application fee must be sent to the TCEQ cashier or to the appropriate regional office. The application will not be considered until the correct fee is received by the commission.
4. A notarized copy of the Agent Authorization Form must be provided for the person preparing the application, and this form must accompany the completed application.
5. No person shall commence any regulated activity on the Edwards Aquifer Recharge Zone, Contributing Zone or Transition Zone until the appropriate application for the activity has been filed with and approved by the Executive Director.

SIGNATURE PAGE:

Wayne Wildman  
Applicant's Signature

JAN-16<sup>th</sup>-2025  
Date

THE STATE OF Texas §

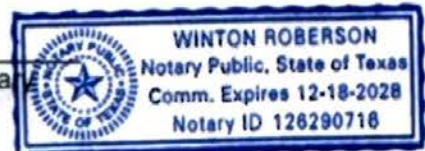
County of      §

BEFORE ME, the undersigned authority, on this day personally appeared Wayne Wildman known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 16 day of January, 2025.

Winton Roberson  
NOTARY PUBLIC

Typed or Printed Name of Notary



MY COMMISSION EXPIRES:



# Application Fee Form

## Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: MRW BABCOCK

Regulated Entity Location: 20808 Babcock Road, San Antonio, TX 78201

Name of Customer: Team KAM Enterprises, Ltd.

Contact Person: Javier Villafaña

Phone: (210) 622-3112

Customer Reference Number (if issued): CN 606166502

Regulated Entity Reference Number (if issued): RN \_\_\_\_\_

### Austin Regional Office (3373)

☐ Hays

☐ Travis

☐ Williamson

### San Antonio Regional Office (3362)

☒ Bexar

☐ Medina

☐ Uvalde

☐ Comal

☐ Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

☐ Austin Regional Office

☒ San Antonio Regional Office

☐ Mailed to: TCEQ - Cashier

☐ Overnight Delivery to: TCEQ - Cashier

Revenues Section

Mail Code 214

P.O. Box 13088

Austin, TX 78711-3088

12100 Park 35 Circle

Building A, 3rd Floor

Austin, TX 78753

(512)239-0357

### Site Location (Check All That Apply):

☐ Recharge Zone

☒ Contributing Zone

☐ Transition Zone

Type of Plan	Size	Fee Due
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	4.45 Acres	\$ 4,000
Sewage Collection System	L.F.	\$
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	Each	\$
Extension of Time	Each	\$

Signature: \_\_\_\_\_

Date: 07/01/25

# Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

## ***Water Pollution Abatement Plans and Modifications***

### ***Contributing Zone Plans and Modifications***

<b><i>Project</i></b>	<b><i>Project Area in Acres</i></b>	<b><i>Fee</i></b>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

### ***Organized Sewage Collection Systems and Modifications***

<b><i>Project</i></b>	<b><i>Cost per Linear Foot</i></b>	<b><i>Minimum Fee- Maximum Fee</i></b>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

### ***Underground and Aboveground Storage Tank System Facility Plans and Modifications***

<b><i>Project</i></b>	<b><i>Cost per Tank or Piping System</i></b>	<b><i>Minimum Fee- Maximum Fee</i></b>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

### ***Exception Requests***

<b><i>Project</i></b>	<b><i>Fee</i></b>
Exception Request	\$500

### ***Extension of Time Requests***

<b><i>Project</i></b>	<b><i>Fee</i></b>
Extension of Time Request	\$150



TCEQ Use Only

# TCEQ Core Data Form

For detailed instructions regarding completion of this form, please read the Core Data Form Instructions or call 512-239-5175.

## SECTION I: General Information

<b>1. Reason for Submission</b> (If other is checked please describe in space provided.)		
<input checked="" type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)		<input type="checkbox"/> Other
<b>2. Customer Reference Number (if issued)</b>		<b>3. Regulated Entity Reference Number (if issued)</b>
CN 606166502		RN

[Follow this link to search for CN or RN numbers in Central Registry\\*\\*](#)

## SECTION II: Customer Information

<b>4. General Customer Information</b>		<b>5. Effective Date for Customer Information Updates</b> (mm/dd/yyyy)	
<input type="checkbox"/> New Customer		<input type="checkbox"/> Update to Customer Information	
<input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)		<input type="checkbox"/> Change in Regulated Entity Ownership	
<b>The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).</b>			
<b>6. Customer Legal Name</b> (If an individual, print last name first: eg: Doe, John)		If new Customer, enter previous Customer below:	
<b>7. TX SOS/CPA Filing Number</b>	<b>8. TX State Tax ID</b> (11 digits)	<b>9. Federal Tax ID</b> (9 digits)	<b>10. DUNS Number</b> (if applicable)
			N/A
<b>11. Type of Customer:</b>		Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited	
<input type="checkbox"/> Corporation		<input type="checkbox"/> Individual	
Government: <input type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> State <input type="checkbox"/> Other		<input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Other:	
<b>12. Number of Employees</b>		<b>13. Independently Owned and Operated?</b>	
<input type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input type="checkbox"/> 501 and higher		<input type="checkbox"/> Yes <input type="checkbox"/> No	
<b>14. Customer Role</b> (Proposed or Actual) – as it relates to the Regulated Entity listed on this form. Please check one of the following			
<input type="checkbox"/> Owner <input type="checkbox"/> Operator <input type="checkbox"/> Owner & Operator			
<input type="checkbox"/> Occupational Licensee <input type="checkbox"/> Responsible Party <input type="checkbox"/> Voluntary Cleanup Applicant <input type="checkbox"/> Other:			
<b>15. Mailing Address:</b>			
City			
State			
ZIP			
ZIP + 4			
<b>16. Country Mailing Information</b> (if outside USA)		<b>17. E-Mail Address</b> (if applicable)	
<b>18. Telephone Number</b>		<b>20. Fax Number</b> (if applicable)	
( ) -		( ) -	
<b>19. Extension or Code</b>			

