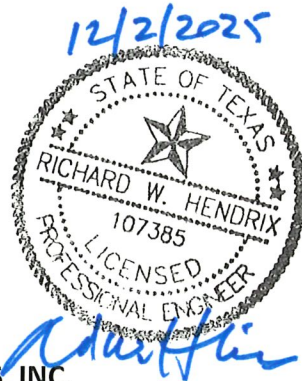


**PARK GOLF UTSA
TCEQ CONTRIBUTING ZONE PLAN
MODIFICATION**

December 2, 2025

MBC Job. No.33732-0975

PREPARED BY:



**MACINA · BOSE · COPELAND AND ASSOCIATES, INC.
dba MBC Engineers**

Texas Registered Engineering Firm F-784 | SBE Certified #214046463

TBPLS Firm Registration No. 10011700

1035 Central Parkway North | San Antonio, Texas 78232

(210) 545-1122 Phone | (210) 545-9302 Fax

www.mbcengineers.com

Texas Commission on Environmental Quality

Edwards Aquifer Application Cover Page

Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with [30 TAC 213](#).

Administrative Review

1. [Edwards Aquifer applications](#) must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains “possibly sensitive” features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited**.
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a “Mid-Review Modification”. Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ’s Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ’s San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

1. Regulated Entity Name: Park Golf UTSA					2. Regulated Entity No.:				
3. Customer Name: UTSA Blvd IH-10 LP					4. Customer No.: 605351758				
5. Project Type: (Please circle/check one)	New		Modification			Extension		Exception	
6. Plan Type: (Please circle/check one)	WPAP	CZP	SCS	UST	AST	EXP	EXT	Technical Clarification	Optional Enhanced Measures
7. Land Use: (Please circle/check one)	Residential		Non-residential			8. Site (acres):			25.104
9. Application Fee:	\$6,500		10. Permanent BMP(s):				N/A		
11. SCS (Linear Ft.):	N/A		12. AST/UST (No. Tanks):				N/A		
13. County:	Bexar		14. Watershed:				Leon Creek		

Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the “Texas Groundwater Conservation Districts within the EAPP Boundaries” map found at:

http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	Hays	Travis	Williamson
Original (1 req.)	—	—	—
Region (1 req.)	—	—	—
County(ies)	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Barton Springs/ Edwards Aquifer <input type="checkbox"/> Hays Trinity <input type="checkbox"/> Plum Creek	<input type="checkbox"/> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<input type="checkbox"/> Austin <input type="checkbox"/> Buda <input type="checkbox"/> Dripping Springs <input type="checkbox"/> Kyle <input type="checkbox"/> Mountain City <input type="checkbox"/> San Marcos <input type="checkbox"/> Wimberley <input type="checkbox"/> Woodcreek	<input type="checkbox"/> Austin <input type="checkbox"/> Bee Cave <input type="checkbox"/> Pflugerville <input type="checkbox"/> Rollingwood <input type="checkbox"/> Round Rock <input type="checkbox"/> Sunset Valley <input type="checkbox"/> West Lake Hills	<input type="checkbox"/> Austin <input type="checkbox"/> Cedar Park <input type="checkbox"/> Florence <input type="checkbox"/> Georgetown <input type="checkbox"/> Jerrell <input type="checkbox"/> Leander <input type="checkbox"/> Liberty Hill <input type="checkbox"/> Pflugerville <input type="checkbox"/> Round Rock

San Antonio Region					
County:	Bexar	Comal	Kinney	Medina	Uvalde
Original (1 req.)	✓	—	—	—	—
Region (1 req.)	✓	—	—	—	—
County(ies)	✓	—	—	—	—
Groundwater Conservation District(s)	<input checked="" type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Trinity-Glen Rose	<input type="checkbox"/> Edwards Aquifer Authority	<input type="checkbox"/> Kinney	<input type="checkbox"/> EAA <input type="checkbox"/> Medina	<input type="checkbox"/> EAA <input type="checkbox"/> Uvalde
City(ies) Jurisdiction	<input type="checkbox"/> Castle Hills <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Helotes <input type="checkbox"/> Hill Country Village <input type="checkbox"/> Hollywood Park <input checked="" type="checkbox"/> San Antonio (SAWS) <input type="checkbox"/> Shavano Park	<input type="checkbox"/> Bulverde <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Garden Ridge <input type="checkbox"/> New Braunfels <input type="checkbox"/> Schertz	NA	<input type="checkbox"/> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

Richard Hendrix, P.E.

Print Name of Customer/Authorized Agent

Signature of Customer/Authorized Agent

Date

FOR TCEQ INTERNAL USE ONLY			
Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):

Modification of a Previously Approved Contributing Zone Plan

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Transition Zone and Relating to 30 TAC 213.4(j), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Modification of a Previously Approved Contributing Zone Plan** is hereby submitted for TCEQ review and executive director approval. The request was prepared by:

Print Name of Customer/Agent: Richard Hendrix

Date: 12/2/2025

Signature of Customer/Agent:



Project Information

1. Current Regulated Entity Name: Park Golf UTSA
Original Regulated Entity Name: Schumacher-UTSA Blvd./IH-10 114.2 Acre Tract
Assigned Regulated Entity Number(s) (RN): _____
Edwards Aquifer Protection Program ID Number(s): 13000390
☒ The applicant has not changed and the Customer Number (CN) is: 605351758
☒ The applicant or Regulated Entity has changed. A new Core Data Form has been provided.
2. ☒ **Attachment A: Original Approval Letter and Approved Modification Letters.** A copy of the original approval letter and copies of any modification approval letters are attached.
3. A modification of a previously approved plan is requested for (check all that apply):

- ☐ Any physical or operational modification of any best management practices or structure(s), including but not limited to temporary or permanent ponds, dams, berms, silt fences, and diversionary structures;
- ☐ Any change in the nature or character of the regulated activity from that which was originally approved;
- ☐ A change that would significantly impact the ability to prevent pollution of the Edwards Aquifer and hydrologically connected surface water; or
- ☒ Any development of land previously identified in a contributing zone plan as undeveloped.

4. ☒ **Summary of Proposed Modifications** (select plan type being modified). If the approved plan has been modified more than once, copy the appropriate table below, as necessary, and complete the information for each additional modification.

<i>CZP Modification</i>	<i>Approved Project</i>	<i>Proposed Modification</i>
<i>Summary</i>		
Acres	<u>116.7</u>	<u>25.104 of the 116.7</u>
Type of Development	<u>Commercial</u>	<u>Commercial</u>
Number of Residential Lots	<u>N/A</u>	<u>N/A</u>
Impervious Cover (acres)	<u>37.07</u>	<u>3.33</u>
Impervious Cover (%)	<u>31.76</u>	<u>13.25</u>
Permanent BMPs	<u>(2) Batch Detention</u>	<u>VFS</u>
Other	<u>Filtterra / VFS</u>	<u>N/A</u>
<i>AST Modification</i>		
<i>Summary</i>		
Number of ASTs	_____	_____
Other	_____	_____
<i>UST Modification</i>		
<i>Summary</i>		
Number of USTs	_____	_____
Other	_____	_____

5. ☒ **Attachment B: Narrative of Proposed Modification.** A detailed narrative description of the nature of the proposed modification is attached. It discusses what was approved,

including previous modifications, and how this proposed modification will change the approved plan.

6. ☒ **Attachment C: Current Site Plan of the Approved Project.** A current site plan showing the existing site development (i.e., current site layout) at the time this application for modification is attached. A site plan detailing the changes proposed in the submitted modification is required elsewhere.
- ☐ The approved construction has not commenced. The original approval letter and any subsequent modification approval letters are included as Attachment A to document that the approval has not expired.
- ☒ The approved construction has commenced and has been completed. Attachment C illustrates that the site was constructed as approved.
- ☐ The approved construction has commenced and has been completed. Attachment C illustrates that the site was **not** constructed as approved.
- ☐ The approved construction has commenced and has **not** been completed. Attachment C illustrates that, thus far, the site was constructed as approved.
- ☐ The approved construction has commenced and has **not** been completed. Attachment C illustrates that, thus far, the site was **not** constructed as approved.
7. ☒ Acreage has not been added to or removed from the approved plan.
- ☐ Acreage has been added to or removed from the approved plan and is discussed in *Attachment B: Narrative of Proposed Modification*.
8. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

MODIFICATION OF A PREVIOUSLY APPROVED CONTRIBUTING ZONE PLAN

Par 3

TCEQ Form-10259

Attachment “A” – Original Approval Letter and Approved Modification Letters

See the approval letters on the following pages:

Bryan W. Shaw, Ph.D., P.E., *Chairman*
Toby Baker, *Commissioner*
Jon Niermann, *Commissioner*
Richard A. Hyde, P.E., *Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

June 22, 2017

Mr. Steve Sanders
UTSA Blvd./IH-10 LP
4512 Elohi Drive
Austin, Texas 78746

Re: Edwards Aquifer, Bexar County

NAME OF PROJECT: Schumacher - UTSA Blvd./IH-10 114.2 Acre Tract; Located approximately 0.4 miles northwest of the W. Hausman Road and IH-10 intersection; San Antonio, Texas

TYPE OF PLAN: Request for Approval of a Contributing Zone Plan (CZP); 30 Texas Administrative Code (TAC) Chapter 213 Subchapter B Edwards Aquifer

Regulated Entity No. RN109749218; Additional ID No. 13000390

Dear Mr. Sanders:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZP Application for the above-referenced project submitted to the San Antonio Regional Office by Pape-Dawson Engineers, Inc. on behalf of UTSA Blvd./IH-10, LP on April 24, 2017. Final review of the CZP was completed after additional material was received on June 5, 2017, June 9, 2017 and June 15, 2017. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) were selected and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

PROJECT DESCRIPTION

The proposed development will have an area of approximately 116.7 acres with 6.60 acres (5.65 percent) of impervious cover. The site is located on the Contributing Zone within the Transition Zone. The project proposes clearing, grading, excavation, installation of utilities and drainage improvements, a connector road with sidewalks, two turn lanes and four private driveways. Additional phases of this development will be submitted as future separate CZP modifications. No wastewater will be generated by this project.

PERMANENT POLLUTION ABATEMENT MEASURES

To prevent the pollution of stormwater runoff originating on-site or upgradient of the site and potentially flowing across and off the site after construction, a batch detention basin and an engineered vegetative filter strip (VFS), designed using the TCEQ technical guidance document, Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices (2005), will be constructed to treat stormwater runoff. The required total suspended solids (TSS) treatment is 5,386 pounds of TSS generated from a total of 6.60 acres of impervious cover. The approved measures meet the required 80 percent removal of the increased load in TSS caused by the project.

The batch detention basin "A" will have a designed water quality volume of 199,121 cubic feet (34,807 cubic feet required). The logic controller for the system will be programmed to retain stormwater for 12 hours before releasing it. The stormwater release valve will be equipped with a manual override. The system will be connected to a 120 volt power supply with a solar/battery backup unit. The basin will remove 4,717 pounds (4,717 pounds required) of TSS generated from 5.78 acres of impervious cover.

An engineered vegetative filter strip is proposed to treat 0.82 acres of impervious cover with 669 pounds of TSS removal. The VFS shall have a uniform slope of less than 20 percent and vegetated cover of at least 80 percent which will extend along the entire length of the contributing area and will be free of gullies or rills that can concentrate overland flow. The contributing area shall be relatively flat to evenly distribute runoff, and the impervious cover in the direction of flow shall not exceed 72 feet.

SPECIAL CONDITIONS

- I. The permanent pollution abatement measures shall be operational prior to use of the roads or sidewalks within the measure's respective drainage area.
- II. All sediment / media from the batch detention basin shall be disposed of properly according to 30 TAC 330 or 30 TAC 335, as applicable.
- III. Within 60 days of receiving written approval of an Edwards Aquifer Protection Plan, the applicant must submit to the San Antonio Regional Office, proof of recordation of notice in the county deed records, with the volume and page number(s) of the county deed records of the county in which the property is located. A description of the property boundaries shall be included in the deed recordation in the county deed records. A suggested format (Deed Recordation Affidavit, TCEQ-0625A) that you may use to deed record the approved CZP is enclosed.

STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

Prior to Commencement of Construction:

4. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project location until all regulated activities are completed.

5. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
6. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the San Antonio Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and file number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.
7. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

8. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
9. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
10. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.
11. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
12. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.
13. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 5, above.

After Completion of Construction:

14. Owners of permanent BMPs and measures must insure that the BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the

permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the San Antonio Regional Office within 30 days of site completion.

15. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through the San Antonio Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.
16. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
17. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the San Antonio Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
18. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

This action is taken under authority delegated by the Executive Director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact Dianne Pavlicek-Mesa, P.G., of the Edwards Aquifer Protection Program of the San Antonio Regional Office at 210-403-4074.

Sincerely,



Lynn Bumguardner, Water Section Manager
San Antonio Region
Texas Commission on Environmental Quality

LB/DPM/eg

Enclosures: Deed Recordation Affidavit, Form TCEQ-0625A
Change in Responsibility for Maintenance of Permanent BMPs, Form TCEQ-10263

cc: Ms. Cara C. Tackett, P.E., Pape-Dawson Engineers, Inc.
Ms. Renee Green, P.E., Bexar County Public Works
Mr. Roland Ruiz, Edwards Aquifer Authority
Mr. Scott Halty, San Antonio Water System

Bryan W. Shaw, Ph.D., P.E., *Chairman*
 Toby Baker, *Commissioner*
 Jon Niermann, *Commissioner*
 Richard A. Hyde, P.E., *Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

October 11, 2017

Mr. Steve Sanders
 UTSA Blvd. / IH-10 LP
 4512 Elohi Drive
 Austin, Texas 78746

Re: Edwards Aquifer, Bexar County

NAME OF PROJECT: University Village; Located approximately 0.4 miles northwest of the W. Hausman Road and IH-10 intersection; San Antonio, Texas

TYPE OF PLAN: Request for Modification of an Approved Contributing Zone Plan (CZPMOD); 30 Texas Administrative Code (TAC) Chapter 213 Subchapter B Edwards Aquifer

Regulated Entity No. RN109749218; Additional ID No. 13000480

Dear Mr. Sanders:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZP Modification for the above-referenced project submitted to the San Antonio Regional Office by Pape-Dawson Engineers, Inc. on behalf of UTSA Blvd. / IH-10 LP on August 9, 2017. Final review of the CZPMOD was completed after additional material was received on September 28, 2017. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) were selected and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

BACKGROUND

The original CZP was approved by letter dated June 22, 2017 for commercial development having an area of approximately 116.7 acres with 6.60 acres (5.65 percent) of impervious cover. The development included clearing, grading, excavation, installation of utilities and drainage improvements, and a connector road with sidewalks, two turn lanes and four private driveways. No wastewater was generated during this phase of construction.

PROJECT DESCRIPTION

The proposed commercial project will have an area of approximately 12.63 acres of the originally approved 116.7 acres. It will include clearing, grading, excavation, installation of utilities, drainage improvements, and a 349 unit multi-family development with associated parking and drives. The impervious cover will be 8.4 acres (66.5 percent). Project wastewater will be disposed of by conveyance to the existing Leon Creek Water Recycling Center owned by the San Antonio Water System.

PERMANENT POLLUTION ABATEMENT MEASURES

To prevent the pollution of stormwater runoff originating on-site or upgradient of the site and potentially flowing across and off the site after construction, two Filterra devices, one batch detention basin, and one existing batch detention basin, designed using the TCEQ technical guidance document, Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices (2005), will be used to treat stormwater runoff. The required total suspended solids (TSS) treatment for this project is 6,854 pounds of TSS generated from the 8.4 acres of impervious cover. The approved measures meet the required 80 percent removal of the increased load in TSS caused by the project. The individual treatment measures will consist of the following BMPs.

BMP Summary Table							
Watershed	BMP	Total Area (ac)	Imp. Cover (ac)	Required Capture Volume (cf)	Designed Capture Volume (cf)	Req. TSS Removed (lb/yr)	Design TSS Removed (lb/yr)
A	Basin B	5.67	4.89	56,745	199,121	3,990	4,190
B	Basin A	3.14	2.39	29,571	30,510	1,950	2,158
C	Filterra A & B**	0.68	0.62	-	-	506	506
Uncaptured Area D *	Overtreatment Basin A & B	0.95	0.50	-	-	408	-
Total	-	10.44	8.40			6,854	6,854

*Overtreatment will be provided by both basins; 200 lbs. in Basin B, and 208 lbs. in Basin A.

**Filterra Units "A" & "B" will be 13'x7' with a Treatment Flow Rate of 0.590 cfs.

SPECIAL CONDITIONS

- I. Within 60 days of receiving written approval of an Edwards Aquifer Protection Plan, the applicant must submit to the San Antonio Regional Office, proof of recordation of notice in the county deed records, with the volume and page number(s) of the county deed records of the county in which the property is located. A description of the property boundaries shall be included in the deed recordation in the county deed records. A suggested format (Deed Recordation Affidavit, TCEQ-0625A) that you may use to deed record the approved CZP is enclosed.
- II. This modification is subject to all Special and Standard Conditions listed in the CZP approval letter dated June 22, 2017.
- III. The new permanent pollution abatement measures shall be operational prior to occupancy of newly constructed facilities located within the measure's respective drainage area. The existing batch detention basin shall be inspected and be fully operational prior to occupancy of residential housing and/or use of newly constructed improvements within the measure's respective drainage area.

- IV. All sediment and/or media removed from the water quality basin during maintenance activities shall be properly disposed of according to 30 TAC 330 or 30 TAC 335, as applicable.
- V. This site is located in the area defined as the Contributing Zone within the Transition Zone. Requirements identified in 30 TAC 213.5(f)(2) for addressing discovered sensitive features are applicable. If any sensitive feature (caves, solution cavities, sink holes, etc.) is discovered during construction, all regulated activities near the feature must be suspended immediately. The applicant or his agent must immediately notify the San Antonio Regional Office of the discovery of the feature. Regulated activities near the feature may not proceed until the executive director has reviewed and approved the methods proposed to protect the feature and the aquifer from potentially adverse impacts to water quality. The plan must be sealed, signed, and dated by a Texas Licensed Professional Engineer.

STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

Prior to Commencement of Construction:

4. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project location until all regulated activities are completed.
5. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
6. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the San Antonio Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and file number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.
7. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

8. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
9. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
10. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.
11. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
12. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.
13. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 5, above.

After Completion of Construction:

14. Owners of permanent BMPs and measures must insure that the BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the San Antonio Regional Office within 30 days of site completion.
15. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through the San Antonio Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.
16. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the

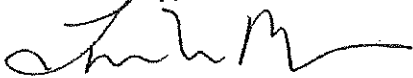
Mr. Steve Sanders
October 11, 2017
Page 5

new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.

17. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the San Antonio Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
18. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

This action is taken under authority delegated by the Executive Director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact Monica Reyes of the Edwards Aquifer Protection Program of the San Antonio Regional Office at (210) 403-4012.

Sincerely,



Lynn Bumguardner, Water Section Manager
San Antonio Region
Texas Commission on Environmental Quality

LB/MR/eg

Enclosures: Deed Recordation Affidavit, Form TCEQ-0625A
Change in Responsibility for Maintenance of Permanent BMPs, Form TCEQ-10263

cc: Ms. Cara Tackett, P.E., Pape-Dawson Engineers, Inc.
Mr. Roland Ruiz, General Manager, Edwards Aquifer Authority
Mr. Scott Halty, San Antonio Water System
Ms. Renee Green, P.E., Bexar County

Jon Niermann, *Chairman*
 Emily Lindley, *Commissioner*
 Toby Baker, *Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

April 24, 2019

Mr. Steve Sanders
 UTSA Blvd. / IH-10 LP
 4512 Elohi DR
 Austin, TX 78746-1625

Re: Edwards Aquifer, Bexar County

NAME OF PROJECT: University Village; Located approximately 0.4 miles northwest of West Hausman Road and IH-10 Frontage Road; San Antonio, Texas

TYPE OF PLAN: Request for the Approval of a Modification of an Approved Contributing Zone Plan (CZP); 30 Texas Administrative Code (TAC) Chapter 213 Subchapter B Edwards Aquifer

Regulated Entity No. RN109749218; Additional ID No. 13000885

Dear Mr. Sanders:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZP Modification for the above-referenced project submitted to the San Antonio Regional Office by Pape-Dawson Engineers, Inc. on behalf of UTSA Blvd. / IH-10 LP on March 1, 2019. Final review of the CZP Modification was completed after additional material was received on April 10, 2019. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) were selected and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

BACKGROUND

The Schumacher - UTSA Blvd. / IH-10 114.2 Acres Tract CZP was approved by letter dated June 22, 2017 for a 116.7-acre site with 6.60 acres of impervious cover. The project proposed clearing, grading, excavation, installation of utilities and drainage improvements, a connector road with sidewalks, two turn lanes and four private driveways. Proposed permanent BMPs included a batch detention basin "A" and an engineered vegetative filter strip.

The University Village CZP Modification was approved by letter dated October 11, 2017 for a 12.63-acre site with 8.40 acres of impervious cover. The project proposed clearing, grading,

installation of utilities, drainage improvements, and a 349-unit multi-family development with associated parking and drives. Proposed permanent BMPs included the existing batch detention basin "A", a batch detention basin "B" and two Filterra devices.

PROJECT DESCRIPTION

This CZP Modification includes a 9.87-acre phased development site with 6.41 acres (64.94 percent) of impervious cover. Additional clearing, grading, excavation, installation of utilities and drainage improvements, and construction of buildings with associated parking, driveways and turn lanes are proposed. Project wastewater will be disposed of by conveyance to the existing Leon Creek Water Recycling Center owned by the San Antonio Water System.

PERMANENT POLLUTION ABATEMENT MEASURES

To prevent the pollution of stormwater runoff originating on-site or up-gradient of the site and potentially flowing across and off the site after construction, the existing batch detention basin "A", designed using the TCEQ technical guidance document, Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices (2005), will treat stormwater runoff. The required total suspended solids (TSS) treatment for the site is 5,231 pounds of TSS generated from the 6.41 acres of impervious cover. The approved measure meets the required 80 percent removal of the increased load in TSS caused by the project.

Batch detention basin "A" has a designed water quality volume of 199,121 cubic feet (91,065 cubic feet required). The basin will remove 12,105 pounds of TSS. See Table 1 below for basin "A" treatment summary.

Table 1 BMP Treatment Summary						
Plan	Project Limits (ac)	Imperious Cover (ac)	Impervious Cover to Basin "A" (ac)	Overtreatment to Basin "A" (ac)	Required TSS Removal (lbs./yr.)	Provided TSS Removal (lbs./yr.)
Schumacher 114.2-Acres Tract CZP	116.70	6.60	5.25	0.53	4,716	4,716
University Village CZP Mod	12.63	8.40	2.39	0.255	2,158	2,158
University Village CZP Mod (this plan)	9.87	6.41	5.93	0.48	5,231	5,231
TOTAL	--	21.41	13.57	1.265	12,105	12,105

SPECIAL CONDITIONS

- I. This modification is subject to all Special and Standard Conditions listed in the CZP approval letter dated June 22, 2017 and subsequent modification dated October 11, 2017.

- II. All sediment and/or media removed from batch detention basin "A" during maintenance activities shall be properly disposed of according to 30 TAC 330 or 30 TAC 335, as applicable.

STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

Prior to Commencement of Construction:

4. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project location until all regulated activities are completed.
5. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
6. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the San Antonio Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and file number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.
7. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

8. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
9. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be

removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

10. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.
11. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
12. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.
13. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 5, above.

After Completion of Construction:

14. Owners of permanent BMPs and measures must insure that the BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the San Antonio Regional Office within 30 days of site completion.
15. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through the San Antonio Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.
16. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
17. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the San Antonio Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.

Mr. Steve Sanders

April 24, 2019

Page 5

18. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

This action is taken under authority delegated by the Executive Director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact Dianne Pavlicek-Mesa, P.G., of the Edwards Aquifer Protection Program of the San Antonio Regional Office at 210-403-4074.

Sincerely,



Robert Sadlier, Section Manager
Edwards Aquifer Protection Program
Texas Commission on Environmental Quality

RCS/dpm

Enclosure: Change in Responsibility for Maintenance of Permanent BMPs, Form TCEQ-10263

cc: Mr. Taylor Dawson, P.E., Pape-Dawson Engineers, Inc.
Mr. Scott Halty, San Antonio Water System
Ms. Renee Green, P.E., Bexar County Public Works
Mr. Roland Ruiz, Edwards Aquifer Authority

Jon Niermann, *Chairman*
Emily Lindley, *Commissioner*
Bobby Janecka, *Commissioner*
Toby Baker, *Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

March 18, 2021

Mr. Steve Sanders
UTSA Blvd./IH-10 LP
4512 Elohi Drive
Austin, Texas 78746

Re: Edwards Aquifer, Bexar County

NAME OF PROJECT: Lyric at The Merc; Located 14015 University Pass; San Antonio, Texas

TYPE OF PLAN: Request for Modification of an Approved Contributing Zone Plan (CZP); 30 Texas Administrative Code (TAC) Chapter 213 Subchapter B Edwards Aquifer

Regulated Entity No.: RN109749218; Additional ID No.: 13001248

Dear Mr. Sanders:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZP Modification for the above-referenced project submitted to the San Antonio Regional Office by KFW Engineers on behalf of UTSA Blvd./IH-10 LP on February 4, 2021. Final review of the CZP was completed after additional material was received on March 16, 2021. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) were selected and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

BACKGROUND

Schumacher-UTSA Blvd. IH-10 114.2 Acre Tract CZP (13000390) was the original application approved on June 22, 2017. The project area of approximately 116.7 acres had 6.60 acres of impervious cover (IC). The IC included a connector road with sidewalks, turn lanes and private driveways. The approved permanent BMPs included a batch detention basin and engineered vegetative filter strip.

University Village CZP Modification (13000480) was approved on October 11, 2017. The project area of 12.63 acres is located within the original 116.7-acre site and had 8.40 acres of IC. The IC included multi-family development with associated parking and drives. The approved permanent BMPs included two Filterra devices, one batch detention basin, and one existing batch detention basin.

University Village CZP Modification (13000885) was approved on April 24, 2019. The project area of 9.87 acres is located within the original 116.7-acre site and had 6.41 acres of IC. The IC included buildings with associated parking, driveways and turn lanes. The approved permanent BMPs included one existing batch detention basin.

PROJECT DESCRIPTION

The proposed commercial project will have an area of approximately 9.74 acres within the previously approved 116.70-acre site. The tract is located entirely within the Edwards Aquifer Contributing Zone within the Transition Zone. The modification is proposed for development of land previously identified as undeveloped. It will include clearing, grading, excavation, and the construction of multi-family development with associated parking, access drives, utilities, and drainage improvements. The impervious cover will be 7.01 acres (72-percent). Project wastewater will be disposed of by conveyance to the existing Leon Creek Water Recycling Center owned by the San Antonio Water System.

PERMANENT POLLUTION ABATEMENT MEASURES

To prevent the pollution of stormwater runoff originating on-site or upgradient of the site and potentially flowing across and off the site after construction, a new Jellyfish Filtration (JF) system, designed using the TCEQ technical guidance document, Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices (2005), will be constructed to treat stormwater runoff. The required total suspended solids (TSS) treatment for this project is 5,704 pounds of TSS generated from the 7.01 acres of impervious cover with 0.02 acres of predevelopment impervious cover. The approved measures meet the required 80 percent removal of the increased load in TSS caused by the project.

SPECIAL CONDITIONS

- I. This modification is subject to all Special and Standard Conditions listed in the CZP approval letter dated June 22, 2017 and subsequent modifications dated October 11, 2017, and April 24, 2019.
- II. The permanent pollution abatement measure shall be operational prior to occupancy of the multi-family development.
- III. All sediment and/or media removed from the filtration system during maintenance activities shall be properly disposed of according to 30 TAC 330 or 30 TAC 335, as applicable.
- IV. Since this site is located in the area defined as the Contributing Zone within the Transition Zone, §213.5(f), relating to Edwards Aquifer Notifications, is still applicable. If any sensitive feature (caves, solution cavities, sink holes, etc.) is discovered during construction, all regulated activities near the feature must be suspended immediately. The applicant or their agent must immediately notify the San Antonio Regional Office of the discovery of the feature. Regulated activities near the feature may not proceed until the executive director has reviewed and approved the methods proposed to protect the feature and the aquifer from potentially adverse impacts to water quality. The plan must be sealed, signed, and dated by a Texas Licensed Professional Engineer.

STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

Prior to Commencement of Construction:

4. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project location until all regulated activities are completed.
5. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
6. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the San Antonio Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and file number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.
7. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

8. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
9. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
10. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.

11. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
12. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.
13. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 5, above.

After Completion of Construction:

14. Owners of permanent BMPs and measures must ensure that the BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the San Antonio Regional Office within 30 days of site completion.
15. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through the San Antonio Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.
16. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
17. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the San Antonio Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.

Mr. Steve Sanders

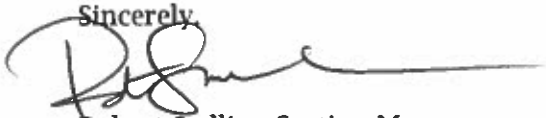
Page 5

March 18, 2021

18. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

This action is taken under authority delegated by the Executive Director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact Ms. Lillian Butler of the Edwards Aquifer Protection Program of the San Antonio Regional Office at (210)403-4026.

Sincerely,



Robert Sadlier, Section Manager
Edwards Aquifer Protection Program
Texas Commission on Environmental Quality

RCS/lb

Enclosures: Change in Responsibility for Maintenance of Permanent BMPs, Form TCEQ-10263

cc: Mr. Armando Niebla, PE, KFW Engineers
Ms. Renee Green, PE, Bexar County Public Works
Mr. Roland Ruiz, Edwards Aquifer Authority
Mr. Scott Halty, San Antonio Water System

Jon Niermann, *Chairman*
Emily Lindley, *Commissioner*
Bobby Janecka, *Commissioner*
Toby Baker, *Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

June 3, 2022

Mr. Rudy Munoz
Century Communities Inc.
3619 Paesanos Pkwy, Ste. 304
San Antonio, Texas 78231

Re: Edwards Aquifer, Bexar County

NAME OF PROJECT: University Village; Located at the northwest corner of W. Hausman Road and Bentley Wells Intersection; San Antonio, Texas

TYPE OF PLAN: Request for approval of a modification of a Contributing Zone Plan (CZP); 30 Texas Administrative Code (TAC) Chapter 213 Subchapter B Edwards Aquifer

Regulated Entity No. RN109749218; Additional ID No. 13001506

Dear Mr. Munoz:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZP Modification request application for the above-referenced project submitted to the San Antonio Regional Office by KFW Engineers on behalf of Century Communities Inc. on April 05, 2022. Final review of the CZP Modification was completed after additional material was received on May 18, 2022. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) were selected and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed, and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

BACKGROUND

Schumacher-UTSA Blvd. IH-10 114.2-acre tract CZP (13000390) was the original application approved on June 22, 2017. The project area of approximately 116.7-acres had 6.60-acres of impervious cover (IC). The IC included a connector road with sidewalks, turn lanes, and private driveways. The approved permanent BMPs included a batch detention basin and engineered vegetative filter strip.

There have been three (3) CZP Modifications for various sites within the overall 116.7-acre site. The Modifications were approved by letters dated October 11, 2017, April 24, 2019, and March 18, 2021.

PROJECT DESCRIPTION

The proposed commercial project will have an area of approximately 7.52-acres within the previously approved 116.70-acre site. The tract is located entirely within the Edwards Aquifer Contributing Zone within the Transition Zone. The modification is proposed for development of land previously identified as undeveloped. It will include clearing, grading, excavation, installation of utilities and drainage improvements, and construction of buildings with associated parking and driveways. The impervious cover will be 4.175-acres (55.52 percent). Project wastewater will be disposed of by conveyance to the existing Steven M. Clouse Recycling Center operated by the San Antonio Water System (SAWS).

PERMANENT POLLUTION ABATEMENT MEASURES

To prevent the pollution of stormwater runoff originating on-site or upgradient of the site and potentially flowing across and off the site after construction, one (1) batch detention basin, designed using the TCEQ technical guidance document, Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices (2005), will be constructed to treat stormwater runoff. The required total suspended solids (TSS) treatment for this project is 3,407 pounds of TSS generated from the 4.175-acres of impervious cover. The approved measures meet the required 80 percent removal of the increased load in TSS caused by the project.

SPECIAL CONDITIONS

1. This modification is subject to all Special and Standard Conditions listed in the CZP approval letter dated June 22, 2017, and subsequent modifications dated October 11, 2017, April 24, 2019, and March 18, 2021.
2. All permanent pollution abatement measures shall be operational prior to first occupancy of the facilities.
3. All sediment and/or media removed from the water quality basin during maintenance activities shall be properly disposed of according to 30 TAC 330 or 30 TAC 335, as applicable.
4. Since this site is located in the area defined as the Contributing Zone within the Transition Zone, §213.5(f), relating to Edwards Aquifer Notifications, is still applicable. If any sensitive feature (caves, solution cavities, sink holes, etc.) is discovered during construction, all regulated activities near the feature must be suspended immediately. The applicant or his agent must immediately notify the San Antonio Regional Office of the discovery of the feature. Regulated activities near the feature may not proceed until the executive director has reviewed and approved the methods proposed to protect the feature and the aquifer from potentially adverse impacts to water quality. The plan must be sealed, signed, and dated by a Texas Licensed Professional Engineer.

STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

Prior to Commencement of Construction:

4. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project location until all regulated activities are completed.
5. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
6. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the San Antonio Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and file number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.
7. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

8. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
9. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
10. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.
11. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
12. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.
13. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank

for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 5, above.

After Completion of Construction:

14. Owners of permanent BMPs and measures must insure that the BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the San Antonio Regional Office within 30 days of site completion.
15. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through the San Antonio Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.
16. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
17. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the San Antonio Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
18. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

This action is taken under authority delegated by the Executive Director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact Mr. Hunter Patterson of the Edwards Aquifer Protection Program of the San Antonio Regional Office at 210-403-4026.

Sincerely,



Lillian Butler, Section Manager
Edwards Aquifer Protection Program
Texas Commission on Environmental Quality

LIB/hhp

Enclosures: Change in Responsibility for Maintenance of Permanent BMPs, Form TCEQ-10263

cc: Armando J. Niebla, P.E., KFW Engineers

Jon Niermann, *Chairman*
Bobby Janecka, *Commissioner*
Catarina R. Gonzales, *Commissioner*
Kelly Keel, *Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

March 1, 2024

Mr. Rob Schumacher
UTSA BLVD IH10 LP
2995 Woodside Road, Suite 400-385
Woodside, CA 94062

Re: Modification of an approved Contributing Zone Plan (CZPMOD)
Tommy's Express Carwash UTSA Boulevard; Located at 5614 UTS Boulevard; San
Antonio, Bexar County, Texas
Edwards Aquifer Protection Program ID: 13001843, Regulated Entity No. RN109749218

Dear Mr. Schumacher:

The Texas Commission on Environmental Quality (TCEQ) has completed its review on the application for the above-referenced project submitted to the Edwards Aquifer Protection Program (EAPP) by Kimley-Horn & Associates, Inc. on behalf of the applicant, UTSA BLVD IH-10 L.P. on November 20, 2023. Final review of the application was completed after additional material was received on February 2, 2024, and February 27, 2024.

As presented to the TCEQ, the application was prepared in general compliance with the requirements of 30 Texas Administrative Codes (TAC) Chapter §213. The permanent best management practices (BMPs) and measures represented in the application were prepared by a Texas licensed professional engineer (PE). All construction plans and design information were sealed, signed, and dated by a Texas licensed PE. Therefore, the application for the construction of the proposed project and methods to protect the Edwards Aquifer are **approved**, subject to applicable state rules and the conditions in this letter.

This approval expires two years from the date of this letter, unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been officially requested. This approval or extension will expire, and no extension will be granted if more than 50 percent of the project has not been completed within ten years from the date of this letter.

The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this contributing zone plan or modification to a plan. A motion for reconsideration must be filed in accordance with 30 TAC §50.139.

BACKGROUND

The original CZP was approved by letter dated June 22, 2017 (EAPP ID: 13000390). The 116.7 - acre project included the construction of 6.6-acres (5.65 percent) of impervious cover.

A Modification to the original CZP was approved by letter dated October 11, 2017 (13000480). The 12.63-acre project included the construction of 8.4-acres of impervious cover.

A Modification of the CZP was approved by letter dated April 24, 2019 (13000885). The 9.87-acres project included the construction of 6.41-acres of impervious cover.

PROJECT DESCRIPTION

The proposed commercial project will have an area of approximately 2.72-acres. The modification will include the construction of one building and an associated parking lot, sidewalks, and drives. The impervious cover will be 0.74-acres (27 percent). Project wastewater will be disposed of by conveyance to the existing Leon Creek Wastewater Recycling Center.

PERMANENT POLLUTION ABATEMENT MEASURES

To prevent the pollution of stormwater runoff originating on-site or upgradient of the site and potentially flowing across and off the site after construction, one (1) previously approved batch detention basin (13000390), designed using the TCEQ technical guidance, *RG-348, Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices*, will be implemented to treat stormwater runoff. The required total suspended solids (TSS) treatment for this project is 604 pounds of TSS generated from the 0.74-acres of impervious cover. The approved permanent BMPs and measures meet the required 80 percent removal of the increased load in TSS caused by the project.

The permanent BMPs shall be operational prior to occupancy or use of the proposed project. Inspection, maintenance, repair, and retrofit of the permanent BMPs shall be in accordance with the approved application.

SPECIAL CONDITIONS

- I. This modification is subject to all the special and standard conditions listed in the approval letter(s) dated June 22, 2017, October 11, 2017, and April 24, 2019.

STANDARD CONDITIONS

1. The plan holder (applicant) must comply with all provisions of 30 TAC Chapter §213 and all technical specifications in the approved plan. The plan holder should also acquire and comply with additional and separate approvals, permits, registrations or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, Dam Safety, Underground Injection Control) as required based on the specifics of the plan.
2. In addition to the rules of the Commission, the plan holder must also comply with state and local ordinances and regulations providing for the protection of water quality as applicable.

Prior to Commencement of Construction:

3. The plan holder of any approved contributing zone plan must notify the EAPP and obtain approval from the executive director prior to initiating any modification to the activities described in the referenced application following the date of the approval.
4. The plan holder must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the EAPP no later than 48 hours prior to commencement of the regulated activity. Notification must include the date on which the regulated activity will commence, the name of the approved plan and program ID number for the regulated activity, and the name of the prime contractor with the name and telephone number of the contact person.

5. Temporary erosion and sedimentation (E&S) controls as described in the referenced application, must be installed prior to construction, and maintained during construction. Temporary E&S controls may be removed when vegetation is established, and the construction area is stabilized. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

6. The application must indicate the placement of permanent aboveground storage tanks facilities for static hydrocarbons and hazardous substances with cumulative storage capacity of 500 gallons or more. Subsequent permanent storage tanks on this project site require a modification to be submitted and approved prior to installation.
7. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50 percent. Litter, construction debris, and construction chemicals shall be prevented from becoming stormwater discharge pollutants.
8. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge must be filtered through appropriately selected BMPs.
9. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
10. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.

After Completion of Construction:

11. Owners of permanent BMPs and temporary measures must ensure that the BMPs and measures are constructed and function as designed. A Texas licensed PE **must certify** in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the EAPP within 30 days of site completion.
12. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property or the ownership of the property is transferred to the entity. A copy of the transfer of responsibility must be filed with the executive director through the EAPP within 30 days of the transfer. TCEQ form, Change in Responsibility for Maintenance on Permanent BMPs and Measures (TCEQ-10263), may be used.

The holder of the approved contributing zone plan is responsible for compliance with Chapter §213 subchapter B and any condition of the approved plan through all phases of plan implementation. Failure to comply with any condition within this approval letter is a violation of Chapter §213 subchapter B and is subject to administrative rule or orders and penalties as provided under §213.25 of this title (relating to Enforcement). Such violations may also be

Mr. Rob Schumacher

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March 1, 2024

subject to civil penalties and injunction. Upon legal transfer of this property, the new owner is required to comply with all terms of the approved contributing zone plan.

This action is taken as delegated by the executive director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact Mr. Drew Evans, P.G. of the Edwards Aquifer Protection Program at (210) 403-4053 or the regional office at 512-339-2929.

Sincerely,



Lillian I. Butler, Section Manager
Edwards Aquifer Protection Program
Texas Commission on Environmental Quality

LIB/de

cc: Mr. Jason Link, P.E., Kimley-Horn & Associates, Inc.

Brooke Paup, *Chairwoman*
Bobby Janecka, *Commissioner*
Catarina R. Gonzales, *Commissioner*
Kelly Keel, *Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

January 17, 2025

Mr. Rob Schumacher
UTSA Blvd IH-10 LP
2995 Woodside Road #400-385
Woodside, CA 94062

Re: Modification of an approved Contributing Zone Plan (CZPMOD)
Merc Phase 1; Located se of University Pass and UTSA Boulevard; San Antonio, Bexar
County, Texas
Edwards Aquifer Protection Program ID: 13002033, Regulated Entity No. RN109749218

Dear Mr. Schumacher:

The Texas Commission on Environmental Quality (TCEQ) has completed its review on the application for the above-referenced project submitted to the Edwards Aquifer Protection Program (EAPP) by Macina, Bose, Copeland & Associates on behalf of the applicant, UTSA Blvd IH-10 LP on December 11, 2024.

As presented to the TCEQ, the application was prepared in general compliance with the requirements of 30 Texas Administrative Codes (TAC) Chapter §213. The permanent best management practices (BMPs) and measures represented in the application were prepared by a Texas licensed professional engineer (PE). All construction plans and design information were sealed, signed, and dated by a Texas licensed PE. Therefore, the application for the construction of the proposed project and methods to protect the Edwards Aquifer are **approved**, subject to applicable state rules and the conditions in this letter.

This approval expires two years from the date of this letter, unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been officially requested. This approval or extension will expire, and no extension will be granted if more than 50 percent of the project has not been completed within ten years from the date of this letter.

The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this contributing zone plan or modification to a plan. A motion for reconsideration must be filed in accordance with 30 TAC §50.139.

BACKGROUND

The original CZP was approved by letter dated June 22, 2017 (EAPP ID: 13000390). The 116.7 - acre project included the construction of 6.6-acres (5.65 percent) of impervious cover.

A Modification to the original CZP was approved by letter dated October 11, 2017 (13000480). The 12.63-acre project included the construction of 8.4-acres of impervious cover.

A Modification of the CZP was approved by letter dated April 24, 2019 (13000885). The 9.87-acres project included the construction of 6.41-acres of impervious cover.

A Modification of the CZP was approved by letter dated March 1, 2024 (13001843). The 2.72-acre project included the construction of 0.74-acres of impervious cover

PROJECT DESCRIPTION

The proposed commercial project will have an area of approximately 10.75-acres. The modification will include construction of three retail buildings, associated site improvements, surface parking and drive lanes. The impervious cover will include 3.86-acres of added IC with 0.79-acres previously approved from an initial roadway constructed in the first 2017 project (13000390) (43.3 percent). Project wastewater will be disposed of by conveyance to the existing Leon Creek Water Recycling Plant.

PERMANENT POLLUTION ABATEMENT MEASURES

To prevent the pollution of stormwater runoff originating on-site or upgradient of the site and potentially flowing across and off the site after construction, one (1) previously approved batch detention basin (13000390), designed using the TCEQ technical guidance, *RG-348, Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices*, will be implemented to treat stormwater runoff. The required total suspended solids (TSS) treatment for this project is 3,150 pounds of TSS generated from the 3.86-acres of impervious cover. The approved permanent BMPs and measures meet the required 80 percent removal of the increased load in TSS caused by the project.

The permanent BMPs shall be operational prior to occupancy or use of the proposed project. Inspection, maintenance, repair, and retrofit of the permanent BMPs shall be in accordance with the approved application.

SPECIAL CONDITIONS

- I. This modification is subject to all the special and standard conditions listed in the approval letter(s) dated June 22, 2017, October 11, 2017, April 24, 2019, and March 1, 2024.

STANDARD CONDITIONS

1. The plan holder (applicant) must comply with all provisions of 30 TAC Chapter §213 and all technical specifications in the approved plan. The plan holder should also acquire and comply with additional and separate approvals, permits, registrations or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, Dam Safety, Underground Injection Control) as required based on the specifics of the plan.
2. In addition to the rules of the Commission, the plan holder must also comply with state and local ordinances and regulations providing for the protection of water quality as applicable.

Prior to Commencement of Construction:

3. The plan holder of any approved contributing zone plan must notify the EAPP and obtain approval from the executive director prior to initiating any modification to the activities described in the referenced application following the date of the approval.
4. The plan holder must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the EAPP no later than 48 hours prior to commencement of the regulated activity. Notification must include the date on which the regulated activity will commence, the name of the approved plan and program ID number for the regulated activity, and the name of the prime contractor with the name and telephone number of the contact person.

5. Temporary erosion and sedimentation (E&S) controls as described in the referenced application, must be installed prior to construction, and maintained during construction. Temporary E&S controls may be removed when vegetation is established, and the construction area is stabilized. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

6. The application must indicate the placement of permanent aboveground storage tanks facilities for static hydrocarbons and hazardous substances with cumulative storage capacity of 500 gallons or more. Subsequent permanent storage tanks on this project site require a modification to be submitted and approved prior to installation.
7. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50 percent. Litter, construction debris, and construction chemicals shall be prevented from becoming stormwater discharge pollutants.
8. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge must be filtered through appropriately selected BMPs.
9. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
10. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.

After Completion of Construction:

11. Owners of permanent BMPs and temporary measures must ensure that the BMPs and measures are constructed and function as designed. A Texas licensed PE **must certify** in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the EAPP within 30 days of site completion.
12. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property or the ownership of the property is transferred to the entity. A copy of the transfer of responsibility must be filed with the executive director through the EAPP within 30 days of the transfer. TCEQ form, Change in Responsibility for Maintenance on Permanent BMPs and Measures (TCEQ-10263), may be used.

The holder of the approved contributing zone plan is responsible for compliance with Chapter §213 subchapter B and any condition of the approved plan through all phases of plan implementation. Failure to comply with any condition within this approval letter is a violation of Chapter §213 subchapter B and is subject to administrative rule or orders and penalties as

Mr. Rob Schumacher

Page 4

January 17, 2025

provided under §213.25 of this title (relating to Enforcement). Such violations may also be subject to civil penalties and injunction. Upon legal transfer of this property, the new owner is required to comply with all terms of the approved contributing zone plan.

This action is taken as delegated by the executive director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact Don Vandertulip, PE, BCEE of the Edwards Aquifer Protection Program at (210) 403-4057 or the regional office at 512-339-2929.

Sincerely,



Monica Reyes, Section Manager
Edwards Aquifer Protection Program
Texas Commission on Environmental Quality

MR/dv

cc: Mr. Justin Shippey, PE, Macina, Bose, Copeland & Associates

Brook Paup, *Chairwoman*
Bobby Janecka, *Commissioner*
Catarina R. Gonzales, *Commissioner*
Kelly Keel, *Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

April 25, 2025

Mr. Rob Schumacher
UTSA Blvd IH-10 LP
2995 Woodside Road #400-385
Woodside, CA, 94062

Re: Modification of an approved Contributing Zone Plan (CZPMOD)
Par 3; Located SW of UTSA Blvd and UTEX Blvd; San Antonio, Bexar County, Texas
Edwards Aquifer Protection Program ID: 13002070, Regulated Entity No. RN109749218

Dear Mr. Schumacher:

The Texas Commission on Environmental Quality (TCEQ) has completed its review on the application for the above-referenced project submitted to the Edwards Aquifer Protection Program (EAPP) by Macina, Bose, Copeland and Associates, Inc. on behalf of the applicant, UTSA Blvd IH-10 LP on March 5, 2025. Final review of the application was completed after additional material was received on April 21, 2025.

As presented to the TCEQ, the application was prepared in general compliance with the requirements of 30 Texas Administrative Codes (TAC) Chapter §213. The permanent best management practices (BMPs) and measures represented in the application were prepared by a Texas licensed professional engineer (PE). All construction plans and design information were sealed, signed, and dated by a Texas licensed PE. Therefore, the application for the construction of the proposed project and methods to protect the Edwards Aquifer are **approved**, subject to applicable state rules and the conditions in this letter.

This approval expires two years from the date of this letter, unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been officially requested. This approval or extension will expire, and no extension will be granted if more than 50 percent of the project has not been completed within ten years from the date of this letter.

The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this contributing zone plan or modification to a plan. A motion for reconsideration must be filed in accordance with 30 TAC §50.139.

BACKGROUND

Schumacher-UTSA Blvd. IH-10 114.2-acre tract CZP (13000390) was the original application approved on June 22, 2017. The project area of approximately 116.7-acres had 6.60-acres of impervious cover (IC). The IC included a connector road with sidewalks, turn lanes, and private driveways. The approved permanent BMPs included a batch detention basin and engineered vegetative filter strip. There have been seven (7) CZP Modifications for various sites within the overall 116.7-acre site. The Modifications were approved by letters dated October 11, 2017, April 24, 2019, March 18, 2021, June 3, 2022, September 29, 2023, March 1, 2024, and January 17, 2025.

PROJECT DESCRIPTION

The proposed commercial project will have an area of approximately 11.44-acres. The modification will include clearing and grading with fill dirt material. The impervious cover will be 0.0 acres (0.0 percent). No wastewater will be generated by this project.

PERMANENT POLLUTION ABATEMENT MEASURES

No permanent BMPs or measures are required for the proposed project.

SPECIAL CONDITIONS

- I. This modification is subject to all the special and standard conditions listed in the approval letter(s) dated June 22, 2017, October 11, 2017, April 24, 2019, March 18, 2021, June 3, 2022, September 29, 2023, March 1, 2024, and January 17, 2025.
- II. The area is defined as the contributing zone within the transition zone, so the site is subject to both the requirements of the contributing zone and provisions of the recharge zone. If any sensitive feature is encountered during construction, replacement, or rehabilitation on this project, **immediately suspend all regulated activities** near it and notify the TCEQ. Installation and maintenance of temporary BMPs will likely be required to protect the feature from pollution and contamination. Regulated activities near the feature may not proceed until the executive director has reviewed and approved the methods proposed to protect the feature and the aquifer from potentially adverse impacts to water quality.

STANDARD CONDITIONS

1. The plan holder (applicant) must comply with all provisions of 30 TAC Chapter §213 and all technical specifications in the approved plan. The plan holder should also acquire and comply with additional and separate approvals, permits, registrations or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, Dam Safety, Underground Injection Control) as required based on the specifics of the plan.
2. In addition to the rules of the Commission, the plan holder must also comply with state and local ordinances and regulations providing for the protection of water quality as applicable.

Prior to Commencement of Construction:

3. The plan holder of any approved contributing zone plan must notify the EAPP and obtain approval from the executive director prior to initiating any modification to the activities described in the referenced application following the date of the approval.
4. The plan holder must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the EAPP no later than 48 hours prior to commencement of the regulated activity. Notification must include the date on which the regulated activity will commence, the name of the approved plan and program ID number for the regulated activity, and the name of the prime contractor with the name and telephone number of the contact person.
5. Temporary erosion and sedimentation (E&S) controls as described in the referenced application, must be installed prior to construction, and maintained during construction. Temporary E&S controls may be removed when vegetation is established, and the construction area is stabilized. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

6. The application must indicate the placement of permanent aboveground storage tanks facilities for static hydrocarbons and hazardous substances with cumulative storage

Mr. Rob Schumacher

Page 3

April 25, 2025

- capacity of 500 gallons or more. Subsequent permanent storage tanks on this project site require a modification to be submitted and approved prior to installation.
7. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50 percent. Litter, construction debris, and construction chemicals shall be prevented from becoming stormwater discharge pollutants.
 8. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge must be filtered through appropriately selected BMPs.
 9. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
 10. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.

The holder of the approved contributing zone plan is responsible for compliance with Chapter §213 subchapter B and any condition of the approved plan through all phases of plan implementation. Failure to comply with any condition within this approval letter is a violation of Chapter §213 subchapter B and is subject to administrative rule or orders and penalties as provided under §213.25 of this title (relating to Enforcement). Such violations may also be subject to civil penalties and injunction. Upon legal transfer of this property, the new owner is required to comply with all terms of the approved contributing zone plan.

This action is taken as delegated by the executive director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact Ryan Pircher of the Edwards Aquifer Protection Program at 210-403-4074 or the regional office at 512-339-2929.

Sincerely,



Monica Reyes, Section Manager
Edwards Aquifer Protection Program
Texas Commission on Environmental Quality

MR/rp

cc: Mr. Richard Hendrix, P.E., Macina, Bose, Copeland and Associates, Inc.

MODIFICATION OF A PREVIOUSLY APPROVED CONTRIBUTING ZONE PLAN

Park Golf UTSA
TCEQ Form-10259

Attachment “B” – Narrative of Proposed Modification

Park Golf UTSA is a modification of the Schumacher – UTSA Blvd/IH-10 114.2-Acre tract Contributing Zone Plan (CZP). On June 22, 2017, the Texas Commission on Environmental Quality approved the Schumacher – UTSA Blvd/IH-10 114.2-Acre Tract CZP (EAPP ID 13000390). The approval letter included clearing, mass grading, and construction of a regional batch detention basin (Basin “A”), 1,200 LF of secondary Arterial Street (“connector road”) with turn lanes on both UTSA Blvd and Hausman Road, and adjacent private access drives throughout the site. The project limits is approximately 116.7 acres. Approximately 6.60 acres of impervious cover was added. 5.25 Acres will be treated in Basin” A” and 0.53 acres of impervious cover in this project was over treated by the existing batch detention Basin “A” (EAPP ID 13000390).

On October 11, 2017, the Texas Commission on Environmental Quality approved the University Village CZP modification (EAPP ID 13000480). This modification was submitted for a multi-family development located on the south side of UTSA Blvd. west of the intersection of UTSA Blvd and University Pass road intersection. The project limits is approximately 12.63 acres of the 116.7 acres. Approximately 8.40 acres of impervious cover was added. 2.39 Acres will be treated in Basin” A”, 4.89 acres will be treated in Basin “B”, and 0.255 acres of impervious cover in this project was over treated by the existing batch detention Basin “A” (EAPP ID 13000390).

On April 24, 2019, the Texas Commission on Environmental Quality approved a second University Village CZP modification (EAPP ID 13000885). This modification was submitted for clearing, grading, excavation, and installation of utilities and drainage improvements, a connector road with sidewalks, two turn lanes and four private driveways. The project limits is approximately 9.87 acres of the 116.7 acres. Approximately 6.41 acres of impervious cover was added. 5.93 Acres will be treated in Basin” A” and 0.48 acres of impervious cover in this project was over treated by the existing batch detention Basin “A” (EAPP ID 13000390).

On March 18, 2021, the Texas Commission on Environmental Quality approved Lyric at the Merc CZP modification (EAPP ID 13001248). This modification was submitted for clearing, grading, excavation, and the construction of multi-family development with associated parking, access drives, utilities, and drainage improvements. The project limits is approximately 9.74 acres of the 116.7 acres. Approximately 7.01 acres of impervious cover was added and is treated by a Jellyfish Filtration (JF) system.

On June 3, 2022, the Texas Commission on Environmental Quality approved a University Village CZP modification (EAPP ID 13001506). This modification was submitted for the multi-family development, utility and drainage connections. The modification included clearing, grading, excavation, installation of utilities and drainage improvements, and construction of buildings with associated parking and driveways. The project limits is approximately 7.52 acres of the 116.7 acres. Approximately 4.175 acres of impervious cover was to be added. Project was not constructed.

On September 29, 2023, the Texas Commission on Environmental Quality approved a University Village CZP modification (EAPP ID 13001768). This modification was submitted for the multi-family development, utility and drainage connections. The modification included clearing, grading, excavation, installation of utilities and drainage improvements, and construction of 64 multi-family units with associated parking and driveways. The project limits is approximately 6.997 acres of the 116.7 acres. Approximately 4.147 acres of impervious cover was added and is treated by the batch detention Basin “C”.

MODIFICATION OF A PREVIOUSLY APPROVED CONTRIBUTING ZONE PLAN

Park Golf UTSA TCEQ Form-10259

On March 1, 2024, the Texas Commission on Environmental Quality approved Tommy's Express Carwash UTSA Blvd. CZP modification (EAPP ID 13001843). This modification was submitted for one building and an associated parking lot, sidewalks, and drives. The project limits is approximately 2.72 acres of the 116.7 acres. Approximately 0.74 acres of impervious cover was added and will be treated in Basin "A" and 0 acres of impervious cover in this project was over treated by the existing batch detention Basin "A" (EAPP ID 13000390).

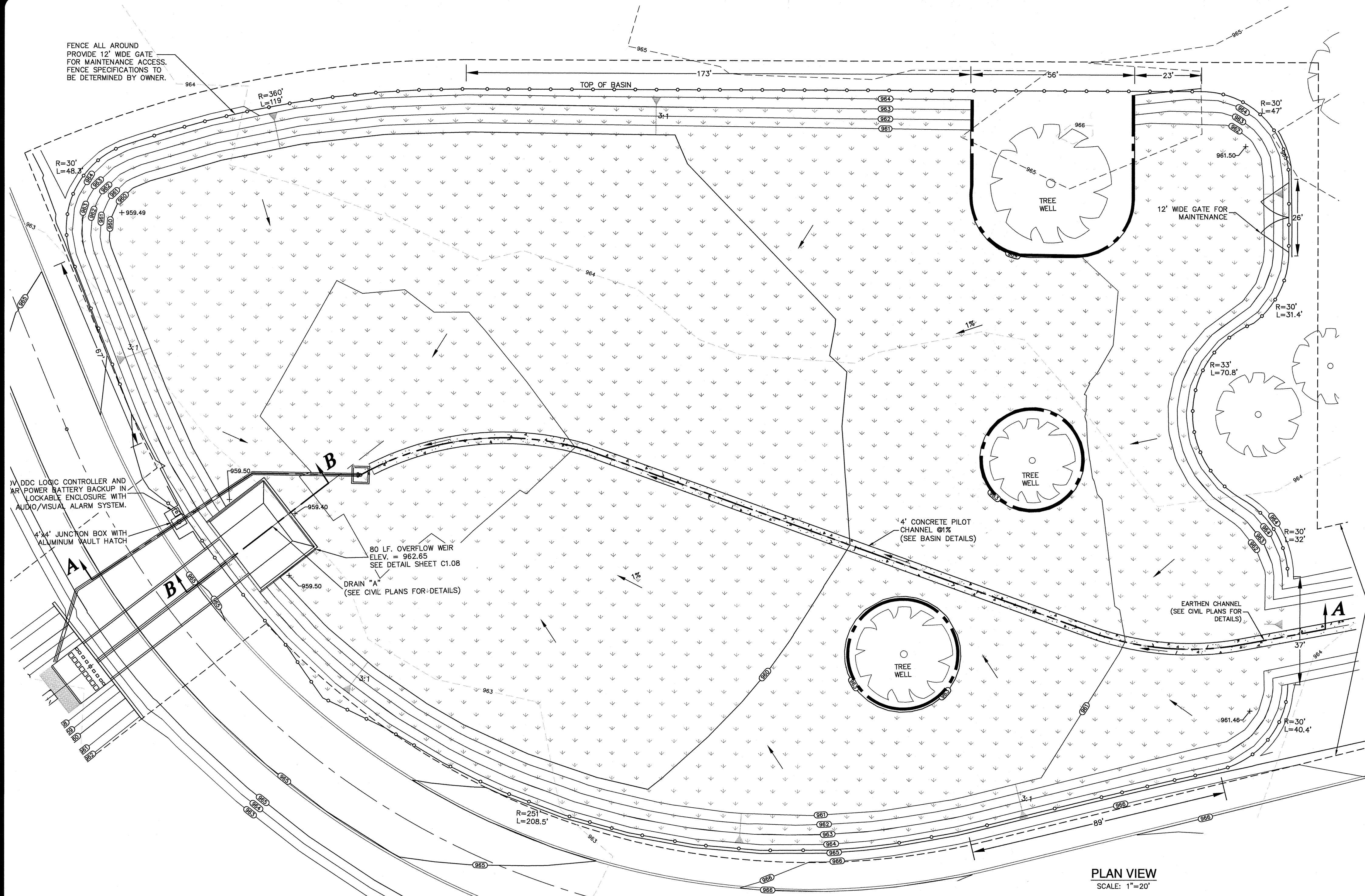
On January 17, 2025, the Texas Commission on Environmental Quality approved Merc Phase I CZP modification (EAPP ID 13002033). The total project area for this development is approximately 10.75 acres. The proposed project includes the construction of three retail buildings with approximately 34,303 sf gross and associated site improvements. There will be surface parking for vehicles and drive lanes. Access to the site will be through three driveways, one from UTSA Blvd and two from University Pass. One of the driveways to UTSA Blvd is an already existing paved driveway and was included in the Schumacher – UTSA Blvd/IH-10 114.2-Acre tract CZP approved on June 22, 2017. Approximately 3.86 acres of impervious cover is proposed to be added and will be treated in Basin "A" with 0.03 acres of impervious cover in this project being over treated by the existing batch detention Basin "A" (EAPP ID 13000390).