## SECTION III: Regulated Entity Information

<b>21. General Regulated Entity Information</b> (If 'New Regulated Entity' is selected below this form should be accompanied by a permit application)	
<input checked="" type="checkbox"/> New Regulated Entity <input type="checkbox"/> Update to Regulated Entity Name <input type="checkbox"/> Update to Regulated Entity Information	
<b>The Regulated Entity Name submitted may be updated in order to meet TCEQ Agency Data Standards (removal of organizational endings such as Inc, LP, or LLC).</b>	
<b>22. Regulated Entity Name</b> (Enter name of the site where the regulated action is taking place.)	
MRW BABCOCK	

23. Street Address of the Regulated Entity: (No PO Boxes)	20808 Babcock Road						
	City	SanAntonio	State	TX	ZIP	78201	ZIP + 4
24. County	Bexar						

Enter Physical Location Description If no street address is provided.

25. Description to Physical Location:							
26. Nearest City				State		Nearest ZIP Code	
San Antonio				TX		78201	
27. Latitude (N) In Decimal:		29.6365		28. Longitude (W) In Decimal:		-98.6607	
Degrees	Minutes	Seconds	Degrees	Minutes	Seconds		
29	38	11.41	-98	39	38.46		
29. Primary SIC Code (4 digits)		30. Secondary SIC Code (4 digits)		31. Primary NAICS Code (5 or 6 digits)		32. Secondary NAICS Code (5 or 6 digits)	
5092		5999		423920		453998	
33. What is the Primary Business of this entity? (Do not repeat the SIC or NAICS description.)							
Commercial Fireworks Super Store							
34. Mailing Address:		P.O. Box 114					
		City	Somerset	State	TX	ZIP	78069 ZIP + 4
35. E-Mail Address:							
36. Telephone Number		37. Extension or Code		38. Fax Number (if applicable)			
( 210 ) 622-3112				( ) -			

39. TCEQ Programs and ID Numbers Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.


<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Waste Water	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

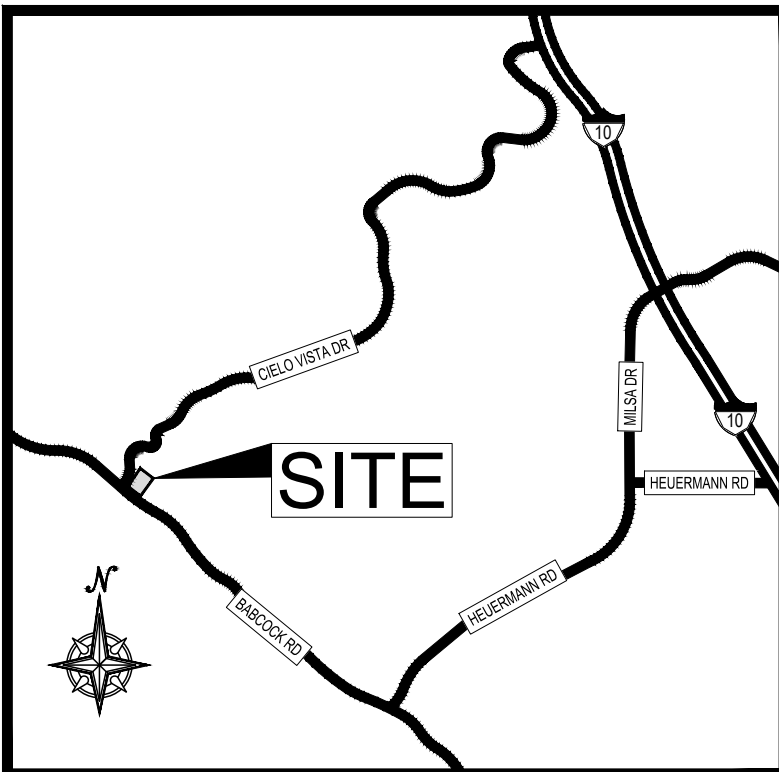
#### SECTION IV: Preparer Information

40. Name:	Javier Villafañá	41. Title:	Project Manager
42. Telephone Number	43. Ext./Code	44. Fax Number	45. E-Mail Address
( 210 ) 622-3112		( ) -	javier@mrwfireworks.com

#### SECTION V: Authorized Signature

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

Company:	Team K AM Enterprises Ltd.	Job Title:	President
Name (In Print):	Wayne Wildman	Phone:	( 210 ) 622- 3112
Signature:		Date:	05/21/2025



### LOCATION MAP

NOT TO SCALE

#### LEGEND

- FOUND 1/2" IRON ROD
- AC. ACRES
- C.B. COUNTY BLOCK
- BLK BLOCK
- D.P.R. DEED PUBLIC RECORDS
- R.O.W. RIGHT-OF-WAY
- VOL. VOLUME
- E.G.T.CA GAS, ELECTRIC, TELEPHONE, TELEVISION
- PG. PAGE
- LF LINEAR FOOT
- ESMT EASEMENT
- B.S.L. BUILDING SETBACK LINE
- V.N.A.E. VEHICULAR NON-ACCESS EASEMENT
- F.I.R. FOUND IRON ROD
- DOC DOCUMENT
- O.P.R.B.C.T. OPEN PUBLIC RECORDS OF BEXAR COUNTY
- VAR. WID. DRN. ESMT VARIABLE WIDTH DRAINAGE EASEMENT
- C — CENTER LINE
- CITY LIMITS
- ===== PROPERTY LINE
- EASEMENT
- - - 576 - - EXISTING CONTOUR