On April 25, 2025, the Texas Commission on Environmental Quality approved the Par 3 CZP modification (EAPP ID 13002070). The approval letter included clearing and grading with fill dirt material approximately 11.44 acres. No impervious cover was added and no treatment was provided.

The proposed modification to the CZP is to include the construction of a common area with clubhouse, drive aisles with parking areas, tee boxes and golf greens for the Park Golf UTSA development. Putting greens and fairways for holes 1 through 9 will be grass. Putting green for hole 10 will be turf and the fairway will be grass. All tee boxes will be turf. The total project area for this development is approximately 25.104 acres. Access to the site will be through two driveways with direct access to UTSA Blvd. The project will add 144,865 square feet (3.326 acres) of impervious cover. The total impervious cover is 13.25% of the site. As discussed in Chapter 3 of RG-348, the increase in impervious cover is less than 20%; therefore, the owner is requesting waiver of installing a permanent water quality feature to treat the increase in impervious cover. The putting greens and tee boxes will be surrounded by natural vegetation. Vegetated Filter Strips will treat runoff from these areas

Attachment "C" – Current Site Plan of Approved Project

See the following plans:



NOTES TO CONTRACTOR
(EACH PHASE OF BASIN CONSTRUCTION)

- 1. CONTRACTOR IS ADVISED THAT TCEQ DOES NOT ALLOW CHANGES TO PERMANENT POLLUTION ABATEMENT MEASURES WITHOUT THEIR PRIOR APPROVAL.
- 2. CONTRACTOR SHALL NOTIFY CERTIFYING ENGINEER WHEN BASIN CONSTRUCTION HAS PROCEEDED TO THE FOLLOWING MILESTONES:
 - a.) REINFORCING STEEL FOR BASIN OVERFLOW WALL OR RIPRAP PILOT CHANNEL HAS BEEN SET, CONCRETE HAS NOT BEEN PLACED AND DRAIN PIPE IS IN PLACE. CONTRACTOR SHALL PROVIDE ENGINEER WITH SURVEY DATA WHICH DEMONSTRATES THE RISER PIPE HAS BEEN SET AT PROPER ELEVATION AND GRADE.
 - b.) BASIN HAS BEEN COMPLETELY FINISHED INCLUDING SOD OR SEED PLACEMENT ON SIDE SLOPES (WHERE APPLICABLE).
- 3. WORK SHALL NOT CONTINUE ON THE BASIN UNTIL THE ENGINEER HAS HAD AN OPPORTUNITY TO OBSERVE THE STATUS OF CONSTRUCTION AT EACH STAGE. CONTRACTOR SHALL PROVIDE ENGINEER A MINIMUM OF 24 HOURS ADVANCE NOTICE PRIOR TO TIME THE BASIN WILL BE AT THE REQUIRED STAGE.
- 4. UPON SUBSTANTIAL COMPLETION, OR AS REQUESTED BY ENGINEER, CONTRACTOR TO PROVIDE CERTIFYING ENGINEER WITH FIELD SHOTS VERIFYING ELEVATIONS OF THE FOLLOWING:
 - TOP OF BANK/WALL AT EACH CORNER OF BASIN
 - TOE OF SLOPE AT EACH CORNER OF BASIN (INSIDE BASIN TOE)
 - SPLASH PAD/INLET PIPES
 - OVERFLOW WEIRS
- 5. BEFORE FINAL ACCEPTANCE OF CONSTRUCTION BY THE OWNER, THE CONTRACTOR WILL REMOVE ALL TRASH, DEBRIS, AND ACCUMULATED SILT FROM THE BASINS AND REESTABLISH THEM TO THE PROPER OPERATING CONDITION.
- 6. THE MINIMUM DRAIN TIME FOR A FULL BASIN IS 32 HOURS. THE CONTRACTOR SHALL RESTRICT THE FLOW THROUGH THE BASIN BY ADJUSTING THE GATE VALVE ON THE DISCHARGE PIPE SO AS TO PROVIDE THE MINIMUM 32 HOUR DRAIN-DOWN TIME.

NOTES:

- 1. CONTRACTOR SHALL INSTALL AND ESTABLISH VEGETATION IN BASIN PER BASIN DETAIL SHEET PRIOR TO SITE CLOSEOUT.
- 2. UPON COMPLETION OF CONSTRUCTION, AND IN ACCORDANCE WITH TCEQ REGULATIONS, ALL PERMANENT BMP'S (FILTERSTRIPS AND BASIN) MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.
- 3. ALL AREAS DISTURBED AS PART OF CONSTRUCTION OF BASIN SHALL BE REVEGETATED PRIOR TO COMPLETION.

LEGEND:

- - - - - 700 - - - - - EXISTING 5' CONTOURS
- - - - - 701 - - - - - EXISTING 1' CONTOURS
- - - - - 655 - - - - - PROPOSED CONTOURS
- (Tree symbol) TREE TO REMAIN
- - - - - PROPOSED RETAINING WALL

SEQUENCE OF OPERATION

1. UPON ACTIVATION OF FLOAT SWITCH, DDC CONTROLLER TO START DETENTION TIMER #1.
2. DETENTION TIMER #1 TO BE MANUALLY SET TO 12 HOURS AND TO BE USER ADJUSTABLE VALUE.
3. WHEN DETENTION TIMER #1 HAS ELAPSED, A 12" BUTTERFLY VALVE IS TO OPEN AND RELEASE DETAINED WATER BASIN.
4. UPON DEACTIVATION OF FLOAT SWITCH, DDC CONTROLLER TO START DETENTION TIMER #2.
5. DETENTION TIMER #2 TO BE MANUALLY SET TO 32 HOURS AND TO BE USER ADJUSTABLE.
6. WHEN DETENTION TIMER #2 HAS ELAPSED, THE 12" BUTTERFLY VALVE IS TO CLOSE.
7. VALVE TO BE ACTUATED PERIODICALLY TO SHOW ACTIVE REGARDLESS OF FLOAT SWITCH OPERATION.

NOTES

1. CONTRACTOR SHALL ENGAGE A TEXAS LICENSED STRUCTURAL ENGINEER TO PROVIDE A SIGNED AND SEALED SET OF STRUCTURAL PLANS, DETAILS AND SPECIFICATION FOR THE STRUCTURAL COMPONENTS OF THE POLLUTION ABATEMENT BASIN INCLUDING INLET DISCHARGE AND BYPASS COMPONENTS. CONTRACTOR SHALL ALSO PROVIDE FOR STRUCTURAL ENGINEER'S INSPECTION DURING BASIN CONSTRUCTION AND STRUCTURAL ENGINEER'S CONSTRUCTION CERTIFICATION UPON COMPLETION OF BASIN.
2. UPON COMPLETION OF CONSTRUCTION, AND IN ACCORDANCE WITH TCEQ REGULATIONS, ALL PERMANENT BMP'S MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.
3. ALL AREAS DISTURBED AS PART OF CONSTRUCTION OF BASIN SHALL BE REVEGETATED PRIOR TO COMPLETION.
4. BASIN HAS BEEN DESIGNED USING TSS REMOVAL AND BMP SIZING CALCULATIONS AS PER THE TCEQ TGM RG-348 (2005).
5. BASIN PLAN DEPICTS MINIMUM INTERIOR DIMENSIONS (LENGTH, WIDTH & HEIGHT FOR TCEQ REVIEW & APPROVAL. ACTUAL STRUCTURAL PLANS FOR CONSTRUCTION TO BE DESIGNED BY STRUCTURAL ENGINEER AT A LATER DATE.
6. BASIN DRAWDOWN IS CONTROLLED BY THE 12" PVC PIPE. BASIN DRAWDOWN WILL OCCUR IN APPROXIMATELY 32 HOURS.
7. CONTRACTOR TO SET THE VALVE POSITION TO FULLY OPEN.

OVERFLOW WEIR CALCULATIONS

$$Q_{as} = (C_w)(L)(h)^{3/2}$$

$$Q_{as} = 237.9 \text{ cfs}$$

$$C = 3.087$$

$$L = 78 \text{ ft}$$

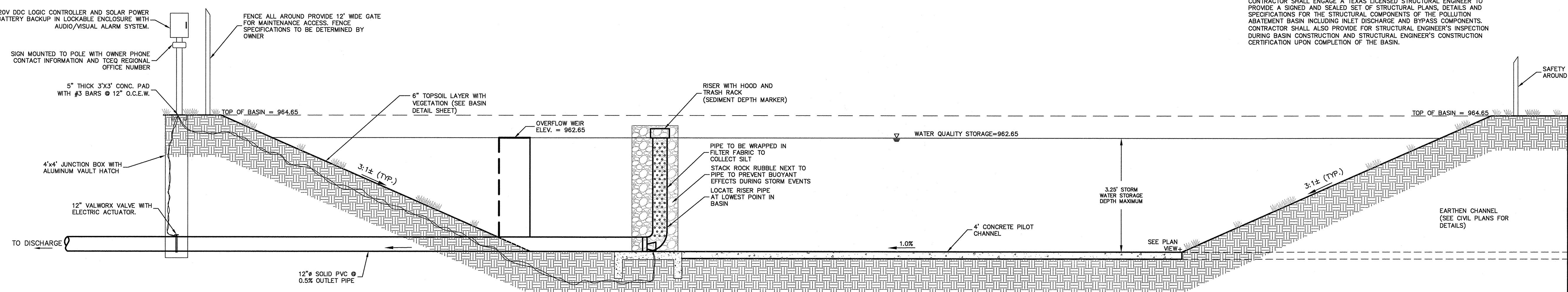
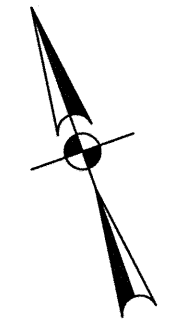
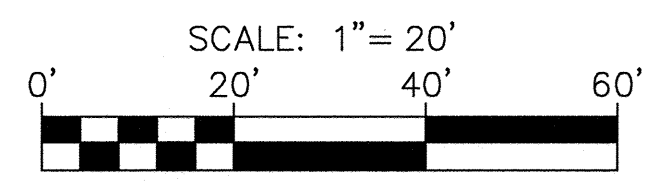
$$g1 = (3.087)(85)(h)^{3/2}$$

$$h = 1 \text{ ft}$$

BASIN DESIGN DATA

BASIN WATERSHED AREA	= 2,280,366 SF (52.35 AC.)
RUN OFF DEPTH	= 1.20 INCH
REQUIRED CAPTURE VOLUME	= 34,807 CF
REQUIRED SAND AREA	= N/A
BASIN STORM WATER DEPTH	= 3.25 FT
BASIN CAPTURE VOLUME	= 199,121 CF
BASIN SAND AREA	= N/A

PLAN VIEW
SCALE: 1"=20'



SECTION A-A
NOT TO SCALE

NOTE:
CONTRACTOR SHALL ENGAGE A TEXAS LICENSED STRUCTURAL ENGINEER TO PROVIDE A SIGNED AND SEALED SET OF STRUCTURAL PLANS, DETAILS AND SPECIFICATIONS FOR THE STRUCTURAL COMPONENTS OF THE POLLUTION ABATEMENT BASIN INCLUDING INLET DISCHARGE AND BYPASS COMPONENTS. CONTRACTOR SHALL ALSO PROVIDE FOR STRUCTURAL ENGINEER'S INSPECTION DURING BASIN CONSTRUCTION AND STRUCTURAL ENGINEER'S CONSTRUCTION CERTIFICATION UPON COMPLETION OF THE BASIN.

THE ENGINEERING SEAL HAS BEEN AFFIXED TO THIS SHEET ONLY FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE WITH THE POLLUTION ABATEMENT SIZING AND TREATMENT REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY'S EDWARDS AQUIFER TECHNICAL GUIDANCE MANUAL.

THIS SHEET HAS BEEN PREPARED FOR PURPOSES OF POLLUTION ABATEMENT ONLY. ALL OTHER CIVIL ENGINEERING RELATED INFORMATION SHOULD BE ACQUIRED FROM THE APPROPRIATE SHEET IN THE CIVIL IMPROVEMENT PLANS.

EXHIBIT 4

DATE

NO.

REVISION

PAPE-DAWSON
ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.8000
TXPE FIRM REGISTRATION #470 | TPELS FIRM REGISTRATION #10058600

CONNECTOR ROAD
SAN ANTONIO, TEXAS

CONTRIBUTING ZONE PLAN
WATER QUALITY BASIN

PLAT NO. 170273

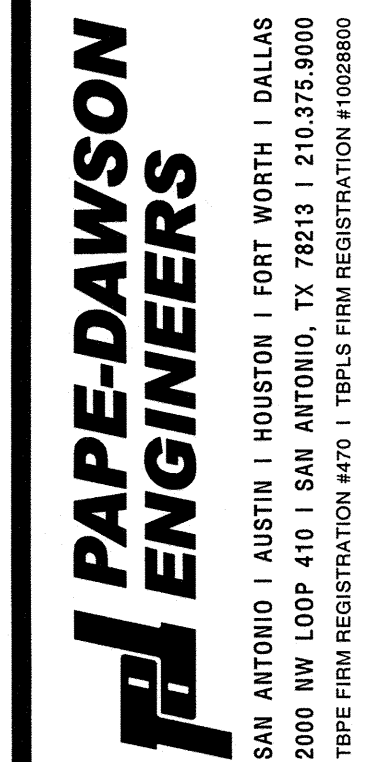
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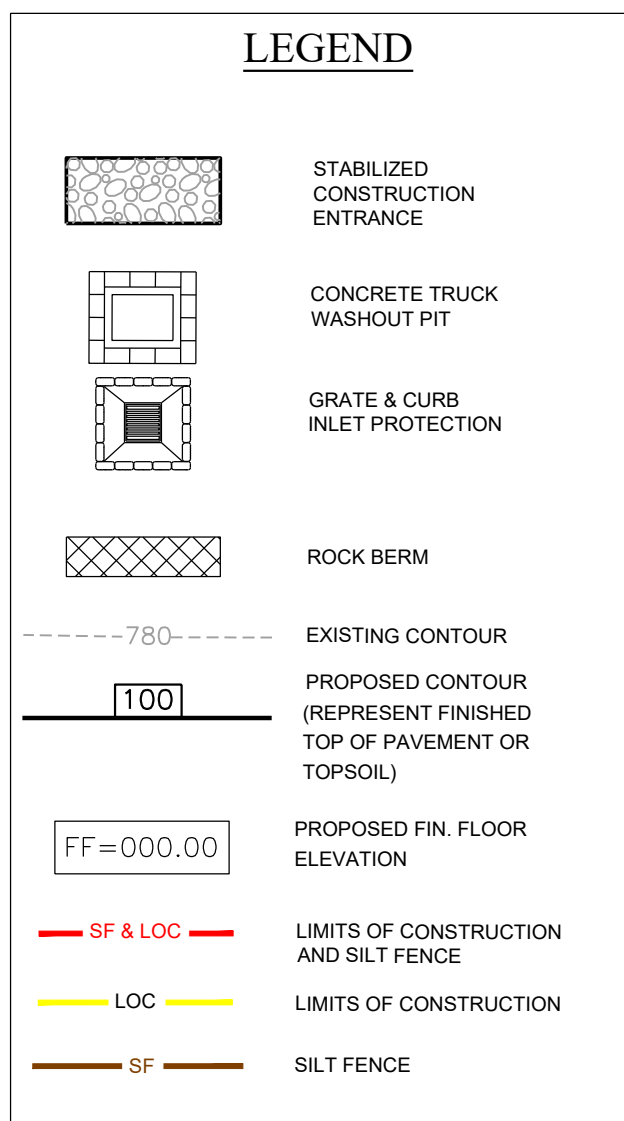
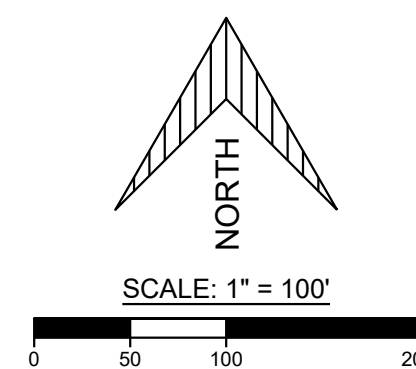
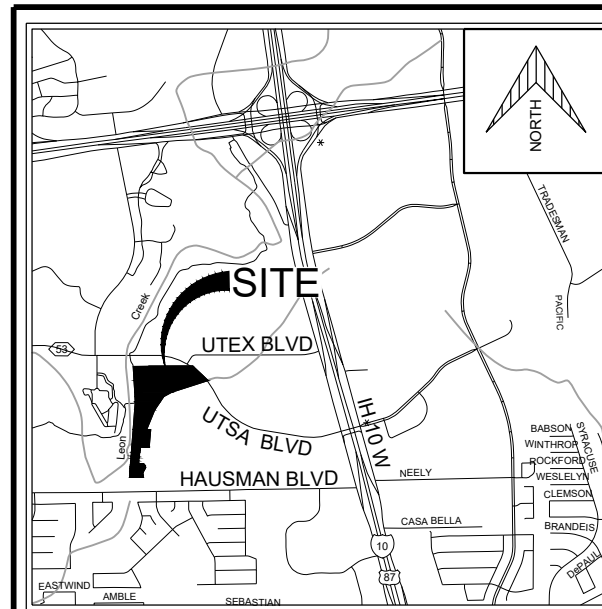
DATE JANUARY 2017

DESIGNER BL

CHECKED JD DRAWN EP

SHEET C1.06





<p>PERMANENT STABILIZATION METHODS</p> <ol style="list-style-type: none"> 1. SODDING, SEEDING, HYDROMULCH
<p>TEMPORARY STABILIZATION METHODS:</p> <ol style="list-style-type: none"> 1. STABILIZED CONSTRUCTION ENTRANCE 2. DRAIN INLET PROTECTION 3. SILT FENCING 4. CONCRETE WASHOUT PIT

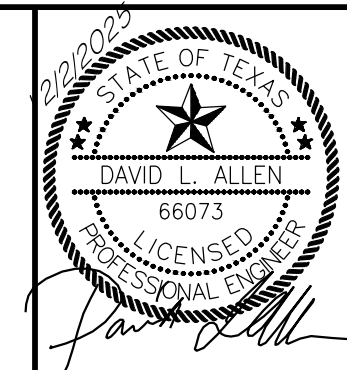
TEMPORARY STABILIZATION METHODS:

1. STABILIZED CONSTRUCTION ENTRANCE
2. DRAIN INLET PROTECTION
3. SILT FENCING
4. CONCRETE WASHOUT PIT

PERMANENT STABILIZATION METHOD:
AREAS OF DISTURBANCE TO BE
REVEGETATED BY CONTRACTOR WITH
GRASSES SIMILAR TO THE EXISTING GRASS.

THIS SHEET TO BE
USED FOR EROSION
CONTROL PURPOSES
ONLY.

NOTE
ALL AREAS WITHIN PROPERTY ARE EXPECTED TO BE DISTURBED AND STABILIZED. EXAMPLES OF ACCEPTABLE TEMPORARY AND PERMANENT SOIL STABILIZATION MEASURES ARE ESTABLISHMENT OF TEMPORARY VEGETATION, ESTABLISHMENT OF PERMANENT VEGETATION, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PROTECTION OF TREES, OR PRESERVATION OF MATURE VEGETATION. THE SOIL STABILIZATION METHOD USED IN THIS PROJECT SHALL BE AN APPROVED METHOD WITHIN THE TCEQ TECHNICAL GUIDANCE MANUAL AND MUST BE APPROVED BY MBC ENGINEERS BEFORE IT IS IMPLEMENTED IN THE PROJECT. THE METHOD OF SOIL STABILIZATION APPROVED FOR THE PROJECT AT BID STAGE WILL THEN BE SENT TO TCEQ FOR THEIR RECORDS.



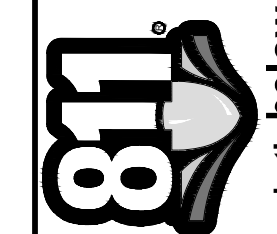
PRIMARY CONTACT:
RICHARD HENDRIX, P.E.

MACINA • BOSE • COPELAND & ASSOC., INC.
CONSULTING ENGINEERS AND LAND SURVEYORS

1035 Central Parkway North, San Antonio, Texas 78232
(210) 545-1122 Fax (210) 545-9302 www.mibosengineers.com
FIRM REGISTRATION NUMBER: T B P E - F 784 T B P L S - 10011700



PARK GOLF UTSA
COMMERCIAL BUILDING
UTSA BLVD
SAN ANTONIO, TEXAS, 78249



Know what's below.
Call before you dig.

[illegible]

PLAT ID#: 05 11000110

25-11800142

	JOB NO.
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33732-0975

ISSUED FOR:
TCEQ

DATE:

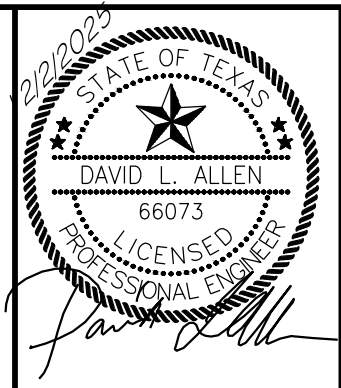
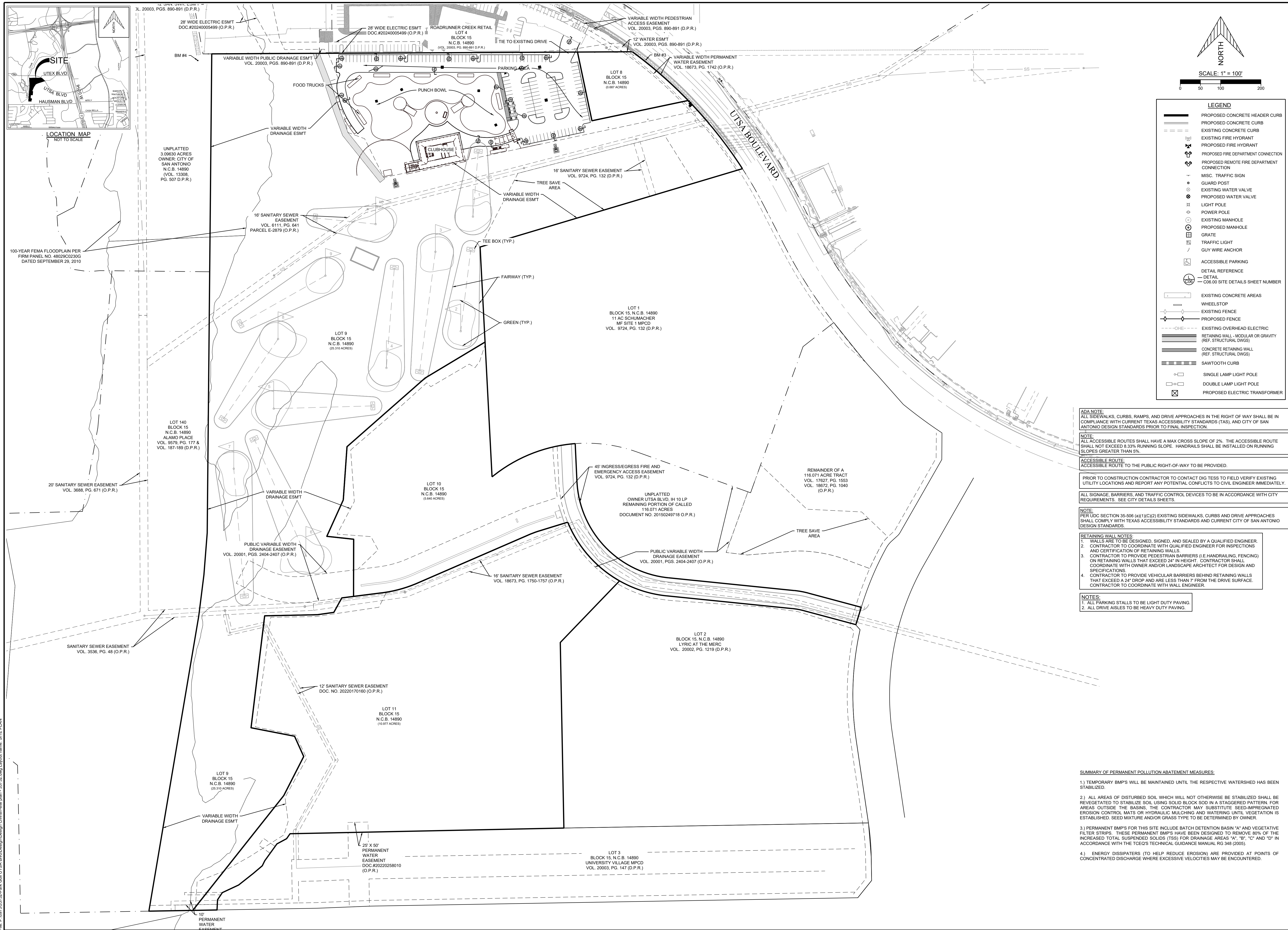
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EROSION
CONTROL
PLAN

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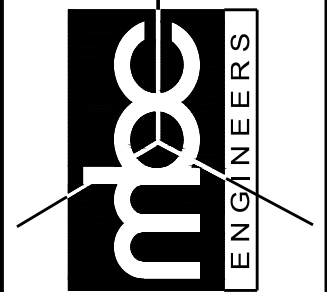
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PRIMARY CONTACT:
RICHARD HENDRIX, P.E.

MACINA • BOSE • COPELAND & ASSOC., INC.
CONSULTING ENGINEERS AND LAND SURVEYORS

1035 Central Parkway North, San Antonio, Texas 78232
(210) 345-1122 Fax (210) 545-9302 www.mbcengineers.com
FIRM REGISTRATION NUMBER: T & P E, F-784 & T B P L S, 10011700



PARK GOLF UTSA
COMMERCIAL BUILDING
UTSA BLVD
SAN ANTONIO, TEXAS, 78249



**Know what's below.
Call before you dig.**

[illegible]

PLAT ID#:									
25-11800142									

JOB NO.
33732-0975

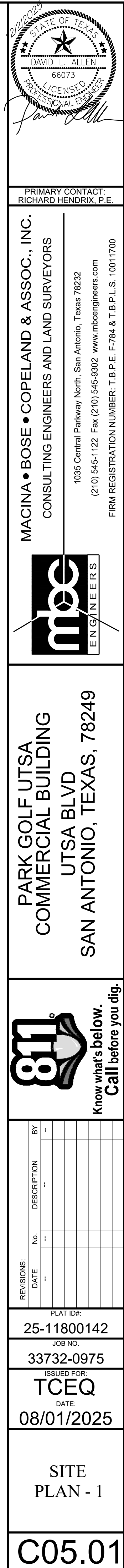
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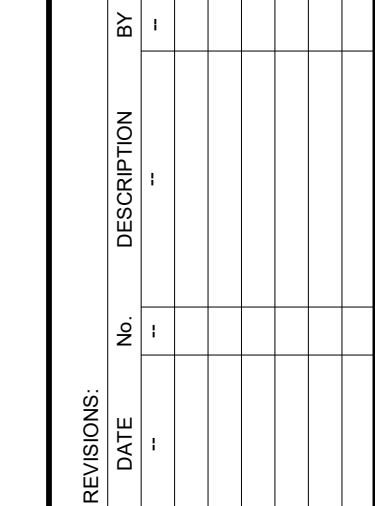
DATE:
08/01/2025

OVERALL SITE PLAN

C05.00

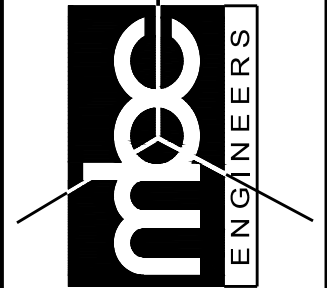
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SITE
PLAN - 2

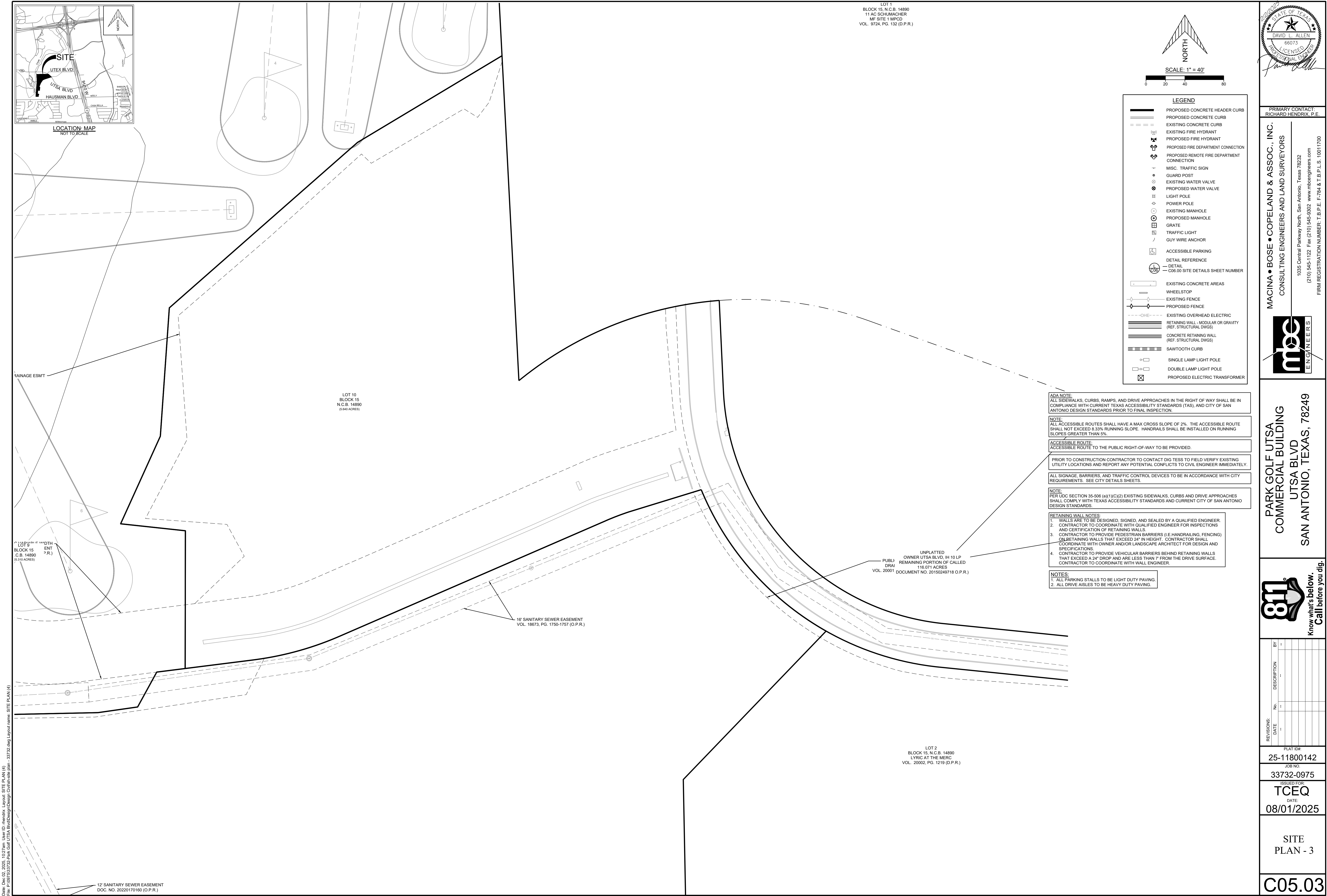
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PARK GOLF UTSA
COMMERCIAL BUILDING
UTSA BLVD
SAN ANTONIO, TEXAS, 78249



**Know what's below.
Call before you**



LOT 1
BLOCK 15, N.C.B. 14890
MF SITE 1 MPD
VOL. 9724, PG. 132 (D.P.R.)

LOT 10
BLOCK 15
N.C.B. 14890
(5.640 ACRES)

LOT 9
BLOCK 15
N.C.B. 14890
(5.310 ACRES)

LOT 2
BLOCK 15, N.C.B. 14890
LYRIC AT THE MERC
VOL. 20002, PG. 1219 (D.P.R.)

RAINAGE ESMT

16' SANITARY SEWER EASEMENT
VOL. 18673, PG. 1750-1757 (O.P.R.)

12' SANITARY SEWER EASEMENT
DOC. NO. 20220170160 (O.P.R.)

UNPLATTED
OWNER UTSA BLVD. 1H 10 LP
REMAINING PORTION OF CALLED
116.071 ACRES
PUBLI
DRAI
VOL. 20001 DOCUMENT NO. 20150249718 (O.P.R.)

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File: P:\0975\33732-Park Golf UTSA Blvd\Design\Design Civil\Site plan - 33732.dwg Layout name: SITE PLAN (4)

LEGEND

- PROPOSED CONCRETE HEADER CURB
- PROPOSED CONCRETE CURB
- EXISTING CONCRETE CURB
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED REMOTE FIRE DEPARTMENT CONNECTION
- MISC. TRAFFIC SIGN
- GUARD POST
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- LIGHT POLE
- POWER POLE
- EXISTING MANHOLE
- PROPOSED MANHOLE
- GRATE
- TRAFFIC LIGHT
- GUY WIRE ANCHOR
- ACCESSIBLE PARKING
- DETAIL REFERENCE
- DETAIL
- C05.00 SITE DETAILS SHEET NUMBER
- EXISTING CONCRETE AREAS
- WHEELSTOP
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING OVERHEAD ELECTRIC
- RETAINING WALL - MODULAR OR GRAVITY (REF. STRUCTURAL DWGS)
- CONCRETE RETAINING WALL (REF. STRUCTURAL DWGS)
- SAWTOOTH CURB
- SINGLE LAMP LIGHT POLE
- DOUBLE LAMP LIGHT POLE
- PROPOSED ELECTRIC TRANSFORMER

ADA NOTE:
ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS (TAS), AND CITY OF SAN ANTONIO DESIGN STANDARDS PRIOR TO FINAL INSPECTION.

NOTE:
ALL ACCESSIBLE ROUTES SHALL HAVE A MAX CROSS SLOPE OF 2%. THE ACCESSIBLE ROUTE SHALL NOT EXCEED 8.33% RUNNING SLOPE. HANDRAILS SHALL BE INSTALLED ON RUNNING SLOPES GREATER THAN 8%.

ACCESSIBLE ROUTE:
ACCESSIBLE ROUTE TO THE PUBLIC RIGHT-OF-WAY TO BE PROVIDED.

PRIOR TO CONSTRUCTION CONTRACTOR TO CONTACT DIG TESS TO FIELD VERIFY EXISTING UTILITY LOCATIONS AND REPORT ANY POTENTIAL CONFLICTS TO CIVIL ENGINEER IMMEDIATELY.

ALL SIGNAGE, BARRIERS, AND TRAFFIC CONTROL DEVICES TO BE IN ACCORDANCE WITH CITY REQUIREMENTS. SEE CITY DETAILS SHEETS.

NOTE:
PER UDC SECTION 35-506 (a)(1)(C)(2) EXISTING SIDEWALKS, CURBS AND DRIVE APPROACHES SHALL COMPLY WITH TEXAS ACCESSIBILITY STANDARDS AND CURRENT CITY OF SAN ANTONIO DESIGN STANDARDS.

RETAINING WALL NOTES:
1. WALLS ARE TO BE DESIGNED, SIGNED, AND SEALED BY A QUALIFIED ENGINEER.
2. CONTRACTOR TO COORDINATE WITH QUALIFIED ENGINEER FOR INSPECTIONS AND CERTIFICATION OF RETAINING WALLS.
3. CONTRACTOR TO PROVIDE PEDESTRIAN BARRIERS (I.E. HANDRAILING, FENCING) ON RETAINING WALLS THAT EXCEED 24" IN HEIGHT. CONTRACTOR SHALL COORDINATE WITH OWNER AND/OR LANDSCAPE ARCHITECT FOR DESIGN AND SPECIFICATIONS.
4. CONTRACTOR TO PROVIDE VEHICULAR BARRIERS BEHIND RETAINING WALLS THAT EXCEED A 24" DROP AND ARE LESS THAN 7' FROM THE DRIVE SURFACE. CONTRACTOR TO COORDINATE WITH WALL ENGINEER.

NOTES:
1. ALL PARKING STALLS TO BE LIGHT DUTY PAVING.
2. ALL DRIVE AISLES TO BE HEAVY DUTY PAVING.

2/2/2025
STATE OF TEXAS
DAVID L. ALLEN
66073
LICENSED PROFESSIONAL ENGINEER
San Antonio, Texas

PRIMARY CONTACT:
RICHARD HENDRIX, P.E.

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FIRM REGISTRATION NUMBER: T.B.P.E. F-784 & T.B.P.L.S. 10011700

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PLAT ID#:
25-11800142

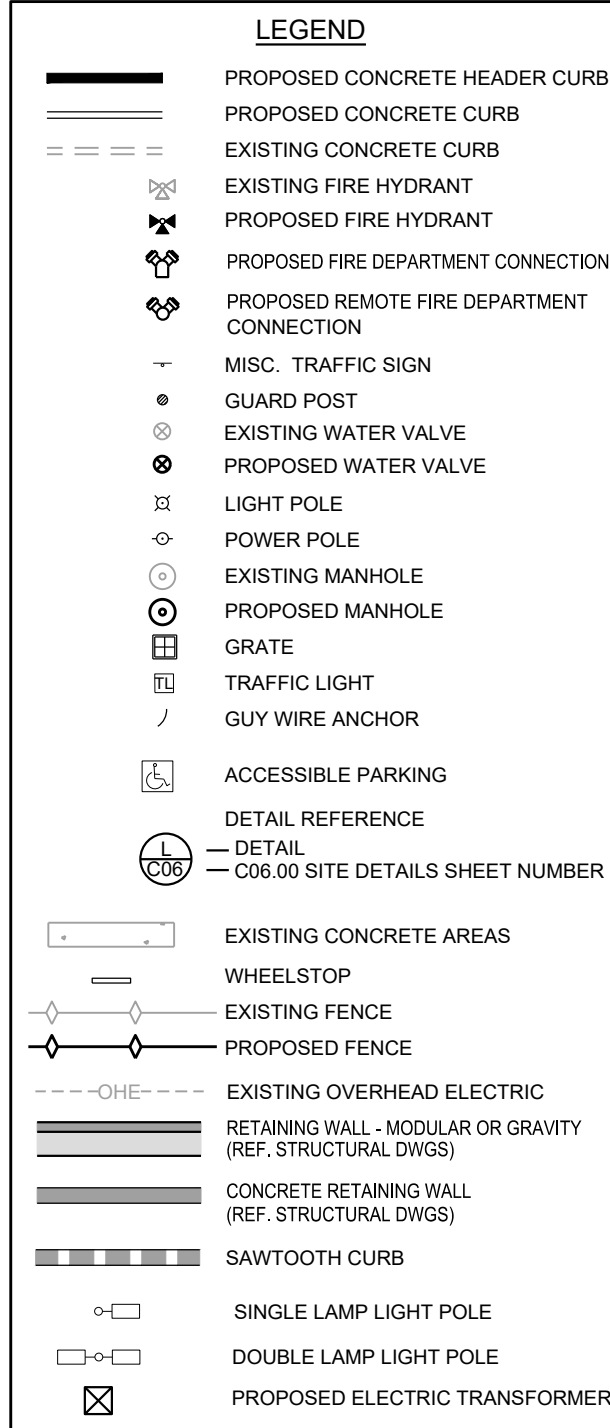
JOB NO.
33732-0975

ISSUED FOR:
TCEQ

DATE:
08/01/2025

SITE
PLAN - 3

C05.03

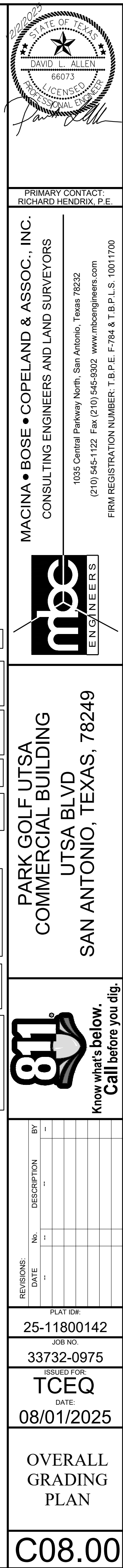


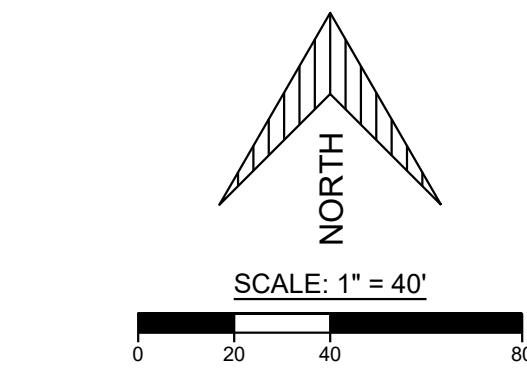
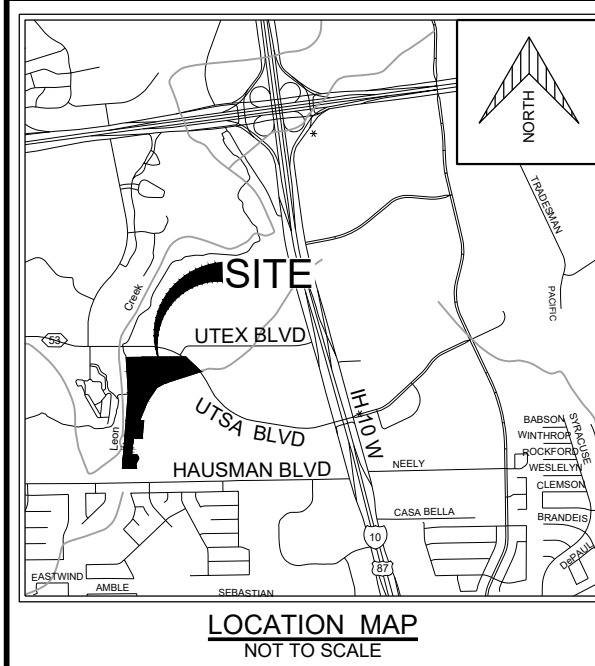
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- 100-YEAR FEMA FLOODPLAIN PER
FIRM PANEL NO. 48029C0230G
DATED SEPTEMBER 29, 2010

SANITARY SEWER EASEMENT
VOL. 3536, PG. 48 (O.P.R.)





LEGEND

EXISTING TOP OF CURB
AND GUTTER ELEVATIONS

EXISTING SPOUT ELEVATION

PROPOSED CONTOUR
(REPRESENT FINISHED TOP
OF PAVEMENT OR TOPSOIL)

EXISTING CONTOUR

PROPOSED RIDGE

DEFINED SWALE

PROPOSED FIN. FLOOR ELEVATION

PROPOSED "FLOORING GARAGE"

PROPOSED DRAINAGE BREAKS

OVERLAND FLOW DIRECTION

BENCHMARK

GRATE

PROPOSED STORM DRAIN

EXISTING STORM DRAIN

PROPOSED POND INVERT

PROPOSED TOP OF RETAINING WALL

PROPOSED BOTTOM OF RETAINING WALL

TOP OF CURB

FLATWORK

ASPHALT, CONCRETE, GRASS, ETC.

RETAINING WALL - MODULAR OR GRAVITY
(REF. STRUCTURAL DWGS)

CONCRETE RETAINING WALL
(REF. STRUCTURAL DWGS)

SAWTOOTH CURB

ADA ROUTE

LIMITS OF GRADING

NOTE:
NO GRADING WITHIN TREE ROOT PROTECTION ZONE

ADA NOTE:
ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS (TAS), BEXAR COUNTY AND CITY OF SAN ANTONIO DESIGN STANDARDS PRIOR TO FINAL INSPECTION.

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GRADING NOTES:
CONTRACTOR TO MAINTAIN POSITIVE SITE DRAINAGE AWAY FROM
BUILDING AT ALL TIMES.

NOTE:
CONTRACTOR TO LOCATE AND FIELD VERIFY ALL EXISTING UTILITIES INCLUDING, BUT NOT LIMITED TO, WATER LINES, GAS LINES, SEWER LINES AND ELECTRIC LINES.

EXISTING NATURAL OR MAN MADE DRAINAGE CONVEYANCE
ONTO PROPERTY CANNOT BE BLOCKED

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY PLAN AND CONSIDER EXISTING AND PROPOSED DRAINAGE PATTERNS DURING THE CONSTRUCTION OF THE PROJECT. IN ORDER TO ACCOMPLISH THIS, IT MAY BE NECESSARY TO PHASE THE GRADING, CONSTRUCT TEMPORARY BERMS AND SWALES WHILE FACTORING IN SURROUNDING CONDITIONS TO PROPERLY DIRECT AND CONTROL SURFACE RUNOFF. ADDITIONALLY, THE CONTRACTOR SHOULD TAKE INTO ACCOUNT THE TIMING OF CONSTRUCTING PONDS, CHANNELS AND STORM DRAINAGE SYSTEMS.


NOTE:
RE-VEGETATE ALL DISTURBED AREAS BY SEEDING WITH A
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ic.

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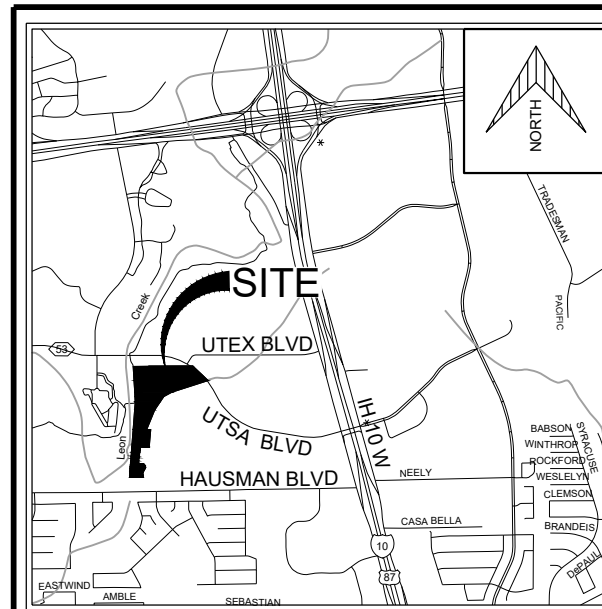
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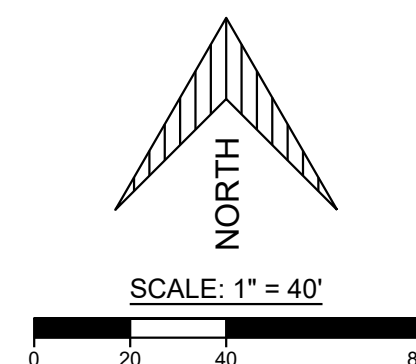
DATE:
08/01/2025

GRADING
PLAN - 2

C08.02



LOT 1
BLOCK 15, N.C.B. 14890
11 AC SCHUMACHER
MF SITE 1 MPCD
VOL. 9724, PG. 132 (D.P.R.)



PRIMARY CONTACT:
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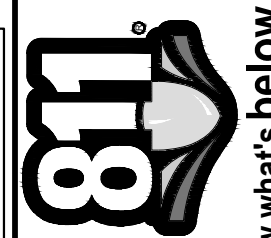
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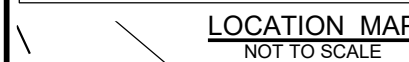
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08/01/2025

GRADING
PLAN - 3

C08.03

Date: Dec 02, 2025, 10:29am User ID: rhendrix Layout: GRADING PLAN (4)
File: P:\0975\33732-Park Golf UTSA Blvd\Design\Design Civil\sh-grading plan - 33732.dwg Layout name: GRADING PLAN (4)



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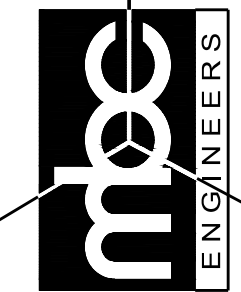
PRIMARY CONTACT:
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U.

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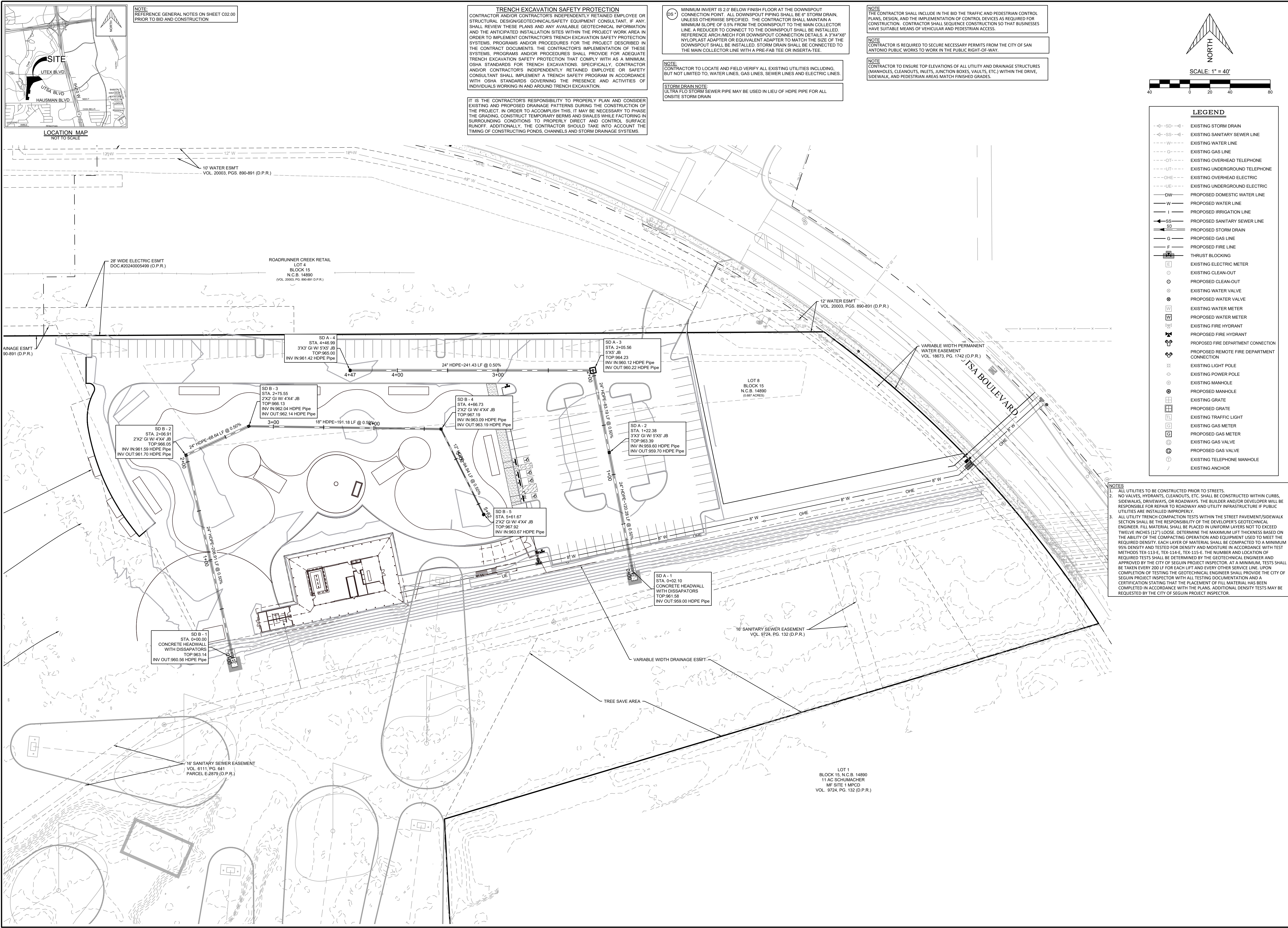
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GRADING
PLAN - 4

C08.04



NOTE:
REFERENCE GENERAL NOTES ON SHEET C02.00
PRIOR TO BID AND CONSTRUCTION

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTORS, INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY PLAN AND CONSIDER EXISTING AND PROPOSED DRAINAGE PATTERNS DURING THE CONSTRUCTION OF THE PROJECT. IN ORDER TO ACCOMPLISH THIS, IT MAY BE NECESSARY TO PHASE THE GRADING, CONSTRUCT TEMPORARY BERMS AND SWALES WHILE FACTORING IN SURROUNDING CONDITIONS TO PROPERLY DIRECT AND CONTROL SURFACE RUNOFF. ADDITIONALLY, THE CONTRACTOR SHOULD TAKE INTO ACCOUNT THE TIMING OF CONSTRUCTING PONDS, CHANNELS AND STORM DRAINAGE SYSTEMS.

MINIMUM INVERT IS 2.0' BELOW FINISH FLOOR AT THE DOWNSPOUT CONNECTION POINT. ALL DOWNSPOUT PIPING SHALL BE 6" STORM DRAIN, UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL MAINTAIN A MINIMUM SLOPE OF 0.5% FROM THE DOWNSPOUT TO THE MAIN COLLECTOR LINE. A REDUCER TO CONNECT TO THE DOWNSPOUT SHALL BE INSTALLED. REFERENCE ARCH.MECH FOR DOWNSPOUT CONNECTION DETAILS. A 3"x4"x6" NYLON LAST ADAPTER OR EQUIVALENT ADAPTER TO MATCH THE SIZE OF THE DOWNSPOUT SHALL BE INSTALLED. STORM DRAIN SHALL BE CONNECTED TO THE MAIN COLLECTOR LINE WITH A PRE-FAB TEE OR INSERT-A-TEE.

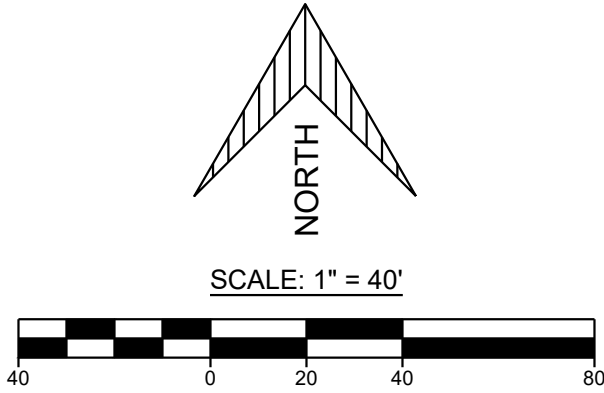
NOTE:
CONTRACTOR TO LOCATE AND FIELD VERIFY ALL EXISTING UTILITIES INCLUDING, BUT NOT LIMITED TO, WATER LINES, GAS LINES, SEWER LINES AND ELECTRIC LINES.

STORM DRAIN NOTE:
ULTRA FLO STORM SEWER PIPE MAY BE USED IN LIEU OF HDPE PIPE FOR ALL ONSITE STORM DRAIN

NOTE:
THE CONTRACTOR SHALL INCLUDE IN THE BID THE TRAFFIC AND PEDESTRIAN CONTROL PLANS, DESIGN, AND THE IMPLEMENTATION OF CONTROL DEVICES AS REQUIRED FOR CONSTRUCTION. CONTRACTOR SHALL SEQUENCE CONSTRUCTION SO THAT BUSINESSES HAVE SUITABLE MEANS OF VEHICULAR AND PEDESTRIAN ACCESS.

NOTE:
CONTRACTOR IS REQUIRED TO SECURE NECESSARY PERMITS FROM THE CITY OF SAN ANTONIO PUBLIC WORKS TO WORK IN THE PUBLIC RIGHT-OF-WAY.

NOTE:
CONTRACTOR TO ENSURE TOP ELEVATIONS OF ALL UTILITY AND DRAINAGE STRUCTURES (MANHOLES, CLEANOUTS, INLETS, JUNCTION BOXES, VAULTS, ETC.) WITHIN THE DRIVE, SIDEWALK, AND PEDESTRIAN AREAS MATCH FINISHED GRADES.



LEGEND	
	EXISTING STORM DRAIN
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD TELEPHONE
	EXISTING UNDERGROUND TELEPHONE
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	PROPOSED DOMESTIC WATER LINE
	PROPOSED WATER LINE
	PROPOSED IRRIGATION LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED STORM DRAIN
	PROPOSED GAS LINE
	PROPOSED FIRE LINE
	THRUST BLOCKING
	EXISTING ELECTRIC METER
	EXISTING CLEAN-OUT
	PROPOSED CLEAN-OUT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING WATER METER
	PROPOSED WATER METER
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED REMOTE FIRE DEPARTMENT CONNECTION
	EXISTING LIGHT POLE
	EXISTING POWER POLE
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING GRATE
	PROPOSED GRATE
	EXISTING TRAFFIC LIGHT
	EXISTING GAS METER
	PROPOSED GAS METER
	EXISTING GAS VALVE
	PROPOSED GAS VALVE
	EXISTING TELEPHONE MANHOLE
	EXISTING ANCHOR

NOTES
1. ALL UTILITIES TO BE CONSTRUCTED PRIOR TO STREETS.
2. NO VALVES, HYDRANTS, CLEANOUTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS, DRIVEWAYS, OR ROADWAYS. THE BUILDER AND/OR DEVELOPER WILL BE RESPONSIBLE FOR REPAIR TO ROADWAY AND UTILITY INFRASTRUCTURE IF PUBLIC UTILITIES ARE INSTALLED IMPROPERLY.
3. ALL UTILITY TRENCH COMPACTION TESTS WITHIN THE STREET PAVEMENT/SIDEWALK SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEOTECHNICAL ENGINEER. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") THICK. DETERMINE THE MAXIMUM LIFT THICKNESS BASED ON THE ABILITY OF THE COMPACTION OPERATION AND EQUIPMENT USED TO MEET THE REQUIRED DENSITY. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF SEGUIN PROJECT INSPECTOR. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY 200 LF FOR EACH LIFT AND EVERY OTHER SERVICE LINE. UPON COMPLETION OF TESTING THE GEOTECHNICAL ENGINEER SHALL PROVIDE THE CITY OF SEGUIN PROJECT INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. ADDITIONAL DENSITY TESTS MAY BE REQUESTED BY THE CITY OF SEGUIN PROJECT INSPECTOR.