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

LICENSED PROFESSIONAL ENGINEER

JOSEPH E. TOBER  
LICENSED PROFESSIONAL ENGINEER NO. 108918  
MR. W FIREWORKS, INC.  
FIRM NO. 22385

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

REGISTERED PROFESSIONAL LAND SURVEYOR

MARK J. EWALD  
REGISTERED PROFESSIONAL SURVEYOR NO. 5095  
WESTAR ALAMO LAND SURVEYORS, LLC  
FIRM NO. 10111700

#### CPS/SAWS/CITY OF SAN ANTONIO UTILITY NOTES:

- THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS -CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION, AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT", "ANCHOR EASEMENT", "SERVICE EASEMENT", "OVERHANG EASEMENT", "UTILITY EASEMENT", "GAS EASEMENT", "TRANSFORMER EASEMENT", "WATER EASEMENT", "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES, NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
- ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

#### FIRE DEPARTMENT CROSS ACCESS EASEMENT NOTE:

INGRESS AND EGRESS SHALL BE PROVIDED BETWEEN ALL ADJACENT LOTS FOR ADEQUATE FIRE DEPARTMENT VEHICLE ACCESS PER THE CITY OF SAN ANTONIO FIRE PREVENTION CODE. ANY CROSS ACCESS SHALL NOT BE BLOCKED NOR MAY THIS NOTE BE REMOVED FROM THE PLAT WITHOUT WRITTEN PERMISSION FROM THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT MARSHAL.

#### RESIDENTIAL FINISHED FLOOR:

RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF EIGHT (8) INCHES ABOVE FINAL ADJACENT GRADE.

#### NOTE:

FIRE PROTECTION ON THIS COMMERCIAL LOT WILL BE REVIEWED DURING BUILDING PERMIT APPLICATION REVIEW WITH THE BEXAR COUNTY FIRE MARSHAL.

#### COMMON AREA MAINTENANCE:

THE MAINTENANCE OF ALL PRIVATE STREETS, OPEN SPACE, GREENBELTS, PARKS, TREE SAVE AREAS, DRAINAGE EASEMENTS AND EASEMENTS OF ANY OTHER NATURE WITHIN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNERS ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

#### FLOODPLAIN VERIFICATION:

NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT AS VERIFIED BY FEMA MAP PANEL: 48029C0095F EFFECTIVE 09/29/2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

#### SURVEYOR NOTES:

- 1/2" DIAMETER IRON PIN SET WITH CAP STAMPED "WALS" SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD 83) FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
- DIMENSIONS SHOWN ARE SURFACE.
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD 83) FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.
- 5 FOOT CONTOUR INTERVAL SHOWN GENERATED FROM 2021 LIDAR DIGITAL ELEVATION MODEL OBTAINED FROM TNRIS.

#### SETBACK NOTE:

THE SETBACKS ON THIS PLAT ARE IMPOSED BY THE PROPERTY OWNER OR BEXAR COUNTY AND ARE NOT SUBJECT TO ENFORCEMENT BY THE CITY OF SAN ANTONIO.

#### CROSS ACCESS NOTE:

LOT OWNERS SHALL PROVIDE SHARED COMMON ACCESS FOR LOT 40, BLOCK 1, CB 4717 IN ACCORDANCE WITH UDC 35-506(R)(3).

#### TREE NOTE:

THIS SUBDIVISION IS SUBJECT TO A MASTER TREE PLAN (TRE-APP-APP25-38800332) WHICH REQUIRES COMPLIANCE BY THE OWNERS OF ALL PROPERTY WITHIN THE PLAT BOUNDARY, AND THEIR EMPLOYEES AND CONTRACTORS, AND SHALL BE BINDING ON ALL SUCCESSORS IN TITLE EXCEPT FOR OWNERS OF SINGLE-FAMILY RESIDENTIAL LOTS SUBDIVIDED HEREUNDER FOR WHICH CONSTRUCTION OF A RESIDENTIAL STRUCTURE HAS BEEN COMPLETED. THE MASTER TREE PLAN IS ON FILE AT THE CITY OF SAN ANTONIO ARBORISTS OFFICE. NO TREES OR UNDERSTORY SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST OFFICE PER 35-4717(h).

#### SAWS WASTEWATER EDU NOTE:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

#### SAWS IMPACT FEE PAYMENT DUE NOTE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

#### SAWS HIGH PRESSURE NOTE:

A PORTION OF THE TRACT IS BELOW THE GROUND ELEVATION OF 1480 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE OWNER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.

PLAT NO. 25-11800233

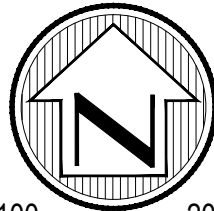
SUBDIVISION PLAT ESTABLISHING:  
MRW BABCOCK

BEING A TOTAL OF 4.449 ACRES OF LAND OUT OF A 20.51 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20250034117 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS OUT OF THE TT RR CO SURVEY NUMBER 334A, ABSTRACT 1102, BEXAR COUNTY, TEXAS. ESTABLISHING LOT 40 BLOCK 1, CB 4717.