202025
STATE OF TEXAS
DAVID L. ALLEN
66073
LICENSED PROFESSIONAL ENGINEER
San Antonio

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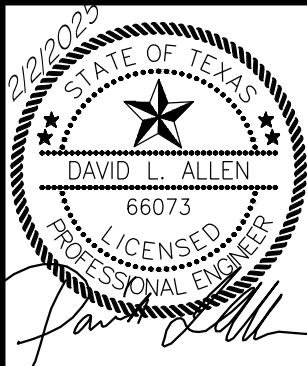
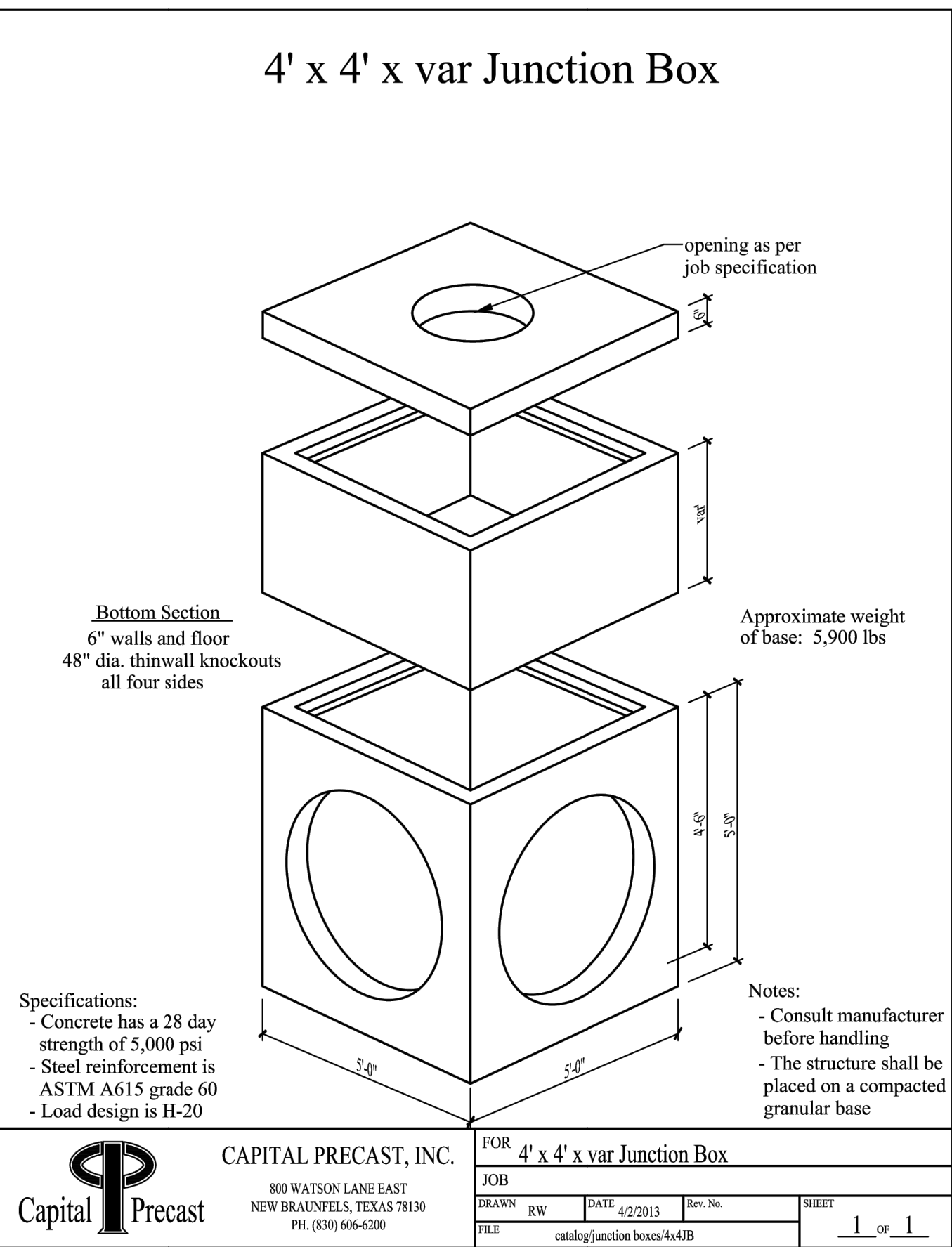
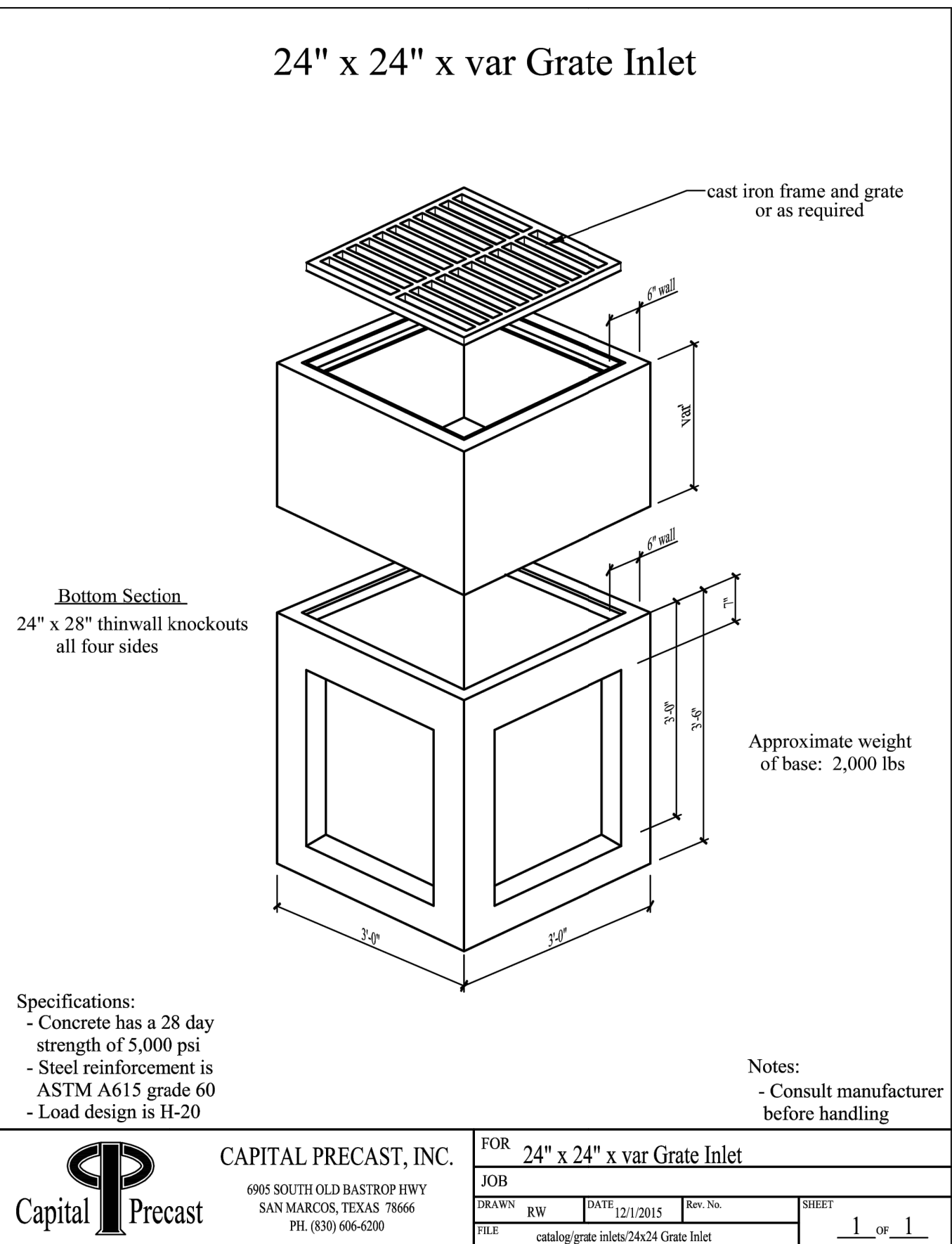
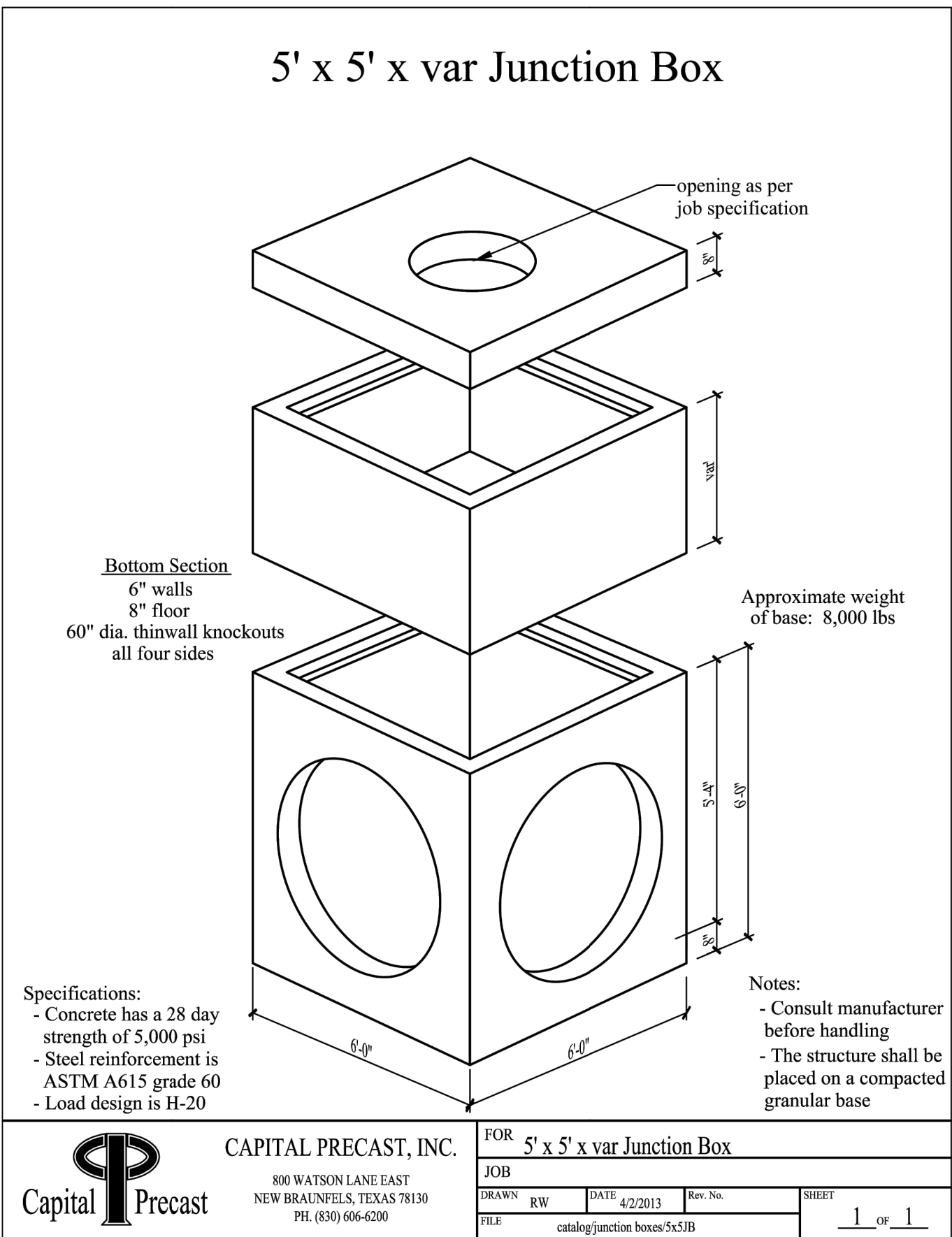
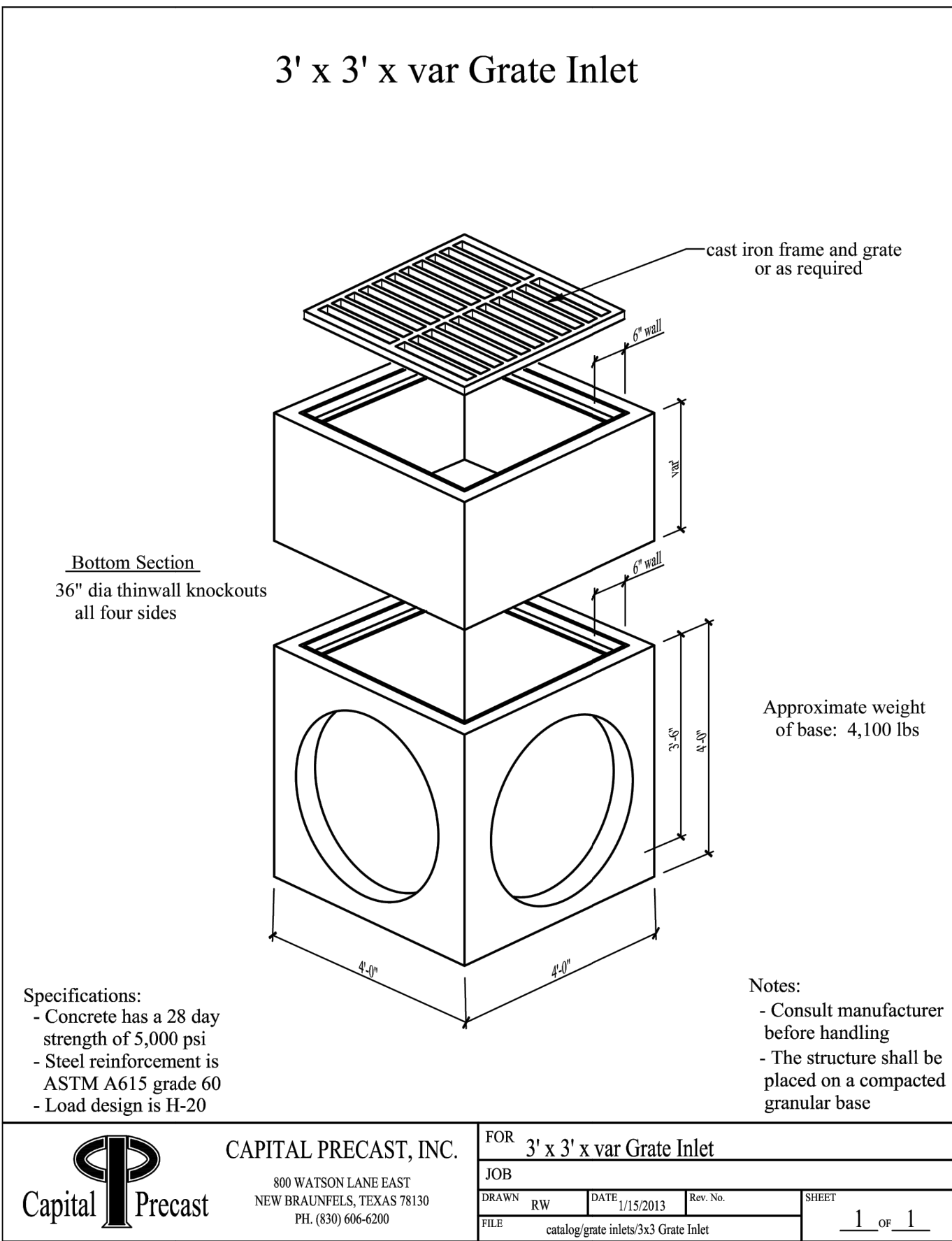
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DATE:
08/01/2025

DRAINAGE
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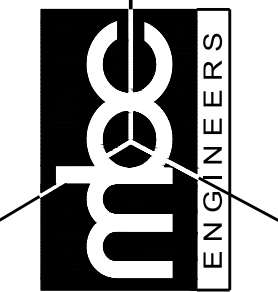
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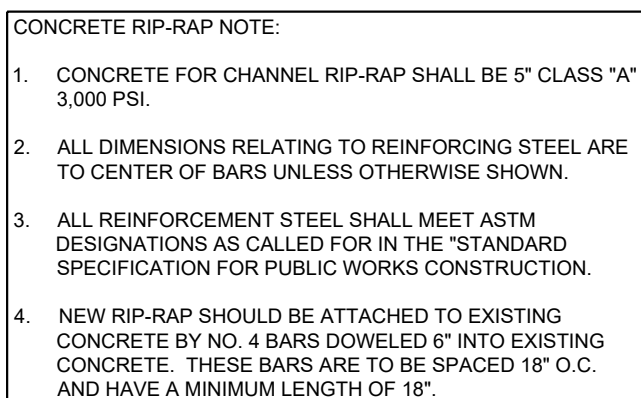
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DATE:

08/01/2025

DRAIN
DETAILS 1

C09.01



SITE SPECIFIC DATA REQUIREMENTS					
STRUCTURE ID					JF
WATER QUALITY FLOW RATE (cfs)					1.80
PEAK FLOW RATE (cfs)					23.5
RETURN PERIOD OF PEAK FLOW (yrs)					25
# OF CARTRIDGES REQUIRED (HF/D)					10-12
CARTRIDGE LENGTH					54"
PIPE DATA	I	E	MAT'L	DI	SLOPE %
INLET #1	1165	23'	HDPE	30"	HGL
INLET #2	*	*	*	*	*
OUTLET	1165	13'	HDPE	30"	*
SEE GENERAL NOTES 8-7 FOR INLET AND OUTLET MANHOLE AND SIZING REQUIREMENTS.					
RIM ELEVATION					1171.80
ANTI-FLOTATION BALLAST				WIDTH	HEIGHT
				*	*
NOTES/SPECIAL REQUIREMENTS					
* PER ENGINEER OF RECORD					

GENERAL NOTES:

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. www.contechies.com

2. JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.

3. STRUCTURE SHALL MEET AASHTO H20-80 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH TO BE 100% SAND AND 0% SILT. CONTRACTOR TO VERIFY ALL STRUCTURE MEETS ALL REQUIREMENTS OF PROJECT. CONTRACTOR TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.

4. STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-897, ASTM C-918, AND AASHTO LOAD FACTOR DESIGN METHOD.

5. INLET HEIGHT IS EQUAL TO THE CONCRETE DECK ELEVATION.

6. THE OUTLET PIPE DIAMETER FOR NEW INSTALLATIONS IS RECOMMENDED TO BE ONE PIPE SIZE LARGER THAN THE INLET PIPE AT EQUAL OR GREATER SLOPE.

7. NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

INSTALLATION NOTES

1. ANY STRUCTURE EXCEEDING 12" CURB/CHUCKLE DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.

2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTS AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE.

3. CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS, NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).

4. DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION. OCCUR AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTRACTOR TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION.

CONTECH®
ENGINEERED SOLUTIONS LLC
www.ContechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800-338-1122 513-645-7000 513-645-7993 FAX

8' x 6' JELLYFISH - 861786- 10
PROJECT NAME: BORGFELD STORAGE
LOCATION: SAN ANTONIO, TX
SITE DESIGNATION: WQU

C09.02

Contributing Zone Plan Application

Texas Commission on Environmental Quality

for Regulated Activities on the Contributing Zone to the Edwards Aquifer and Relating to 30 TAC §213.24(1), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Contributing Zone Plan Application** is hereby submitted for TCEQ review and Executive Director approval. The application was prepared by:

Print Name of Customer/Agent: Richard Hendrix, P.E.

Date: 12/2/2025

Signature of Customer/Agent:



Regulated Entity Name: Park Golf UTSA

Project Information

1. County: Bexar
2. Stream Basin: Leon Creek
3. Groundwater Conservation District (if applicable): Edwards Aquifer Authority
4. Customer (Applicant):

Contact Person: Rob Schumacher

Entity: UTSA Blvd IH-10 LP

Mailing Address: 2995 Woodside Road #400-385

City, State: Woodside, CA

Telephone: 650.529.2385

Email Address: Rob@schumacherinc.com

Zip: 94062

Fax: N/A

5. Agent/Representative (If any):

Contact Person: Richard Hendrix, P.E.

Entity: Macina, Bose, Copeland & Associates

Mailing Address: 1035 Central Parkway N.

City, State: San Antonio, Texas

Zip: 78232

Telephone: 210.545.1122

Fax: _____

Email Address: rhendrix@mbcengineers.com

6. Project Location:

- ☒ The project site is located inside the city limits of San Antonio.
- ☐ The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of _____.
- ☐ The project site is not located within any city's limits or ETJ.

7. ☒ The location of the project site is described below. Sufficient detail and clarity has been provided so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

Southwest corner of UTSA Blvd. and University Pass, City of San Antonio, Bexar County.

8. ☒ **Attachment A - Road Map.** A road map showing directions to and the location of the project site is attached. The map clearly shows the boundary of the project site.
9. ☒ **Attachment B - USGS Quadrangle Map.** A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000') is attached. The map(s) clearly show:
- ☒ Project site boundaries.
 - ☒ USGS Quadrangle Name(s).
10. ☒ **Attachment C - Project Narrative.** A detailed narrative description of the proposed project is attached. The project description is consistent throughout the application and contains, at a minimum, the following details:
- ☒ Area of the site
 - ☒ Offsite areas
 - ☒ Impervious cover
 - ☒ Permanent BMP(s)
 - ☒ Proposed site use
 - ☒ Site history
 - ☒ Previous development
 - ☐ Area(s) to be demolished

11. Existing project site conditions are noted below:

- ☐ Existing commercial site
- ☐ Existing industrial site
- ☐ Existing residential site

- ☐ Existing paved and/or unpaved roads
☐ Undeveloped (Cleared)
☒ Undeveloped (Undisturbed/Not cleared)
☐ Other: _____

12. The type of project is:

- ☐ Residential: # of Lots: _____
☐ Residential: # of Living Unit Equivalents: _____
☒ Commercial
☐ Industrial
☒ Other: Golf Course

13. Total project area (size of site): 25.104 Acres

Total disturbed area: 25.104 Acres

14. Estimated projected population: N/A

15. The amount and type of impervious cover expected after construction is complete is shown below:

Table 1 - Impervious Cover

<i>Impervious Cover of Proposed Project</i>	<i>Sq. Ft.</i>	<i>Sq. Ft./Acre</i>	<i>Acres</i>
Structures/Rooftops	13,149	÷ 43,560 =	0.302
Parking	63,044	÷ 43,560 =	1.447
Other paved surfaces	68,671	÷ 43,560 =	1.576
Total Impervious Cover	144,865	÷ 43,560 =	3.326

Total Impervious Cover $3.326 \div \text{Total Acreage } 25.104 \times 100 = 13.25\%$ Impervious Cover

16. ☒ **Attachment D - Factors Affecting Surface Water Quality.** A detailed description of all factors that could affect surface water quality is attached. If applicable, this includes the location and description of any discharge associated with industrial activity other than construction.

17. ☒ Only inert materials as defined by 30 TAC 330.2 will be used as fill material.

For Road Projects Only

Complete questions 18 - 23 if this application is exclusively for a road project.

☒ N/A

18. Type of project:

- ☐ TXDOT road project.
- ☐ County road or roads built to county specifications.
- ☐ City thoroughfare or roads to be dedicated to a municipality.
- ☐ Street or road providing access to private driveways.

19. Type of pavement or road surface to be used:

- ☐ Concrete
- ☐ Asphaltic concrete pavement
- ☐ Other: _____

20. Right of Way (R.O.W.):

Length of R.O.W.: _____ feet.

Width of R.O.W.: _____ feet.

$L \times W = \text{_____ Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} = \text{_____ acres.}$

21. Pavement Area:

Length of pavement area: _____ feet.

Width of pavement area: _____ feet.

$L \times W = \text{_____ Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} = \text{_____ acres.}$

Pavement area _____ acres \div R.O.W. area _____ acres $\times 100 = \text{_____ \%}$ impervious cover.

22. ☐ A rest stop will be included in this project.

☐ A rest stop will not be included in this project.

23. ☐ Maintenance and repair of existing roadways that do not require approval from the TCEQ Executive Director. Modifications to existing roadways such as widening roads/adding shoulders totaling more than one-half (1/2) the width of one (1) existing lane require prior approval from the TCEQ.

Stormwater to be generated by the Proposed Project

24. ☒ **Attachment E - Volume and Character of Stormwater.** A detailed description of the volume (quantity) and character (quality) of the stormwater runoff which is expected to occur from the proposed project is attached. The estimates of stormwater runoff quality and quantity are based on area and type of impervious cover. Include the runoff coefficient of the site for both pre-construction and post-construction conditions.

Wastewater to be generated by the Proposed Project

25. ☒ Wastewater is to be discharged in the contributing zone. Requirements under 30 TAC §213.6(c) relating to Wastewater Treatment and Disposal Systems have been satisfied.

☐ N/A

26. Wastewater will be disposed of by:

☐ On-Site Sewage Facility (OSSF/Septic Tank):

☐ **Attachment F - Suitability Letter from Authorized Agent.** An on-site sewage facility will be used to treat and dispose of the wastewater from this site. The appropriate licensing authority's (authorized agent) written approval is attached. It states that the land is suitable for the use of private sewage facilities and will meet or exceed the requirements for on-site sewage facilities as specified under 30 TAC Chapter 285 relating to On-site Sewage Facilities.

☐ Each lot in this project/development is at least one (1) acre (43,560 square feet) in size. The system will be designed by a licensed professional engineer or registered sanitarian and installed by a licensed installer in compliance with 30 TAC Chapter 285.

☒ Sewage Collection System (Sewer Lines):

The sewage collection system will convey the wastewater to the Steven M. Clouse Water Recycling Center (name) Treatment Plant. The treatment facility is:

☒ Existing.

☐ Proposed.

☐ N/A

Permanent Aboveground Storage Tanks(ASTs) ≥ 500 Gallons

Complete questions 27 - 33 if this project includes the installation of AST(s) with volume(s) greater than or equal to 500 gallons.

☒ N/A

27. Tanks and substance stored:

Table 2 - Tanks and Substance Storage

<i>AST Number</i>	<i>Size (Gallons)</i>	<i>Substance to be Stored</i>	<i>Tank Material</i>
1			
2			
3			
4			
5			

Total x 1.5 = _____ Gallons

28. ☐ The AST will be placed within a containment structure that is sized to capture one and one-half (1 1/2) times the storage capacity of the system. For facilities with more than

5 of 11

one tank system, the containment structure is sized to capture one and one-half (1 1/2) times the cumulative storage capacity of all systems.

- ☐ **Attachment G - Alternative Secondary Containment Methods.** Alternative methods for providing secondary containment are proposed. Specifications showing equivalent protection for the Edwards Aquifer are attached.

29. Inside dimensions and capacity of containment structure(s):

Table 3 - Secondary Containment

<i>Length (L)(Ft.)</i>	<i>Width(W)(Ft.)</i>	<i>Height (H)(Ft.)</i>	<i>L x W x H = (Ft3)</i>	<i>Gallons</i>

Total: _____ Gallons

30. Piping:

- ☐ All piping, hoses, and dispensers will be located inside the containment structure.
- ☐ Some of the piping to dispensers or equipment will extend outside the containment structure.
- ☐ The piping will be aboveground
- ☐ The piping will be underground

31. ☐ The containment area must be constructed of and in a material impervious to the substance(s) being stored. The proposed containment structure will be constructed of: _____.

32. ☐ **Attachment H - AST Containment Structure Drawings.** A scaled drawing of the containment structure is attached that shows the following:

- ☐ Interior dimensions (length, width, depth and wall and floor thickness).
- ☐ Internal drainage to a point convenient for the collection of any spillage.
- ☐ Tanks clearly labeled
- ☐ Piping clearly labeled
- ☐ Dispenser clearly labeled

33. ☐ Any spills must be directed to a point convenient for collection and recovery. Spills from storage tank facilities must be removed from the controlled drainage area for disposal within 24 hours of the spill.

- ☐ In the event of a spill, any spillage will be removed from the containment structure within 24 hours of the spill and disposed of properly.

- ☐ In the event of a spill, any spillage will be drained from the containment structure through a drain and valve within 24 hours of the spill and disposed of properly. The drain and valve system are shown in detail on the scaled drawing.

Site Plan Requirements

Items 34 - 46 must be included on the Site Plan.

34. ☒ The Site Plan must have a minimum scale of 1" = 400'.
Site Plan Scale: 1" = 100'.
35. 100-year floodplain boundaries:
- ☒ Some part(s) of the project site is located within the 100-year floodplain. The floodplain is shown and labeled.
- ☐ No part of the project site is located within the 100-year floodplain.
The 100-year floodplain boundaries are based on the following specific (including date of material) sources(s): FEMA Map Panel No. 48029C0230G 9-29-2010.
36. ☒ The layout of the development is shown with existing and finished contours at appropriate, but not greater than ten-foot contour intervals. Lots, recreation centers, buildings, roads, etc. are shown on the site plan.
- ☐ The layout of the development is shown with existing contours at appropriate, but not greater than ten-foot contour intervals. Finished topographic contours will not differ from the existing topographic configuration and are not shown. Lots, recreation centers, buildings, roads, etc. are shown on the site plan.
37. ☒ A drainage plan showing all paths of drainage from the site to surface streams.
38. ☒ The drainage patterns and approximate slopes anticipated after major grading activities.
39. ☒ Areas of soil disturbance and areas which will not be disturbed.
40. ☒ Locations of major structural and nonstructural controls. These are the temporary and permanent best management practices.
41. ☒ Locations where soil stabilization practices are expected to occur.
42. ☒ Surface waters (including wetlands).
☐ N/A
43. ☒ Locations where stormwater discharges to surface water.
☐ There will be no discharges to surface water.
44. ☐ Temporary aboveground storage tank facilities.
☒ Temporary aboveground storage tank facilities will not be located on this site.

45. ☐ Permanent aboveground storage tank facilities.
☒ Permanent aboveground storage tank facilities will not be located on this site.
46. ☒ Legal boundaries of the site are shown.

Permanent Best Management Practices (BMPs)

Practices and measures that will be used during and after construction is completed.

47. ☒ Permanent BMPs and measures must be implemented to control the discharge of pollution from regulated activities after the completion of construction.
☐ N/A
48. ☒ These practices and measures have been designed, and will be constructed, operated, and maintained to insure that 80% of the incremental increase in the annual mass loading of total suspended solids (TSS) from the site caused by the regulated activity is removed. These quantities have been calculated in accordance with technical guidance prepared or accepted by the executive director.
☒ The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site.
☐ A technical guidance other than the TCEQ TGM was used to design permanent BMPs and measures for this site. The complete citation for the technical guidance that was used is: _____.
☐ N/A
49. ☒ Owners must insure that permanent BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the appropriate regional office within 30 days of site completion.
☐ N/A
50. Where a site is used for low density single-family residential development and has 20 % or less impervious cover, other permanent BMPs are not required. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.
☐ The site will be used for low density single-family residential development and has 20% or less impervious cover.
☐ The site will be used for low density single-family residential development but has more than 20% impervious cover.
☒ The site will not be used for low density single-family residential development.

51. The executive director may waive the requirement for other permanent BMPs for multi-family residential developments, schools, or small business sites where 20% or less impervious cover is used at the site. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

☒ **Attachment I - 20% or Less Impervious Cover Waiver.** The site will be used for multi-family residential developments, schools, or small business sites and has 20% or less impervious cover. A request to waive the requirements for other permanent BMPs and measures is attached.

☐ The site will be used for multi-family residential developments, schools, or small business sites but has more than 20% impervious cover.

☐ The site will not be used for multi-family residential developments, schools, or small business sites.

52. ☒ **Attachment J - BMPs for Upgradient Stormwater.**

☒ A description of the BMPs and measures that will be used to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site is attached.

☐ No surface water, groundwater or stormwater originates upgradient from the site and flows across the site, and an explanation is attached.

☒ Permanent BMPs or measures are not required to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site, and an explanation is attached.

53. ☒ **Attachment K - BMPs for On-site Stormwater.**

☐ A description of the BMPs and measures that will be used to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff from the site is attached.

☒ Permanent BMPs or measures are not required to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff, and an explanation is attached.

54. ☒ **Attachment L - BMPs for Surface Streams.** A description of the BMPs and measures that prevent pollutants from entering surface streams is attached.

☐ N/A

55. ☒ **Attachment M - Construction Plans.** Construction plans and design calculations for the proposed permanent BMPs and measures have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer, and are signed, sealed, and dated. Construction plans for the proposed permanent BMPs and measures are

attached and include: Design calculations, TCEQ Construction Notes, all proposed structural plans and specifications, and appropriate details.

☐ N/A

56. ☒ **Attachment N - Inspection, Maintenance, Repair and Retrofit Plan.** A site and BMP specific plan for the inspection, maintenance, repair, and, if necessary, retrofit of the permanent BMPs and measures is attached. The plan fulfills all of the following:

- ☒ Prepared and certified by the engineer designing the permanent BMPs and measures
- ☒ Signed by the owner or responsible party
- ☒ Outlines specific procedures for documenting inspections, maintenance, repairs, and, if necessary, retrofit.
- ☒ Contains a discussion of record keeping procedures

☐ N/A

57. ☐ **Attachment O - Pilot-Scale Field Testing Plan.** Pilot studies for BMPs that are not recognized by the Executive Director require prior approval from the TCEQ. A plan for pilot-scale field testing is attached.

☒ N/A

58. ☒ **Attachment P - Measures for Minimizing Surface Stream Contamination.** A description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is attached. The measures address increased stream flashing, the creation of stronger flows and in-stream velocities, and other in-stream effects caused by the regulated activity, which increase erosion that result in water quality degradation.

☐ N/A

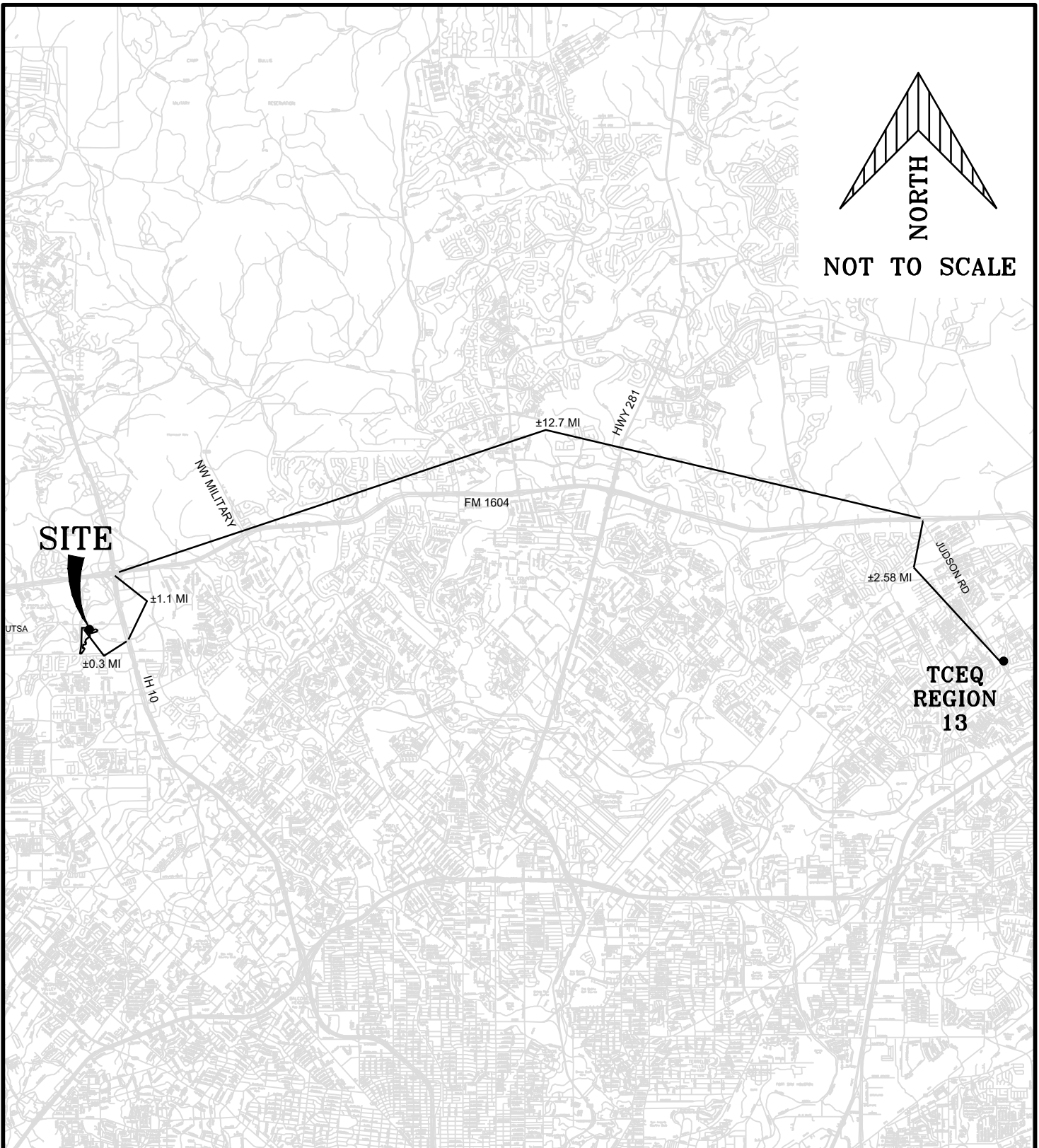
Responsibility for Maintenance of Permanent BMPs and Measures after Construction is Complete.

59. ☒ The applicant is responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred.
60. ☒ A copy of the transfer of responsibility must be filed with the executive director at the appropriate regional office within 30 days of the transfer if the site is for use as a multiple single-family residential development, a multi-family residential development,

or a non-residential development such as commercial, industrial, institutional, schools, and other sites where regulated activities occur.

Administrative Information

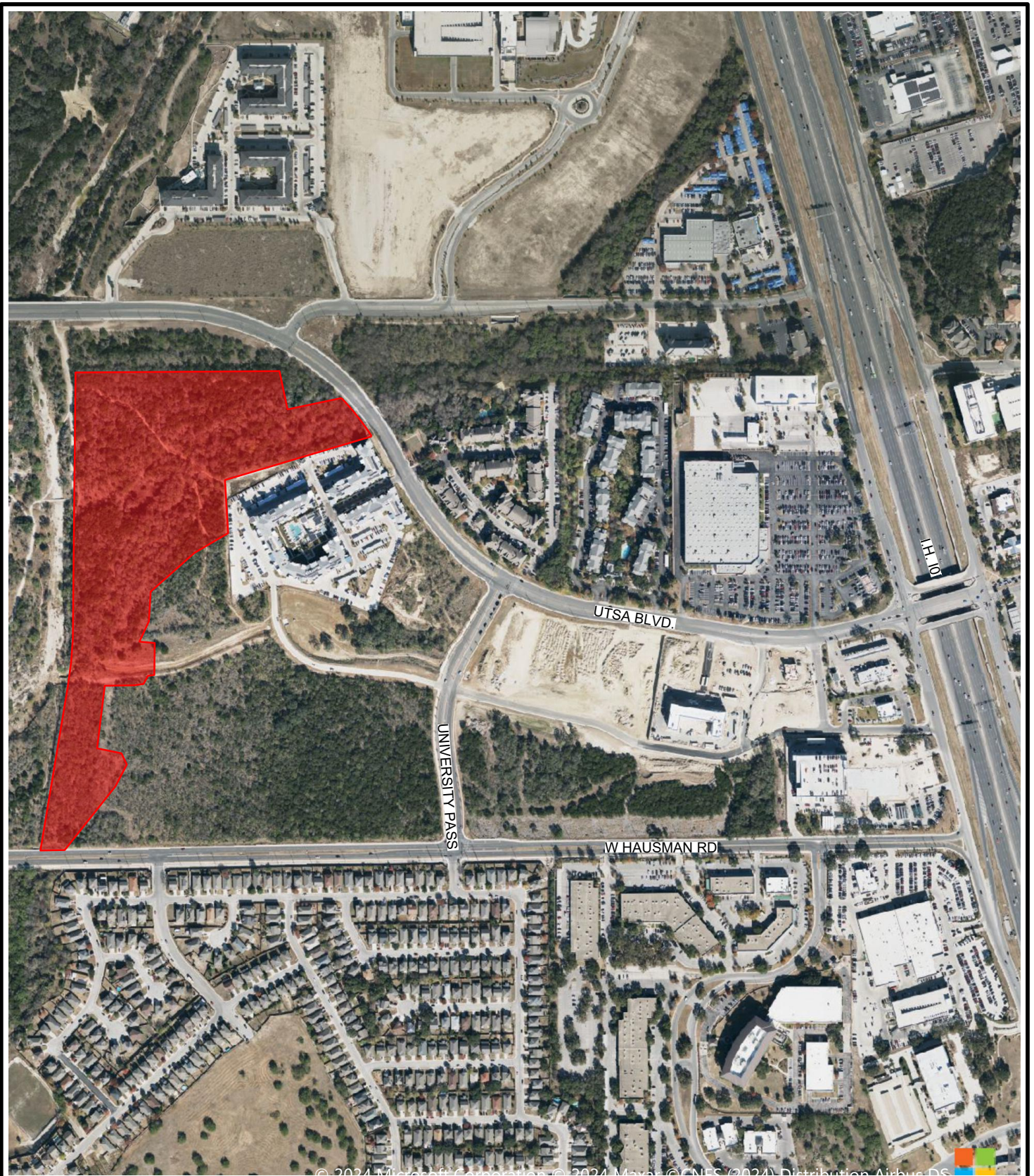
- 61. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions.
- 62. ☒ Any modification of this Contributing Zone Plan may require TCEQ review and Executive Director approval prior to construction, and may require submission of a revised application, with appropriate fees.
- 63. ☒ The site description, controls, maintenance, and inspection requirements for the storm water pollution prevention plan (SWPPP) developed under the EPA NPDES general permits for stormwater discharges have been submitted to fulfill paragraphs 30 TAC §213.24(1-5) of the technical report. All requirements of 30 TAC §213.24(1-5) have been met by the SWPPP document.
- ☒ The Temporary Stormwater Section (TCEQ-0602) is included with the application.



1035 Central Parkway North
San Antonio, Texas 78232
(210) 545-1122 FAX (210) 545-9302
TEXAS REGISTERED ENGINEERING FIRM F-784

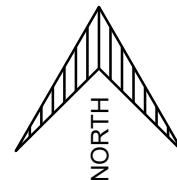
PARK GOLF UTSA
CZP
SAN ANTONIO, TEXAS
ROAD MAP

DESIGN RH
DRAWN RH
CHECKED RH
DATE OCTOBER 2025
JOB NO. 0975-33732
ATTACHMENT A



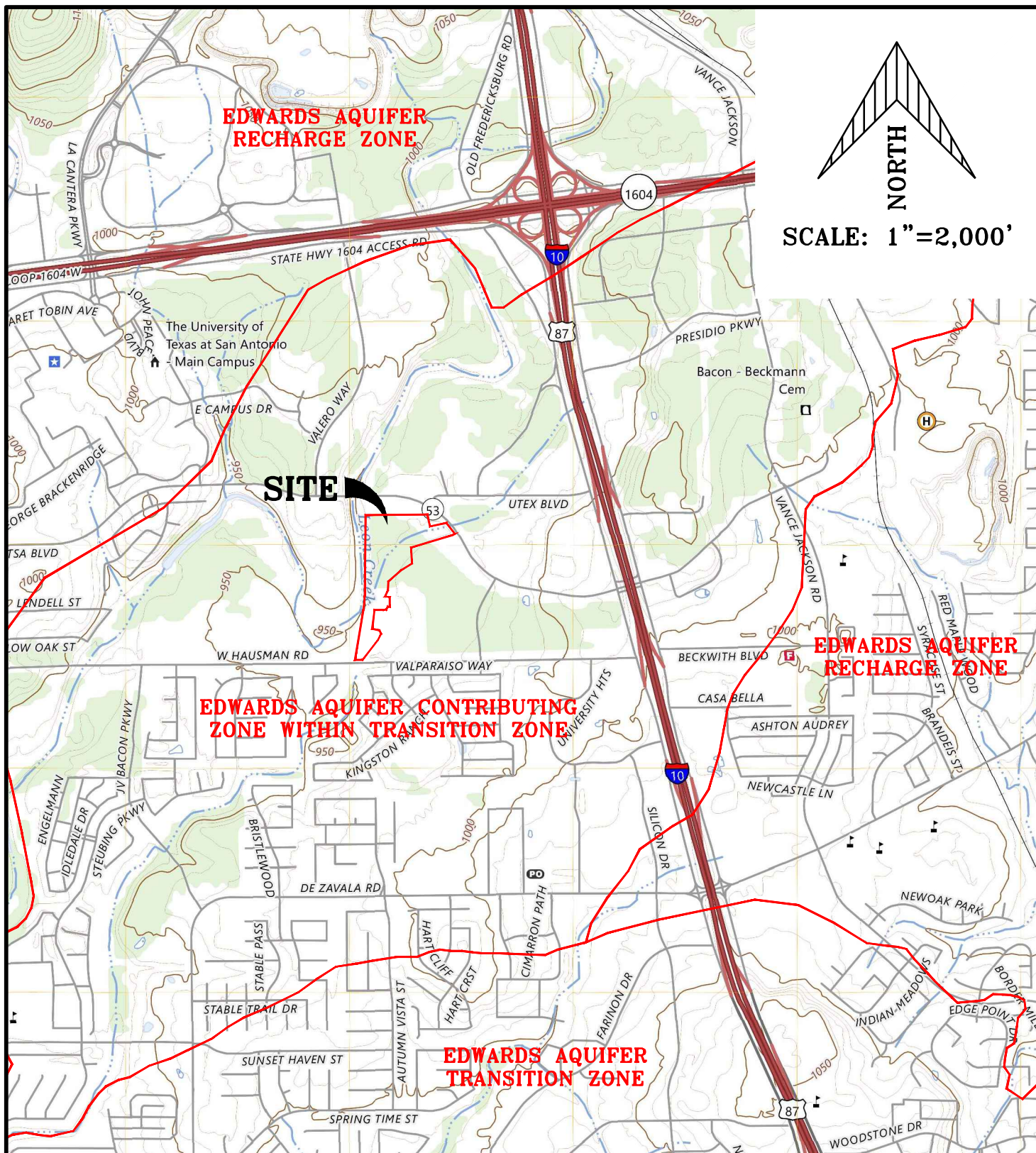
1035 Central Parkway North
San Antonio, Texas 78232
(210) 545-1122 FAX (210) 545-9302
FIRM REGISTRATION NUMBER:
T.B.P.E. F-784 & T.B.P.L.S. 10011700

PARK GOLF UTSA
CZP
UTSA BLVD.
VICINITY MAP

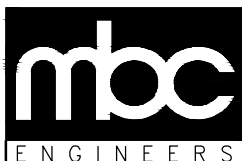


SCALE: 1" = 600'

DESIGN	RH
DRAWN	RH
CHECKED	RH
DATE	10-15-2025
JOB NO.	33732-0975
PAGE	1 OF 1



USGS QUAD: CASTLE HILLS



1035 Central Parkway North
San Antonio, Texas 78232
(210) 545-1122 FAX (210) 545-9302
TEXAS REGISTERED ENGINEERING FIRM F-784

**PARK GOLF UTSA
CZP
SAN ANTONIO, TEXAS
USGS EXHIBIT**

DESIGN	RH
DRAWN	RH
CHECKED	RH
DATE	10-15-2025
JOB NO.	33732-0975

Date: Sep 18, 2025, 4:34pm User ID: rhendrix Layout: USGS EXHIBIT

File: P:\0975\33732-Park Golf UTSA Blvd\Design\Exhibit\EX-005 USGS-33732.dwg Layout name: USGS EXHIBIT

CONTRIBUTING ZONE PLAN APPLICATION

Park Golf UTSA
TCEQ Form-10257

Attachment “C” – Project Narrative

Introduction

Park Golf UTSA is a commercial development, on a 25.104-acre site. The site is located south of UTSA Blvd and west of University Pass. The property is located within the City limits of San Antonio and Bexar County. The site is undeveloped, and has relatively mild slopes averaging 3% to 5%, sloping from east to west that drain directly into Leon Creek. The site will be developed into uses consistent commercial development. As part of this CZP report, the project will consist of the proposed construction of a common area with clubhouse, drive aisles with parking areas, tee boxes and golf greens for the Park Golf UTSA development. The golf course will consist of grass covering with the exception of the tee boxes and the greens at hole number 10 which will have artificial turf covering. The limits of construction associated with the proposed project cover an area of approximately 25.104 acres. The project will result in an increase of 144,865 square feet (3.326 acres) of impervious cover, 13.25% of the site.

A portion of the site is located in the Federal Emergency Management Agency’s 100-year floodplain according to FIRM 48029C0230G dated September 09, 2010. The site is located within the Edwards Aquifer Contributing Zone within the Transition Zone according to TCEQ Edwards Aquifer Map.

Attachment “D” – Factors Affecting Surface Water Quality

The major factors, which may affect the water quality, are oil and grease from the parking facilities. There is also the possibility for fertilizer runoff and litter. The proposed improvements are being constructed at the high end of the site and will flow over natural vegetation as it continues downstream. The natural vegetation will not have steep slopes and will act as a Vegetated Filter Strip to treat runoff.

Attachment “E” – Volume and Character of Stormwater

The volume of storm water runoff is a function of rainfall rate, runoff rate, and the duration of time measurement. Storm water runoff generated from the site will come from rooftops, streets, sidewalks, parking areas, tee boxes and putting greens, and from grassy areas and landscaping. No unusual contaminants other than oil and grease from streets and parking areas are expected. The following runoff coefficients are based on City of San Antonio Drainage Criteria Manual:

- Pre-Development Runoff Coefficient = 0.47
- Post-Development Runoff Coefficient = 0.54

Attachment “F” – Sustainability Letter from Authorized Agent

Not applicable.

Attachment “G” – Alternative Secondary Containment Methods

Not applicable.

CONTRIBUTING ZONE PLAN APPLICATION

Park Golf UTSA
TCEQ Form-10257

Attachment “H” – AST Containment Structure Drawings

Not applicable.

Attachment “I” – 20% or Less Impervious Cover Waiver

The project will add 144,865 square feet (3.326 acres) of impervious cover, which is approximately 13.3% of the site area. As discussed in Chapter 3 of RG-348, the increase in impervious cover is less than 20%; therefore, the owner is requesting waiver of installing a permanent water quality feature to treat the increase in impervious cover. The parking and amenity areas are located at the high end of the overall site and will flow over natural vegetation downstream were it would flow through the fairways and putting greens. The putting greens and tee boxes will be surrounded by natural vegetation. The natural vegetation will act as Vegetated Filter Strips that will treat runoff from these areas.

Park Golf UTSA is a small business that:

- A. Is formed for the purpose of making a profit
- B. Is an independently owned and operated LLC
- C. Park Golf UTSA has a staff of 30 employees

Attachment “J” – BMP for Upgradient Storm Water

The up gradient stormwater that originates east of the site has been treated by the existing batch detention basins; vegetative filter strips (VFS), FILTERRA and JELLYFISH as approved in the original CZP and subsequent modifications.

Attachment “K” – BMP for On-Site Storm Water

The site will result in an increase of impervious; however, the onsite impervious cover is less than 20% of the site area for which a waiver is being requested. Vegetated filter strips that will be located adjacent to the impervious areas will treat the increase in storm water runoff and pollutants resulting from the site.

Attachment “L” – BMP for Surface Streams

Not applicable.

Attachment “M” –Construction Plans

See attached construction plans on the following pages.

CONTRIBUTING ZONE PLAN APPLICATION

Park Golf UTSA
TCEQ Form-10257

Attachment “N” – Inspection, Maintenance, Repair and Retrofit Plan

The increase in storm water runoff and pollutants resulting from the site will be treated with Vegetated Filter Strips. A maintenance plan for the VFSs is provided.

Maintenance plans were previously approved with original CZP and subsequent modifications and are not included with the Park Golf UTSA modification.

Attachment “O” – Pilot-Scale Field Testing Plan

Not applicable.

Attachment “P” – Measure for Minimizing Surface Stream Contamination

Not applicable.

ATTACHMENT “N” Maintenance Plan and Schedule for Vegetated Filter Strips

PROJECT NAME Park Golf UTSA

ADDRESS 5900 UTSA Blvd

CITY, STATE ZIP San Antonio, TX 78249

VEGETATIVE FILTER STRIPS

Once a vegetated area is well established, little additional maintenance is generally necessary. The key to establishing a viable vegetated feature is the care and maintenance it receives in the first few months after it is planted. Once established, all vegetated BMPs require some basic maintenance to insure the health of the plants including:

Pest Management. An Integrated Pest Management (IPM) Plan should be developed for vegetated areas. This plan should specify how problem insects and weeds will be controlled with minimal or no use of insecticides and herbicides.

Seasonal Mowing and Lawn Care. If the filter strip is made up of turf grass, it should be mowed as needed to limit vegetation height to 18 inches, using a mulching mower (or removal of clippings). If native grasses are used, the filter may require less frequent mowing, but a minimum of twice annually. Grass clippings and brush debris should not be deposited on vegetated filter strip areas. Regular mowing should also include weed control practices, however herbicide use should be kept to a minimum (Urbonas et al., 1992). Healthy grass can be maintained without using fertilizers because runoff usually contains sufficient nutrients. Irrigation of the site can help assure a dense and healthy vegetative cover.


Inspection. Inspect filter strips at least twice annually for erosion or damage to vegetation; however, additional inspection after periods of heavy runoff is most desirable. The strip should be checked for uniformity of grass cover, debris and litter, and areas of sediment accumulation. More frequent inspections of the grass cover during the first few years after establishment will help to determine if any problems are developing, and to plan for long-term restorative maintenance needs. Bare spots and areas of erosion identified during semi-annual inspections must be replanted and restored to meet specifications. Construction of a level spreader device may be necessary to reestablish shallow overland flow.

Debris and Litter Removal. Trash tends to accumulate in vegetated areas, particularly along highways. Any filter strip structures (i.e. level spreaders) should be kept free of obstructions to reduce floatables being flushed downstream, and for aesthetic reasons. The need for this practice is determined through periodic inspection, but should be performed no less than 4 times per year.

Sediment Removal. Sediment removal is not normally required in filter strips, since the vegetation normally grows through it and binds it to the soil. However, sediment may

accumulate along the upstream boundary of the strip preventing uniform overland flow. Excess sediment should be removed by hand or with flat-bottomed shovels.

Grass Reseeding and Mulching. A healthy dense grass should be maintained on the filter strip. If areas are eroded, they should be filled, compacted, and reseeded so that the final grade is level. Grass damaged during the sediment removal process should be promptly replaced using the same seed mix used during filter strip establishment. If possible, flow should be diverted from the damaged areas until the grass is firmly established. Bare spots and areas of erosion identified during semi-annual inspections must be replanted and restored to meet specifications. Corrective maintenance, such as weeding or replanting should be done more frequently in the first two to three years after installation to ensure stabilization. Dense vegetation may require irrigation immediately after planting, and during particularly dry periods, particularly as the vegetation is initially established.

Responsible Party for Maintenance	<u>UTSA Blvd IH-10 LP</u>
Address	<u>2995 Woodside Road, #400-385</u>
City, State Zip	<u>Woodside, CA 94062</u>
Telephone Number	<u>(650) 529-2385</u>
Signature of Responsible Party	<u></u>
Print name of Responsible Party	<u>Rob Schumacher</u>

Temporary Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Richard Hendrix, P.E.

Date: 12/2/2025

Signature of Customer/Agent:



Regulated Entity Name: Park Golf UTSA

Project Information

Potential Sources of Contamination

Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.

1. Fuels for construction equipment and hazardous substances which will be used during construction:

☐ The following fuels and/or hazardous substances will be stored on the site: _____

These fuels and/or hazardous substances will be stored in:

- ☐ Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

- ☐ Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
- ☐ Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- ☒ Fuels and hazardous substances will not be stored on the site.
- 2. ☒ **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3. ☒ Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4. ☒ **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

Sequence of Construction

- 5. ☒ **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
 - ☒ For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
 - ☒ For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6. ☒ Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: Leon Creek, Segment 1907

Temporary Best Management Practices (TBMPs)

Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.

- 7. ☒ **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- ☒ A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
 - ☒ A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
 - ☒ A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
 - ☒ A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8. ☒ The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- ☐ **Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
- ☒ There will be no temporary sealing of naturally-occurring sensitive features on the site.
9. ☒ **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10. ☒ **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
 - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
 - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
 - ☐ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

- ☒ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.
11. ☐ **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.
- ☒ N/A
12. ☒ **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13. ☒ All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14. ☒ If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15. ☒ Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16. ☒ Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

Soil Stabilization Practices

Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.

17. ☒ **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

- 18. ☒ Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
- 19. ☒ Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

Administrative Information

- 20. ☒ All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
- 21. ☒ If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
- 22. ☒ Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.

FORM 0602 ATTACHMENTS

ATTACHMENT “A” - SPILL RESPONSE

In the event of a spill involving hydrocarbons or other hazardous substances, the contractor will immediately notify TCEQ (at 210-490-3096) and the engineer (210 545-1122) explaining the type and nature of the spill. The contractor shall be required to maintain a sufficient stockpile of sand material in the staging area. This sand material shall be used to immediately isolate and provide containment of the spill by constructing dikes. Furthermore, this sand material shall act as an absorbent material that can be disposed of offsite and out of the Recharge Zone during cleanup operations. All contaminated soils resulting from an accidental release will be required to be removed and disposed of in accordance with all local, state, and federal regulations.

The objective of this attachment is to describe measures to prevent or reduce the discharge of pollutants to drainage systems or watercourses from leaks and spills by reducing the chance for spills, stopping the source of spills, containing and cleaning up spills, properly disposing of spill materials, and training employees. The following steps will help reduce the storm water impacts of leaks and spills:

Education

(1) Be aware that different materials pollute in different amounts. Make sure that each employee knows what a “significant spill” is for each material they use, and what is the appropriate response for “significant” and “insignificant” spills. Employees should also be aware of when spill must be reported to the TCEQ. Information is available in 30 TAC 327.4 and 40 CFR 302.4.

(2) Educate employees and subcontractors on potential dangers to humans and the environment from spills and leaks.

(3) Hold regular meetings to discuss and reinforce appropriate disposal procedures (incorporate into regular safety meetings).

(4) Establish a continuing education program to indoctrinate new employees.

(5) Have contractor’s superintendent or representative oversee and enforce proper spill prevention and control measures.

General Measures

(1) To the extent that the work can be accomplished safely, spills of oil, petroleum products, and substances listed under 40 CFR parts 110,117, and 302, and sanitary and septic wastes should be contained and cleaned up immediately.