F-22385

MR. W FIREWORKS, INC  
12221 FM 476  
SOMERSET, TEXAS 78069  
P.O. BOX 114  
SOMERSET, TEXAS 78069



GRAPHIC SCALE: 1" = 100'

DATE PREPARED: MAY 22, 2025

STATE OF TEXAS  
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: WAYNE WILDMAN  
TEAM KAM ENTERPRISES, LTD.  
12221 FM 476 (P.O. BOX 114)  
SOMERSET, TEXAS 78069  
TEL:210-622-3112

STATE OF TEXAS  
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED

WAYNE WILDMAN KNOWN TO ME TO BE THE PERSON  
WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. \_\_\_\_\_.

NOTARY PUBLIC  
BEXAR COUNTY, TEXAS

THIS PLAT OF MRW BABCOCK HAS BEEN SUBMITTED TO THE CITY OF SAN ANTONIO, TEXAS, AND HAVING BEEN REVIEWED BY THE DIRECTOR OF DEVELOPMENT SERVICES, IS HEREBY APPROVED IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) HAVE BEEN GRANTED.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. \_\_\_\_\_.

BY: \_\_\_\_\_  
DIRECTOR OF DEVELOPMENT SERVICES

CERTIFICATE OF APPROVAL:

THIS MINOR PLAT HAS BEEN SUBMITTED TO BEXAR COUNTY, TEXAS, PUBLIC WORKS DEPARTMENT AND HAVING BEEN REVIEWED BY THE DIRECTOR OF PUBLIC WORKS/COUNTY ENGINEER, IS HEREBY APPROVED IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AS INDICATED BELOW.

ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

BY: \_\_\_\_\_  
DIRECTOR OF PUBLIC WORKS/COUNTY ENGINEER, BEXAR COUNTY TEXAS

LINE TABLE		
LINE #	LENGTH	BEARING
L1	35.81'	N 05°38'44" W



**NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.**

24-12038X

**WARRANTY DEED**

**Date:** February 25, 2025

**Grantor:** BRIGHT LAKES-CIELO VILLAS, LLC

**Grantor's Mailing Address:** 3720 S Loop 1604 E San Antonio, Texas 78264

**Grantee:** TEAM KAM ENTERPRISES, LTD.

**Grantee's Mailing Address:** 12221 FM 476 Somerset, Texas 78069

**Consideration:** Cash and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged.

**Property (including any improvements):** A 4.449 acre (193,814.18 square feet) tract of land situated in the TT RR CO Survey No. 334A, Abstract No. 1102, Bexar County, Texas, being a portion of a 20.51 acre tract of land as conveyed to Bright Lakes-Cielo Villas, LLC, by Warranty Deed as recorded in Document Number 20210155836 of the Official Public Records of Bexar County, Texas. Said 4.449 acre (193,814.18 square feet) tract being more particularly described as follows:

Beginning at a found 1/2" iron rod, having Texas State Plane coordinates N: 13,778,844.36, E: 2,076,457.42, on the northeast right of way line of Babcock Road, a variable width right of way, being the west comer of Lot 901, Block 1, County Block 4717 as shown on plat of Bloomfield Hills Subdivision Planned Unit Development as recorded in Volume 9606, Pages 113-118 of the Official Public Records of Bexar County, Texas, and being the south comer of both the said 20.51 acre tract and of the herein described tract;

Thence, with the northeast right of way line of said Babcock Road, being the southwest boundary of said 20.51 acre tract, North 49 degrees 58 minutes 09 seconds West, a distance of 420.13 feet to a found 1/2" iron rod with a yellow plastic cap stamped "ALLIANCE LAND SURVEYORS", being the south comer of the east cutback line at the intersection of said Babcock Road and Cielo Vista Drive, a 60-foot wide right of way as shown on dedication plat of Cielo Vista Drive as recorded in Volume 5580, Page 40, of the Official Public Records of Bexar County, Texas, and being an angle point in the herein described tract;

Thence, with the east cutback line of said Babcock Road, being the west boundary of said 20.51 acre tract, North 05 degrees 51 minutes 52 seconds West, a distance of 35.97 feet to a found 1/2" iron rod with a yellow plastic cap stamped "ALLIANCE LAND SURVEYORS", being the north corner of said east cutback line on the southeast right of way line of said Cielo Vista Drive, being an angle point in the herein described tract;

Thence, with the southwesterly right of way line of said Cielo Vista Drive, North 38 degrees 06 minutes 25 seconds East, a distance of 270.67 feet to a found 1/2" iron rod with a yellow plastic cap stamped "ALLIANCE LAND SURVEYORS", being the southwest corner of a 1.06 acre tract (Designated as Tract 1) as conveyed to Julio Ramirez Castillo by Warranty Deed with Vendor's Lien as recorded in Document Number 20200110007 of the Official Public Records of Bexar County, Texas, being a north corner of the herein described tract;

Thence, leaving the southeast right of way line of said Cielo Vista Drive, with the south and east boundary of said 1.06 acre tract, being a north and west boundary of said 20.51 acre tract, the following two (2) courses:

South 58 degrees 04 minutes 07 seconds East, a distance of 236.70 feet to a found 1/2" iron rod with a yellow plastic cap stamped "ALLIANCE LAND SURVEYORS", being the southeast corner of said 1.06 acre tract, and being an interior corner of both said 20.51 acre tract and of the herein described tract;