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- (2) Store hazardous materials and wastes in covered containers and protect from vandalism.
- (3) Place a stockpile of spill cleanup materials where it will be readily accessible.
- (4) Train employees in spill prevention and cleanup.
- (5) Designate responsible individuals to oversee and enforce control measures.
- (6) Spills should be covered and protected from storm-water runoff during rainfall to the extent that it does not compromise clean-up activities.
- (7) Do not bury or wash spills with water.
- (8) Store and dispose of used clean up materials, contaminated materials, and recovered spill material that is no longer suitable for the intended purpose in conformance with the provisions in applicable BMPs.
- (9) Do not allow water used for cleaning and decontamination to enter storm drains or watercourses. Collect and dispose of contaminated water in accordance with applicable regulations.
- (10) Contain water overflow or minor water spillage and do not allow it to discharge into drainage facilities or watercourses.
- (11) Place Material Safety Data Sheets (MSDS), as well as proper storage, cleanup, and spill reporting instructions for hazardous materials stored or used on the project site in an open, conspicuous, and accessible location.
- (12) Keep waste storage areas clean, well organized, and equipped with ample cleanup supplies as appropriate for the materials being stored. Perimeter controls, containment structures, covers, and liners should be repaired or replaced as needed to maintain proper function.

Cleanup

- (1) Clean up leaks and spills immediately.
- (2) Use a rag for small spills on paved surfaces, a damp mop for general cleanup, and absorbent material for larger spills. If the spilled material is hazardous, then the used cleanup materials are also hazardous and must be disposed of as hazardous waste.
- (3) Never hose down or bury dry material spills. Clean up as much of the material as possible and dispose of properly. See the waste management BMPs in this section for specific information.

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Minor Spills

- (1) Minor spills typically involve small quantities of oil, gasoline, paint, etc. which can be controlled by the first responder at the discovery of the spill.
- (2) Use absorbent materials on small spills rather than hosing down or burying the spill.
- (3) Absorbent materials should be promptly removed and disposed of properly.
- (4) Follow the practice below for a minor spill:
- (5) Contain the spread of the spill.
- (6) Recover spilled materials.
- (7) Clean the contaminated area and properly dispose of contaminated materials.

Semi-Significant Spills

Semi-significant spills still can be controlled by the first responder along with the aid of other personnel such as laborers and the foreman, etc. This response may require the cessation of all other activities.

Spills should be cleaned up immediately:

- (1) Contain spread of the spill.
- (2) Notify the project foreman immediately.
- (3) If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (absorbent materials, cat litter and/or rags). Contain the spill by encircling with absorbent materials and do not let the spill spread widely.
- (4) If the spill occurs in dirt areas, immediately contain the spill by constructing an earthen dike. Dig up and properly dispose of contaminated soil.
- (5) If the spill occurs during rain, cover spill with tarps or other material to prevent contaminating runoff.

Significant/Hazardous Spills

For significant or hazardous spills that are in reportable quantities:

- (1) Notify the TCEQ by telephone as soon as possible and within 24 hours at 512-339-2929 (Austin) or 210-490-3096 (San Antonio) between 8 AM and 5 PM.

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After hours, contact the Environmental Release Hotline at 1-800-832-8224. It is the contractor's responsibility to have all emergency phone numbers at the construction site.

(2) For spills of federal reportable quantities, in conformance with the requirements in 40 CFR parts 110, 119, and 302, the contractor should notify the National Response Center at (800) 424-8802.

(3) Notification should first be made by telephone and followed up with a written report.

(4) The services of a spills contractor or a Haz-Mat team should be obtained immediately. Construction personnel should not attempt to clean up until the appropriate and qualified staffs have arrived at the job site.

(5) Other agencies which may need to be consulted include, but are not limited to, the City Police Department, County Sheriff Office, Fire Departments, etc.

More information on spill rules and appropriate responses is available on the TCEQ website at: <https://www.tceq.texas.gov/response/spills>

Vehicle and Equipment Maintenance

(1) If maintenance must occur onsite, use a designated area and a secondary containment, located away from drainage courses, to prevent the run-on of storm-water and the runoff of spills.

(2) Regularly inspect onsite vehicles and equipment for leaks and repair immediately

(3) Check incoming vehicles and equipment (including delivery trucks, employee, and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment onsite.

(4) Always use secondary containment, such as a drain pan or drop cloth, to catch spills or leaks when removing or changing fluids.

(5) Place drip pans or absorbent materials under paving equipment when not in use.

(6) Use absorbent materials on small spills rather than hosing down or burying the spill. Remove the absorbent materials promptly and dispose of properly.

(7) Promptly transfer used fluids to the proper waste or recycling drums. Do not leave full drip pans or other open containers lying around.

(8) Oil filters disposed of in trashcans or dumpsters can leak oil and pollute storm-water. Place the oil filter in a funnel over a waste oil-recycling drum to drain excess oil before disposal. Oil filters can also be recycled. Ask the oil supplier or recycler about recycling oil filters.

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(9) Store cracked batteries in a non-leaking secondary container. Do this with all cracked batteries even if you think all the acid has drained out. If you drop a battery, treat it as if it is cracked. Put it into the containment area until you are sure it is not leaking.

Vehicle and Equipment Fueling

(1) If fueling must occur on site, use designated areas, located away from drainage courses, to prevent the run-on of storm-water and the runoff of spills.

(2) Discourage “topping off” of fuel tanks.

(3) Always use secondary containment, such as a drain pan, when fueling to catch spills/leaks.

ATTACHMENT “B” – POTENTIAL SOURCES OF CONTAMINATION

Other potential sources are:

1. Oil and gasoline leaks from construction equipment.
2. Vehicles tracking in and out of the project.
3. Leakage from self-contained portable toilet facilities.

ATTACHMENT “C” – SEQUENCE OF MAJOR ACTIVITIES

1. Install all Temporary BMP’s (rock berms and silt fencing), construction entrance, and tree protection for on-site construction. (0.50 acres)
2. Clear site & prepare area for construction (7.85 acres)
3. Excavate and fill site as dictated by the grading plan (7.85 acres)
4. Install utilities; sewer mains and laterals, water mains and services, underground storm drains, and underground electric (7.85 acres)
5. Install inlet protection on all curb and grate inlets (7.85 acres)
6. Construct building pads (7.85 acres)
7. Fine grade site (7.85 acres)
8. Construct paved surfaces; concrete parking areas & sidewalks (7.85 acres)
9. Clean site (7.85 acres)
10. Revegetate/stabilize site (7.85 acres)
11. Remove temporary BMPs (0.50 acres)

ATTACHMENT “D” - Temporary Best Management Practices

A) The erosion control barriers will be placed down gradient of the proposed disturbed area as shown on the site plan. These barriers will in turn filter the up gradient water preventing pollution.

B) All contractors, subcontractors, and builders shall endeavor to avoid the pollution of runoff water by using “best management practices” and reasonable foresight to avoid contact between runoff water and polluting materials.

Some best management practices to which all parties are expected to conform are as follows:

1. Prior to the beginning of the work listed in “Attachment C”, the contractor will install the sediment control barriers as specified on the separate “Temporary Pollution Abatement Plan” which is attached at the end of this section. These barriers (silt fences, etc.) will be maintained during the entire time construction is in progress. Thus, erodible material and pollution that might be generated during construction will be intercepted by these same barriers.
2. The installation of a stabilized construction entrance/exit(s) to reduce the dispersion of sediment from the site.
3. The silt fences specified on the “Temporary Pollution Abatement Plan” were positioned to be down gradient of all construction zones. Thus, with proper installation and maintenance these barriers shall be effective in preventing potentially contaminated runoff from leaving the site.
4. The general contractor shall develop a written plan to control the generation of dust during construction phase and submit it to the developer.
5. Builders and their contractors shall clean equipment only onto areas protected by their silt fences.
6. Stockpiles of erodible material (topsoil, sand, etc.) shall be placed in areas only protected by silt fences or other erosion barriers.
7. All contractors shall provide self-contained toilet facilities for their employees.
8. Chemicals, solvents, paints, and other potentially toxic materials must be stored in such a manner that they are protected from rainfall and surface runoff water.
9. All contractors shall provide waste receptacles at locations convenient to their construction area; to protect from leaching by rainfall; and provide regular collection.

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C) Once site grading has commenced, swales will be constructed (shaped and sloped as depicted by the grading plan) to direct storm-water run-off to the various outlets located throughout the project. These swales will be used on a temporary and permanent basis. The location of these swales once constructed will be permanent.

D) The proposed silt fences should be adequate measures to maintain flow to any naturally occurring sensitive features downstream.

If any sensitive features are discovered during construction, all regulated activities near the sensitive feature shall be suspended. The TCEQ Regional office will be notified immediately and a plan will be submitted to TCEQ for treatment of the feature. See note 3 of TCEQ WPAP General Construction Notes.

San Antonio Regional Office 14250 Judson Road San Antonio, Texas 78233-4480 Phone (210) 490-3096 Fax (210) 545-4329	State of Texas Spill-Reporting Hotline (800) 832-8224 Bexar County Storm Water Quality (210) 335-6663
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ATTACHMENT “E” – Request to Temporarily Seal a Feature

Not Applicable

ATTACHMENT “F” – Structural Practices

The following measures will be installed as part of the site preparation activities:

- Erection of silt fences along the down gradient boundary of construction activities.
- Stabilized construction entrance/exit(s) will be installed.

ATTACHMENT “G” – Drainage Area Map

Please reference the attached drawing illustrating the proposed drainage areas and sub-areas. Other erosion controls within each disturbed area will be used, such as silt fencing and inlet protection.

ATTACHMENT “H”- Temporary Sediment Pond Plans and Calculations

Not Applicable. No areas greater than 10 acres with a common drainage area will be disturbed at one time. Batch detention basins, vegetative filter strips, storm drain treatment devices exist for the existing site improvements and have been designed for ultimate development of the drainage areas.

ATTACHMENT “I” – Inspection and Maintenance

All TBMP’S shall be inspected by the contractor on a weekly basis and after all substantial rain events. The contractor shall keep records of all inspections that were made. Also, the contractor shall repair or replace any damaged or dysfunctional TBMP’s. The contractor shall insure that all TBMP’s are maintained and inspected according to TCEQ’s Technical Guidance Manual.

Inspection and Maintenance shall include but is not limited to:

For the Construction Entrance:

- The contractor shall maintain the entrance in a condition which will prevent tracking or flowing of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment.
- The contractor shall immediately remove any and all sediment spilled, dropped, washed or tracked onto public rights-of-way.
- When necessary, the contractor shall clean wheels to remove sediment prior to entrance onto public rights-of-way.
- When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin.
- The contractor shall prevent all sediment from entering any storm drain, ditch, or watercourse by using approved methods.
- Records will be kept with the construction site Superintendent of all inspection and maintenance actions. See maintenance record chart.

For Silt Fencing:

- The contractor shall inspect all silt fencing weekly and after any rainfall for sediment accumulation, torn fabric and crushed or collapsed sections throughout the duration of construction.
- Sediment shall be removed when sediment buildup reaches 6 inches, or a second line of fencing shall be installed parallel to the original fence.
- Torn fabric shall be replaced by the contractor; a second line of fencing shall be erected parallel to the torn section if replacement is not feasible.
- Contractor shall replace or repair any fence sections crushed or collapsed during the course of construction. Silt fence may be relocated by the contractor to a location where it will provide equal protection should the original/planned installation obstruct vehicular access to the site.
- When construction is complete, the sediment should be disposed of in a manner that will not cause additional siltation and the prior location of the silt fence should be re-vegetated. The fence itself should be disposed of in an approved landfill.
- Records will be kept with the construction site Superintendent of all inspection and maintenance actions. See maintenance record chart.

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For Rock Berms:

- The contractor shall inspect all rock berms weekly and after any rainfall for sediment accumulation, debris building up, or damage throughout the duration of construction.
- Sediment and other debris shall be removed when sediment buildup reaches 6 inches. The accumulated silt and debris shall be disposed in an approved manner that will not cause any additional siltation.
- The contractor to repair any loose wire sheathing.
- The contractor shall reshape the berm as needed during inspection throughout the duration of construction.
- The contractor shall replace the berm when the structure ceases to function as intended due to silt accumulation among the rocks, washout, construction traffic damage, etc.
- The rock berm shall remain in place until all upstream areas are stabilized and accumulated silt removed.

For Grate and Curb Inlet Protection:

- The contractor shall inspect all inlet protection weekly and after any rainfall for sediment accumulation, debris building up, or damage throughout the duration of construction. Repair or replacement should be made promptly as needed by the contractor.
- Sediment and other debris shall be removed when sediment buildup reaches 3 inches. The removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
- The contractor shall check placement of inlet protection measures to prevent gaps between these measures and the curb.
- The contractor shall inspect the filter fabric and patch or replace if torn or missing.
- Records will be kept with the construction site Superintendent of all inspection and maintenance actions. See maintenance record chart next on the next page.

For Concrete Washout Pit

- The contractor shall inspect all concrete washout pits weekly and after any rainfall.
- Contractor shall ensure that all excess concrete is being washed out into the designated washout pits only.
- The hardened concrete shall be disposed of when the pit is no longer required and when it becomes full.

General

- Records will be kept with the construction site superintendent of all inspections and maintenance actions. See the attached maintenance record chart.

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- Litter, construction debris, and construction chemicals exposed to storm water shall be prevented from becoming a pollutant source for storm water discharges (e.g., screening outfalls, picked up daily).
- If sediment escapes the construction site, off site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).

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Temporary Stormwater Section Attachment "I" continued

[illegible]

ATTACHMENT “J” – Interim and Permanent Soil Stabilization

All disturbed permeable areas shall be stabilized. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Where the initiation of stabilization measures by the 14th day after construction activity temporary or permanently cease is prevented by weather conditions, stabilization measures shall be initiated as soon as practicable. Where construction activity on a portion of a site is temporarily ceased, and the earth disturbing activities will be resumed within 21 days, temporary stabilization measures do not have to be initiated on that portion of the site. In areas experiencing droughts where the initiation of stabilization measures by the 14th day after the construction activity has temporarily or permanently ceased is precluded by seasonal arid conditions, stabilization measures shall be initiated as soon as practicable.

Examples of acceptable temporary and permanent soil stabilization measures are establishment of temporary vegetation, establishment of permanent vegetation, mulching, geo-textiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation. The soil stabilization method used in this project **SHALL** be an approved method within the TCEQ Technical Guidance Manual and **MUST** be approved by MBC Engineers before it is implemented in the project. The method of soil stabilization approved for this project will be a combination of sod stabilization around the buildings and parking areas, tree protection, and hydro mulching those areas disturbed which will not be landscaped.

If construction is to temporary cease and temporary stabilization is required as noted above, the exposed soil shall be stabilized by mulch until construction resumes.



Notice of Intent (NOI) for an Authorization for Stormwater Discharges Associated with Construction Activity under TPDES General Permit TXR150000

IMPORTANT INFORMATION

Please read and use the General Information and Instructions prior to filling out each question in the NOI form.

Use the NOI Checklist to ensure all required information is completed correctly.

Incomplete applications delay approval or result in automatic denial.

Once processed your permit authorization can be viewed by entering the following link into your internet browser: http://www2.tceq.texas.gov/wq_dpa/index.cfm or you can contact TCEQ Stormwater Processing Center at 512-239-3700.

ePERMITS

Effective September 1, 2018, this paper form must be submitted to TCEQ with a completed electronic reporting waiver form (TCEQ-20754).

To submit an NOI electronically, enter the following web address into your internet browser and follow the instructions: <https://www3.tceq.texas.gov/steers/index.cfm>

APPLICATION FEE AND PAYMENT

The application fee for submitting a paper NOI is \$325. The application fee for electronic submittal of a NOI through the TCEQ ePermits system (STEERS) is \$225.

Payment of the application fee can be submitted by mail or through the TCEQ ePay system. The payment and the NOI must be mailed to separate addresses. To access the TCEQ ePay system enter the following web address into your internet browser: <http://www.tceq.texas.gov/epay>.

Provide your payment information for verification of payment:

- If payment was mailed to TCEQ, provide the following:
 - Check/Money Order Number:
 - Name printed on Check:
- If payment was made via ePay, provide the following:
 - Voucher Number:
 - A copy of the payment voucher is attached to this paper NOI form.

RENEWAL (This portion of the NOI is not applicable after June 3, 2018)

Is this NOI for a renewal of an existing authorization? ☐ Yes ☒ No

If Yes, provide the authorization number here: TXR15

NOTE: If an authorization number is not provided, a new number will be assigned.

SECTION 1. OPERATOR (APPLICANT)

a) If the applicant is currently a customer with TCEQ, what is the Customer Number (CN) issued to this entity? CN 605351758

(Refer to Section 1.a) of the Instructions)

b) What is the Legal Name of the entity (applicant) applying for this permit? (The legal name must be spelled exactly as filed with the Texas Secretary of State, County, or in the legal document forming the entity.)

UTSA Blvd IH-10 LP

c) What is the contact information for the Operator (Responsible Authority)?

Prefix (Mr. Ms. Miss): Mr.

First and Last Name: Rob Schumacher Suffix:

Title: Managing Member Credentials:

Phone Number: (650) 529-2385 Fax Number:

E-mail: rob@schumacherinc.com

Mailing Address: 2995 Woodside Road #400-385

City, State, and Zip Code: Woodside, CA 94062

Mailing Information if outside USA:

Territory:

Country Code:

Postal Code:

d) Indicate the type of customer:

☐ Individual

☒ Limited Partnership

☐ General Partnership

☐ Trust

☐ Sole Proprietorship (D.B.A.)

☐ Corporation

☐ Estate

☐ Federal Government

☐ County Government

☐ State Government

☐ City Government

☐ Other Government

☐ Other:

e) Is the applicant an independent operator? ☐ Yes

☐ No

(If a governmental entity, a subsidiary, or part of a larger corporation, check No.)

f) Number of Employees. Select the range applicable to your company.

☒ 0-20

☐ 251-500

☐ 21-100

☐ 501 or higher

☐ 101-250

g) Customer Business Tax and Filing Numbers: (**Required** for Corporations and Limited Partnerships. **Not Required** for Individuals, Government, or Sole Proprietors.)

State Franchise Tax ID Number: 32056915476

Federal Tax ID: 473712019

Texas Secretary of State Charter (filing) Number: 0802192030

DUNS Number (if known):

SECTION 2. APPLICATION CONTACT

Is the application contact the same as the applicant identified above?

☒ Yes, go to Section 3

☐ No, complete this section

Prefix (Mr. Ms. Miss):

First and Last Name: Suffix:

Title: Credential:

Organization Name:

Phone Number: Fax Number:

E-mail:

Mailing Address:

Internal Routing (Mail Code, Etc.):

City, State, and Zip Code:

Mailing information if outside USA:

Territory:

Country Code: Postal Code:

SECTION 3. REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE

a) If this is an existing permitted site, what is the Regulated Entity Number (RN) issued to this site? RN

(Refer to Section 3.a) of the Instructions)

- b) Name of project or site (the name known by the community where it's located): Park Golf UTSA
- c) In your own words, briefly describe the type of construction occurring at the regulated site (residential, industrial, commercial, or other): Par 3 golf course with concession area
- d) County or Counties (if located in more than one): Bexar
- e) Latitude: 29.576061 N Longitude: -98.605672 W
- f) Site Address/Location

If the site has a physical address such as 12100 Park 35 Circle, Austin, TX 78753, complete *Section A*.

If the site does not have a physical address, provide a location description in *Section B*. Example: located on the north side of FM 123, 2 miles west of the intersection of FM 123 and Highway 1.

Section A:

Street Number and Name: 5900 UTSA Blvd

City, State, and Zip Code: San Antonio, TX, 78249

Section B:

Location Description: south of UTSA Blvd and west of University Pass

City (or city nearest to) where the site is located: San Antonio

Zip Code where the site is located: 78249

SECTION 4. GENERAL CHARACTERISTICS

- a) Is the project or site located on Indian Country Lands?
- ☐ Yes, do not submit this form. You must obtain authorization through EPA Region 6.
- ☒ No
- b) Is your construction activity associated with a facility that, when completed, would be associated with the exploration, development, or production of oil or gas or geothermal resources?
- ☐ Yes. Note: The construction stormwater runoff may be under jurisdiction of the Railroad Commission of Texas and may need to obtain authorization through EPA Region 6.
- ☒ No
- c) What is the Primary Standard Industrial Classification (SIC) Code that best describes the construction activity being conducted at the site? 1542
- d) What is the Secondary SIC Code(s), if applicable? 1522
- e) What is the total number of acres to be disturbed? 25.104 +/-
- f) Is the project part of a larger common plan of development or sale?

☐ Yes

☒ No. The total number of acres disturbed, provided in e) above, must be 5 or more.
If the total number of acres disturbed is less than 5, do not submit this form. See the requirements in the general permit for small construction sites.

g) What is the estimated start date of the project? March 15, 2026

h) What is the estimated end date of the project? September 12, 2027

i) Will concrete truck washout be performed at the site? ☒ Yes ☐ No

j) What is the name of the first water body(ies) to receive the stormwater runoff or potential runoff from the site? Leon Creek

k) What is the segment number(s) of the classified water body(ies) that the discharge will eventually reach? 1907

l) Is the discharge into a Municipal Separate Storm Sewer System (MS4)?

☒ Yes ☐ No

If Yes, provide the name of the MS4 operator: San Antonio Water System

Note: The general permit requires you to send a copy of this NOI form to the MS4 operator.

m) Is the discharge or potential discharge from the site within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer, as defined in 30 TAC Chapter 213?

☒ Yes, complete the certification below.

☐ No, go to Section 5

I certify that the copy of the TCEQ-approved Plan required by the Edwards Aquifer Rule (30 TAC Chapter 213) that is included or referenced in the Stormwater Pollution Prevention Plan will be implemented. ☒ Yes

SECTION 5. NOI CERTIFICATION

a) I certify that I have obtained a copy and understand the terms and conditions of the Construction General Permit (TXR150000). ☒ Yes

b) I certify that the full legal name of the entity applying for this permit has been provided and is legally authorized to do business in Texas. ☒ Yes

c) I understand that a Notice of Termination (NOT) must be submitted when this authorization is no longer needed. ☒ Yes

d) I certify that a Stormwater Pollution Prevention Plan has been developed, will be implemented prior to construction and to the best of my knowledge and belief is compliant with any applicable local sediment and erosion control plans, as required in the Construction General Permit (TXR150000). ☒ Yes

Note: For multiple operators who prepare a shared SWP3, the confirmation of an operator may be limited to its obligations under the SWP3, provided all obligations are confirmed by at least one operator.

SECTION 6. APPLICANT CERTIFICATION SIGNATURE

Operator Signatory Name: _____

Operator Signatory Title: _____

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

I further certify that I am authorized under 30 Texas Administrative Code §305.44 to sign and submit this document, and can provide documentation in proof of such authorization upon request.

Signature (use blue ink): _____ Date: _____

NOTICE OF INTENT CHECKLIST (TXR150000)

Did you complete everything? Use this checklist to be sure!

Are you ready to mail your form to TCEQ? Go to the General Information Section of the Instructions for mailing addresses.

Confirm each item (or applicable item) in this form is complete. This checklist is for use by the applicant to ensure a complete application is being submitted. **Missing information may result in denial of coverage under the general permit.** (See NOI process description in the General Information and Instructions.)

APPLICATION FEE

If paying by check:

- ☐ Check was mailed **separately** to the TCEQs Cashier's Office. (See Instructions for Cashier's address and Application address.)
- ☐ Check number and name on check is provided in this application.

If using ePay:

- ☐ The voucher number is provided in this application and a copy of the voucher is attached.

RENEWAL

- ☐ If this application is for renewal of an existing authorization, the authorization number is provided.

OPERATOR INFORMATION

- ☒ Customer Number (CN) issued by TCEQ Central Registry
- ☒ Legal name as filed to do business in Texas. (Call TX SOS 512-463-5555 to verify.)
- ☒ Name and title of responsible authority signing the application.
- ☒ Phone number and e-mail address
- ☒ Mailing address is complete & verifiable with USPS. www.usps.com
- ☒ Type of operator (entity type). Is applicant an independent operator?
- ☒ Number of employees.
- ☒ For corporations or limited partnerships - Tax ID and SOS filing numbers.
- ☒ Application contact and address is complete & verifiable with USPS.
<http://www.usps.com>

REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE

- ☒ Regulated Entity Number (RN) (if site is already regulated by TCEQ)
- ☒ Site/project name and construction activity description
- ☒ County
- ☒ Latitude and longitude <http://www.tceq.texas.gov/gis/sqmaview.html>

- ☒ Site Address/Location. Do not use a rural route or post office box.

GENERAL CHARACTERISTICS

- ☒ Indian Country Lands -the facility is not on Indian Country Lands.
- ☒ Construction activity related to facility associated to oil, gas, or geothermal resources
- ☒ Primary SIC Code that best describes the construction activity being conducted at the site. www.osha.gov/oshstats/sicser.html
- ☒ Estimated starting and ending dates of the project.
- ☒ Confirmation of concrete truck washout.
- ☒ Acres disturbed is provided and qualifies for coverage through a NOI.
- ☒ Common plan of development or sale.
- ☒ Receiving water body or water bodies.
- ☒ Segment number or numbers.
- ☒ MS4 operator.
- ☒ Edwards Aquifer rule.

CERTIFICATION

- ☒ Certification statements have been checked indicating Yes.
- ☒ Signature meets 30 Texas Administrative Code (TAC) §305.44 and is original.

Instructions for Notice of Intent (NOI) for Stormwater Discharges Associated with Construction Activity under TPDES General Permit (TXR150000)

GENERAL INFORMATION

Where to Send the Notice of Intent (NOI):

By Regular Mail:

TCEQ

Stormwater Processing Center (MC228)

P.O. Box 13087

Austin, Texas 78711-3087

By Overnight or Express Mail:

TCEQ

Stormwater Processing Center (MC228)

12100 Park 35 Circle

Austin, TX

Application Fee:

The application fee of \$325 is required to be paid at the time the NOI is submitted. Failure to submit payment at the time the application is filed will cause delays in acknowledgment or denial of coverage under the general permit. Payment of the fee may be made by check or money order, payable to TCEQ, or through EPAY (electronic payment through the web).

Mailed Payments:

Use the attached General Permit Payment Submittal Form. The application fee is submitted to a different address than the NOI. Read the General Permit Payment Submittal Form for further instructions, including the address to send the payment.

ePAY Electronic Payment: <http://www.tceq.texas.gov/epay>

When making the payment you must select Water Quality, and then select the fee category "General Permit Construction Storm Water Discharge NOI Application". You must include a copy of the payment voucher with your NOI. Your NOI will not be considered complete without the payment voucher.

TCEQ Contact List:

Application – status and form questions:

512-239-3700, swpermit@tceq.texas.gov

Technical questions:

512-239-4671, swgp@tceq.texas.gov

Environmental Law Division:

512-239-0600

Records Management - obtain copies of forms:

512-239-0900

Reports from databases (as available):

512-239-DATA (3282)

Cashier's office:

512-239-0357 or 512-239-0187

Notice of Intent Process:

When your NOI is received by the program, the form will be processed as follows:

- **Administrative Review:** Each item on the form will be reviewed for a complete response. In addition, the operator's legal name must be verified with Texas Secretary of State as valid and active (if applicable). The address(es) on the form must be verified with the US Postal service as receiving regular mail delivery. Do not give an overnight/express mailing address.
- **Notice of Deficiency:** If an item is incomplete or not verifiable as indicated

above, a notice of deficiency (NOD) will be mailed to the operator. The operator will have 30 days to respond to the NOD. The response will be reviewed for completeness.

- **Acknowledgment of Coverage:** An Acknowledgment Certificate will be mailed to the operator. This certificate acknowledges coverage under the general permit.

or

Denial of Coverage: If the operator fails to respond to the NOD or the response is inadequate, coverage under the general permit may be denied. If coverage is denied, the operator will be notified.

General Permit (Your Permit)

For NOIs submitted **electronically** through ePermits, provisional coverage under the general permit begins immediately following confirmation of receipt of the NOI form by the TCEQ.

For **paper** NOIs, provisional coverage under the general permit begins **7 days after a completed NOI is postmarked for delivery** to the TCEQ.

You should have a copy of your general permit when submitting your application. You may view and print your permit for which you are seeking coverage, on the TCEQ web site <http://www.tceq.texas.gov>. Search using keyword TXR150000.

Change in Operator

An authorization under the general permit is not transferable. If the operator of the regulated project or site changes, the present permittee must submit a Notice of Termination and the new operator must submit a Notice of Intent. The NOT and NOI must be submitted no later than 10 days prior to the change in Operator status.

TCEQ Central Registry Core Data Form

The Core Data Form has been incorporated into this form. Do not send a Core Data Form to TCEQ. After final acknowledgment of coverage under the general permit, the program will assign a Customer Number and Regulated Entity Number, if one has not already been assigned to this customer or site.

For existing customers and sites, you can find the Customer Number and Regulated Entity Number by entering the following web address into your internet browser: <http://www15.tceq.texas.gov/crpub/> or you can contact the TCEQ Stormwater Processing Center at 512-239-3700 for assistance. On the website, you can search by your permit number, the Regulated Entity (RN) number, or the Customer Number (CN). If you do not know these numbers, you can select "Advanced Search" to search by permittee name, site address, etc.

The Customer (Permittee) is responsible for providing consistent information to the TCEQ, and for updating all CN and RN data for all authorizations as changes occur. For this permit, a Notice of Change form must be submitted to the program area.

INSTRUCTIONS FOR FILLING OUT THE NOI FORM

Renewal of General Permit. Dischargers holding active authorizations under the expired General Permit are required to submit a NOI to continue coverage. The existing permit

number is required. If the permit number is not provided or has been terminated, expired, or denied, a new permit number will be issued.

Section 1. OPERATOR (APPLICANT)

a) Customer Number (CN)

TCEQ's Central Registry will assign each customer a number that begins with CN, followed by nine digits. **This is not a permit number, registration number, or license number.**

If the applicant is an existing TCEQ customer, the Customer Number is available at the following website: <http://www15.tceq.texas.gov/crpub/>. If the applicant is not an existing TCEQ customer, leave the space for CN blank.

b) Legal Name of Applicant

Provide the current legal name of the applicant. The name must be provided exactly as filed with the Texas Secretary of State (SOS), or on other legal documents forming the entity, as filed in the county. You may contact the SOS at 512-463-5555, for more information related to filing in Texas. If filed in the county, provide a copy of the legal documents showing the legal name.

c) Contact Information for the Applicant (Responsible Authority)

Provide information for the person signing the application in the Certification section. This person is also referred to as the Responsible Authority.