North 04 degrees 31 minutes 39 seconds West, a distance of 159.45 feet to a set 1/2" iron rod with an orange plastic cap stamped "MTR ENG" for the most northerly corner of the herein described tract, from which a found pk nail with a shiner stamped "RK", being an angle point in the east boundary of said 1.06 acre tract and an angle point in the west boundary of said 20.51 acre tract bears, North 04 degrees 31 minutes 39 seconds West, a distance of 48.08 feet;

Thence, over and across said 20.51 acre tract, South 67 degrees 09 minutes 55 seconds East, a distance of 353.10 feet to a set 1/2" iron rod with an orange plastic cap stamped "MTR ENG" in the northwest boundary of Lot 3, of said Block 1, Bloomfield Hills Subdivision, being the southeast boundary of said 20.51 acre tract and being the northeast corner of the herein described tract, from which a found 1/2" iron rod with a yellow plastic cap stamped "ALLIANCE LAND SURVEYORS", being an angle point in the northwest boundary of said Block 1, Bloomfield Hills Subdivision bears, North 40 degrees 31 minutes 37 seconds East, a distance of 29.61 feet;

Thence, with the northwest boundary of said Block 1, Bloomfield Hills Subdivision and the southeast boundary of said 20.51 acre tract, South 40 degrees 31 minutes 37 seconds West, a distance of 546.93 feet, to the Point of Beginning, containing 4.449 acres (193,814.18 square feet) of land.

**Reservations to Conveyance and Warranty: None.**

**Exceptions to Conveyance and Warranty:**

- a. Mineral and/or royalty interest: recorded: November 18, 2015 in Volume 17563, Page 765 of the Official Public Records of Bexar County, Texas.
- b. Matters as set out on current survey of subject property:
  - a. Encroachment or protrusion of fences along the Northwest, Southeast and Southwest of the property lines.

Grantor, for the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Grantee and Grantee's heirs, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

As a material part of the Consideration for this deed, Grantor and Grantee agree that Grantee is taking the Property "AS IS" with any and all latent and patent defects and that there is no warranty by Grantor that the Property has a particular financial value or is fit for a particular purpose. Grantee acknowledges and stipulates that Grantee is not relying on any representation, statement, or other assertion with respect to the Property condition but is relying on Grantee's examination of the Property. Grantee takes the Property with the express understanding and stipulation that there are no express or implied warranties other than the warranties of title given herein by Grantor to Grantee.

When the context requires, singular nouns and pronouns include the plural.

  
BRIGHT LAKES-CIELO VILLAS, LLC

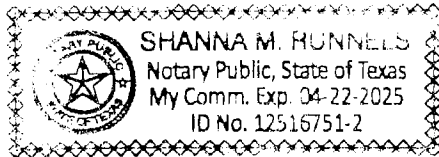
\_\_\_\_\_  
CRAIG GLENDENNING, President



STATE OF TEXAS §

COUNTY OF MEDINA §

This instrument was acknowledged before me on February 25, 2025, by  
CRAIG GLENDENNING, President of BRIGHT LAKES-CIELO VILLAS, LLC.



Shanna M. Runnels  
Notary Public, State of Texas

PREPARED IN THE OFFICE OF:

**TAYLOR & RUHNKE, P.C.**  
3392 Hwy 16 South  
Bandera, Texas 78003

AFTER RECORDING RETURN TO:

AFTER RECORDING RETURN TO:  
**Texas Heritage Title Company**  
1614 Ave. M  
Hondo, Texas 78861

**File Information**

**eFILED IN THE OFFICIAL PUBLIC eRECORDS OF BEXAR COUNTY  
LUCY ADAME-CLARK, BEXAR COUNTY CLERK**

**Document Number:** 20250034117  
**Recorded Date:** February 26, 2025  
**Recorded Time:** 2:14 PM  
**Total Pages:** 5  
**Total Fees:** \$37.00

**\*\* THIS PAGE IS PART OF THE DOCUMENT \*\***

**\*\* Do Not Remove \*\***

Any provision herein which restricts the sale or use of the described real property because of race is invalid and unenforceable under Federal law

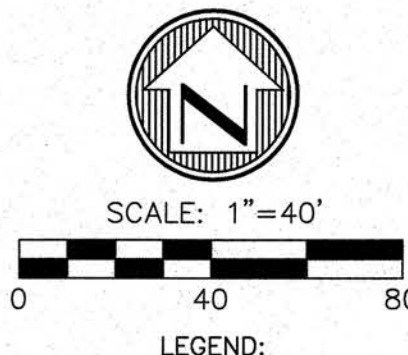
STATE OF TEXAS, COUNTY OF BEXAR

I hereby Certify that this instrument was eFILED in File Number Sequence on this date and at the time stamped hereon by me and was duly eRECORDED in the Official Public Record of Bexar County, Texas on: 2/26/2025 2:14 PM



*Lucy Adame-Clark*  
Lucy Adame-Clark  
Bexar County Clerk





- ALTA/NSPS LAND TITLE SURVEY TABLE A NOTES:

- ITEM 1. MONUMENTS PLACED (OR A REFERENCE MONUMENT OR MARKED TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SURVEYED PROPERTY, UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR CORNER CLOSELY TO THE CORNER. (SURVEYOR'S NOTE: SHOWN ON SURVEY.)
- ITEM 2. ADDRESSES OF THE SURVEYED PROPERTY IF DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR, OR OBSERVED WHILE CONDUCTING THE FIELDWORK. (SURVEYOR'S NOTE: SHOWN ON SURVEY.)
- ITEM 3. FLOOD ZONE CLASSIFICATION (WITH PROPER ANNOTATION BASED ON FEDERAL FLOOD INSURANCE RATE MAPS OR THE STATE OR LOCAL EQUIVALENT) DEPICTED BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY. (SURVEYOR'S NOTE: SEE GENERAL NOTE 3.)
- ITEM 4. GROSS LAND AREA (AND OTHER AREA IF SPECIFIED BY THE CLIENT). (SURVEYOR'S NOTE: SHOWN ON SURVEY.)
- ITEM 7. (a) EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL. (SURVEYOR'S NOTE: SEE GENERAL NOTE 6.)
- ITEM 8. SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK (IN ADDITION TO THE IMPROVEMENTS AND ACCURACY OF THE SURVEY) INCLUDING BUT NOT LIMITED TO: SHEDS, SHAWNS, SHEDS, CLEARINGS, LANDSCAPED AREAS, SUBSTANTIAL AREAS OF REFUSE). (SURVEYOR'S NOTE: SITE IS UNDEVELOPED.)
- ITEM 9. NUMBER AND TYPE (E.G., DISABLED, MOTORCYCLE, REGULAR, AND OTHER MARKED SPECIALIZED TYPES) OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS, LOTS, AND IN PARKING STRUCTURES. STRIPING OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS AND LOTS. (SURVEYOR'S NOTE: SEE GENERAL NOTE 7.)
- ITEM 10. DISCOVERY OF UNDERGROUND UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY (IN ADDITION TO THE DISCOVERED EVIDENCE OF UTILITIES REQUIRED PURSUANT TO SECTION 5.E.V.) TO BE DETERMINED BY: (a) PLANS AND/OR REPORTS PROVIDED BY CLIENT (WITH REFERENCE AS TO THE SOURCES OF INFORMATION) (b) VISIBLE EVIDENCE ONLY. (SURVEYOR'S NOTE: ONLY EVIDENCE OF VISIBLE UTILITIES IS SHOWN ON SURVEY.)
- ITEM 13. NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS, IF MORE THAN ONE OWNER, IDENTIFY THE FIRST OWNER LISTED IN THE TAX RECORDS FOLLOWED BY "ET AL." (SURVEYOR'S NOTE: SHOWN ON SURVEY.)
- ITEM 14. AS SPECIFIED BY THE CLIENT, DISTANCE AND BEARING NEAREST INTERSECTING STREET. (SURVEYOR'S NOTE: SITE IS LOCATED AT THE INTERSECTION OF BACKWOOD CIRCLE AND FIELD VIEW DRIVE, SHOWN ON SURVEY.)

GENERAL NOTES:

- 1) ALL BEARINGS AND COORDINATES CITED WERE ESTABLISHED FROM THE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, TEXAS SOUTH CENTRAL ZONE.
- 2) ONLY THOSE COPIES WHICH BEAR AN ORIGINAL INK IMPRESSION SEAL AND AN ORIGINAL SIGNATURE OF THE SURVEYOR WILL BE CONSIDERED A "VALID COPY." ANY COPY NOT BEARING THE SIGNATURE OF THE SURVEYOR WILL NOT BE RESPONSIBLE FOR THE CONTENT OF ANYTHING OTHER THAN A VALID COPY OF THIS SURVEY.
- 3) BASED ON THE NATIONAL FLOOD HAZARD LEVEL WEBSITE (LAST ACCESSSED 2024-02-14), THE SUBJECT PROPERTY HEREON IS SHOWN TO BE LOCATED IN FLOOD ZONE "X", DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON COMMENT PANEL NUMBER 48029020095, HAVING AN EFFECTIVE DATE OF SEPTEMBER 29, 2010. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE BUILDINGS HEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- 4) ALL BOUNDARY CORNERS ARE SET 1/2" IRON RODS WITH AN ORANGE PLASTIC CAP STAMPED "MIR ENG" UNLESS OTHERWISE NOTED.
- 5) EXCEPT AS SHOWN HEREON, THERE IS NO EVIDENCE OF APPARENT EASEMENTS, INTRUSIONS, OR PROTRUSIONS OF IMPROVEMENTS ON ADJOINING PROPERTY.
- 6) NO BUILDINGS ARE LOCATED ON SUBJECT PROPERTY.
- 7) NO MARKED PARKING SPACES EXIST ON SUBJECT PROPERTY.



THIS SURVEY WAS PREPARED IN CONJUNCTION WITH THE TITLE COMMITMENT PREPARED BY FIRST AMERICAN TITLE GUARANTY COMPANY OF TEXAS GF NO. 24-0201BX, EFFECTIVE DATE: JANUARY 30, 2024, ISSUED FEBRUARY 8, 2024 AND IS SUBJECT ONLY TO THE STATEMENT OF FACTS CONTAINED THEREIN AND RELISTED BELOW:

RESTRICTIVE COVENANTS:

**SCHEDULE "B"**

10. THE FOLLOWING MATTERS AND ALL TERMS OF THE DOCUMENTS CREATING OR OFFERING EVIDENCE OF THE MATTERS (WE MUST INSERT MATTERS OR DELETE THIS EXCEPTION

a. ANY VISIBLE AND APPARENT EASEMENTS ON, OVER, ACROSS OR UNDER THE SUBJECT PROPERTY, WHICH DO NOT APPEAR OF RECORD. (SURVEYOR'S NOTE: ABOVE CITED MATTERS MADE KNOWN TO THE SURVEYOR OR VISIBLE ON THE GROUND ARE ADDRESSED IN THIS SURVEY.)

C. ANY LAND LYING WITHIN THE CONFINES OF ANY PUBLIC OR PRIVATE ROADWAY IN WHICH THE PUBLIC OR OTHER PERSONS MIGHT HAVE ACQUIRED AN EASEMENT OR FEE SIMPLE TITLE BY PRESCRIPTION, DEDICATION, WAY OF NECESSITY, IMPLICATION, ESTOPPEL, OR OTHERWISE, AND SUBJECT TO THE RIGHTS OF THE PUBLIC OR OTHER PERSONS THEREIN. (SURVEYOR'S NOTE: ABOVE CITED MATTERS MADE KNOWN TO THE SURVEYOR OR VISIBLE ON THE GROUND ARE ADDRESSED IN THIS SURVEY.)

d. RIGHTS OF PARTIES IN POSSESSION. (OTP ONLY) (SURVEYOR'S NOTE: NOT A SURVEY ITEM.)

1. ALL LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF COAL, LIGNITE, OIL, GAS AND OTHER MINERALS, TOGETHER WITH ALL RIGHTS, PRIVILEGES AND IMMUNITIES RELATING THERETO, APPEARING IN THE PUBLIC RECORDS WHETHER LISTED IN SCHEDULE B OR NOT, THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF MINERAL INTEREST THAT ARE NOT LISTED. (SURVEYOR'S NOTE: NOT A SURVEY ITEM.)

g. THE LAND DESCRIBED IN SCHEDULE A OF THIS POLICY SHALL NOT INCLUDE ANY MANUFACTURED HOME OR HOUSE TRAILER. ANY MANUFACTURED HOME OR HOUSE TRAILER ON THE LAND IS EXCLUDED FROM THE COVERAGE OF THIS POLICY OF TITLE INSURANCE. (SURVEYOR'S NOTE: NOT A SURVEY ITEM.)

h. RESERVATION OF A 30' WIDE NON-EXCLUSIVE INGRESS EGRESS ACCESS EASEMENT ALONG THE NORTHWEST SIDE OF PROPERTY, ALONG WITH THE RIGHT TO IMPROVE SUCH EASEMENT, AS SET OUT IN WARRANTY DEED DATED JUNE 2, 2021, RECORDED UNDER CLERK'S FILE NO. 20210155836, OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS

1. MINERAL RESERVATION AS SHOWN IN INSTRUMENT DATED NOVEMBER 10, 2015, FROM CHARLIE KOSAREK AND CAROL KOSAREK TO DOUBLE TREE LAND CONSULTANTS, LLC, RECORDED IN 17563, PAGE 785, OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS. TITLE TO SAID MINERAL INTEREST HAS NOT BEEN RESEARCHED SINCE THE DATE OF SAID INSTRUMENT. WAIVER OF SURFACE RIGHTS CONTAINED THEREIN. (SURVEYOR'S NOTE: AFFECTS THE SUBJECT PROPERTY BY LOCATION. BLANKET IN NATURE.)

J. ROAD EASEMENT AGREEMENT DATED JUNE 15, 1978, BETWEEN GLEN A. MARTIN AND W.L. MARTIN RECORDED IN VOLUME 1211, PAGE 5, DEED RECORDS OF BEXAR COUNTY, TEXAS. (SURVEYOR'S NOTE: DOES NOT AFFECT THE SUBJECT PROPERTY.)

K. UTILITY SERVICE AGREEMENT DATED JUNE 9, 2016 BY AND BETWEEN SAN ANTONIO WATER SYSTEM AND 20.53 ACRE BABCOCK ROAD, LLC, RECORDED IN VOLUME 18037, PAGE 1708, OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS. (SURVEYOR'S NOTE: AFFECTS THE SUBJECT PROPERTY BY LOCATION, UNABLE TO PLOT.)

I. PARTICIPATION AGREEMENT, BY AND BETWEEN 20.53 ACRE BABCOCK ROAD, LLC AND SOUTHERN EDWARDS PLATEAU HABITAT CONSERVATION PLAN, RECORDED SEPTEMBER 25, 2020 UNDER CLERK'S FILE NO. 20200226037, OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS. (SURVEYOR'S NOTE: AFFECTS SUBJECT PROPERTY AS SHOWN.)

**SURVEYORS' CERTIFICATE**

TO: LJ CONNECTIONS, LLC, BRIGHT LAKES-CIELO VILLAS, LLC AND FIRST AMERICAN TITLE GUARANTY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARDS. DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY THE ALTA AND NSPS, ARE INCLUDED IN ITEMS 1, 2, 3, 4, 7a, 8, 9, 11, (SURFACE EVIDENCE ONLY), 13, AND 14 OF TABLE A THEREOF. ORIGINAL FIELD WORK WAS COMPLETED ON AUGUST 3, 2021. ADDITIONAL FIELD WORK COMPLETED ON FEBRUARY 5, 2024.

DATE OF MAP: FEBRUARY 15, 2024.