Provide a complete mailing address for receiving mail from the TCEQ. The mailing address must be recognized by the US Postal Service. You may verify the address on the following website: <https://tools.usps.com/go/ZipLookupAction!input.action>.

The phone number should provide contact to the applicant.

The fax number and e-mail address are optional and should correspond to the applicant.

d) Type of Customer (Entity Type)

Check only one box that identifies the type of entity. Use the descriptions below to identify the appropriate entity type. Note that the selected entity type also indicates the name that must be provided as an applicant for an authorization.

Individual

An individual is a customer who has not established a business, but conducts an activity that needs to be regulated by the TCEQ.

Partnership

A customer that is established as a partnership as defined by the Texas Secretary of State Office (TX SOS). If the customer is a 'General Partnership' or 'Joint Venture' filed in the county (not filed with TX SOS), the legal name of each partner forming the 'General Partnership' or 'Joint Venture' must be provided. Each 'legal entity' must apply as a co-applicant.

Trust or Estate

A trust and an estate are fiduciary relationships governing the trustee/executor with respect to the trust/estate property.

Sole Proprietorship (DBA)

A sole proprietorship is a customer that is owned by only one person and has not been incorporated. This business may:

1. be under the person's name
2. have its own name (doing business as or DBA)
3. have any number of employees.

If the customer is a Sole Proprietorship or DBA, the 'legal name' of the individual business 'owner' must be provided. The DBA name is not recognized as the 'legal name' of the entity. The DBA name may be used for the site name (regulated entity).

Corporation

A customer that meets all of these conditions:

1. is a legally incorporated entity under the laws of any state or country
2. is recognized as a corporation by the Texas Secretary of State
3. has proper operating authority to operate in Texas

The corporation's 'legal name' as filed with the Texas Secretary of State must be provided as applicant. An 'assumed' name of a corporation is not recognized as the 'legal name' of the entity.

Government

Federal, state, county, or city government (as appropriate)

The customer is either an agency of one of these levels of government or the governmental body itself. The government agency's 'legal name' must be provided as the applicant. A department name or other description of the organization is not recognized as the 'legal name'.

Other

This may include a utility district, water district, tribal government, college district, council of governments, or river authority. Provide the specific type of government.

e) Independent Entity

Check No if this customer is a subsidiary, part of a larger company, or is a governmental entity. Otherwise, check Yes.

f) Number of Employees

Check one box to show the number of employees for this customer's entire company, at all locations. This is not necessarily the number of employees at the site named in the application.

g) Customer Business Tax and Filing Numbers

These are required for Corporations and Limited Partnerships. These are not required for Individuals, Government, and Sole Proprietors.

State Franchise Tax ID Number

Corporations and limited liability companies that operate in Texas are issued a franchise tax identification number. If this customer is a corporation or limited liability company, enter the Tax ID number.

Federal Tax ID

All businesses, except for some small sole proprietors, individuals, or general partnerships should have a federal taxpayer identification number (TIN). Enter this number here. Use no prefixes, dashes, or hyphens. Sole proprietors, individuals, or general partnerships do not need to provide a federal tax ID.

TX SOS Charter (filing) Number

Corporations and Limited Partnerships required to register with the Texas Secretary of State are issued a charter or filing number. You may obtain further information by calling SOS at 512-463-5555.

DUNS Number

Most businesses have a DUNS (Data Universal Numbering System) number issued by Dun and Bradstreet Corp. If this customer has one, enter it here.

Section 2. APPLICATION CONTACT

Provide the name and contact information for the person that TCEQ can contact for additional information regarding this application.

Section 3. REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE

a) Regulated Entity Number (RN)

The RN is issued by TCEQ's Central Registry to sites where an activity is regulated by TCEQ. This is not a permit number, registration number, or license number. Search TCEQ's Central Registry to see if the site has an assigned RN at <http://www15.tceq.texas.gov/crpub/>. If this regulated entity has not been assigned an RN, leave this space blank.

If the site of your business is part of a larger business site, an RN may already be assigned for the larger site. Use the RN assigned for the larger site.

If the site is found, provide the assigned RN and provide the information for the site to be authorized through this application. The site information for this authorization may vary from the larger site information.

An example is a chemical plant where a unit is owned or operated by a separate corporation that is accessible by the same physical address of your unit or facility. Other examples include industrial parks identified by one common address but different corporations have control of defined areas within the site. In both cases, an RN would be assigned for the physical address location and the permitted sites would be identified separately under the same RN.

b) Name of the Project or Site

Provide the name of the site or project as known by the public in the area where the site is located. The name you provide on this application will be used in the TCEQ Central Registry as the Regulated Entity name.

c) Description of Activity Regulated

In your own words, briefly describe the primary business that you are doing that requires this authorization. Do not repeat the SIC Code description.

d) County

Provide the name of the county where the site or project is located. If the site or project is located in more than one county, provide the county names as secondary.

e) Latitude and Longitude

Enter the latitude and longitude of the site in degrees, minutes, and seconds or decimal form. For help obtaining the latitude and longitude, go to:

<http://www.tceq.texas.gov/gis/sqmapview.html>.

f) Site Address/Location

If a site has an address that includes a street number and street name, enter the complete address for the site in *Section A*. If the physical address is not recognized as a USPS delivery address, you may need to validate the address with your local police (911 service) or through an online map site used to locate a site. Please confirm this to be a complete and valid address. Do not use a rural route or post office box for a site location.

If a site does not have an address that includes a street number and street name, provide a complete written location description in *Section B*. For example: "The site is located on the north side of FM 123, 2 miles west of the intersection of FM 123 and Highway 1."

Provide the city (or nearest city) and zip code of the site location.

Section 4. GENERAL CHARACTERISTICS

a) Indian Country Lands

If your site is located on Indian Country Lands, the TCEQ does not have authority to process your application. You must obtain authorization through EPA Region 6, Dallas. Do not submit this form to TCEQ.

b) Construction activity associated with facility associated with exploration, development, or production of oil, gas, or geothermal resources

If your activity is associated with oil and gas exploration, development, or production, you may be under jurisdiction of the Railroad Commission of Texas (RRC) and may need to obtain authorization from EPA Region 6.

Construction activities associated with a facility related to oil, gas or geothermal resources may include the construction of a well site; treatment or storage facility; underground hydrocarbon or natural gas storage facility; reclamation plant; gas processing facility; compressor station; terminal facility where crude oil is stored prior to refining and at which refined products are stored solely for use at the facility; a carbon dioxide geologic storage facility; and a gathering, transmission, or distribution pipeline that will transport crude oil or natural gas, including natural gas liquids, prior to refining of such oil or the use of the natural gas in any manufacturing process or as a residential or industrial fuel.

Where required by federal law, discharges of stormwater associated with construction activities under the RRC's jurisdiction must be authorized by the EPA and the RRC, as applicable. Activities under RRC jurisdiction include construction of a facility that, when completed, would be associated with the exploration, development, or production of oil or gas or geothermal resources, such as a well site; treatment or storage facility; underground hydrocarbon or natural gas storage facility; reclamation plant; gas processing facility; compressor station; terminal facility where crude oil is stored prior to refining and at which refined products are stored solely for use at the facility; a carbon dioxide geologic storage facility under the jurisdiction of the RRC; and a gathering, transmission, or distribution pipeline that will transport crude oil or natural gas, including natural gas liquids, prior to refining of such oil or the use of the natural gas in any manufacturing process or as a residential or industrial fuel. The RRC also has jurisdiction over stormwater from land disturbance associated with a site survey that is conducted prior to construction of a facility that would be regulated by the RRC. Under 33 U.S.C. §1342(l)(2) and §1362(24), EPA cannot require a permit for discharges of stormwater from field activities or operations associated with {oil and gas} exploration, production, processing, or treatment operations, or transmission facilities, including activities necessary to prepare a site for drilling and for the movement and placement of drilling equipment, whether or not such field activities or operations may be considered to be construction activities unless the discharge is contaminated by contact with any overburden, raw material, intermediate product, finished product, byproduct, or waste product located on the site of the facility. Under §3.8 of this title (relating to Water Protection), the RRC prohibits operators from causing or allowing pollution of surface or subsurface water. Operators are encouraged to implement and maintain best management practices (BMPs) to minimize discharges of pollutants, including sediment, in stormwater during construction activities to help ensure protection of surface water quality during storm events.

For more information about the jurisdictions of the RRC and the TCEQ, read the Memorandum of Understanding (MOU) between the RRC and TCEQ at 16 Texas Administrative Code, Part 1, Chapter 3, Rule 3.30, by entering the following link into an internet browser:

[http://texreg.sos.state.tx.us/public/readtac\\$ext.TacPage?sl=R&app=9&p_dir=&p_rloc=&p_tloc=&p_ploc=&pg=1&p_tac=&ti=16&pt=1&ch=3&rl=30](http://texreg.sos.state.tx.us/public/readtac$ext.TacPage?sl=R&app=9&p_dir=&p_rloc=&p_tloc=&p_ploc=&pg=1&p_tac=&ti=16&pt=1&ch=3&rl=30) or contact the TCEQ Stormwater Team at 512-239-4671 for additional information.

c) Primary Standard Industrial Classification (SIC) Code

Provide the SIC Code that best describes the construction activity being conducted at this site.

Common SIC Codes related to construction activities include:

- 1521 - Construction of Single Family Homes
- 1522 - Construction of Residential Buildings Other than Single Family Homes
- 1541 - Construction of Industrial Buildings and Warehouses
- 1542 - Construction of Non-residential Buildings, other than Industrial Buildings and Warehouses
- 1611 - Highway and Street Construction, except Highway Construction
- 1622 - Bridge, Tunnel, and Elevated Highway Construction

- 1623 - Water, Sewer, Pipeline and Communications, and Power Line Construction

For help with SIC Codes, enter the following link into your internet browser:

<http://www.osha.gov/pls/imis/sicsearch.html> or you can contact the TCEQ Small Business and Local Government Assistance Section at 800-447-2827 for assistance.

d) Secondary SIC Code

Secondary SIC Code(s) may be provided. Leave this blank if not applicable. For help with SIC Codes, enter the following link into your internet browser:

<http://www.osha.gov/pls/imis/sicsearch.html> or you can contact the TCEQ Small Business and Environmental Assistance Section at 800-447-2827 for assistance.

e) Total Number of Acres Disturbed

Provide the approximate number of acres that the construction site will disturb. Construction activities that disturb less than one acre, unless they are part of a larger common plan that disturbs more than one acre, do not require permit coverage. Construction activities that disturb between one and five acres, unless they are part of a common plan that disturbs more than five acres, do not require submission of an NOI. Therefore, the estimated area of land disturbed should not be less than five, unless the project is part of a larger common plan that disturbs five or more acres. Disturbed means any clearing, grading, excavating, or other similar activities.

If you have any questions about this item, please contact the stormwater technical staff by phone at 512-239-4671 or by email at swgp@tceq.texas.gov.

f) Common Plan of Development

Construction activities that disturb less than five acres do not require submission of an NOI unless they are part of a common plan of development or for sale where the area disturbed is five or more acres. Therefore, the estimated area of land disturbed should not be less than five, unless the project is part of a larger common plan that disturbs five or more acres. Disturbed means any clearing, grading, excavating, or other similar activities.

For more information on what a common plan of development is, refer to the definition of “Common Plan of Development” in the Definitions section of the general permit or enter the following link into your internet browser:

www.tceq.texas.gov/permitting/stormwater/common_plan_of_development_steps.html

For further information, go to the TCEQ stormwater construction webpage enter the following link into your internet browser: www.tceq.texas.gov/goto/construction and search for “Additional Guidance and Quick Links”. If you have any further questions about the Common Plan of Development you can contact the TCEQ Stormwater Team at 512-239-4671 or the TCEQ Small Business and Environmental Assistance at 800-447-2827.

g) Estimated Start Date of the Project

This is the date that any construction activity or construction support activity is initiated at the site. If renewing the permit provide the original start date of when construction activity for this project began.

h) Estimated End Date of the Project

This is the date that any construction activity or construction support activity will end and final stabilization will be achieved at the site.

i) Will concrete truck washout be performed at the site?

Indicate if you expect that operators of concrete trucks will washout concrete trucks at the construction site.

j) Identify the water body(s) receiving stormwater runoff

The stormwater may be discharged directly to a receiving stream or through a MS4 from your site. It eventually reaches a receiving water body such as a local stream or lake, possibly via a drainage ditch. You must provide the name of the water body that receives the discharge from the site (a local stream or lake).

If your site has more than one outfall you need to include the name of the first water body for each outfall, if they are different.

k) Identify the segment number(s) of the classified water body(s)

Identify the classified segment number(s) receiving a discharge directly or indirectly. Enter the following link into your internet browser to find the segment number of the classified water body where stormwater will flow from the site:

www.tceq.texas.gov/waterquality/monitoring/viewer.html or by contacting the TCEQ Water Quality Division at (512) 239-4671 for assistance.

You may also find the segment number in TCEQ publication GI-316 by entering the following link into your internet browser: www.tceq.texas.gov/publications/gi/gi-316 or by contacting the TCEQ Water Quality Division at (512) 239-4671 for assistance.

If the discharge is into an unclassified receiving water and then crosses state lines prior to entering a classified segment, select the appropriate watershed:

- 0100 (Canadian River Basin)
- 0200 (Red River Basin)
- 0300 (Sulfur River Basin)
- 0400 (Cypress Creek Basin)
- 0500 (Sabine River Basin)

Call the Water Quality Assessments section at 512-239-4671 for further assistance.

l) Discharge into MS4 – Identify the MS4 Operator

The discharge may initially be into a municipal separate storm sewer system (MS4). If the stormwater discharge is into an MS4, provide the name of the entity that operates the MS4 where the stormwater discharges. An MS4 operator is often a city, town, county, or utility district, but possibly can be another form of government. Please note that the Construction General Permit requires the Operator to supply the MS4 with a copy of the NOI submitted to TCEQ. For assistance, you may call the technical staff at 512-239-4671.

m) Discharges to the Edwards Aquifer Recharge Zone and Certification

The general permit requires the approved Contributing Zone Plan or Water Pollution Abatement Plan to be included or referenced as a part of the Stormwater Pollution Prevention Plan.

See maps on the TCEQ website to determine if the site is located within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer by entering the following link into an internet browser: www.tceq.texas.gov/field/eapp/viewer.html or by contacting the TCEQ Water Quality Division at 512-239-4671 for assistance.

If the discharge or potential discharge is within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer, a site-specific authorization approved by the Executive Director under the Edwards Aquifer Protection Program (30 TAC Chapter 213) is required before construction can begin.

For questions regarding the Edwards Aquifer Protection Program, contact the appropriate TCEQ Regional Office. For projects in Hays, Travis and Williamson Counties: Austin Regional Office, 12100 Park 35 Circle, Austin, TX 78753, 512-339-2929. For Projects in Bexar, Comal, Kinney, Medina and Uvalde Counties: TCEQ San Antonio Regional Office, 14250 Judson Rd., San Antonio, TX 78233-4480, 210-490-3096.

Section 5. NOI CERTIFICATION

Note: Failure to indicate Yes to all of the certification items may result in denial of coverage under the general permit.

a) Certification of Understanding the Terms and Conditions of Construction General Permit (TXR150000)

Provisional coverage under the Construction General Permit (TXR150000) begins 7 days after the completed paper NOI is postmarked for delivery to the TCEQ. Electronic applications submitted through ePermits have immediate provisional coverage. You must obtain a copy and read the Construction General Permit before submitting your application. You may view and print the Construction General Permit for which you are seeking coverage at the TCEQ web site by entering the following link into an internet browser: www.tceq.texas.gov/goto/construction or you may contact the TCEQ Stormwater processing Center at 512-239-3700 for assistance.

b) Certification of Legal Name

The full legal name of the applicant as authorized to do business in Texas is required. The name must be provided exactly as filed with the Texas Secretary of State (SOS), or on other legal documents forming the entity, that is filed in the county where doing business. You may contact the SOS at 512-463 5555, for more information related to filing in Texas.

c) Understanding of Notice of Termination

A permittee shall terminate coverage under the Construction General Permit through the submittal of a NOT when the operator of the facility changes, final stabilization has been reached, the discharge becomes authorized under an individual permit, or the construction activity never began at this site.

d) Certification of Stormwater Pollution Prevention Plan

The SWP3 identifies the areas and activities that could produce contaminated runoff at your site and then tells how you will ensure that this contamination is mitigated. For example, in describing your mitigation measures, your site's plan might identify the devices that collect and filter stormwater, tell how those devices are to be maintained, and tell how frequently that maintenance is to be carried out. You must develop this plan in accordance with the TCEQ general permit requirements. This plan must be developed and implemented before you complete this NOI. The SWP3 must be available for a TCEQ investigator to review on request.

Section 6. APPLICANT CERTIFICATION SIGNATURE

The certification must bear an original signature of a person meeting the signatory requirements specified under 30 Texas Administrative Code (TAC) §305.44.

If you are a corporation:

The regulation that controls who may sign an NOI or similar form is 30 Texas Administrative Code §305.44(a)(1) (see below). According to this code provision, any corporate representative may sign an NOI or similar form so long as the authority to sign such a document has been delegated to that person in accordance with corporate procedures. By signing the NOI or similar form, you are certifying that such authority has been delegated to you. The TCEQ may request documentation evidencing such authority.

If you are a municipality or other government entity:

The regulation that controls who may sign an NOI or similar form is 30 Texas Administrative Code §305.44(a)(3) (see below). According to this code provision, only a ranking elected official or principal executive officer may sign an NOI or similar form. Persons such as the City Mayor or County Commissioner will be considered ranking elected officials. In order to identify the principal executive officer of your government entity, it may be beneficial to consult your city charter, county or city ordinances, or the Texas statute(s) under which your government entity was formed. An NOI or similar document that is signed by a government official who is not a ranking elected official or principal executive officer does not conform to §305.44(a)(3). The signatory requirement may not be delegated to a government representative other than those identified in the regulation. By signing the NOI or similar form, you are certifying that you are either a ranking elected official or principal executive officer as required by the administrative code. Documentation demonstrating your position as a ranking elected official or principal executive officer may be requested by the TCEQ.

If you have any questions or need additional information concerning the signatory requirements discussed above, please contact the TCEQ's Environmental Law Division at 512-239-0600.

30 Texas Administrative Code

§305.44. Signatories to Applications

(a) All applications shall be signed as follows.

(1) For a corporation, the application shall be signed by a responsible corporate officer. For purposes of this paragraph, a responsible corporate officer means a president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function, or any other person who performs similar policy or decision-making functions for the

corporation; or the manager of one or more manufacturing, production, or operating facilities employing more than 250 persons or having gross annual sales or expenditures exceeding \$25 million (in second-quarter 1980 dollars), if authority to sign documents has been assigned or delegated to the manager in accordance with corporate procedures. Corporate procedures governing authority to sign permit or post-closure order applications may provide for assignment or delegation to applicable corporate positions rather than to specific individuals.

(2) For a partnership or sole proprietorship, the application shall be signed by a general partner or the proprietor, respectively.

(3) For a municipality, state, federal, or other public agency, the application shall be signed by either a principal executive officer or a ranking elected official. For purposes of this paragraph, a principal executive officer of a federal agency includes the chief executive officer of the agency, or a senior executive officer having responsibility for the overall operations of a principal geographic unit of the agency (e.g., regional administrator of the EPA).

Texas Commission on Environmental Quality General Permit Payment Submittal Form

Use this form to submit your Application Fee only if you are mailing your payment.

Instructions:

- Complete items 1 through 5 below:
- Staple your check in the space provided at the bottom of this document.
- *Do not mail this form with your NOI form.*
- *Do not mail this form to the same address as your NOI.*

Mail this form and your check to either of the following:

By Regular U.S. Mail

Texas Commission on Environmental Quality
Financial Administration Division
Cashier's Office, MC-214
P.O. Box 13088
Austin, TX 78711-3088

By Overnight or Express Mail

Texas Commission on Environmental Quality
Financial Administration Division
Cashier's Office, MC-214
12100 Park 35 Circle
Austin, TX 78753

Fee Code: GPA General Permit: TXR150000

1. Check or Money Order No:
2. Amount of Check/Money Order:
3. Date of Check or Money Order:
4. Name on Check or Money Order:
5. NOI Information:

If the check is for more than one NOI, list each Project or Site (RE) Name and Physical Address exactly as provided on the NOI. **Do not submit a copy of the NOI with this form, as it could cause duplicate permit application entries!**

If there is not enough space on the form to list all of the projects or sites the authorization will cover, then attach a list of the additional sites.

Project/Site (RE) Name:

Project/Site (RE) Physical Address:

Staple the check or money order to this form in this space.

Agent Authorization Form
For Required Signature
Edwards Aquifer Protection Program
Relating to 30 TAC Chapter 213
Effective June 1, 1999

I Rob Schumacher
Print Name

Manager Member
Title - Owner/President/Other

of UTSA Blvd IH-10 LP
Corporation/Partnership/Entity Name

have authorized MACINA, BOSE, COPELAND & ASSOCIATES, INC
Print Name of Agent/Engineer

of MACINA, BOSE, COPELAND & ASSOCIATES, INC
Print Name of Firm

to represent and act on the behalf of the above named Corporation, Partnership, or Entity for the purpose of preparing and submitting this plan application to the Texas Commission on Environmental Quality (TCEQ) for the review and approval consideration of regulated activities.

I also understand that:

1. The applicant is responsible for compliance with 30 Texas Administrative Code Chapter 213 and any condition of the TCEQ's approval letter. The TCEQ is authorized to assess administrative penalties of up to \$10,000 per day per violation.
2. For those submitting an application who are not the property owner, but who have the right to control and possess the property, additional authorization is required from the owner.
3. Application fees are due and payable at the time the application is submitted. The application fee must be sent to the TCEQ cashier or to the appropriate regional office. The application will not be considered until the correct fee is received by the commission.
4. A notarized copy of the Agent Authorization Form must be provided for the person preparing the application, and this form must accompany the completed application.
5. No person shall commence any regulated activity on the Edwards Aquifer Recharge Zone, Contributing Zone or Transition Zone until the appropriate application for the activity has been filed with and approved by the Executive Director.

SIGNATURE PAGE:

[Signature]
Applicant's Signature

10/15/2024
Date

THE STATE OF _____ §

County of _____ §

BEFORE ME, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this ____ day of _____, _____.

NOTARY PUBLIC

Typed or Printed Name of Notary

MY COMMISSION EXPIRES: _____

see attached CA notary certificate

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of San Mateo)

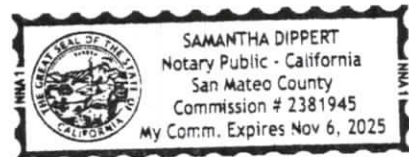
On 10/15/2024 before me, Samantha Dippert, Notary Public
(insert name and title of the officer)

personally appeared Rob Schumacher,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature] (Seal)



Application Fee Form

Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: Park Golf UTSA

Regulated Entity Location: Southwest corner of UTSA BLVD and University Pass

Name of Customer: UTSA Blvd IH-10 LP

Contact Person: Rob Schumacher

Phone: (210) 545-1122

Customer Reference Number (if issued): CN 605351758

Regulated Entity Reference Number (if issued): RN _____

Austin Regional Office (3373)

☐ Hays

☐ Travis

☐ Williamson

San Antonio Regional Office (3362)

☒ Bexar

☐ Medina

☐ Uvalde

☐ Comal

☐ Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

☐ Austin Regional Office

☒ San Antonio Regional Office

☐ Mailed to: TCEQ - Cashier

☐ Overnight Delivery to: TCEQ - Cashier

Revenues Section

Mail Code 214

P.O. Box 13088

Austin, TX 78711-3088

12100 Park 35 Circle

Building A, 3rd Floor

Austin, TX 78753

(512)239-0357

Site Location (Check All That Apply):

☐ Recharge Zone

☒ Contributing Zone

☐ Transition Zone

Type of Plan	Size	Fee Due
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	25.104 Acres	\$ 6,500
Sewage Collection System	L.F.	\$
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	Each	\$
Extension of Time	Each	\$

Signature: 

Date: 12/2/2025

Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

Water Pollution Abatement Plans and Modifications

Contributing Zone Plans and Modifications

<i>Project</i>	<i>Project Area in Acres</i>	<i>Fee</i>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

Organized Sewage Collection Systems and Modifications

<i>Project</i>	<i>Cost per Linear Foot</i>	<i>Minimum Fee- Maximum Fee</i>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

Underground and Aboveground Storage Tank System Facility Plans and Modifications

<i>Project</i>	<i>Cost per Tank or Piping System</i>	<i>Minimum Fee- Maximum Fee</i>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

Exception Requests

<i>Project</i>	<i>Fee</i>
Exception Request	\$500

Extension of Time Requests

<i>Project</i>	<i>Fee</i>
Extension of Time Request	\$150



TCEQ Core Data Form

For detailed instructions on completing this form, please read the Core Data Form Instructions or call 512-239-5175.

SECTION I: General Information

1. Reason for Submission (If other is checked please describe in space provided.)		
<input checked="" type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)		<input type="checkbox"/> Other
2. Customer Reference Number (if issued)		3. Regulated Entity Reference Number (if issued)
CN 605351758		RN

[Follow this link to search for CN or RN numbers in Central Registry**](#)

SECTION II: Customer Information

4. General Customer Information		5. Effective Date for Customer Information Updates (mm/dd/yyyy)			
<input type="checkbox"/> New Customer <input type="checkbox"/> Update to Customer Information <input type="checkbox"/> Change in Regulated Entity Ownership					
<input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)					
<i>The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).</i>					
6. Customer Legal Name (If an individual, print last name first: eg: Doe, John)				<i>If new Customer, enter previous Customer below:</i>	
UTSA Blvd IH-10 LP					
7. TX SOS/CPA Filing Number		8. TX State Tax ID (11 digits)		9. Federal Tax ID (9 digits)	
0802192030		32056915476		473712019	
10. DUNS Number (if applicable)					
11. Type of Customer:		<input type="checkbox"/> Corporation		<input type="checkbox"/> Individual	
Government: <input type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> Local <input type="checkbox"/> State <input type="checkbox"/> Other		<input type="checkbox"/> Sole Proprietorship		Partnership: <input type="checkbox"/> General <input checked="" type="checkbox"/> Limited	
12. Number of Employees		13. Independently Owned and Operated?			
<input checked="" type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input type="checkbox"/> 501 and higher		<input type="checkbox"/> Yes <input type="checkbox"/> No			
14. Customer Role (Proposed or Actual) – as it relates to the Regulated Entity listed on this form. Please check one of the following					
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Operator <input type="checkbox"/> Owner & Operator <input type="checkbox"/> Other:					
<input type="checkbox"/> Occupational Licensee <input type="checkbox"/> Responsible Party <input type="checkbox"/> VCP/BSA Applicant					
15. Mailing Address:		2995 Woodside Road #400-385			
City		Woodside		State	
CA		ZIP		94062	
ZIP + 4					
16. Country Mailing Information (if outside USA)			17. E-Mail Address (if applicable)		
			Rob@schumacherinc.com		
18. Telephone Number		19. Extension or Code		20. Fax Number (if applicable)	

SECTION III: Regulated Entity Information

21. General Regulated Entity Information (If 'New Regulated Entity' is selected, a new permit application is also required.)

☒ New Regulated Entity ☐ Update to Regulated Entity Name ☐ Update to Regulated Entity Information

The Regulated Entity Name submitted may be updated, in order to meet TCEQ Core Data Standards (removal of organizational endings such as Inc, LP, or LLC).

22. Regulated Entity Name (Enter name of the site where the regulated action is taking place.)

Park Golf UTSA

23. Street Address of the Regulated Entity:

(No PO Boxes)

5900 UTSA Blvd.

City

San Antonio

State

TX

ZIP

78249

ZIP + 4

24. County

Bexar

If no Street Address is provided, fields 25-28 are required.

25. Description to Physical Location:

Located south of UTSA Blvd. and west of University Pass

26. Nearest City

State

Nearest ZIP Code

San Antonio

TX

78249

Latitude/Longitude are required and may be added/updated to meet TCEQ Core Data Standards. (Geocoding of the Physical Address may be used to supply coordinates where none have been provided or to gain accuracy).

27. Latitude (N) In Decimal:

29.576061

28. Longitude (W) In Decimal:

-98.605672

Degrees

Minutes

Seconds

Degrees

Minutes

Seconds

29

34

33.82

98

36

20.42

29. Primary SIC Code

(4 digits)

30. Secondary SIC Code

(4 digits)

31. Primary NAICS Code

(5 or 6 digits)

32. Secondary NAICS Code

(5 or 6 digits)

1542

1522

236220

33. What is the Primary Business of this entity? (Do not repeat the SIC or NAICS description.)

Construction of commercial retail

34. Mailing Address:

2995 Woodside Road #400-385

City

Woodside

State

CA

ZIP

94062

ZIP + 4

35. E-Mail Address:

Rob@schumacherinc.com

36. Telephone Number

37. Extension or Code

38. Fax Number (if applicable)

(650) 529-2385

() -

39. TCEQ Programs and ID Numbers Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.


<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Wastewater	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

SECTION IV: Preparer Information

40. Name:	Richard Hendrix, P.E.	41. Title:	Project Manager
42. Telephone Number	43. Ext./Code	44. Fax Number	45. E-Mail Address
(210) 545-1122		() -	rhendrix@mbcengineers.com

SECTION V: Authorized Signature

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

Company:	Macina, Bose, Copeland & Associates, Inc	Job Title:	Project Manager
Name (In Print):	Richard Hendrix, P.E.	Phone:	(210) 545- 1122
Signature:		Date:	12/2/2025