STEPHANIE L. JAMES, R.P.L.S.  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5950  
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12770 CIMARRON PATH, SUITE 100  
SAN ANTONIO, TEXAS 78249  
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[illegible]

• Engineers  
• Surveyors  
• Planners

**MTR**

- Engineers
- Surveyors
- Planners

**Mov Tarin Ramirez Engineers, LLC**

# ALTANSPS LAND TITLE SURVEY OF

TO HAVE AND TO HOLD the above described TRACT OF LAND SITUATED IN THE TT RR CO SURVEY NO. 334A, ABSTRACT NO. 1102, SECTION 34, T11N, R10E, S4E, BEXAR COUNTY, TEXAS, BEING A PORTION OF A 20.51 ACRE TRACT AS CONVEYED TO BRIGHT LAKES-CIELO VILLAS, LLC, BY WARRANTY DEED AS RECORDED IN DOCUMENT NUMBER 20210155836 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY,

SHEET 1  
OF 1



Field Notes for a Tract of Land  
Containing 4.449 acres (193,814.18 square feet)

A 4.449 acre (193,814.18 square feet) tract of land situated in the TT RR CO Survey No. 334A, Abstract No. 1102, Bexar County, Texas, being a portion of a 20.51 acre tract of land as conveyed to Bright Lakes-Cielo Villas, LLC, by Warranty Deed as recorded in Document Number 20210155836 of the Official Public Records of Bexar County, Texas. Said 4.449 acre (193,814.18 square feet) tract being more particularly described as follows:

**Beginning** at a found 1/2" iron rod, having Texas State Plane coordinates of N:13,778,844.36, E:2,076,457.42, on the northeast right of way line of Babcock Road, a variable width right of way, being the west corner of Lot 901, Block 1, County Block 4717 as shown on plat of Bloomfield Hills Subdivision Planned Unit Development as recorded in Volume 9606, Pages 113-118 of the Official Public Records of Bexar County, Texas, and being the south corner of both the said 20.51 acre tract and of the herein described tract;

**Thence**, with the northeast right of way line of said Babcock Road, being the southwest boundary of said 20.51 acre tract, North 49 degrees 58 minutes 09 seconds West, a distance of 420.13 feet to a found 1/2" iron rod with a yellow plastic cap stamped "ALLIANCE LAND SURVEYORS", being the south corner of the east cutback line at the intersection of said Babcock Road and Cielo Vista Drive, a 60-foot wide right of way as shown on dedication plat of Cielo Vista Drive as recorded in Volume 5580, Page 40, of the Official Public Records of Bexar County, Texas, and being an angle point in the herein described tract;

**Thence**, with the east cutback line of said Babcock Road, being the west boundary of said 20.51 acre tract, North 05 degrees 51 minutes 52 seconds West, a distance of 35.97 feet to a found 1/2" iron rod with a yellow plastic cap stamped "ALLIANCE LAND SURVEYORS", being the north corner of said east cutback line on the southeast right of way line of said Cielo Vista Drive, being an angle point in the herein described tract;

**Thence**, with the southwesterly right of way line of said Cielo Vista Drive, North 38 degrees 06 minutes 25 seconds East, a distance of 270.67 feet to a found 1/2" iron rod with a yellow plastic cap stamped "ALLIANCE LAND SURVEYORS", being the southwest corner of a 1.06 acre tract (Designated as Tract 1) as conveyed to Julio Ramirez Castillo by Warranty Deed with Vendor's Lien as recorded in Document Number 20200110007 of the Official Public Records of Bexar County, Texas, being a north corner of the herein described tract;

**Thence**, leaving the southeast right of way line of said Cielo Vista Drive, with the south and east boundary of said 1.06 acre tract, being a north and west boundary of said 20.51 acre tract, the following two (2) courses:

South 58 degrees 04 minutes 07 seconds East, a distance of 236.70 feet to a found 1/2" iron rod with a yellow plastic cap stamped "ALLIANCE LAND SURVEYORS, being the southeast corner of said 1.06 acre tract, and being an interior corner of both said 20.51 acre tract and of the herein described tract;


North 04 degrees 31 minutes 39 seconds West, a distance of 159.45 feet to a set 1/2" iron rod with an orange plastic cap stamped "MTR ENG" for the most northerly corner of the herein described tract, from which a found pk nail with a shiner stamped "RK", being an angle point in the east boundary of said 1.06 acre tract and an angle point in the west boundary of said 20.51 acre tract bears, North 04 degrees 31 minutes 39 seconds West, a distance of 48.08 feet;

**Thence**, over and across said 20.51 acre tract, South 67 degrees 09 minutes 55 seconds East, a distance of 353.10 feet to a set 1/2" iron rod with an orange plastic cap stamped "MTR ENG" in the northwest boundary of Lot 3, of said Block 1, Bloomfield Hills Subdivision, being the southeast boundary of said 20.51 acre tract and being the northeast corner of the herein described tract, from which a found 1/2" iron rod with a yellow plastic cap stamped "ALLIANCE LAND SURVEYORS", being an angle point in the northwest boundary of said Block 1, Bloomfield Hills Subdivision bears, North 40 degrees 31 minutes 37 seconds East, a distance of 29.61 feet;

**Thence**, with the northwest boundary of said Block 1, Bloomfield Hills Subdivision and the southeast boundary of said 20.51 acre tract, South 40 degrees 31 minutes 37 seconds West, a distance of 546.93 feet, to the **Point of Beginning**, containing 4.449 acres (193,814.18 square feet) of land.

**Note:** Basis of bearing and coordinates cited were established from the State Plane Coordinate System, North American Datum of 1983, Texas South Central Zone. An exhibit of even date was prepared for this description.



  
Stephanie L. James, R.P.L.S.  
Registered Professional Land Surveyor  
No. 5950  
Date: 2024-02-15      Job No. 24004  
AJA